



Historic Preservation Services
Community Development & Neighborhood Services
281 N. College Ave.
Fort Collins, CO 80524
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: May 8, 2025

AMENDED: July 25, 2025 (Yani Jones)

EXPIRATION: July 25, 2026

Eleanor A. Pearson Living Trust
924 W. Magnolia St.
Fort Collins, CO 80521-2551

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the Elizabeth Collins House & Associated Structures at 924 W. Magnolia Street have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Extension to the north (and over the existing driveway) of the historic pergola/carport on the northwest corner of the house with rafter tail ends matching historic where possible, to include replacement in-kind of some deteriorated wood beam and rafter materials, creation of minor pitch sloping down to north, and addition of clear twin-wall polycarbonate roofing, as specified in attached plans and correspondence.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at preservation@fcgov.com or at 970-224-6078.

Sincerely,
Jim Bertolini, Senior Historic Preservation Planner
(Amended July 25, 2025 by Yani Jones, Historic Preservation Planner)

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>No change in use/occupancy is proposed.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>The historic pergola at the northwest corner of the house is being extended to the north, and a compatible/clear roofing material placed over top. Although historic wood material from some rafters and beams will be removed, the materials are deteriorated and will be replaced in-kind in terms of material type (wood) and appearance, where allowed by Building Code. The pergola and its roof will have a very slight pitch down to the north for drainage, with the south rafter ends overhanging the existing tin roof; such a minor pitch does not alter the character of this historic feature. Historic spatial relationships and circulation patterns on the site will remain unchanged.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>The new section of pergola/carport will match the detailing/profile of the distinctive rafters. However, the new posts at the north end of the carport are simple 4"x4" posts. The clear roofing material is also clearly a modern addition and does not give an impression of false historical development.</p>	Y
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A

SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>The distinctive stone columns are being retained as part of this project, and the distinctive rafter-end profiles are being replicated on the new north edge of the carport. The clear polycarbonate twin-wall roof will continue to allow sunlight to pass through the pergola feature while providing protection from rain, snow, and hail. The distinctive materials and craftsmanship of this feature will remain intact. The decorative rafter tails that overhang the west stone wall will not be recreated because such extension over the property line would violate Building Code.</p>	Y
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>Due to the extent of rot and cracking the wooden components of the existing pergola exhibit, replacement in-kind of rafter and beam material, as described in attached plans and correspondence is allowable under this Standard. The rafters being replaced will have rafter tails shaped to replicate the historic design, and all wood elements will be painted white like the existing pergola.</p>	Y
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p>	N/A

SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The addition onto the pergola is reasonably differentiated from, yet compatible with, the detailing and materials of the existing pergola feature. Simplified 4x4 posts and matching profiled rafters provide a reasonable balance. Furthermore, the modification, while onto an historic feature of the building, is on a secondary elevation and is not unreasonably obscuring the historic garage from view along Gordon Street.</p>	Y
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>The installation appears reasonably reversible should that be desired in the future. The wood portions of the pergola could be reconstructed without damaging the essential form of integrity of the historic property.</p>	Y

From: [Char Construction Inc.](#)
To: [Historic Preservation](#)
Subject: [EXTERNAL] 924 W. Mountain
Date: Friday, July 25, 2025 3:07:30 PM

As of 7/25/25 the project at 924 W. Mountain will be constructed approximating the permit drawing in most regards. The following amendments and caveats are to be followed:

1. The first 2 existing rafters are to be retained. The 3rd rafter in can be replaced if it is further than 5' in from property line.
2. Existing stone columns and stone wall are to remain as is.
3. Existing tin panel roof and existing rafters in the area by the gate and side door are to remain from gate wall to 1st new beam.
4. Both long beams are to be replaced as per plan. Existing short beam over gate wall is to remain.
5. Historic tail ends on existing beams are not to be replicated or hang over stone wall. New beam to cut off square at property line which is deemed to be outside face of stone wall.
6. All members of existing pergola are to be removed except for first three rafters closest to street side, all of the roof section over side door, from gate wall to 1st beam.
7. No part of this new construction needs to be fire rated, provided it is greater than 5' in from property line.
8. Due to fire code, no soffit may be applied to existing roof section (to remain) by gate and side door.
9. Twin wall polycarbonate is to be used as roofing material.
10. All new construction to be stained or painted white to replicate original appearance.
11. Pergola roof from house to north side of garage to be pitched at 1/4" per 12' run. New beams to be raised up on posts over stone columns to allow new roof to pass over roof to remain at gate.
12. When possible all new 4x6 rafters to have historic tail ends where rafter overhang beams.

CHAR CONSTRUCTION, INC.
(970) 498-9546 - Office
(970) 391-9650 - Chuck cell number
(970) 599-0598 - Char's cell number

ALL CONSTRUCTION SHALL COMPLY WITH 2021 IRC
AND FORT COLLINS AMENDMENTS.

DRAWINGS MAY NOT BE USED FOR MATERIAL TAKEOFFS - CONTRACTOR
IS REQUIRED TO VERIFY ON-SITE MATERIAL MEASUREMENTS.

CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION, INCLUDING BRACING, SHORING, TEMPORARY SUPPORT, AND PROTECTION OF EXISTING UTILITIES.

ANY CHANGES, ALTERATIONS, OR DEVIATIONS FROM THESE PLANS
REQUIRES CONSULTATION AND APPROVAL FROM THE ARCHITECT.

SCOPE OF PROJECT IS CONSTRUCTION OF A NEW ROOF AND
RENOVATION/REPAIR OF AN EXISTING PERGOLA.

NO SOIL TEST INFORMATION IS AVAILABLE FOR THIS SITE. THERE IS NO EVIDENCE OF EXPANSIVE SOIL MOVEMENT AND THE EXISTING HOUSE IS BUILT ON SPREAD FOOTINGS. SOIL BEARING CAPACITY IS ASSUMED TO BE 1,500 PSF MAXIMUM

ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL,
MIN. 30" BELOW FINISH GRADE TO BOTTOM OF FOOTING.

CONCRETE SHALL PROVIDE 3000 PSI COMPRESSION STRENGTH @ 28 DAYS

MAX. 3/4" AGGREGATE, MAX. SLUMP 4", USE TYPE I OR II CEMENT.

REBARS SHALL BE GRADE 60 DEFORMED STEEL

OVERLAP ALL REBAR SPLICES MIN. 1'9" AND TIE IN MIN. 3 PLACES

FOLLOW ACI GUIDELINES FOR CONCRETE CONSTRUCTION

FRAMING LUMBER SHALL BE PRESSURE-TREATED OR ROT-RESISTANT SPECIES.

ALL FRAMING CONNECTORS, HANGERS, AND ANCHORS SHALL BE SIMPSON STRONG-TIE OR EQUAL. INSTALL ACCORDING TO MAN'R INSTRUCTIONS.

INSTALL ALL NAILS IN ACCORDANCE WITH IRC
TABLE 602.3(1) UNLESS OTHERWISE NOTED.

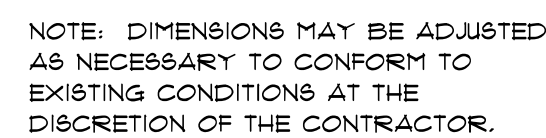

$$1/4'' = 1'0''$$

$$1/4'' = 1'O'$$

← (12") PIER DIAMETER



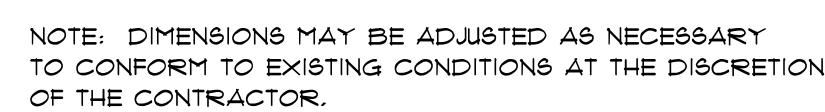
SCALE: 1/2" = 1'0"



DETAIL 1

$$\overline{1/4''} = 1'O''$$

BEAM ANCHOR (TYPICAL):
ALT 1: PROVIDE SIMPSON POST BASE ANCHORED INTO STONE COLUMN PER MANUFACTURER'S INSTRUCTIONS
ALT 2: DRILL DOWN THROUGH TOP OF BEAM MIN. 8" INTO TOP OF STONE COLUMN. EPOXY 1/2" THREADED ROD INTO COLUMN AND SECURE WITH 1/2" NUT ON 3X3 CUT WASHER.



SECTION A-A

$$\frac{1}{4}'' = 1'0''$$

ARCONSTRUCTURE, LLC
Architecture + Construction

Joe Bastian, Registered Architect

(970) 631-7225

PO Box 54
Macon, MS 39304

NEW CARPORT ROOF

PEARSON RESIDENCE

FORT COLLINS, CO

[illegible]

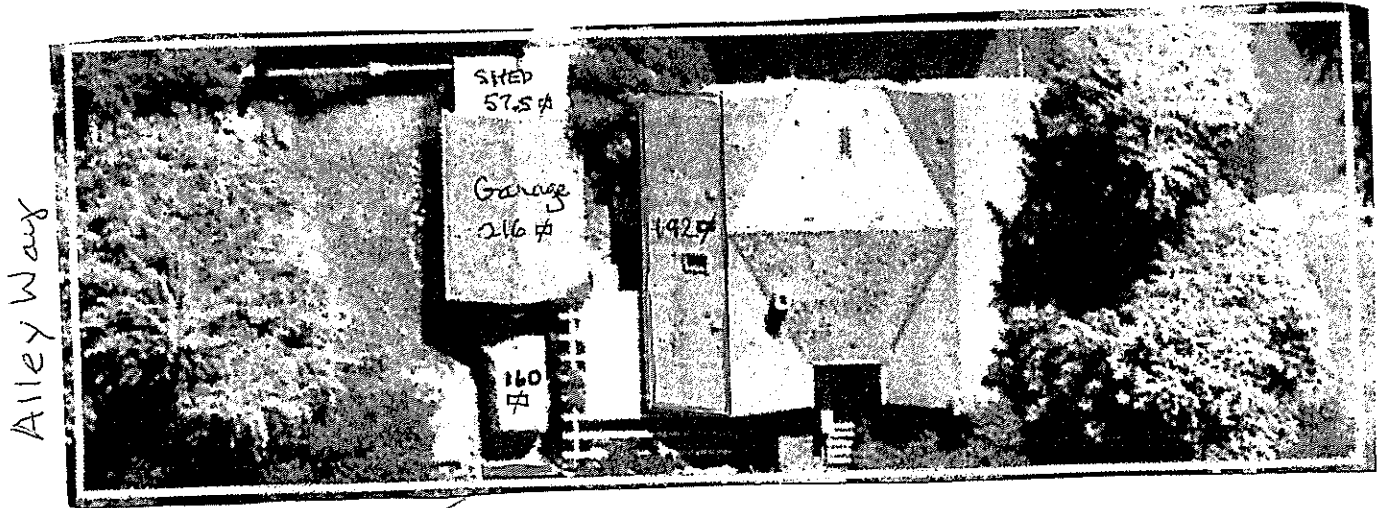
(C) 2025	F# 2464
JANUARY 30, 2025	
A-1	





924 W. Magnolia Street

Site Map



Alley Way

924 W. Magnolia St.
Front of House

existing
sliding
fence
gate

Gordon Street

House	192.0	(32' x 6' Back of House)
Garage	216.0	(12 x 18)
Shed	57.5	(5 x 11.5)
Carport	160.0	(10 x 16)
	<u>625.5 #</u>	

Larimer County Web Map



Legend

- | | | |
|---|------------------------------|--------------|
| Addresses | Lakes and Ponds | City or Town |
| Subdivisions | Major Rivers and Streams | County |
| Tax Parcels | Rivers and Streams | State |
| Platted Lots | County Boundary | Federal |
| Home Owners Assoc & Severed Mini Rights | Rocky Mountain National Park | Other |

Notes

0.0 0 0.0 Miles

Scale
1:600



Date Prepared: 6/24/2024 3:23:53 PM

This map was created by Larimer County GIS using data from multiple source informal purposes only. This map may not reflect recent updates prior to the printing. Larimer County makes no warranty or guarantee concerning completeness, accuracy, or reliability of the content represented.



Specialty Contracting and Construction

Christoph Justen
owner-operator
licensed general contractor

970-567-5392

Timber Frame • Mill Works
Structural • Remodel
Design • Build • Log

Job Estimate

4/17/25

Ellie Pearson
924 Magnolia St.
Fort Collins, CO 80521