



**Historic Preservation Services**  
Community Development & Neighborhood Services  
281 N. College Ave.  
Fort Collins, CO 80524  
**970.224.6078**  
[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**REPORT OF ALTERATIONS TO DESIGNATED RESOURCE**  
**Site Number/Address: 317 E. Laurel St.**  
**Laurel School National Register Historic District**  
**ISSUED: 7/10/2025**

Dustin L. and Rebecca B. Swindler  
c/o Josh Roloff, Laurel Street Design  
3012 Warson Dr.  
Fort Collins, CO 80521

Dear Property Owners:

This report is to document proposed alterations to your property at 317 E. Laurel St., in the Laurel School Historic District, pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: New detached garage

Our staff review of the proposed work finds the alterations meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

<b>Applicable Code Standard</b>	<b>Summary of Code Requirement and Analysis (Rehabilitation)</b>	<b>Standard Met (Y/N)</b>
<b>SOI #1</b>	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>  <b>The construction of a new, detached, alley-loaded garage does not change the residential use of this property.</b>	<b>Y</b>
<b>SOI #2</b>	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i>  <b>As a detached structure of a size and location typical of other alley-loaded garages in this neighborhood, the new garage will have little impact on the historic character of the property and will also not impact historic features or spatial relationships characteristic of the property.</b>	<b>Y</b>

<b>SOI #3</b>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p><b>Using modern products like engineered wood siding, this new structure does not create a false sense of historical development on the site.</b></p>	<b>Y</b>
<b>SOI #4</b>	<i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i>	<b>N/A</b>
<b>SOI #5</b>	<i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i>	<b>N/A</b>
<b>SOI #6</b>	<i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i>	<b>N/A</b>
<b>SOI #7</b>	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	<b>N/A</b>
<b>SOI #8</b>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p><b>There is not reason to believe that archaeological resources will be uncovered during any needed excavation for the new garage, but the applicant/owner should be advised of this Standard and please contact Historic Preservation Services immediately for assistance should anything be uncovered.</b></p>	<b>Y</b>

<b>SOI #9</b>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>Because the new garage is detached, it will not destroy historic material characteristic to the property. The new structure is differentiated from the historic house by using more modern window and door types, such as an overhead garage door and a sliding window. The size of the new structure is subordinate to the main house. The use of the same siding, 12” Truwood engineered wood siding, matches the house, creating some aesthetic continuity between the buildings.</b></p>	<b>Y</b>
<b>SOI #10</b>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>Should it be desired in the future, this new garage could easily be removed in the future without disrupting the essential form or integrity of the property because it is detached.</b></p>	<b>Y</b>

If you have any questions regarding this review, please contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-224-6078.

Sincerely,

Yani Jones  
Historic Preservation Planner



## BUILDING PERMIT APPLICATION

FOR OFFICE USE

APPLICATION NUMBER:

APPLICATION DATE:

Job Site Address \_\_\_\_\_ Unit# \_\_\_\_\_

**PROPERTY OWNER INFO: (All owner information is required – NOT optional)**

Last Name \_\_\_\_\_ First Name \_\_\_\_\_ Middle \_\_\_\_\_

Street Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

Name of Business (COMMERCIAL USE ONLY) \_\_\_\_\_

**CONTRACTOR INFO:** Company Name \_\_\_\_\_

License Holder Name \_\_\_\_\_ LIC # \_\_\_\_\_ CERT # \_\_\_\_\_

**LEGAL INFO:**

Subdivision/PUD \_\_\_\_\_ Filing # \_\_\_\_\_ Lot # \_\_\_\_\_ Block # \_\_\_\_\_ Lot Sq Ft \_\_\_\_\_

**CONSTRUCTON INFO:** Total Building Sq Ft (NOT including basement) \_\_\_\_\_ Total Garage Sq. Ft. \_\_\_\_\_

Residential Sq Ft \_\_\_\_\_ Commercial Sq Ft \_\_\_\_\_ # of Stories \_\_\_\_\_ Bldg Ht \_\_\_\_\_ # of Dwelling Units \_\_\_\_\_

1st Floor Sq Ft \_\_\_\_\_ 2nd Floor Sq Ft \_\_\_\_\_ 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft \_\_\_\_\_

Finished Basement Sq Ft \_\_\_\_\_ # of Bedrooms \_\_\_\_\_ # of Full Baths \_\_\_\_\_

¾ Baths \_\_\_\_\_ ½ Baths \_\_\_\_\_ # Fireplaces \_\_\_\_\_

**ENERGY INFORMATION: (CHECK ONE)**

Prescriptive ☐ Performance ☐ U/Arescheck ☐ ERI ☐ ASHRAE ☐ Component/Comcheck ☐ IDAP ☐

**Air Conditioning?** YES ☐ NO ☐

City of Fort Collins Approved Stock Plan # **SPO** \_\_\_\_\_ List Option #s \_\_\_\_\_

**Utilities INFO:**

New Electric Service ☐ Electric Service Upgrade ☐ Electric Meter Relocation ☐

Electric Main Breaker Size (Residential Only): 150 amps or less ☐ 200 amps ☐ Other: ☐

Gas ☐ Electric ☐ Electric Temp Pedestal? Yes ☐ No ☐

**ZONING INFO: (COMMERCIAL USE ONLY)**

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

**For Commercial remodels and tenant finishes, please answer the following questions:**

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant ☐ New Tenant ☐

If for a new tenant, is this the first tenant to occupy this space?

Yes ☐ No ☐ If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes ☐ No ☐

If yes, please describe: \_\_\_\_\_



**Value of Construction (materials and labor):**     \$ \_\_\_\_\_

**Description of Work:** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**JOBSITE SUPERVISOR CONTACT INFO:** Name \_\_\_\_\_ Phone \_\_\_\_\_

**SUBCONTRACTOR INFO:**    Electrical \_\_\_\_\_ Mechanical \_\_\_\_\_

Plumbing \_\_\_\_\_ Framing \_\_\_\_\_ Roofing \_\_\_\_\_

Fireplace \_\_\_\_\_ Solar \_\_\_\_\_ Other \_\_\_\_\_

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- ☐ I do not know if an asbestos inspection has been conducted on this property.
- ☐ An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_
- ☐ An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature \_\_\_\_\_ Type or Print Name \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

## Required for permit submittal - Fill out the following table:

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
B (Business)		x	\$0.50	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.35	
I (Institutional)		x	\$0.50	
M (Mercantile)		x	\$0.40	
R-1 (Hotel)		x	\$0.35	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)		x	\$0.65	
R-4 (Assisted Living)		x	\$0.55	
S (Storage)		x	\$0.40	
U (Utility)		x	\$0.40	
H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
<b>Total</b>				

\*\*\*\*Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.\*\*\*\*

**For additions that include interior remodel:** please provide addition square footage above and remodel only valuation here \_\_\_\_\_.

Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

## For New Multi-family buildings fill out the following:

- Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
  - ☐ Yes - there are other functions/occupancy areas. *Required: list each in the table above*
  - ☐ No - only dwelling units
- Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
  - ☐ Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
  - ☐ No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.

The following pages contain a summary of Occupancy Classification Categories as designated by the *International Building Code*. For additional description details please visit [www.fcgov.com/building/codes](http://www.fcgov.com/building/codes) to view and access the current adopted International Building Codes and local amendments. Additional information on occupancy types can be found in Chapter 3 of the International Building Code.

**A (Assembly):** Gathering spaces or rooms for 50 or more people (as calculated by square footage and load factors in the building code):

Examples: Amusement arcades, Amusement Park Structures, Arenas, Art galleries, Bars, Banquet halls, Bleachers, Bowling alleys, Cafeterias, Concert halls, Community halls, Courtrooms, Dance halls, Dining facilities (including associated commercial kitchens), Grandstands, Gymnasiums, Lecture halls, Libraries, Museums, Nightclubs, Places of Religious Worship, Restaurants, Skating rinks, Swimming pools, Stadiums, Taverns, Tennis courts, Theaters.

*\*\*\*List above is inclusive of: A-1, A-2, A-3, A-4, A-5 occupancy types*

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**B (Business):** Areas used for office, and professional services.

Including but not limited to: Airport traffic control towers, Ambulatory care facilities, Animal hospitals and kennels, Banks, Barber and Beauty shops, Car wash, Civic administration, Clinic outpatient, Dry cleaning/laundry (pick-up, delivery, or self-serve), Educational occupancies for students above the 12th grade, Food processing and commercial kitchens 2,500 sf or less (not associated with restaurants, cafeterias, dining facilities). Laboratories, Motor vehicle showrooms, Post offices, Print shops, Professional services (architects, attorneys, dentists, physicians, engineers), Radio and television stations, Training and skill development schools such as martial arts studios and gymnastics which are not classified as A-Assembly (less than 50 occupants).

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**E (Education):** Educational use by six or more persons at any one time for educational purposes through the 12th grade (not accessory to places of religious worship with occupant loads of less than 100 per room or space), Day care facility occupied by more than five children older than 2.5 years of age who receive educational, supervision or personal care services for fewer than 24 hours per day, or Daycares that provide care for 5-100 children max 2.5 years or younger where the rooms in which the children are cared for, are located on the level of exit discharge and each of these child care rooms has an exit door directly to the exterior. *Note: Public schools operated and owned by the public school system (Poudre Schools) are not subject to State rather than City permitting process.*

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**F (Factory):** Assembly, Disassembly, Fabrication, Finishing, Manufacturing, Packaging, Repair or processing operations that are not classified as S or H occupancies:

Including but not limited to: Assembly, Fabrication - etc. of: Aircraft, Appliances, Bakeries, Beverages (including alcoholic), Bicycles, Boats, Business machines, Cabinets, Cameras, Carpets and rugs, Ceramic products, Clothing, Construction and agricultural machinery, Disinfectants, Dry cleaning and dyeing, Electric generation plants, Electronics, Engines (including rebuilding), Fabrics, Food processing & commercial kitchens (more than 2,500 square feet that are not associated with restaurants), Furniture, Foundries, Glass products, Gypsum, Hemp products, Ice, Jute products, Leather products, Motor vehicles, Machinery, Metal, Millwork, Motion pictures and television filming (without spectators), Musical instruments, Optical goods, Paper mills or paper products, Plastic products, Printing or publishing, Recreational vehicles, Refuse incineration, Shoes, Soaps and detergents, Textiles, Tobacco, Upholstery, Wood, Woodworking.

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**I (Institutional):** Buildings or spaces used for the care or supervision of persons, or persons detained for penal or correctional purposes:

Including but not limited to: Alcohol and drug centers, Assisted living facilities, Detoxification facilities, Correctional centers, Congregate care facilities, Detention centers, Foster care facilities, Group homes, Halfway houses, Hospitals, Jails, Nursing homes, Psychiatric hospitals, Prisons, Prerelease centers, Residential board and care facilities, Social rehabilitation facilities, Reformatories, Adult or Child Daycare facility for persons of any age receiving custodial care fewer than 24hrs a day.

*\*\*\*List above is inclusive of: I-1 (conditions 1-2), I-2 (conditions 1-2), I-3 (conditions 1-5), and I-4 occupancy types.*

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**M (Mercantile):** Buildings or spaces used for the display and sale of merchandise, stocks of goods, wares or merchandise and accessible to the public.

Including but not limited to: Department stores, Drug stores, Greenhouses for display and sale of plants with public access, Markets, Motor fuel-dispensing facilities, Retail or wholesale stores, Sales rooms.

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**R-1 (Hotel):** Sleeping units where the occupants are primarily transient (30 days max).

Including: Boarding houses (transient) with more than 10 occupants, Congregate living facilities (transient) with more than 10 occupants, Hotels (transient), Motels (transient).

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**R-2 (Apartment):** Sleeping units or buildings with more than two dwelling units where the occupants are primarily permanent in nature,

Including: Apartment houses, Congregate living facilities (non-transient) with more than 16 occupants, Boarding houses (non-transient), Convents, Dormitories, Fraternities and sororities, Monasteries, Hotels (non-transient), Live/work units, Motels (non-transient), Vacation timeshare properties

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**R-3 (Single Family Detached/Duplex/Single Family Attached Townhome):** Buildings that do not contain more than two dwelling units, Care facilities that provide accommodations for five or fewer persons receiving care, Congregate living facilities (non-transient) with 16 or fewer occupants in any of the following: Boarding houses (non-transient), Convents, Dormitories, Fraternities and Sororities, and Monasteries. Congregate living facilities and Boarding houses (transient) with 10 or fewer occupants, Lodging houses (transient) with five or fewer guest rooms and 10 or fewer occupants.

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**R-4 (Assisted Living, Group homes):** Occupancy for more than five but not more than 16 persons, excluding staff, who reside on a 24-hour basis in a supervised residential environment and receive custodial care.

Including but not limited to: Alcohol and drug centers, assisted living facilities, Congregate care facilities, Group homes, Halfway houses, Residential board and care facilities, Social rehabilitation facilities

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**S (Storage):** Space used for combustible and non-combustible storage (where not classified as an H-Occupancy)

Including but not limited to: Aerosol products, Aircraft hangar, Asbestos, Baskets, Beverages, Books, Buttons, cloth/burlap/paper bags, Cardboard, Clothing, Cement in bags, Chalk, Ceramic containers, Cigarettes, Dry boat storage, Dairy products, Dry cell batteries, Electrical motors, Empty cans, Food products, Furniture, Fresh fruits, Furs, Frozen foods, Glues, Glass, Grains, Gypsum board, Leather, Linoleum, Lumber, Mattresses, Meats, Metal, Metal cabinets, Metal parts, Motor vehicle repair garages, Pastes, Parking garages- open or enclosed, Porcelain and pottery, Paper rolls, Resilient flooring, Self-service storage facility (mini-storage), Silks, Soaps, Sugar, Shoes, Stoves, Tires, Tobacco, Upholstery, Vegetables, Wax candles, Washers and Dryers.

*\*\*\*List above is inclusive of: S-1 and S-2 occupancy types.*

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**U (Utility):** Accessory buildings and structures not classified as other occupancies

Including but not limited to: Agricultural buildings, Barns, Carports, Communication equipment structures, Fences more than 6 feet in height, Grain silos, Livestock shelters, Private garages, Retaining walls, Sheds, Stables, Tanks, Towers, Greenhouses not for public access.

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**H (High hazard):** Storage or manufacturing of these materials in excess of specifically allowed quantities that constitute a physical or health hazard: Flammable finishes, Flammable and Combustible liquids, Combustible dust, Combustible fiber, Cryogenic flammable, Explosives, Flammable gas, Flammable solid, Inert gas, Organic peroxide, Oxidizer, Oxidizing gas, Pyrophoric, Water reactive. Semiconductor fabrication and research and development facilities.

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**DRAWING**

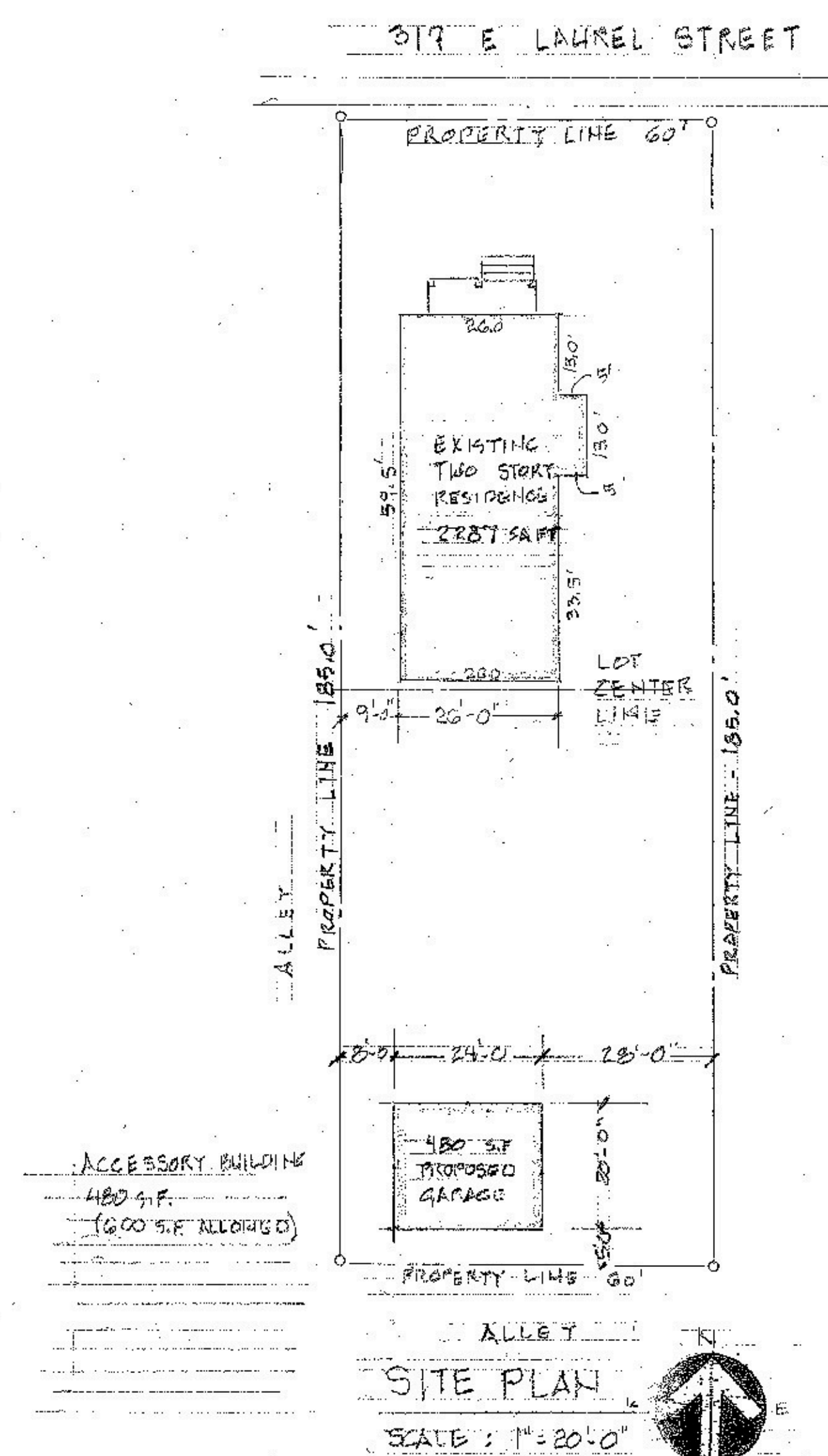
SITE PLAN,  
FLOOR PLAN,  
ELEVATIONS,  
FOUNDATION PLAN,  
BUILDING SECTIONS  
AND STRUCTURAL  
NOTES

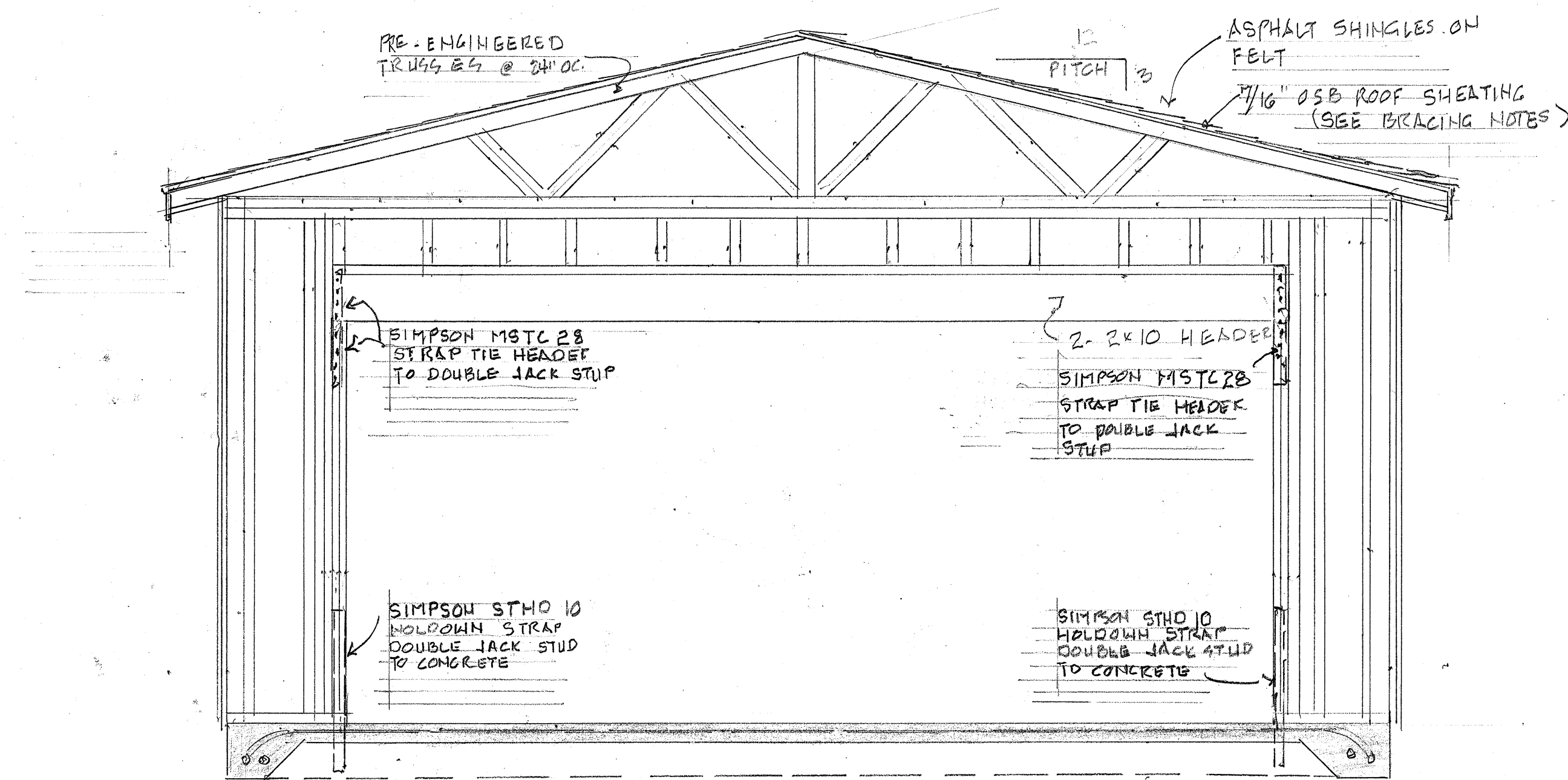
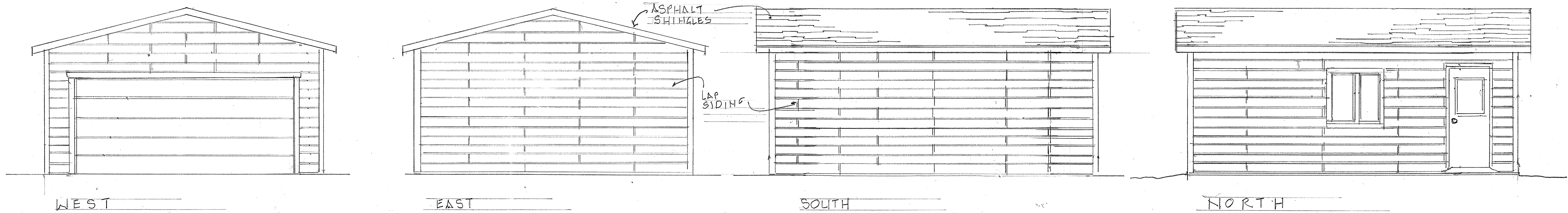
**REVISIONS**

**AA**  
**ANDERSON ASSOCIATES**  
**ARCHITECTURAL ENGINEERS, LLC**

 422 EAST OAK FT COLLINS, COLORADO 80524  
970-215-3031

1 OF 1





TRANSVERSE SECTION  
SCALE: 1/2" = 1'-0"

#### FOUNDATION NOTES:

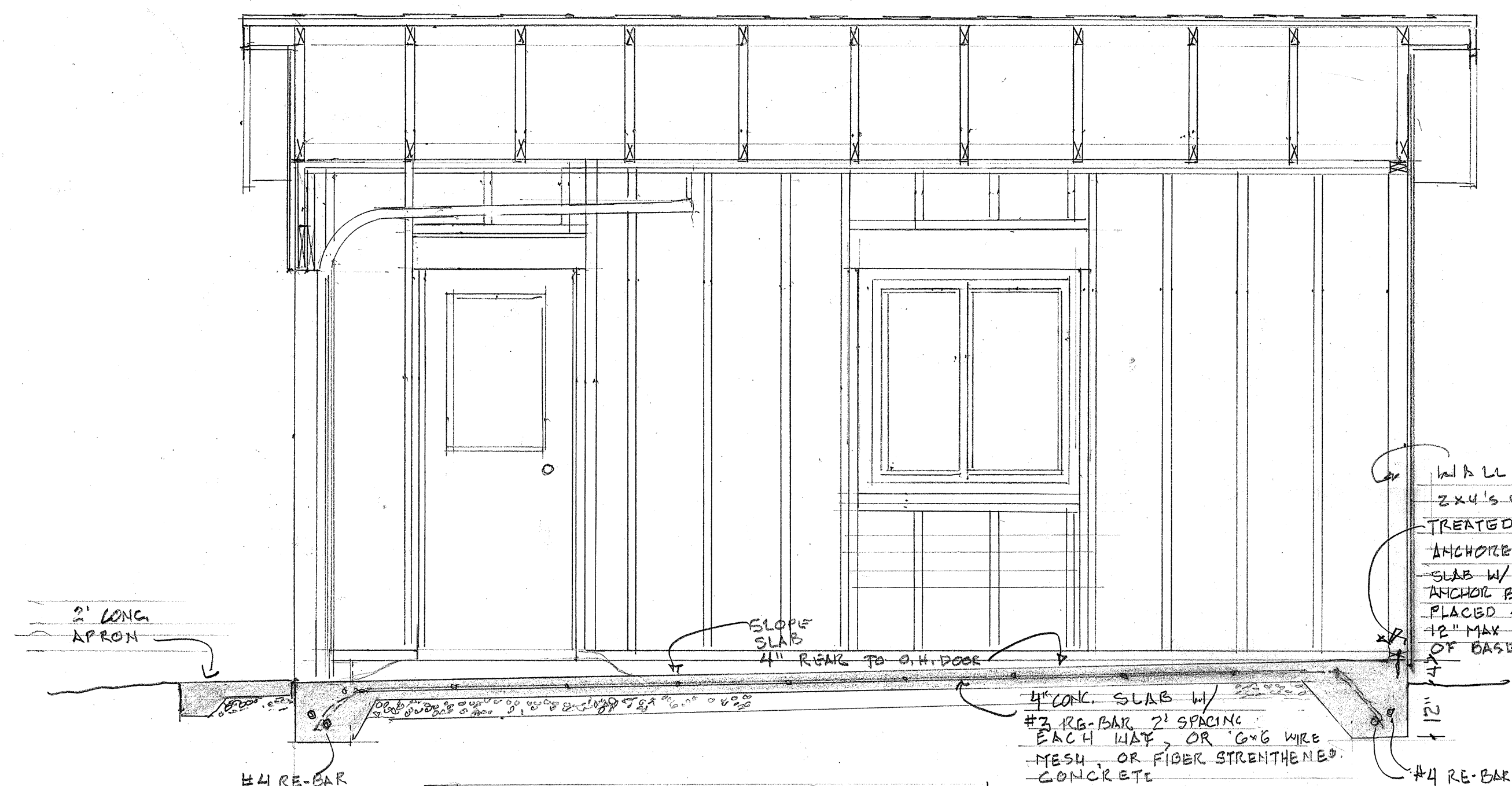
1. All Foundation concrete to be 3000 psi minimum compressive strength at 28 days (type I or type II cement)
2. Reinforcing in the 16 inch thickened edge to be two (2) #4 continuous. Reinforcing in the 4 inch slab to be #3 at 24 inch spacing each way, or 6 X 6 wire mesh, or fiber strengthened concrete with 1 1/2 pounds fibermesh per cubic yard of concrete. Four inches of gravel to be placed below the monolithic slab.
3. Provide positive drainage from all backfill areas. 12" of fall in first 10' from foundation wall is recommended where possible.
4. All dimensions shall be verified by the general contractor and concrete subcontractor prior to construction. Any discrepancies must be brought to the attention of Engineer.
5. Concrete and reinforcing steel shall be placed in accordance with all applicable building codes.
6. Contact the engineer at least 24 hours prior to excavation in order to schedule appropriate soil condition observations.
7. Footings and foundations have been designed by Anderson Associates, LLC based on non-expansive soils with a bearing capacity of 2000 pounds per square foot (dead load plus full live load).
8. This foundation plan is not to be reproduced, modified or used for any other project except for the garage project at 317 East Laurel Street, Fort Collins, CO.

#### STRUCTURAL FRAMING NOTES:

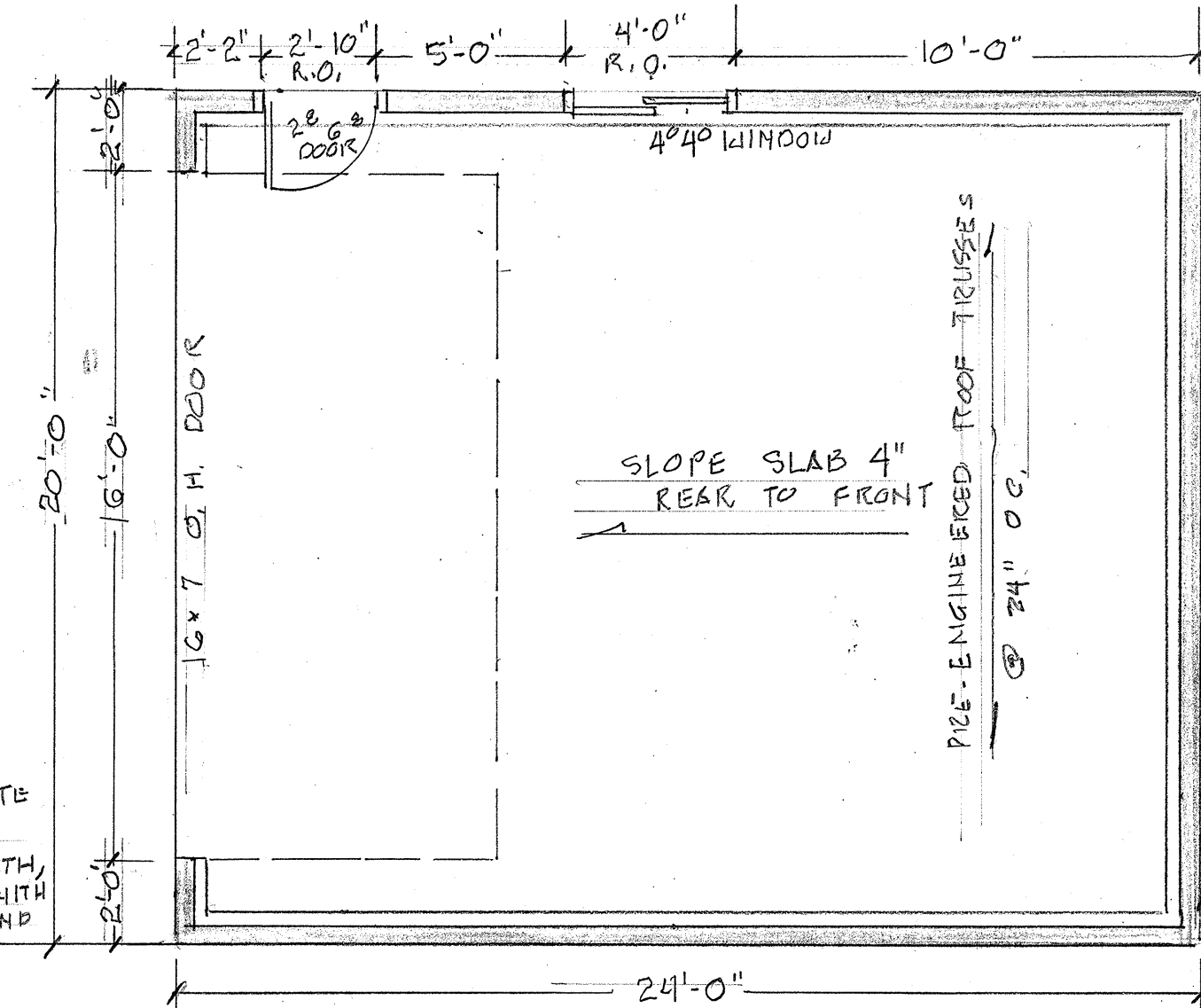
1. Structural Design based on the 2021 International Residential Code with local amendments and portions of the ACI 318, AISC Allowable Stress Design ninth edition, and NDS for wood construction.
2. Design Loads. This garage framing plan is based on the following load parameters.  
Roof Live Load = 30 psf, Dead Load = 10 psf  
Wind: 130 mph, Exposure B, with 3 second gusts.  
Seismic: Zone 1.
3. All dimensional lumber shall be Hem Fir #2 or better.
4. All dimensions shall be verified by the general contractor and framing subcontractor prior to construction. Any discrepancies must be brought to the attention of Architectural Engineer.

#### ROOF DIAPHRAM / BRACED WALL PANEL CONSTRUCTION METHOD

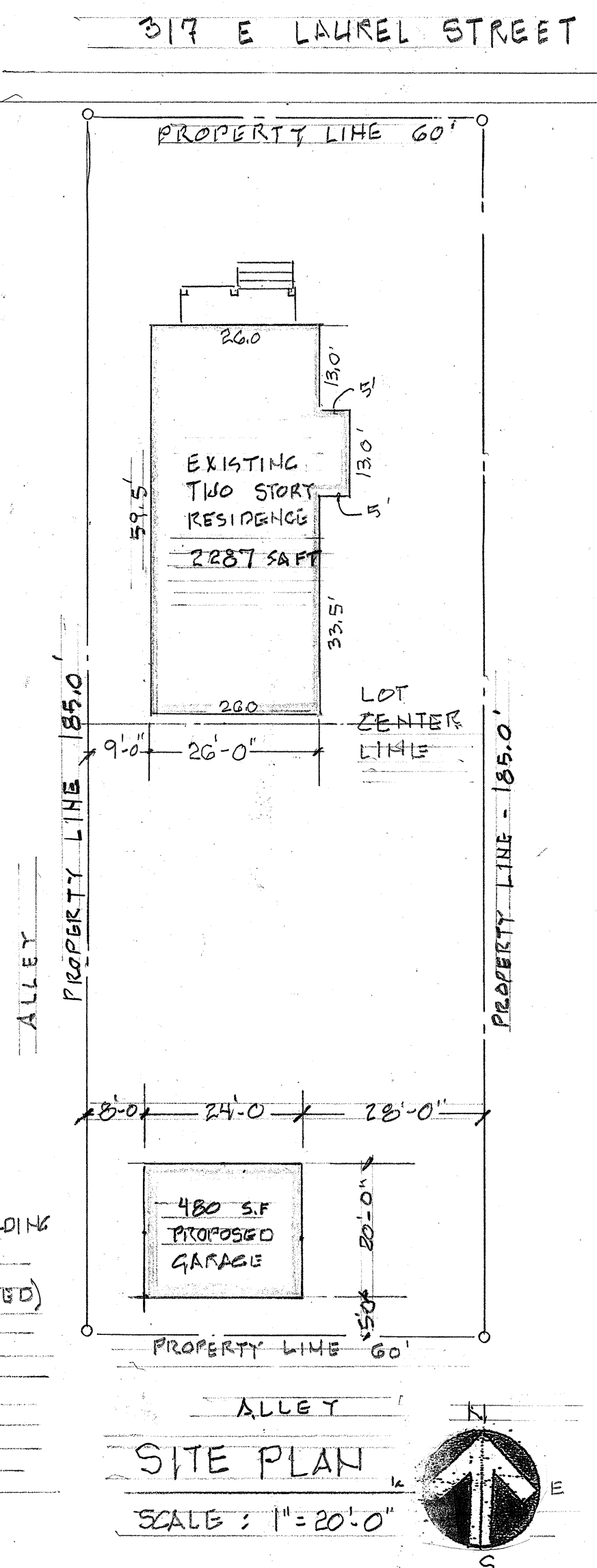
The proposed garage roof diaphragm bracing satisfies the 2021 Wind Bracing Requirements with the 7/16 inch Oriented Strand Board (OSB) roof sheathing applied with 8d nails or 16 gauge, 1 1/4 inch staples at 6 inch centers at panel edges and 12 inch centers in the field. 7/16" wall sheathing to be attached to the 16 inch o.c. wall studs with 6d nails at 6 inch o.c. At the edges, 12 inch o.c. at intermediate studs. The pre-engineered trusses spaced at 24 inch centers attached to the supporting walls with Simpson H2.5A hurricane ties.



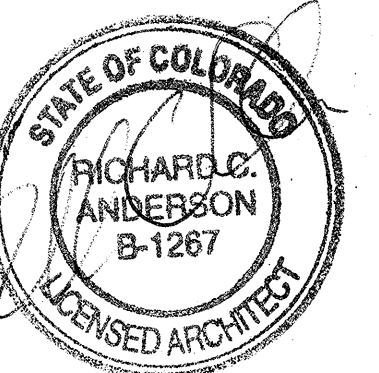
LONGITUDINAL SECTION  
SCALE: 1/2" = 1'-0"



FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ACCESSORY BUILDING  
480 S.F.  
(600 S.F. ALLOWED)



Nov 1, 2024

PROPOSED 480 SQUARE FOOT  
DETACHED GARAGE  
317 EAST LAUREL STREET  
DUSTIN SWINDLER -  
OWNER (281)797-4670

#### DRAWING

SITE PLAN  
FLOOR PLAN  
ELEVATIONS  
FOUNDATION PLAN  
BUILDING SECTIONS  
AND STRUCTURAL  
NOTES

#### REVISIONS

#### DRAWN

DICK

#### CHECKED

DUSTIN

#### DATE

NOV. 1, 2024

AA  
ANDERSON ASSOCIATES  
ARCHITECTURAL ENGINEERS, LLC

JOB  
24-110

SHEET

1 OF 1



**From:** [Josh Roloff](#)  
**To:** [Yani Jones](#)  
**Subject:** [EXTERNAL] Re: B2504570 - Historic Preservation Review  
**Date:** Wednesday, July 9, 2025 11:41:25 AM

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Hi Yani,

Here is the picture you requested and it will be 2x4 wood construction with Truwood brand 12" lap siding to match the house. The roof will be asphalt shingles to match the house.

Thanks

On Mon, Jul 7, 2025 at 1:35 PM Yani Jones <[yjones@fcgov.com](mailto:yjones@fcgov.com)> wrote:

Sorry for the double email, Josh! If you could also please send a photo of the front and the back of the house to include with the report, that would be much appreciated.

Thank you!

Yani

.....  
**YANI JONES**

Pronouns: She/Her ([What's this?](#))

Historic Preservation Planner

City of Fort Collins Historic Preservation Services

(970) 224-6045

<https://www.fcgov.com/historicpreservation/>

*Get monthly historic preservation updates in your inbox by toggling on "Historic Preservation Matters" [here](#), or email [preservation@fcgov.com](mailto:preservation@fcgov.com) to be added to the newsletter mailing list!*

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**From:** Yani Jones  
**Sent:** Monday, July 7, 2025 1:29 PM  
**To:** Josh Roloff <[josh@buildfortcollins.com](mailto:josh@buildfortcollins.com)>  
**Subject:** B2504570 - Historic Preservation Review

Hi Josh!

I was routed on the review of your permit app for 317 E Laurel because that house is in the Laurel School District on the National Register of Historic Places. I'm required to generate a report documenting exterior alterations to properties in this district for the State Historic Preservation Office, and I was hoping you could give me some info on the materials being used beyond what's in your permit materials when you have a moment so I can include it in the report. In the permit materials, I can see that lap siding is proposed, and I can see the style of window and door

proposed – Could you tell me the materials (e.g., wood, engineered wood, metal, etc.) those will be?

I'll place a "hold" on the permit so the Building folks know you're working on this for me. It should be a fast turn-around for my part once I have your response.

Take care,

Yani

.....  
**YANI JONES**  
Pronouns: She/Her ([What's this?](#))  
Historic Preservation Planner  
City of Fort Collins Historic Preservation Services  
(970) 224-6045  
<https://www.fcgov.com/historicpreservation/>

*Get monthly historic preservation updates in your inbox by toggling on "Historic Preservation Matters" [here](#), or email [preservation@fcgov.com](mailto:preservation@fcgov.com) to be added to the newsletter mailing list!*

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Josh Roloff

[buildfortcollins.com](http://buildfortcollins.com)



Phone / 970.413.2272  
[buildfortcollins.com](http://buildfortcollins.com)







