



**Historic Preservation Services**  
Community Development & Neighborhood Services  
281 N. College Ave.  
Fort Collins, CO 80524  
970.224.6078  
[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**CERTIFICATE OF APPROPRIATENESS**

**ISSUED: June 3, 2025**

**EXPIRATION: June 3, 2026**

Jeri Lynn & Lisa Ruth Arin  
2080 Manawalea St, Apt 802  
Lihue, HI 96766-8984

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the Dodd-Ghent Residence at 638 Whedbee Street have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Construction of a new garage
- 2)

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. Our team can be reached at [preservation@fcgov.com](mailto:preservation@fcgov.com) or at 970-224-6078.

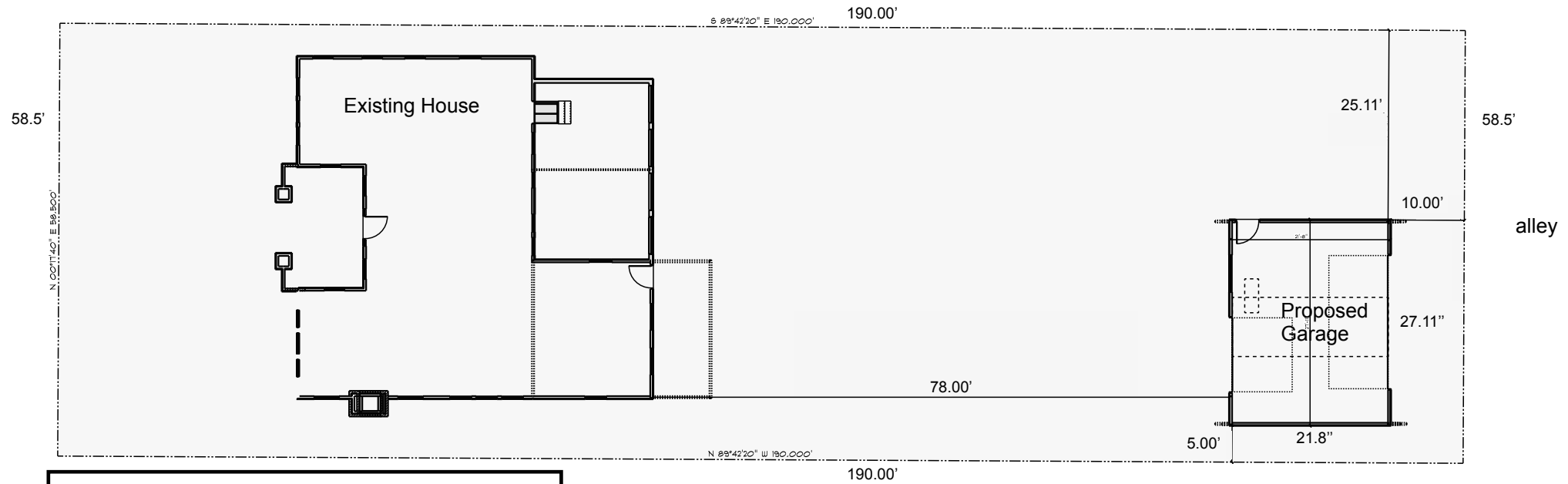
Sincerely,

Jim Bertolini  
Senior Historic Preservation Planner

<b>Applicable Code Standard</b>	<b>Summary of Code Requirement and Analysis (Rehabilitation)</b>	<b>Standard Met (Y/N)</b>
<b>SOI #1</b>	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>	<b>Y</b>
<b>SOI #2</b>	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>The existing garage was already approved for demolition, having been determined non-contributing to the City Landmark property. Its replacement with a similarly sized, scaled, and located garage does not disrupt the property's overall historic character.</p>	<b>Y</b>
<b>SOI #3</b>	<i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i>	<b>Y</b>
<b>SOI #4</b>	<i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i>	<b>N/A</b>
<b>SOI #5</b>	<i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i>	<b>Y</b>
<b>SOI #6</b>	<i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i>	<b>N/A</b>
<b>SOI #7</b>	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	<b>N/A</b>
<b>SOI #8</b>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>In general areas such as this are not considered for high potential of archaeological discoveries during foundation prep work.</p>	<b>N/A</b>

<b>SOI #9</b>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The new garage appears compatible with, and subordinate to the historic building. While it has some distinguishability, this could be improved with more differentiated siding, simplified windows, and simplified decorative elements that don't match the main house (since this property never had a matching garage). However, the modern window and door arrangement, and steep roof pitch, provide sufficient differentiation. Regarding the overall site, it appears no modifications will be made to the existing shared driveway (shared with 642 Whedbee St).</p>	<b>Y</b>
<b>SOI #10</b>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>The new garage is not directly affecting the main historic house, and does not appear to be disrupting the historic, shared driveway along the south elevation.</p>	<b>Y</b>

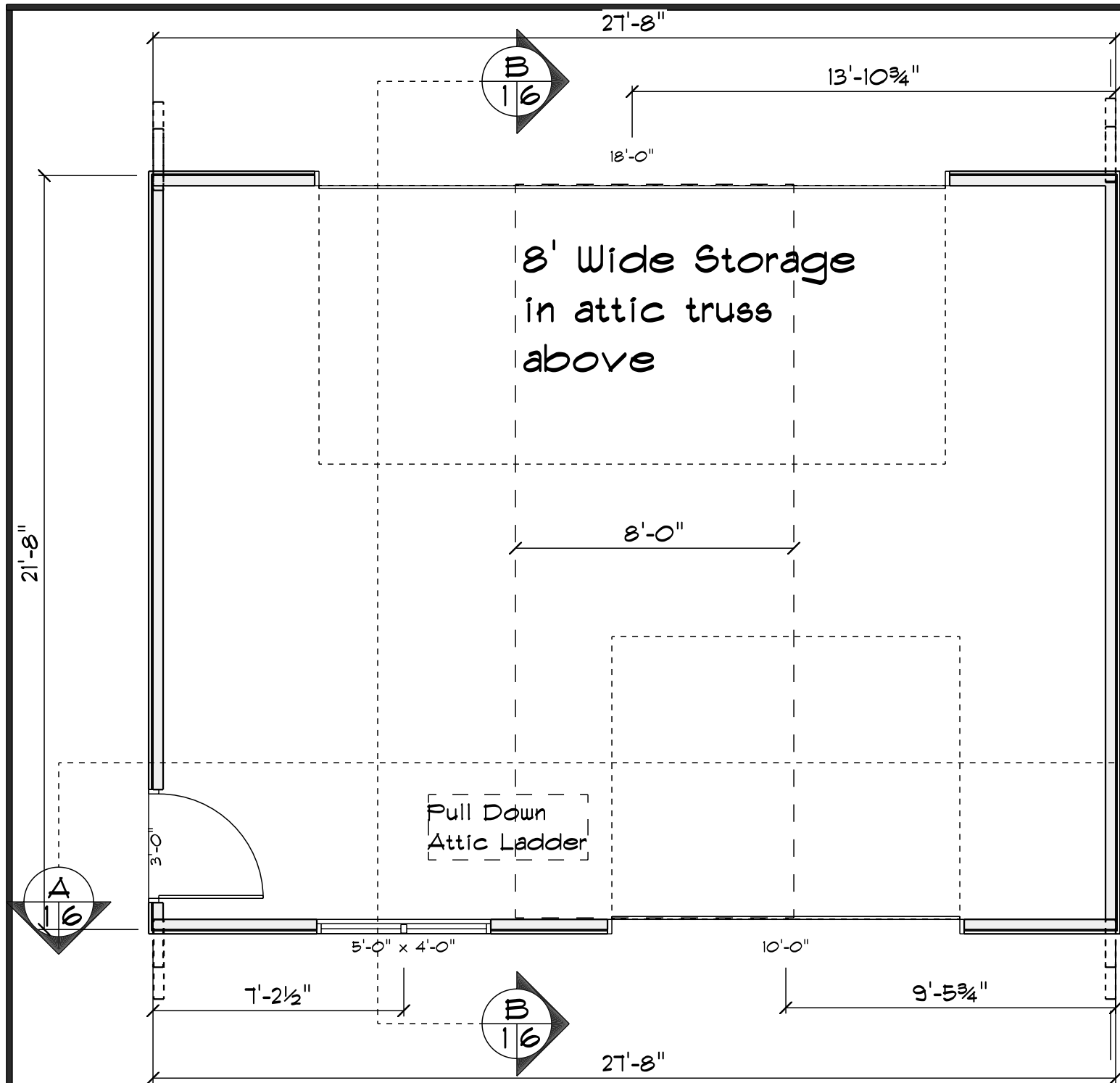
Whedbee  
Street



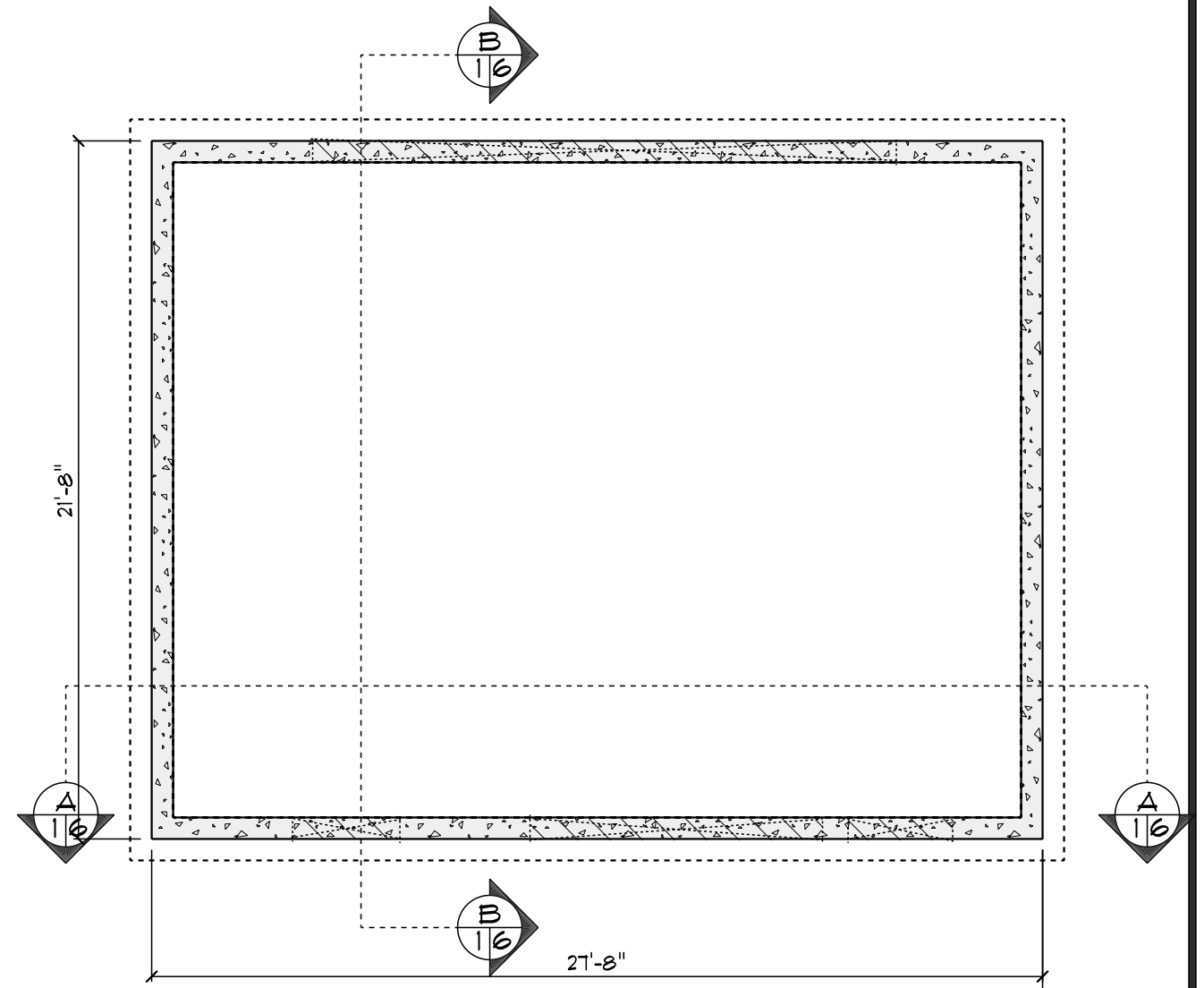
638 Whedbee Street, Fort Collins, CO 80524  
Lot: 22  
Subdivision: 10166 - FTC BLK 166  
Lot Sq Ft: 11,115

Scale: 1" = 20'





**MAIN FLOOR**  
SCALE: 1/4" = 1'-0"



**FOUNDATION**  
SCALE: 3/16" = 1'-0"

Arin Garage

APPROVED

DRAWN BY

REVISED

October 15, 2024

DRAWING NO.



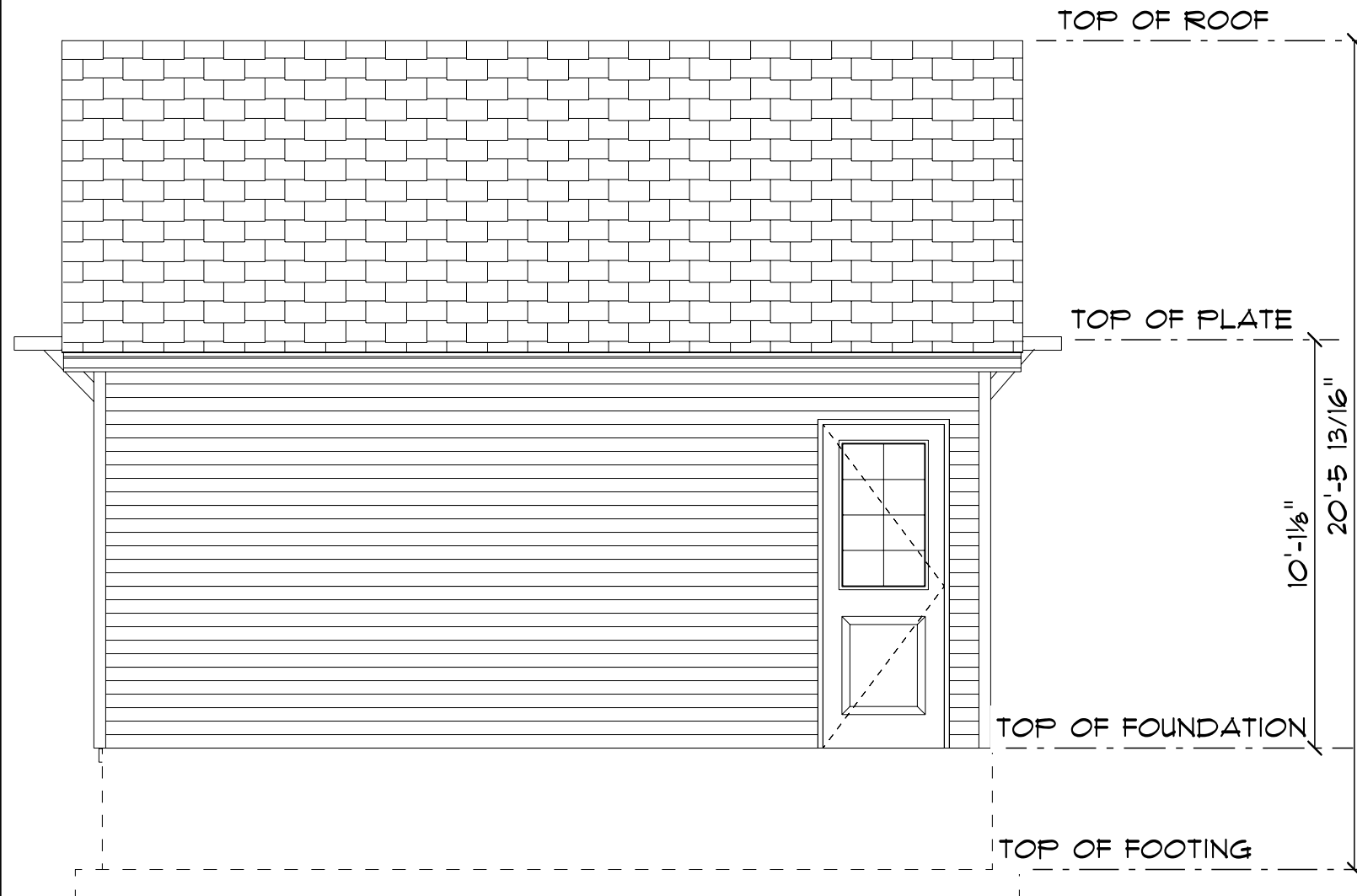
**SPLITTGERBER**

*Professional Builders*

1600 Meadowaire Drive

Fort Collins, CO 80525

Office: 970-223-4300



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

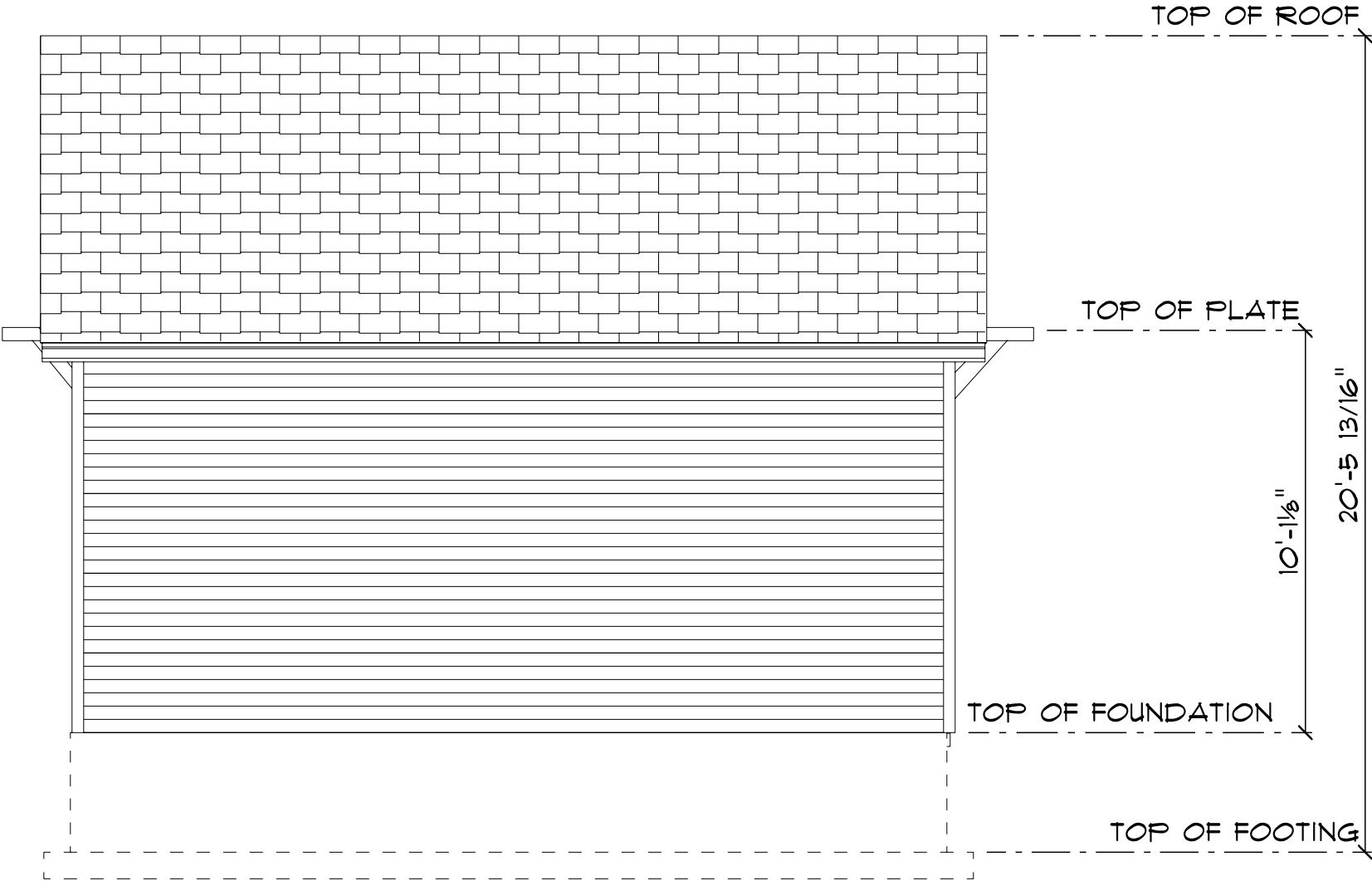
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		DRAWING NO.



SPLITTGERBER

Professional Builders

1600 Meadowaire Drive Fort Collins, CO 80525 Office: 970-223-4300



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

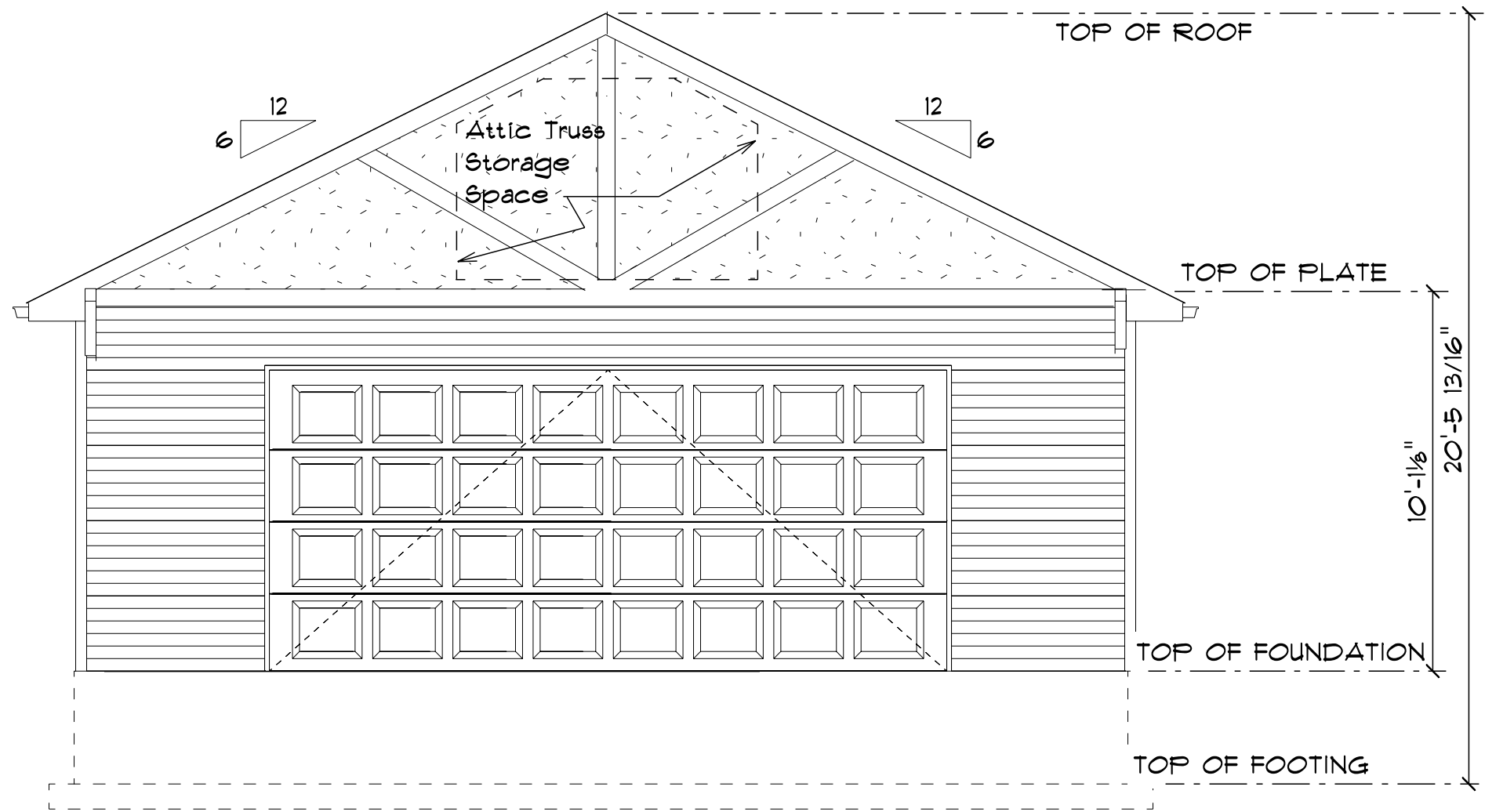
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		DRAWING NO.



**SPLITTGERBER**

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1600 Meadowaire Drive      Fort Collins, CO 80525      Office: 970-223-4300



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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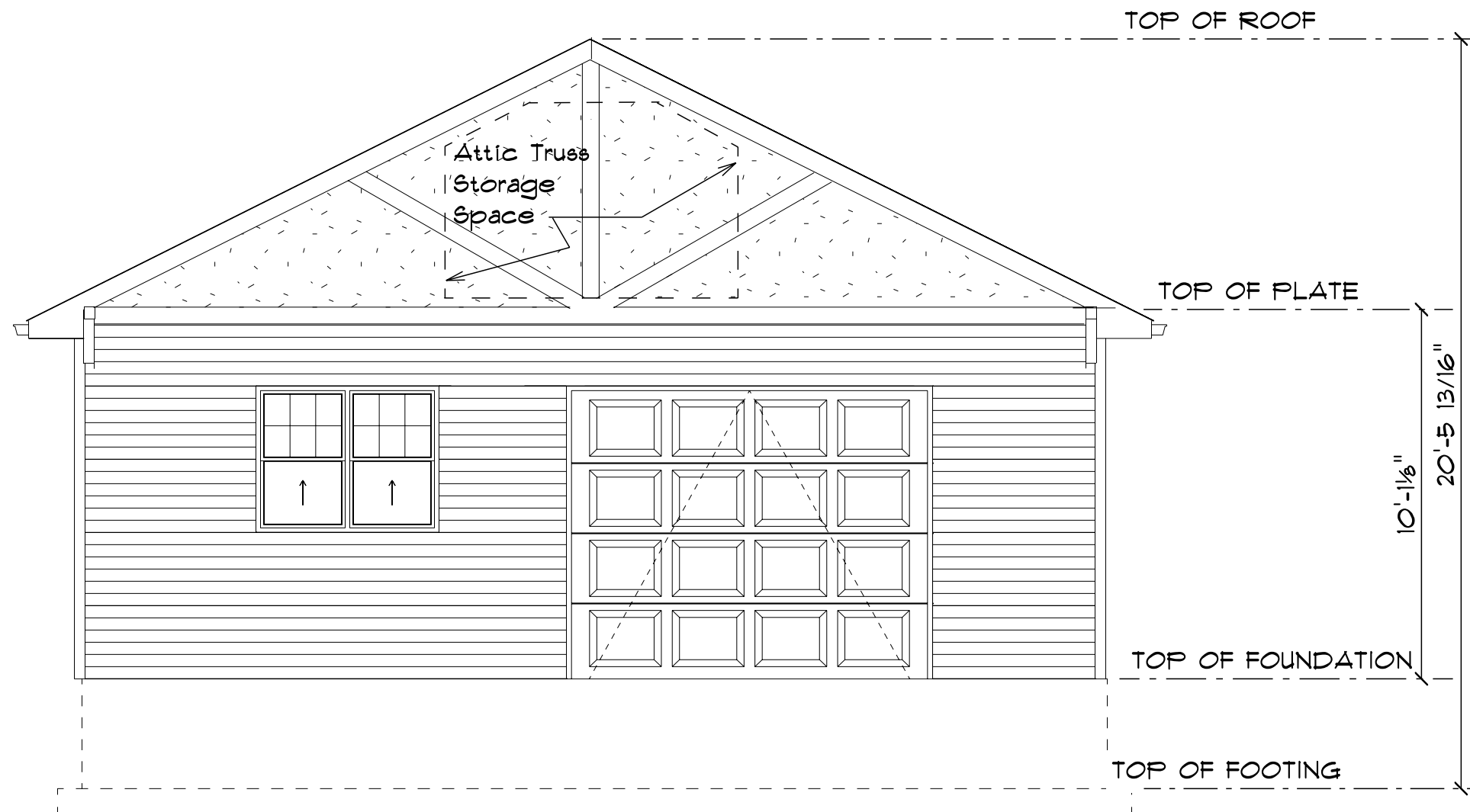


SPLITTGERBER

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1600 Meadowaire Drive Fort Collins, CO 80525 Office: 970-223-4300





**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

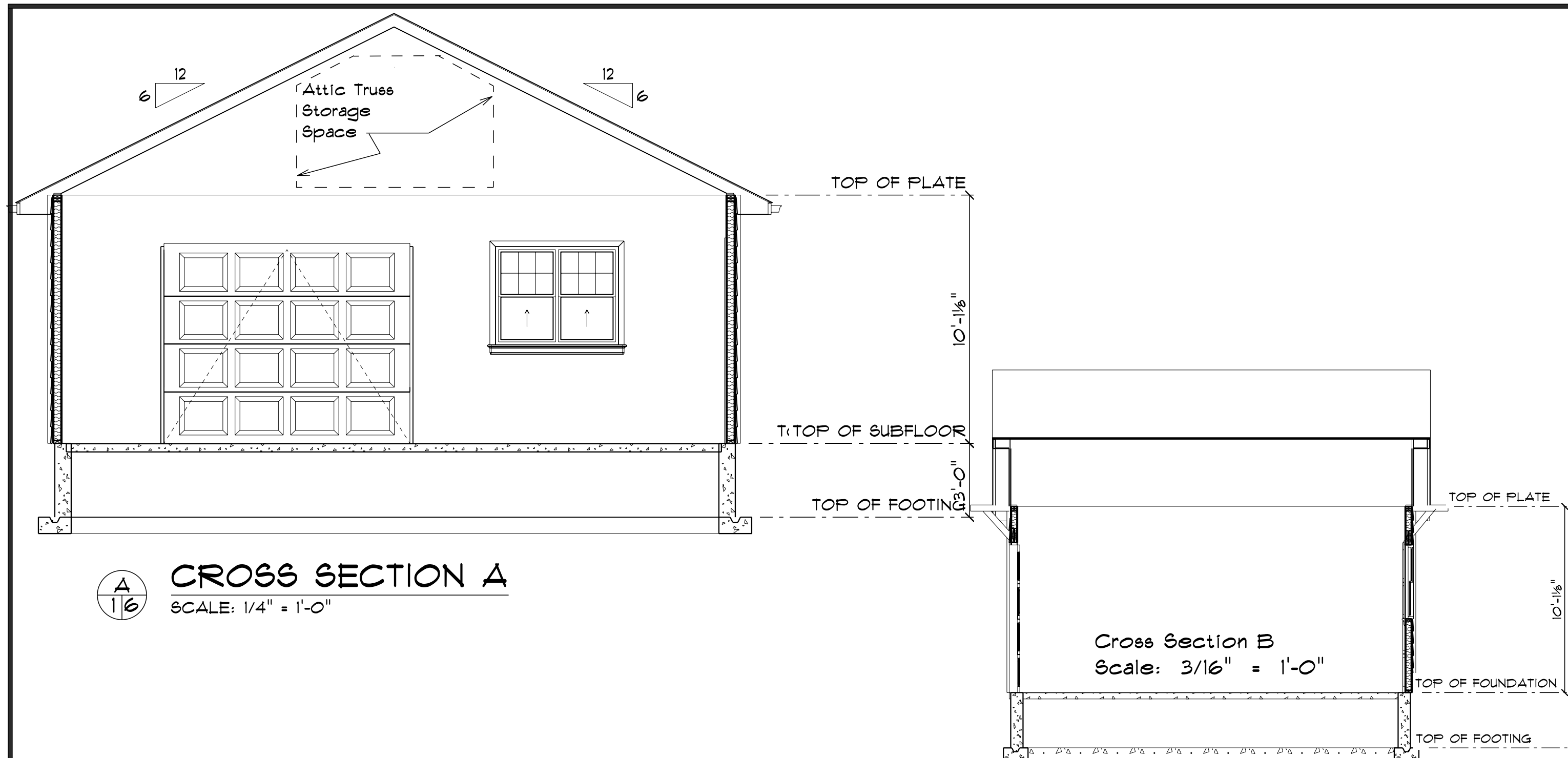
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**SPLITTGERBER**

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1600 Meadowaire Drive Fort Collins, CO 80525 Office: 970-223-4300



				<h1>SPLITTGERBER</h1> <hr/> <h2>Professional Builders</h2> <p>1600 Meadowaire Drive Fort Collins, CO 80525 Office: 970-223-4300</p>	
		APPROVED			DRAWN BY
					REVISED
					DRAWING NO.

GENERAL NOTES AND SPECIFICATIONS

- PROJECT SCOPE: THESE STRUCTURAL DRAWINGS MAY BE USED TO CONSTRUCT ONLY 638 WHEDBEE DRIVE, FORT COLLINS, COLORADO.
- BUILDING CODE: THIS DESIGN IS BASED ON THE INTERNATIONAL RESIDENTIAL CODE (2021 EDITION). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CODE AND IN ACCORDANCE WITH ALL APPLICABLE OSHA REGULATIONS.
- DESIGN LOADS:  
ROOF:  
GROUND SNOW LOAD = 35 PSF  
ROOF SNOW LOAD = 30 PSF  
ATTIC LIVE LOAD = 20 PSF  
DEAD LOAD = 20 PSF  
  
WIND = 140 MPH (ULTIMATE); EXP. B; SEISMIC DESIGN CATEGORY B.  
FROST DEPTH SHALL BE 30"
- COORDINATION:  
THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND SITE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN PRIOR TO CONCRETE PLACEMENT. CONFLICTS IN DIMENSION AND INTERFERENCE SHALL BE DIRECTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- FOUNDATIONS:  
A. THIS FOUNDATION DESIGN IS BASED ON ASSUMED CONDITIONS.  
MAXIMUM BEARING CAPACITY = 1500 PSF. DL + LL  
MINIMUM DEAD LOAD = 500 PSF.  
B. THE FOUNDATION EXCAVATION SHALL BE OBSERVED BY AN ENGINEER LICENSED IN THE STATE OF COLORADO.  
C. FOUNDATION WALLS TO BE BACKFILLED IN ACCORDANCE WITH INDUSTRY STANDARDS.
- FLOOR SLABS:  
A. FILL MATERIAL UNDER SLABS ON GRADE SHALL BE AN APPROVED MATERIAL PLACED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.  
B. SLAB CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH ACI RECOMMENDATIONS.  
C. IT IS THE CONTRACTORS RESPONSIBILITY TO INFORM THE OWNER OF THE POTENTIAL FOR DAMAGE DUE TO SLAB MOVEMENT AND THE PRECAUTIONS TO BE TAKEN TO MINIMIZE POTENTIAL DAMAGE WHEN MOVEMENT OCCURS. IF THE OWNER CHOOSES SLAB ON GRADE CONSTRUCTION INSTEAD OF A STRUCTURAL FLOOR, THE OWNER SHALL ASSUME ALL RISK OF SLAB ON GRADE CONSTRUCTION.
- STRUCTURAL MATERIALS:

CONCRETE:

- 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE AS FOLLOWS:  
SLAB-ON-GROUND 4500 PSI  
FOUNDATION 3500 PSI
- MAXIMUM CONCRETE SLUMP SHALL BE AS FOLLOWS:  
FOUNDATION WALLS AND FOOTINGS 4" MAX  
SLABS 4" MAX
- AIR ENTRAINMENT SHALL BE AS FOLLOWS:  
ALL CONCRETE EXPOSED TO THE EXTERIOR 5-7%
- CEMENT TO BE TYPE I/II
- REINFORCING STEEL: FY = 60 KSI (ASTM A615 GRADE 60). ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH ACI RECOMMENDATIONS INCLUDING MINIMUM LAPS, SPACINGS AND CORNER BARS.

WOOD:

DIMENSIONAL LUMBER: HEM-FIR NO. 2 OR BETTER; FB=850 PSI; FV=150 PSI; E=1300 KSI.  
LAMINATED VENEER LUMBER (LVL): FB=2600 PSI; FC=750 PSI; E=1900 KSI.  
TIMBERSTRAND L-3E (LSL): FB=1700 PSI; FC=680 PSI; E=1300 KSI.  
MULTIPLE-MEMBER CONNECTIONS FOR SIDE-LOADED AND TOP-LOADED BEAMS SHALL BE INSTALLED PER MANUFACTURER ASSEMBLY REQUIREMENTS.  
ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED (P.T.) IN ACCORDANCE WITH IRC SECTION R317. ALL PRESERVATIVE TREATED LUMBER SHALL CONFORM TO AWPA STANDARD U1 AND THE APPROPRIATE USE CATEGORY.  
CONNECTORS USED IN CONTACT WITH P.T. WOOD SHALL BE COATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. FASTENERS USED IN P.T. WOOD SHALL CONFORM WITH IRC SECTION R317.3.1.

- EXISTING CONDITIONS:  
THE EXISTING CONDITIONS DEPICTED ON THESE DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- EXTERIOR GRADE: SLOPE PERIMETER GRADE AWAY FROM BUILDINGS AS SHOWN IN THE DETAILS.

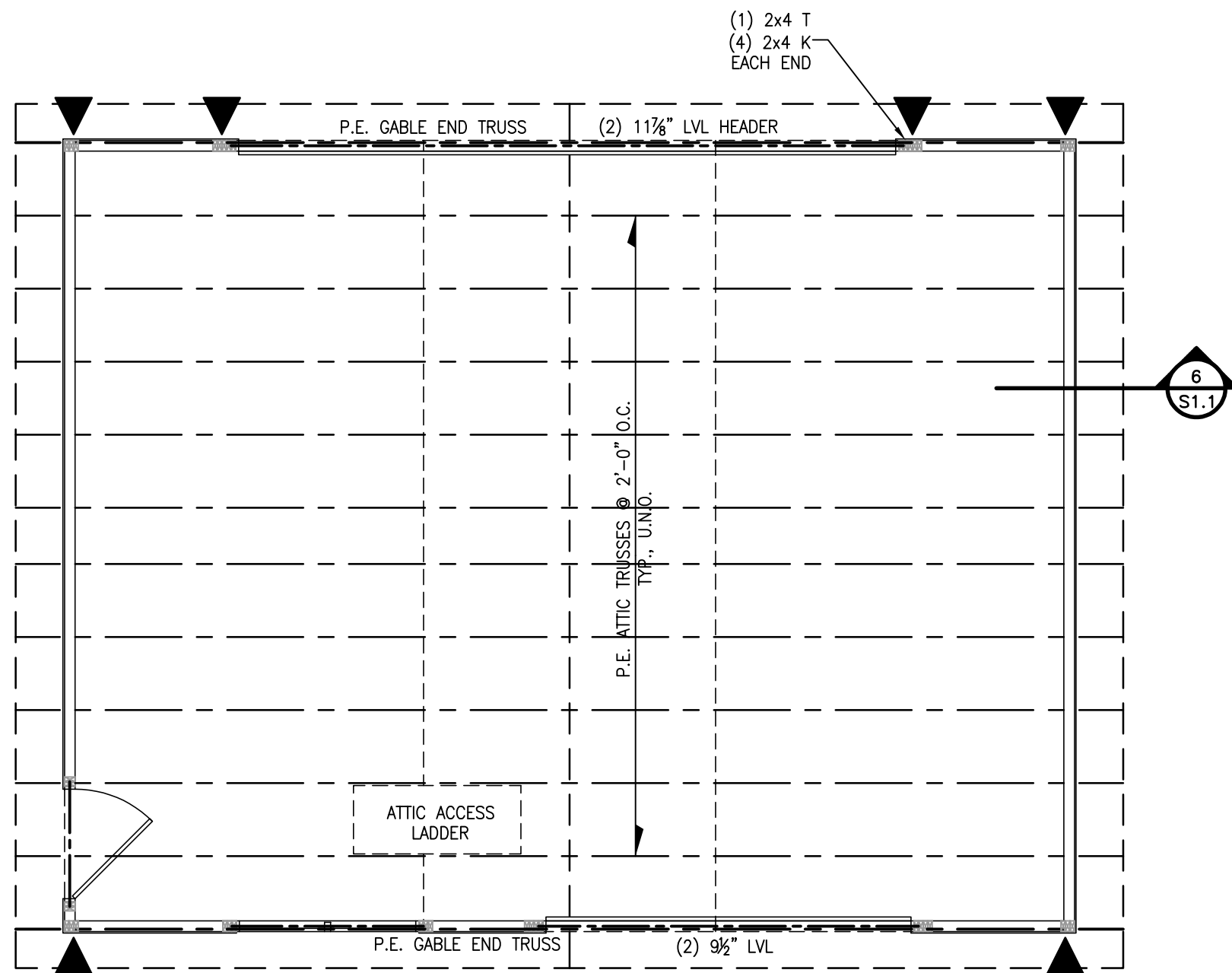
EXTERIOR WALL STUDS: 2x4's @ 16" O.C.

ROOF & WALL SHEATHING SHALL BE APA TRADEMARKED EXPOSURE 1 WHEN EXPOSED ONLY DURING CONSTRUCTION AND SHALL CONFORM TO THE APA STANDARD.

ROOF SHEATHING: 15/32 APA RATED SHEATHING 32/16 SPAN RATING w/ 0.131x2 1/2" NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN THE FIELD, OR 1 3/4" 16 GAGE STAPLES @ 3" O.C. AT PANEL EDGES, 6" O.C. IN THE FIELD.

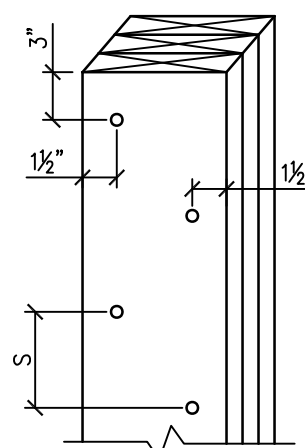
ALL EXTERIOR HEADERS TO BE (2) 2x10 w/ 1-2x TRIMMER (T) EACH END UNLESS NOTED OTHERWISE. PROVIDE 1-2x KING STUD (K) EA. SIDE OF 4'-0" MAX OPENINGS, 2-2x KING STUDS EA. SIDE OF 8'-0" MAX. OPENINGS AND 3-2x KING STUDS EA. SIDE OF 14'-0" MAX. OPENINGS; U.N.O. SEE PLAN FOR KING STUDS FOR OPENINGS GREATER THAN 14'-0".

WIND BRACING:  
ALL EXTERIOR WALLS TO BE FULLY SHEATHED w/ 7/16" OSB OR PLYWOOD. NAIL w/ 0.131x2 1/2" NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN FIELD, OR 1 3/4" 16 GAGE STAPLES @ 3" O.C. AT PANEL EDGES, 6" O.C. IN THE FIELD. BLOCKING NOT LESS THAN 2" NOMINAL IN THICKNESS SHALL BE PROVIDED AT ALL HORIZONTAL PANEL JOINTS. INSULATED ZIP SHEATHING NOT ALLOWED AS WIND BRACING AS DESIGNED. CONTACT WEEKS AND ASSOCIATES FOR REVISED FRAMING IF INSULATED ZIP PANELS ARE USED IN PLACE OF OSB OR PLYWOOD.



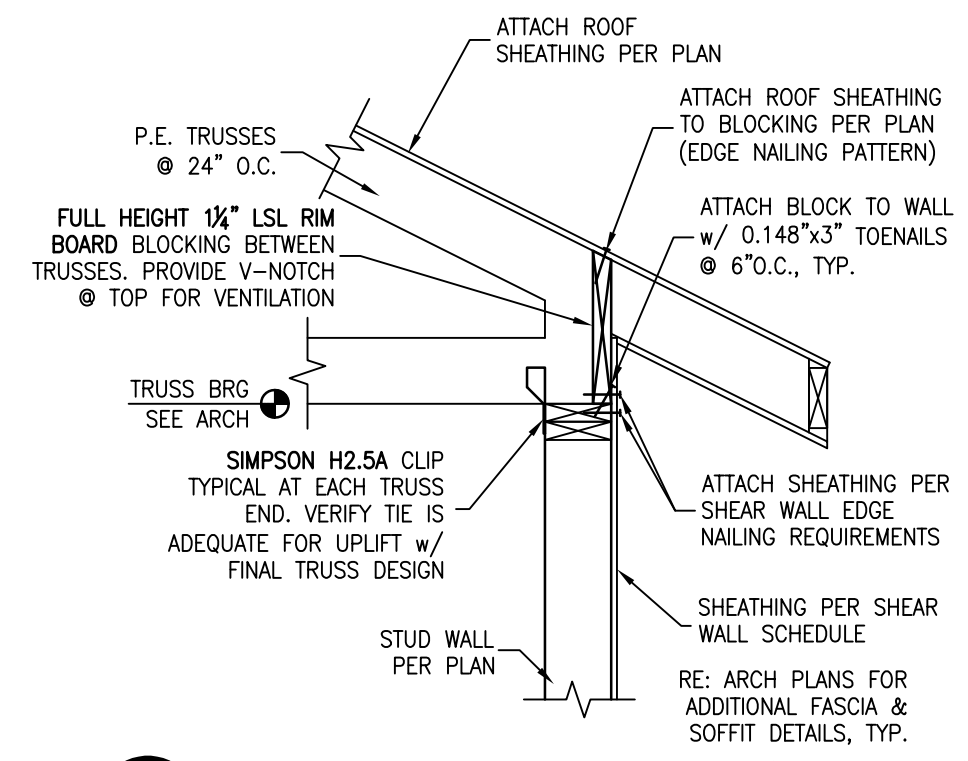
ROOF FRAMING PLAN

1/4" = 1'-0"

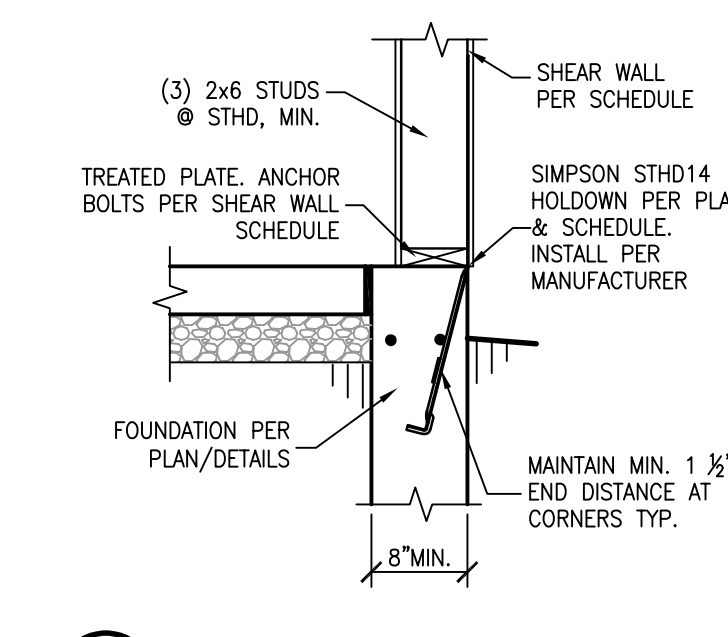


STUD PACK ATTACHMENT SCHEDULE		
# OF PLIES*	FASTENERS (EACH FACE)	SPACING (S)**
2	0.131"x3" NAILS	16" O.C.
3	4 1/2" HEADLOK SCREWS	9" O.C.
4	6" HEADLOK SCREWS	9" O.C.

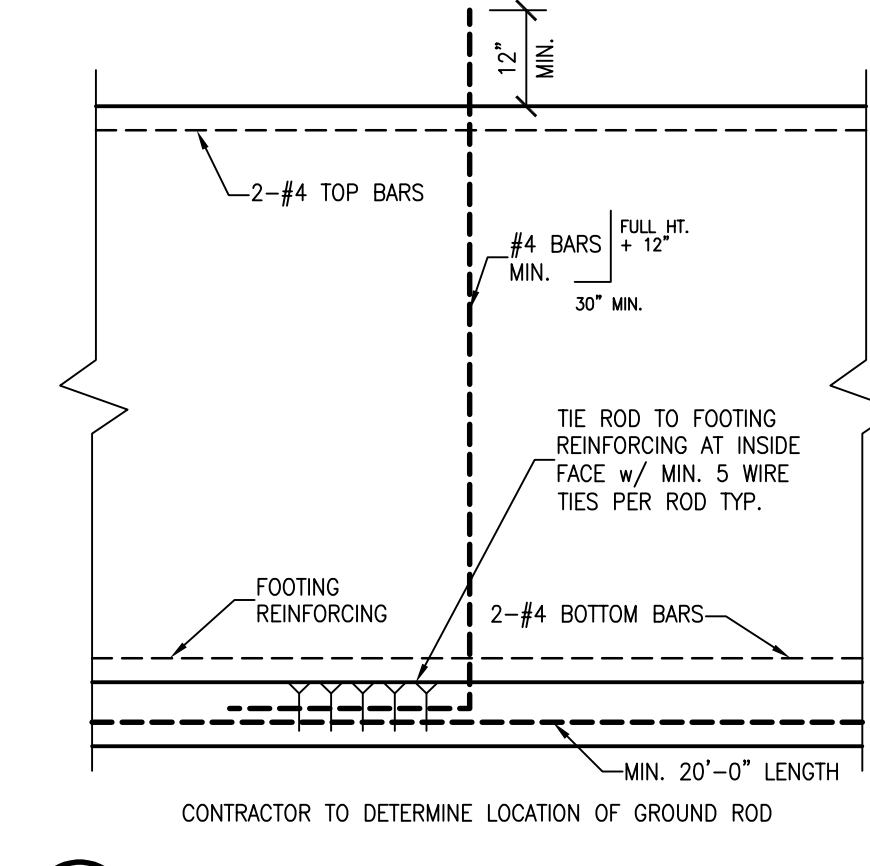
\*FOR STUD PACKS GREATER THAN 4 PLIES, FASTEN AS 2 SEPARATE STUD PACKS (2+3 FOR A 5-PLY, ETC.) WHERE EACH PACK IS FASTENED INDEPENDENTLY PER THIS SCHEDULE, U.N.O. ON PLAN  
\*\*REF. DRAWING TO LEFT FOR NAIL/SCREW PATTERN



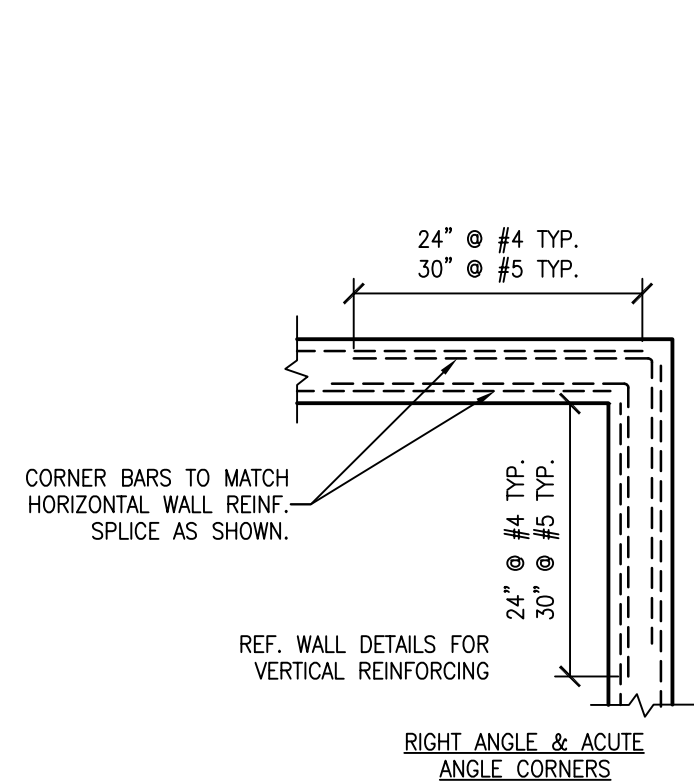
6 S1.1 TYP. TRUSS BEARING DETAIL (LOW HEEL)  
3/4" = 1'-0"



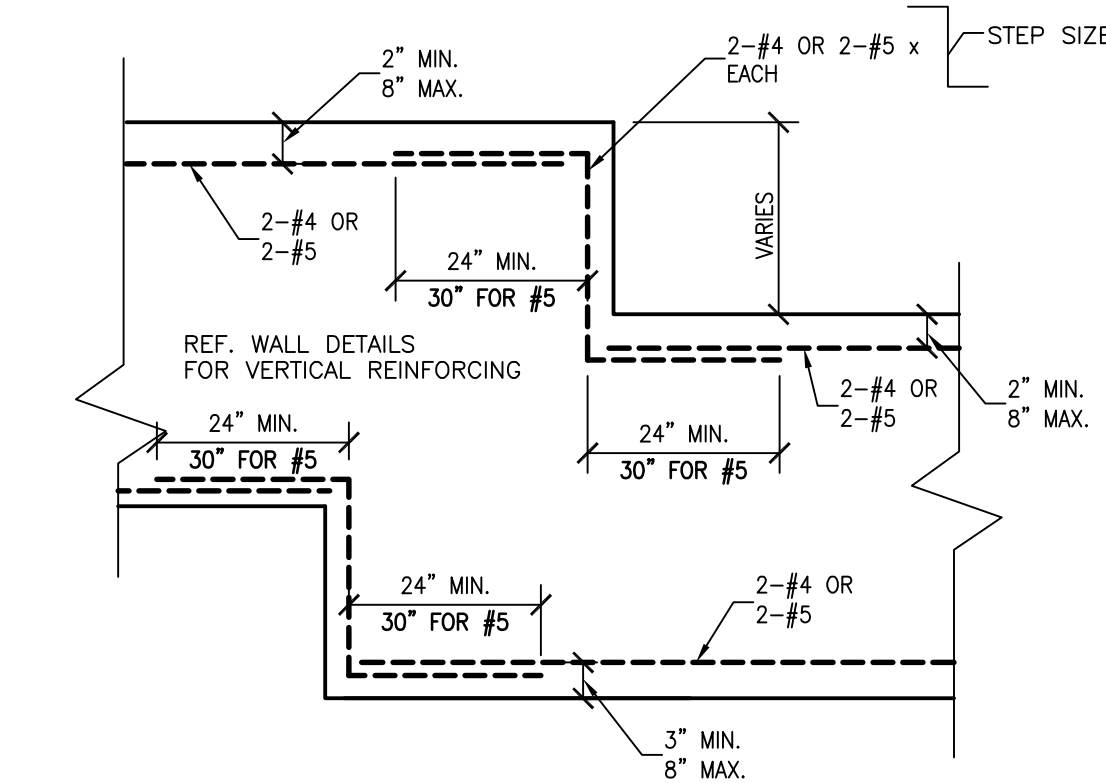
5 S1.1 STHD HOLDOWN DETAIL  
3/4" = 1'-0"



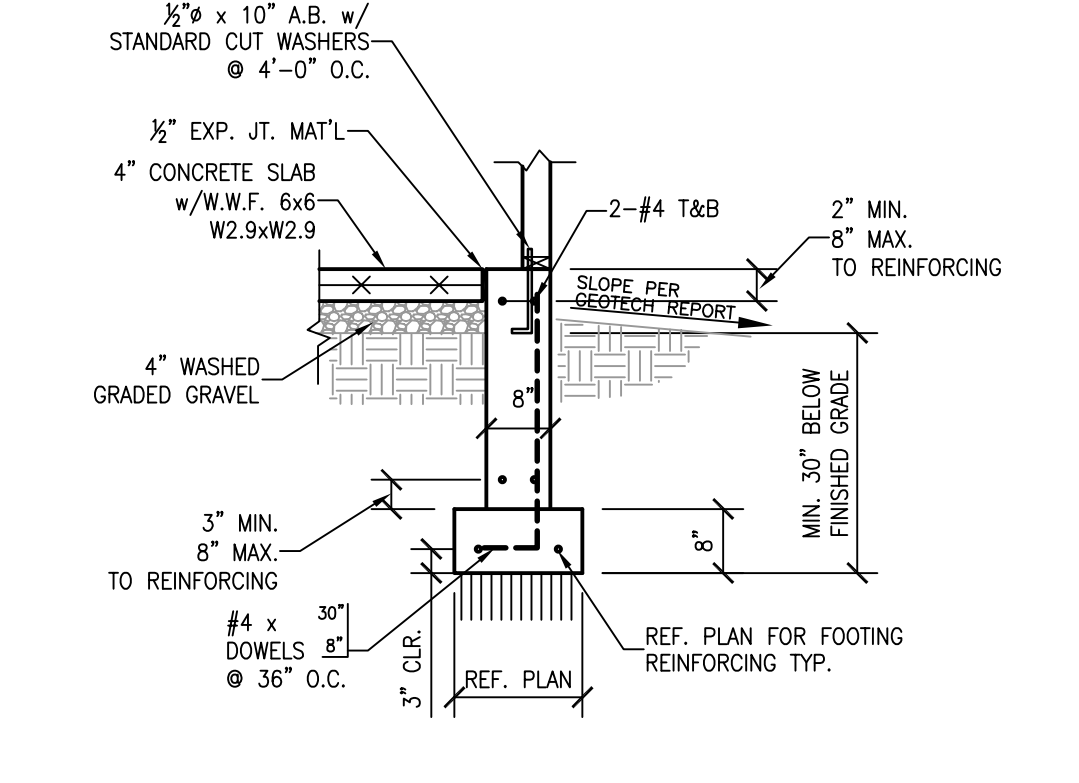
4 S1.1 U-FER GROUND DETAIL  
1/2" = 1'-0"



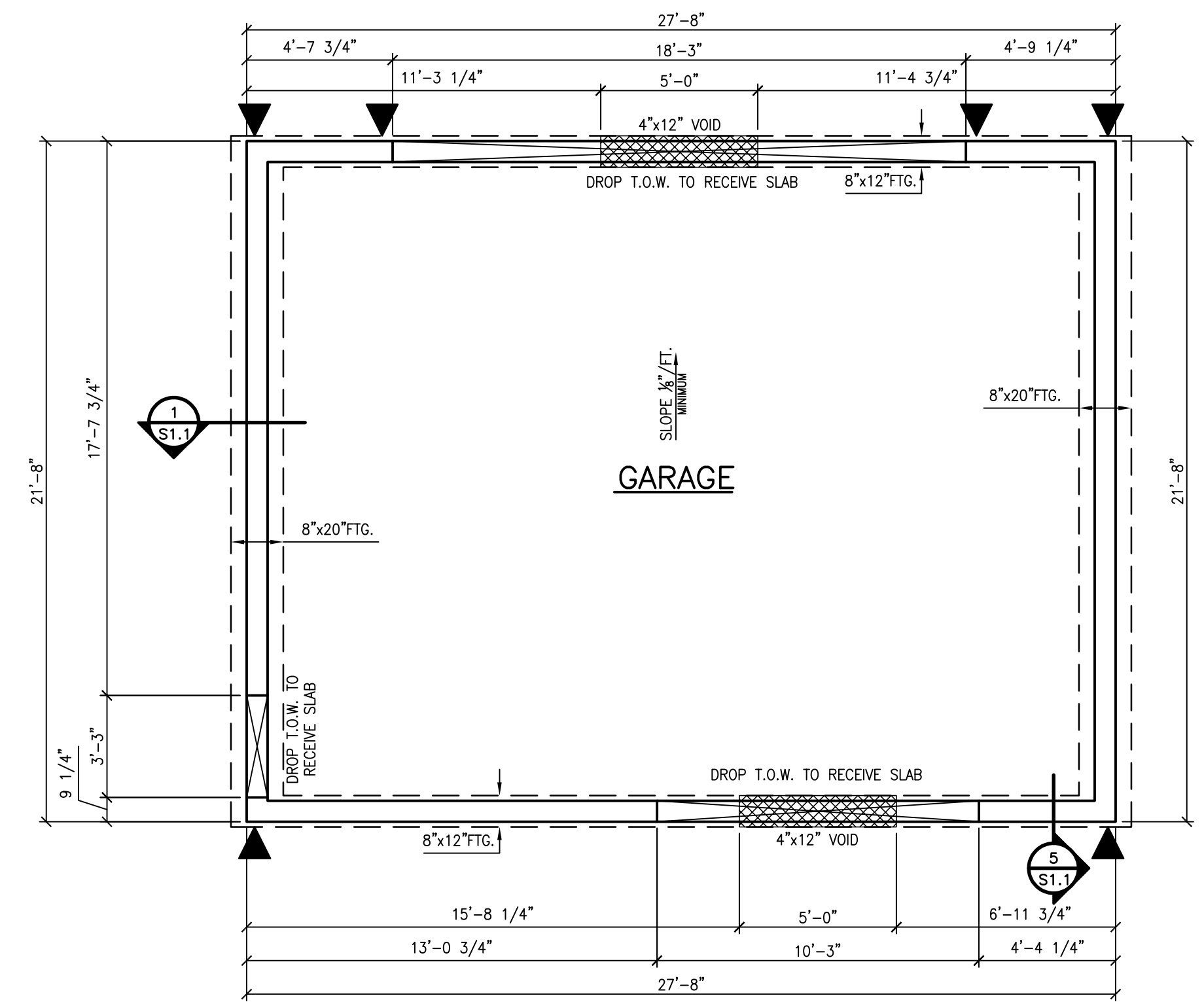
3 S1.1 TYPICAL CORNER REINFORCING - CONCRETE  
N.T.S.



2 S1.1 WALL STEP REINFORCING DETAIL  
1/2" = 1'-0"



1 S1.1 GARAGE FOUNDATION WALL DETAIL  
1/2" = 1'-0"



FOUNDATION PLAN

1/4" = 1'-0"

FOOTING REINFORCING  
2-#4 CONT. 8"x12" TO 8"x20"  
3-#4 CONT. 8"x24" TO 8"x30"  
4-#4 CONT. 8"x36" & WIDER  
#4 TRANSVERSE BARS @ 18" O.C. FOR 30" & WIDER

ARIN GARAGE  
638 WHEDBEE DRIVE  
FORT COLLINS, COLORADO



4730 SOUTH COLLEGE #201  
FORT COLLINS, CO 80525  
PHONE (970) 225-2422



PROJECT NUMBER: 224161  
DESIGNED BY: PBS  
CHECKED BY: GGW

ISSUE  
12-9-2024

REVISIONS

FILE  
2024 - #224161

DRAWING TITLE

FOUNDATION & FRAMING PLANS & GENERAL NOTES

DRAWING NUMBER

S1.1