



July 25, 2018
Open House



Compatibility Code Updates



Focus Areas

Downtown

Neighborhood Conservation Buffer (NCB)

Historic Preservation

Recent Guiding Plans

The 2017 Fort Collins

Downtown Plan

The Fort Collins

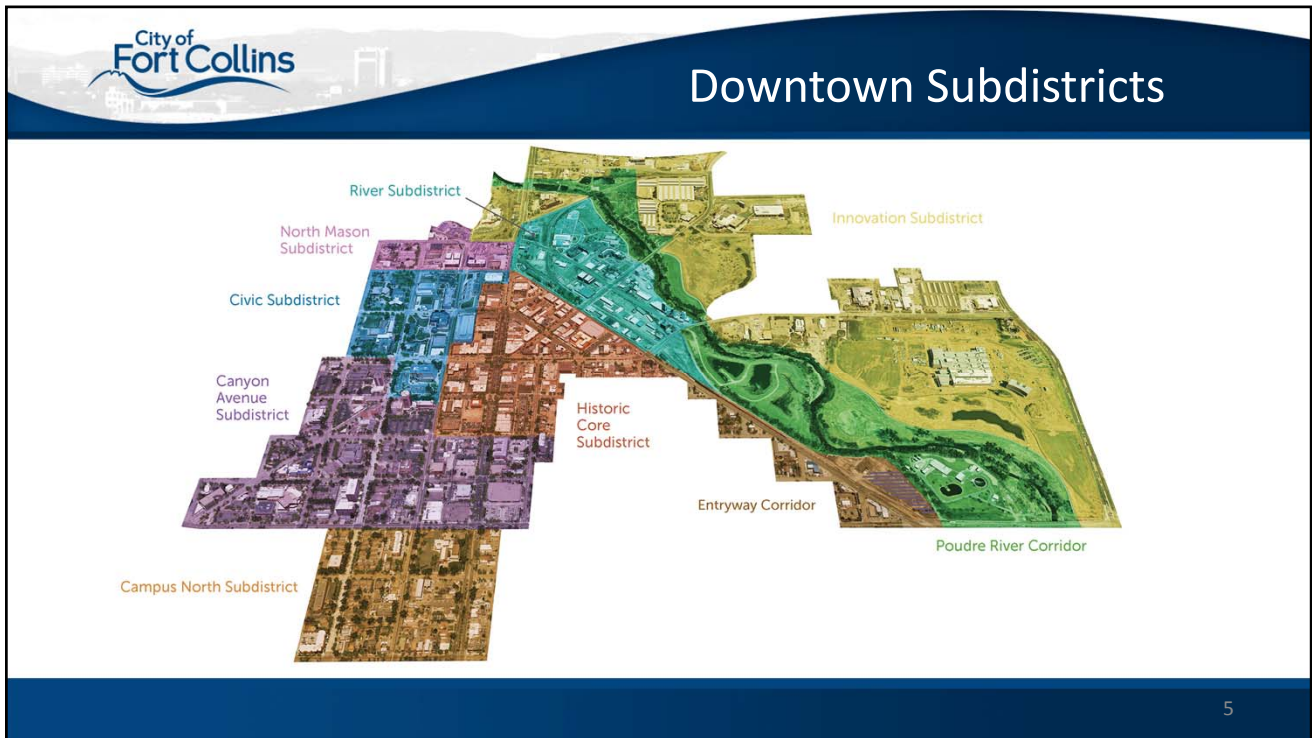
Old Town Neighborhoods Plan

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Downtown Zone Boundary

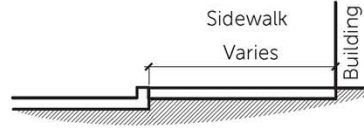
New Downtown Zone district established under the 2017 Downtown Plan.

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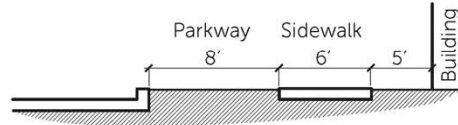


Street Frontage Types

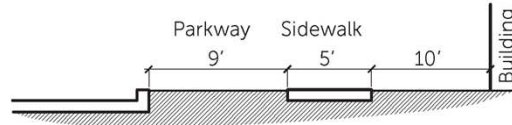
Storefront



Mixed Use

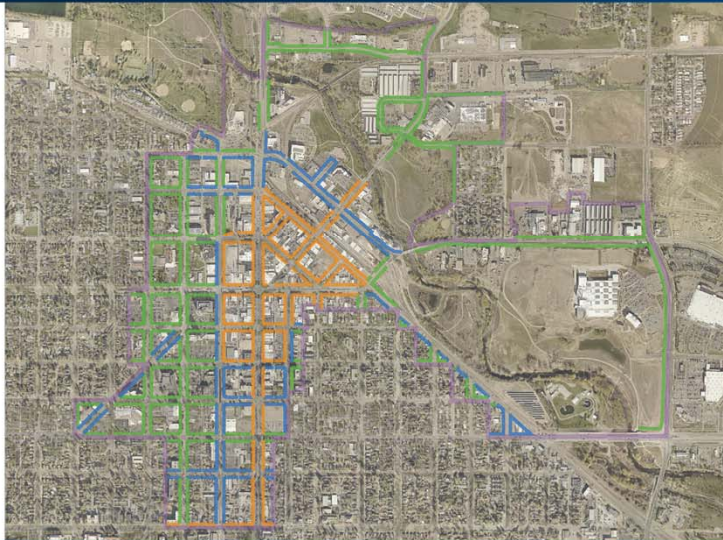


Green Edge



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Street Frontage Types



Street Frontage Type

- Storefront
- Mixed Use
- Green Edge

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CG4

City of Fort Collins

Street Frontage Types

ARTICLE 4, DIVISION 4.16
Downtown (D)
Design Standards
Street Frontage Type Requirements:

	STREET FRONTAGE TYPE		
	Storefront	Mixed Use	Green Edge
Minimum Setback From Back Of Curb <i>(Right of way included in setback)</i>	Varies, can build on lot line	Min. 10' from back of curb to building Min. 5' parkway Min. 5' sidewalk Min. 5' back of walk to building	Min. 24' from back of curb to building Min. 5' parkway Min. 5' sidewalk Min. 10' back of walk to building
Min. Alley, Sidelot and Rear Lot Setbacks <i>(measured from property line)</i>	0' Sidelot 5' Alley 0' Rear Yard	0' Sidelot 5' Alley 5' Rear Yard	10' Sidelot 5' Alley 5' Rear Yard
Required Street Frontage Build-To Range <i>(as measured from the setback)</i>	80% at 0 to 5'	75% at 5 to 10'	50% at 10 to 20'
Primary Entrance Location	For parcels with multiple street frontage types, the primary entrance must face a Storefront Street if present, otherwise a Mixed-Use Street. The primary entrance may face a Green Edge Street only when other street frontage types are not present.		
Primary Entrance Articulation	The primary entrance on a storefront street shall be recessed from the front facade while the upper floors will maintain the sidewalk edge. Incorporate traditional design elements including a kickplate, transom window, and storefront displays.		
Garage Entry Location	Garage entries and service locations shall be located in alleys. If no alley is present, they may be located on a Green Edge street. If a Green Edge street is not present, they may be located on a Mixed-Use street. Garage entries and service locations are not allowed on Storefront street frontages without Planning Director approval.		
Building Base Materials	The bottom three stories of a building must be constructed of authentic, durable, high-quality materials (brick, stone, terra cotta, poured concrete, precast concrete, wood, cast iron, copper, architectural metal) or other modular materials.		
Ground-Floor Transparency	60%	40%	25%
Ground Floor Use Requirements	Maximum 25% street-facing linear frontage for residential living space.		

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City of Fort Collins

Build-To Range

$$\left(\frac{\text{Length of Building in Build-To Range (Feet)}}{\text{Total Parcel Frontage (Feet)}} \right) \times 100 = \text{Build-To Percentage}$$

Required Build-To Range

Min. Setback Based on Street Frontage Type

Length of Building in Build-To Range

Total Parcel Frontage (Feet)

KEY

Property Line

Build-To Range

Min. Setback

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Slide 9

CG4 replace with new table
Cameron Gloss, 7/19/2018

Building Base Materials

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Building Base Materials

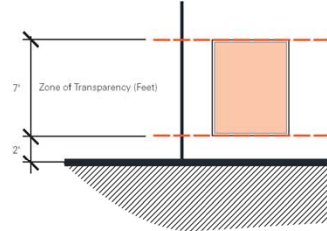
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Window Transparency

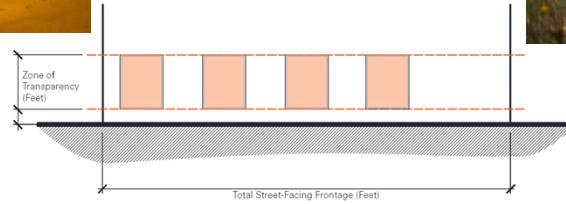
$$\left(\frac{\text{Total Transparent Window Area Provided in Zone of Transparency (SF)}}{\text{Total Street-Facing Frontage (Feet) x Zone of Transparency (Feet)}} \right) \times 100 = \text{Ground Floor Transparency Percentage}$$



Storefront



Green Edge



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Window Transparency

123 N College Ave.

Ground-Floor Transparency
Approximately 60%



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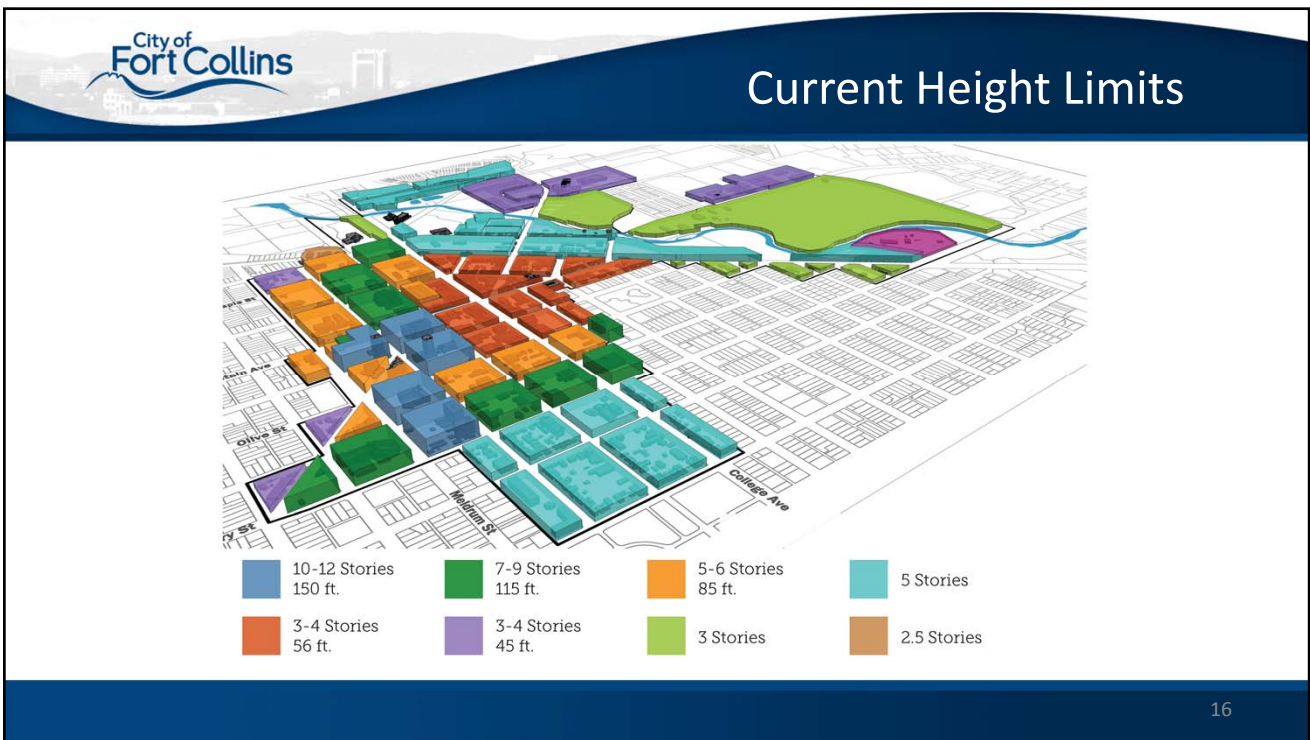
CG2
CG5
CG3

Building Form

Building Form Requirements:

		MAXIMUM HEIGHT ALLOWANCE (per zoning map)				
		3 Stories	4 Stories	5 Stories	6 Stories	12 Stories
	Maximum Building Footprint	None.				The maximum building footprint above the 6th story shall not exceed 12,000 SF.
	Upper-Story Stepbacks	Upper-story stepbacks shall be designed to preserve views and maximize solar exposure for adjacent properties and key locations along the street frontage.		A series of upper-story stepbacks shall be integrated into overall building design and massing while responding to site context. Facade areas that are not stepped back shall be located to highlight key building features such as primary entries or corner locations. Upper-story stepbacks shall be designed to preserve views and maximize solar exposure for adjacent properties and key locations along the street frontage.		
	Maximum Wall Length	For buildings over 100' long, the maximum wall length for the ground floor without a <i>Major Facade Plane Change</i> shall be 50 feet. A <i>Major Facade Plane Change</i> must be a minimum of 2 feet deep and shall be related to entrances, the integral structure, and/or the organization of interior spaces and activities.				
	Building Articulation	Street-facing facades shall incorporate a minimum of 3 of the following articulation techniques to avoid long, undifferentiated facades: 1. Minor Facade Plane Changes- minimum 3 inches; 2. Vertical Projections; 3. Horizontal Projections (awnings, canopies, cornice articulation) that are integrated into the architecture; 4. Balconies or terraces; 5. Fenestration details, including window depth and sills or lintels. Buildings greater than 6 stories in height must provide four-sided architecture for all facades above the 6th floor and the top story must have a cornice, parapet, pitched or shaped roof form or other equivalent architectural feature involving a projection from the average plane of the facade by at least six (6) inches to serve as an expression of the Buildings top.				

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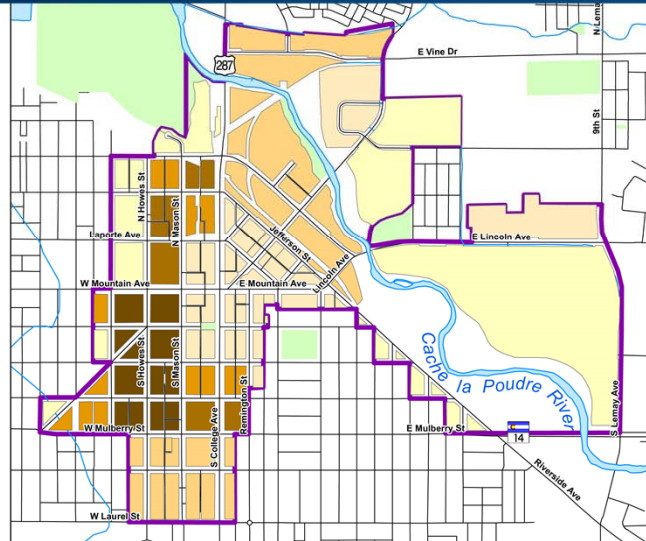
Slide 15

- CG1** Cameron Gloss, 7/19/2018
- CG2** replace with new chart
Cameron Gloss, 7/19/2018
- CG3** replace with new chart
Cameron Gloss, 7/19/2018
- CG5** replace with new table
Cameron Gloss, 7/19/2018

Proposed stories allowable per block within Downtown Zone.

Stories

-
- Downtown Boundary [Adopted 2017]



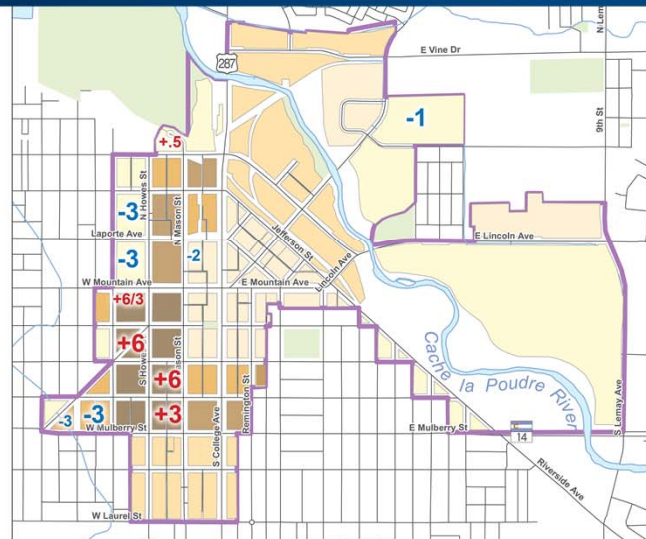
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Proposed stories allowable per block with number of stories gained or reduced.

Stories

- ### # of Stories Gained

of Stories Reduced

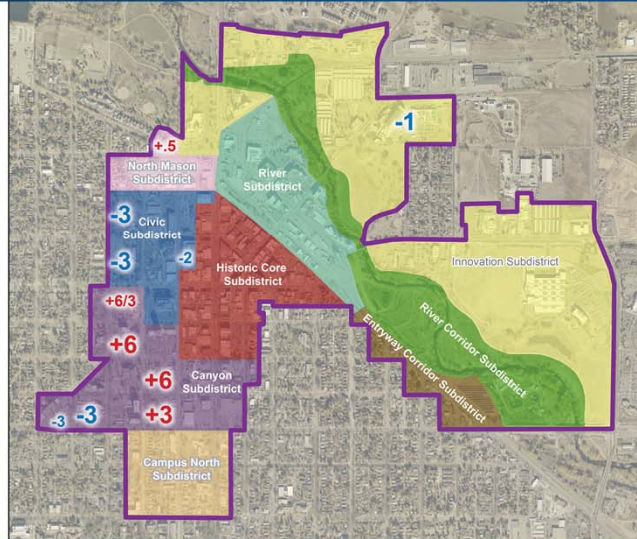


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Proposed Height Changes

GOALS:

1. Reduce height around Downtown perimeter to create a better transition to neighborhoods.
2. Increase height in areas that can support more density where there is infill and redevelopment potential *and* meets urban design objectives.



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Stories Gained/Reduced by Subdistrict

	Net Stories Gained		Net Stories Reduced	
	Full Blocks	Partial Blocks	Full Blocks	Partial Blocks
Canyon Subdistrict	15	9	3	3
North Mason Subdistrict		.5		
Innovation Subdistrict			1	
Civic Subdistrict			6	2
TOTAL:	15	9.5	10	5

Net Increase = 9.5 stories, primarily within Canyon Subdistrict

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Step-back Examples

- Third floor step-back driven by height of adjacent building/existing context
- Avoid standards that create 'wedding-cake'-shaped buildings



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Step-back Examples

- Third floor step-back driven by height of adjacent historical building.
- Lower stories address the contextual height and human scale with no step-backs on upper stories.



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For Buildings Greater Than 6 Stories

Buildings greater than 6 stories in height must provide four-sided architecture for all facades above the 6th floor.



THIS

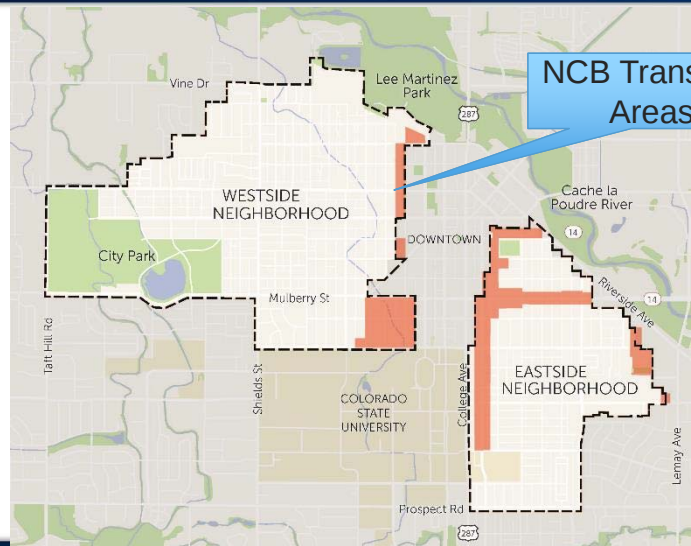


NOT THIS

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OTNP Framework Map



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(NCB) Standards

ARTICLE 4, DIVISION 4.9

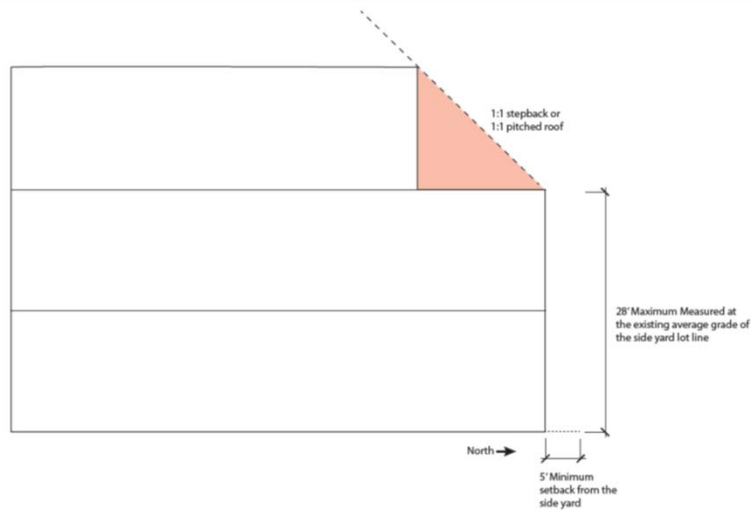
NEIGHBORHOOD CONSERVATION BUFFER (NCB) Design Standards

		BUILDING USE	
DESIGN COMPONENTS	SINGLE-FAMILY	PROPOSED STANDARDS (MULTI-FAMILY/MIXED- USE)	PROPOSED (NON- RESIDENTIAL)
Maximum Building Height	3 Stories (carriage houses and accessory buildings with habitable space 1 1/2 stories)	3 Stories	
Front Yard Setback	15' OR the average of the abutting parcels on the same block face.		
Rear Yard Setback	8' from alley 15' from other conditions		
Side Yard Setback	5' minimum interior lots 15' corner lots	5' minimum interior south-side yard See solar access setback requirements for north side yard 15' corner lots or the same as the abutting parcel	
Solar Access Setback	No solar access setback required for 2 story single-family residential	3 story buildings shall have a 1:1 setback at the third floor (28') or a 1:1 roof pitch	
Main Entrance	Primary entry(ies) shall be located on the street front and must include an architectural feature such as a porch, landing, portico, etc.		
Building Design	The following parameters apply to single-family: 1. Porch limited to 1 story 2. Be constructed parallel or at a right angle to the lot line 3. Upper stories shall not overhang by more than 1'	Must demonstrate blockface compatibility incorporating the following features: roof articulation, fenestration patterns, cladding materials, porch/balconies, contextual datum lines, courtyard	
Vehicular Access	Any new access must obtain access from an alley when present unless alley deemed a hazard by City Engineer. Alley access is not required when parking can be accessed from an existing driveway and curbcut along a public street and shall be set back at least 15' from the building setback		
Parking	Permanent off-street parking shall not be located any closer to a public street right-of-way than the principal building is set back from the street		

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NCB Standards



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Next Steps

July 16 – Aug. 10	City Attorney's Office Review
July 25	Public Workshop
Aug. 8	Downtown Business Association
Aug. 9	Downtown Development Authority
Aug. 15	Landmark Preservation Commission
Aug. 16	Planning and Zoning Board
Sept. 16	City Council 1 st Reading
Oct. 2	City Council 2 nd Reading

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