



Application Request for Variance from the Land Use Code

The Zoning Board of Appeals has been granted the authority to approve variances from the requirements of Articles 3 and 4 of the Land Use Code. The Zoning Board of Appeals shall not authorize any use in a zoning district other than those uses which are specifically permitted in the zoning district. The Board may grant variances where it finds that the modification of the standard **would not be detrimental to the public good**. Additionally, the variance request must meet at least one of the following justification reasons:

- (1) by reason of exceptional physical conditions or other extraordinary and exceptional situations unique to the property, including, but not limited to physical conditions such as exceptional narrowness, shallowness, or topography, the strict application of the code requirements would result in unusual and exceptional practical difficulties or undue hardship upon the occupant/applicant of the property, provided that such difficulties or **hardship** are not caused by an act or omission of the occupant/applicant (i.e. not self-imposed);
- (2) the proposal will promote the general purpose of the standard for which the variance is requested **equally well or better than** would a proposal which complies with the standard for which the variance is requested;
- (3) the proposal will not diverge from the Land Use Code standards except in a **nominal, inconsequential way** when considered in the context of the neighborhood.

This application is only for a variance to the Land Use Code. Building Code requirements will be determined and reviewed by the Building Department separately. When a building or sign permit is required for any work for which a variance has been granted, the permit must be obtained within 6 months of the date that the variance was granted.

However, for good cause shown by the applicant, the Zoning Board of Appeals may consider a one-time 6 month extension if reasonable and necessary under the facts and circumstances of the case. An extension request must be submitted before 6 months from the date that the variance was granted has lapsed.

Petitioner or Petitioner’s Representative must be present at the meeting

Location: 300 LaPorte Ave, Council Chambers, Fort Collins, CO 80524

Date: Second Thursday of the month **Time:** 8:30 a.m.

Variance Address	1028 Akin Ave	Petitioner’s Name, if not the Owner	VFLA Inc. - Taylor Meyer
City	Fort Collins, CO	Petitioner’s Relationship to the Owner is	Architect
Zip Code	80521	Petitioner’s Address	419 Canyon Ave, Suite 200
Owner’s Name	Barbara (BJ) & Tom Miller	Petitioner’s Phone #	(970) 224-1191
Code Section(s)	4.7(E)(4)	Petitioner’s Email	taylor@vfla.com
Zoning District	NCL Zone District	Additional Representative’s Name	
Justification(s)	3. Nominal and inconsequential	Representative’s Address	
Justification(s)	Additional Justification	Representative’s Phone #	
Justification(s)	Additional Justification	Representative’s Email	
Reasoning If not enough room, additional written information may be submitted	(Please see attached letter.)		

Date 09/06/2022

Signature



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09-06-2022

City of Fort Collins
Zoning Board of Appeals
281 North College Avenue
Fort Collins, CO 80524

RE: Variance Request for 1028 Akin Ave

To Whom it May Concern,

On behalf of my clients, Barbara (BJ) and Tom Miller, I am requesting a variance to Land Use Code section 4.7(E)(4) regarding the minimum side yard setback.

We are proposing to build a new residence located at 1028 Akin Avenue. To accommodate our clients' program needs, we sought to design a home that maximized the allowable width of the lot. After designing the home around a nominal lot width of 40 feet and then later receiving a formal site survey we noticed that the lot is actually only 39.97 feet wide at the front and 39.80 feet wide at the rear. This discrepancy causes a negligible encroachment of a side yard setback. The western-most wall of the proposed structure (which is 41 feet long) will encroach into the 5-foot side yard setback 0.12 feet (approximately 1 ½ inches, or 2.4% encroachment) at the south end of the wall and 0.07 feet (approximately 7/8 inch, or 1.4% encroachment) at the north end of the wall.

The proposed encroachment into the side yard setback will not be detrimental to the public good and it will not diverge from the standards except in a nominal and inconsequential way when considered in the context of the neighborhood for the following reasons:

- The proposed 41-foot-long west wall of the residence will only encroach 2.4% at the most into the 5-foot side yard setback and the encroachment will taper down to a 1.4% encroachment.
- The average encroachment for the length of the wall will be only 1.9%.
- The burden of redesigning the home and redrafting the construction drawings to reduce the width of the home by 1 ½ inches is a hardship that exceeds the inconsequential effects of encroaching 1 ½ inches into the 5-foot setback.

For these reasons we feel the encroachment into the 5' setback is nominal and inconsequential. Please review the attached plans, elevations and site survey.

Thank you for your time in considering our variance request.
Sincerely,

A handwritten signature in blue ink, appearing to read 'Taylor Meyer', with a long, sweeping underline that extends across the width of the signature.

Taylor Meyer – VFLA, Inc.
419 Canyon Ave, Suite 200
Fort Collins, CO 80521
(970) 224-1191

VAUGHT FRYE LARSON ARONSON **architects**

419 Canyon Ave, Suite 200 ■ Fort Collins, CO ■ 970.224.1191
108 East Lincolnway ■ Cheyenne, WY ■ 307.635.5710
www.vfla.com

EXTERIOR MATERIALS & FINISH SCHEDULE

STANDING SEAM METAL ROOFING

-ALL METAL ROOFING TO BE INTERLOCKING RAISED RIB WITH STANDING SEAMS. INSTALLATION TO BE AS RECOMMENDED BY MANUFACTURER. CONTRACTOR TO ENSURE THAT ALL SEAMS ARE ABSOLUTELY SEALED AGAINST LEAKAGE. FINISH TO BE NON-REFLECTIVE. PROVIDE AN ICE AND WATER SHIELD MEMBRANE AS PRESCRIBED BELOW IN ROOFING UNDERLAYMENT AND AS SHOWN ON ROOF PLAN. ICE AND WATER SHIELD SHALL BE OF A TYPE THAT IS APPROVED FOR USE WITH METAL ROOFING. PROVIDE 5 YEAR WARRANTY AGAINST LEAKAGE AND DEFECTS IN MATERIALS AND WORKMANSHIP. METAL SALES - SLATE GREY OR APPROVED ALTERNATE

ROOFING UNDERLAYMENT

PROVIDE AN ICE AND WATER SHIELD MEMBRANE AS SUPPLIED BY GRACE OR APPROVED ALTERNATE AT THE FOLLOWING LOCATIONS:
 - AT ALL EAVES: NO LESS THAN 3/8" UP ROOF SLOPE FROM WALL LINE AND DOWN TO EDGE OF SAWS AT ALL VALLEYS; NO LESS THAN 3/8" UP ROOF SLOPE AT EACH SIDE. AT ALL VENT STACKS AND ROOF PENETRATIONS, 12" IN ALL DIRECTIONS FROM PENETRATION AND 6" UP STACK. USE SPRAY URETHANE TO SEAL ALL PENETRATIONS. VENT STACKS SHALL BE COVERED WITH PRE-MANUFACTURED FLASHING AND BELIEVE WITH INTEGRAL CAP OVER ENTIRE CRACKETS WHERE THEY EXIST.
 - PROVIDE ROOFING MEMBRANE DIRECTLY OVER PLYWOOD SHEATHING, AND ENSURE ALL LAPS AND COVERAGE IS IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE HIGH TEMPERATURE UNDERLAYMENT APPROVED FOR USE AT METAL ROOFING, AS SUPPLIED BY GRACE OR APPROVED ALTERNATE.

HORIZONTAL LAP SIDING

-LP SMARTSIDE LAP SIDING OR APPROVED ALTERNATE. LAP TO BE 76 SERIES 5.84" WITH 5.9" EXPOSED TO THE WEATHER AND SMOOTH TEXTURE FINISH.
 -PAINT - SHERWIN WILLIAMS - >>> STILL TBD

THIN STONE VENEER

-FORT COLLINS EDWARD STONE - MANOR COLLECTION, DRIFTWOOD OR APPROVED ALTERNATE >>> STILL TBD. ALL STONE VENEER SILLS, CAPS, AND LINTELS AT STONE VENEER CONDITIONS TO MATCH STONE VENEER. CAPS, SILLS, AND LINTELS TO HAVE A MINIMUM 1/8" PER FOOT SLOPE AWAY FROM BUILDING FOR DRAINAGE. TO COME FROM SAME SOURCE AS VENEER. SECURE ALL STONEWORK WITH APPROPRIATE TIES PER STRUCTURAL DWGS AND STONE SUPPLIER RECOMMENDATIONS. ALL MATERIAL AND Workmanship SHALL MEET OR EXCEED STANDARDS AND QUALITIES PUBLISHED BY THE TRADE.
 -SUPPLIER TO PROVIDE PRE-FORMED OUTSIDE CORNERS

TIMBER COLUMNS, BEAMS, LINTELS AND ARCHITECTURAL TIMBERS

-SELECT TIGHT KNOT DOUGLAS FIR ALL FOUR SIDES TO HAVE RESAWN SURFACES. TIMBERS TO BE FULLY ACCLIMATED TO THE CLIMATE PRIOR TO INSTALLATION AND FITTING OF TIMBERS TO REDUCE THE GREATEST EXTENT POSSIBLE OR PREVENT EXCESSIVE SPLITTING, TWISTING, BOWING, CURVING, ETC. ALL JOINTS TO BE TIGHT AND FREE OF GAPS. ALL STEEL KNIFE CONNECTIONS TO BE CONCEALED. ALL BOLTS TO BE COUNTERSUNK. PROVIDE PLUG OF SAME SPECIES. ORIENT GRAIN WITH TIMBER TO REDUCE CRACKING, AND SAND FLUSH. PROVIDE BLOCKING IN FRAMED WALL FOR ATTACHMENT OF ENGAGED TIMBERS/PLASTERS. ANCHOR TIMBERS TO BLOCKING ANCHOR FRAMING WITH CONCEALED LAG BOLTS OR DA-LOG SCREWS. REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ALL SPECIES AND GRADING REQUIREMENTS. ARCHITECTURAL TIMBERS TO MATCH STRUCTURAL IN SPECIES AND SURFACE TEXTURE.

FASCIA, SOFFIT, & CORNER TRIM

-WOOD SOFFIT TO BE 1/8" GRADE 3" OR BETTER, IN-LAND RED CEDAR WITH SMOOTH TEXTURED FINISH. PROVIDE TONGUE AND GROOVE PROFILE WITH SQUARE BUTT JOINTS. NAILS TO BE PROPER GAUGE. CORROSION RESISTANT FRG: SHANK NAILS OR ZINC COATED WITH TEXTURED HEAD FOR SIDING APPLICATIONS. ALL 1/8" SHALL BE RANDOM LENGTHS WITH STAGGERED BUTT JOINTS.
 -2 COAT STAIN >>> TBD

-LP SMARTSIDE SOFFIT OR APPROVED ALTERNATE. SOFFIT TO BE 38 SERIES UNVENTED WITH SMOOTH TEXTURE FINISH.
 -PAINT - SHERWIN WILLIAMS - DUSTBLU SW 9161 >>> STILL TBD
 -FASCIA TRIM TO BE LP SMARTSIDE TRIM OR APPROVED ALTERNATE. FASCIA TO BE 440 SERIES 9.21" SMOOTH TEXTURE FINISH.
 -CORNER TRIM TO BE LP SMARTSIDE TRIM OR APPROVED ALTERNATE. CORNER TRIM TO BE 540 SERIES 5.50" SMOOTH TEXTURE FINISH.

WINDOW & DOOR TRIM

-REFER TO A7.2 AND EXTERIOR ELEVATIONS

PRE-FINISHED METAL

(flashing, gutters, downspouts)
 -FLASHING: ALL FLASHING AT FASCIA EDGES, WINDOWS AND DOOR CAPS, EXPOSED STEP FLASHING, WALL TO ROOF INTERSECTIONS, AND ALL OTHER EXPOSED METAL FLASHING TO BE PAINT-LOOKED. COLOR TO MATCH WINDOW/DOOR CLADDING. GAUGE THICKNESS TO MEET OR EXCEED STANDARDS PUBLISHED BY THE TRADE. ALL NON EXPOSED FLASHING MAY BE GALVANIZED OR APPROVED ALTERNATE. FLASHING TOLERANCES SHALL NOT BE LESS THAN THAT PUBLISHED BY THE TRADE. STEP FLASHING SHALL BE USED WHERE VERTICAL SURFACES OCCUR IN CONNECTIONS WITH RAKE ENDS AND ROOF SLOPES. VALLEY FLASHING TO HAVE RAISED RIDGE PROFILE TO PREVENT ROOF SHEET DRAINAGE FROM BACK WASHING UP UNDER ROOF MATERIAL AT OPPOSITE SIDE OF VALLEY.
 -CORNER TRIM TO BE LP SMARTSIDE TRIM OR APPROVED ALTERNATE. CORNER TRIM TO BE 540 SERIES 5.50" SMOOTH TEXTURE FINISH.
 -REFER TO A7.2 AND EXTERIOR ELEVATIONS

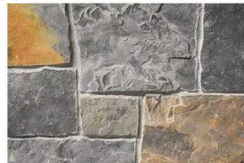
METAL RAILING

-POWDER COAT ALL METAL TO MATCH SW 7020 BLACK FOX >>> STILL TBD

SW 6253
Olympus White
 Interior / Exterior
 Location Number: 234-C1

SW 9161
Dustblu
 Interior / Exterior
 Location Number: 234-C4

Slate Grey (W38)
 STANDING SEAM METAL ROOFING COLOR



HORIZONTAL LAP SIDING COLOR

ACCENT TRIM AND SOFFIT COLOR

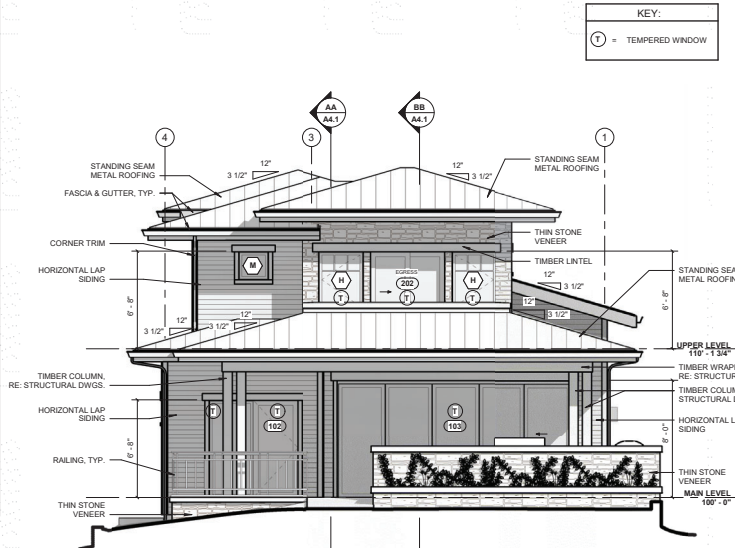
STONE VENEER

WOOD TIMBER STAIN COLOR



WINDOW/DOOR CLADDING, RAILING, AND PARAPET FLASHING COLOR

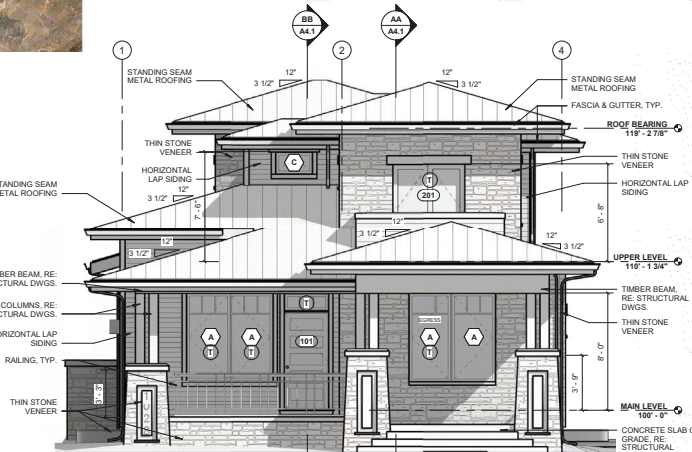
2 EXTERIOR - front



KEY:	
Ⓡ	= TEMPERED WINDOW

3 NORTH ELEVATION

1/4" = 1'-0"



1 SOUTH ELEVATION

1/4" = 1'-0"

**1028 AKIN AVE
 RESIDENCE**

1028 AKIN AVENUE
 FORT COLLINS, CO



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418 Carolina Ave Suite 200, Fort Collins, CO 80501 | 970.224.1191
 100 East Loveland, Loveland, CO 80538 | 970.224.0879
www.vfla.com

IN ASSOCIATION WITH:

CIVIL ENGINEER:

KEEFE CIVIL, INC.
 3126 CROCKETT STREET
 FORT COLLINS, COLORADO 80526
 970.210.6688
 CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:

TO STRUCUTRAL ENGINEERING INC
 2909 OXFORD COURT
 FORT COLLINS, COLORADO 80525
 970.372.1140
jordan@tostructural.com
 CONTACT: JORDAN HALVORSON

CONSTRUCTION SET 09-16-2022

SHEET ISSUANCES

DESCRIPTION	DATE

REVISIONS

No.	Description	Date

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CHECKED BY: TH

SJAL



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EXTERIOR ELEVATIONS

DRAWING NUMBER:

A3.1


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PROJECT NUMBER: 2021-76

1028 AKIN AVE RESIDENCE

1028 AKIN AVENUE
FORT COLLINS, CO



VFLA
VAUGHT FRYE LARSON ARONSON
ARCHITECTURE + INTERIORS

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418 Canyon Ave Suite 200, Fort Collins, CO 80521 | 970.224.1191
100 East Loveland, Loveland, CO 80538 | 970.585.8710
www.VFLA.com

IN ASSOCIATION WITH:


CIVIL ENGINEER:
KEEFE CIVIL, INC.
3126 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.215.8558
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TD STRUCTURAL ENGINEERING INC
2909 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
jordan@tdstructural.com
CONTACT: JORDAN HALVORSON

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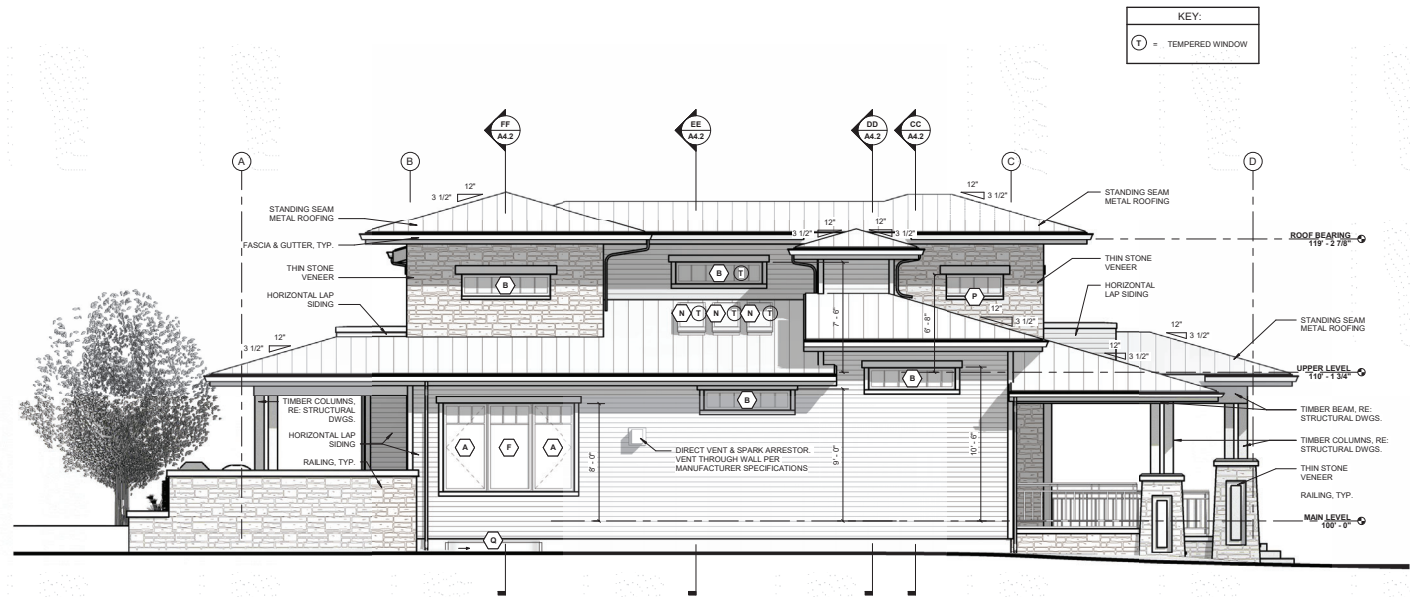
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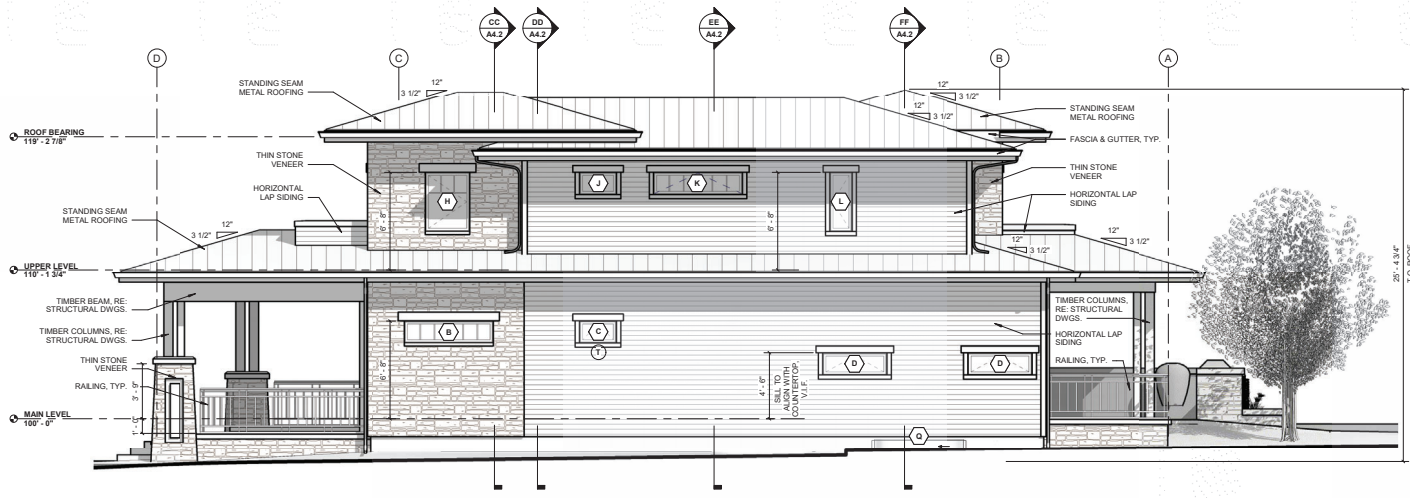
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EXTERIOR ELEVATIONS

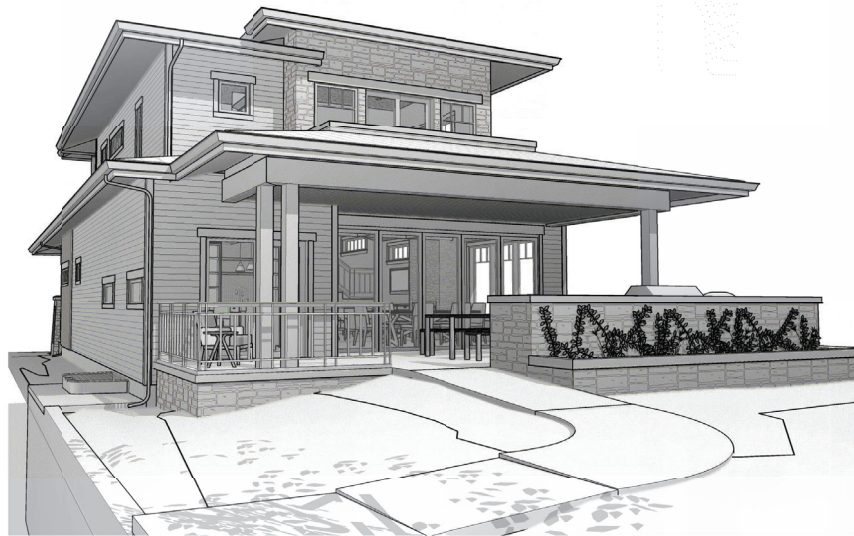
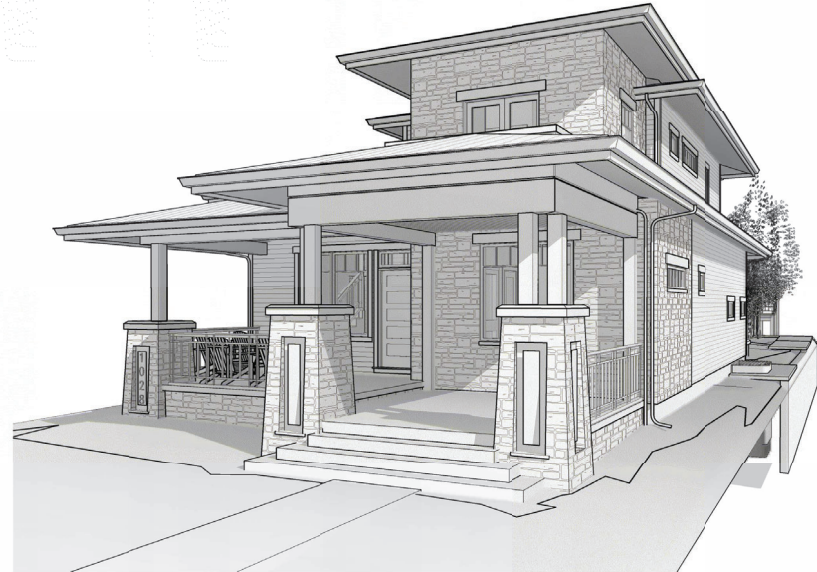
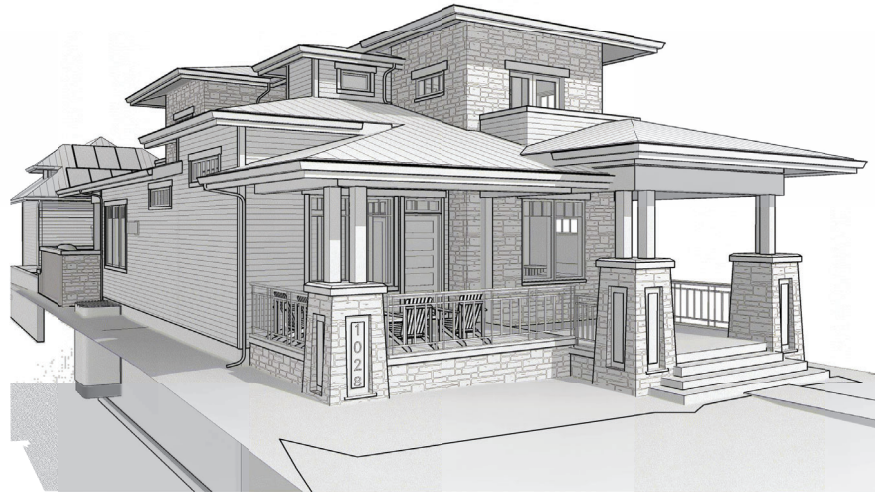
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A3.2



2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



PROJECT NUMBER: 2021-76

1028 AKIN AVE RESIDENCE

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100 East Loveland, Cheyenne, WY 82001 | 307.638.8716
www.VFLA.com

IN ASSOCIATION WITH:

CIVIL ENGINEER:
KEEFE CIVIL, INC.
3126 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.215.6658
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TO STRUCTURAL ENGINEERING INC
2909 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
jordant@tstructural.com
CONTACT: JORDAN HALVORSON

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DESCRIPTION	DATE

REVISIONS

No. Description Date

No.	Description	Date

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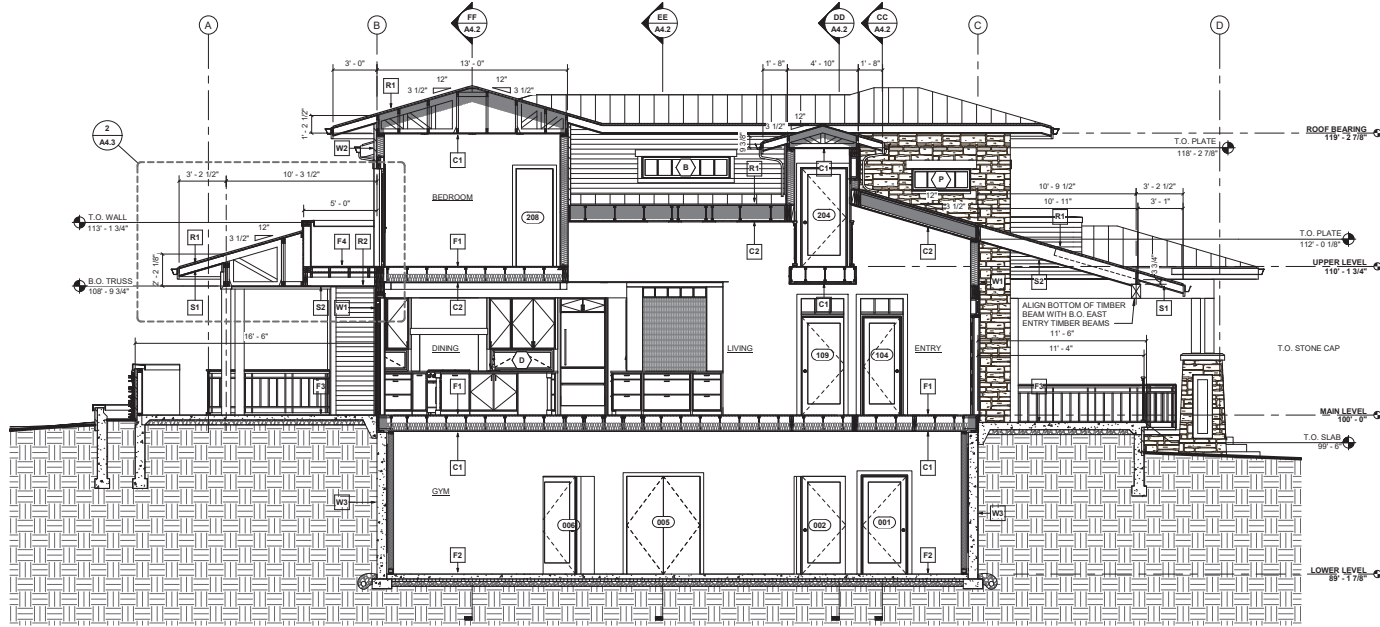
EXTERIOR PERSPECTIVES

DRAWING NUMBER:

A3.3

GENERAL FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY WHEN DISCREPANCIES ARE DISCOVERED.
- IT IS THE RESPONSIBILITY OF THE MECHANICAL AND ELECTRICAL SUBCONTRACTORS TO REVIEW ALL OF THE DRAWINGS, INCLUDING ARCHITECTURAL, FOR WORK UNDER THEIR RESPECTIVE CONTRACTS. ROOF PLANS AND REFLECTED CEILING PLANS DESCRIBE MECHANICAL AND ELECTRICAL WORK AS DO OTHER DRAWINGS. NO EXTRAS WILL BE ALLOWED FOR WORK SHOWN IN ANY PART OF THESE DRAWINGS, OR DESCRIBED IN ANY PART OF THE SPECIFICATIONS.
- DIMENSIONS ARE FROM FACE OF STUD, FACE OF MASONRY, OR FACE OF CONCRETE AND TO GRID LINES UNLESS NOTED OTHERWISE. WHERE DIMENSION IS NOTED "CLEAR", DIMENSION IS TO FINAL FINISH.
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUDS UNLESS NOTED OR DIMENSIONED OTHERWISE.
- ALL INTERIOR WALLS TO BE 2X4 WOOD STUDS UNLESS NOTED OR DIMENSIONED OTHERWISE.
- ALL WET WALLS TO BE 2X6 WOOD STUDS.
- COORDINATE ALL SHEAR WALLS WITH STRUCTURAL DRAWINGS.
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF HOLD DOWNS.
- SEE STRUCTURAL DRAWINGS FOR CONCRETE FOUNDATION WALLS AND FOOTING SPECIFICATIONS.
- ALL CONCRETE PATIOS TO BE SLOPED 1/8" PER FOOT FOR POSITIVE DRAINAGE.
- VERIFY WINDOW LOCATIONS AND SIZING ON EXTERIOR ELEVATIONS AND FLOOR PLANS.
- FRAME DOOR OPENINGS 6" FROM FACE OF PERPENDICULAR WALL ON HINGE SIDE AT ROOMS UNLESS NOTED OTHERWISE.
- AT FIRE-RATED WALLS WHERE OPENINGS ARE GREATER THAN 16 SQUARE INCHES OR WHERE TOTAL AREA OF OPENINGS EXCEEDS 100 SQUARE INCHES IN 100 SQUARE FEET, WRAP 5/8" TYPE 'X' GYP. BD. BEHIND OPENINGS PER U.L. DESIGN #US10.
- EXTEND GYP. BD. ON WALLS TO UNDERSIDE OF GYP. BD. CEILINGS UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING WHERE REQUIRED.
- PROVIDE R-13 ACOUSTIC BATT INSULATION AT INTERIOR PARTITIONS SURROUNDING ALL BATHROOMS, BEDROOMS, OFFICE, AND LAUNDRY ROOM.
- TEST FOR RADON AND MITIGATE AS NEEDED.



BB BUILDING SECTION BB
1/4" = 1'-0"



AA BUILDING SECTION AA
1/4" = 1'-0"

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418 Canyon Ave Suite 200, Fort Collins, CO 80521 | 970.224.1191
100 East Lincoln, Olympia, WA 98501 | 360.658.0750
www.vfla.com

IN ASSOCIATION WITH:
CIVIL ENGINEER:
KEEFE CIVIL, INC.
3126 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.215.8858
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TD STRUCTURAL ENGINEERING INC
2909 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
jordan@tdstructural.com
CONTACT: JORDAN HALVORSON

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BUILDING SECTIONS

DRAWING NUMBER:

A4.1

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1028 AKIN AVE RESIDENCE

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418 Cooper Ave Suite 205, Fort Collins, CO 80521 | 970.224.1191
100 East Loveland, Colorado, NY 60001 | 302.658.0710
www.vfla.com

IN ASSOCIATION WITH:

CIVIL ENGINEER:
KEEFE CIVIL, INC.
3125 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.225.8659
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TD STRUCTURAL ENGINEERING INC
2909 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
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CONTACT: JORDAN HALVORSON

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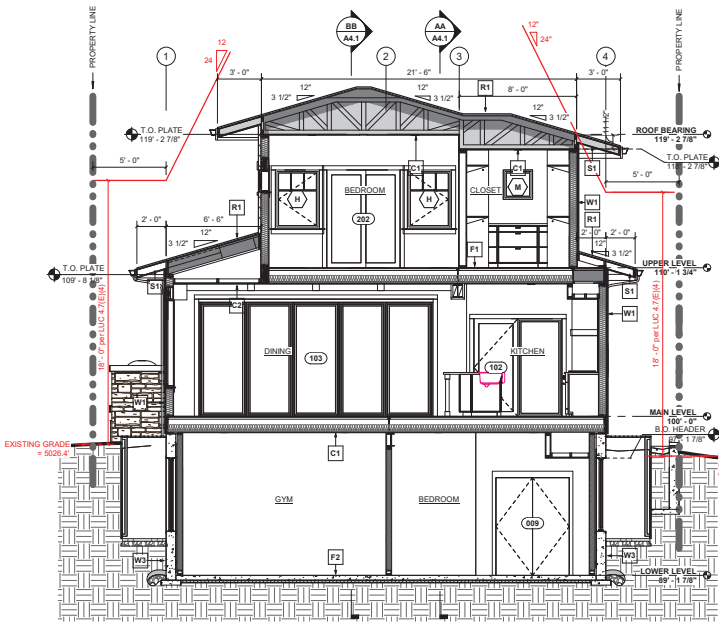


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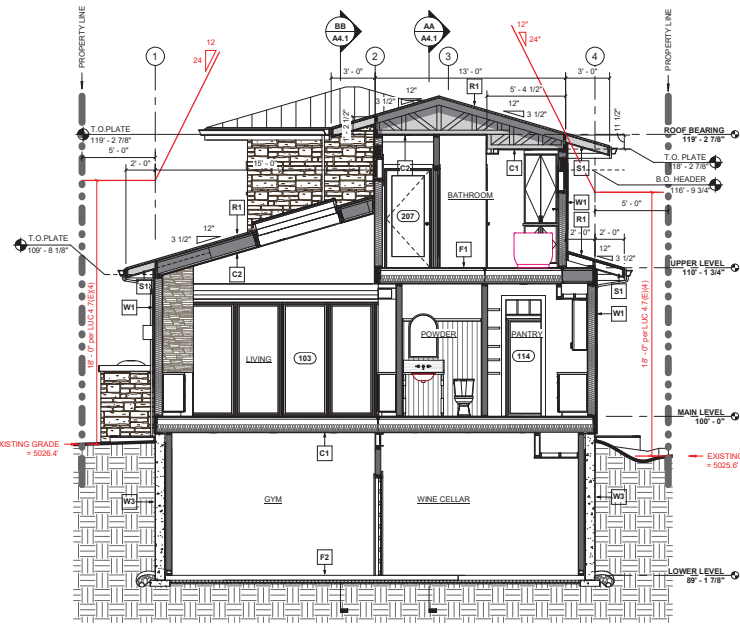
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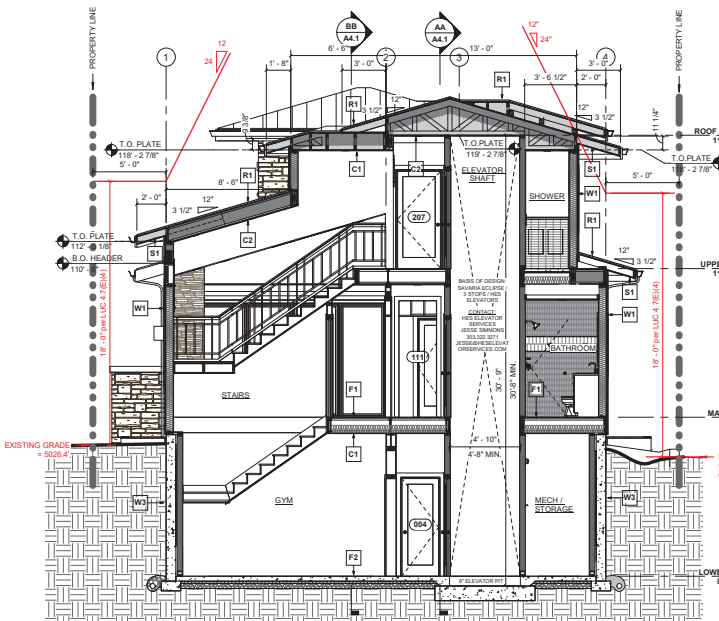
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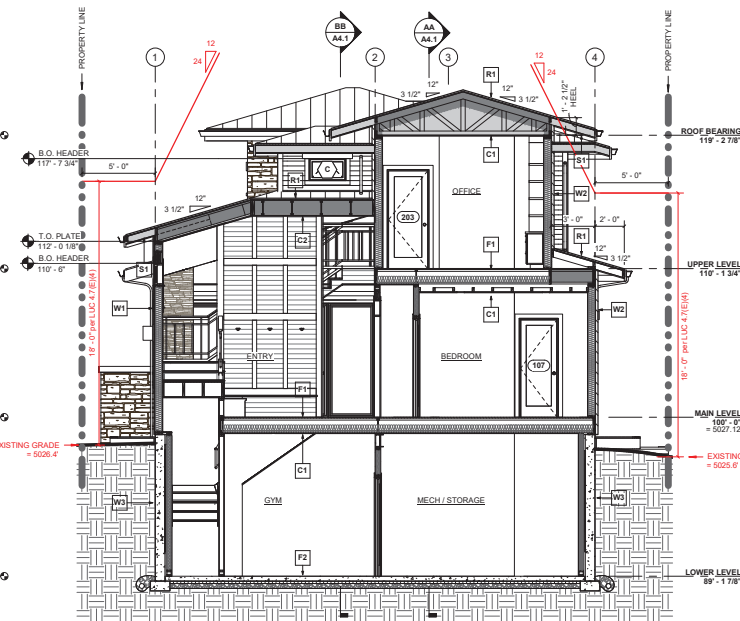
FF BUILDING SECTION FF
1/4" = 1'-0"



EE BUILDING SECTION EE
1/4" = 1'-0"



DD BUILDING SECTION DD
1/4" = 1'-0"



CC BUILDING SECTION CC
1/4" = 1'-0"

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418 Canyon Ave Suite 200, Fort Collins, CO 80501 | 970.224.1911
100 East Loveland, Loveland, CO 80501 | 970.555.8793
www.vfla.com

IN ASSOCIATION WITH:

CIVIL ENGINEER:
KEEFE CIVIL, INC.
3126 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.215.6688
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TO STRUCUTRAL ENGINEERING INC
2909 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
jpr@tostructural.com
CONTACT: JORDAN HALVORSON

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SCALE:



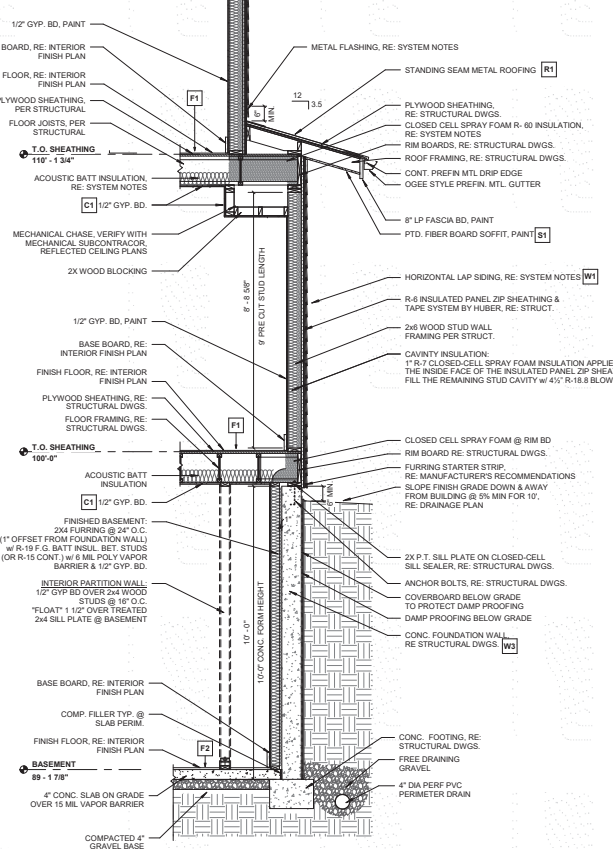
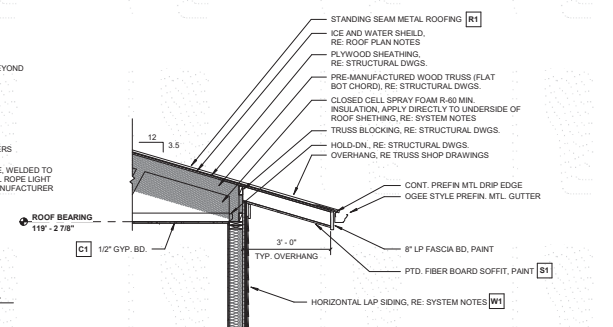
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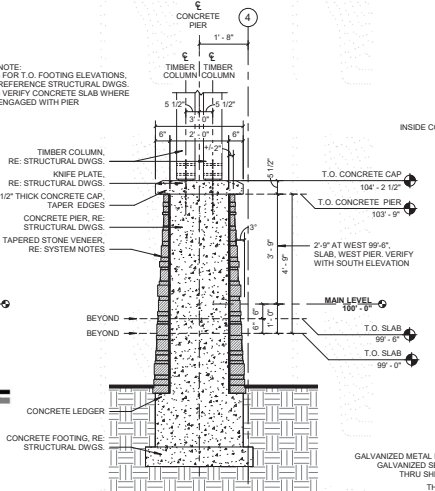
DETAILS & TYPICAL WALL SECTION

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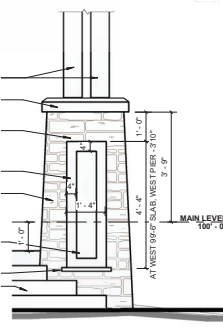
A4.3



5 FRONT STONE PIER PLAN DETAIL
12" x 1'-0"



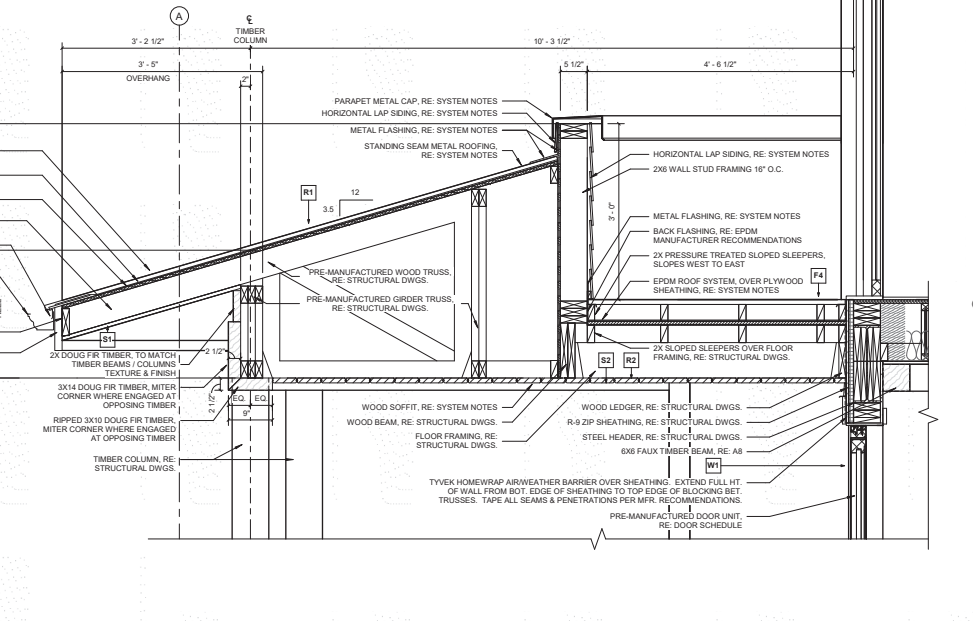
4 FRONT STONE PIER SECTION DETAIL
12" x 1'-0"



3 FRONT STONE PIER ELEVATION
12" x 1'-0"

1 TYPICAL WALL SECTION - TWO STORY W/ BASEMENT
12" x 1'-0"

2 BACK BALCONY DETAIL
1" x 1'-0"



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9/20/2022 2:37:00 PM

PLUMBING FIXTURE SCHEDULE			
Type Mark	Manufacturer	Model	Description
PF-1	KOHLER	6489-0	WHITEHAVEN SINGLE BOWL UNDERMOUNT KITCHEN SINK WITH TALL APRON - WHITE
PF-2	KOHLER	K-596-VS	SIMPLICE PULL DOWN KITCHEN FAUCET - VIBRANT STAINLESS
PF-3	KOHLER	K-6589-LJ-0	NORTHLAND UNDERMOUNT BAR SINK - WHITE
PF-4	KOHLER	K-17889-RL-K8	DERRING - 17 X 14 UNDER MOUNT BATHROOM SINK - TRANSLUCENT WHITE
PF-5	SIGNATURE HARDWARE	1653916	EXIRA WALL MOUNT FAUCET - OIL RUBBED BRONZE
PF-6	KOHLER	K-3754	KELSTON COMFORT HEIGHT TWO PIECE ELONGATED TOILET
PF-7	KOHLER	K-2210-0	CAXTON UNDERMOUNT OVAL BATHROOM SINK
PF-8	DELTA	35960LF-SP	GREYDON TWO HANDLE WIDESPREAD - SPOTSHIELD BRUSHED NICKEL
PF-9	DELTA	T1717271-SS-PR	GALEON 17T SERIESSS SHOWER TRIM WITH ULTRASOAK - LUMICOAT STAINLESS
PF-10	DELTA	35960LF-BL	GREYDON TWO HANDLE WIDESPREAD - MATTE BLACK
PF-11	DELTA	T1717271-BL	GALEON 17T SERIESSS SHOWER TRIM WITH ULTRASOAK - MATTE BLACK
PF-12	DELTA	55424-BL	ACTIVTOUCH HS 2.5 PGM WALL MT 9-SETTING - MATTE BLACK
PF-13	DELTA	T5759-BLWL	CONTEMPORARY - WALL MOUNTED TUB FILLER - MATTE BLACK
PF-14	SIGNATURE HARDWARE	946174-69-T	69° ROSALIND TUB-BRUSH NICKEL IMPERIAL FEET-TAP DECK-NO FAUCET HOLES - DAISY WHEEL OVERFLOW DRAIN
PF-15	KOHLER	K-9136-SN	CLEARFLO - SQUARE DESIGN TILE IN SHOWER DRAIN - VIBRANT POLISHED NICKEL

BATH ACCESSORY SCHEDULE			
Type Mark	Manufacturer	Model	Description
BA-1	ALLEN ROTH	L1-MH-989	ARCH NATURAL FRAMED WALL MIRROR 24 X 36
BA-2	SIGNATURE HARDWARE	948203	PROVINCETOWN TOILET PAPER HOLDER - OIL RUBBED BRONZE
BA-3	SIGNATURE HARDWARE	940979	COOPER ROBE HOOK - OIL RUBBED BRONZE
BA-4	WAYFAIR	GAKS2610	ACCENT MIRROR BY GLASS WAREHOUSE
BA-5	DELTA	73335-SS	KAYRA ROBE HOOK - BRILLIANCE STAINLESS
BA-6	DELTA	73324-SS	KAYRA 24" WALL MOUNTED TOWEL BAR - BRILLIANCE STAINLESS
BA-7	DELTA	73350-SS	KAYRA WALL MOUNTED PIVOTING TOILET PAPER HOLDER - BRILLIANCE STAINLESS
BA-8	SHADES OF LIGHT	MW19082 BK	MINIMAL ESSENTIALS MIRROR - BLACK
BA-9	DELTA	73335-BL	KAYRA ROBE HOOK - MATTE BLACK
BA-10	DELTA	73324-BL	KAYRA 24" WALL MOUNTED TOWEL BAR - MATTE BLACK
BA-11	DELTA	73350-BL	KAYRA WALL MOUNTED PIVOTING TOILET PAPER HOLDER - MATTE BLACK
BA-12	ALNO INC. CREATIONS	G715-S-SN	CONTEMPORARY 1 - 8" CENTERS BACK TO BACK PULLS - SATIN NICKEL

GENERAL NOTES:
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 REFER TO ELEVATIONS AND ENLARGED PLANS FOR PLUMBING TAGS.
 ALL CASEWORK AND CASEWORK PULLS TO BE PROVIDED BY CASEWORK FABRICATOR. COORDINATE WITH MILARC.

PROJECT NUMBER 2021-76

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 CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
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 970.372.1140
 jordan@tdstructural.com
 CONTACT: JORDAN HALVORSON

CONSTRUCTION SET 09-16-2022

SHEET ISSUANCES

REVISION DESCRIPTION DATE

REVISION	No.	Description	Date

DRAWN BY: HL, TH
 CHECKED BY: TH
 SEAL:

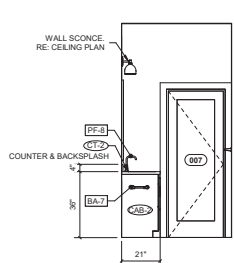


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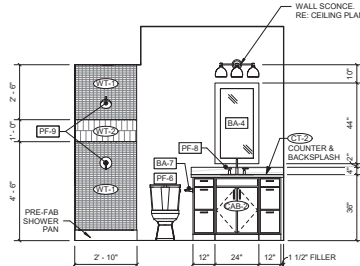
LOWER LEVEL ENLARGED BATH PLAN & INTERIOR ELEVATIONS

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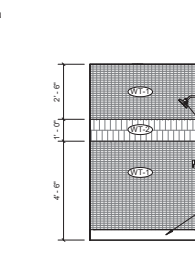
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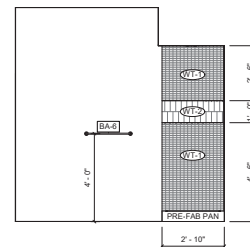
5 LOWER LEVEL BATH - WEST
3/8" = 1'-0"



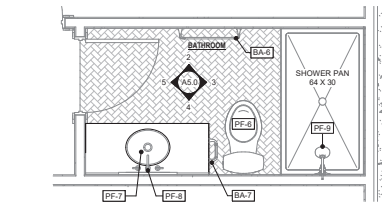
4 LOWER LEVEL BATH - SOUTH
3/8" = 1'-0"



3 LOWER LEVEL BATH - EAST
3/8" = 1'-0"



2 LOWER LEVEL BATH - NORTH
3/8" = 1'-0"



1 ENLARGED PLAN - LOWER LEVEL BATH
1/2" = 1'-0"

PLUMBING FIXTURE SCHEDULE			
Type Mark	Manufacturer	Model	Description
PF-1	KOHLER	6489-0	WHITEHAVEN SINGLE BOWL UNDERMOUNT KITCHEN SINK WITH TALL APRON - WHITE
PF-2	KOHLER	K-656-VS	SIMPLICE PULL DOWN KITCHEN FAUCET - VIBRANT STAINLESS
PF-3	KOHLER	K-6589-U-0	NORTHLAND UNDERMOUNT BAR SINK - WHITE
PF-4	KOHLER	K-17889-RL-K8	DERRING - 17 X 14 UNDER MOUNT BATHROOM SINK - TRANSLUCENT WHITE
PF-5	SIGNATURE HARDWARE	1653916	EXIRA WALL MOUNT FAUCET - OIL RUBBED BRONZE
PF-6	KOHLER	K-3754	KELSTON COMFORT HEIGHT TWO PIECE ELONGATED TOILET
PF-7	KOHLER	K-2210-0	CAXTON UNDERMOUNT OVAL BATHROOM SINK
PF-8	DELTA	35860LF-SF	GREYDON TWO HANDLE WIDESPREAD - SPOTSHIELD BRUSHED NICKEL
PF-9	DELTA	T177271-SS-PR	GALEON 177 SERIES SHOWER TRIM WITH ULTRASOAK - LUMICOAT STAINLESS
PF-10	DELTA	35860L-BL	GREYDON TWO HANDLE WIDESPREAD - MATTE BLACK
PF-11	DELTA	T177271-BL	GALEON 177 SERIES SHOWER TRIM WITH ULTRASOAK - MATTE BLACK
PF-12	DELTA	55424-BL	ACTIV/TOUCH HS 2.5 PGM WALL MT 9-SETTING - MATTE BLACK
PF-13	DELTA	T5759-BLWL	CONTEMPORARY - WALL MOUNTED TUB FILLER - MATTE BLACK
PF-14	SIGNATURE HARDWARE	946174-69-T	69° ROSALIND TUB-BRUSH NICKEL IMPERIAL FEET-TAP DECK-NO FAUCET HOLES - DAISY WHEEL OVERFLOW DRAIN
PF-15	KOHLER	K-9136-SN	CLEARFLO - SQUARE DESIGN TILE IN SHOWER DRAIN - VIBRANT POLISHED NICKEL

BATH ACCESSORY SCHEDULE			
Type Mark	Manufacturer	Model	Description
BA-1	ALLEN ROTH	L1-MH-989	ARCH NATURAL FRAMED WALL MIRROR 24 X 36
BA-2	SIGNATURE HARDWARE	948203	PROVINCETOWN TOILET PAPER HOLDER - OIL RUBBED BRONZE
BA-3	SIGNATURE HARDWARE	940979	COOPER ROBE HOOK - OIL RUBBED BRONZE
BA-4	WAYFAIR	GAKS2610	ACCENT MIRROR BY GLASS WAREHOUSE
BA-5	DELTA	73335-SS	KAYRA ROBE HOOK - BRILLIANCE STAINLESS
BA-6	DELTA	73324-SS	KAYRA 24" WALL MOUNTED TOWEL BAR - BRILLIANCE STAINLESS
BA-7	DELTA	73350-SS	KAYRA WALL MOUNTED PIVOTING TOILET PAPER HOLDER - BRILLIANCE STAINLESS
BA-8	SHADES OF LIGHT	MW19082 BK	MINIMAL ESSENTIALS MIRROR - BLACK
BA-9	DELTA	73335-BL	KAYRA ROBE HOOK - MATTE BLACK
BA-10	DELTA	73324-BL	KAYRA 24" WALL MOUNTED TOWEL BAR - MATTE BLACK
BA-11	DELTA	73350-BL	KAYRA WALL MOUNTED PIVOTING TOILET PAPER HOLDER - MATTE BLACK
BA-12	ALNO INC. CREATIONS	G715-8-SN	CONTEMPORARY I - 8" CENTERS BACK TO BACK PULLS - SATIN NICKEL

GENERAL NOTES:
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INSPIRATION IMAGE: COUNTERTOP DETAIL AND WALL PANELING
 NOTE: IMAGE PROVIDED FOR DESIGN INTENT REFERENCE ONLY

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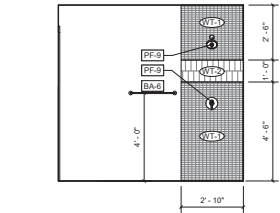
IN ASSOCIATION WITH:

CIVIL ENGINEER:

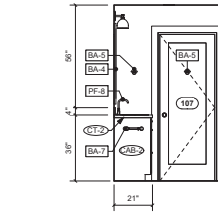
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 970.275.6658
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STRUCTURAL ENGINEER:

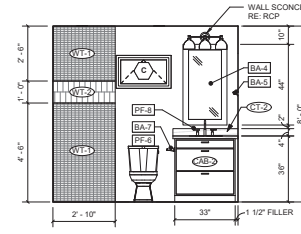
TG STRUCTURAL ENGINEERING INC
 2989 OXFORD COURT
 FORT COLLINS, COLORADO 80525
 970.372.1140
 jordan@tgstructural.com
 CONTACT: JORDAN HALVORSON



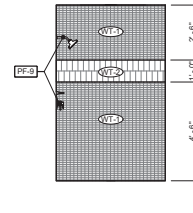
10 GUEST BATH - WEST
 3/8" = 1'-0"



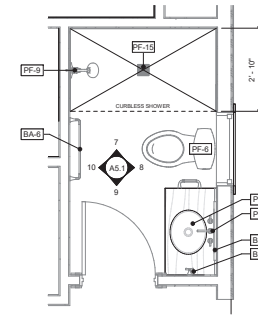
9 GUEST BATH - SOUTH
 3/8" = 1'-0"



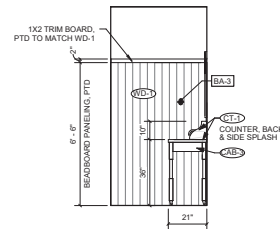
8 GUEST BATH - EAST
 3/8" = 1'-0"



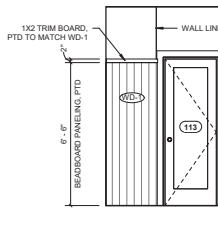
7 GUEST BATH - NORTH
 3/8" = 1'-0"



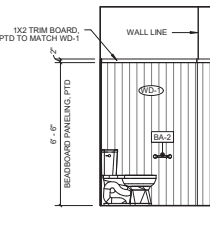
6 ENLARGED PLAN - GUEST BATH
 1/2" = 1'-0"



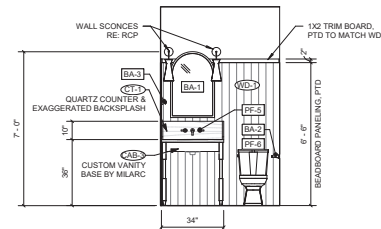
5 POWDER BATH - WEST
 3/8" = 1'-0"



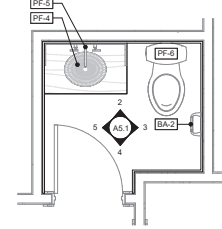
4 POWDER BATH - SOUTH
 3/8" = 1'-0"



3 POWDER BATH - EAST
 3/8" = 1'-0"



2 POWDER BATH - NORTH
 3/8" = 1'-0"



1 ENLARGED PLAN - POWDER BATH
 1/2" = 1'-0"

CONSTRUCTION SET 09-16-2022

SHEET ISSUANCES

DESCRIPTION	DATE

REVISIONS

No.	Description	Date

DRAWN BY: RL, TM

CHECKED BY: TM

SCALE:



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MAIN FLOOR ENLARGED BATH PLANS & INTERIOR ELEVATIONS

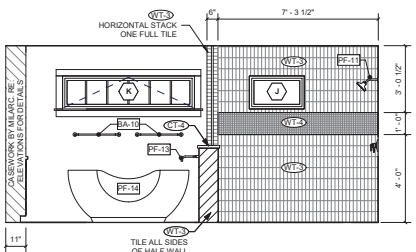
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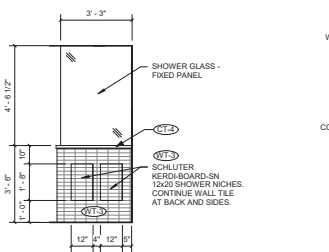
PLUMBING FIXTURE SCHEDULE			
Type Mark	Manufacturer	Model	Description
PF-1	KOHLER	6489-0	WHITEHAVEN SINGLE BOWL UNDERMOUNT KITCHEN SINK WITH TALL APRON - WHITE
PF-2	KOHLER	K-596-VS	SIMPLICE PULL DOWN KITCHEN FAUCET - VIBRANT STAINLESS
PF-3	KOHLER	K-6589-U-0	NORTHLAND UNDERMOUNT BAR SINK - WHITE
PF-4	KOHLER	K-17889-RL-K8	DERRING - 17 X 14 UNDER MOUNT BATHROOM SINK - TRANSLUCENT WHITE
PF-5	SIGNATURE HARDWARE	1653916	EXIRA WALL MOUNT FAUCET - OIL RUBBED BRONZE
PF-6	KOHLER	K-3754	KELSTON COMFORT HEIGHT TWO PIECE ELONGATED TOILET
PF-7	KOHLER	K-2210-0	CAXTON UNDERMOUNT OVAL BATHROOM SINK
PF-8	DELTA	35960LF-SP	GREYDON TWO HANDLE WIDESPREAD - SPOTSHIELD BRUSHED NICKEL
PF-9	DELTA	T177271-SS-PR	GALEON 17T SERIES S SHOWER TRIM WITH ULTRASOAK - LUMICOAT STAINLESS
PF-10	DELTA	35960LF-BL	GREYDON TWO HANDLE WIDESPREAD - MATTE BLACK
PF-11	DELTA	T177271-BL	GALEON 17T SERIES S SHOWER TRIM WITH ULTRASOAK - MATTE BLACK
PF-12	DELTA	55424-BL	ACTIVOUGH HS 2.5 PGM WALL MT 9-SETTING - MATTE BLACK
PF-13	DELTA	T5759-BLWL	CONTEMPORARY - WALL MOUNTED TUB FILLER - MATTE BLACK
PF-14	SIGNATURE HARDWARE	946174-69-T	69° ROSALIND TUB-BRUSH NICKEL IMPERIAL FEET-TAP DECK-NO FAUCET HOLES - DAISY WHEEL OVERFLOW DRAIN
PF-15	KOHLER	K-9136-SN	CLEARFLO - SQUARE DESIGN TILE IN SHOWER DRAIN - VIBRANT POLISHED NICKEL

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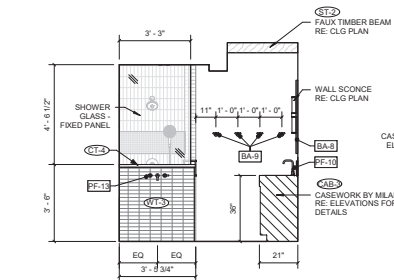
BATH ACCESSORY SCHEDULE			
Type Mark	Manufacturer	Model	Description
BA-1	ALLEN ROTH	L1-MH-989	ARCH NATURAL FRAMED WALL MIRROR 24 X 36
BA-2	SIGNATURE HARDWARE	948203	PROVINCETOWN TOILET PAPER HOLDER - OIL RUBBED BRONZE
BA-3	SIGNATURE HARDWARE	940979	COOPER ROBE HOOK - OIL RUBBED BRONZE
BA-4	WAYFAIR	GAKS2610	ACCENT MIRROR BY GLASS WAREHOUSE
BA-5	DELTA	73335-SS	KAYRA ROBE HOOK - BRILLIANCE STAINLESS
BA-6	DELTA	73324-SS	KAYRA 24" WALL MOUNTED TOWEL BAR - BRILLIANCE STAINLESS
BA-7	DELTA	73350-SS	KAYRA WALL MOUNTED PIVOTING TOILET PAPER HOLDER - BRILLIANCE STAINLESS
BA-8	SHADES OF LIGHT	MW19082 BK	MINIMAL ESSENTIALS MIRROR - BLACK
BA-9	DELTA	73335-BL	KAYRA ROBE HOOK - MATTE BLACK
BA-10	DELTA	73324-BL	KAYRA 24" WALL MOUNTED TOWEL BAR - MATTE BLACK
BA-11	DELTA	73350-BL	KAYRA WALL MOUNTED PIVOTING TOILET PAPER HOLDER - MATTE BLACK
BA-12	ALNO INC. CREATIONS	G715-8-SN	CONTEMPORARY 1-6" CENTERS BACK TO BACK PULLS - SATIN NICKEL



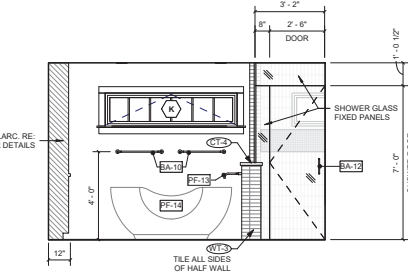
7 SHOWER - EAST
3/8" = 1'-0"



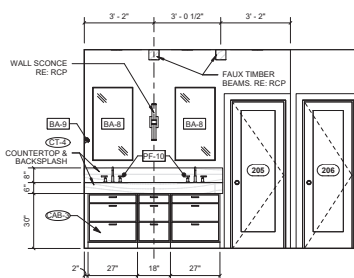
6 SHOWER - NORTH
3/8" = 1'-0"



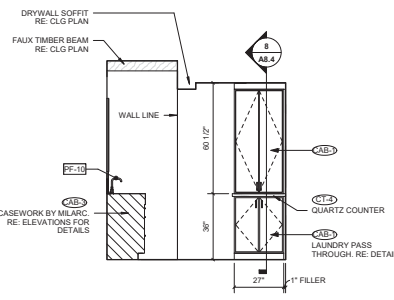
4 PRIMARY BATHROOM - SOUTH
3/8" = 1'-0"



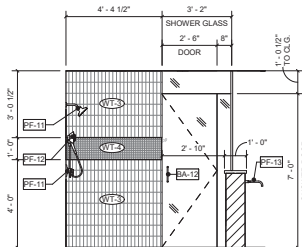
3 PRIMARY BATHROOM - EAST
3/8" = 1'-0"



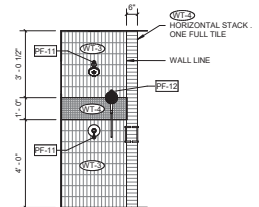
5 PRIMARY BATHROOM - WEST
3/8" = 1'-0"



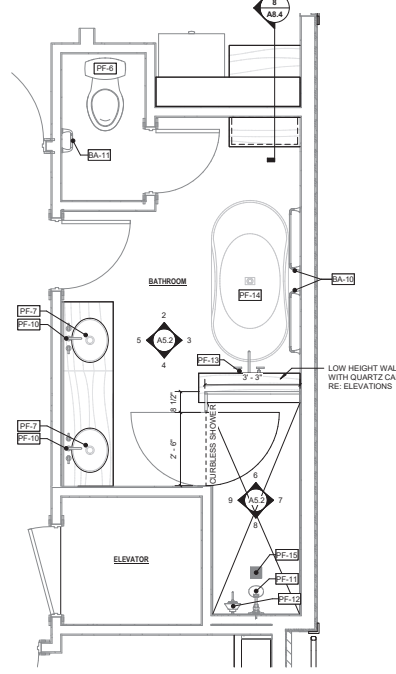
2 PRIMARY BATHROOM - NORTH
3/8" = 1'-0"



9 SHOWER - WEST
3/8" = 1'-0"



8 SHOWER - SOUTH
3/8" = 1'-0"



1 ENLARGED PLAN - MASTER BATHROOM
1/2" = 1'-0"

PROJECT NUMBER: 2021-76
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 970.215.6898
 CONTACT: MEGAN KEEFE
STRUCTURAL ENGINEER:
 TD STRUCTURAL ENGINEERING INC
 2989 OXFORD COURT
 FORT COLLINS, COLORADO 80525
 970.372.1140
jon@tdstructural.com
 CONTACT: JORDAN HALVORSON

CONSTRUCTION SET 09-16-2022

DESCRIPTION	DATE

REVISIONS	No.	Description	Date



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UPPER FLOOR ENLARGED BATH PLAN & INTERIOR ELEVATIONS

DRAWING NUMBER:
A5.2

PROJECT NUMBER: 2021-76

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KEEFE CIVIL, INC.
3125 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.215.6658
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TO STRUCTURAL ENGINEERING INC
2909 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
jordan@tostructural.com
CONTACT: JORDAN HALVORSON

CONSTRUCTION SET 09-16-2022

DESCRIPTION	DATE

REVISION	No.	Description	Date

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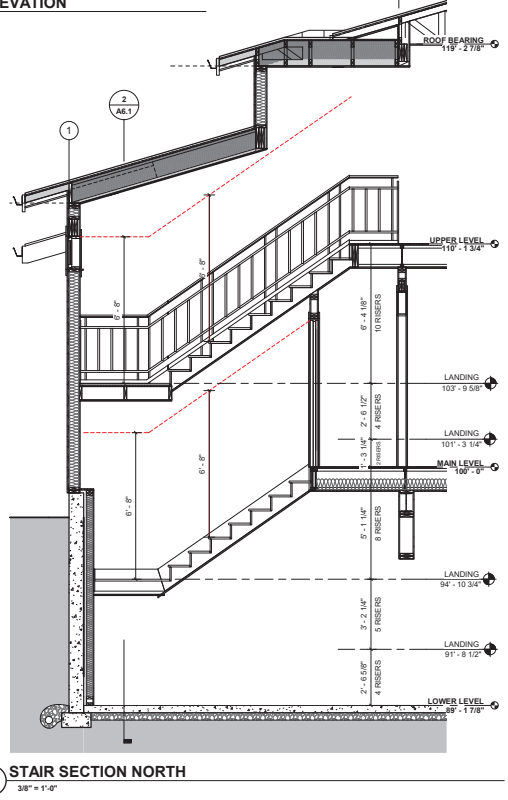
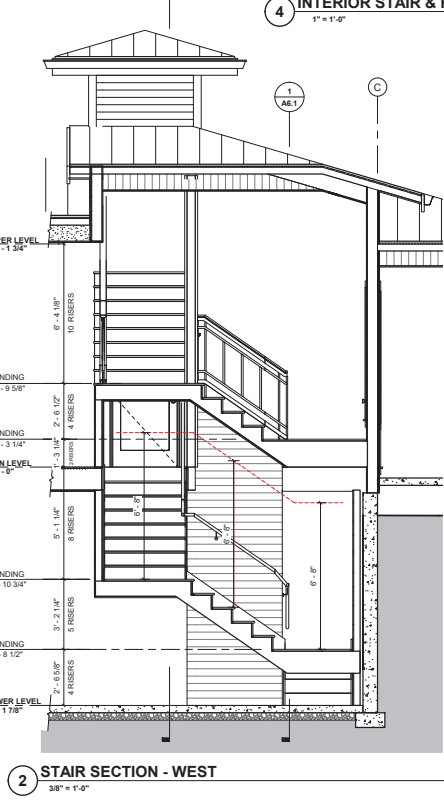
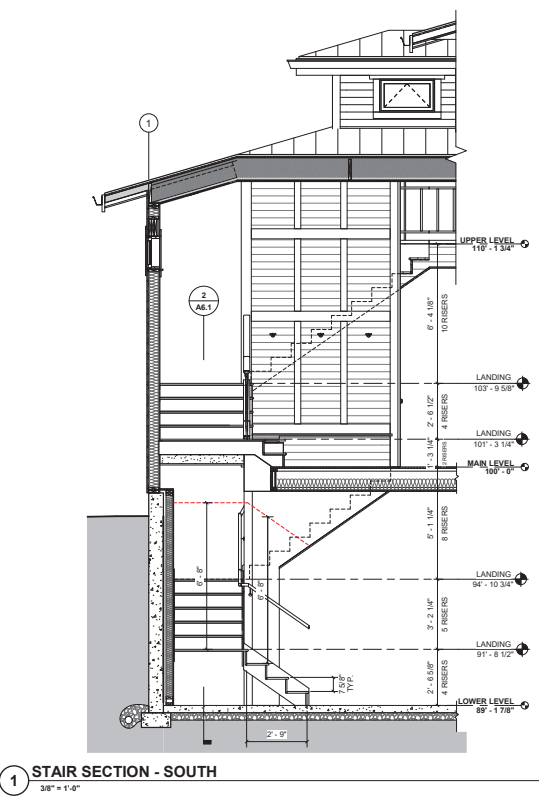
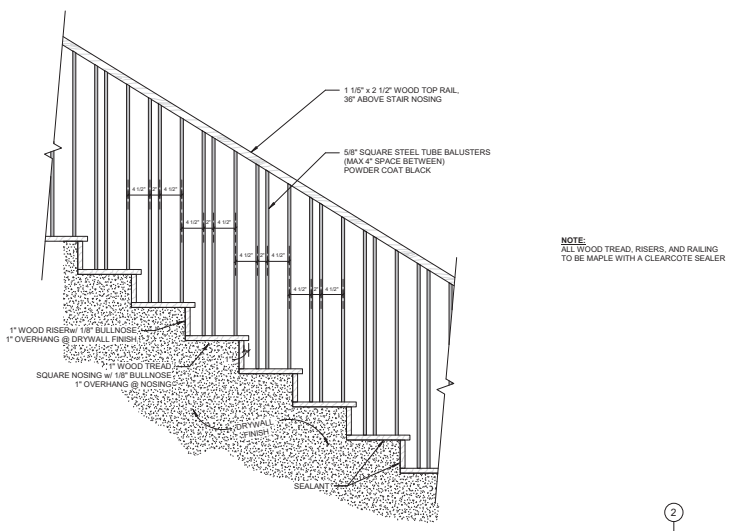
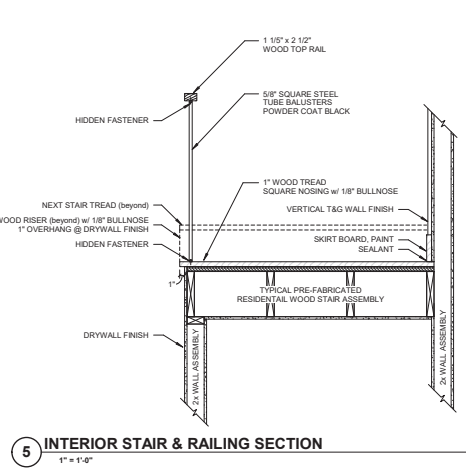


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STAIR DETAILS

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970.210.6809
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TO STRUCTURAL ENGINEERING INC
2909 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
info@tsstructural.com
CONTACT: JORDAN HALVORSON

CONSTRUCTION SET 09-16-2022

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REVISIONS	No.	Description	Date

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**DOORS SCHEDULE &
DETAILS**

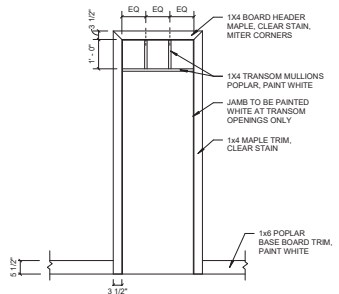
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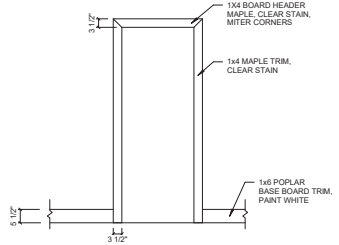
DOOR SCHEDULE							
Door No.	DOOR PANEL		DOOR SIZE			MATERIAL	Comments
	Type	W	X	H			
001	A	36"	X	80"	T.B.D.		
002	F	42"	X	80"	T.B.D.	CASED OPENING, NO DOOR	
003	CO	36"	X	60"	T.B.D.		
004	A	30"	X	80"	T.B.D.		
005	B	30"	X	80"	T.B.D.		
006	F	42"	X	60"	T.B.D.		
007	A	30"	X	80"	T.B.D.	CASED OPENING, NO DOOR	
008	A	30"	X	80"	T.B.D.		
009	B	30"	X	80"	T.B.D.		
101	G	36"	X	80"	2 1/4" WOOD T.B.D.	SOLID WOOD, TEMPERED WINDOW ABOVE W/ MUNTIN BARS, 5 PANEL DOOR	
102	H	36"	X	80"	ALUMINUM CLAD/ WOOD INTERIOR	FULL LITE, FULL LITE MULLED WINDOW (FULL WIDTH 72"), 9" BOTTOM RAIL (TBD), 28 U-FACTOR	
103	L	192"	X	96"	ALUMINUM CLAD	FOLDING, ADA FLOOR RECESSED SILL OPTION, 28 U-FACTOR, NANAWALL	
104	E	36"	X	96"	T.B.D.	CASED OPENING, NO DOOR	
105	A	30"	X	80"	T.B.D.		
106	D	60"	X	80"	T.B.D.	DOUBLE DOOR, SLIDING	
107	A	30"	X	80"	T.B.D.		
108	A	30"	X	80"	T.B.D.		
109	E	36"	X	96"	T.B.D.	CASED OPENING, NO DOOR	
110	A	30"	X	80"	T.B.D.		
111	E	32"	X	96"	T.B.D.	CASED OPENING, NO DOOR	
112	A	28"	X	80"	T.B.D.		
113	A	28"	X	80"	T.B.D.		
114	E	30"	X	96"	T.B.D.	CASED OPENING, NO DOOR	
201	K	60"	X	60"	ALUMINUM CLAD/ WOOD INTERIOR	FULL LITE, 9" BOTTOM RAIL(TBD), EGRESS, 25 U-FACTOR	
202	L	60"	X	60"	ALUMINUM CLAD/ WOOD INTERIOR	FULL LITE, 9" BOTTOM RAIL(TBD), EGRESS, 25 U-FACTOR	
203	A	32"	X	80"	T.B.D.		
204	A	36"	X	80"	T.B.D.		
205	A	28"	X	80"	T.B.D.		
206	A	28"	X	80"	T.B.D.		
207	A	36"	X	80"	T.B.D.		
208	C	30"	X	80"	T.B.D.	POCKET	

***DOOR NOTES:**
 - DOOR MANUFACTURER TO SUPPLY SHOP DRAWINGS TO THE CONTRACTOR AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION
 - ALL EXTERIOR DOORS TO BE INSULATED AND WEATHER STRIP INCLUDING SWEEP
 - ALL DOORS WITH GLASS PANELS TO HAVE TEMPERED GLASS
 - ALL DOOR JAMBS TO BE PRE-HUNG
 - ALL DOORS TO HAVE APPLIED STOPS
 - STORE DOORS FLAT
 - DO NOT DELIVER DOORS UNTIL HUMIDITY HAS BEEN STABILIZED WITHIN THE BUILDING
 - ALL DOORS TO CARRY A 2 YEAR WARRANTY(MIN) AGAINST DELAMINATION OF VENEERS (IF APPLICABLE), WRAPPING BEYOND TOLERANCES SPECIFIED WITHIN THE TRADE.
 - CONTRACTOR TO VERIFY ALL HANDING
 - ALL UNITS TO BE PROVIDED WITH NECESSARY JAMB EXTENSIONS
 - ALL GLAZED DOORS SHALL BE INFC CERTIFIED AND BEAR A LABEL SHOWING COMPLIANCE AND LISTING THE U-FACTOR OF THE UNIT
 - ALL MUNTIN BARS TO BE SIMULATED DIVIDED LITES. VERIFY WITH DOOR ELEVATIONS. INTERNAL DIVIDING COLOR TO BE DETERMINED BY INTERIOR DESIGNER AND ARCHITECT
 - REFER TO EXTERIOR ELEVATIONS FOR DOOR SWING OR SLIDE DIRECTION
 - REFER TO FLOOR PLAN TO IDENTIFY EGRESS DOORS
 - ALL EXTERIOR DOORS WITH GLASS PANELS TO HAVE LOW "E" INSULATED DOUBLE PANE GLAZING
 - ALL GLAZED DOORS SHALL HAVE A U-FACTOR OF .28 OR BETTER.
 - WHERE THE PROPOSED GLAZING AREA IS MORE THAN 30% OF THE WALL AREA BY ELEVATION, AS PROVIDED PER SECTION R102.2 INFORMATION ON CONSTRUCTION DOCUMENTS, A U-FACTOR OF .25 IS REQUIRED PER R402.1.3
 - VERIFY JAMB EXTENSIONS WITH ZIP SHEATHING

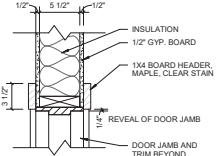
IN THE CITY OF FORT COLLINS
MAXIMUM ALLOWABLE U-VALUE TO BE .28



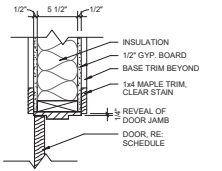
4 INTERIOR DOOR TRIM - WITH TRANSOM
 1/2" = 1'-0"



3 INTERIOR DOOR TRIM - CRAFTSMAN
 1/2" = 1'-0"

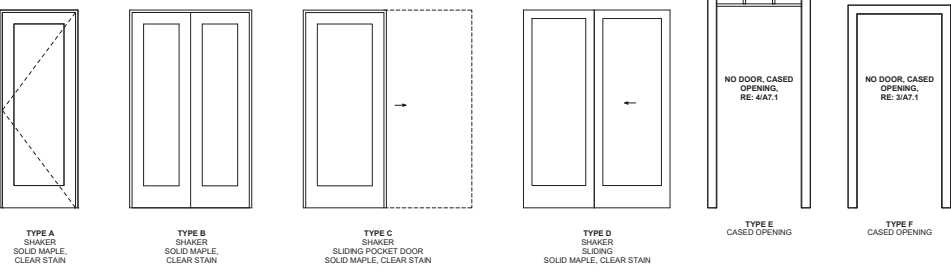


2 DOOR HEAD - CRAFTSMAN
 1 1/2" = 1'-0"

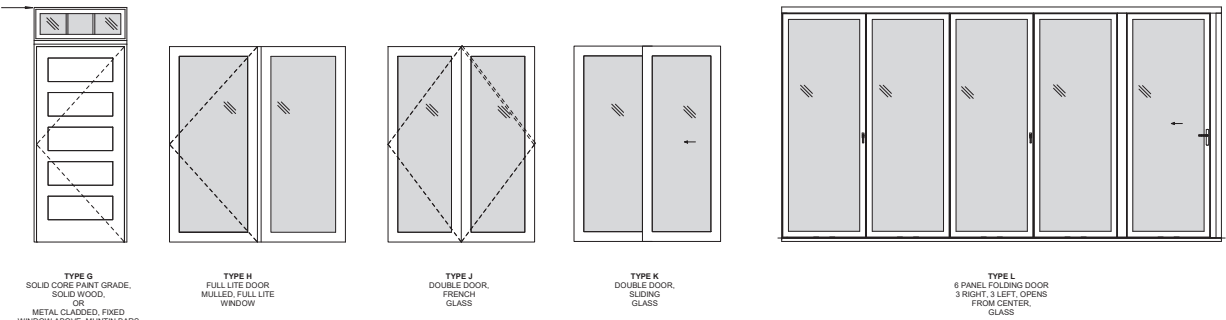


1 DOOR JAMB - CRAFTSMAN
 1 1/2" = 1'-0"

INTERIOR DOORS



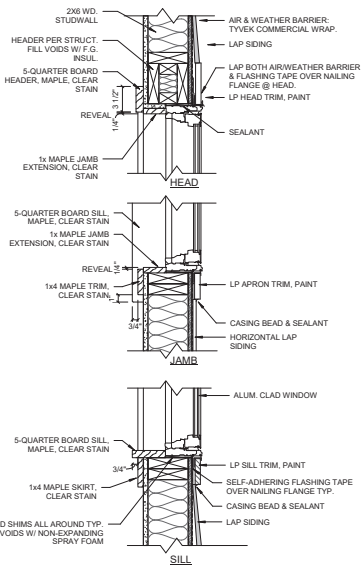
EXTERIOR DOORS



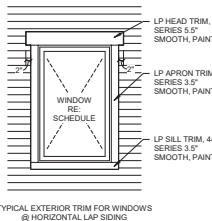
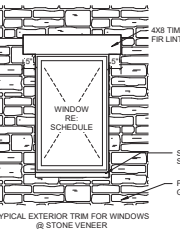
DOOR LEGEND
 *NOTE REFER TO FLOOR PLANS & EXTERIOR ELEVATIONS FOR DOOR SWING OR SLIDE DIRECTION
 1/2" = 1'-0"

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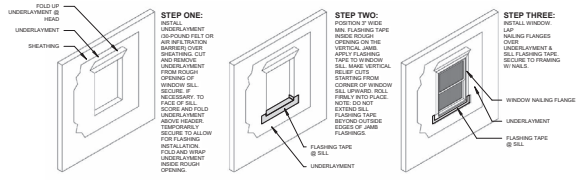
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2 INTERIOR WINDOW TRIM - CRAFTSMAN
1/2" = 1'-0"



3 WINDOW DETAIL, CRAFTSMAN
1 1/2" = 1'-0"



NOTES:
- UNDERLAYMENT VARIES DEPENDING ON WALL TYPE: STUCCO & NATURAL STONE VENEER TO HAVE A 2-LAYER UNDERLAYMENT - 30M FELT OVER TYVEK COMMERCIAL WRAP.
- METAL WALL PANELS & BRICK VENEER HAVE A SINGLE LAYER UNDERLAYMENT - TYVEK COMMERCIAL WRAP ONLY.
- ON THE INTERNET, SEE pg 9 OF "CONTRACTOR'S GUIDE - WINDOWS, DOORS AND DETAIL AREAS" @ <http://www.thebrickconstruction.com/prodfile.cfm?id=281> FOR A STEP-BY-STEP PHOTOGRAPHIC DESCRIPTION OF THE FLASHING PROCEDURE.

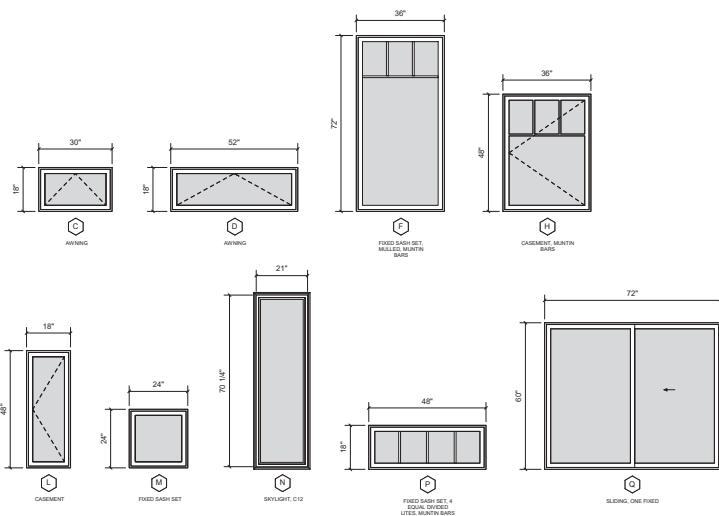
4 WINDOW FLASHING DETAIL
3/4" = 1'-0"

1 EXTERIOR WINDOW TRIM
1/2" = 1'-0"

WINDOW SCHEDULE				
Window Type	Description	Width	Height	Comments
A	CASEMENT	36"	72"	
B	FIXED	72"	18"	
C	AWNING	30"	18"	
D	AWNING	52"	18"	
F	FIXED	36"	72"	
H	CASEMENT	36"	48"	NORTH WINDOWS .25 U-FACTOR
J	FIXED	30"	18"	
K	AWNING	72"	18"	
L	CASEMENT	18"	48"	
M	FIXED	24"	24"	.25 U-FACTOR
N	SKYLIGHT	21"	70 1/4"	VELUX, C12
P	FIXED	<varies>	<varies>	
Q	SLIDER	72"	60"	

***WINDOW NOTES:**
- WINDOW MANUFACTURER TO SUPPLY SHOP DRAWINGS TO THE CONTRACTOR AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION
- EXTERIOR FRAME COLOR: BLACK
- INTERIOR FRAME COLOR: BLACK
- ALL OPERABLE UNITS SCREENED. SCREEN AND FRAME TO BE DETERMINED BY INTERIOR DESIGNER AND ARCHITECT
- ALL MUNTIN BARS TO BE SIMULATED DIVIDED LITES. VERIFY WITH WINDOW ELEVATIONS. INTERNAL DIVIDING COLOR TO BE DETERMINED BY INTERIOR DESIGNER AND ARCHITECT
- REFER TO EXTERIOR ELEVATIONS FOR WINDOW SWING OR SLIDE DIRECTION
- REFER TO EXTERIOR ELEVATIONS TO IDENTIFY TEMPERED WINDOWS
- ALL WINDOW UNITS TO HAVE LOW E" INSULATED DOUBLE PANE GLAZING
- ALL UNITS TO BE PROVIDED WITH JAMB EXTENSIONS. VERIFY WITH ZIP SHEATING
- ALL WINDOWS SHALL COMPLY WITH THE GOVERNING INTERNATIONAL ENERGY CONSERVATION CODE 402.1.1 AND THE INTERNATIONAL RESIDENTIAL CODE N1102.1.1
- ALL WINDOWS SHALL HAVE A U-FACTOR OF .28 OR BETTER
- WHERE THE PROPOSED GLAZING AREA IS MORE THAN 30% OF THE WALL AREA BY ELEVATION, AS PROVIDED PER SECTION 0110.2 INFORMATION ON CONSTRUCTION DOCUMENTS, A U-FACTOR OF .25 IS REQUIRED PER R402.1.3

WINDOW LEGEND
1/2" = 1'-0"



PROJECT NUMBER: 2021-70

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KEEFE CIVIL, INC.
3125 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.225.9599
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TD STRUCTURAL ENGINEERING INC
2909 OXFORD COURT
FORT COLLINS, COLORADO 80525
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jordan@tdstructural.com
CONTACT: JORDAN HALVORSON

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DESCRIPTION	DATE

REVISIONS:

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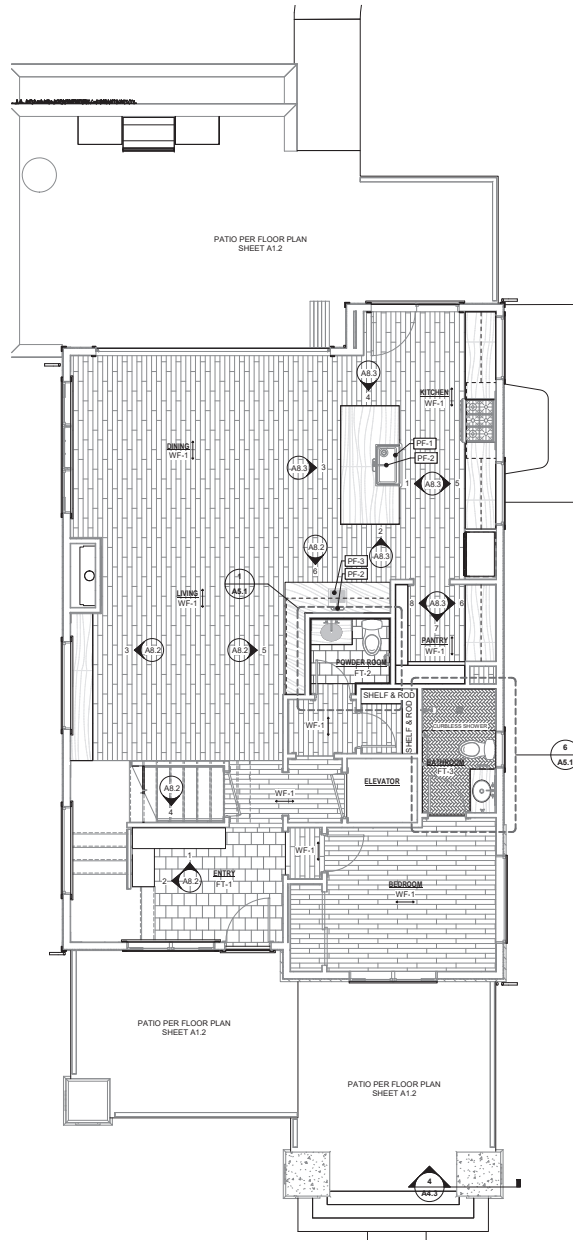
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WINDOW SCHEDULE & DETAILS

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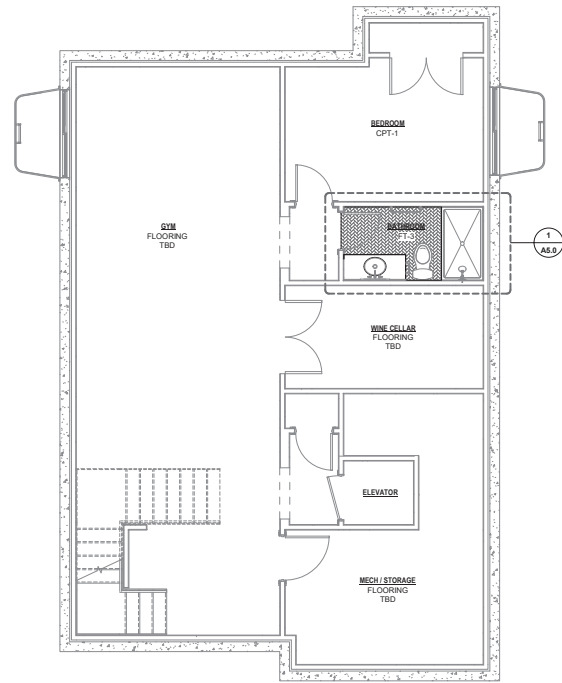


PATIO PER FLOOR PLAN SHEET A1.2

PATIO PER FLOOR PLAN SHEET A1.2

PATIO PER FLOOR PLAN SHEET A1.2

2 MAIN FLOOR PLAN
1/4" = 1'-0"



1 LOWER FLOOR PLAN
1/4" = 1'-0"

INTERIOR FINISH LEGEND

- PAINTS & STAINS**
- P-1 SHERWIN WILLIAMS - 7005 PURE WHITE (ALL WALLS & CEILINGS U.N.O.)
 - ST-1 MAPLE WOOD, CLEAR STAIN (ALL DOORS & TRIM U.N.O.)
 - ST-2 MAPLE WOOD, MINWAX STAIN - MW233 (TIMBER BEAMS & TAG CEILINGS)
- FLOORING**
- CPT-1 CARPET FLOORING - TBD
 - WF-1 WOOD FLOORING - CRAFT ARTISAN WOOD FLOORS - HICKORY - ARAGON
 - FT-1 PORCELAIN TILE - CERAMIC TECHNICS - NAPOLI MODULAR STONE - MODULO - GROUND *GROUT: MAPEI 11 SAHARA BEIGE
 - FT-2 PORCELAIN TILE - BEDROSJANS - VILLA AZUL 10 X 10 MATTE - BLUE *GROUT: MAPEI 39 VIKORY
 - FT-3 PORCELAIN TILE - BEDROSJANS - HERRINGBONE - PUTTY - DEC90PLUT123MO *GROUT: MAPEI 11 SAHARA BEIGE
 - FT-4 PORCELAIN TILE - BEDROSJANS - PALAZZO 12 X 12 - VNTAGE GREY *GROUT: MAPEI 107 IRON
 - FT-5 PEBBLE STONE - SOLSTONE - KUALI PEBBLE MOSAIC - 6032 SILVERADO BLEND *GROUT: MAPEI 83 WARM GRAY
- WALLS**
- STONE-1 FIREPLACE STONE - TBD
 - GL-1 BACK PAINTED GLASS - BENJAMIN MOORE - CSP 735 - SEA GLASS
 - WD-1 CRAFTSMEN WHITE WALL PANEL - MODEL #139 - PAINTABLE DEEPBEADED WHITE - PAINTED SHERWIN WILLIAMS 5573 TANK FIVE
 - WT-1 GLASS TILE - TREND GROUP - RECTANGULAR - RECT 280 *GROUT: MAPEI 01 ALABASTER
 - WT-2 GLASS TILE - FIRE CLAY - GLASS - KINGFISHER GLOSS - 2 X 6 *GROUT: MAPEI 01 ALABASTER
 - WT-3 PORCELAIN TILE - CERAMIC TECHNICS - SIENNA CLAYSTONE - BRICK 2 X 6 - SALVIA *GROUT: MAPEI 83 WARM GRAY
 - WT-4 GLASS TILE - LUMADA BAY TILE - AGATE - 1X1 MOSAIC - ASOLO - PEARL *GROUT: MAPEI 83 WARM GRAY
- COUNTERTOPS**
- CT-1 CEASERSTONE QUARTZ - ARABETTO
 - CT-2 WILSONART QUARTZ - HAMMA
 - CT-3 VETRAZZO SOLID SURFACE - COLOR TBD
 - CT-4 MSI QUARTZ - CARRERA
- CABINETS**
- CAB-1 PAINTED CABINETS - SHERWIN WILLIAMS SW 7005 PURE WHITE - SHAKER STYLE
 - CAB-2 PAINTED CABINETS - BENJAMIN MOORE - CSP 735 - SEA GLASS - SHAKER STYLE
 - CAB-3 WOOD STAINED CABINETS - MAPLE - CLEAR COAT - SHAKER STYLE

INTERIOR GENERAL FINISH NOTES

- ALL WINDOW AND DOOR TRIM TO BE STAINED (ST-1)
- ALL WALL BASE TO BE PAINTED (P-1)
- ALL GYP. BOARD CEILINGS & WALLS TO BE PAINTED (P-1)
- ALL SOLID WOOD DOORS TO BE MAPLE, STAINED (ST-1)
- REFER TO COORDINATING INTERIOR ELEVATIONS & FINISH PLAN FOR ALL PLUMBING SPECIFICATIONS
- REFER TO COORDINATING INTERIOR ELEVATIONS & REFLECTED CEILING PLAN FOR ALL LIGHTING SPECIFICATIONS
- REFER TO COORDINATING INTERIOR ELEVATIONS & FINISH PLAN FOR ALL TILE FINISHES SPECIFICATIONS AND TILE LAYOUT
- ALL CASEWORK AND SHELVING ORDERED BY MILARC U.N.O. PER FINISH FLOOR PLAN AND INTERIOR ELEVATIONS. OWNER TO COORDINATE AND APPROVE FINAL DESIGN WITH MILARC. FIELD VERIFY ALL CASEWORK AND SHELVING DIMENSIONS PRIOR TO FABRICATION.
- PROVIDE BLOCKING / BACKING FOR CASEWORK AND SHELVING AS NEEDED. COORDINATE WITH CASEWORK FABRICATOR.
- ALL GYPSUM BOARD WALLS AND CEILINGS TO BE 1/2" THICK WALLS TO RECEIVE LIGHT ORANGE FEEL TEXTURE FINISH. CEILINGS TO RECEIVE SMOOTH FINISH. PAINT ALL GYP. BD. EXPOSED TO VIEW U.N.O.
- USE WATER RESISTANT GYPSUM BOARD IN ALL BATH, SHOWER AND TOILET ROOMS.
- GYPSUM CEILINGS, BULKHEADS AND SOFFITS TO BE PAINTED (PT-1), U.N.O. REFER TO RCP FOR CEILING TYPES.
- SEALANT AT INTERSECTION OF BACKSPLASH COUNTER AND WALL TO BE PAINTED TO MATCH ADJACENT WALL COLOR BY PAINTING CONTRACTOR.
- GROUT JOINT WIDTHS TO BE PER MANUFACTURER'S RECOMMENDATION, U.N.O.
- ELECTRICAL SWITCH PLATES AND OUTLET COVERS TO BE WHITE WITH WHITE DEVICES, U.N.O.
- MECHANICAL (INCLUDING THERMOSTATS), AND FIRE DEVICES TO BE WHITE, U.N.O.
- SEE FINISH PLANS FOR LOCATIONS OF FLOORING TRANSITIONS AT CASED OPENINGS IF ANY.
- TILE FLOORING UNDERLAMENT TO BE PROVIDED AND INSTALLED BY FLOORING CONTRACTOR.
- TILE FLOORS (CERAMIC PORCELAIN) TO BE CENTERED WITHIN SPACE. U.N.O. AVOID PARTIAL FLOOR TILES LESS THAN 2" WIDE OR HALF THE TILE SIZE, WHICHEVER IS SMALLER.
- ALL SHELVING SHOWN WITH DASHED LINES TO BE ADJUSTABLE.
- REFER TO FLOOR PLANS AND INTERIOR ELEVATIONS FOR DOOR HANDING.
- PROVIDE A FINISHED PANEL AT EXPOSED CASEWORK ENDS AND BACKS AS NEEDED. TO MATCH ADJACENT CASEWORK MATERIAL AND FINISH. ALL FINISHED END PANELS TO BE SCRIBED TO THE FLOOR.
- ADD FILLER PANEL AS NEEDED AT CABINETS, DRAWERS, ETC. TO ENDURE FULL DOOR SWING AND DRAWER OPERATION. PROVIDE A MINIMUM OF 1 1/2" FILLERS WHEN ADJACENT TO WALLS. MATCH ADJACENT CABINET COLOR.
- PROVIDE CALKING AS INDICATED BELOW:
 - TRANSLUCENT SILICONE ADHESIVE WHERE BACKSPLASH AND COUNTER MEET AND AT COUNTER JOINTS.
 - AT WALL / CASEWORK TRANSITION. PROVIDE WHITE, PAINTABLE CALKING.
- CASEWORK TO BE MANUFACTURED AND STORED IN COMPLIANCE WITH THE LATEST EDITION OF THE ARCHITECTURAL WOODWORK INSTITUTE QUALITY STANDARD.

PROJECT NUMBER: 2021-70

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IN ASSOCIATION WITH:

CIVIL ENGINEER:
KEEFE CIVIL, INC.
3126 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.215.8559

STRUCTURAL ENGINEER:
TO STRUCTURAL ENGINEERING INC
2929 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
jordan@tstructural.com
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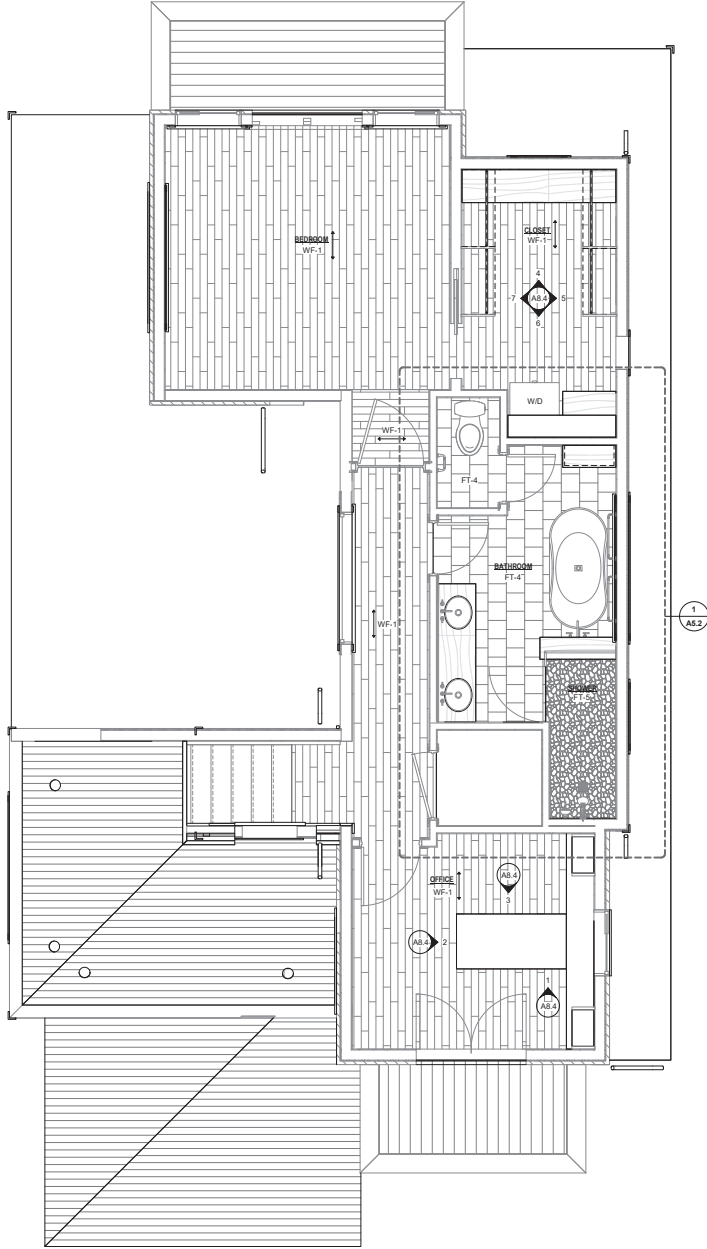
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LOWER LEVEL & MAIN LEVEL FINISH FLOOR PLANS

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A8.0



1 UPPER FLOOR PLAN
3/8" = 1'-0"

INTERIOR FINISH LEGEND

PAINTS & STAINS

- P-1 SHERWIN WILLIAMS - 7005 PURE WHITE (ALL WALLS & CEILINGS U.N.O.)
- ST-1 MAPLE WOOD, CLEAR STAIN (ALL DOORS & TRM U.N.O.)
- ST-2 MAPLE WOOD, MINWAX STAIN - MW233 (TIMBER BEAMS & T&G CEILINGS)

FLOORING

- CPT-1 CARPET FLOORING - TBD
- WF-1 WOOD FLOORING - CRAFT ARTISAN WOOD FLOORS - HICKORY - ARAGON
- FT-1 PORCELAIN TILE - CERAMIC TECHNICIS - NAPOLI MODULAR STONE - MODULO - GROUND *GROUT: MAPEI 11 SAHARA BEIGE
- FT-2 PORCELAIN TILE - BEDROSJANS - VILLA AZUL 10 X 10 MATTE - BLUE *GROUT: MAPEI 11 SAHARA BEIGE
- FT-3 PORCELAIN TILE - BEDROSJANS - HERRINGBONE - PUTTY - DEC9KPLT122MO *GROUT: MAPEI 11 SAHARA BEIGE
- FT-4 PORCELAIN TILE - BEDROSJANS - PALAZZO 12 X 12 - VNTAGE GREY *GROUT: MAPEI 107 IRON
- FT-5 PEBBLE STONE - SOLUSTONE - KUALI PEBBLE MOSAIC - 6032 SILVERADO BLEND *GROUT: MAPEI 83 WARM GRAY

WALLS

- STONE-1 FIREPLACE STONE - TBD
- GL-1 BACK PAINTED GLASS - BENJAMIN MOORE - CSP 735 - SEA GLASS
- WD-1 CRAFTSMEN WHITE WALL PANEL - MODEL #139 - PAINTABLE DEEBEADED WHITE - PAINTED SHERWIN WILLIAMS 5531 T&E FIVE
- WT-1 GLASS TILE - TREND GROUP - RECTANGULAR - RECT 280 *GROUT: MAPEI 01 ALABASTER
- WT-2 GLASS TILE - FIRE CLAY - GLASS - KINGFISHER GLOSS - 2 X 6 *GROUT: MAPEI 01 ALABASTER
- WT-3 PORCELAIN TILE - CERAMIC TECHNICIS - SIENNA CLAYSTONE - BRICK 2 X 6 - SALVA *GROUT: MAPEI 83 WARM GRAY
- WT-4 GLASS TILE - LUNADA BAY TILE - AGATE - 1X1 MOSAIC - ASOLO - PEARL *GROUT: MAPEI 83 WARM GRAY

COUNTERTOPS

- CT-1 CEASERSTONE QUARTZ - ARABETTO
- CT-2 WILSONART QUARTZ - HAMMA
- CT-3 VETRAZZO SOLID SURFACE - COLOR TBD
- CT-4 MSI QUARTZ - CARRERA

CABINETS

- CAB-1 PAINTED CABINETS - SHERWIN WILLIAMS SW 7005 PURE WHITE - SHAKER STYLE
- CAB-2 PAINTED CABINETS - BENJAMIN MOORE - CSP 735 - SEA GLASS - SHAKER STYLE
- CAB-3 WOOD STAINED CABINETS - MAPLE - CLEAR COAT - SHAKER STYLE

INTERIOR GENERAL FINISH NOTES

- ALL WINDOW AND DOOR TRIM TO BE STAINED (ST-1)
- ALL WALL BASE TO BE PAINTED (P-1)
- ALL GYP. BOARD CEILINGS & WALLS TO BE PAINTED (P-1)
- ALL SOLID WOOD DOORS TO BE MAPLE, STAINED (ST-1)
- REFER TO COORDINATING INTERIOR ELEVATIONS & FINISH PLAN FOR ALL PLUMBING SPECIFICATIONS
- REFER TO COORDINATING INTERIOR ELEVATIONS & REFLECTED CEILING PLAN FOR ALL LIGHTING SPECIFICATIONS
- REFER TO COORDINATING INTERIOR ELEVATIONS & FINISH PLAN FOR ALL TILE/FINISHES SPECIFICATIONS AND TILE LAYOUT.
- ALL CASEWORK AND SHELVING ORDERED BY MILARC U.N.O. PER FINISH FLOOR PLAN AND INTERIOR ELEVATIONS. OWNER TO COORDINATE AND APPROVE FINAL DESIGN WITH MILARC. FIELD VERIFY ALL CASEWORK AND SHELVING DIMENSIONS PRIOR TO FABRICATION.
- PROVIDE BLOCKING / BACKING FOR CASEWORK AND SHELVING AS NEEDED. COORDINATE WITH CASEWORK FABRICATOR.
- ALL GYPSUM BOARD WALLS AND CEILINGS TO BE 1/2" THICK WALLS TO RECEIVE LIGHT ORANGE PEEL TEXTURE FINISH. CEILINGS TO RECEIVE SMOOTH FINISH. PAINT ALL GYP. BD. EXPOSED TO VIEW U.N.O.
- USE WATER RESISTANT GYPSUM BOARD IN ALL BATH, SHOWER AND TOILET ROOMS.
- GYPSUM CEILINGS, BULKHEADS AND SOFFITS TO BE PAINTED (PT-1), U.N.O. REFER TO RFP FOR CEILING TYPES.
- SEALANT AT INTERSECTION OF BACKSPLASH COUNTER AND WALL TO BE PAINTED TO MATCH ADJACENT WALL COLOR BY PAINTING CONTRACTOR.
- GROUT JOINT WIDTHS TO BE PER MANUFACTURER'S RECOMMENDATION, U.N.O.
- ELECTRICAL SWITCH PLATES AND OUTLET COVERS TO BE WHITE WITH WHITE DEVICES, U.N.O.
- MECHANICAL (INCLUDING THERMOSTATS), AND FIRE DEVICES TO BE WHITE, U.N.O.
- SEE FINISH PLANS FOR LOCATIONS OF FLOORING TRANSITIONS AT CASIED OPENINGS IF ANY.
- TILE FLOORING UNDERLAYMENT TO BE PROVIDED AND INSTALLED BY FLOORING CONTRACTOR.
- TILE FLOORS (CERAMIC/PORCELAIN) TO BE CENTERED WITHIN SPACE. U.N.O. AVOID PARTIAL FLOOR TILES LESS THAN 3" WIDE OR HALF THE TILE SIZE, WHICHEVER IS SMALLER.
- ALL SHELVING SHOWN WITH DAGHED LINES TO BE ADJUSTABLE.
- REFER TO FLOOR PLANS AND INTERIOR ELEVATIONS FOR DOOR HANDING.
- PROVIDE A FINISHED PANEL AT EXPOSED CASEWORK ENDS AND BACKS AS NEEDED. TO MATCH ADJACENT CASEWORK MATERIAL AND FINISH. ALL FINISHED END PANELS TO BE SCRIBED TO THE FLOOR.
- ADD FILLER PANEL AS NEEDED AT CABINETS, DRAWERS, ETC. TO ENDURE FULL DOOR SWING AND DRAWER OPERATION. PROVIDE A MINIMUM OF 1 1/2" FILLERS WHEN ADJACENT TO WALLS. MATCH ADJACENT CABINET COLOR.
- PROVIDE CAULKING AS INDICATED BELOW:
 - a. TRANSLUCENT SILICONE ADHESIVE WHERE BACKSPLASH AND COUNTER MEET AND AT COUNTER JOINTS.
 - b. AT WALL / CASEWORK TRANSITION, PROVIDE WHITE, PAINTABLE CAULKING.
- CASEWORK TO BE MANUFACTURED AND STORED IN COMPLIANCE WITH THE LATEST EDITION OF THE ARCHITECTURAL WOODWORK INSTITUTE QUALITY STANDARD.

PROJECT NUMBER: 2021-76

1028 AKIN AVE RESIDENCE

1028 AKIN AVENUE
FORT COLLINS, CO



Strength in design. Strength in partnership.
Strength in community.

418 Cassin Ave Suite 200, Fort Collins, CO 80521 | 970.224.1191
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IN ASSOCIATION WITH:

CIVIL ENGINEER:

KEEFE CIVIL, INC.
3125 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.215.6658

STRUCTURAL ENGINEER:

TO STRUCTURAL ENGINEERING INC
2828 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
jordan@tostructural.com
CONTACT: JORDAN HALVORSON

CONSTRUCTION SET 09-16-2022

SHEET ISSUANCES

DESCRIPTION DATE



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UPPER LEVEL FINISH FLOOR PLAN

DRAWING NUMBER:

A8.1

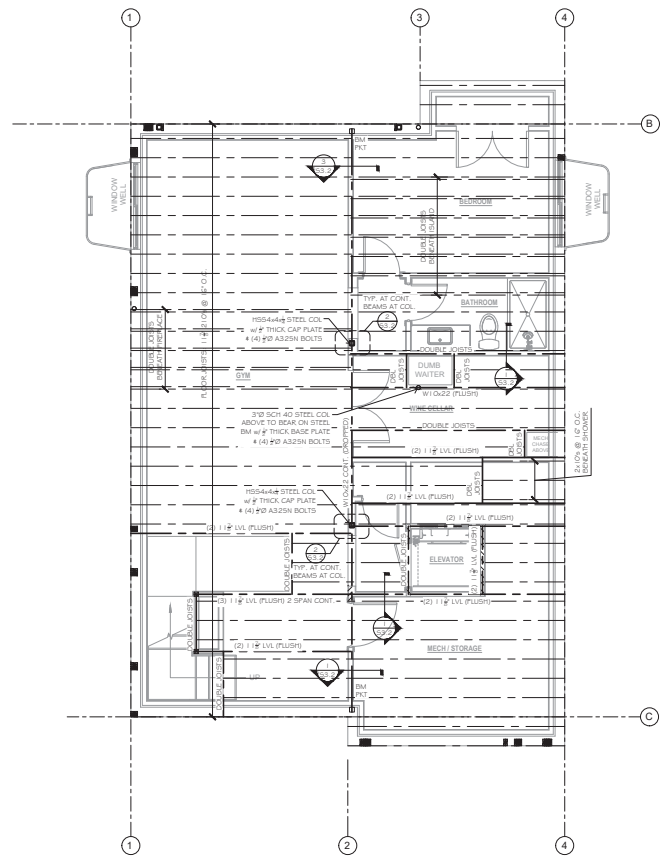


MILLER RESIDENCE
 1028 AKIN AVENUE
 FORT COLLINS, COLORADO

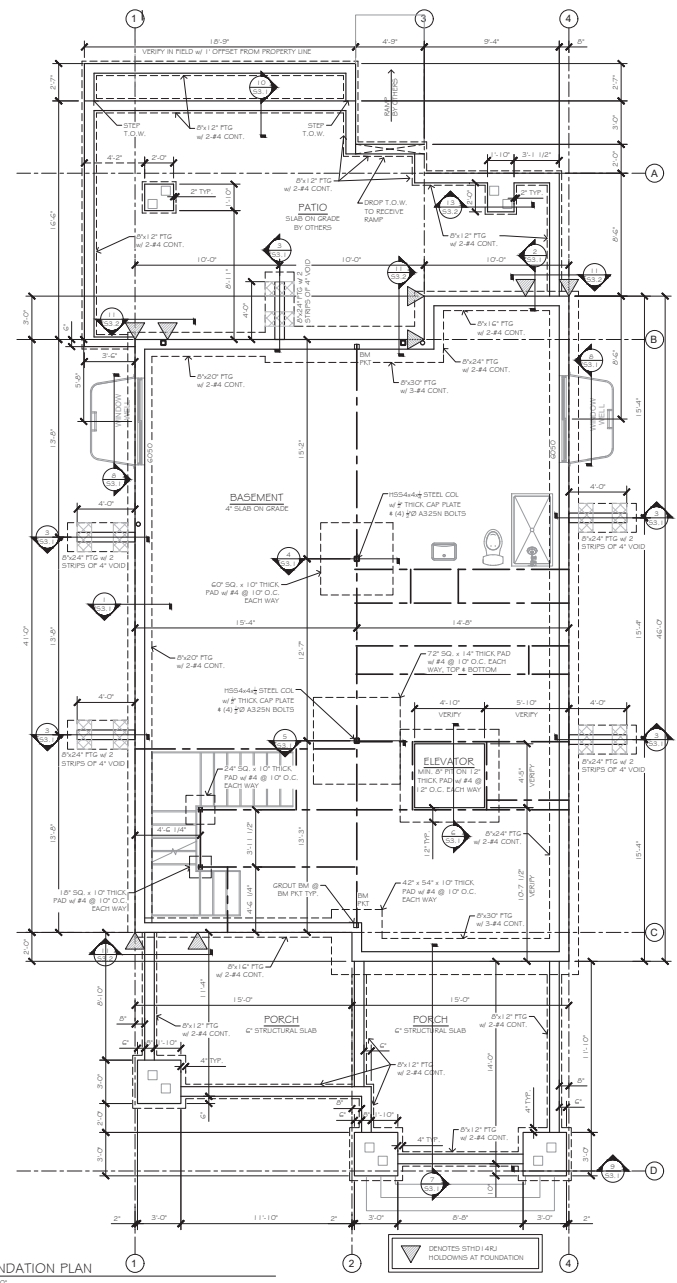
PROJECT NUMBER: 22-047
 DESIGNED BY: JMH
 REVIEWED BY: WTD
 DATE FOR ISSUE: 9/16/2022
 REVISION:

FOUNDATION PLAN & MAIN FLOOR FRAMING PLAN

S1.1



PLAN N
MAIN FLOOR FRAMING PLAN
 1/4" = 1'-0"



PLAN N
FOUNDATION PLAN
 1/4" = 1'-0"

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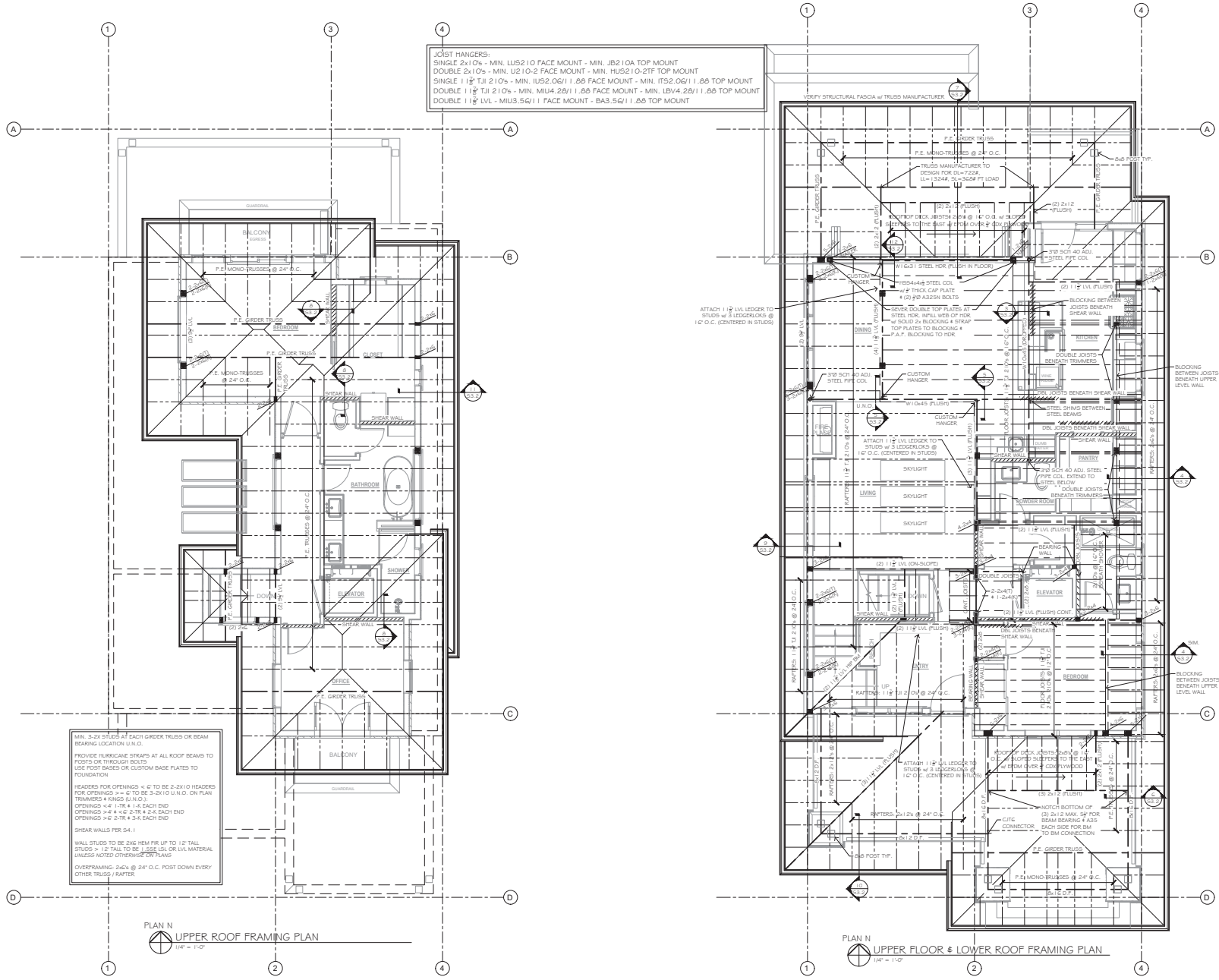


MILLER RESIDENCE
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FORT COLLINS, COLORADO

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REVISION:

UPPER FLOOR &
LOWER ROOF AND
UPPER ROOF
FRAMING PLAN

S2.1



JOIST HANGERS:
SINGLE 2x10s - MIN. LU52 I/O FACE MOUNT - MIN. JB2 I/OA TOP MOUNT
DOUBLE 2x10s - MIN. LU2 I/O2 FACE MOUNT - MIN. MU52 I/O2FT TOP MOUNT
SINGLE 1 1/2 TJI 2 I/Os - MIN. IU52.0G/1.85 FACE MOUNT - MIN. ITS2.0G/1.85 TOP MOUNT
DOUBLE 1 1/2 TJI 2 I/Os - MIN. MU4.25/1.85 FACE MOUNT - MIN. LBV4.25/1.85 TOP MOUNT
DOUBLE 1 1/2 LVL - MU3.5G/1.1 FACE MOUNT - BA3.5G/1.1.85 TOP MOUNT

MIN. 3-2x3 STUDS AT EACH GIRDER TRUSS OR BEAM BEARING LOCATION U.N.O.
PROVIDE HURRICANE STRAPS AT ALL ROOF BEAMS TO POSTS OR THROUGH BOLTS
USE POST BASES OR CUSTOM BASE PLATES TO FOUNDATION
HEADERS FOR OPENINGS < 4' TO BE 2-2x10 HEADERS FOR OPENINGS > 4' TO BE 3-2x10 U.N.O. ON PLAN TRIMMED & KINGS (U.N.O.)
OPENINGS < 4' 1-TR & 1-K EACH END
OPENINGS > 4' < 4' 2-TR & 2-K EACH END
OPENINGS > 4' 2-TR & 2-K EACH END
SHEAR WALLS PER 54.1
WALL STUDS TO BE 2x6 PER FR UP TO 12' TALL STUDS > 12' TALL TO BE 3x6 LVL OR LVL MATERIAL UNLESS NOTED OTHERWISE ON PLANS
OVERFRAMING 2x4s @ 24" O.C. POST DOWN EVERY OTHER TRUSS / RAFTER

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structural notes:

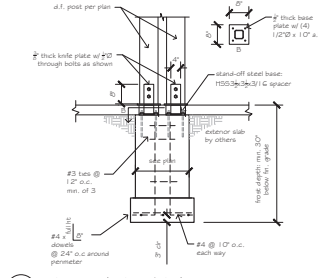
- a. general:
 1. all construction shall be in accordance with the international residential code (2021 edition) and in accordance with all applicable csha regulations.
 2. the contractor shall check and verify all dimensions shown on this plan prior to concrete placement and shall reference architectural plans for blockouts, etc.
 3. all exterior walls, interior shear walls and interior bearing walls as noted on the plan shall be constructed as outlined in Table IRC602.10.4 method WSP: 7/16" osh or plywood one side with min. 1/2" gypsum wall board (GB) on the opposite side.

- b. design:
 1. foundation design is based on the geotechnical engineering report prepared for the site by CDS Engineering of Loveland, Colorado (ref. project number 17-8569 dated April 14, 2017) all the recommendations included in this report shall be considered to be part of these specifications. the geotechnical engineer should be contacted to verify soil conditions are consistent with the report recommendations prior to construction.
 maximum bearing capacity = 1500 psf
 minimum dead load = 500 psf
 2. design live loads: roof snow load P_g = 35 psf; floor load = 40 psf; wind Vult = 140 mph (nominal 3s); exp. c; seismic design category b.

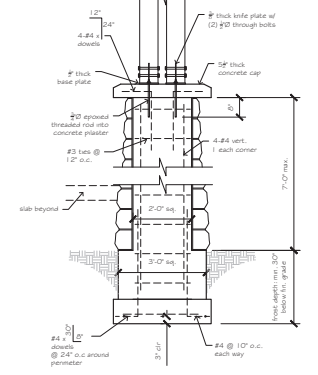
- c. foundation specifications
 1. all footings to bear on soil prepared in accordance with geotechnical report. locate footings at elevation to maintain minimum 3" between footing bearing and groundwater as recommended in geotechnical report.
 2. the foundation excavation shall be observed by the geotechnical engineer of record.
 3. foundation walls to be backfilled in accordance with the recommendations in the geotechnical report.
 4. below grade foundation walls backfilled on one side only (basements, crawl spaces, garden levels) shall be dampproofed with a bituminous material on the exterior of the wall.
 5. fill material under slabs on grade shall be an approved material placed in accordance with the recommendations in the geotechnical report.
 6. slab control joints shall be provided in accordance with an recommendations.
 7. it is the contractors responsibility to inform the owner of the potential for damage due to slab movement and the precautions to be taken to minimize potential damage when movement occurs. if the owner chooses slab on grade construction instead of a structure floor the owner shall assume all risk of slab on grade construction.
 8. all non-bearing frame walls placed on slabs on grade should be provided with a slip joint (2" void) at the bottom of the wall.
 9. a perimeter drain shall be installed around the basement as recommended in the geotechnical report and as detailed on these plans.

- d. materials
 1. foundation concrete: Fc = 3000 psi foundation, Fc = 4000psi garage slab on grade; minimum of 5-1/4 sacks of type I+II portland cement per cubic yard; air entrained with 6% ± 1% air.
 2. reinforcing steel: fy = 60 ksi (60 grade). all reinforcing shall be placed in accordance with an recommendations including minimum laps, spacings and corner bars.
 3. structural steel: beams #992, 50 ksi yield strength; plates astm a36, 36 ksi yield strength; pipe columns: astm a53, 35 ksi yield strength; tube steel (hsl): astm a501, 40 ksi yield strength.
 4. wood - framing lumber shall be stress graded Hem-Fir as follows:
 a. joists, beams, columns - no. 2 or better.
 b. studs - load bearing & exterior walls 2x6 no. 2 construction grade.
 c. studs - interior non-load bearing - 2x4 standard grade.
 d. blocking and bracing - no. 2
 e. laminated veneer lumber (LVL) shall be stress graded as follows: bending - 2600psi; tension parallel to grain - 1850psi; compression parallel to grain - 2700psi; horizontal shear - 285psi; compression perpendicular to grain - 500psi; modulus of elasticity = 1900ksi.
 LVL member sizes are net; lumber sizes are nominal.

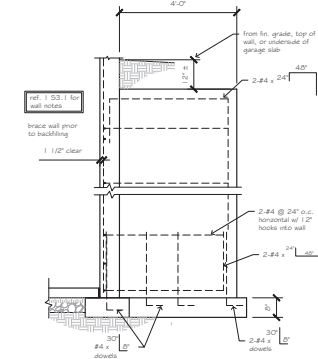
- f. glued laminated timber (glulam) shall be stress graded as follows: simple span glulams 24F-V4: bending tension zone - 2400psi; bending compression zone - 1850psi; tension parallel to grain = 1100psi; compression parallel to grain = 1650psi; horizontal shear - 265psi; modulus of elasticity = 1800ksi. continuous span glulams 24F-VB: bending tension zone - 2400psi; bending compression zone - 2400psi; tension parallel to grain = 1100psi; compression parallel to grain - 1650psi; horizontal shear - 265psi; compression perpendicular to grain = 560psi; modulus of elasticity = 1800ksi. exterior slatkin cedar glulam 20F-V13: bending tension zone - 2000psi; bending compression zone - 2000psi; tension parallel to grain - 925psi; compression parallel to grain - 1550psi; horizontal shear - 265psi; compression perpendicular to grain - 470psi; modulus of elasticity = 1500ksi.
 g. joists shall be as manufactured by Trus Joist or an approved substitute. 1 joists shall be detailed by the joist supplier including blocking, blocking and web filler details and shall be installed in accordance with the manufacturers recommendations.
 h. timber connectors called for on the drawings are as manufactured by Simpson company. connectors by other manufacturers may be used if the load capacity is equal to or greater than the connector specified. use manufacturer's furnished nails and bolts.
 i. fasten all wood members with common nails according to the building code unless otherwise noted.
 j. roof sheathing shall be 1/2" sheathing rated for exterior use with an APA span rating of 32/I-G. nail roof sheathing with 8d nails at 4" on center at panel edges and 12" on center in the field u.o.o.
 k. floor sheathing shall be 23/32" plywood with an APA rating of 48/24. glue and nail to framing with 8d nails at 6" on center at panel edges, 8" on center in the field u.o.o.
 l. exterior wall sheathing shall be 7/16" osh or plywood nailed to framing with 8d nails spaced at 6" on center at panel edges, 12" on center in the field minimum u.o.o.



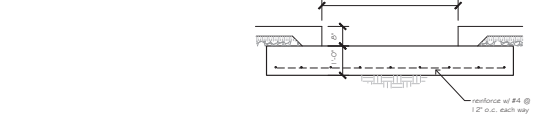
3 exterior pilaster detail
 1/2" = 1'-0"



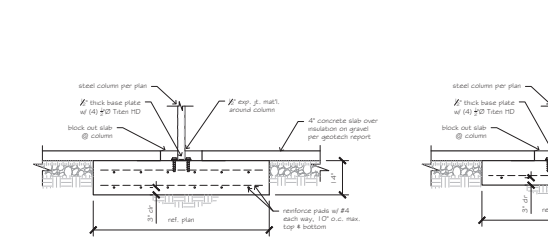
4 exterior pilaster detail
 1/2" = 1'-0"



5 typical counterfort detail
 1/2" = 1'-0"

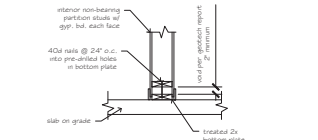


6 elevator pit
 1/2" = 1'-0"

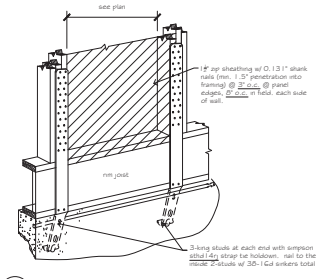


7 interior pad detail
 1/2" = 1'-0"

8 interior pad detail
 1/2" = 1'-0"

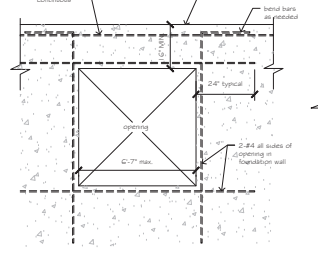


9 interior non-bearing walls at slab on grade
 1/2" = 1'-0"

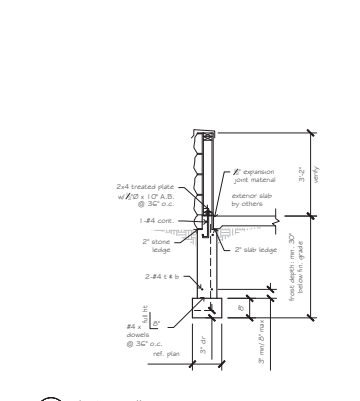


10 planter wall
 1/2" = 1'-0"

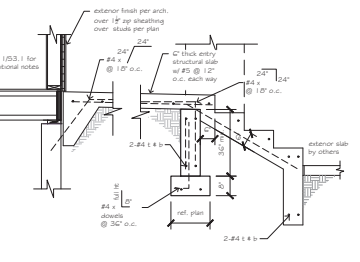
11 sthd 14rj holdover over rim joist
 1/2" = 1'-0"



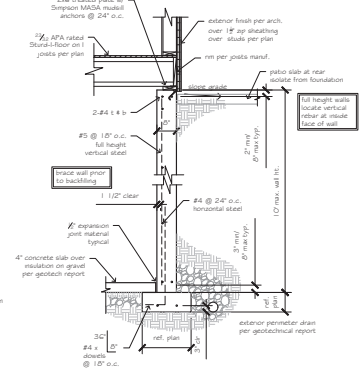
8 reinforcing at window in foundation
 1/2" = 1'-0"



12 entry section
 1/2" = 1'-0"



13 full ht. basement wall parallel to joist
 1/2" = 1'-0"



14 full ht. basement wall
 1/2" = 1'-0"



MILLER RESIDENCE
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 FORT COLLINS, COLORADO

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 REVISION:

GENERAL NOTES & DETAILS

S3.1

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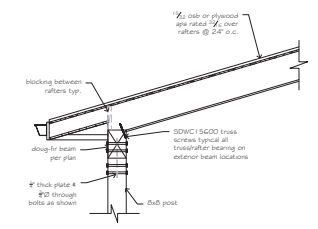


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 FORT COLLINS, COLORADO

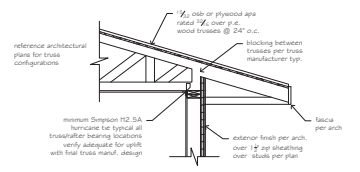
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DETAILS

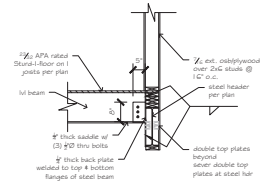
S3.2



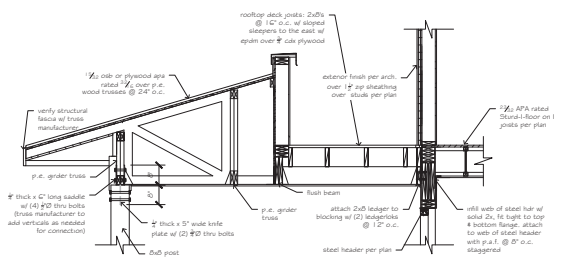
10 rafter bearing at beam
 S3.2 1/2" = 1'-0"



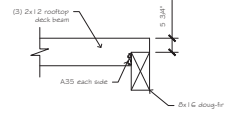
11 truss bearing
 S3.2 1/2" = 1'-0"



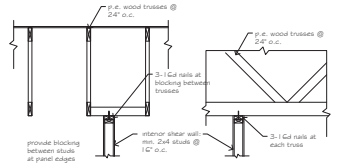
12 custom hanger - lv to steel beam
 S3.2 1/2" = 1'-0"



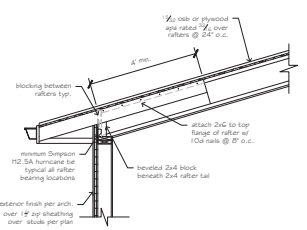
7 roof deck connections
 S3.2 1/2" = 1'-0"



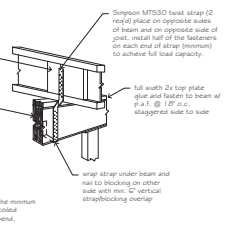
6 roof deck beam to porch roof beam
 S3.2 1/2" = 1'-0"



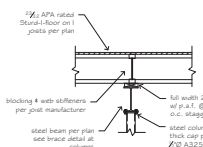
8 shearwall at roof
 S3.2 1/2" = 1'-0"



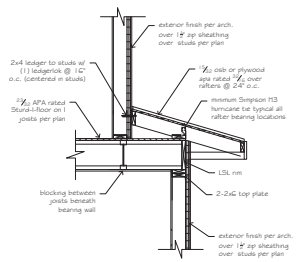
9 rafter bearing
 S3.2 1/2" = 1'-0"



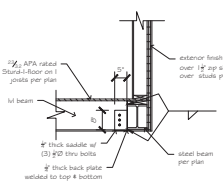
2 typical beam brace detail
 S3.2 3/8" = 1'-0"



3 floor beam detail
 S3.2 1/2" = 1'-0"



4 upper wall bearing on joists
 S3.2 1/2" = 1'-0"



5 custom hanger - lv to steel beam
 S3.2 1/2" = 1'-0"

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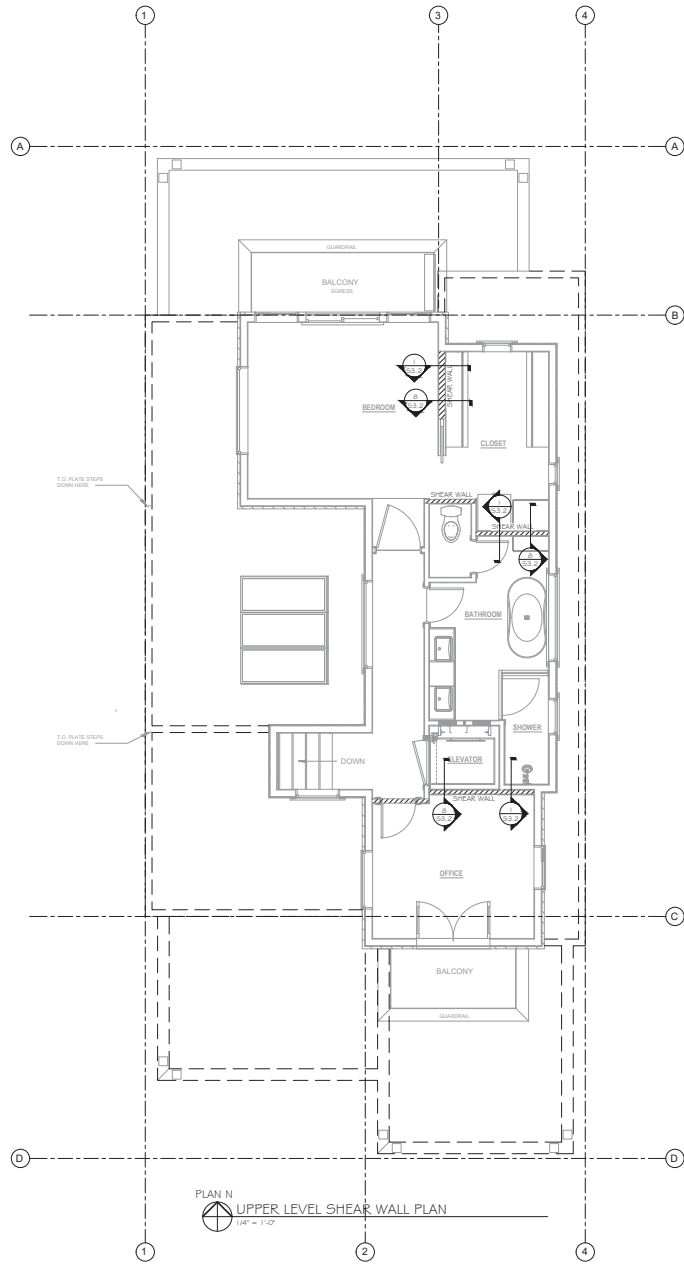


MILLER RESIDENCE
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SHEAR WALL PLANS

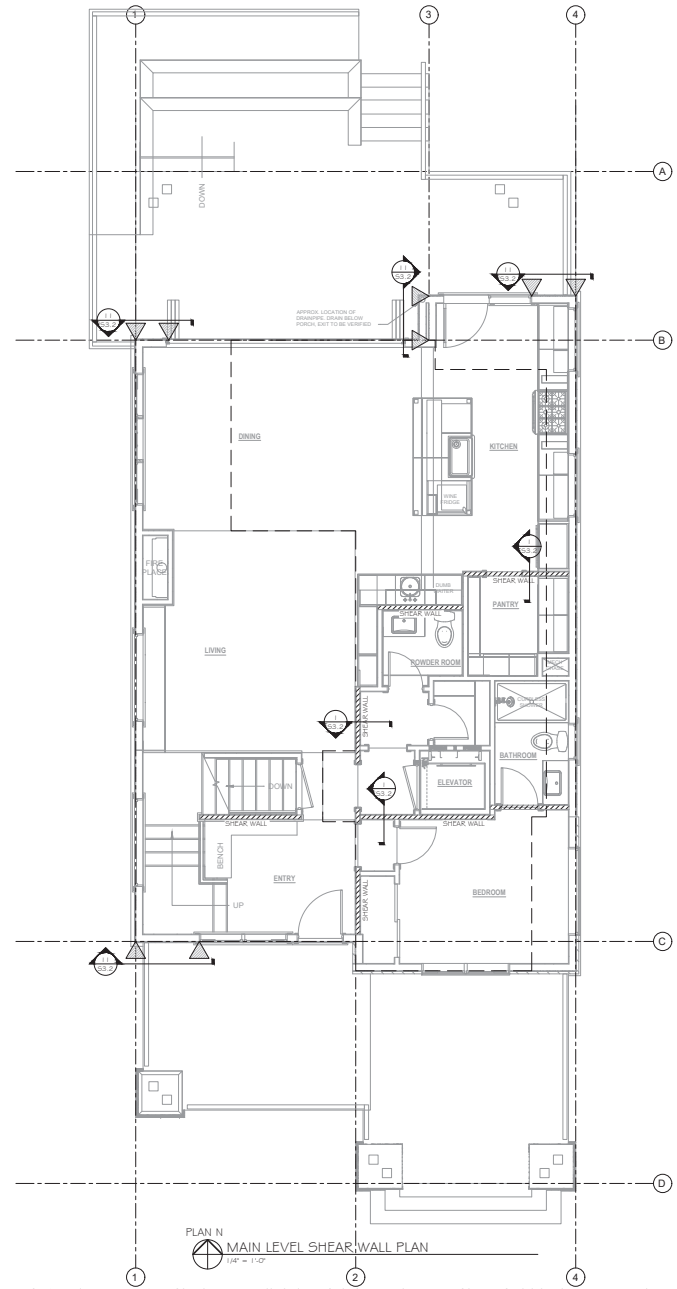
S4.1



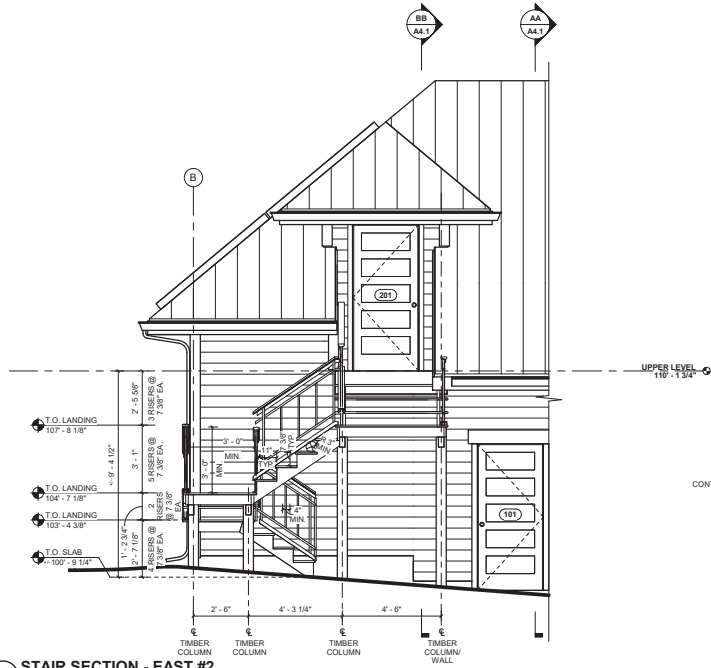
ALL OUTDOOR WALLS ARE SHEAR WALLS.
 #2 ZIP GL 1/3" SHANK NAILS (MIN. 1" SP) PENETRATION INTO FRAMING @ 24" O.C. @ PANEL EDGES, 12" O.C. IN FIELD (BLOCKING NOT LESS THAN 2" NOMINAL IN THICKNESS SHALL BE PROVIDED AT ALL HORIZONTAL PANEL JOINTS).

INTERIOR WALLS DENOTED ARE SHEAR WALLS. 1/2" INCH (MIN.) GYPSUM BOARD PANEL LENGTHS AS REQUIRED BY SECTION R502.1.6.1 (2) OR STUDS SPACED NOT OVER 24" O.C. WITH NAILS OR SCREWS AT PANEL EDGES INCLUDING TOP & BOTTOM PLATES SPACED 24" O.C. PARTITIONS AS REQUIRED BY TABLE R502.3.1 (1) FOR SHEATHING AND TABLE R702.3.5 FOR INTERIOR GYPSUM BOARD. VERTICAL JOINTS SHALL OCCUR OVER STUDS AND HORIZONTAL JOINTS SHALL BE BLOCKED. EACH PANEL MINIMUM 3/4" IN LENGTH WHERE APPLIED TO ONE FACE OF A BRACED PANEL. 4SP WHERE APPLIED TO BOTH FACES OR THE WALL LENGTH MATCHED ON THE PLAN.

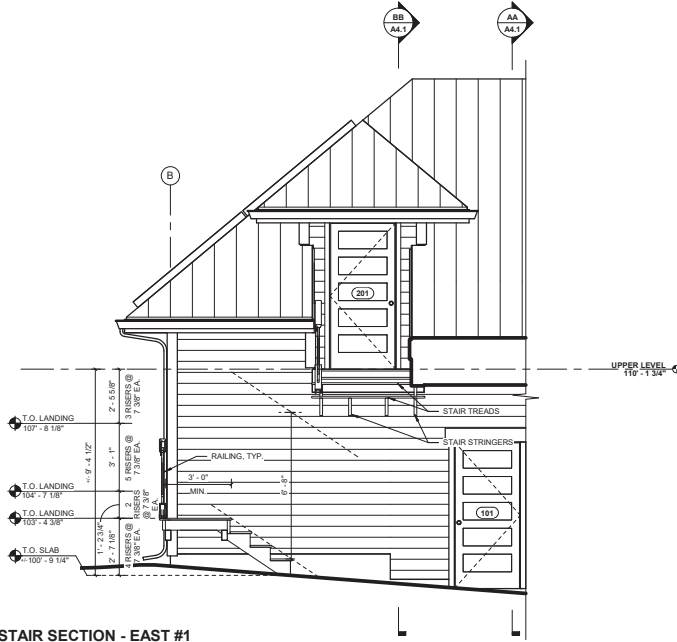
PROVIDE BEAM, DOUBLE JOIST, OR BLOCKING UNDER ALL SHEAR WALLS NOT OVER FOUNDATION.



Drawings, specifications, general notes and outline specifications are instruments of service and shall remain the property of TD Structural Engineering, Inc. Copies of these documents retained by the client are for the clients use in the construction of the project for which these documents were prepared. Any use of these documents, in whole or in part, by any means whatsoever to construct any other project or the use of these documents, in whole or in part, as stock plans or prototype design for multiple building projects is strictly prohibited, except with the specific written consent of TD Structural Engineering, Inc. of Northern Colorado.



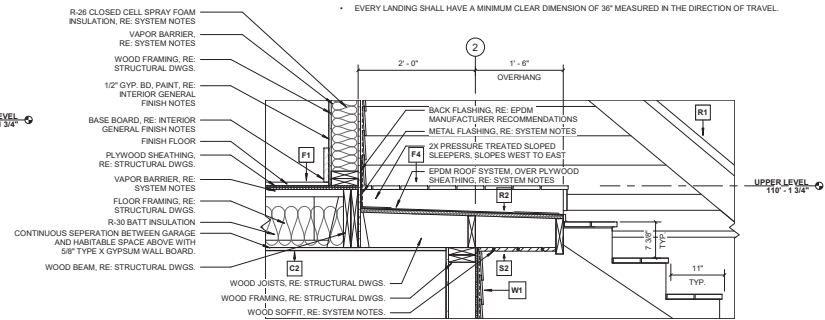
3 STAIR SECTION - EAST #2
3/8" = 1'-0"



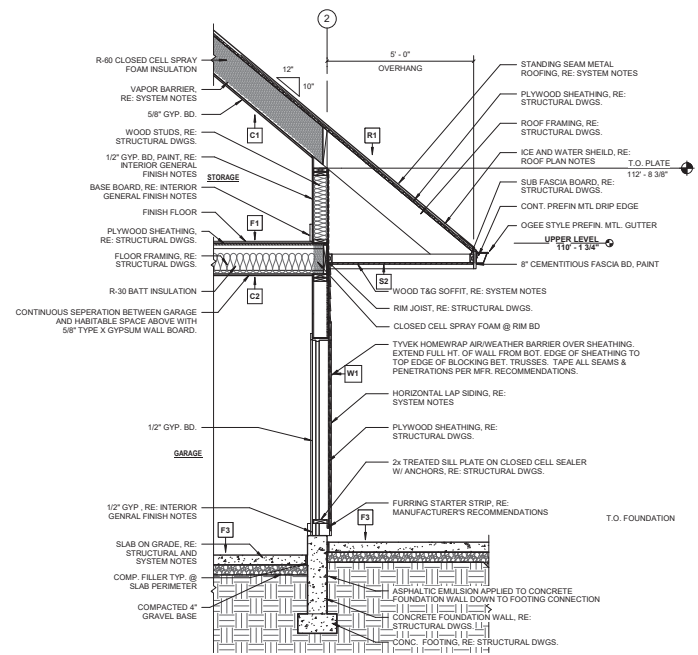
2 STAIR SECTION - EAST #1
3/8" = 1'-0"

STAIR AND HANDRAIL NOTES

- STAIRWAYS AND HANDRAILS SHALL CONFORM WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE AND ANY OTHER APPLICABLE BUILDING CODES.
- STAIRWAYS TO BE A MINIMUM OF 36" IN CLEAR WIDTH.
- MAXIMUM RISER HEIGHT SHALL NOT BE GREATER THAN 7 3/4". VARIATION FROM TALLEST TO THE SHORTEST RISER HEIGHT SHALL NOT EXCEED 3/8"
- TREAD DEPTH SHALL BE A MINIMUM OF 11"
- AT LEAST ONE HANDRAIL MUST BE PROVIDED.
- THE HANDRAIL SHALL BE CONTINUOUS FOR THE LENGTH OF THE STAIRWAY AND SHALL TERMINATE AT A NEWEL POST OR WITH A RETURN.
- HANDRAILS SHALL BE A MINIMUM OF 1 1/2" FROM ANY WALL.
- CIRCULAR HANDRAILS SHALL HAVE A MINIMUM OUTSIDE DIAMETER OF 1 1/4" AND A MAXIMUM OUTSIDE DIAMETER OF 2". (TYPE 1 HANDRAIL)
- VERIFY MINIMUM MAXIMUM HANDRAIL DIMENSIONS WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE. (TYPE 2 HANDRAIL)
- A MINIMUM OF 6'-8" OF HEAD ROOM SHALL BE PROVIDED AS MEASURED VERTICALLY FROM THE PLANE OF TREAD NOSING.
- EVERY LANDING SHALL HAVE A MINIMUM CLEAR DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.



4 WATERPROOF DECK DETAIL
1" = 1'-0"



1 TYPICAL WALL SECTION
1/2" = 1'-0"

PROJECT NUMBER: 2021-70

1028 AKIN AVE GARAGE

1028 AKIN AVENUE
FORT COLLINS, CO

Strength in design. Strength in partnership.
Strength in community.

418 Garway Ave Suite 200, Fort Collins, CO 80521 | 970.224.1191
100 East Loveland, Loveland, CO 80538 | 970.658.8713
www.VFLA.com

IN ASSOCIATION WITH:

CIVIL ENGINEER:
KEEFE CIVIL, INC.
3126 CROCKETT STREET
FORT COLLINS, COLORADO 80526
970.215.8858
me@keefecivil.com
CONTACT: MEGAN KEEFE

STRUCTURAL ENGINEER:
TD STRUCTURAL ENGINEERING, INC.
2908 OXFORD COURT
FORT COLLINS, COLORADO 80525
970.372.1140
jordan@tdstructural.com
CONTACT: JORDAN HALVORSON

CONSTRUCTION SET 09-16-2022

SHEET ISSUANCES	DESCRIPTION	DATE

REVISIONS	No.	Description	Date

DESIGNED BY: RL, TH
CHECKED BY: TH
SCALE:

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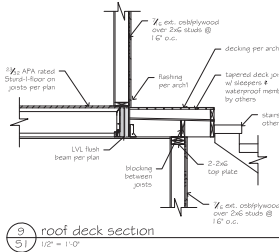
TYPICAL WALL SECTION & STAIR DETAILS

DRAWING NUMBER: **A4.2**

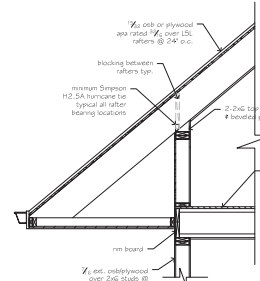
C:\Users\jv\OneDrive\Documents\1028_Akin_Ave_Garage - VFLA\SHARE_A4.2.dwg, 12/27/24 9:20:22 AM 12/27/24

Structural notes:

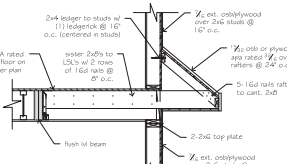
- a. general:
 1. all construction shall be in accordance with the international residential code (2021 edition) and in accordance with all applicable osha regulations.
 2. the contractor shall check and verify all dimensions shown on the plan prior to concrete placement and shall reference architectural plans for blockouts, etc.
 3. all exterior walls, interior shear walls and interior bearing walls as noted on the plan shall be constructed as outlined in Table IRC602.10.4 method W5P: 7/16" o.s.b or plywood one side with min. 1/2" gypsum wall board (GWB) on the opposite side.
- b. design:
 1. foundation design is based on the geotechnical engineering report prepared for the site by CD5 Engineering of Loveland, Colorado (ref. project number 17-056) dated April 14, 2017) all the recommendations included in this report shall be considered to be part of these specifications, the geotechnical engineer should be contacted to verify soil conditions are consistent with the report recommendations prior to construction.
 2. maximum bearing capacity = 1500 psf
 3. minimum dead load = 500 psf
 2. design live loads: roof snow load $P_g = 35$ psf; floor load = 40 psf; wind $V = 140$ mph (nominal 3s); exp. c; seismic design category b.
- c. foundation specifications
 1. all footings to bear on soil prepared in accordance with geotechnical report, locate footings at elevation to maintain minimum 3" between footing bearing and groundwater as recommended in geotechnical report.
 2. the foundation excavation shall be observed by the geotechnical engineer of record.
 3. foundation walls to be backfilled in accordance with the recommendations in the geotechnical report.
 4. below grade foundation walls backfilled on one side only (basements, crawl spaces, garden levels) shall be dampproofed with a bituminous material on the exterior of the wall.
 5. fill material under slabs on grade shall be an approved material placed in accordance with the recommendations in the geotechnical report.
 6. slab control joints shall be provided in accordance with aco recommendations.
 7. it is the contractors responsibility to inform the owner of the potential for damage due to slab movement and the precautions to be taken to minimize potential damage when movement occurs. if the owner chooses slab on grade construction instead of a structural floor the owner shall assume all risk of slab on grade construction.
 8. all non-bearing frame walls placed on slabs on grade should be provided with a slip joint (2" void) at the bottom of the wall.
 9. a perimeter drain shall be installed around the basement as recommended aco and detailed on these plans.
- d. materials
 1. foundation concrete: $f_c = 3000$ psi foundation, $f_c = 4000$ psi; garage slab on grade; minimum of 5-1/4 sacks of type i-i portland cement per cubic yard; air entrained with 6% ± 1% air.
 2. reinforcing steel: $f_y = 60$ ksi (60 grade). all reinforcing shall be placed in accordance with aco recommendations including minimum laps, spacings and corner bars.
 3. structural steel: beams: a992, 50 ksi, yield strength; plates: astm a36, 36 ksi yield strength; pipe columns: astm a53, 35 ksi yield strength; tube steel (flts): astm a501, 46 ksi yield strength.
 4. wood - framing lumber shall be stress graded items as follows:
 - a. joists, beams, columns - no. 2 or better.
 - b. studs - load bearing if exterior walls 2x6 no 2 construction grade.
 - c. studs - interior non-load bearing - 2x4 standard grade.
 - d. blocking and bracing - no. 2.
 - e. laminated veneer lumber (LVL) shall be stress graded as follows: bending - 2500psi; tension parallel to grain - 1850psi; compression parallel to grain - 2700psi; horizontal shear - 285psi; compression perpendicular to grain - 500psi; modulus of elasticity - 1900ksi. LVL member sizes are net; lumber sizes are nominal.
 - f. glued laminated timber (glulam) shall be stress graded as follows: simple span glulams 24F/144; bending tension zone - 2400psi; bending compression zone - 1850psi; tension parallel to grain - 1100psi; compression parallel to grain - 1650psi; horizontal shear - 265psi; compression perpendicular to grain - 560psi; modulus of elasticity - 1800ksi; continuous span glulams 24F/V8; bending tension zone - 2400psi; bending compression zone - 2400psi; tension parallel to grain - 1100psi; compression parallel to grain - 1650psi; horizontal shear - 265psi; compression perpendicular to grain - 560psi; modulus of elasticity - 1800ksi; exterior alaskan cedar glulams 20F/V13; bending tension zone - 2000psi; bending compression zone - 2000psi; tension parallel to grain - 925psi; compression parallel to grain - 1500psi; horizontal shear - 265psi; compression perpendicular to grain - 470psi; modulus of elasticity - 1500ksi.
 - g. joists shall be as manufactured by Trus Joist or an approved substitute. joists shall be detailed by the joist supplier including bracing, blocking and web filler details and shall be installed in accordance with the manufacturers recommendations.
 - h. timber connectors called for on the drawings are as manufactured by Simpson company. connectors by other manufacturers may be used if the load capacity is equal to or greater than the connector specified. use manufacturer's furnished nails and bolts.
 - i. fasten all wood members with common nails according to the building code unless otherwise noted.
 - j. roof sheathing shall be 1/2" 3/8" sheathing rated for exterior use with an APA span rating of 32/16. nail roof sheathing with 8d nails at 4" on center at panel edges and 12" on center in the field u.o.c.
 - k. floor sheathing shall be 23/32" plywood with an APA rating of 45/24, glue and nail to framing with 8d nails at 6" on center at panel edges, 8" on center in the field u.o.c.
 - l. exterior wall sheathing shall be 7/16" o.s.b or plywood nailed to framing with 8d nails spaced at 6" on center at panel edges, 12" on center in the field minimum u.o.c.



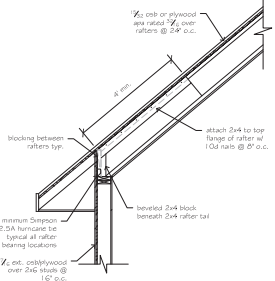
9 roof deck section
S1 1/2" = 1'-0"



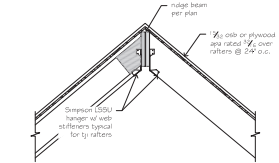
8 5' cantilevered LSL rafter section
S1 1/2" = 1'-0"



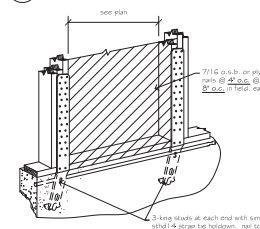
7 cantilevered rafter support
S1 1/2" = 1'-0"



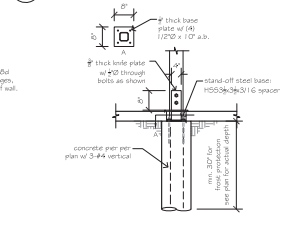
6 rafter bearing
S1 1/2" = 1'-0"



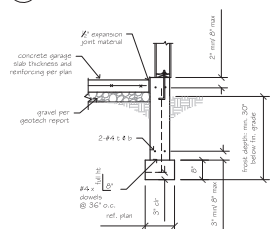
5 rafter to ridge beam
S1 1/2" = 1'-0"



4 floor beam detail
S1 1/2" = 1'-0"

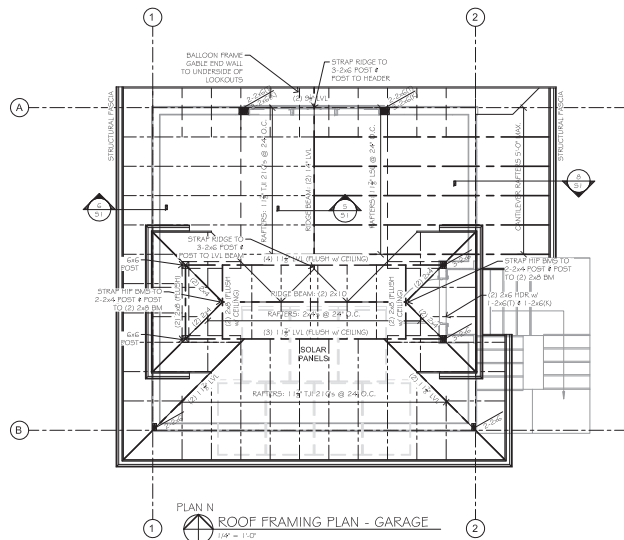


3 typ. holdown at foundation
S1 1/2" = 1'-0"

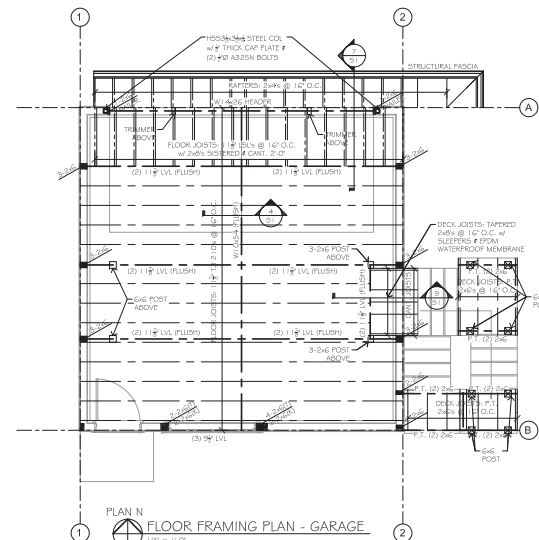


2 pier foundation detail
S1 1/2" = 1'-0"

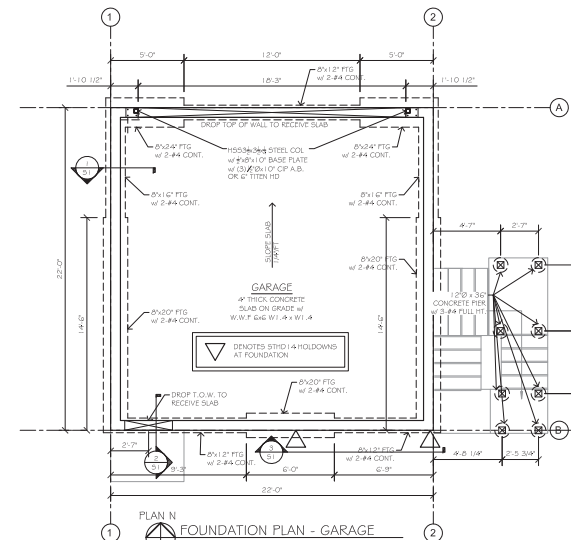
1 garage foundation wall detail
S1 1/2" = 1'-0"



1 PLAN N ROOF FRAMING PLAN - GARAGE
S1 1/2" = 1'-0"



2 PLAN N FLOOR FRAMING PLAN - GARAGE
S1 1/2" = 1'-0"



3 PLAN N FOUNDATION PLAN - GARAGE
S1 1/2" = 1'-0"

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TD STRUCTURAL ENGINEERING INC.
2909 Oxford Court
Fort Collins, Colorado 80525
970.372.1140
www.tdstructural.com



MILLER GARAGE
1028 AKIN AVENUE
FORT COLLINS, COLORADO

PROJECT NUMBER: 22-047
DESIGNED BY: JMH
REVIEWED BY: WTD
DATE FOR ISSUE: 9/16/2022
REVISION:

GARAGE FOUNDATION AND FRAMING PLANS, GENERAL NOTES & DETAILS

S1

UTILITY PLANS

FOR 1028 AKIN AVENUE

A PARCEL OF LAND SITUATE IN THE SOUTHWEST QUARTER OF SECTION 11,
TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M.
LOT 8, BLOCK 2, PROSPECT PLACE, CITY OF FORT COLLINS, COUNTY OF LARIMER,
STATE OF COLORADO
SEPTEMBER 2022

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE CITY OF FORT COLLINS AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DESIGN, REVISIONS, AND RECORD CONDITIONS THAT I HAVE NOTED ON THESE PLANS.



GENERAL INDEMNIFICATION STATEMENT:

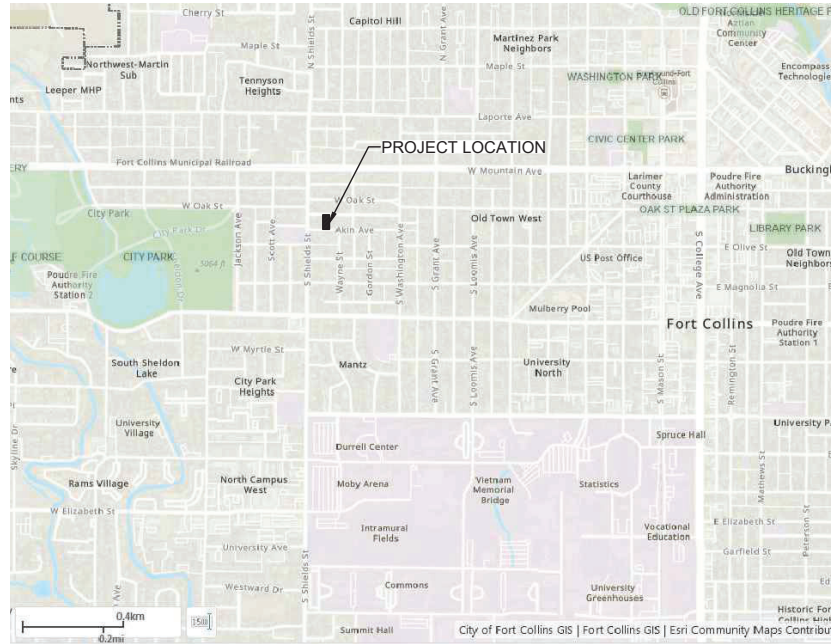
THESE PLANS HAVE BEEN REVIEWED BY THE LOCAL ENTITY FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE LOCAL ENTITY ENGINEER, OR THE LOCAL ENTITY FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED IN ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE LOCAL ENTITY FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

PROJECT BENCHMARK

PROJECT DATUM: NAVD88
BENCHMARK #31-97 SOUTHWEST CORNER OF LAPORTE AVE. AND SHIELDS ST., ON A CONCRETE TRAFFIC SIGNAL BASE.
ELEVATION = 5023.65

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.

IF NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 DATUM - 3.17'



Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	UTILITY PLAN
4	GRADING PLAN
5	UTILITY DETAIL SHEET

OWNERS:

BARBARA AND TOM MILLER
509 NORTH SHIELDS STREET
FORT COLLINS, COLORADO 80521
TOMILLER130@AOL.COM
BJ.MILLER@PENDO.IO

SURVEYOR:

MAJESTIC SURVEYING
STEVEN PARKS, P.L.S.
1111 DIAMOND VALLEY DRIVE #104
WINDSOR, COLORADO 80550
(970) 443-0882
STEVENP@MAJESTICSURVEYING.COM

CIVIL ENGINEER:

KEEFE CIVIL
MEGAN KEEFE, P.E.
3125 CROCKETT STREET
FORT COLLINS, COLORADO 80526
(970) 215-6808
MEG@KEEFECIVIL.COM

ARCHITECT:

VFLA ARCHITECTURE + INTERIORS
TAYLOR MEYER, AIA, NCARB, LEED AP BD+C
419 CANYON AVENUE, SUITE 200
FORT COLLINS, COLORADO 80521
(970) 224-1191
TAYLOR@VFLA.COM

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____	City Engineer, _____	Approved Sheets _____	Date _____
APPROVED: _____	Water & Wastewater Utility, _____	Approved Sheets _____	Date _____
APPROVED: _____	Stormwater Utility, _____	Approved Sheets _____	Date _____
APPROVED: _____	Park Planning and Development, _____	Approved Sheets _____	Date _____
APPROVED: _____	Traffic Operations, _____	Approved Sheets _____	Date _____
APPROVED: _____	Environmental Planner, _____	Approved Sheets _____	Date _____



7	DATE	09/07/2022	BY	
6	DATE		BY	
5	DATE		BY	
4	DATE		BY	
3	DATE		BY	
2	DATE		BY	
1	DATE		BY	



KEEFE CIVIL, INC
3125 CROCKETT STREET
FORT COLLINS, CO 80526
MEG@KEEFECIVIL.COM



1028 AKIN AVENUE
COVER SHEET
FORT COLLINS, COLORADO

GENERAL NOTES:

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
2. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
3. THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY ENGINEER. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
4. THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE LOCAL ENTITY, AS BENEFICIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS BY THE LOCAL ENTITY ENGINEER SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE LOCAL ENTITY, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.
5. ALL SANITARY SEWER, STORM SEWER, AND WATER LINE CONSTRUCTION, AS WELL AS POWER AND OTHER "DRY" UTILITY INSTALLATIONS, SHALL CONFORM TO THE LOCAL ENTITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF APPROVAL OF THE PLANS BY THE LOCAL ENTITY ENGINEER.
6. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
7. THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH / IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
9. IF A CONFLICT EXISTS BETWEEN EXISTING AND PROPOSED UTILITIES AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
10. THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
11. NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE DEVELOPER NOTIFIES THE UTILITY PROVIDER. NOTIFICATION SHALL BE A MINIMUM OF 2 WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
12. THE DEVELOPER SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
13. THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLAN S AND APPROVED BY THE WATER UTILITY.
14. A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
15. THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, (303) 692-3590), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
16. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ON-SITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).
17. PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE LOCAL ENTITY, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BE SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR SINGLE FAMILY UNITS. FOR COMMERCIAL PROPERTIES, CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT.
18. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES SUSTAINED IN THIS DEVELOPMENT AS A RESULT OF GROUNDWATER SEEPAGE, WHETHER RESULTING FROM GROUNDWATER FLOODING, STRUCTURAL DAMAGE OR OTHER DAMAGE UNLESS SUCH DAMAGE OR INJURIES ARE SUSTAINED AS A RESULT OF THE LOCAL ENTITY FAILURE TO PROPERLY MAINTAIN ITS WATER, WASTEWATER, AND/OR STORM DRAINAGE FACILITIES IN THE DEVELOPMENT.
19. ALL RECOMMENDATIONS OF THE FINAL DRAINAGE MEMO DATED SEPTEMBER 1, 2022 BY KEEFE CIVIL SHALL BE FOLLOWED AND IMPLEMENTED.
20. TEMPORARY EROSION CONTROL DURING CONSTRUCTION SHALL BE PROVIDED AS SHOWN ON THE EROSION CONTROL PLAN. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE DEVELOPER, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
21. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED WITHIN 24 HOURS BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
22. NO WORK MAY COMMENCE WITHIN ANY IMPROVED OR UNIMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE.
23. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEERING INSPECTOR (FORT COLLINS - 291-6605) AND THE LOCAL ENTITY EROSION CONTROL INSPECTOR (FORT COLLINS - 221-6700) AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE DEVELOPER MAY COMMENCE WORK IN THE ENGINEER ABSENCE. HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
24. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT-OF-WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE AND PRIOR TO THE PLACEMENT OF CURB, GUTTER, SIDEWALK AND PAVEMENT. IF THE FINAL SOILS/PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBJECT PAVEMENT SECTION OR, THE DEVELOPER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTION(S), REGARDLESS OF THE OPTION USED, ALL FINAL SOILS/PAVEMENT DESIGN REPORTS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF 10 WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF CURB, GUTTER, SIDEWALK, BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE LOCAL ENTITY ENGINEER APPROVES THE FINAL REPORT.
25. THE CONTRACTOR SHALL HIRE A LICENSED ENGINEER OR LAND SURVEYOR TO SURVEY THE CONSTRUCTED ELEVATIONS OF THE STREET SUBGRADE AND THE GUTTER FLOWLINE AT ALL INTERSECTIONS, INLETS, AND OTHER LOCATIONS REQUESTED BY THE LOCAL ENTITY INSPECTOR. THE ENGINEER OR SURVEYOR MUST CERTIFY IN A LETTER TO THE LOCAL ENTITY THAT THESE ELEVATIONS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ANY DEVIATIONS SHALL BE NOTED IN THE LETTER AND THEN RESOLVED WITH THE LOCAL ENTITY BEFORE INSTALLATION OF BASE COURSE OR ASPHALT WILL BE ALLOWED ON THE STREETS.
26. ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW RESIDENTIAL ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK EXCEPT CIG ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE STUBBED TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
27. PORTIONS OF LARIMER COUNTY ARE WITHIN OVERLAY DISTRICTS. THE LARIMER COUNTY FLOODPLAIN RESOLUTION SHOULD BE REFERRED TO FOR ADDITIONAL CRITERIA FOR ROADS WITHIN THESE DISTRICTS.
28. ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAT APPROVAL.
29. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE LOCAL ENTITY FORESTER TO SCHEDULE A SITE INSPECTION FOR ANY TREE REMOVAL REQUIRING A PERMIT.
30. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.
31. THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY. (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.

32. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNS OF ANY TYPE, THE CONTRACTOR SHALL CONTACT LOCAL ENTITY TRAFFIC OPERATIONS DEPARTMENT, WHO WILL TEMPORARILY REMOVE OR RELOCATE THE SIGN AT NO COST TO THE CONTRACTOR, HOWEVER, IF THE CONTRACTOR MOVES THE TRAFFIC SIGN THEN THE CONTRACTOR WILL BE CHARGED FOR THE LABOR, MATERIALS AND EQUIPMENT TO REINSTALL THE SIGN AS NEEDED.
33. THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR THE INITIAL, INSTALLATION OF TRAFFIC SIGNING AND STRIPING FOR THE DEVELOPMENT RELATED TO THE DEVELOPMENT'S LOCAL STREET OPERATIONS. IN ADDITION, THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR TRAFFIC SIGNING AND STRIPING RELATED TO DIRECTING TRAFFIC ACCESS TO AND FROM THE DEVELOPMENT.
34. THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.
35. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
36. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
37. THE DEVELOPER SHALL HAVE, ONSITE AT ALL TIMES, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
38. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
39. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES. UPON COMPLETION OF THE WORK, THE CONTRACTOR(S) SHALL SUBMIT RECORD DRAWINGS TO THE LOCAL ENTITY ENGINEER.
40. THE DESIGNER SHALL PROVIDE, IN THIS LOCATION ON THE PLAN, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARK FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS. THE INFORMATION SHALL BE AS FOLLOWS:
PROJECT DATUM: NAVD88
BENCHMARK #31-97 SOUTHWEST CORNER OF LAPORTE AVE. AND SHIELDS ST., ON A CONCRETE TRAFFIC SIGNAL BASE.
ELEVATION = 5023.65

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) FOR THEIR VERTICAL DATUMS.

IF NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED DATUM (PRIOR CITY OF FORT COLLINS DATUM) = NAVD88 DATUM - 3.17.

41. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
42. DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS, PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
43. WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE LOCAL ENTITY CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ENTITY STREET REPAIR STANDARDS. THE FINISHED PATCH SHALL BLEND IN SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE LOCAL ENTITY ENGINEER AND/OR THE LOCAL ENTITY INSPECTOR AT THE TIME THE CUTS ARE MADE.
44. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
45. STANDARD HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.
46. AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A MINIMUM PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.
47. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTENANT IMPROVEMENTS, INCLUDING STORM DRAINAGE STRUCTURES AND PIPES, FOR THE FOLLOWING PRIVATE STREETS: NOT APPLICABLE.
48. ONE MODIFICATION OF STANDARDS IS BEING REQUESTED BY ADMINISTRATIVE APPROVAL FOR THE NEGLIGIBLE ENCRoACHMENT OF A SIDE YARD SETBACK.

NO.	DATE	BY
1		
2		
3		
4		
5		
6		



KEEFE CIVIL, INC
 3125 CROCKETT STREET
 FORT COLLINS, CO 80526
 TEL: 970.226.1111
 FAX: 970.226.1112
 WWW.KEEFECIVIL.COM

1026 AKIN AVENUE
GENERAL NOTES
 FORT COLLINS, COLORADO

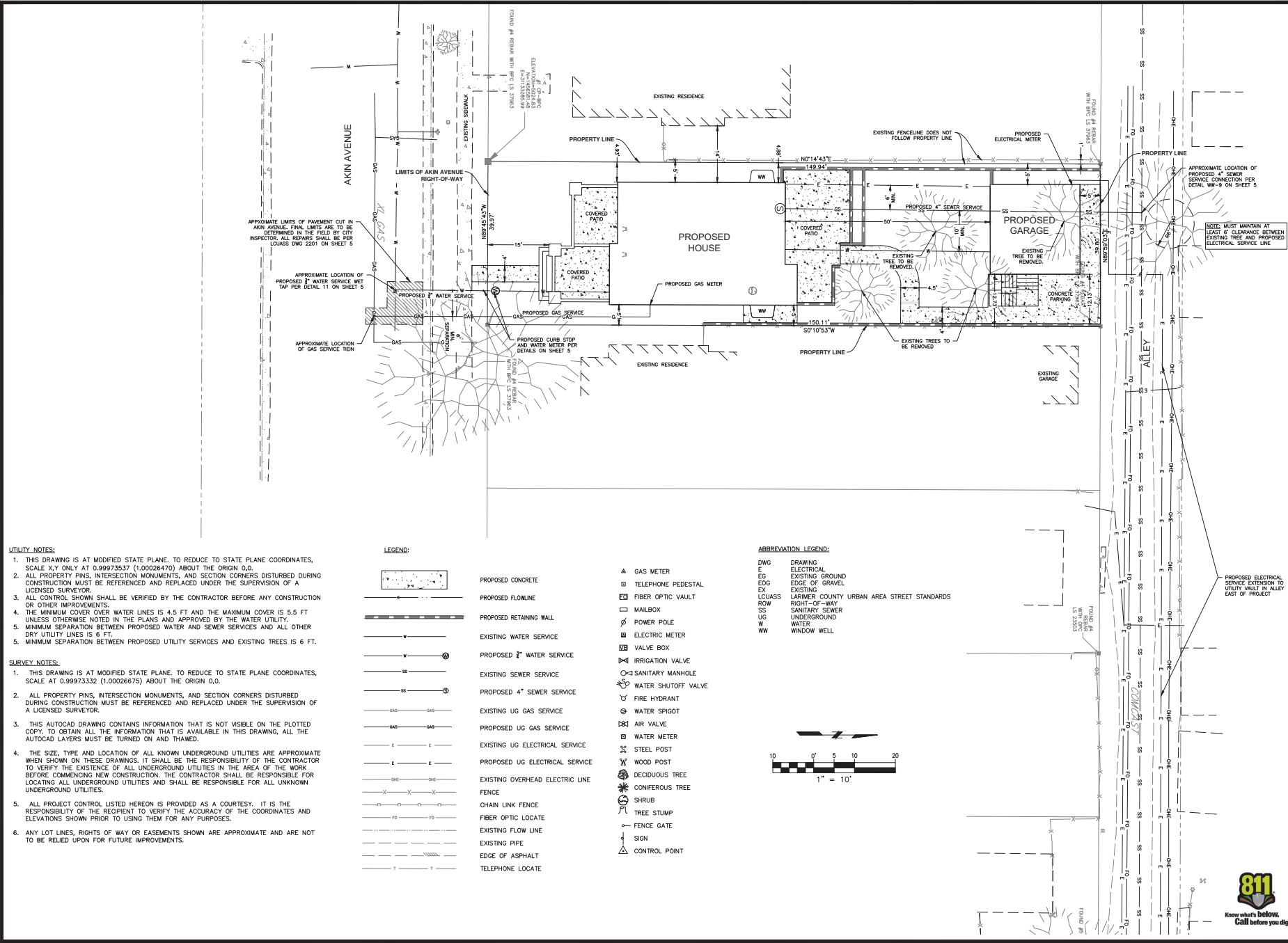




KEEFE CIVIL, INC.
 3125 CROCKETT STREET
 FORT COLLINS, CO 80526
 MEG@KEEFECIVIL.COM



1028 AKIN AVENUE
UTILITY PLAN
 FORT COLLINS, COLORADO



- UTILITY NOTES:**
1. THIS DRAWING IS AT MODIFIED STATE PLANE. TO REDUCE TO STATE PLANE COORDINATES, SCALE X,Y ONLY AT 0.99973537 (1.00026470) ABOUT THE ORIGIN 0,0.
 2. ALL PROPERTY PINS, INTERSECTION MONUMENTS, AND SECTION CORNERS DISTURBED DURING CONSTRUCTION MUST BE REFERENCED AND REPLACED UNDER THE SUPERVISION OF A LICENSED SURVEYOR.
 3. ALL CONTROL SHOWN SHALL BE VERIFIED BY THE CONTRACTOR BEFORE ANY CONSTRUCTION OR OTHER IMPROVEMENTS.
 4. THE MINIMUM COVER OVER WATER LINES IS 4.5 FT AND THE MAXIMUM COVER IS 5.5 FT UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.
 5. MINIMUM SEPARATION BETWEEN PROPOSED WATER AND SEWER SERVICES AND ALL OTHER DRY UTILITY LINES IS 6 FT.
 6. MINIMUM SEPARATION BETWEEN PROPOSED UTILITY SERVICES AND EXISTING TREES IS 6 FT.
- SURVEY NOTES:**
1. THIS DRAWING IS AT MODIFIED STATE PLANE. TO REDUCE TO STATE PLANE COORDINATES, SCALE AT 0.99973332 (1.00026675) ABOUT THE ORIGIN 0,0.
 2. ALL PROPERTY PINS, INTERSECTION MONUMENTS, AND SECTION CORNERS DISTURBED DURING CONSTRUCTION MUST BE REFERENCED AND REPLACED UNDER THE SUPERVISION OF A LICENSED SURVEYOR.
 3. THIS AUTOCAD DRAWING CONTAINS INFORMATION THAT IS NOT VISIBLE ON THE PLOTTED COPY. TO OBTAIN ALL THE INFORMATION THAT IS AVAILABLE IN THIS DRAWING, ALL THE AUTOCAD LAYERS MUST BE TURNED ON AND THAWED.
 4. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 5. ALL PROJECT CONTROL LISTED HEREON IS PROVIDED AS A COURTESY. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THE ACCURACY OF THE COORDINATES AND ELEVATIONS SHOWN PRIOR TO USING THEM FOR ANY PURPOSES.
 6. ANY LOT LINES, RIGHTS OF WAY OR EASEMENTS SHOWN ARE APPROXIMATE AND ARE NOT TO BE RELIED UPON FOR FUTURE IMPROVEMENTS.

LEGEND:

	PROPOSED CONCRETE		▲ GAS METER
	PROPOSED FLOWLINE		⊠ TELEPHONE PEDESTAL
	EXISTING RETAINING WALL		▣ FIBER OPTIC VAULT
	EXISTING WATER SERVICE		☐ MAILBOX
	PROPOSED 2" WATER SERVICE		⚡ POWER POLE
	EXISTING SEWER SERVICE		⊠ ELECTRIC METER
	PROPOSED 4" SEWER SERVICE		⊠ VALVE BOX
	EXISTING UG GAS SERVICE		⊠ IRRIGATION VALVE
	PROPOSED UG GAS SERVICE		⊠ SANITARY MANHOLE
	EXISTING UG ELECTRICAL SERVICE		⊠ WATER SHUTOFF VALVE
	PROPOSED UG ELECTRICAL SERVICE		⊠ FIRE HYDRANT
	EXISTING OVERHEAD ELECTRIC LINE		⊠ WATER SPIGOT
	CHAIN LINK FENCE		⊠ AIR VALVE
	FIBER OPTIC LOCATE		⊠ WATER METER
	EXISTING FLOW LINE		⊠ STEEL POST
	EXISTING PIPE		⊠ WOOD POST
	EDGE OF ASPHALT		⊠ DECIDUOUS TREE
	TELEPHONE LOCATE		⊠ CONIFEROUS TREE
			⊠ SHRUB
			⊠ TREE STUMP
			⊠ FENCE GATE
			⊠ SIGN
			⊠ CONTROL POINT

ABBREVIATION LEGEND:

DWG	DRAWING
E	ELECTRICAL
EG	EXISTING GROUND
EGG	EDGE OF GRAVEL
EX	EXISTING
EX	EXISTING
LOCASS	LARIMER COUNTY URBAN AREA STREET STANDARDS
ROW	RIGHT-OF-WAY
SS	SANITARY SEWER
UG	UNDERGROUND
W	WATER
WW	WINDOW WELL

1" = 10'

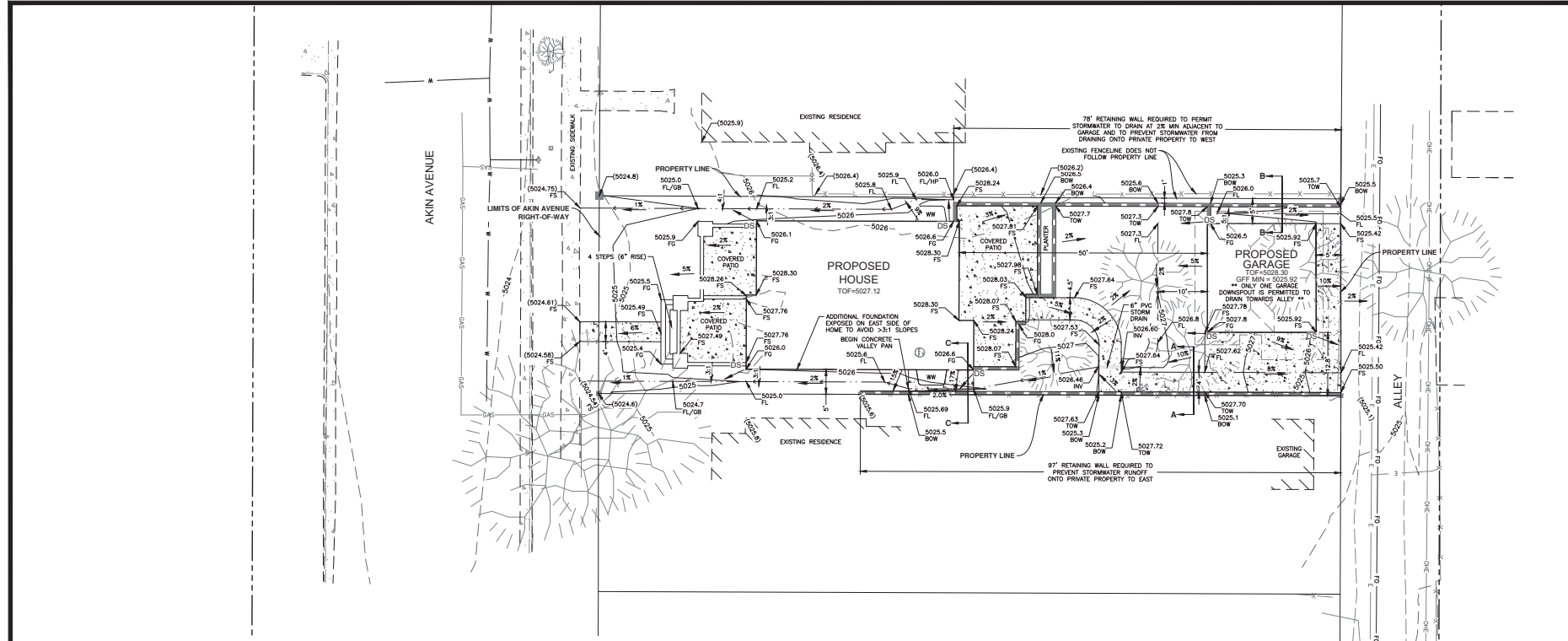




KEEFE CIVIL, INC
 3125 CROCKETT STREET
 FORT COLLINS, CO 80526
 MEG@KEEFECIVIL.COM



1028 AKIN AVENUE
GRADING PLAN
 FORT COLLINS, COLORADO



LEGEND:

- X-5004.3
-X-(5003.9) PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- 2% PROPOSED SLOPE
- (1%) EXISTING SLOPE
- DS DOWNSPOUT AND FLOW DIRECTION
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL
- PROPOSED FLOWLINE
- EXISTING FENCE

ABBREVIATION LEGEND:

- AC ACRES
- BOW BOTTOM OF WALL (FG OR FS ON DOWNHILL SIDE OF WALL)
- DS DOWNSPOUT
- DWG DRAWING
- EG EXISTING GROUND
- EOG EDGE OF GRAVEL
- EX EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOWLINE
- FS FINISHED SURFACE (CONCRETE)
- GB GRADE BREAK
- GFF GARAGE FINISHED FLOOR
- HP HIGH POINT
- LP LOW POINT
- ROW RIGHT-OF-WAY
- TOW TOP OF WALL (FG OR FS ON UPHILL SIDE OF WALL)
- WW WINDOW WELL

GRADING NOTES:

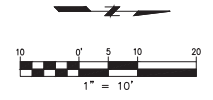
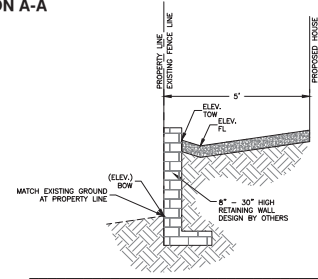
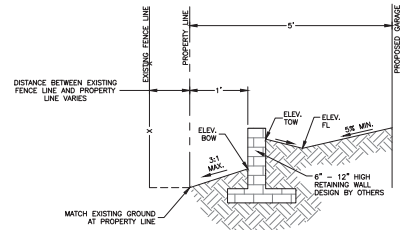
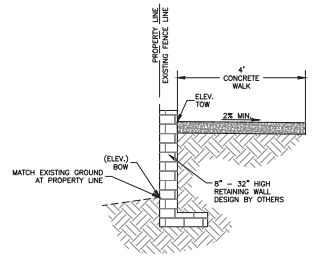
1. TOP OF FOUNDATION MUST BE AT LEAST 6" ABOVE THE HIGHEST GRADE SURROUNDING ALL BUILDINGS.
2. THERE MUST BE A MINIMUM GRADE OF 5% AWAY FROM THE BUILDINGS WITHIN THE FIRST 5 TO 10 FEET ADJACENT TO THE RESIDENCE.
3. SLOPES MUST NOT TO BE STEEPER THAN 3:1.
4. THIS DRAWING IS AT MODIFIED STATE PLANE. TO REDUCE TO STATE PLANE COORDINATES, SCALE X,Y ONLY AT 0.99973537 (1.00026470) ABOUT THE ORIGIN O.O.
5. ALL PROPERTY PINS, INTERSECTION MONUMENTS, AND SECTION CORNERS DISTURBED DURING CONSTRUCTION MUST BE REFERENCED AND REPLACED UNDER THE SUPERVISION OF A LICENSED SURVEYOR.
6. ALL CONTROL SHOWN SHALL BE VERIFIED BY THE CONTRACTOR BEFORE ANY CONSTRUCTION OR OTHER IMPROVEMENTS.

PROJECT BENCHMARKS

PROJECT DATUM: NAVD88
 BENCHMARK #31-97 SOUTHWEST CORNER OF LAPORTE AVE. AND SHIELDS ST., ON A CONCRETE TRAFFIC SIGNAL BASE.
 ELEVATION = 5023.65

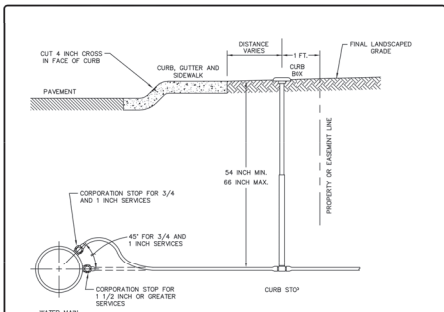
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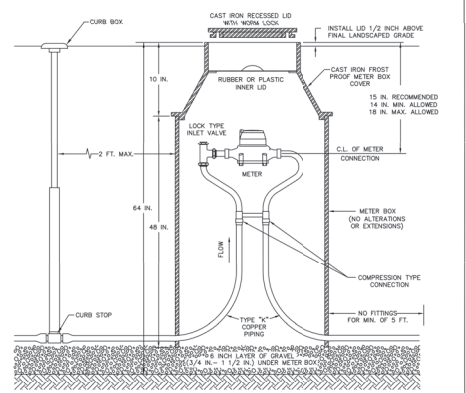
Hardscape or Hard Surface	Historic Site Area (sf)	Adjusted Historic Area (sf)	Developed Site Area (sf)	Adjusted Developed Area (sf)
Concrete	0	0	635	635
Rooftop (90%)	0	0	3,262	2,936
Total Impervious Area	0	0	3,897	3,571
Adjusted Site Imperviousness			3,571	





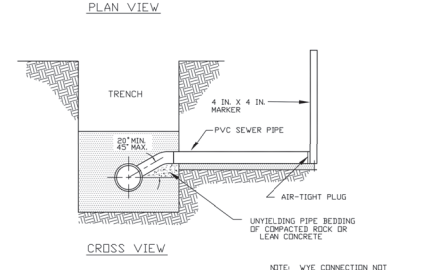
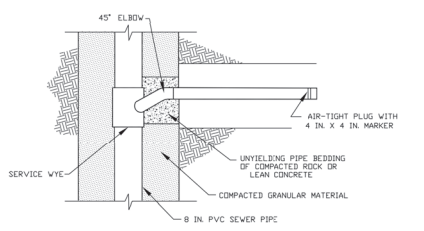
- GENERAL NOTES**
- Use direct top (as shown) for 3/4 inch and 1 inch services unless water main is PVC, in which case, use a tapping saddle.
 - Install 1 1/2 inch and 2 inch services with tapped tee and corporation stop at time of construction or use a tapping saddle.
 - Locate curb box and meter pit according to the approved utility drawings.
 - The City is responsible for maintaining the water main, corporation stop, and service piping up to and including the curb stop. The owner is responsible for service from the curb stop, including the outlet coupling to the building.
 - No couplings allowed between curb stop and meter setting.
 - Use type K copper for the service from the corporation stop to a minimum of 5 feet past the meter pit.
 - No landscaping (shrubs, boulders, etc.), retaining walls or fences allowed within 4 feet of the curb stop and meter pit, and no trees within 10 feet of curb and meter pit.
 - All residential water service shall be installed in the center of the lot unless otherwise approved by the Utility.
 - All water and sanitary sewer service shall have a minimum horizontal separation of ten feet.

	CITY OF FORT COLLINS UTILITIES - WATER FIELD OPERATIONS 535 WEST 10TH AVENUE FORT COLLINS, CO 80526	TYPICAL WATER SERVICE DETAIL 11	REVISED DATE 4/15/11
	CITY OF FORT COLLINS UTILITIES - WATER FIELD OPERATIONS P.O. BOX 506, FORT COLLINS, CO. 80522 (970) 221-4700	STANDARD EXTERIOR SETTING FOR 3/4 IN. AND 1 IN. WATER METERS DETAIL 15	REVISED DATE 4/15/11



- GENERAL NOTES**
- Do not install in any street, alley, parking area, driveway, sidewalk, drainage ditch or detention basin.
 - No landscaping (shrubs, boulders, etc.) or structures to be within 4 feet of meter box, or No trees within 10 feet of meter box.
 - Slope ground surrounding meter box away from lid at 2% minimum grade.
 - Make no plumbing connections (tees, couplings, etc.) in meter box.
 - All tees and connection fittings to be a minimum of 5 feet from meter box wall on outlet side.
 - Grade acceptance after meter box installation requires that the sewer adjust meter box cover to 1/2 inch above final grade.
 - If a pressure reducing valve is required by Plumbing Code, install valve inside the building, immediately following the main shut-off valve.

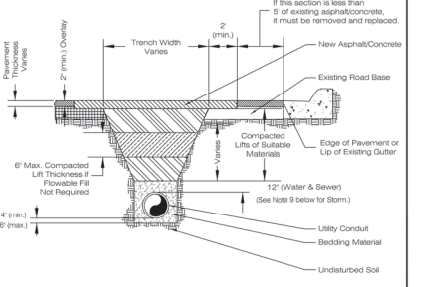
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NOTE: WYE CONNECTION NOT ALLOWED IN VCP

	SERVICE WYE DETAIL SEWER CONSTRUCTION DETAILS	APPROVED: DATE REVISED: 4/11/11 DRAWN BY: NSJ	DETAIL WW-9
	SERVICE WYE DETAIL SEWER CONSTRUCTION DETAILS	APPROVED: DATE REVISED: 4/11/11 DRAWN BY: NSJ	DETAIL WW-9

FULL DEPTH ASPHALT PATCH: THE THICKNESS OF THE ASPHALT PATCH SHALL BE ONE-INCH THICKER THAN THE EXISTING ASPHALT THICKNESS WITH A MINIMUM ASPHALT THICKNESS PER TABLE 25-1 OF CHAPTER 25.



- NOTES:**
- All trenches shall be backfilled in accordance with the above detail unless otherwise specified by the Local Utility Engineer.
 - Prior to placement of asphalt/concrete, pavement edge shall be saw cut to a clean, vertical, and straight edge & outside of the wheel path.
 - Where the surrounding soils are non-expansive, a flowable fill may be substituted for backfill material.
 - Trench width shall not be more than 18" nor less than 12" wider than the outside diameter of the pipe.
 - Use a 18" long #4 epoxy rebar at 18" on centers along the perimeter of concrete panel replacement sections.
 - Refer to **Chapter 22, Materials & Construction Specifications** for compaction and testing requirements.
 - In unimproved areas, all disturbed areas shall be regraded, seeded & mulched.
 - In concrete roadways, a minimum of one entire concrete panel must be replaced.
 - Bedding material depth when installing storm sewer shall be up to spring line, except in areas of unsuitable backfill, then, bedding material shall be placed to a level 12" above pipe.

	TRENCH DETAIL LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 04/01/07	DRAWING 2201
	TRENCH DETAIL LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 04/01/07	DRAWING 2201

BY	
REVISIONS	
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KEEFE CIVIL, INC.
 3125 CROCKETT STREET
 FORT COLLINS, CO 80526
 PHONE: 970.221.4700
 MEG@KEEFECIVIL.COM



1026 AKIN AVENUE
 UTILITY DETAIL SHEET
 FORT COLLINS, COLORADO

