



**Historic Preservation Services**  
Community Development & Neighborhood Services  
281 N. College Ave.  
Fort Collins, CO 80524  
**970.224.6078**  
[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**REPORT OF ALTERATIONS TO DESIGNATED RESOURCE**  
**Site Number/Address: 608 Peterson St.**  
**Laurel School National Register Historic District**  
**ISSUED: July 31, 2025**

JRA Property Solutions  
c/o Tom Martinez, Valiant Construction Holdings, LLC  
115 Wilcox St, Suite 220  
Castle Rock, CO 80104

Dear Property Owner:

This report is to document proposed alterations to the Littlefield Residence, at 608 Peterson St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: Second story demolition in preparation for a pop-top addition

Our staff review of the proposed work finds the alterations do not meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

<b>Applicable Code Standard</b>	<b>Summary of Code Requirement and Analysis (Rehabilitation)</b>	<b>Standard Met (Y/N)</b>
<b>SOI #1</b>	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>  <b>The residential use of the property will not change as part of this project.</b>	<b>Y</b>
<b>SOI #2</b>	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i>  <b>The Littlefield Residence is a c. 1910 single-story frame residence with decorative half-timbering in the gable end. This project phase includes removal of second story material to prepare for a pop-top addition. The removal of this material changes the character of the home, and so this Standard is not met.</b>	<b>N</b>

<b>SOI #3</b>	<i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i>	<b>N/A</b>
<b>SOI #4</b>	<i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i>	<b>N/A</b>
<b>SOI #5</b>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p><b>This project includes removal of distinctive historic materials for the purposes of a pop-top addition, including recladding of the house. Due to the loss of historic materials, this Standard is not met.</b></p>	<b>N</b>
<b>SOI #6</b>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p><b>This project phase only includes demolition, and so this Standard does not clearly apply. However, the proposed pop-top addition and replacement of cladding and windows in the subsequent phase will not meet this Standard.</b></p>	<b>N/A</b>
<b>SOI #7</b>	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	<b>N/A</b>
<b>SOI #8</b>	<i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i>	<b>N/A</b>
<b>SOI #9</b>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>Standards 9 and 10 will be analyzed during the next phase of this project, the addition.</b></p>	<b>N/A</b>

<b>SOI #10</b>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>Standards 9 and 10 will be analyzed during the next phase of this project, the addition.</b></p>	<b>N/A</b>
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Although this report is advisory in nature, please be aware that exterior alterations that do not meet the Secretary of the Interior's Standards for Rehabilitation may disqualify this property from eligibility for certain financial incentives for historic properties, such as the State Tax Credits for preservation, should the property be determined no longer eligible for historic designation due to the extent of alterations, and may also diminish the historic district as a whole.

If you have any questions regarding this review, please contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-224-6078.

Sincerely,

Yani Jones  
Historic Preservation Planner



## BUILDING PERMIT APPLICATION:

## Demolition

**All information on the application must be filled out (as applicable).**

### USE / TYPE OF BUILDING (check the correct uses below):

Residential ☒ Commercial ☐  
Single family detached ☒ Duplex/Two-Family ☐ Single Family Attached (Townhome) ☐ Multi-Family (Apartment/Condo) ☐  
Garage ☐ Bank ☐ Bar ☐ Church ☐ Hotel/Motel ☐ Medical Office ☐ Retail ☐ Other ☐: \_\_\_\_\_

### TYPE OF DEMOLITION:

Interior Non-structural ☐ Interior Structural ☒ Partial Demolition of a Building ☒ Complete Demolition of a Building ☐

**JOB SITE ADDRESS:** 608 Peterson Street, Ft Collins, CO 80524 **UNIT#:** \_\_\_\_\_

### PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name JRA Property Solutions LLC First Name JRA Property Solutions LLC Middle \_\_\_\_\_  
Street Address 33 S Boulder Cir Apt 302 City Boulder State CO Zip 80303  
Phone # 720.690.7131 Email jamie@betterblueprintrealty.com

### CONTRACTOR INFO:

Company Name Paramount Remodeling  
License Holder Name Levi Maxwell LIC # C1-404(DR) CERT # \_\_\_\_\_

### CONSTRUCTION INFO:

Square Footage to be Demolished 1531 # of Dwelling Units to be Demolished 1  
Total area (surface) disturbed 1531

Is this associated with a project currently under Development Review? Yes ☐ No ☒

**What type of new building/use is planned?** Residential ☒ Commercial ☐  
Single family detached ☒ Duplex/Two-Family ☐ Single Family Attached (Townhome) ☐ Multi-Family (Apartment/Condo) ☐  
Garage ☐ Bank ☐ Bar ☐ Church ☐ Hotel/Motel ☐ Medical Office ☐ Retail ☐ Other ☐: \_\_\_\_\_  
Provide permit number(s) of new building(s) (if applied for): \_\_\_\_\_

**VALUE OF CONSTRUCTION (materials and labor):** \$ 20,000

### DESCRIPTION OF WORK:


POst Asbestos abatement, only demoing the interior walls on the first floor in preparation for the remodel and removing the 2nd story floor walls and attic trusses to prepare for the 2nd story addition.

**JOBSITE SUPERVISOR CONTACT INFO:** Name Tom Martinez, Valiant Spaces Phone 720.234.5207

### SUBCONTRACTOR INFO (only if subcontractors will be involved in demolition):

Electrical Quality Electric Mechanical E&M HVAC Plumbing Eagle Plumbing  
Fireplace n/a Roofing EC Construction

**Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.**

Applicant Signature  Type or Print Name Tom Martinez  
Phone # 720.234.5207 Email admin@bevaliant.net

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**

GENERAL NOTES

- SCOPE OF WORK: MAIN AND UPPER FLOOR ADDITION
- ALL CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING REGULATIONS, ORDINANCES OR COVENANTS OF THE AREA IN WHICH IT IS BUILT.
- THIS PROJECT TO COMPLY WITH ALL BUILDING CODES LISTED ON THIS TITLE SHEET INCLUDING AMENDMENTS AND UPDATES NOT LISTED ON THIS SHEET. CONTRACTOR TO BE RESPONSIBLE FOR CODE COMPLIANCE.
- N/A.
- CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING AND VERIFYING ALL EXISTING 4 NEW CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO START CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE DESIGNER ABOUT ANY CONDITIONS REQUIRING A MODIFICATION OR CHANGE BEFORE PROCEEDING WITH THE WORK.
- ALL CONSTRUCTION TO PROVIDE A WATERPROOF, WEATHER-TIGHT BUILDING. CONTRACTOR SHALL FLASH AND CAULK AS NECESSARY TO ACHIEVE THIS REQUIREMENT.
- IT IS IMPERATIVE THAT THE CONTRACTOR OBSERVE MANUFACTURER'S INSTRUCTIONS AND PROCEDURES FOR INSTALLATION OF ALL MATERIALS AND EQUIPMENT.
- WRITTEN DOCUMENTATION SHALL PREVAIL OVER SCALED DIMENSIONS ON DRAWINGS. IN NO EVENT IS A DIMENSION TO BE SCALED OFF THE DRAWINGS WITHOUT PRIOR APPROVAL FROM DRAFTER.
- CONTRACTOR AND ITS SUBCONTRACTOR WILL DESIGN AND BUILD ELECTRICAL, MECHANICAL, PLUMBING SYSTEMS AND INTEGRATE THESE SYSTEMS INTO ARCHITECTURAL AND STRUCTURAL ELEMENTS. DESIGNER WILL REVIEW AND ASSIST WITH COORDINATION. DESIGNER WILL NOT BEAR LIABILITY FOR ELECTRICAL, MECHANICAL, PLUMBING DESIGN AND PERFORMANCE.

- ALL WORK WILL BE INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, MANUFACTURER'S SPECIFICATIONS AND ACCEPTED TRADE STANDARDS.
- THE GC AND ITS SUBCONTRACTORS WILL PERFORM CONSISTENT HIGH QUALITY PROFESSIONAL WORK. CONTRACTOR WILL JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SHEARS OR OVERLAPS AND INSTALL EXPOSED MATERIALS LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE WILL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS OR LOCAL CODES ARE MORE STRINGENT.
- THE GC IS RESPONSIBLE FOR COORDINATION OF THE VARIOUS TRADES.
- THE SUBCONTRACTOR WILL TAKE ABSOLUTE CARE TO PROTECT THEIR NEWLY INSTALLED MATERIALS, MILLWORK AND FINISHES.
- FRAMING CONTRACTOR IS RESPONSIBLE FOR ANY UNUSED LUMBER ON SITE. ALL LUMBER IS TO BE CONTAINED IN AN ORDERLY FASHION IN A SEPERATE LOCATION FOR RETURNS.
- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THEIR TRASH INCLUDING ALL FOOD, CANS, WRAPPERS, ETC. ALL TRASH IS TO BE PUT IN DUMPSTER. IF GC PROVIDES DUMPSTER COVER THEN ALL SUBCONTRACTORS WILL MAINTAIN THIS COVER TO BE SECURED ON TOP OF DUMPSTER.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURAL STABILITY AND INTEGRITY OF THE BUILDING AT ALL TIMES.

[1] ESCAPE OR RESCUE WINDOWS:

[A] NET CLEAR OPENING AREA = MIN. 5.7sqft. - MIN. HGT 24" - MIN. WIDTH 20"

[B] MAXIMUM SILL HEIGHT FOR EGRESS WINDOW IS 44" ABOVE FINISHED FLOOR.

[C] EACH BSMT. IS REQUIRED TO HAVE AT LEAST [1] ESCAPE WINDOW. WINDOW WELLS @ ESCAPE WINDOWS ARE REQUIRED TO BE A MIN. OF 36" DEEP AND SHALL BE EQUIPPED WITH AN APPROVED PERMANENTLY AFFIXED LADDER.

[D] ALL WINDOW WELLS SHALL EXTEND BELOW THE WINDOW SILL HEIGHT.

[E] 3050SH = w3'- 0" x h2'- 6" = 7.50sqft  
3650SH = w3'- 6" x h2'- 6" = 8.75sqft  
4040SL = w2'- 0" x h4'- 0" = 8.00sqft  
5050SL = w2'- 6" x h5'- 0" = 12.5sqft

[2] ENERGY EFFICIENCY:

IECC 2018 - METHOD OF COMPLIANCE - PRESCRIPTIVE  
SEE SHEET TB1 AND TB2

FLASHING NOTE:

RZ038 FLASHING: APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 711. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

[1] EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.

[2] UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.

[3] CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.

[4] WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.

[5] AT WALL AND ROOF INTERSECTIONS.

[6] AT BUILT-IN GUTTERS.

[3] STAIRS:

[A] MAXIMUM RISE = 7 3/4"  
MINIMUM TREAD = 10"

[B] THE LARGEST TREAD OR RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST (TREAD OR RISER) BY MORE THAN 3/8". TYPICAL ALL STAIRS, INCLUDING THOSE PROVIDED IN THE GARAGES.

[C] ALL REQUIRED HANDRAILS SHALL BE ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.

[1] TYPE 1 - HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51MM). IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102 MM) AND NOT GREATER THAN 6 1/4 INCHES (166MM) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES (57 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25 MM)

[2] TYPE 2 - HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4 INCHES (160 MM) SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH (19 MM) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8 MM) WITHIN 7/8 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH (10 MM) TO LEVEL THAT IS NOT LESS THAN 1 3/4 INCHES (45 MM) BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4 INCHES (32 MM) TO A MAXIMUM OF 2 3/4 INCHES (70 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25 MM).  
- NOTE: ALL WALL MOUNT HAND RAILS MUST RETURN TO THE WALL OR NEWEL POST.

[D] HANDRAILS TO BE A MIN. 34" & MAX. 38" HGT.

[E] GUARDRAILS TO BE A MIN. 36" HIGH.

[F] USEABLE SPACE AREA UNDER STAIRS SHOULD BE PROTECTED AS REQUIRED FOR ONE HOUR CONST.

[G] ALL WOOD DECK STAIRS TO HAVE SOLID STAIR RISERS.

[H] OPEN STAIR RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

[4] FIRE BLOCKING:

[A] FIRE BLOCKS SHOULD BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

[1] IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS

- VERTICALLY AT THE CEILING AND FLOOR LEVELS
- HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET

[2] AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

[3] IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7

[4] AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET ASTM E 136 REQUIREMENTS.

[5] FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.

5. DOOR (FRONT EXT. - REAR EXT. - GARAGE TO HOUSE)

[A] MAXIMUM 1" THRESHOLD HGT. TO TOP OF FINISH FLOOR. LANDING MAX. 7 3/4" BELOW TOP OF THRESHOLD MIN. LENGTH OF LANDING IS 36"

[B] GARAGE TO HOUSE DOOR IS TO BE A MIN. OF 1-3/8" THICK. SOLID CORE, SELF CLOSING.

6. FIREPLACE UNIT:

N/A.

7. SHOWER:

[A] SHOWER STALL WALLS SHOULD BE FINISHED WITH A HARD, NONABSORBENT SURFACE TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET.

[B] PROVIDE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS AT SHOWER PER R702.4.2.

8. GRADE / FOUNDATION:

[A] PROVIDE A MIN. OF 8" FROM TOP OF FOUNDATION TO TOP OF FINISHED GRADE TYPICAL @ PERIMETER OF BLDG.

[B] ALL WOOD PLATES BEARING ON CONCRETE OR MASONRY SHALL BE TREATED OR OF DECAY RESISTANT MATERIAL.

[C] ANCHOR BOLTS SHOULD BE SPACED @ 6' MAX. AND WITHIN 1' OF THE END OF THE SILL PLATE. THE BOLTS SHOULD BE EMBEDDED A MIN. OF 7" INTO THE CONCRETE.

[D] FINAL GRADE SHOULD NOT EXCEED ONE VERTICAL TO TWO HORIZONTAL.

9. MOISTURE BARRIERS:

[A] APPLY DAMP PROOFING TO THE EXTERIOR SIDE OF ALL BASEMENT FOUNDATION WALLS.

[B] PROVIDE IMPERVIOUS MEMBRANE BETWEEN CONCRETE PORCH AND WOOD FRAMING.

[C] PROVIDE WATER RESISTIVE BARRIER AT ALL EXTERIOR WALLS.

10. ELECTRICAL:

[A] WIRE ALL SMOKE DETECTORS TOGETHER FOR SIMULTANEOUS OPERATION. DETECTORS TO BE PERMANENTLY WIRED & W/D DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION W/ BATTERY BACKUP

[B] A CONCRETE-ENCASED ELECTRODE (UFR GROUND) IS REQUIRED AS A PART OF THE GROUNDING ELECTRODE SYSTEM. THIS GROUND CONSISTS OF A MINIMUM 20'-0" LENGTH OF ELECTRICALLY CONDUCTIVE #4 REINFORCING BAR ENCASED BY AT LEAST 2" OF CONCRETE AND LOCATED NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH.

PROJECT DATA

BUILDING CODES:

- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2023 NATIONAL ELECTRIC CODE

SHEET INDEX

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SQUARE FOOTAGES

LOWER LIVING SQ. FT.	588 SF.
MAIN LIVING SQ. FT.	1634 SF.
UPPER LIVING SQ. FT.	1531 SF.
TOTAL LIVING SQ. FT.	3753 SF.
COVERED PORCH	191 SF.
CRAWLSPACE	620 SF.
UNFINISHED LOWER LEVEL	145 SF.

ENERGY COMPLIANCE SHEET

PER 2021 INTERNATIONAL ENERGY CODE - PRESCRIPTIVE METHOD

INSULATION REQUIREMENTS (IECC SEC. R402)

UNLESS OTHERWISE NOTED, MEETING THE FOLLOWING MINIMUM REQUIREMENTS:

- R-20 OR R-15/45 OR R-15 (EXTERIOR FRAMED WALLS ABOVE GRADE)
- R-60 (CEILING5 WITH ATTIC SPACE, ALLOWED TO BE R-38 IF 100% OF UNCOMPRESSED INSULATION EXTENDS OVER WALL PLATE)
- R-30 - RAFTER CEILINGS, LIMITED TO 500 S.F. OR 20% OF TOTAL AREA, WHICHEVER IS LESS.
- R-30 - FLOOR JOISTS ABOVE UNHEATED AREAS/CANTILEVERS OR FILL CAVITY (R-19 MINIMUM)
- R-15 DEPTH OF 2" - SLAB
- R-15/18 OR R-15 - (CONT.)STUD) CRAWL SPACE
- R-15/18 OR R-15 - (CONT.)STUD) BASEMENT WALLS
- INSTALL INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR DUCTWORK

PERMEATION (IECC SEC. R402.14 & R402.3

0.50 - PENETRATION U-FACTOR  
0.55 - SKYLIGHT U-FACTOR

DUCTS (IECC SEC. 408.3)

SUPPLY AND RETURN DUCTS IN ATTIC SHALL BE INSULATED TO A MIN. OF R-8, WHICH ARE 3" OR GREATER IN DIAMETER AND R-6 WHERE LESS THAN 3" IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER AREAS SHALL BE INSULATED TO A MIN. OF R-6, WHICH ARE 3" OR GREATER IN DIAMETER AND R-4.2 WHERE LESS THAN 3" IN DIAMETER. DUCTS OF PORTIONS OF THAT ARE COMPLETELY LOCATED INSIDE THE BUILDING THERMAL ENVELOPE ARE EXEMPT FROM INSULATION REQUIREMENTS. AIR HANDLERS, CAVITIES AND FILTER BOXES MUST ALSO BE SEALED.

DUCT TESTING

DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING: ROUGH-IN TEST OR POST-CONSTRUCTION TOTAL LEAKAGE WITHIN PRESSURE DIFFERENTIAL OF 0.1 INCH ACROSS THE SYSTEM, INCLUDING MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE SEALED DURING TESTING. WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR FILTRATION RATE OF NO MORE THAN 0.5 CFM PER SQUARE FOOT, AND SLIDING DOORS NO MORE THAN 0.5 CFM

PER SQUARE FOOT, WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/NDMA/CSA1011.52/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER PER 402.4.5

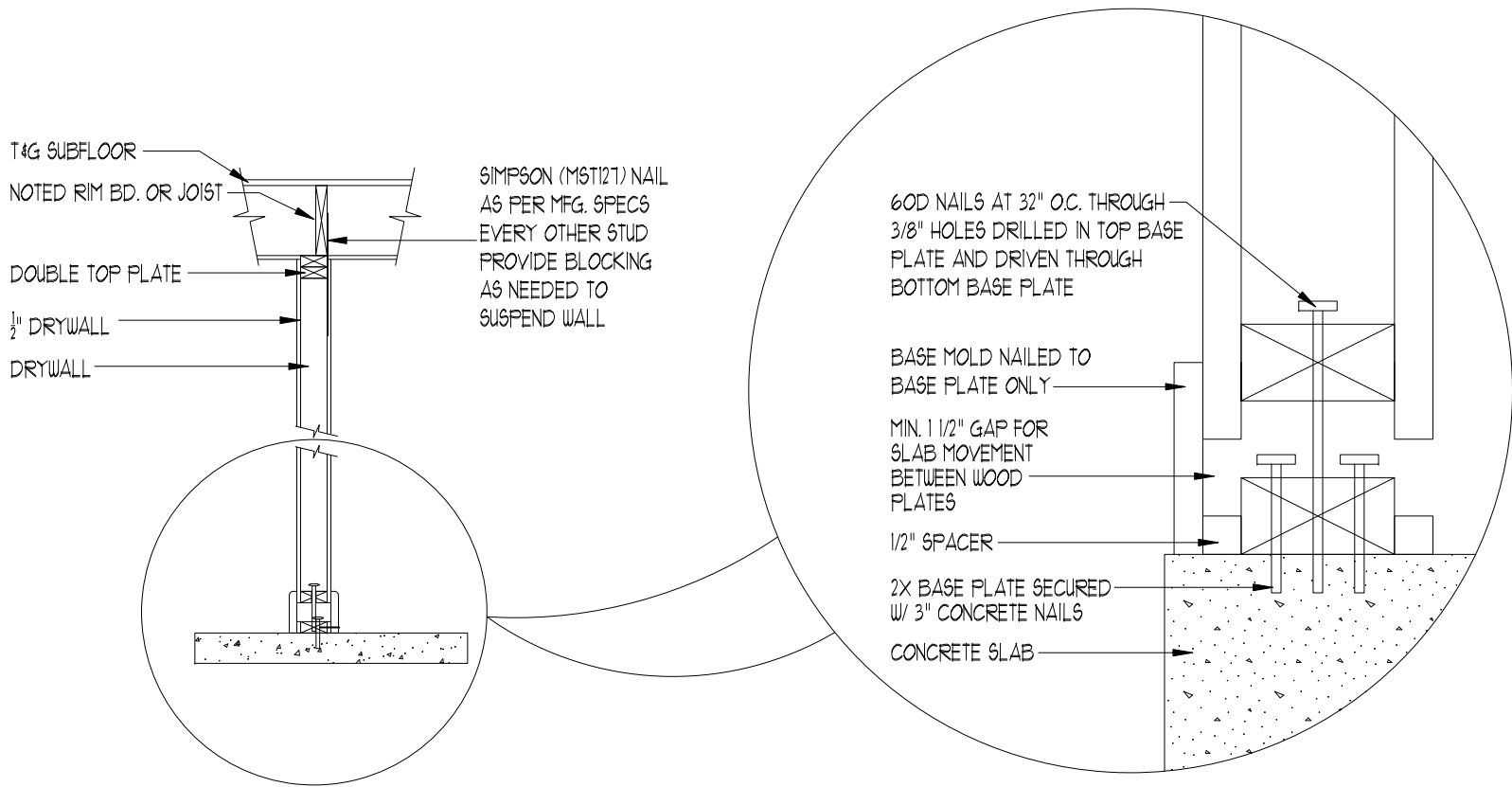
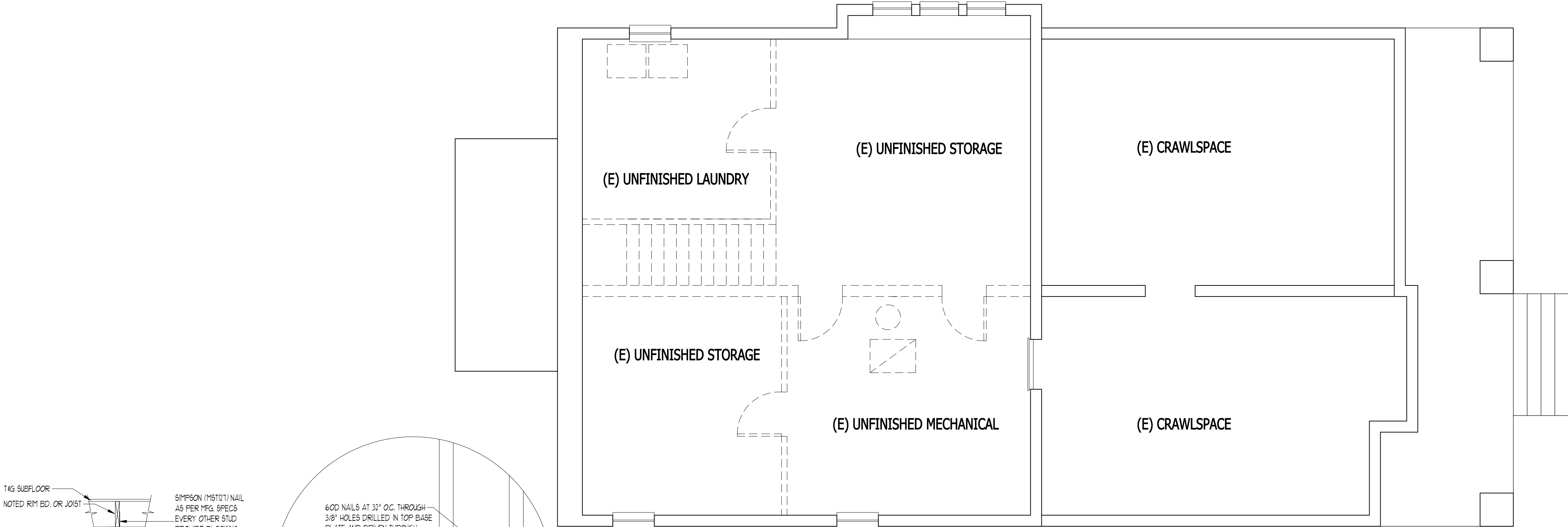
MANDATORY AIR SEALING (IECC SEC. 402.4)

THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT AIR INFILTRATION. THE FOLLOWING LOCATIONS SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHER WISE SEALED WITH AIR BARRIER MATERIAL TO LIMIT AIR INFILTRATION PER 2021 IECC, SECTION 402.4.1:

- AIR BARRIER
- CEILING/ATTIC
- WALLS
- WINDOWS, SKYLIGHTS AND DOORS
- RIM JOISTS
- FLOORS
- CRAWL SPACE WALLS
- SHAFTS, PENETRATIONS
- NARROW CAVITIES
- GARAGE SEPARATION
- RECESSED LIGHTING
- PLUMBING AND WIRING
- SHOWERTUB ON EXTERIOR WALL
- ELECTRICAL PHONE BOX ON EXTERIOR WALLS
- HVAC REGISTER BOOTHS THAT PENETRATE BUILDING THERMAL ENVELOPE
- FIREPLACE

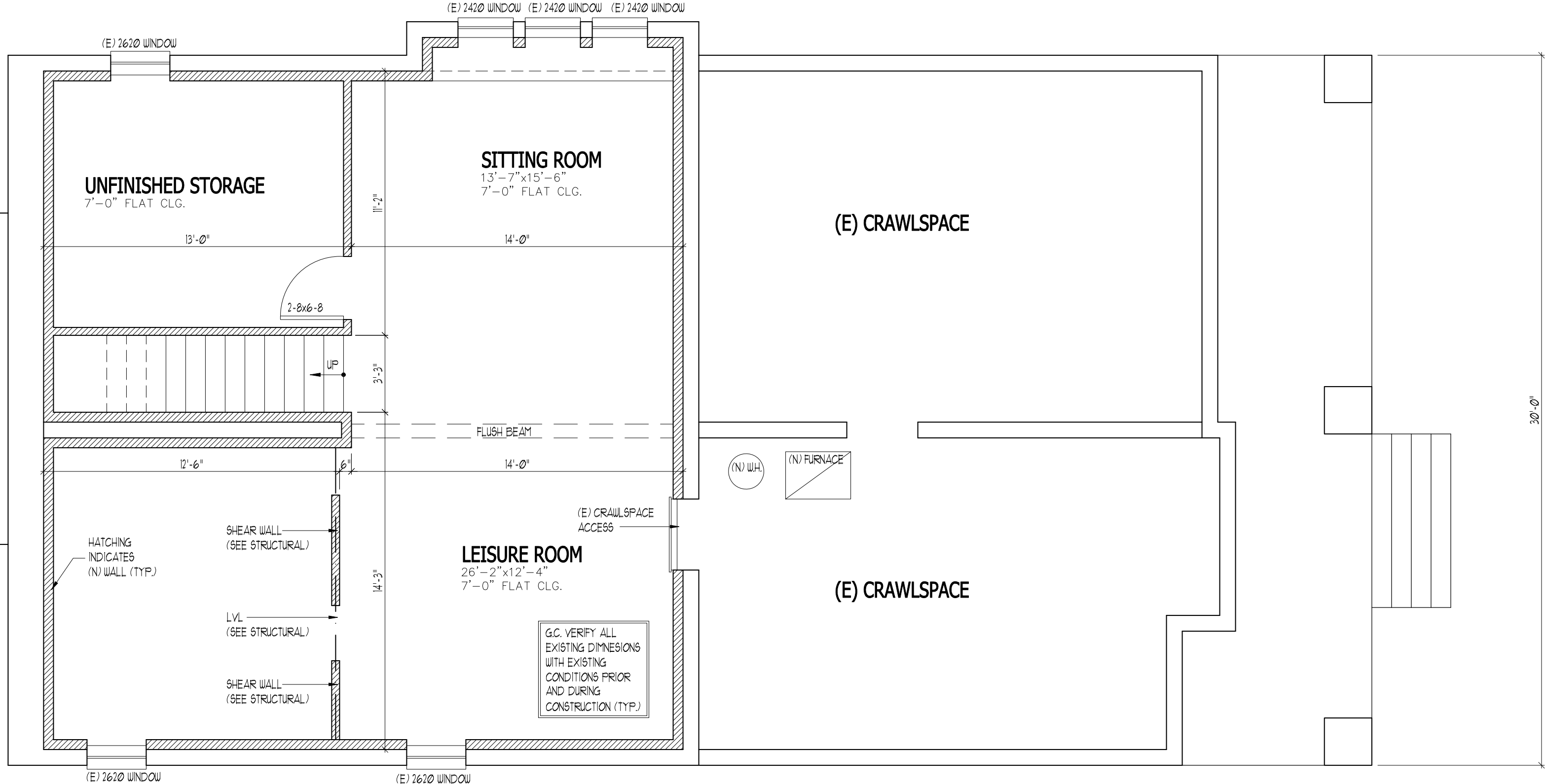
TESTING PER 402.4.2

THE DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR IN A CLIMATE ZONE 3 THRU 8. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES WG (50 PASCALES). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.



EXISTING AND DEMO LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"



RE-IMAGINED LOWER FLOOR PLAN

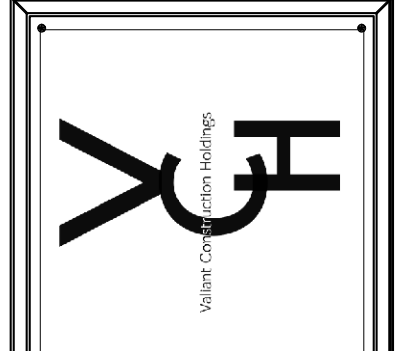
588 S.F.

SCALE: 1/4" = 1'-0"

ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.  
ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.  
ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.  
IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



JOB NUMBER	318033
CAD FILE NAME	PETERSON
ISSUED	06-30-25
REVISED	



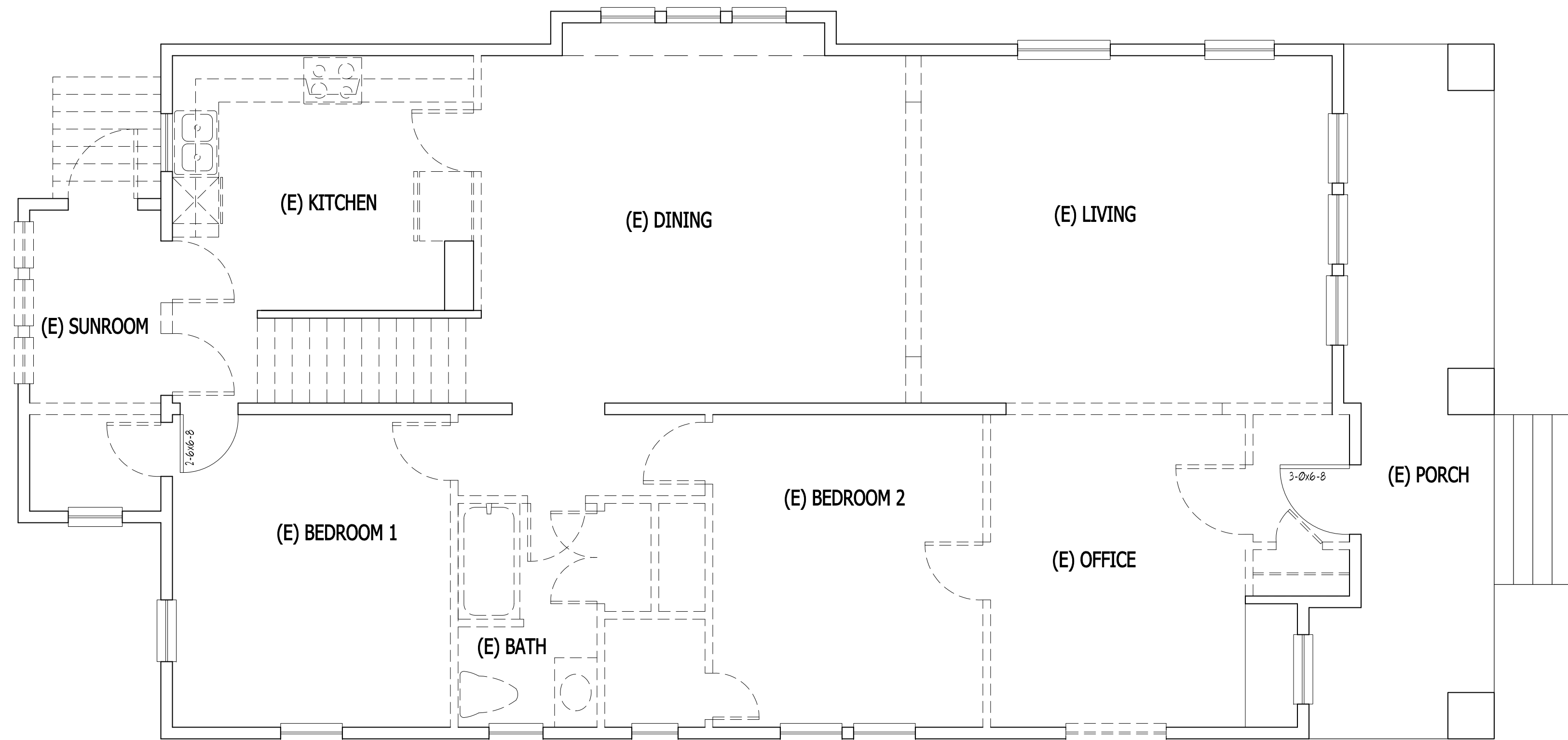
BETTER BLUEPRINT REALTY  
608 PETERSON ST.  
FT. COLLINS, CO

3753

TITLE  
LOWER FLOOR PLANS

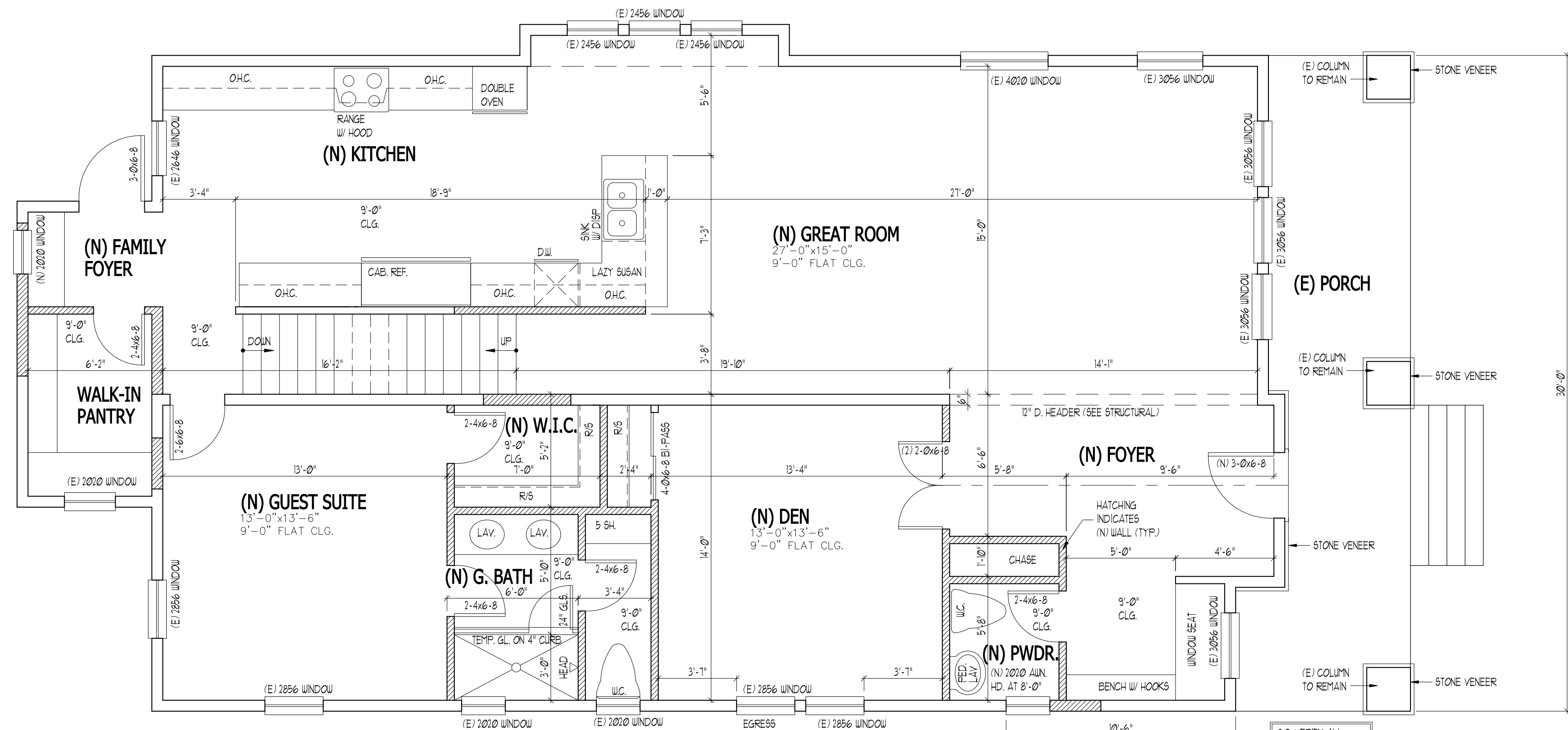
SHEET  
1.1





EXISTING AND DEMO MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

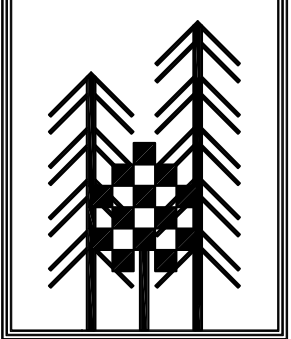


RE-IMAGINED MAIN FLOOR PLAN  
1634 S.F.

SCALE: 1/4" = 1'-0"


G.C. VERIFY ALL  
EXISTING DIMENSIONS  
WITH EXISTING  
CONDITIONS PRIOR  
AND DURING  
CONSTRUCTION (TYP.)

ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.  
ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.  
ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.  
IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.



3 TREES  
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JOB NUMBER	318033
CAD FILE NAME	PETERSON
ISSUED	06-30-25
REVISED	



VCH  
VOLUME CONSTRUCTION HOLDINGS

BETTER BLUEPRINT REALTY  
608 PETERSON ST.  
FT. COLLINS, CO

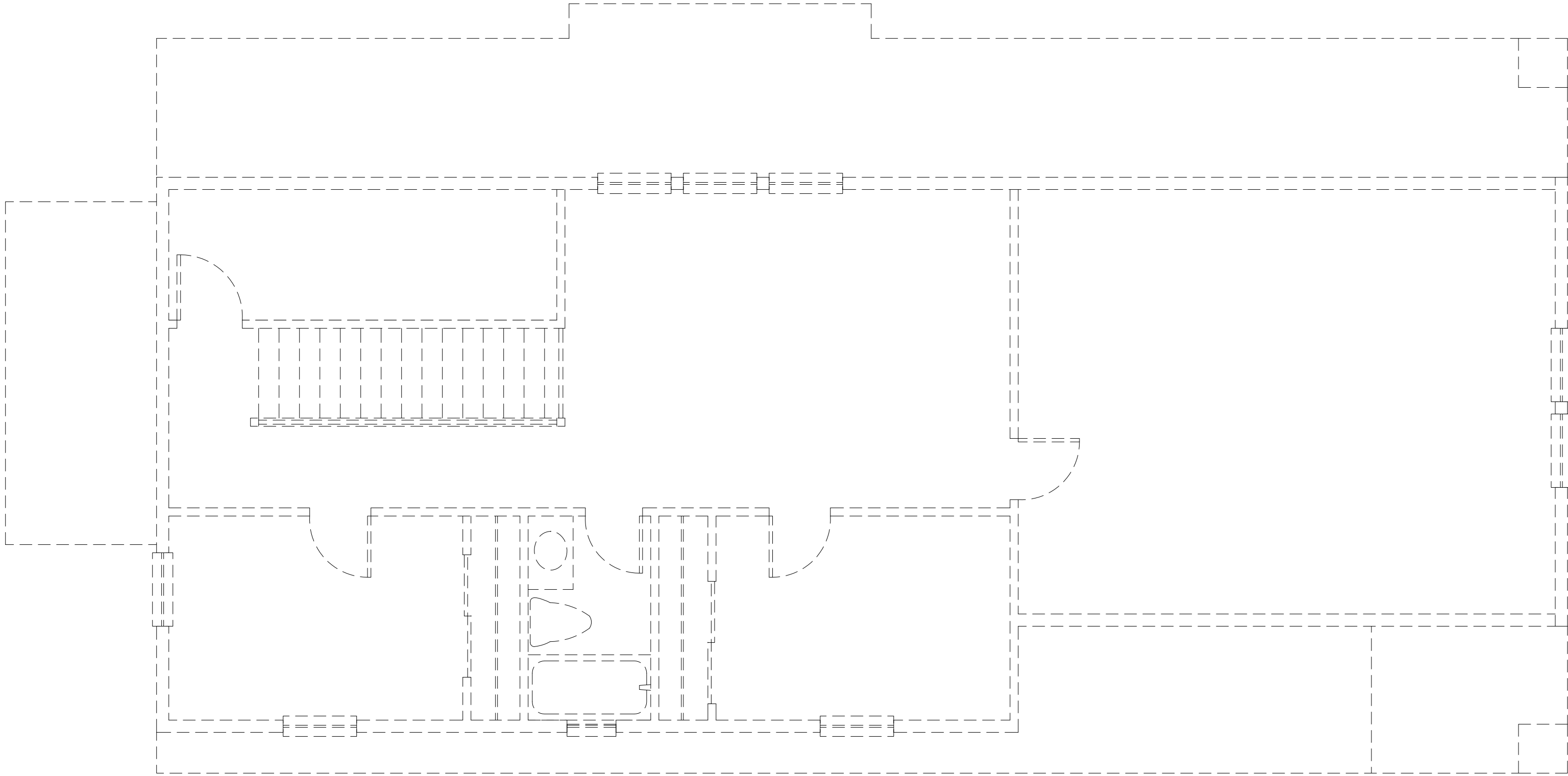
3753

TITLE  
MAIN FLOOR PLANS

1.1

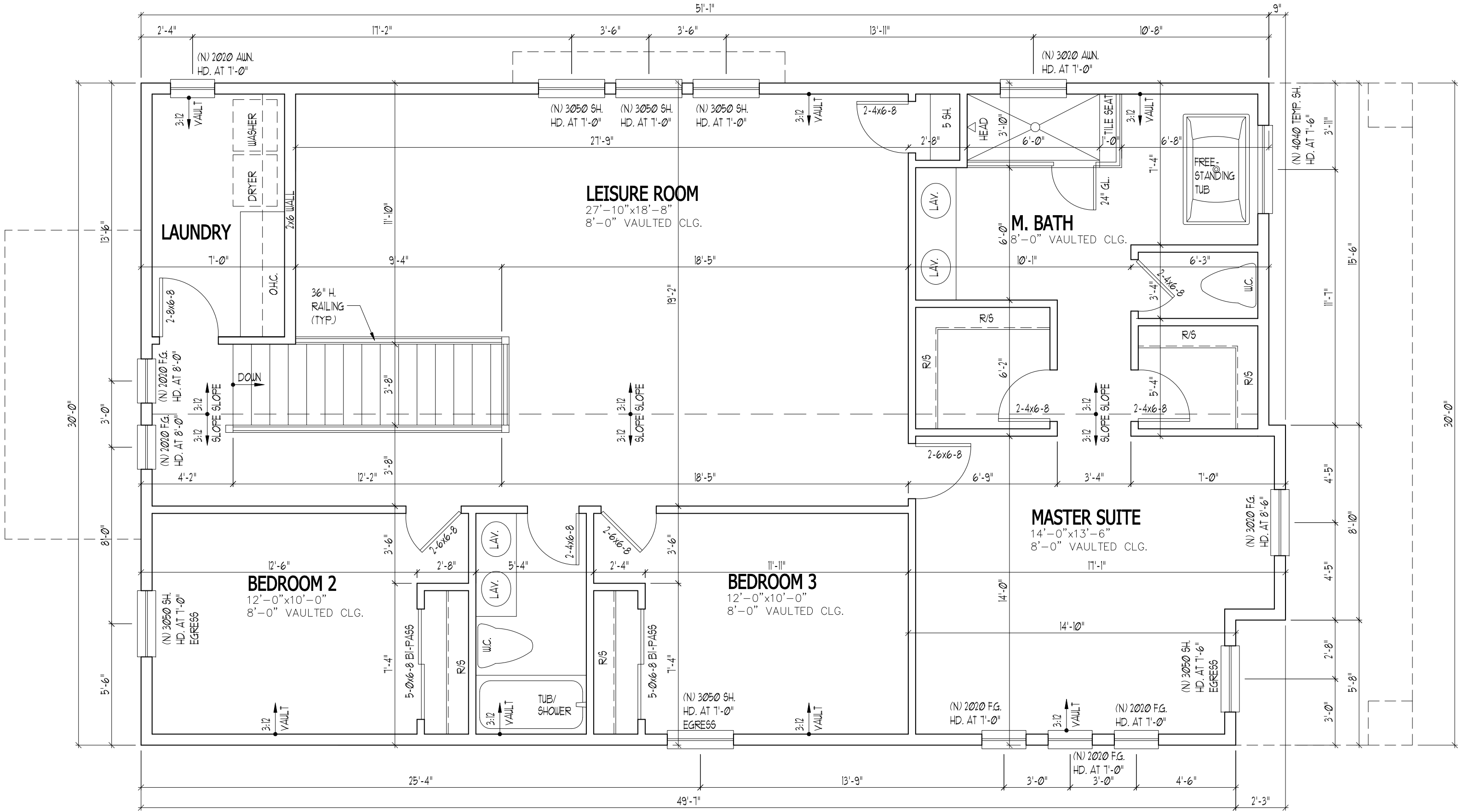
1.2

SHEET  
1.2



EXISTING AND DEMO UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"



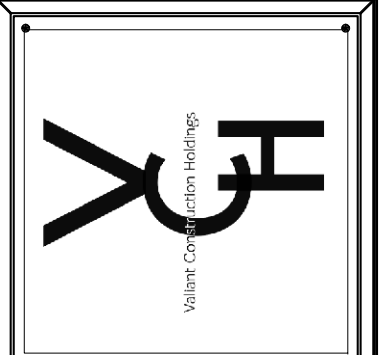
RE-IMAGINED UPPER FLOOR PLAN  
1486 S.F.

SCALE: 1/4" = 1'-0"



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DESIGN AND DRAFTING, INC.  
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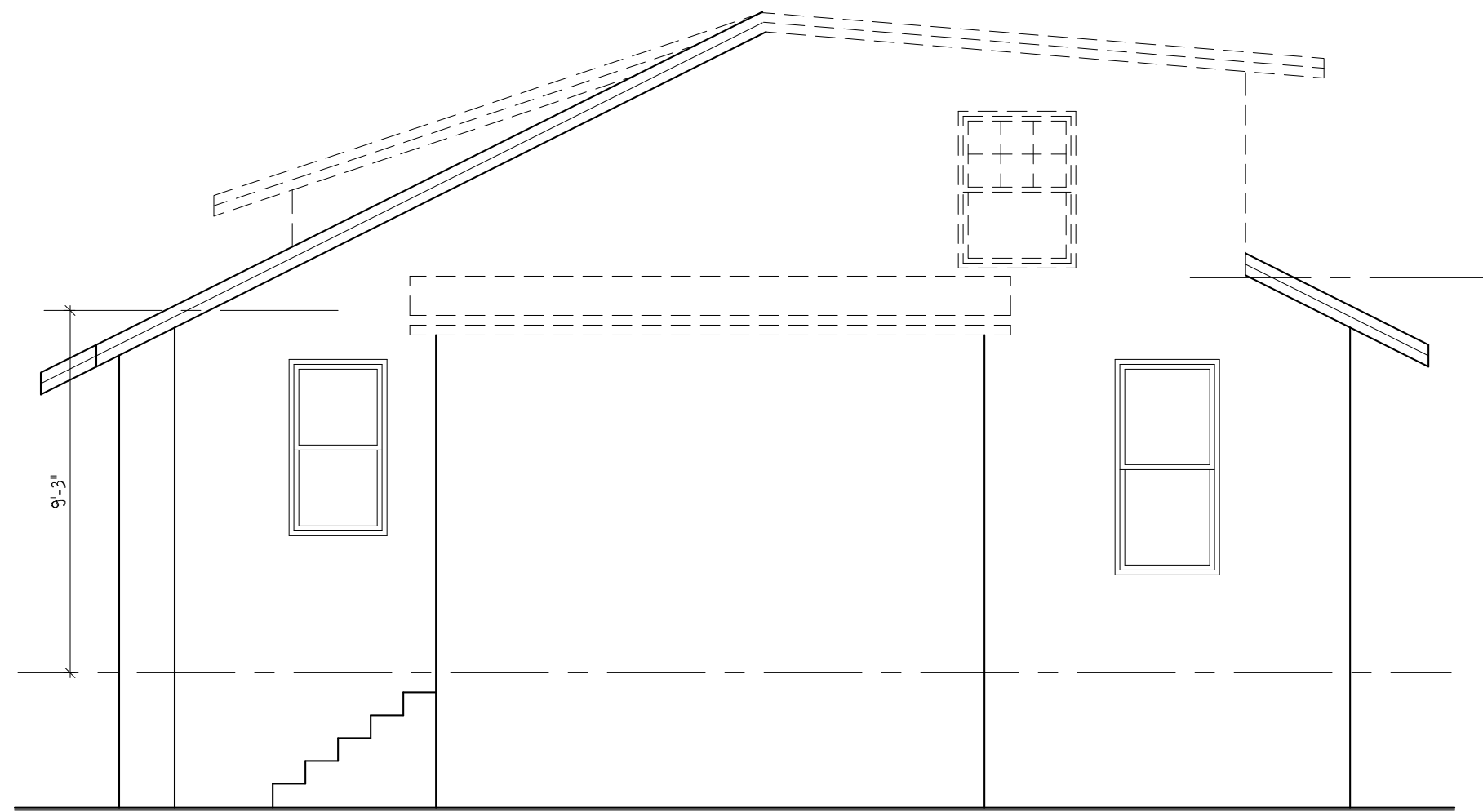
BETTER BLUEPRINT REALTY  
608 PETERSON ST.  
FT. COLLINS, CO

3753

TITLE  
PROPOSED UPPER FLOOR

SHEET  
1.3

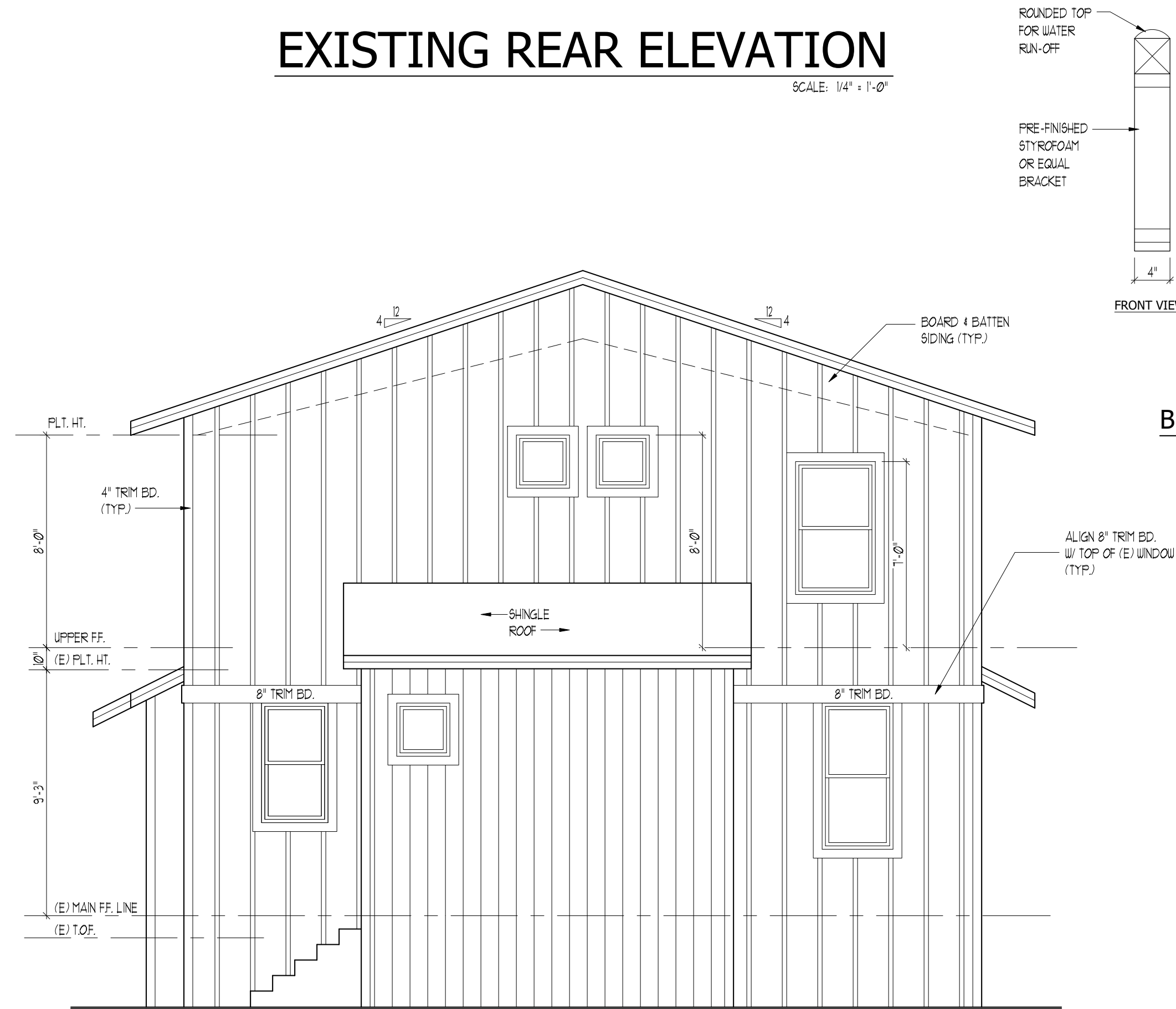




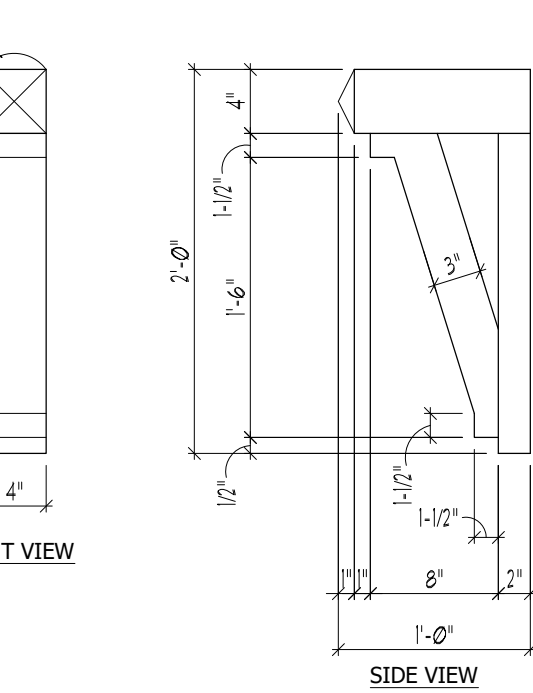
EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



RE-IMAGINED REAR ELEVATION  
SCALE: 1/4" = 1'-0"



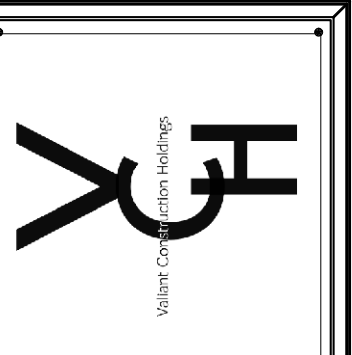
BRACKET DETAIL  
SCALE: 1" = 1'-0"



RE-IMAGINED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



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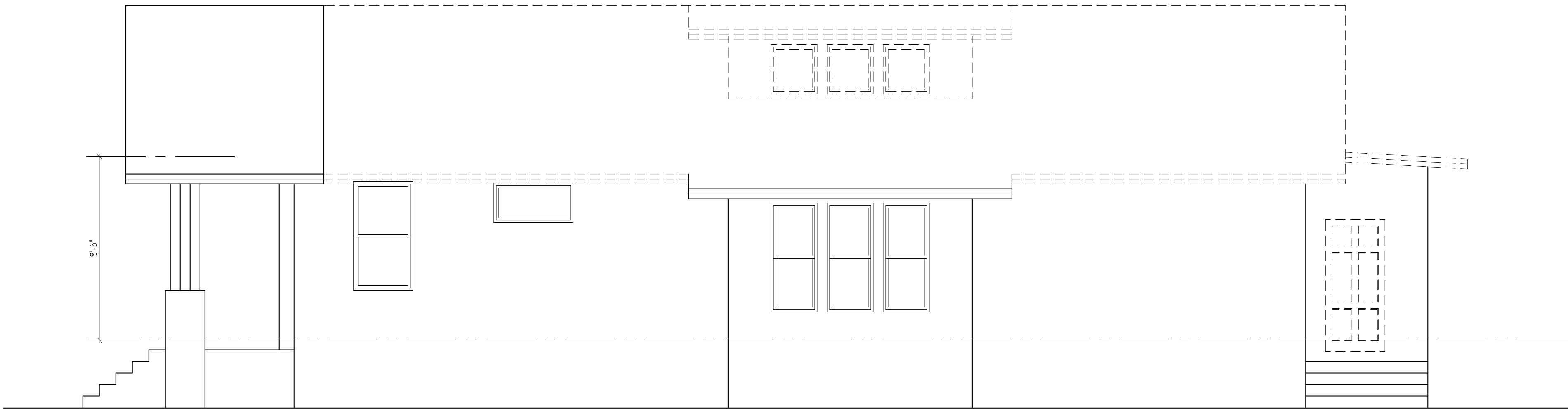


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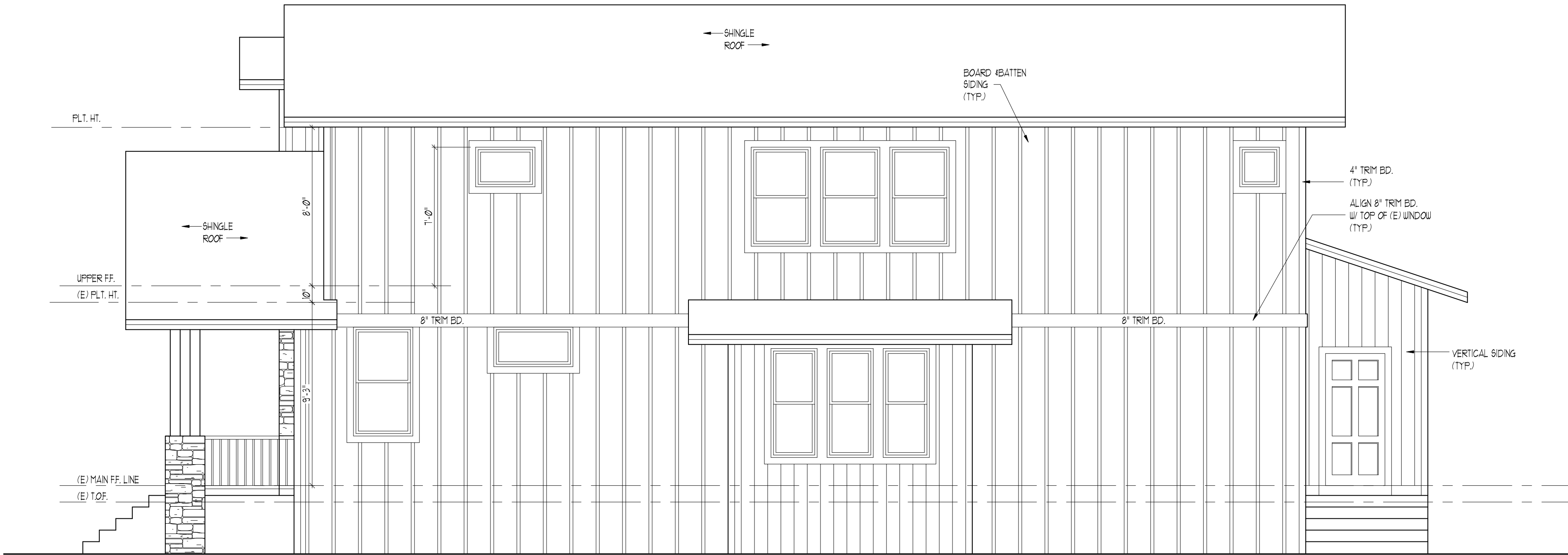
TITLE  
FRONT ELEVATIONS  
REAR ELEVATIONS

SHEET  
2.1



EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

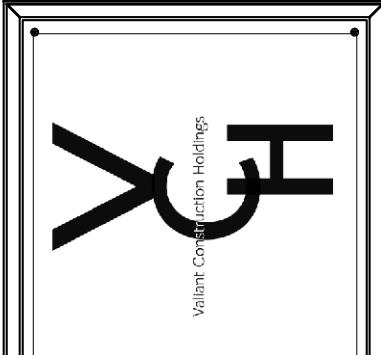


RE-IMAGINED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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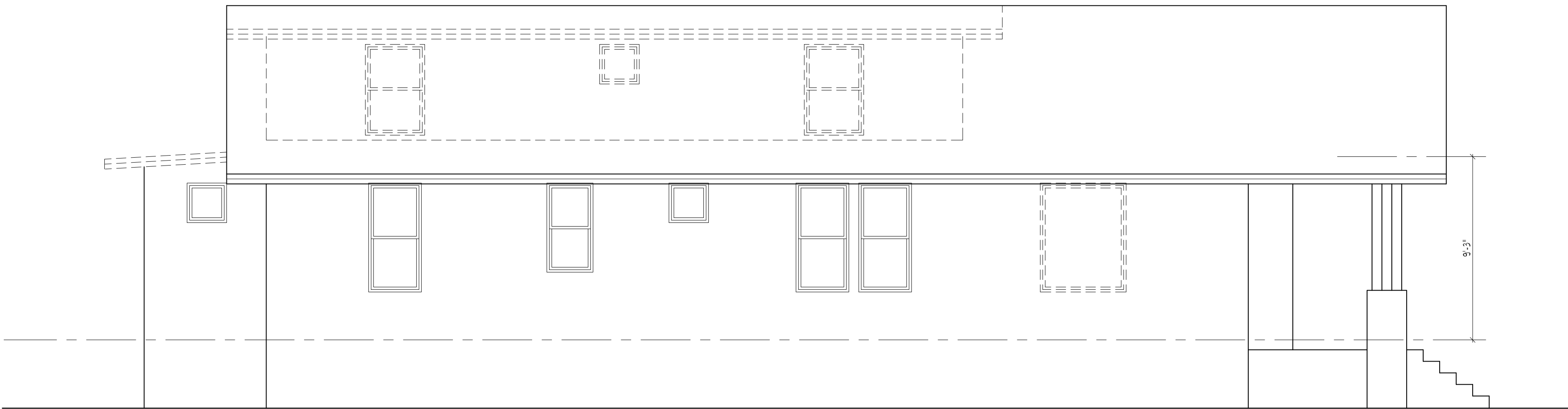


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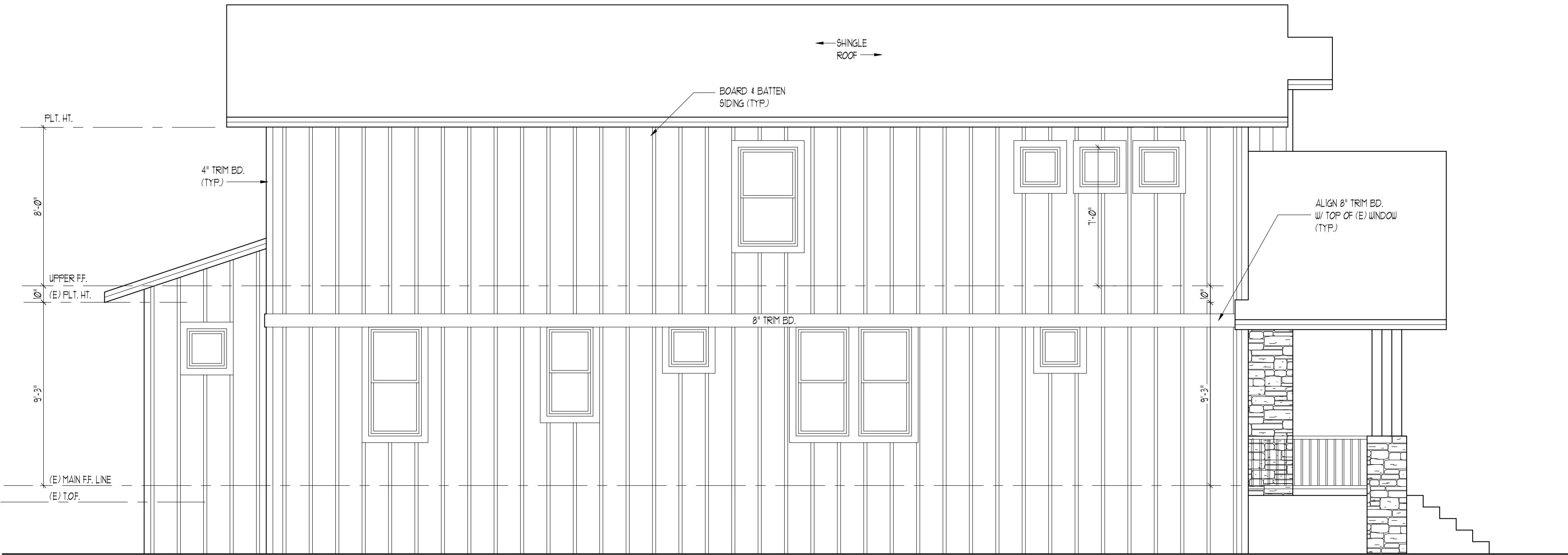
TITLE  
RIGHT ELEVATIONS

SHEET  
2.2



EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"



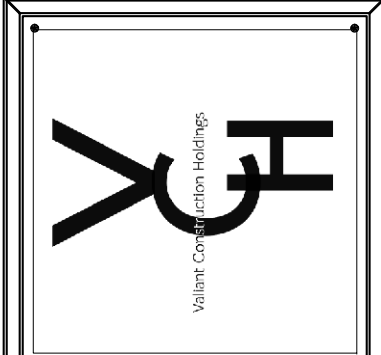
RE-IMAGINED LEFT ELEVATION

SCALE: 1/4" = 1'-0"



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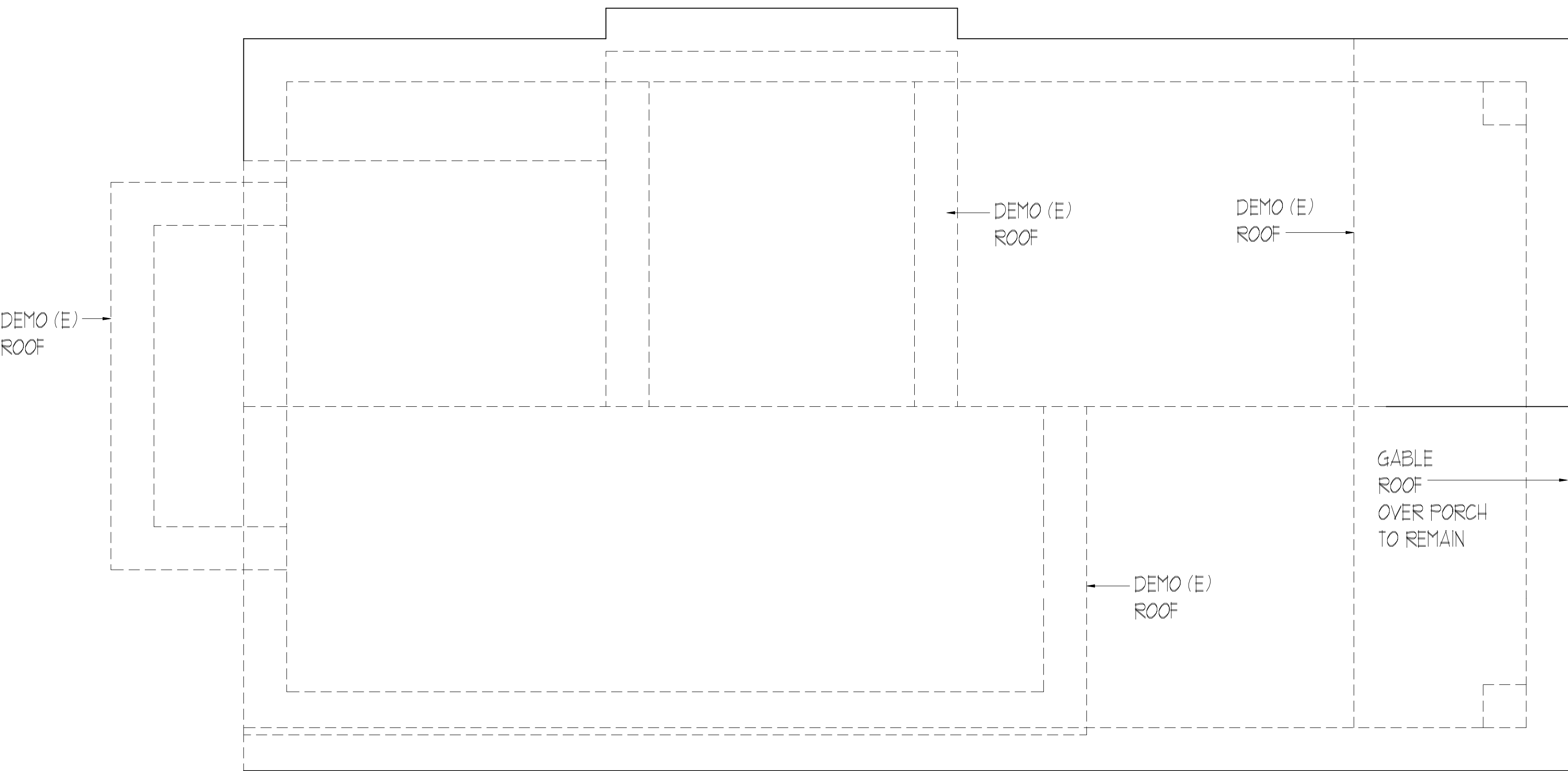


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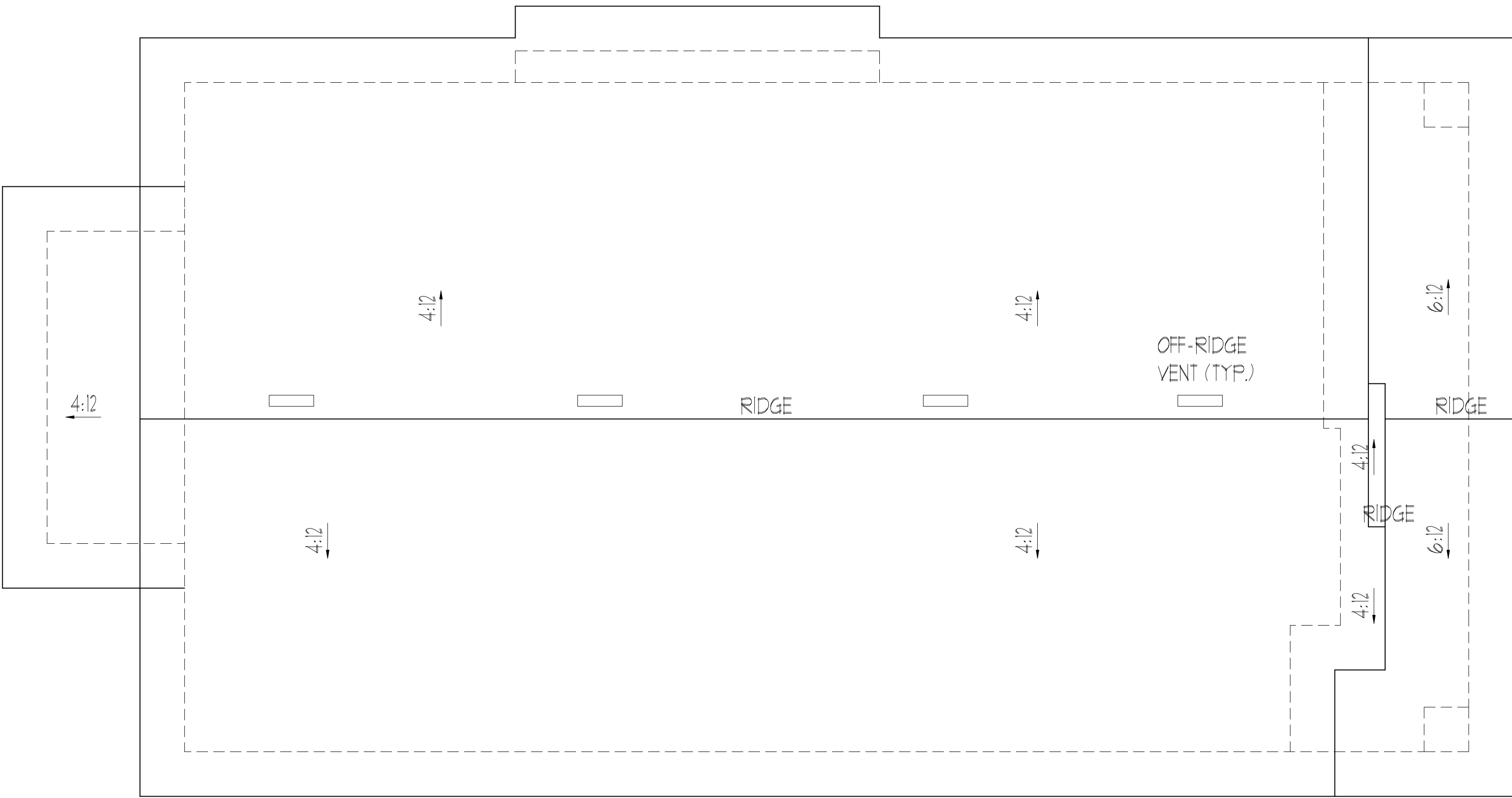
TITLE  
LEFT ELEVATIONS

SHEET  
2.3



EXISTING AND DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



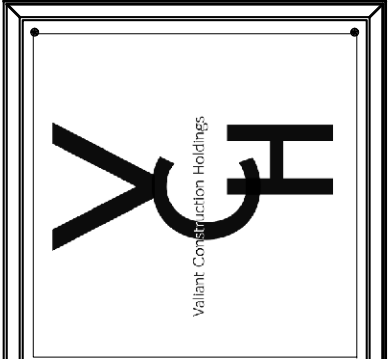
RE-IMAGINED ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF VENT CALCULATION:  
ATTIC SQ. FT. LIVING: 1814 / 300 = 6.05  
6.05 / 2 = 3.02 x 144 = 435.36  
ROOF VENT = 435.36 / 138SQIN. = 3.15 VENTS



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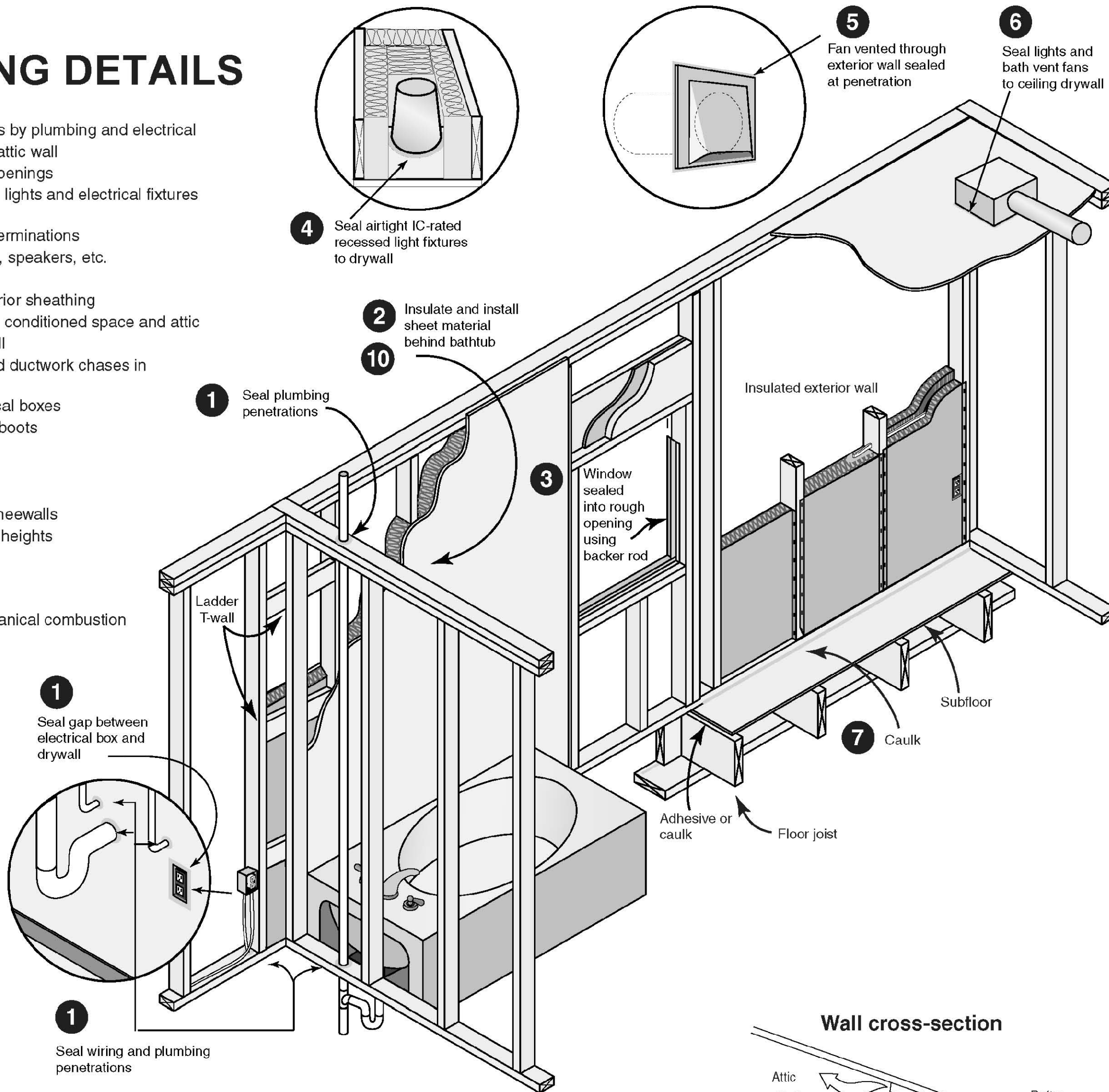
3753

TITLE  
ROOF PLANS

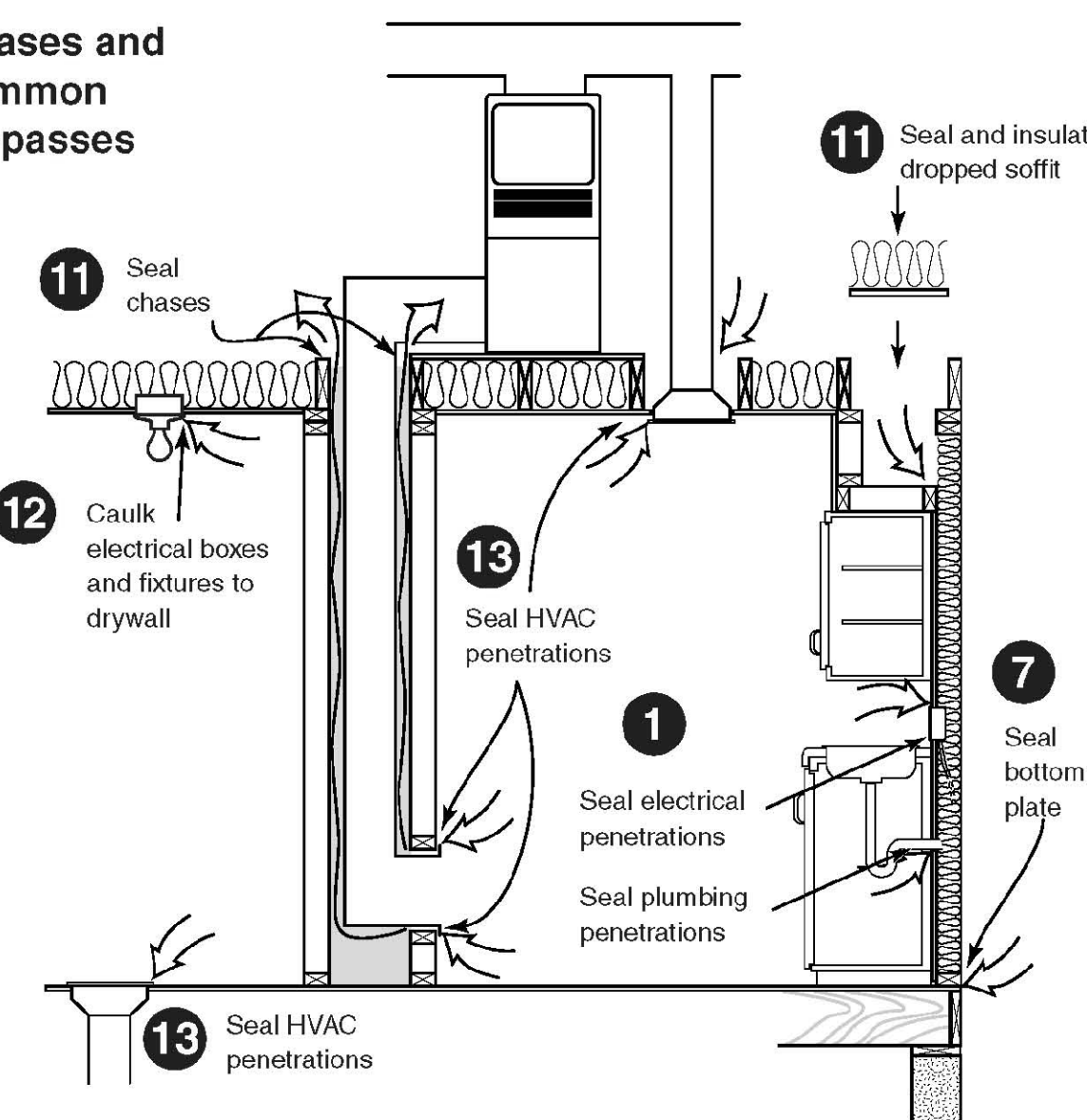
SHEET  
3

# AIR SEALING DETAILS

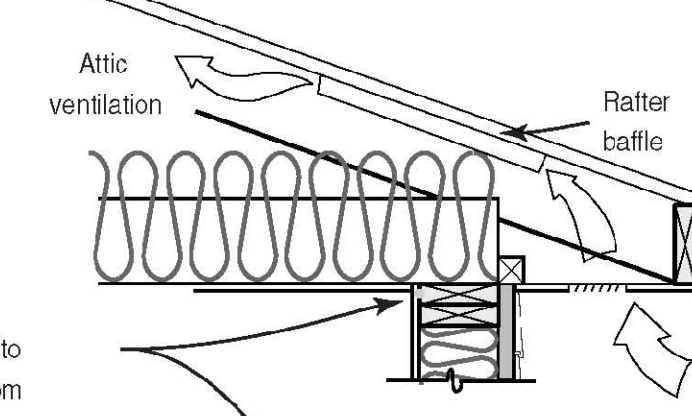
1. Plate and wall penetrations by plumbing and electrical
2. Tub/shower on outside or attic wall
3. Window and door rough openings
4. Airtight, IC-rated recessed lights and electrical fixtures exposed to attic
5. Exterior wall exhaust fan terminations
6. Ceiling mounted bath fans, speakers, etc.
7. Bottom plate and top plate
8. Seams between rigid exterior sheathing
9. Band area between floors, conditioned space and attic
10. Garden tub on exterior wall
11. Mechanical equipment and ductwork chases in attics, crawlspaces
12. Ceiling/crawlspace electrical boxes
13. Ceiling/crawlspace HVAC boots
14. Shower and tub drain line
15. Fireplace inserts
16. Attic kneewall doors
17. Joist cavities under attic kneewalls
18. Transition between ceiling heights (e.g., 10' to 8')
19. Attic scuttle hole
20. Attic pull-down stairs
21. Wall penetrations of mechanical combustion closets
22. Thresholds at mechanical combustion closet doors
23. Band joist exposed to exterior
24. Band area exposed to unconditioned space (such as basement or garage)
25. Exterior wall penetrations for refrigeration lines, condensate line, etc.



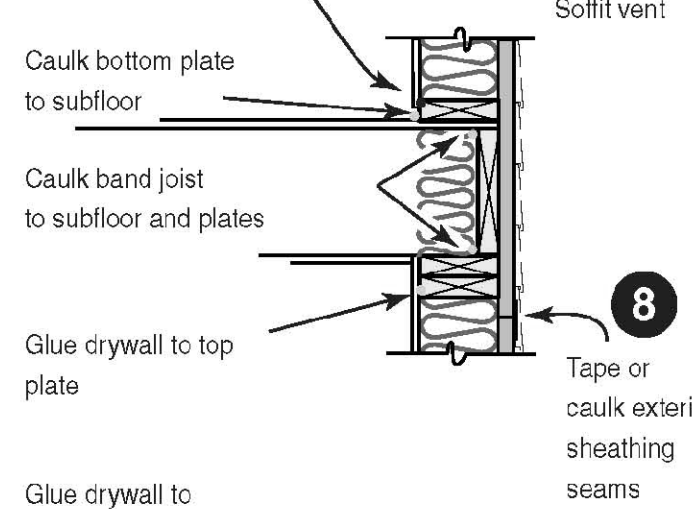
## Chases and common by-passes



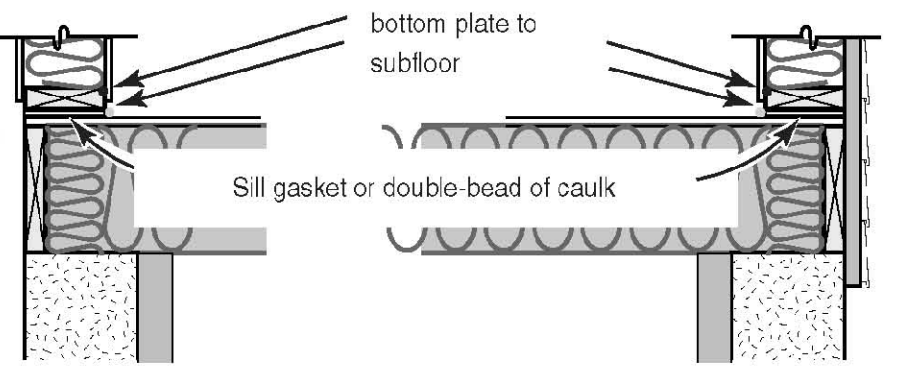
## Wall cross-section



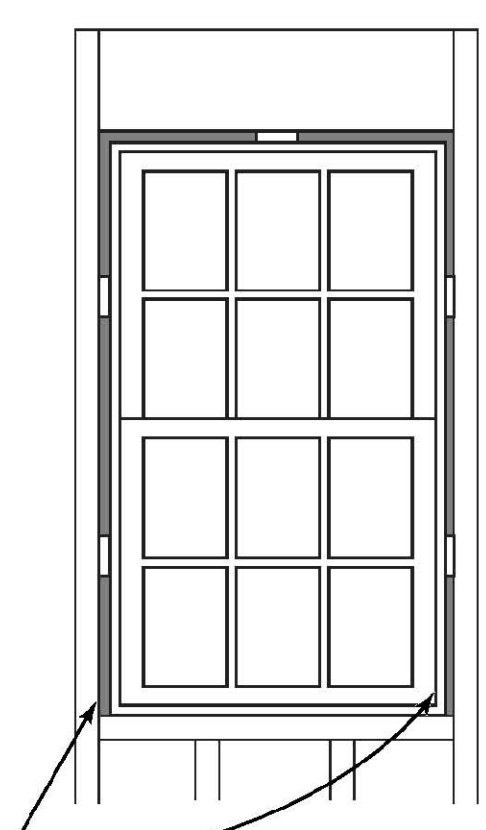
7. Glue drywall to top and bottom plates
9. Caulk bottom plate to subfloor
23. Caulk band joist to subfloor and plates
7. Glue drywall to top plate
7. Glue drywall to bottom plate, caulk bottom plate to subfloor



24. Sill gasket or double-bead of caulk

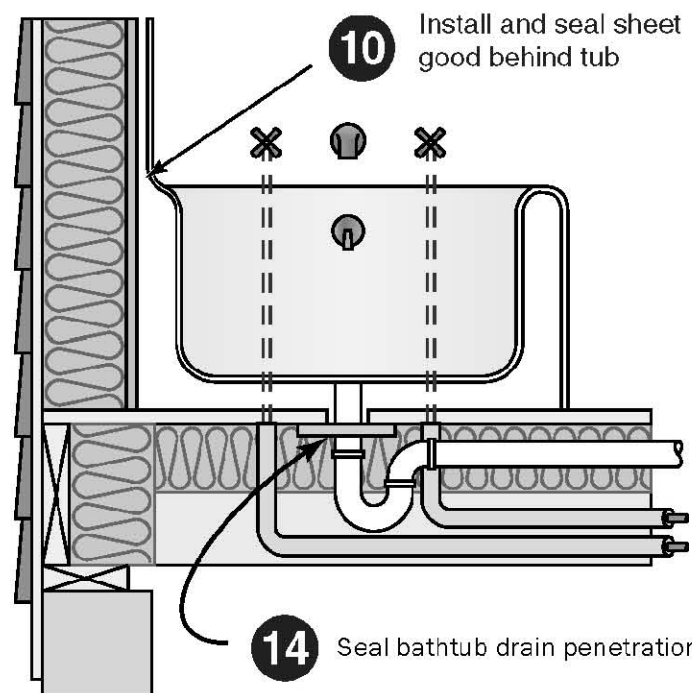


## Window rough opening

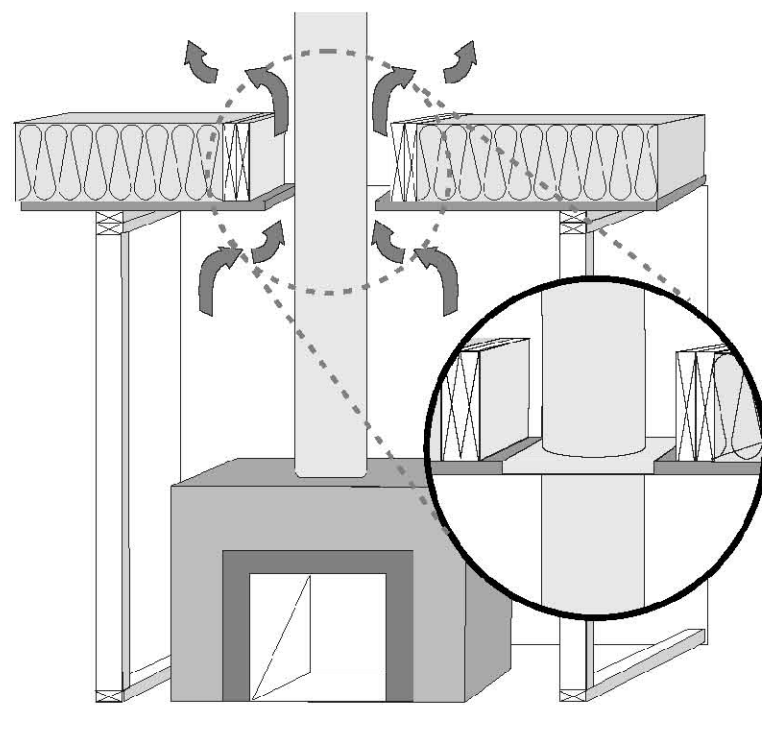


2. Use backer rod or spray foam (appropriate for windows) to fill gaps between window/door and rough opening

## Shower/tub drain rough opening

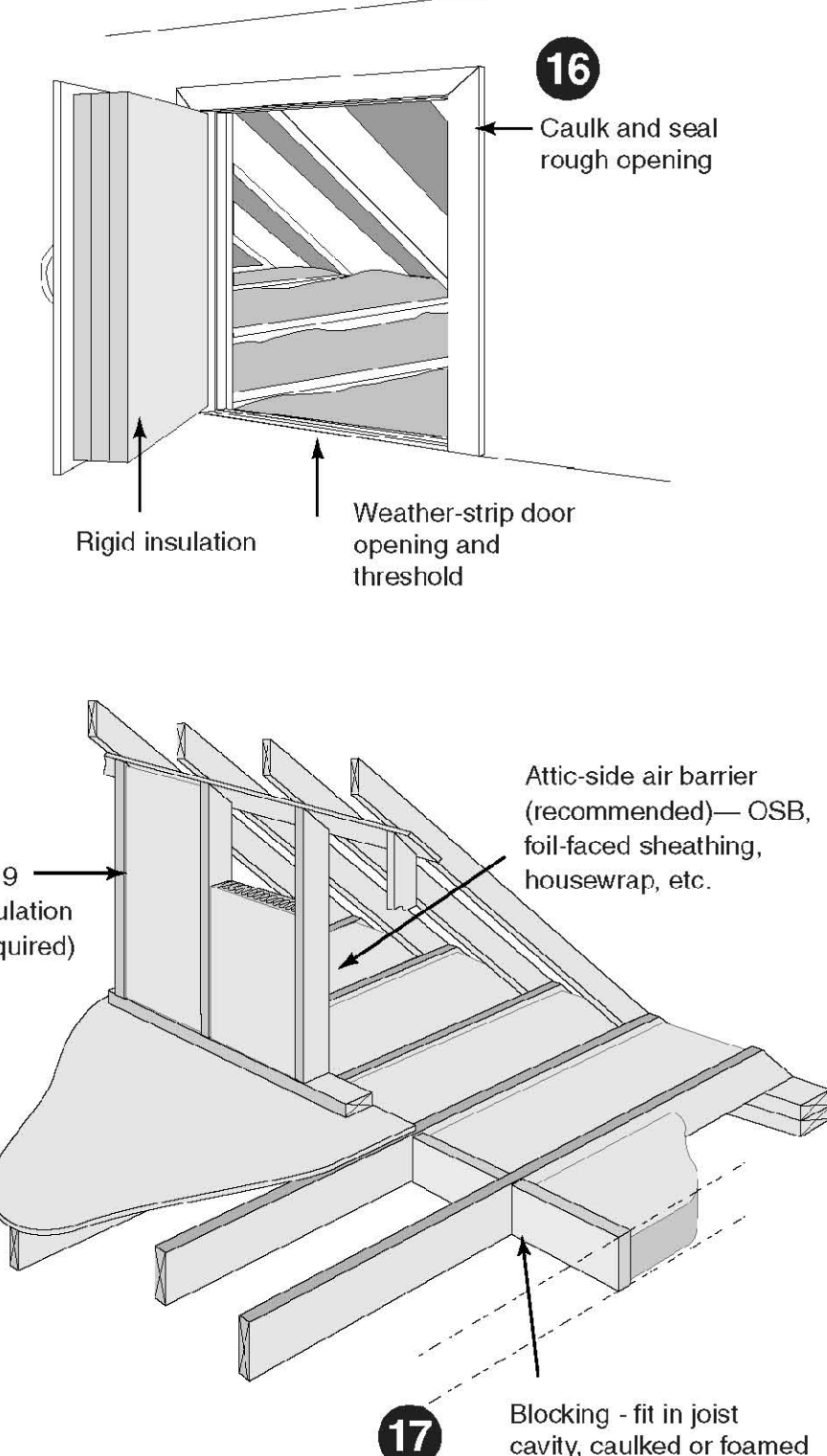


## Combustion chase penetrations

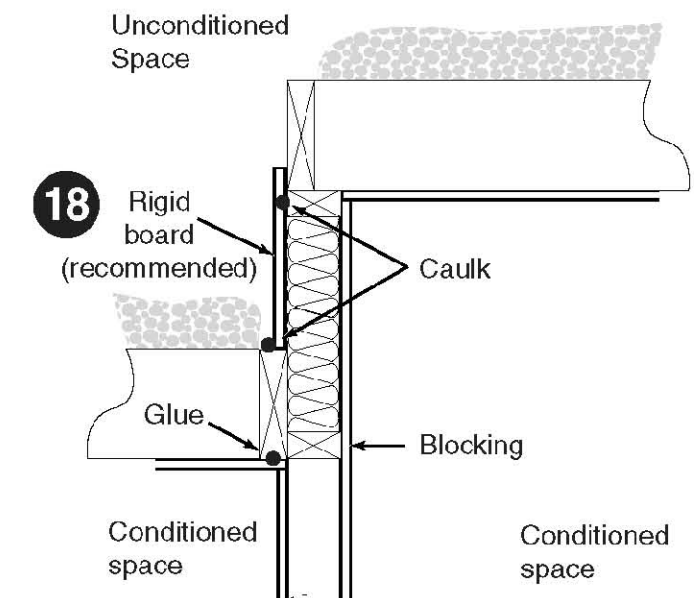


15. Seal around chimney flues with sheet metal and high temperature caulk

## Attic knee-walls

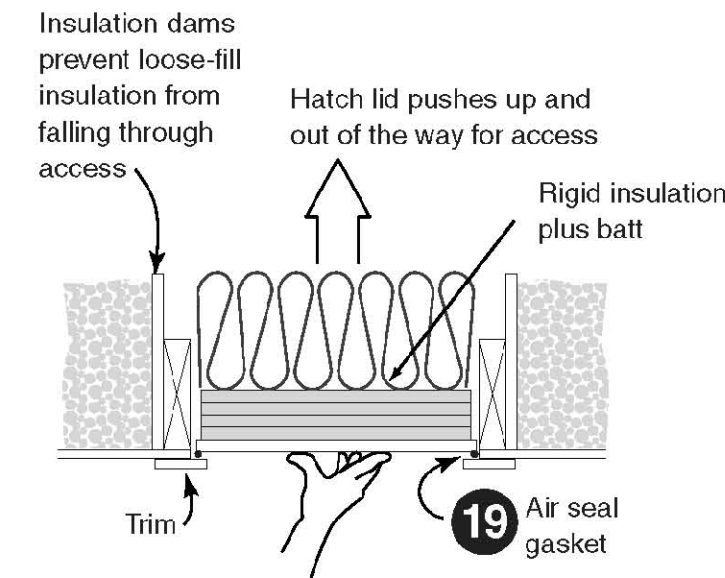


## Two-level attic

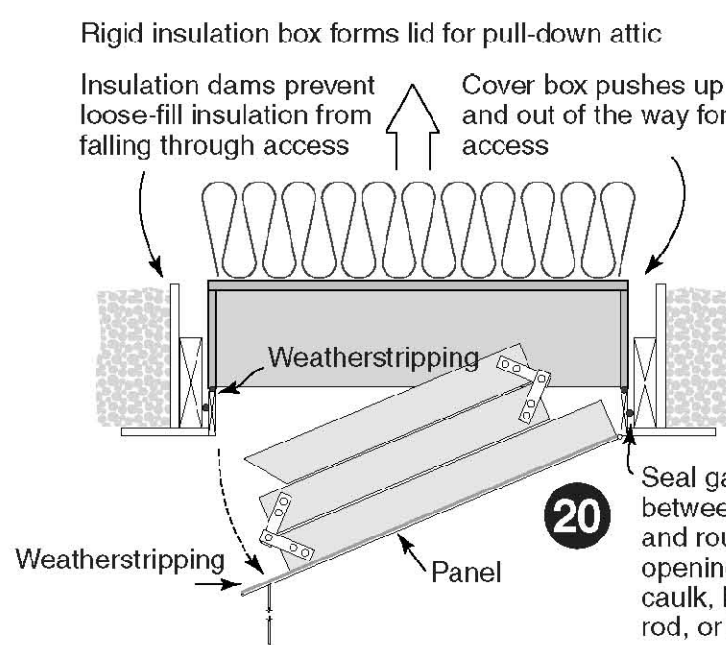


18. Rigid board (recommended)

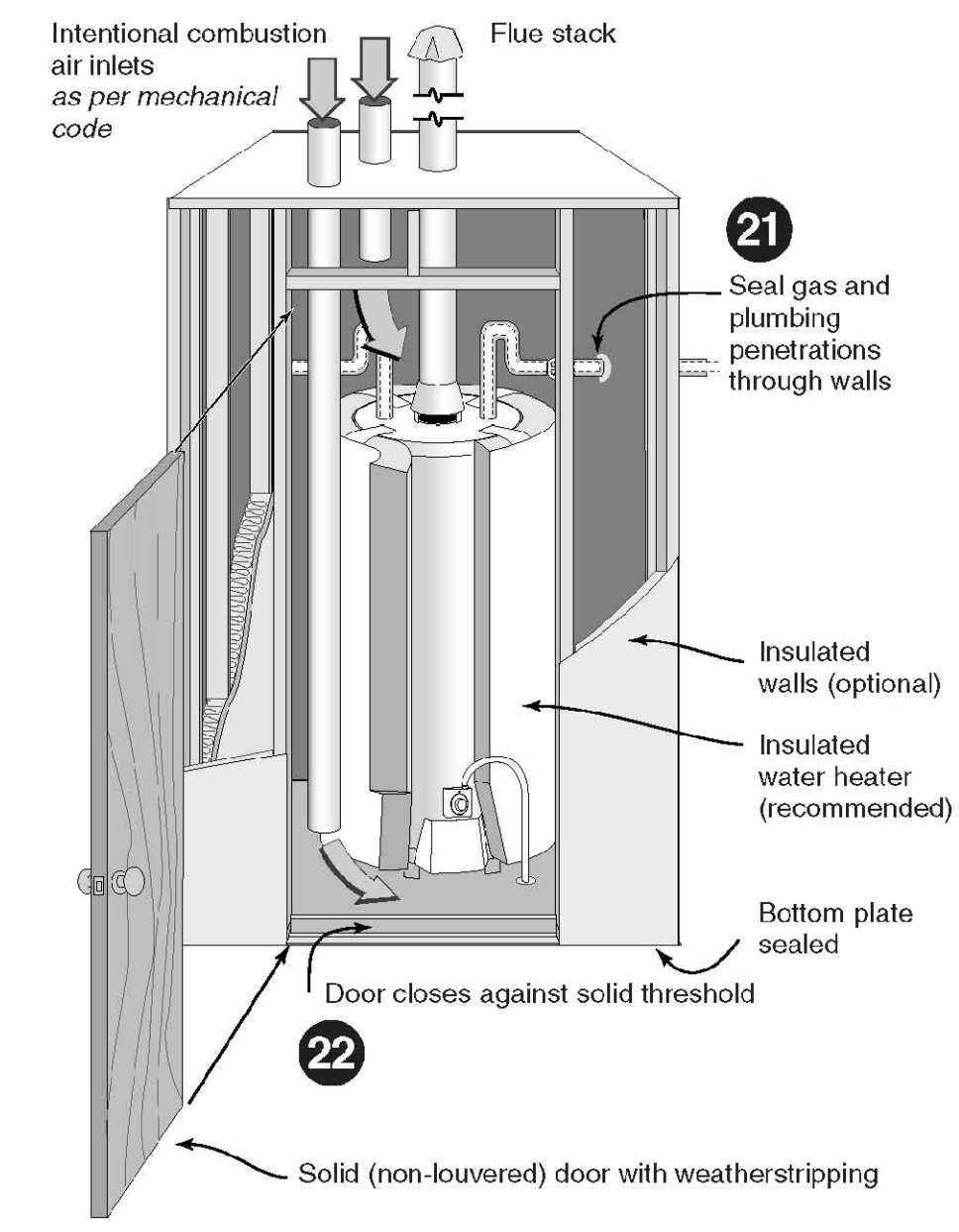
## Attic scuttle



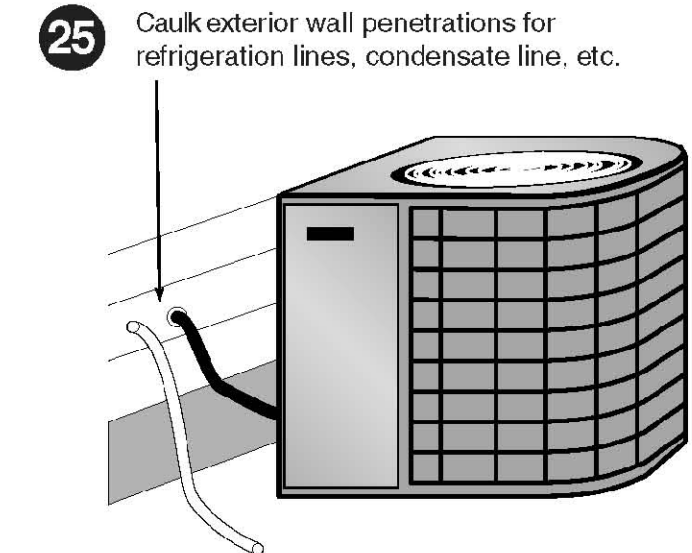
## Attic pull-down stairs



## Combustion closet



## Exterior penetrations



25. Caulk exterior wall penetrations for refrigeration lines, condensate line, etc.

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VCH  
VOLUME CONSTRUCTION HANDBOOKS

BETTER BLUEPRINT REALTY  
608 PETERSON ST.  
FT. COLLINS, CO

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TITLE  
AIR SEALING DETAILS

SHEET  
D1

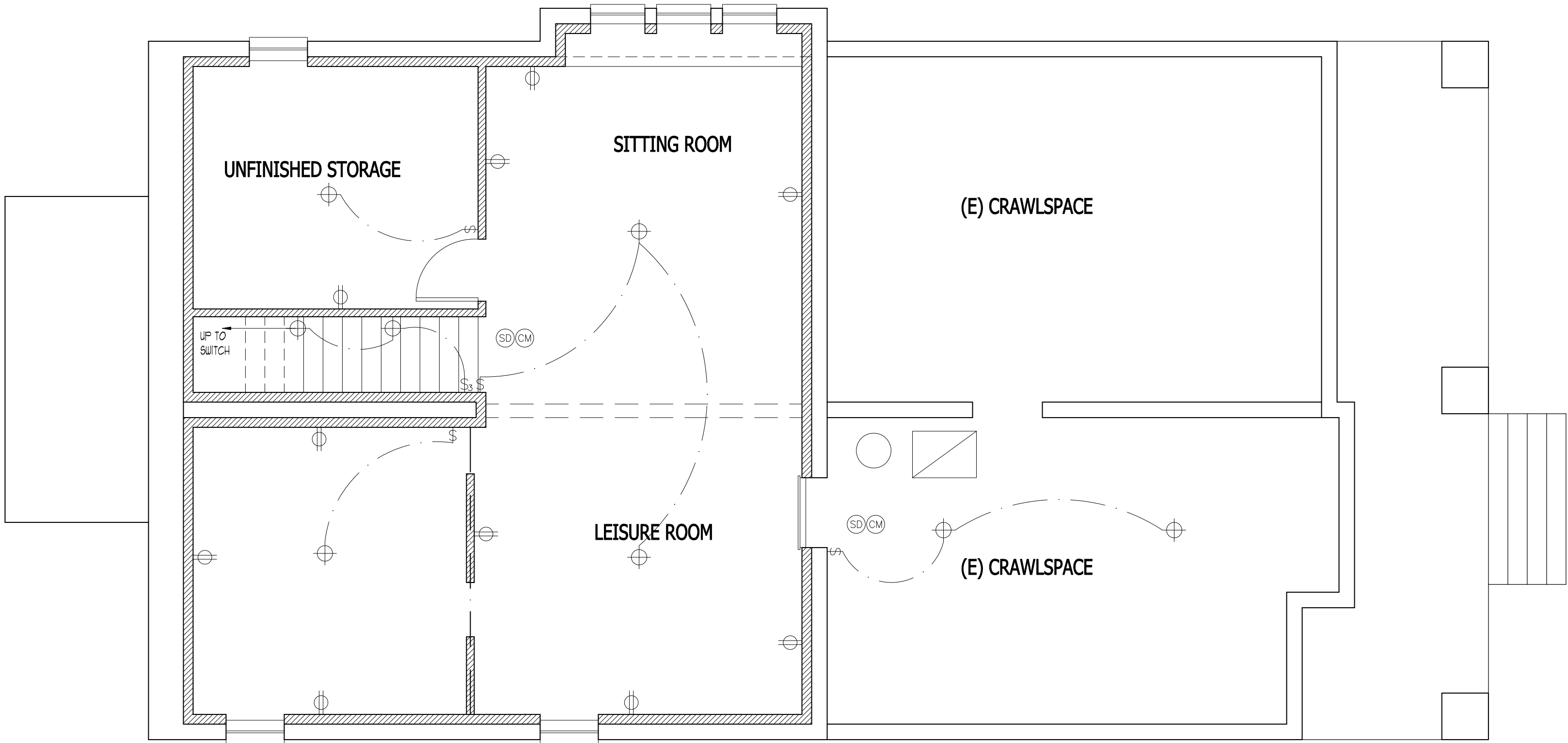


ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- FLAT COUNTERTOP "POP-UP" GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- LIGHT FIXTURE WITH FULL CHAIN
- TRACK LIGHT
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBINATION
- ELECTRIC DOOR OPERATOR (OPTIONAL)
- CHIMES (OPTIONAL)
- PUSHBUTTON SWITCH (OPTIONAL)
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR (ARC-FAULT)
- SMOKE / CARBON MONO. COMBO DETECTOR (ARC-FAULT)
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

NOTES:

- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
  - SWITCHES . . . 42"
  - OUTLETS . . . 14"
  - TELEPHONE . . . 14" (UNLESS ABV COUNTERTOP)
  - TELEVISION . . . 14"
- ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
- ALL 15A AND 20A RECEPTACLES IN KITCHENS, SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, UTILITY ROOMS AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER CURRENT NEC.
- ALL 15A AND 20A 125V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
- IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70 NEC 2014 EDITION (2011) AND ALL APPLICABLE LOCAL STANDARDS, CODES AND ORDINANCES.
- EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
- ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



PROPOSED LOWER FLOOR ELECTRICAL PLAN

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JOB NUMBER	318033
CAD FILE NAME	PETERSON
ISSUED	06-30-25
REVISED	

VCH  
Village Construction Holdings

BETTER BLUEPRINT REALTY  
608 PETERSON ST.  
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3753

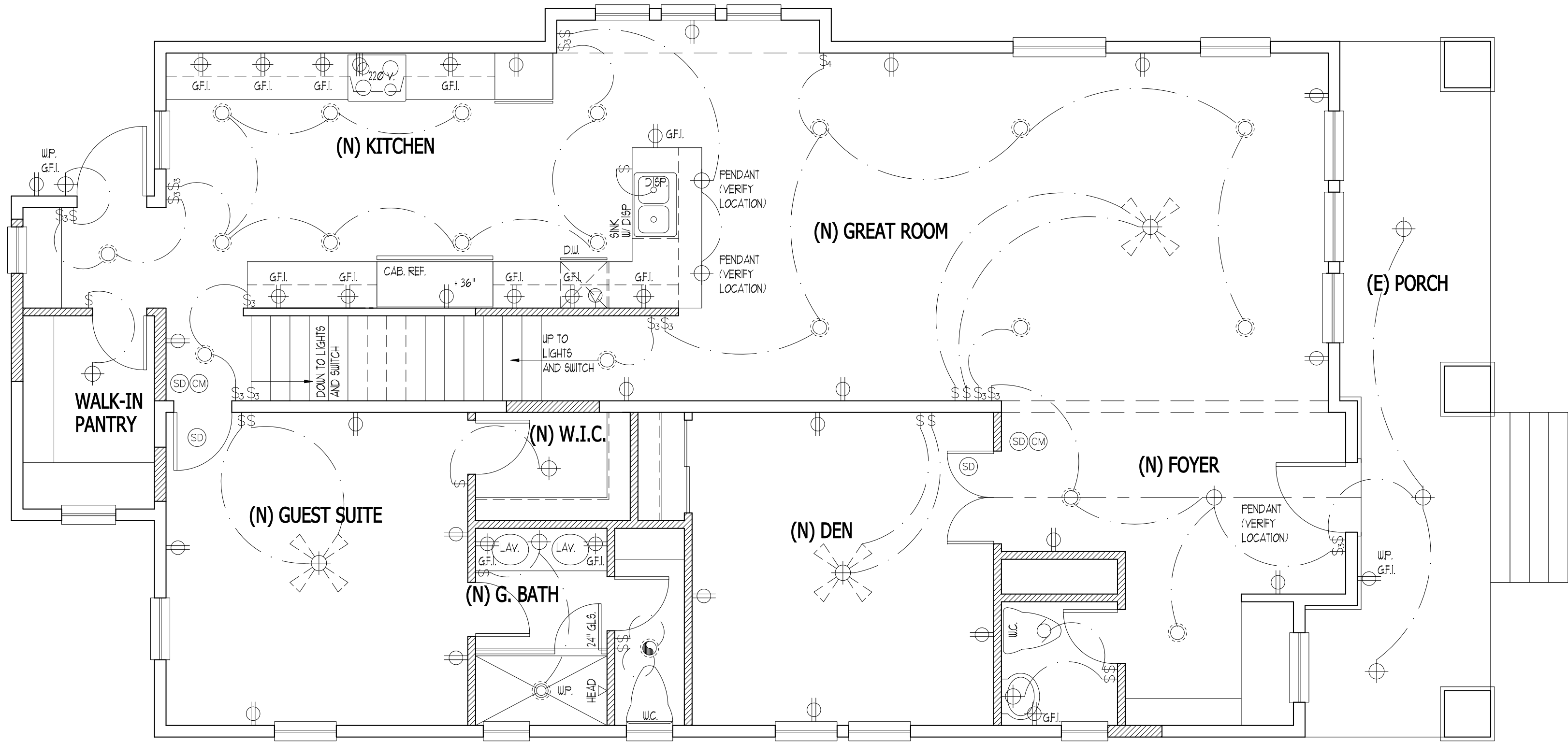
TITLE  
LOWER ELECTRICAL PLAN

SHEET  
E1

ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHER-PROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- FLAT COUNTERTOP "POP-UP" GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- LIGHT FIXTURE WITH FULL CHAIN
- TRACK LIGHT
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FAN/LIGHT COMBINATION
- ELECTRIC DOOR OPERATOR (OPTIONAL)
- BELLS (OPTIONAL)
- PUSH-BUTTON SWITCH (OPTIONAL)
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR (ARC-FAULT)
- SMOKE / CARBON MONO. COMBO DETECTOR (ARC-FAULT)
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

- NOTES:
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
  2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:  
SWITCHES: 42"  
OUTLETS: 18"  
TELEPHONE: 14" (UNLESS ABV COUNTERTOP)  
TELEVISION: 34"
  3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
  4. ALL 15A AND 20A RECEPTACLES IN KITCHENS, SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, UTILITY ROOMS AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER CURRENT NEC.
  5. ALL 15A AND 20A 125V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
  6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70 NEC 2014, EBCR - 6TH EDITION (2017), AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
  7. EVERY BUILDING HAVING A FOSSEL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
  8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

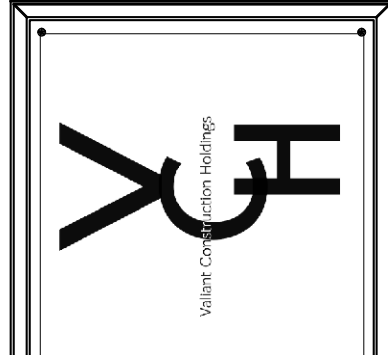


PROPOSED MAIN FLOOR ELECTRICAL PLAN



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TITLE  
MAIN ELECTRICAL PLAN

SHEET  
E2

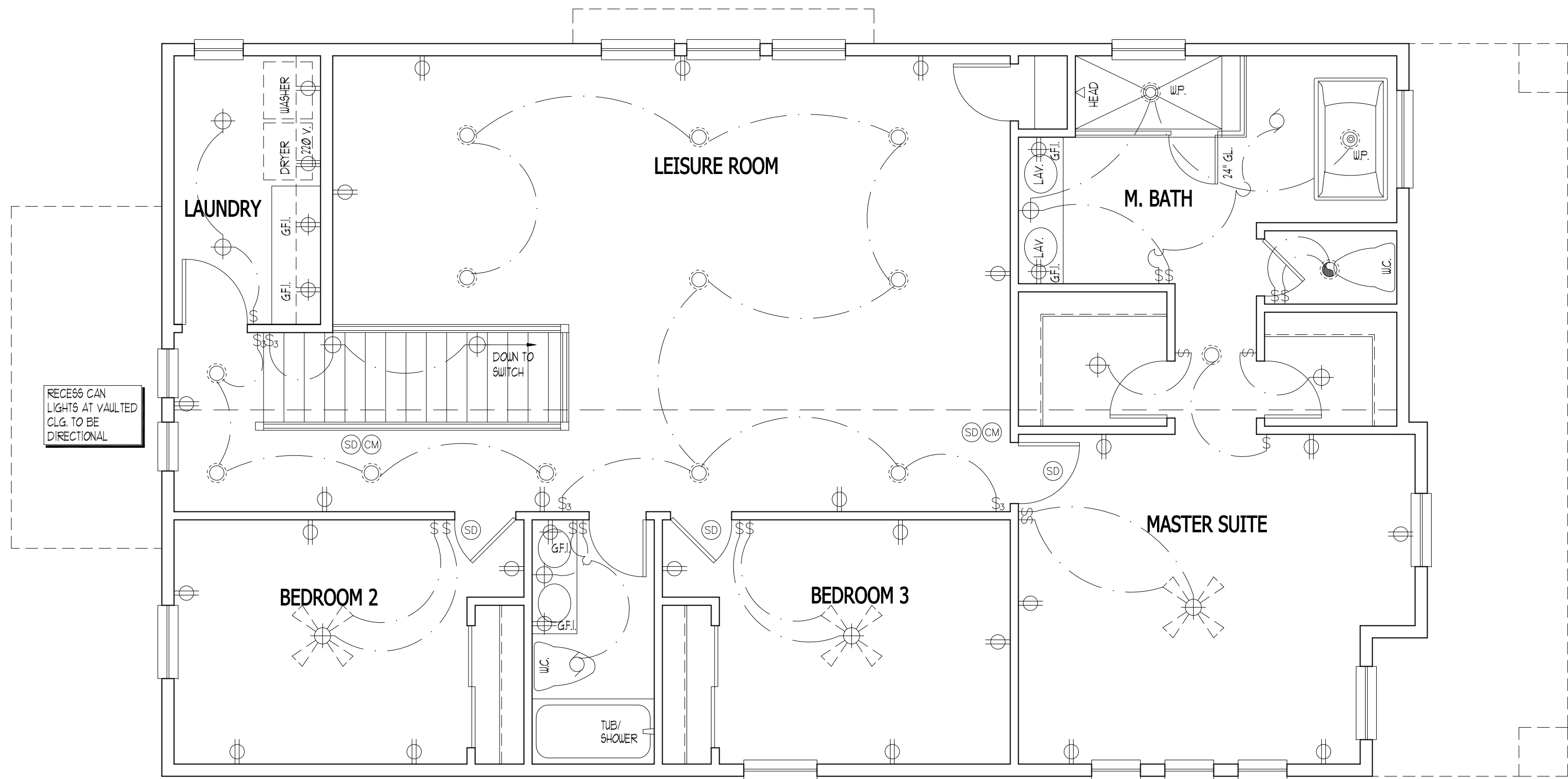


ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
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- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- LIGHT FIXTURE WITH FULL CHAIN
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- CHIMES (OPTIONAL)
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- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR (ARC-FAULT)
- SMOKE / CARBON MONO. COMBO DETECTOR (ARC-FAULT)
- TELEPHONE (OPTIONAL)
- TELEVISION (OPTIONAL)
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT. CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT. CEILING FAN

NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:  
SWITCHES . . . 42"  
OUTLETS . . . 14"  
TELEPHONE . . . 14" (UNLESS ABV. COUNTERTOP)  
TELEVISION . . . 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN KITCHENS, SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, UTILITY ROOMS AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER-PROOF RECEPTACLES PER CURRENT NEC.
5. ALL 15A AND 20A 125V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA 70, NEC 2014, F.B.C.R. - 6TH EDITION (2017), AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

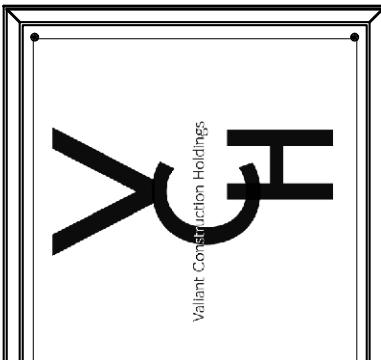


PROPOSED UPPER FLOOR ELECTRICAL PLAN



3 TREES  
DESIGN AND DRAFTING, INC.  
309 941 9942 ph  
309 688 1208 fax  
3TREESDRAFTING@COMCAST.NET

JOB NUMBER	318033
CAD FILE NAME	PETERSON
ISSUED	06-30-25
REVISED	



BETTER BLUEPRINT REALTY  
608 PETERSON ST.  
FT. COLLINS, CO

3753

TITLE  
UPPER ELECTRICAL PLAN

SHEET  
E3

SECTION N1102 BUILDING THERMAL ENVELOPE

N1102.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.

[1] ALL JOINTS, SEAMS, AND PENETRATIONS.

[2] SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.

[3] OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.

[4] UTILITY PENETRATIONS.

[5] DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.

[6] KNEE WALLS.

[7] WALLS AND CEILINGS SEPARATING THE GARAGE FROM CONDITIONED SPACES.

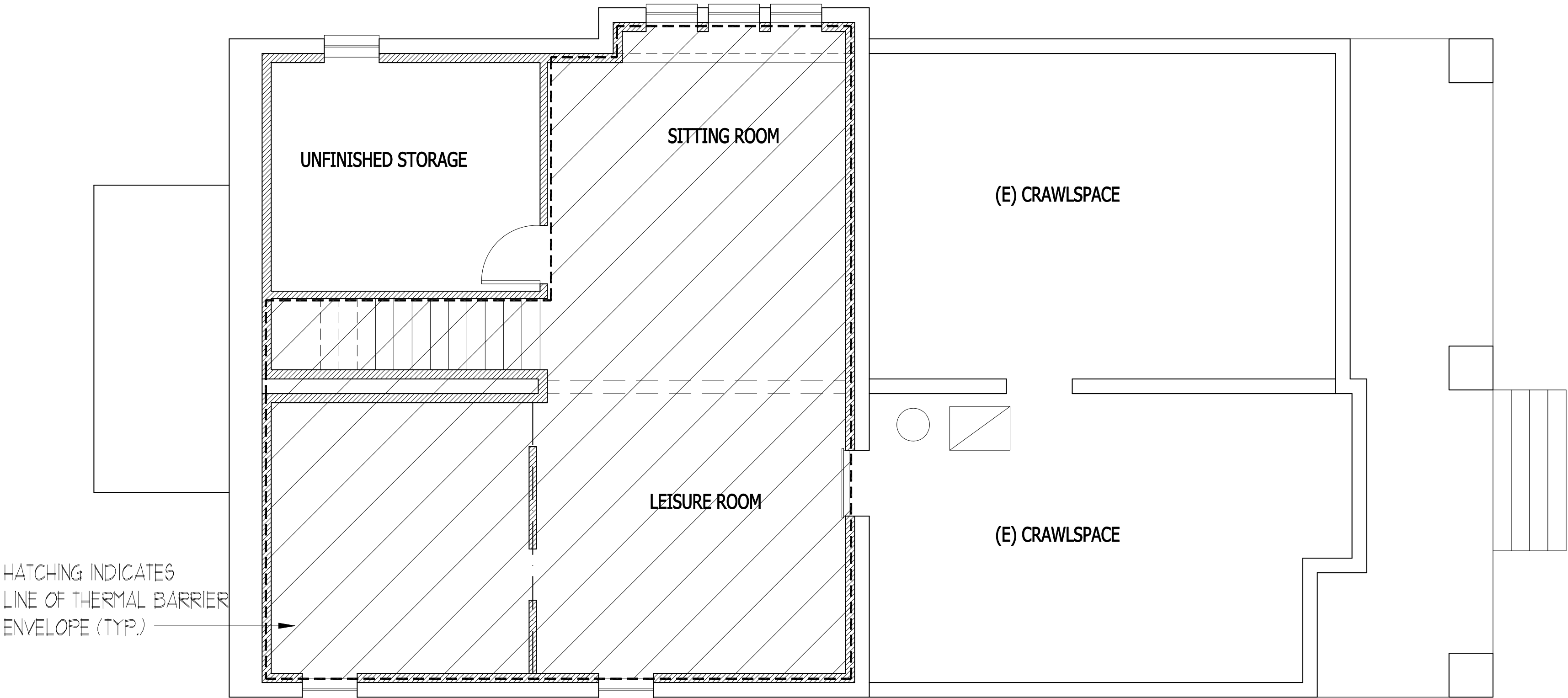
[8] BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.

[9] COMMON WALLS BETWEEN DWELLING UNITS.

[10] ATTIC ACCESS OPENINGS.

[11] RIM JOISTS JUNCTION.

[12] OTHER SOURCES OF INFILTRATION.



LOWER FLOOR THERMAL BARRIER PLAN

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ISSUED	06-30-25
REVISED	

VCH  
Valiant Construction Holdings

BETTER BLUEPRINT REALTY  
608 PETERSON ST.  
FT. COLLINS, CO

3753

TITLE  
LOWER THERMAL BARRIER

SHEET  
TE1

SECTION N1102 BUILDING THERMAL ENVELOPE

N1102.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.

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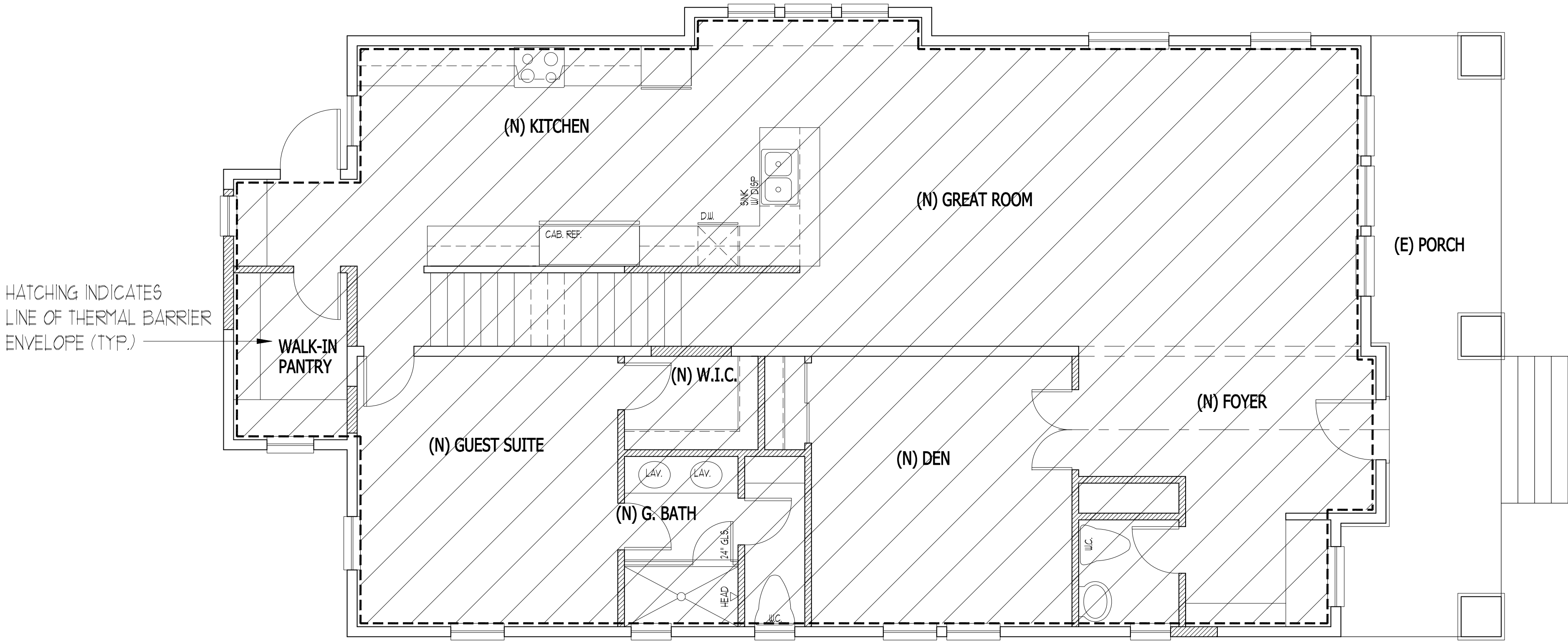
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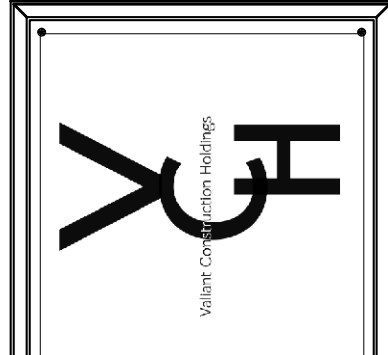
[12] OTHER SOURCES OF INFILTRATION.



MAIN FLOOR THERMAL BARRIER PLAN



JOB NUMBER	318033
CAD FILE NAME	PETERSON
ISSUED	06-30-25
REVISED	



BETTER BLUEPRINT REALTY  
608 PETERSON ST.  
FT. COLLINS, CO

3753

TITLE  
MAIN THERMAL BARRIER

SHEET  
TE2

SECTION N1102 BUILDING THERMAL ENVELOPE.

N1102.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.

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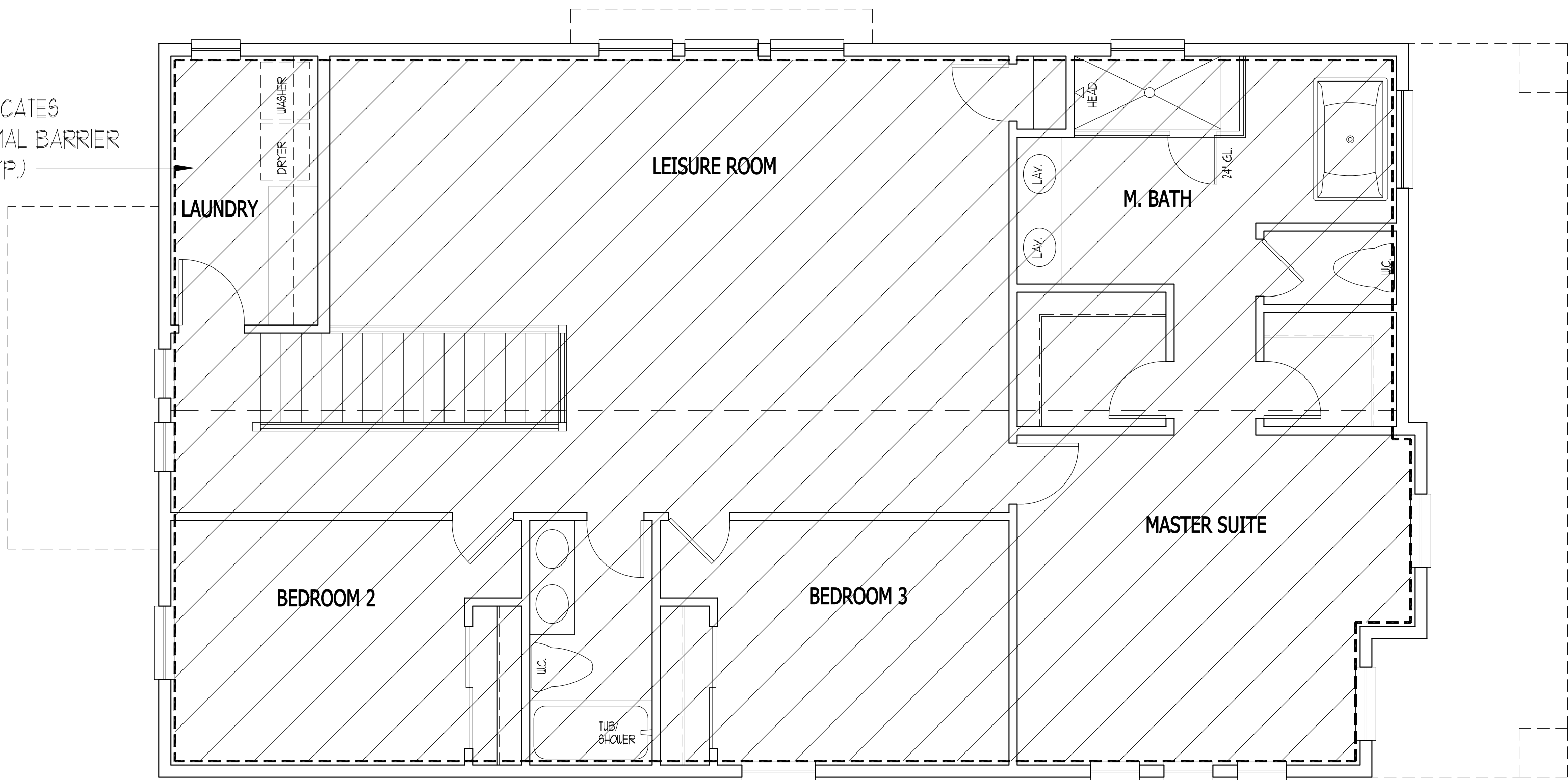
[9] COMMON WALLS BETWEEN DWELLING UNITS.

[10] ATTIC ACCESS OPENINGS.

[11] RIM JOISTS JUNCTION.

[12] OTHER SOURCES OF INFILTRATION.

HATCHING INDICATES  
LINE OF THERMAL BARRIER  
ENVELOPE (TYP.)



MAIN FLOOR THERMAL BARRIER PLAN

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TITLE  
UPPER THERMAL BARRIER

SHEET  
TE3



