

Historic Preservation Services

Community Development & Neighborhood Services 281 N. College Ave. Fort Collins, CO 80524

970.224.6078 preservation@fcgov.com fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS ISSUED: December 4, 2024 EXPIRATION: December 4, 2025

Greg and Amy Parker c/o Jeffrey Schneider, Armstead Construction PO Box 330 Laporte, CO 80535

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the Landblom Property at 116 Pearl St., have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, <u>Article IV</u> of the Fort Collins Municipal Code.

- 1) Stabilization of rear enclosed porch foundation with helical piers, including any needed tuckpointing of mortar joints
 - a. Note: Type N or O mortar is advised for any needed tuckpointing.
- 2) Repair of enclosed porch windows after porch stabilization
- Removal and repair/reconstruction of water-damaged upper rear deck (top of enclosed porch) using Trex decking boards, railing/post materials and details to match existing; repair of leaking roof
- 4) Rebuild rotted lower rear deck and skirting in same size, materials, and details
- 5) Repainting of already painted materials at house rear
 - a. Note: If type of paint is unknown, please test to determine if existing paint is oil or water-based prior to applying new paint or use an oil-based primer prior to applying new paint to ensure adherence.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships; This rear porch/deck rehab project will not change the residential use of this property.	Y
SOI #2	The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided. The historic character of this 1927 bungalow home will be preserved through the replacement of deteriorated materials and also through repair of damaged features, like tuckpointing of the rear porch foundation. The design of the rear enclosed porch and associated decks and rails will not change in	Y
SOI #3	appearance, meeting this Standard. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	N/A
SOI #4	Changes to a property that have acquired historic significance in their own right will be retained and preserved.	N/A
SOI #5	Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	Y
	Care is being taken to repair existing materials on the rear porch or replace deteriorated materials to match the existing design, and so this Standard is met.	

SOI #6	Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence. Again, although some deteriorated materials are being replaced, such as the rotted or water-damaged upper and lower decks, such replacement of material is considered appropriate under this Standard. The upper decking material is being changed to Trex rather than replaced in-kind with wood; this substitute	Y
	material is appropriate in this case to improve the durability of the flat roof of the enclosed porch/the upper deck and because such material will not be easily visible. Although the windows of the porch are not historic, they will also be repaired. The already wood features will be painted or re-painted to match the existing appearance without painting the unpainted brick; this maintenance also aligns with this Standard.	
SOI #7	Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	N/A
SOI #8	Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken. Although it is unlikely that archaeological resources will be uncovered during the excavation needed for the enclosed porch's new helical piers, the applicant should be advised of this Standard and contact Historic Preservation Services immediately should such resources be found (preservation@fcgov.com; 970-224-6078).	Y
SOI #9	New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	N/A
SOI #10	New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	N/A



Design Review Application Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, Article IV of the Fort Collins Municipal Code.

Applicant Information

Applicant's Name	Daytime Phone	E۱	vening Phone
Mailing Address (for receiving application-related correspondence)		State	Zip Code
Email			
Property Information (put N/A if owner is applicant)			
Owner's Name	Daytime Phone	E	Evening Phone
Mailing Address (for receiving application related assessment and		Ctoto	7in Codo
Mailing Address (for receiving application-related correspondence)		State	Zip Code
Email			
Project Description Provide an overview of your project. Summarize work elements, schedul necessary to explain your project.	le of completion, a	nd other	information as
12/4/24 (YJ) - Lower deck to be rebused as same size/materials/style (see attack email)			
The following attachments are REQUIRED:	Reminders:		
The following attachments are KEQUIKED.	Complete app		
□ Complete Application for Design Review	all of checklis pages of this		
□ Detailed Scope of Work (and project plans, if available)	Detailed scop		
□ Color photos of existing conditions	include meas and proposed		s of existing

Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application may need to be approved.

Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).

Detail of Proposed Rehabilitation Work (*Required)

If your project includes multiple features (e.g. roof repair and foundation repair), you must describe each feature separately and provide photographs and other information on each feature.

Feature A Name:	
Describe property feature and its condition:	Describe proposed work on feature:
Feature B Name:	
Describe property feature and its condition:	Describe proposed work on feature:

Use Additional Worksheets as needed.

Required Additional information The following items must be submitted with this completed application. Digital submittals preferred for photographs, and for other items where possible. At least one current photo for each side of the house. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work." Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc. Depending on the nature of the project, one or more of the following items shall be submitted. Your contractor should provide these items to you for attachment to this application. ☐ Drawing with dimensions. Product specification sheet(s). Description of materials included in the proposed work. Color sample(s) or chip(s) of all proposed paint colors. □ **Partial or full demolition** is a part of this project. Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.



Date

Signature of Owner



COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES

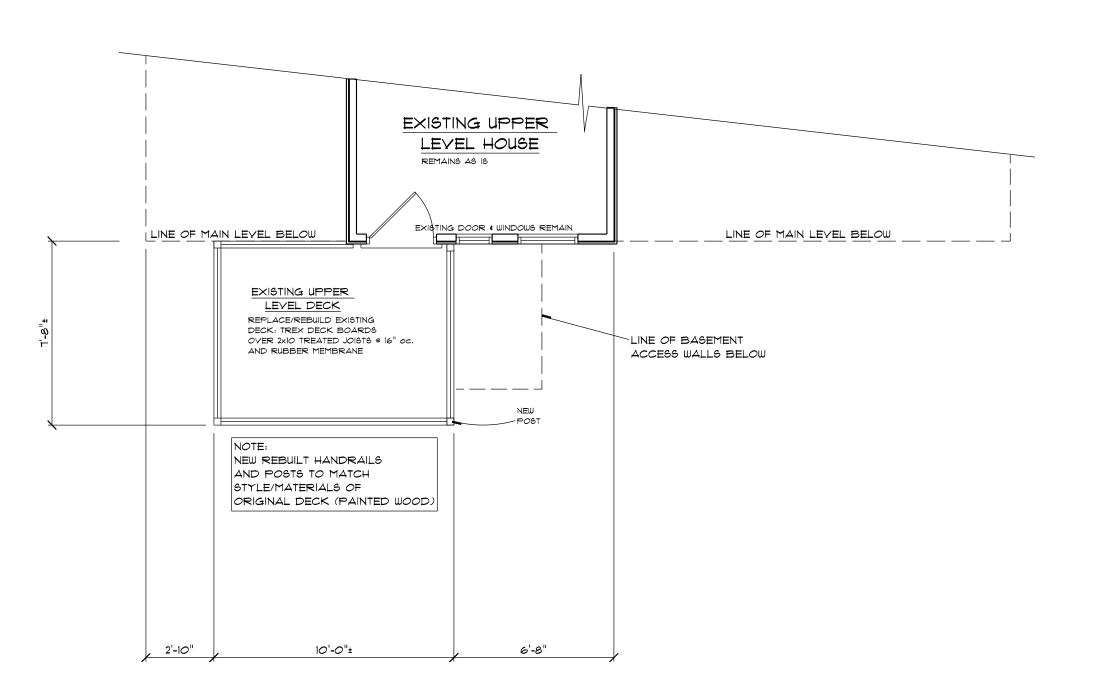
281 N. College Ave. • Fort Collins, CO 80524 • Phone: 970.416.2740 • www.fcgov.com/building

BUILDING PERMIT APPLICATION

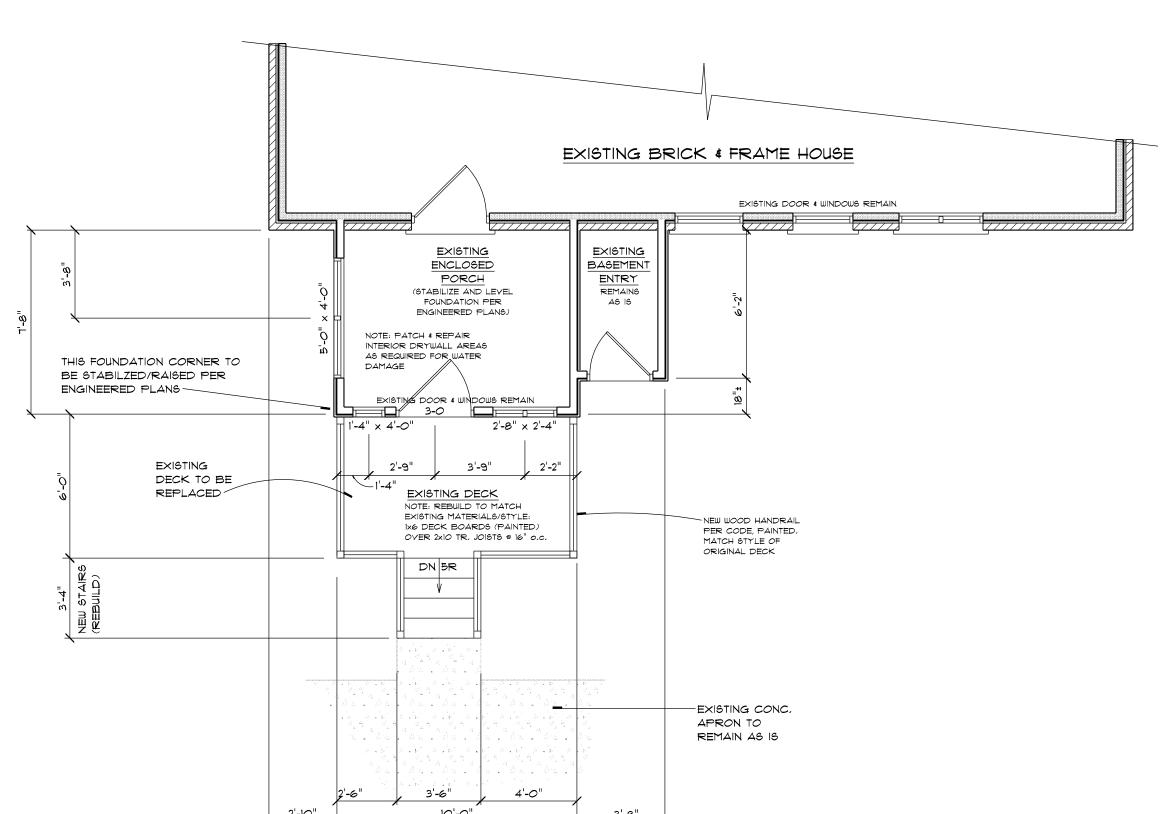
APPLICATION NUMBER:		FOR OFFICE USE	PLICATION DATE:		
Job Site Address 116 Pearl Street			ı	Init#	
PROPERTY OWNER INFO: (All owner in	nformation is req	uired – NOT optior	nal)		
Last Name_ Parker	First Name	Greg	Middle		
Street Address_ 116 Pearl Street	City_	Fort Collins	State	CO Zip	80521
Phone #_734-657-7437	Emailgpvb	@comcast.net			
Name of Business (COMMERCIAL USE ONL					
CONTRACTOR INFO: Company Name	Armstead Con	structiion, Inc.			
License Holder Name Jeffrey J. Sch			LIC # D-362	CERT #	2286-D
LEGAL INFO:					
Subdivision/PUD 1073 - Hensel's	Filing #	Lot #7	Block #I	ot Sq Ft _	
CONSTRUCTON INFO: Total Building S	Sq Ft (NOT including	basement)	Total Garage S	q. Ft	
Residential Sq FtCommercia	al Sq Ft#	of StoriesBlo	dg Ht# of Dw	elling Units	i
1st Floor Sq Ft2nd Floor Sq	Ft3rd F	loor Sq Ft	_Unfinished Baseme	ent Sq Ft	
Finished Basement Sq Ft	# of Bedroom	isi	# of Full Baths		
¾ Baths ½ Baths	# Fire	places			
ENERGY INFORMATION: (CHECK ONE)		50.00			
Prescriptive Performance		ERILL ASHRA	E Component/Co	mcheck [IDAP _
Air Conditioning? YES N		list Option #s			
City of Fort Collins Approved Stock Planutilities INFO:	1# 3P0	tist Option #s			
New Electric Service ☐ Electr	ic Service Upgrad	e 🔲 Electric Me	eter Relocation 🗆		
Electric Main Breaker Size (Residential				1	
Gas Electric		ric Temp Pedestal?	Yes No		
ZONING INFO: (COMMERCIAL USE ON					
Proposed Use: (i.e. medical, office, bank, For Commercial remodels and tenant		CONTRACTOR OF THE STATE OF			
Is the remodel/tenant finishes for an e	The state of the s				
		iant: (Please Check	. one)		
	⁄ Tenant□				
If for a new tenant, is this the first tena			the manufacture aret		7
Yes No If not for the	e initial tenant for	this unit, what was i	the previous use of th	is tenant sp	ace?
Are there any exterior building change	s (including mech	anical) associated v	vith the work?	es 🗆 No	
If yes, please describe:					

Value of Construction	(materials and labor):	\$ 62,000.00			
Description of Work:	stabilize & level back	enclosed porch	, repair existing wi	ndows, r	remove and
repair existing secon	nd floor deck & roof to r	epair the leakir	ng roof. Remove a	ind rebui	ld the
existing main floor d	leck to be the same size	e & detail. Rep	aint the rear of the	home.	
JOBSITE SUPERVISOR	CONTACT INFO: Name	Jeffrey J. Schn	eider	Phone	970-566-9971
SUBCONTRACTOR INF	o: Electrical Kinetic El	lectric	Mechanical_	NA	
Plumbing NA	Framing	Armstead 0	Construction Ro	ofing	Barclay Roofing
Fireplace NA	Solar	NA	Ot	her	NA
	T DISCLOSURE: In accordance their awareness about the				roperty owners, applying for a aining Materials (ACM's).
☐ I do not know	if an asbestos inspection	has been conduc	cted on this property	/.	
An asbestos in	nspection has been condu	icted on this pro	perty on or about (e	nter date	9-14-2022
☐ An asbestos in	nspection has not been co	nducted on this	property.		
					nation is correct and agree to ulating building construction.
Applicant Signature _	11/100		Type or Print Name	e Jeffre	y J. Schneider
Phone # 970-472-	1113	Email Jeff@a	rmsteadconstruction	on.com	

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



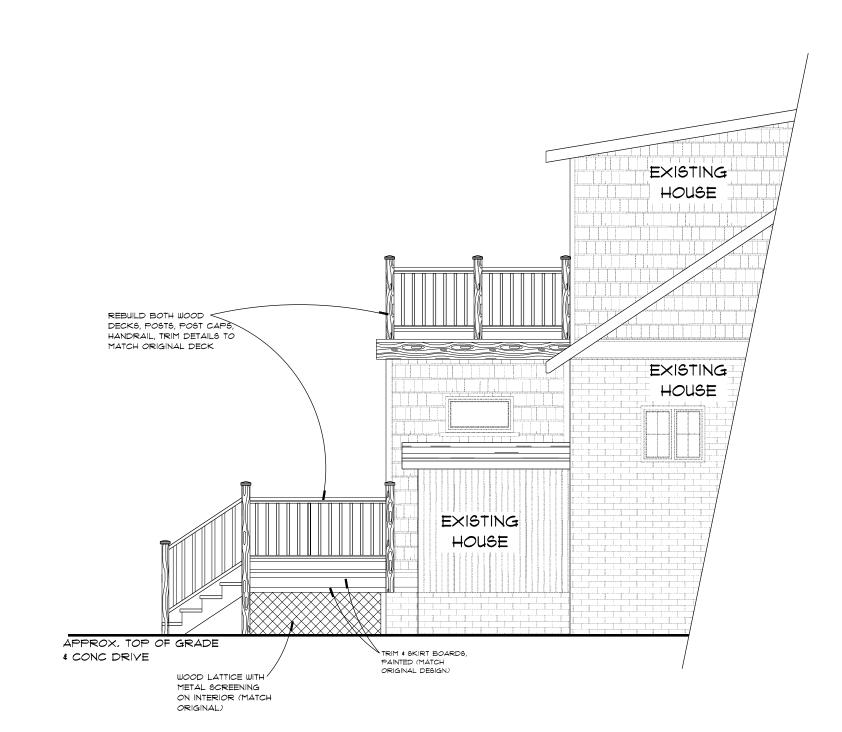
DECK REMODEL UPPER LEYEL FLOOR PLAN SCALE: 1/4" = 1'-0"



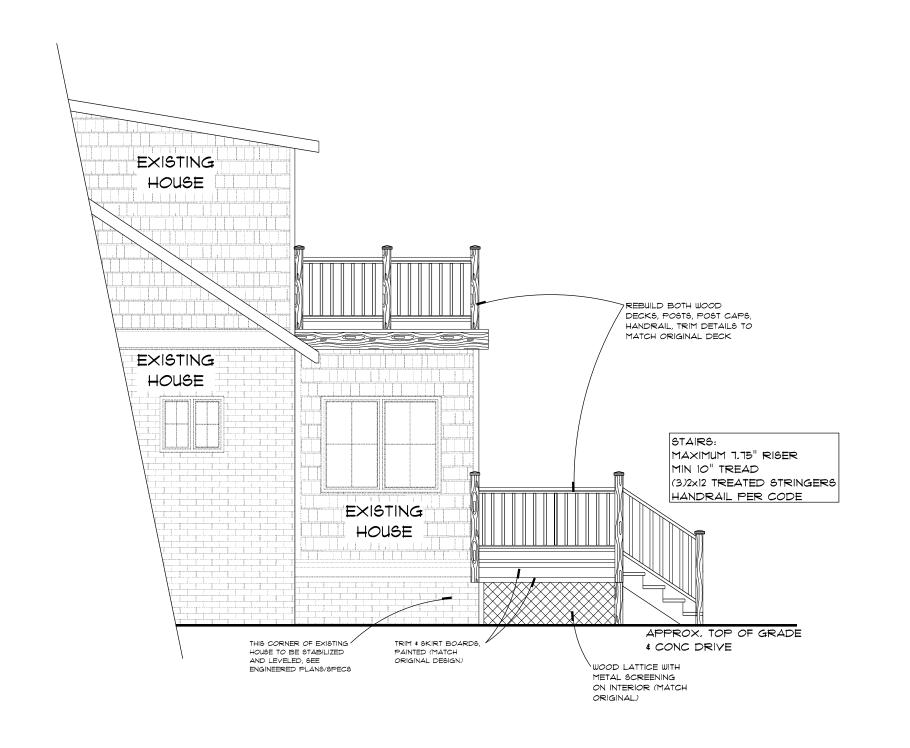
DECK REMODEL MAIN LEVEL FLOOR PLAN

NOTE: NEW REBUILT HANDRAILS AND POSTS TO MATCH STYLE/MATERIALS OF ORIGINAL DECK

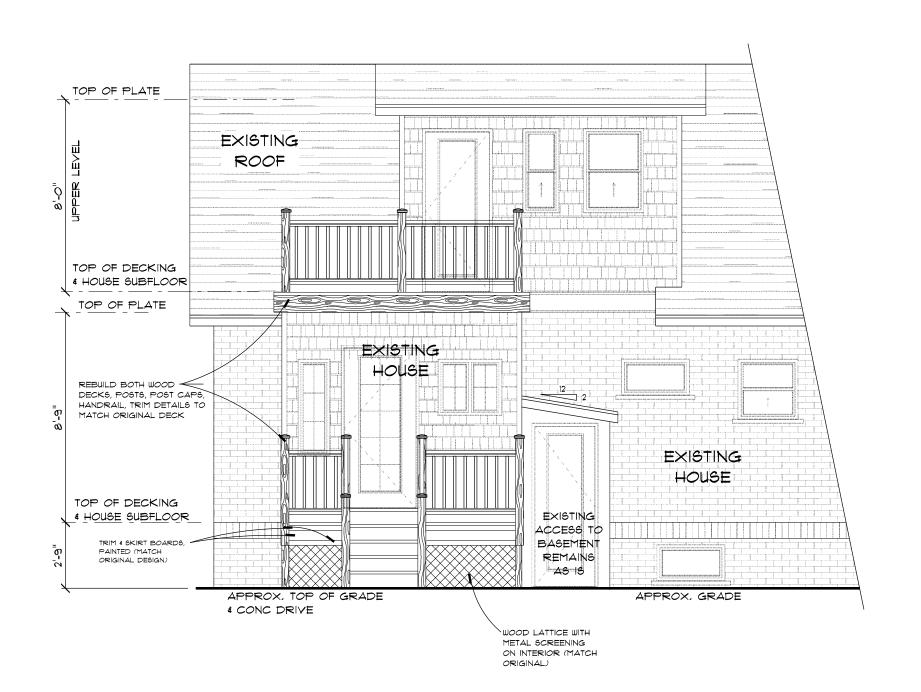
SCALE: 1/4" = 1'-0"







SOUTH ELEVATION SCALE: 1/4" = 1'-0"



EAST ELEVATION SCALE: 1/4" = 1'-0"

SHEET:

DATE: 5-24-24 10-28-24 PERMIT PLAN

OFFICE: (970) 472-1113
FAX: (970) 472-8313
EAX: info@armsteadconstruction.com

ARMSTEAD (
E. HORSETOOTH RD.
S 4 SUITE 102
I COLLINS, COLOURY

RMSTEAD CONSTRUCTION I

DECK REMODEL

GENERAL NOTES

1. MISCELLANEOUS NOTES

THESE PLANS ARE DESIGNED FOR THE FINISHED PRODUCT. SHORING, STAGING, AND ORDER OF OPERATION ARE OUTSIDE THE SCOPE OF OUR SERVICES AND SHOULD BE DESIGNED AND MONITORED BY THE CONTRACTOR DURING CONSTRUCTION.

FINISH MATERIAL, INSULATION REQUIREMENTS, AND WATERPROOFING ARE OUTSIDE OF OUR SCOPE OF SERVICES AND SHOULD BE DESIGNED BY THE ARCHITECT.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION CONTACT INSPIRE ENGINEERING IF DISCREPANCIES ARE FOUND.

SHOP DRAWINGS AND SUBMITTALS, WHERE REQUIRED, SHALL DEMONSTRATE HOW THE CONTRACTOR IS PROPOSING TO CONFORM TO THE INFORMATION GIVEN ON THESE PLANS AND THE DESIGN CONCEPT EXPRESSED IN THE CONSTRUCTION DOCUMENTS. PRIOR TO PROVIDING INSPIRE ENGINEERING SUBMITTALS TO REVIEW, THE CONTRACTOR MUST:

- REVIEW & APPROVE THE SUBMITTAL
- DETERMINE AND VERIFY MATERIALS. FIELD MEASUREMENTS. AND FIELD CONSTRUCTION CRITERIA
- c. CHECK & COORDINATE THE INFORMATION IN THE SUBMITTAL WITH THE CONTRACT REQUIREMENTS

2. DESIGN CRITERIA

THESE PLANS WERE PREPARED FOLLOWING THE 2021 IRC CODES AND ANY LOCAL AMENDMENTS. OUR DESIGN WAS PREPARED USING ASCE 7-16, ACI-332, ANSI/AISC 360-16, AND THE 2018 NDS.

ılt = 140 mph
5 psf
psf (SNOW) / 15 psf (DEAD)
psf (LIVE) / 12 psf (DEAD)

3. SOILS

SOILS REPORT BY: N/A (ASSUMED) REPORT DATE: N/A

RECOMMENDATIONS:

REPORT NUMBER:

SPREAD FOOTINGS (SHALLOW)

MIN. BEARING PRESSURE = N/A BALANCED PRESSURE = SOIL SITE CLASS = MIN. FLUID DENSITY =

FOUNDATION DESIGN WAS BASED ON ASSUMED BEARING SOILS CONSISTING OF SANDY CLAY AS DESCRIBED IN TABLE R401.4.1 OF THE IRC.

WE REQUIRE AN OPEN HOLE OBSERVATION BE PERFORMED PRIOR TO POURING THE FOUNDATION FOOTINGS. OPEN HOLE OBSERVATIONS ARE TO VERIFY THAT THE SOILS CONDITIONS ARE CONSISTENT WITH THE ASSUMED SOILS. IF SOIL CONDITIONS DIFFER FROM THE ASSUMED SOILS, CONTACT INSPIRE ENGINEERING. THIS MAY RESULT IN AN ADDITIONAL EVALUATION OR FOUNDATION RE-DESIGN.

WE RECOMMEND FOUNDATION WALLS NOT BE BACKFILLED FOR A MINIMUM OF (8) DAYS AFTER PLACEMENT OF CONCRETE. ALL FLOOR SYSTEMS SHOULD BE IN PLACE PRIOR TO BACKFILLING AGAINST ANY FOUNDATION WALL. ADEQUATELY BRACING THE FOUNDATION WALLS MAY BE USED AS AN ALTERNATIVE.

4. HELICAL PIERS

ALL HELICAL PIERS AND PIER CAPS/BRACKETS SHALL BE MANUFACTURED BY MAGNUM PIERING INC. OR APPROVED EQUAL. APPROPRIATE HELICAL PIER SELECTION WILL CONSIDER DESIGN LOAD PLUS SAFETY FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE VS. CAPACITY EQUATION AS PER THE MANUFACTURERS RECOMMENDATIONS.

HELICAL FOUNDATION INSTALLATION SHOULD BE OBSERVED BY A REPRESENTATIVE FROM INSPIRE ENGINEERING LLC OR OTHER QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY MINIMUM INSTALLATION TORQUE AND PIER LENGTH.

HELICAL PILES AND ANCHORS SHALL BE INSTALLED BY A CONTRACTOR AUTHORIZED BY THE HELICAL

ALL APPLICABLE SAFETY CODES SHALL BE ADHERED TO DURING ALL WORK DESCRIBED HEREIN.

HELICAL PILES AND ANCHORS SHALL CONFORM TO THE 2021 I-CODES.

HELICAL PILES AND ANCHORS SHALL BE SQUARE-SHAFT OR ROUND-SHAFT AS SHOWN ON THE PLANS.

ALL HELICAL PILES AND ANCHORS SHALL BE CORROSION PROTECTED BY HOT DIP GALVANIZATION PER ASTM A153 / ASTM A123. PILE CAPS ENCASED IN CONCRETE NEED NOT BE GALVANIZED.

UNLESS NOTED OTHERWISE ON PLAN, HELICAL PLATE CONFIGURATION SELECTION IS AT DISCRETION OF CONTRACTOR. CONTRACTOR IS ADVISED TO CONSULT WITH MANUFACTURER TO DETERMINE PLATE

HELICAL PIERS SHALL BE INSTALLED TO THE MINIMUM TORQUE VALUE REQUIRED TO PROVIDE THE LOAD CAPACITIES SHOWN ON THE PLANS. THE LOADS SHOWN ON THE PLANS ARE UNFACTORED DESIGN LOADS. THE CAPACITY OF PILES MAY BE DETERMINED USING THE TORQUE THEORY OF INSTALLATION.

TORQUE SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS BY A DIFFERENTIAL PRESSURE GAUGE OR A DIRECT TORQUE-MONITORING DEVICE AT THE DISCRETION OF THE CONTRACTOR. ANY DIFFERENTIAL PRESSURE GAUGE MUST FIRST BE VERIFIED ON-SITE BY SIMULTANEOUS READINGS FROM A DIRECT TORQUE-MONITORING DEVICE SUCH AS A SHEER-PIN LIMITER OR STRAIN GAUGE.

THE DESIGN CAPACITY IS TO BE DETERMINED BY INSTALLATION TORQUE AND THE CAPACITY-TO-TORQUE RATIO (Kt). THE CONTRACTOR HAS DISCRETION TO USE THE MANUFACTURER DEFAULT Kt VALUE OR DETERMINE A SITE-SPECIFIC Kt VALUE OF THE SITE SOIL. ANY SITE-SPECIFIC Kt VALUE SHALL BE DETERMINED FROM A TEST TO FAILURE AND SHALL BE WITNESSED BY THE SPECIAL INSPECTOR.

RATE OF PENETRATION SHALL BE OBSERVED WHEN SETTING HELICAL PILES. LOSS OF TORQUE WITHOUT LOSS OF COMPRESSION CAPACITY MAY OCCUR WHEN RATE OF PENETRATION DROPS BELOW 85% AS THE PLATES SCRAPE ON VERY STIFF/DENSE SOIL. FOR FURTHER CLARIFICATION, SEE CHAPTER 6 OF PERKO, PH.D., PE, HOWARD A., HELICAL PILES: A PRACTICAL GUIDE TO DESIGN AND INSTALLATION (2009)

TESTING OF HELICAL PILES (COMPRESSION MEMBERS) SHALL BE AT THE DISCRETION OF THE ENGINEER. IF A HELICAL ANCHOR OR PILE FAILS A PULL TEST, IT MAY EITHER BE INSTALLED DEEPER OR REPLACED AT THE DISCRETION OF THE CONTRACTOR AND MUST BE RETESTED.

5. WOOD FRAMING

DIMENSIONAL LUMBER: TIMBER BEAMS & POSTS:

GLULAM BEAMS:

 $1\frac{3}{4}$ " WIDE GRADE 2.0E MICROLLAMS (OR EQUIVALENT) WITH: LVL BEAMS:

MODULUS OF ELASTICITY (E): 2.0 x 10⁶ FLEXURAL STRESS (Fb): 2,600 psi HORIZONTAL SHEAR (Fv): 285 psi

WALL SHEATHING: **ROOF SHEATHING:**

ALL FRAMING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CODE. ALL CONNECTIONS OR MEMBERS NOT SHOWN ARE PER CODE. ALL MANUFACTURED WOOD PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS. FLUSH MULTI-PLY LVL BEAMS ARE TO BE ATTACHED PER THE BELOW SCHEDULE UNLESS NOTED OTHERWISE ON THE PLANS.

NUMBER OF PLYS	FASTENER TYPE	NUMBER OF ROWS	FASTENER ON-CENTER SPACING	FASTENER ON BOTH FACES
2	10d NAIL (0.148"x3")	3	12"	NO
3	10d NAIL (0.148"x3")	3	12"	YES
4	6" LONG SIMPSON SDS SCREW	3	16"	YES

ALL EXTERIOR WALL FRAMING SHALL BE WALL SHEATHING PER ABOVE OVER 2x6 STUDS AT 16" O.C., U.N.O. SHEATHING SHALL BE ATTACHED PER THE SHEAR WALL SCHEDULE TO THE RIGHT.

BUILT UP COLUMNS SHALL BE A MINIMUM OF (3) 2x STUDS, U.N.O. ON THE PLANS

ROOF SHEATHING SHALL BE ATTACHED TO THE ROOF FRAMING WITH 8d NAILS @ 6" O.C AT THE EDGES AND 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT SUPPORTS AS REQUIRED BY CODE.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR REDWOOD.

PROVIDE SOLID BLOCKING TO TRANSMIT ALL POINT LOADS CONTINUOUS TO THE FOUNDATION.

IF THERE ARE 20% OF OVERDRIVEN NAILS IN SHEATHING, THEN SHEATHING MUST BE RE-NAILED WITH PROPER GUN PRESSURE NOT TO BREAK SURFACE OF SHEATHING.

ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED LUMBERS HALL BE G185 HOT-DIP GALVANIZED, TYPE 304 STAINLESS STEEL OR TYPE 316 STAINLESS STEEL.

OBSERVATION/SUBMITTAL	PERFORMED BY (RECOMMENDED)
HELICAL PIER INSTALLATION	INSPIRE ENGINEERING LLC
FRAMING	INSPIRE ENGINEERING LLC

WE RECOMMEND THE ABOVE COMPANIES FOR OBSERVATIONS. OTHER COMPANIES MAY BE USED AT THE CLIENTS DISCRETION, CONTACT FOR PRICING PRIOR TO SCHEDULING OBSERVATIONS, OTHER OBSERVATIONS MAY BE REQUIRED BY THE LOCAL JURISDICTION OR OTHER ENGINEERS WORKING ON THIS PROJECT.

HEADER SCHEDULE

HEADER DESIGNATION	<u>HEADER</u>	MATERIAL	# OF TRIMMER STUDS (U.N.O.)
HF26	(2) 2x6	HEM-FIR	1
HF28	(2) 2x8	HEM-FIR	1

KING STUD SCHEDULE				
OPENING WIDTH	# OF KING STUDS PER SIDE (U.N.O.)	NOTES		
1'-4" TO 5'-0"	1	KING STUD SCHEDULE IS		
5'-1" TO 9'-0"	2	BASED ON 8'-0" TALL STUDS. SEE PLAN FOR NUMBER OF KINGS STUDS		
9'-1" TO 12'-0"	3	AT TALLER WALLS		

FRAMING HARDWARE SCHEDULE

CONNECTION TYPE	HANGER		
SAWN DECK JOIST TO WOOD LEDGER - FLUSH	LUS-SERIES		
WOOD POST TO BEAM ABOVE	BC-SERIES		
WOOD POST TO FOUNDATION BELOW	ABU-SERIES		

HANGERS SHALL BE PROVIDED PER SCHEDULE U.N.O. ON THE PLANS.

2. SOME HANGERS MAY BE SPECIAL ORDER.

HANGERS SHALL HAVE ZMAX CORROSION PROTECTION FOR ALL EXTERIOR APPLICATIONS OR WHERE PRESSURE TREATED LUMBER IS USED.

CONTACT INSPIRE ENGINEERING IF ALTERNATIVE HANGER OPTIONS ARE PREFERRED. 5. ALL HANGERS ARE SIMPSON MFR. INSTALL HANGERS PER MFR. SPECIFICATIONS.

HELICAL PIER SCHEDULE								
SYMBOL	BRACKET	PIER CAP	PIER SHAFT	REQUIRED CAPACITY (UNFACTORED)	MIN. LENGTH			
	MP1002-3 ANGLE OR EQUIVALENT	N/A	MIN. 2 7/8 Ø SCHEDULE 40	10 KIPS	8 FT			

4803 INNOVATION DR., SUITE 4

ARMSTEAD CONSTRUCTION 375 E. HORSETOOTH ROAD FORT COLLINS, COLORADO CLIENT PHONE: (970) - 472-1113



DRAWN BY: **DESIGN BY:** JV/NTR 11/19/2024 PROJECT #: ENG24.0133

PROJECT **INFORMATION**

SHEET INDEX

PLAN VIEWS

S0.0

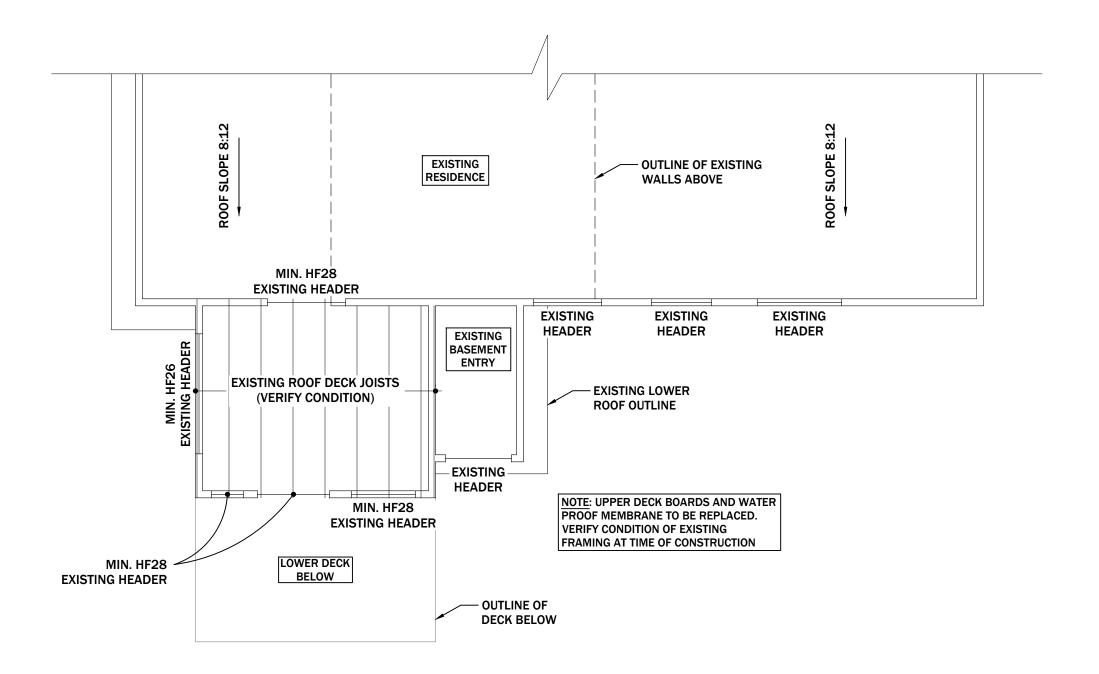
PROJECT INFORMATION **S1.0**

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

HELICAL PIER SCHEDULE							
SYMBOL	BRACKET	PIER CAP	PIER SHAFT	REQUIRED CAPACITY (UNFACTORED)	MIN. LENGTH		
0	MP1002-3 ANGLE OR EQUIVALENT	N/A	MIN. 2 $\frac{7}{8}$ "Ø SCHEDULE 40	10 KIPS	8 FT		

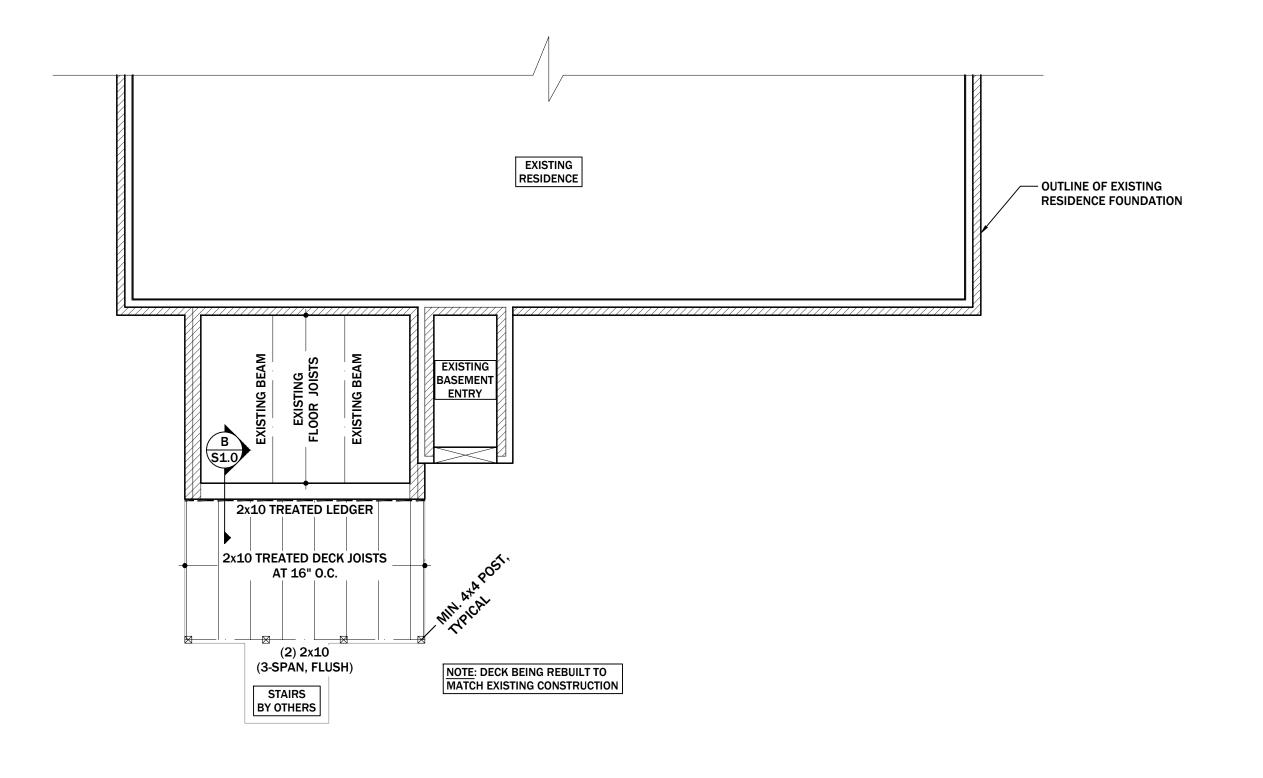
NOTE: HELICAL PIER LOCATIONS TO BE VERIFIED ON SITE. CONTACT INSPIRE ENGINEERING PRIOR TO PIER INSTALLATION



UPPER DECK FRAMING PLAN

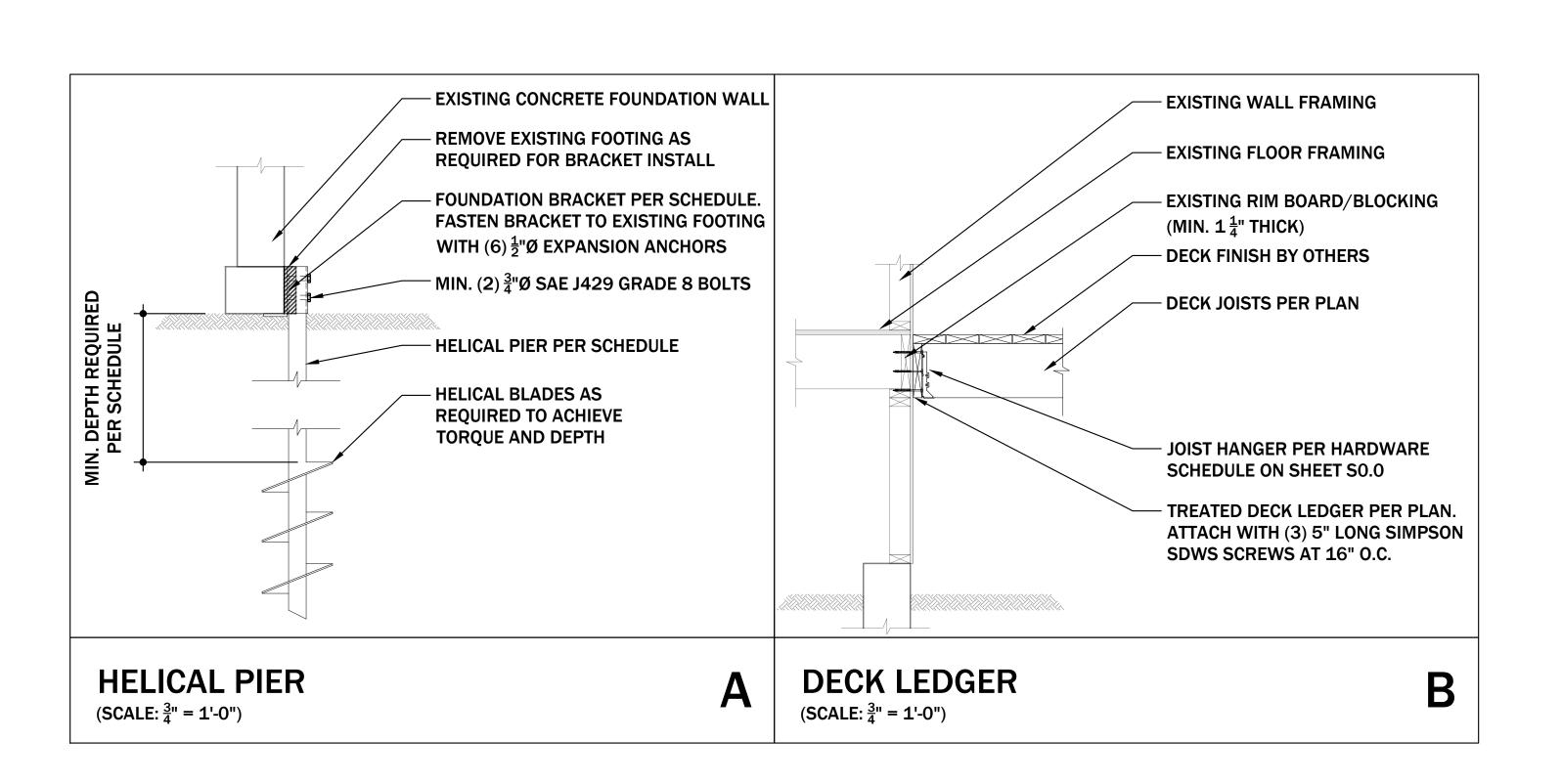
SCALE: 1/4" = 1'-0"

NOTE: ALL EXISTING FRAMING TO REMAIN UNLESS NOTED OTHERWISE



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0" NOTE: ALL EXISTING FRAMING TO REMAIN UNLESS NOTED OTHERWISE



375 E. HORSETOOTH ROAD FORT COLLINS, COLORADO

CLIENT PHONE: (970) - 472-1113

REMODEL 116 PEARL S FORT COLLINS, (DECK



DESIGN BY: 11/19/2024 PROJECT #: ENG24.0133 REVISION DATE
0 PERMIT SET 11/19/24

PLAN VIEWS

From: <u>Jeffrey Schneider</u>
To: <u>Yani Jones</u>

Subject: [EXTERNAL] RE: 116 Pearl Pics

Date: Wednesday, December 4, 2024 6:12:58 AM

Attachments: image001.png

Good Morning Yani,

I hope you had a nice holiday break as well. Thanks for your email. Yes, the Parkers decided not to expand the lower deck and keep it the same size but would still like to rebuild it since it does have some rotted wood. As far as the repaint, yes we will not be painting the brick just all of the exposed wood and recreate the design elements to match the existing features. Please let me know if you have any other questions or concerns. Thanks for your help and have a great day, Jeff

Jeffrey J. Schneider, CAPS, CGR, CGP, CR

President
Office # 970-4

Office # 970-472-1113 Cell # 970-566-9971

email: Jeff@armsteadconstruction.com



From: Yani Jones <yjones@fcgov.com> **Sent:** Tuesday, December 3, 2024 3:16 PM

To: Jeffrey Schneider <jeff@armsteadconstruction.com>

Subject: RE: 116 Pearl Pics

Hi Jeff,

I hope you had a nice Thanksgiving!

I just got routed on the permit review for this project – It looks like the only significant difference between the submitted plans and the COA app you submitted previously/the below correspondence is that the existing deck is just being rebuilt in the same size rather than expanded. Can you confirm that? Also, would you please confirm that the phrase "repaint the rear of the home" in the permit app's description of work section includes only already painted elements (not the unpainted brick)? I'll attach this email chain, your previously submitted COA app and photos, and the permit materials to the COA.

Take care,

Yani

YANI JONES

Drangung: Sha/Har (\M/b)

Pronouns: She/Her (What's this?)
Historic Preservation Planner
City of Fort Collins Historic Preserv

City of Fort Collins Historic Preservation Services

(970) 224-6045

https://www.fcgov.com/historicpreservation/

Get monthly historic preservation updates in your inbox by toggling on "Historic Preservation Matters" here, or email preservation@fcgov.com to be added to the newsletter mailing list!

From: Yani Jones

Sent: Thursday, April 25, 2024 3:56 PM

To: Jeffrey Schneider < jeff@armsteadconstruction.com >

Subject: RE: 116 Pearl Pics

I appreciate the additional info, Jeff! I dug up the plans/permit for the window and door replacements in the mudroom, and they're actually even newer than that – early 00s; the treatment you've described should be just fine. This project isn't throwing any red flags from a historic preservation standpoint based on the description you've given so far. I appreciate the note in the app about continuing the same details from the existing deck when it's extended. When you make up the plans, please be sure to add notes about same materials, same design, etc. for both the lower deck expansion and the upper deck/roof repair. And when you're painting, you'll want to be sure to protect the unpainted brick, of course.

Regarding the stabilization, I'm not sure if it's still useful due to the age, but I did find <u>this engineer</u> <u>letter</u> addressing what sounds like may be the same problem from 1997, which notes an underlying issue with past sewer trench backfill not being properly compacted. I figured I'd share it in case it's still relevant!

If you'd like to send me the plans for this project prior to submitting for permits, you're welcome to, but given what you've described so far, I suspect I could also do the design review at the time of building permit application too.

Ta	ke	ca	re,
----	----	----	-----

Yani

YANI JONES

.

Pronouns: She/Her (What's this?)
Historic Preservation Planner
City of Fort Collins Historic Preservation Services

https://www.fcgov.com/historicpreservation/

Get monthly historic preservation updates in your inbox by toggling on "Historic Preservation Matters" here, or email preservation@fcgov.com to be added to the newsletter mailing list!

From: Jeffrey Schneider < jeff@armsteadconstruction.com>

Sent: Thursday, April 25, 2024 7:18 AM **To:** Yani Jones <<u>yjones@fcgov.com</u>> **Subject:** [EXTERNAL] RE: 116 Pearl Pics

Good Morning,

Thanks for the question. The windows look to be from the early 1990's and they are aluminum clad casements. With the settling that is accruing they are bond shut and you can't open them without some elbow grease. The plan after we stabilize the porch would be to remove and reset the windows so they can function again properly. I hope that helps and please let me know if you have any other questions. Thanks for your help and have a great day, Jeff

Jeffrey J. Schneider, CAPS, CGR, CGP, CR

President

Office # 970-472-1113 Cell # 970-566-9971

email: Jeff@armsteadconstruction.com



From: Yani Jones <<u>yjones@fcgov.com</u>>
Sent: Wednesday, April 24, 2024 5:09 PM

To: Jeffrey Schneider < <u>jeff@armsteadconstruction.com</u>>

Subject: RE: 116 Pearl Pics

Thanks for sending all this over, Jeff! The COA/Design Review application notes restoring operability to the existing windows - Would you mind telling me a little more about the condition and materials of the existing windows and how you are planning to repair them?

I have only just opened a few of the photos, so I may have more questions, but that's it for now!

Have a nice evening!

YANI JONES

Pronouns: She/Her (What's this?)
Historic Preservation Planner
City of Fort Collins Historic Preservation Services
(970) 224-6045

(970) 224-0043

https://www.fcgov.com/historicpreservation/

Get monthly historic preservation updates in your inbox by toggling on "Historic Preservation Matters" here, or email preservation@fcgov.com to be added to the newsletter mailing list!

From: Jeffrey Schneider < <u>ieff@armsteadconstruction.com</u>>

Sent: Wednesday, April 24, 2024 4:50 PM

To: Yani Jones <<u>vjones@fcgov.com</u>> **Subject:** [EXTERNAL] 116 Pearl Pics

Sorry I think I missed a couple more. Thanks

Jeffrey J. Schneider, CAPS, CGR, CGP, CR

President

Office # 970-472-1113 Cell # 970-566-9971

email: Jeff@armsteadconstruction.com



























