



Historic Preservation Services
Community Development & Neighborhood Services
281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: February 21, 2024

EXPIRATION: February 21, 2025

City of Fort Collins
c/o David Kittridge
1034 W. Mountain Ave.
Fort Collins, CO 80521

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the 1883 Fort Collins Waterworks at 2005 N. Overland Trl., have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Installation of two removable plexiglass and wood guardrails
- 2) Code-compliant replacement for existing fence near tail race – Pressure-treated wood post and rail fence with black PVC-coated steel mesh. Some stones at the top of the tail race wall will also need to be replaced (previously lost) prior to installation.
 - a. *Condition – Replacement stones at the top of the tail race wall should be matching/compatible in terms of type, size, color, shape, etc.*

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-224-6045.

Sincerely,

Yani Jones
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This project will not change the use of the historic property.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>This project does not remove any distinctive materials or features. The fence being removed is non-historic, and the use of a post and rail design with steel mesh maintains a visual connection between the building and the tail race for a person walking on the trail.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>This project does not add conjectural features that create a false sense of historical development. The plexiglass guardrails and the new fence do not give the impression of being historic features.</p>	Y
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>The fence being replaced is not historic, so its replacement with another simple, code-compliant fence is appropriate. The doors themselves will not be removed or compromised in terms of material with the addition of the proposed guardrails.</p>	Y
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	N/A

SOI #7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>If any archaeological resources are uncovered during any excavation needed for the installation of the new fence, the applicant should be advised of this requirement to protect such resources in place. Please contact Historic Preservation Services staff at preservation@fcgov.com and 970-224-6078 immediately in such an event.</p>	Y
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The new fence and guardrails will not destroy historic materials characteristic of the property. The guardrails themselves will be able to be removed during times when they are not needed for the safety of visiting public. Both the fence and guardrail use obviously modern materials (PVC-coated steel mesh, plexiglass), distinguishing them from their historic surrounds, but the transparency of both proposed features as well as the use of a compatible material, wood, subordinate the new features to the historic surroundings.</p>	Y
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>The fence could easily be removed in the future without damaging the historic property. The guardrails themselves are removable, minimizing the visual impact of that new element. Although the mounting hardware for the guardrails will necessarily penetrate into existing historic materials, these mounting points could be repaired and do not compromise the essential form or the material integrity of the historic property.</p>	Y

Design Review Application Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

Applicant Information

David G. Kittridge	407 491-2679	970 568-8511
Applicant's Name	Daytime Phone	Evening Phone
1034 W. Mountain Ave, Fort Collins, CO 80521		
Mailing Address (for receiving application-related correspondence)	State	Zip Code
dkittridge@gmail.com		
Email		

Property Information (put N/A if owner is applicant)

City of Fort Collins, Colorado		
Owner's Name	Daytime Phone	Evening Phone
Mailing Address (for receiving application-related correspondence)		
		State Zip Code
Email		

Project Description

Provide an overview of your project. Summarize work elements, schedule of completion, and other information as necessary to explain your project.

At the 1883 Water Works, located at 2005 N. Overland Trail, we have three areas that we would like to have improved safety barriers. These include two doorways and a fence at the front of the original building. We are proposing to add removable guardrails to both doorways and a code compliant fence near the front of the building.

The following attachments are REQUIRED:

- Complete Application for Design Review
- Detailed Scope of Work (and project plans, if available)
- Color photos of existing conditions

Reminders:

Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application may need to be approved.

Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).

Detail of Proposed Rehabilitation Work (*Required)

If your project includes multiple features (e.g. roof repair and foundation repair), you must describe each feature separately and provide photographs and other information on each feature.

Feature A Name: Door Guardrails	
Describe property feature and its condition: Open Doorways	Describe proposed work on feature: These guardrails would be built using a plexiglass railing with a wood top rail. The plexiglass railing would allow our guests to see inside the pump room and act as a fall protection. Both guardrails can be removed when they were not required to our open house tours. The wood will be painted to match the existing doors.
Feature B Name: Pedestrian Guardrail Fence	
Describe property feature and its condition: Existing Minimal Fence	Describe proposed work on feature: The existing fence does not meet the code requirements for fall protection into the existing tail race and will be removed. We proposed to install a wood post and rail fence with a black vinyl steel fencing to provide a code compliant pedestrian guardrail. This closely matches a fence configuration, except the steel fencing, we see in pictures of the original construction. However, prior to installing the new fence, we will need to replace stones on top of the existing tail race wall that were lost during the rehabilitation of the site. The wood will be pressure treated and left to weather to match the look of the wood in the period. A sample specification of a typical black PVC coated steel fencing is enclosed.

Use Additional Worksheets as needed.

Required Additional information

The following items must be submitted with this completed application. Digital submittals preferred for photographs, and for other items where possible.


- At least one current photo for each side of the house. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled
- Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work." Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc.

Depending on the nature of the project, one or more of the following items shall be submitted. Your contractor should provide these items to you for attachment to this application.

- Drawing with dimensions.
- Product specification sheet(s).
- Description of materials included in the proposed work.
- Color sample(s) or chip(s) of all proposed paint colors.

Partial or full demolition is a part of this project.

Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.



Signature of Owner

2/21/2024

Date





Picture 1, Water Works Elevation in 1906



Picture 2, Existing Elevation Today



Picture 3, Existing Front Door & Fence



Picture 4, Existing Open Front Door



Picture 5, Existing Pump Room Doorway

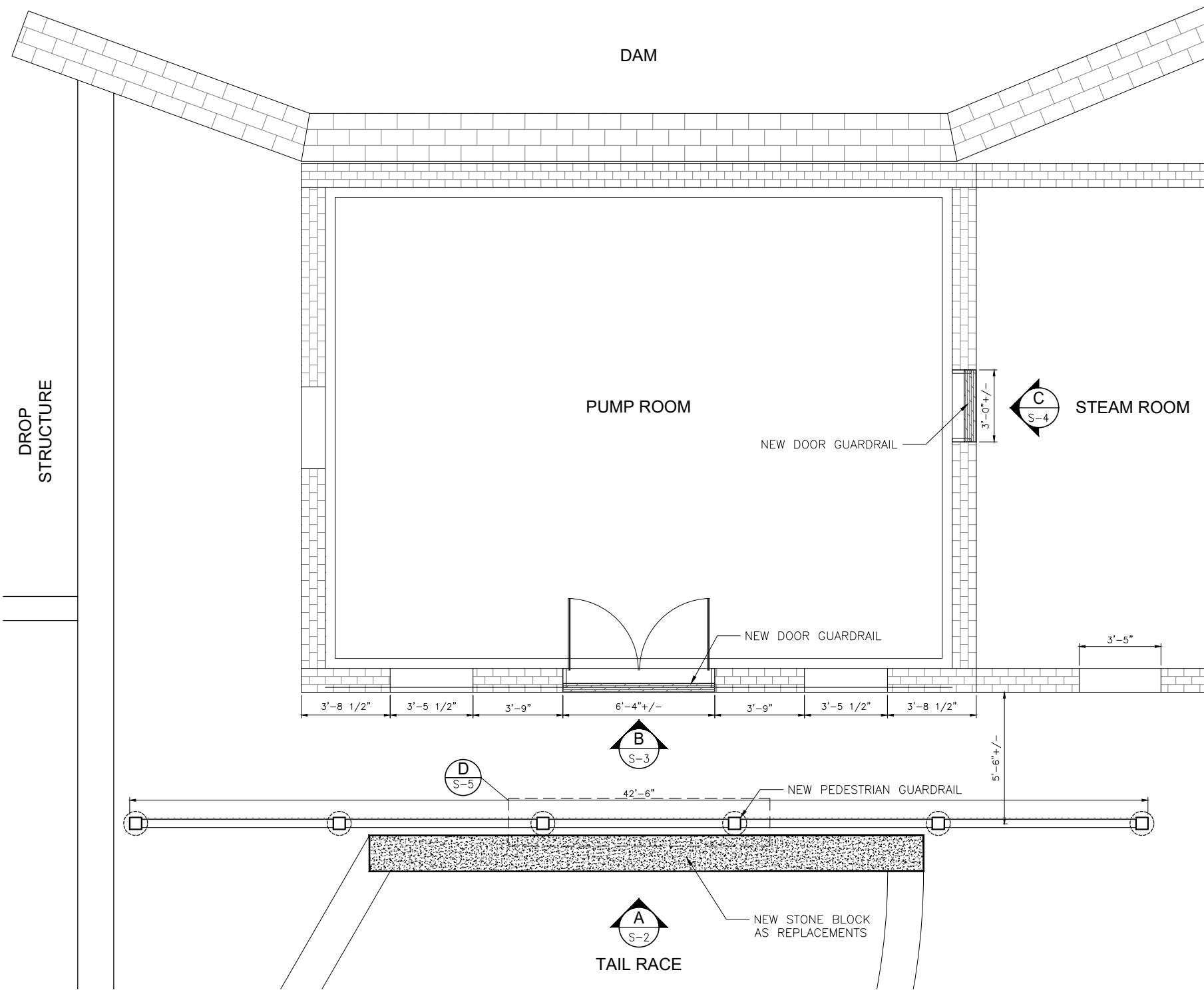


Picture 6, Existing Path next to Tail Race

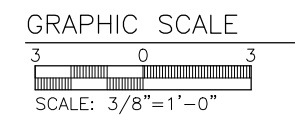


Picture 7, Existing Path next to Tail Race

1883 WATER WORKS BUILDING 2005 NORTH OVERLAND TRAIL, FORT COLLINS, CO



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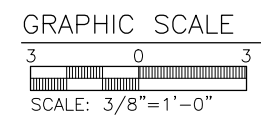


INDEX OF DRAWINGS	
DWG #	DESCRIPTION
S-1	PARTIAL SITE PLAN
S-2	PARTIAL ELEVATION
S-3	NEW PEDESTRIAN GUARDRAIL-EXTERIOR DOOR
S-4	NEW PEDESTRIAN GUARDRAIL-INTERIOR DOOR
S-5	NEW PEDESTRIAN GUARDRAIL-WOOD POSTS & RAILS

NO.	1	2	ISSUED FOR	FWW REVIEW ONLY	DATE	-	-
1883 WATER WORKS FORT COLLINS WATER WORKS BUILDING 2005 NORTH OVERLAND TRAIL, FORT COLLINS, COLORADO							
PEDESTRIAN GUARDRAILS OVERALL PLAN							
DRAWING S-1							
SHEET 1 OF 5							



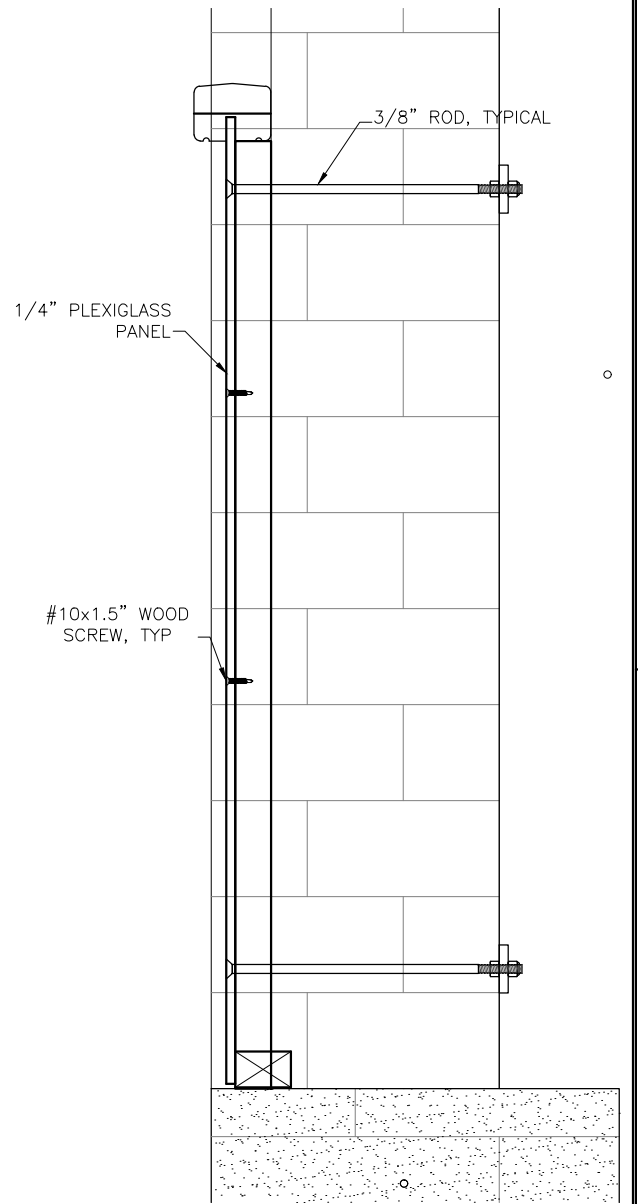
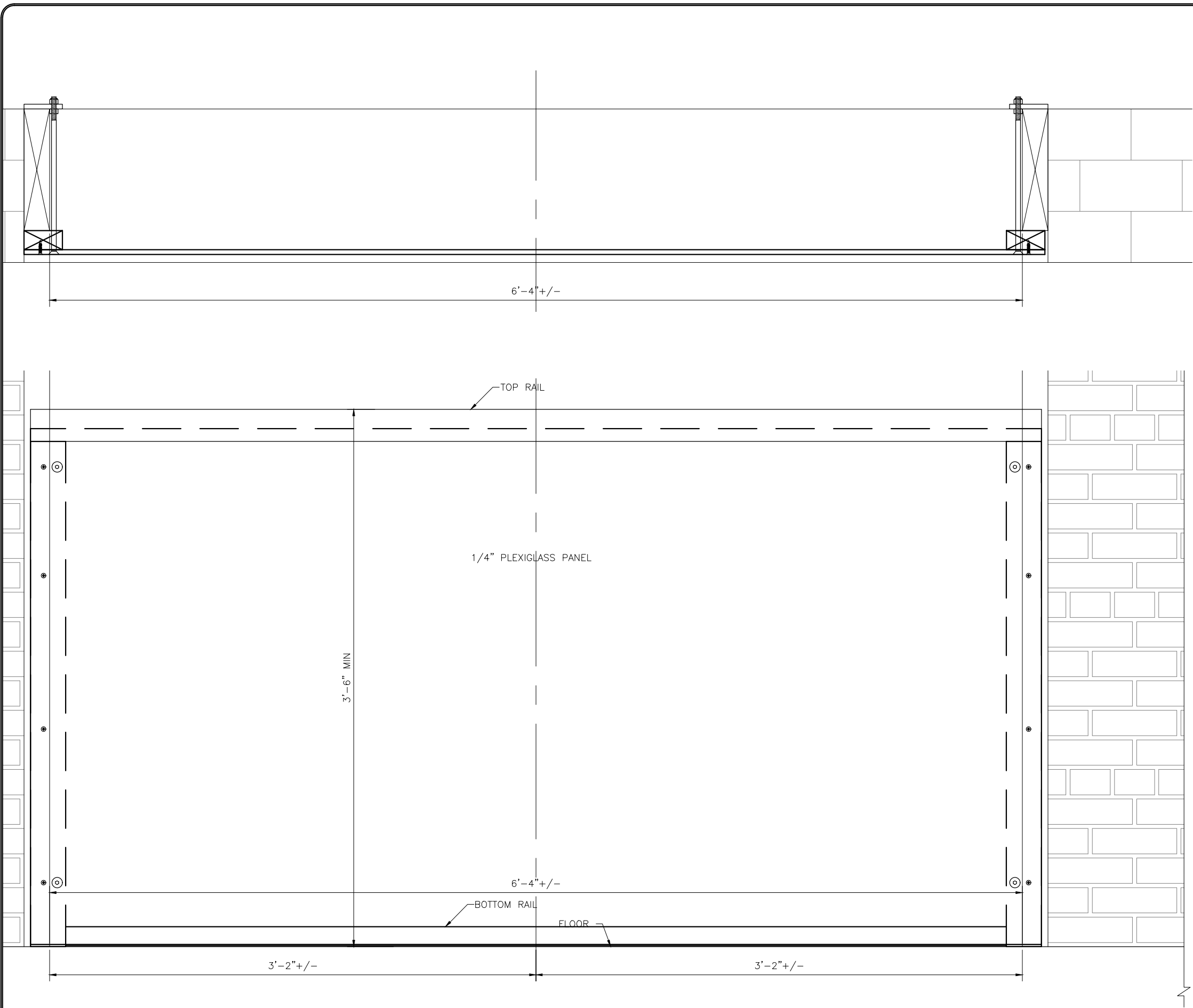
A PARTIAL ELEVATION
 S-2 SCALE: 3/8"=1'-0"



NO.	ISSUED FOR	DATE
1	FWM REVIEW ONLY	-
2		-

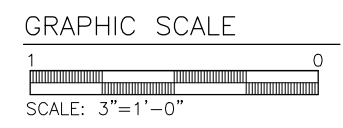
1883 WATER WORKS
 FORT COLLINS WATER WORKS BUILDING
 2005 NORTH OVERLAND TRAIL, FORT COLLINS, COLORADO

PEDESTRIAN GUARDRAILS
 PARTIAL ELEVATION



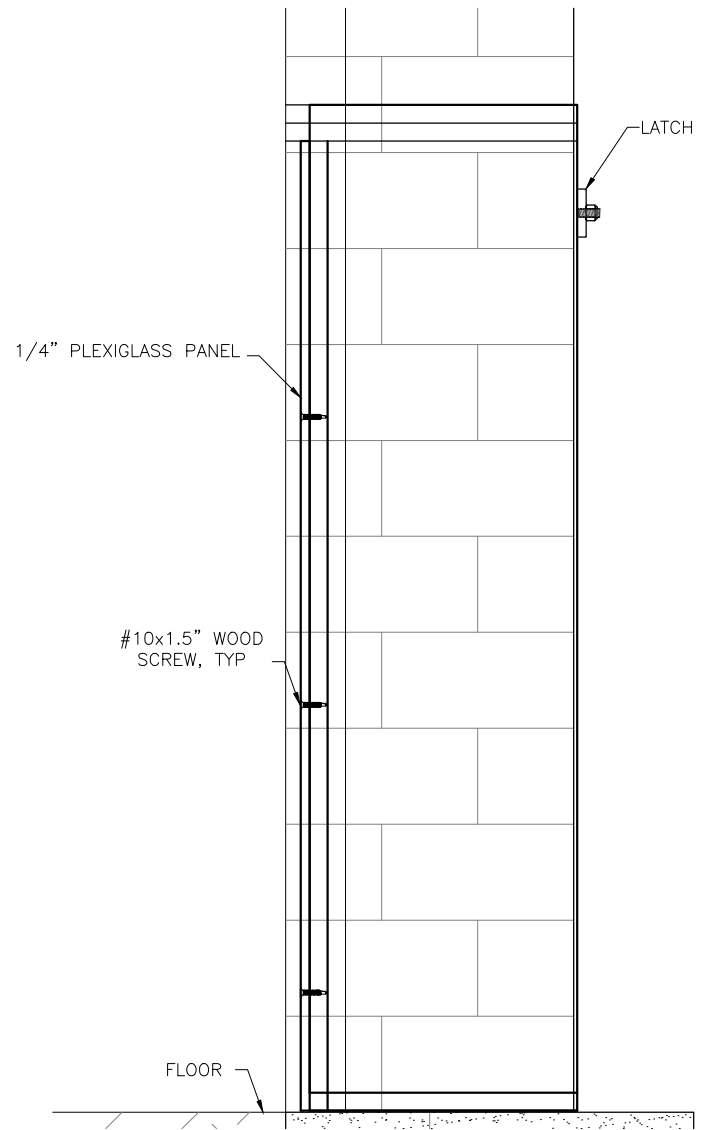
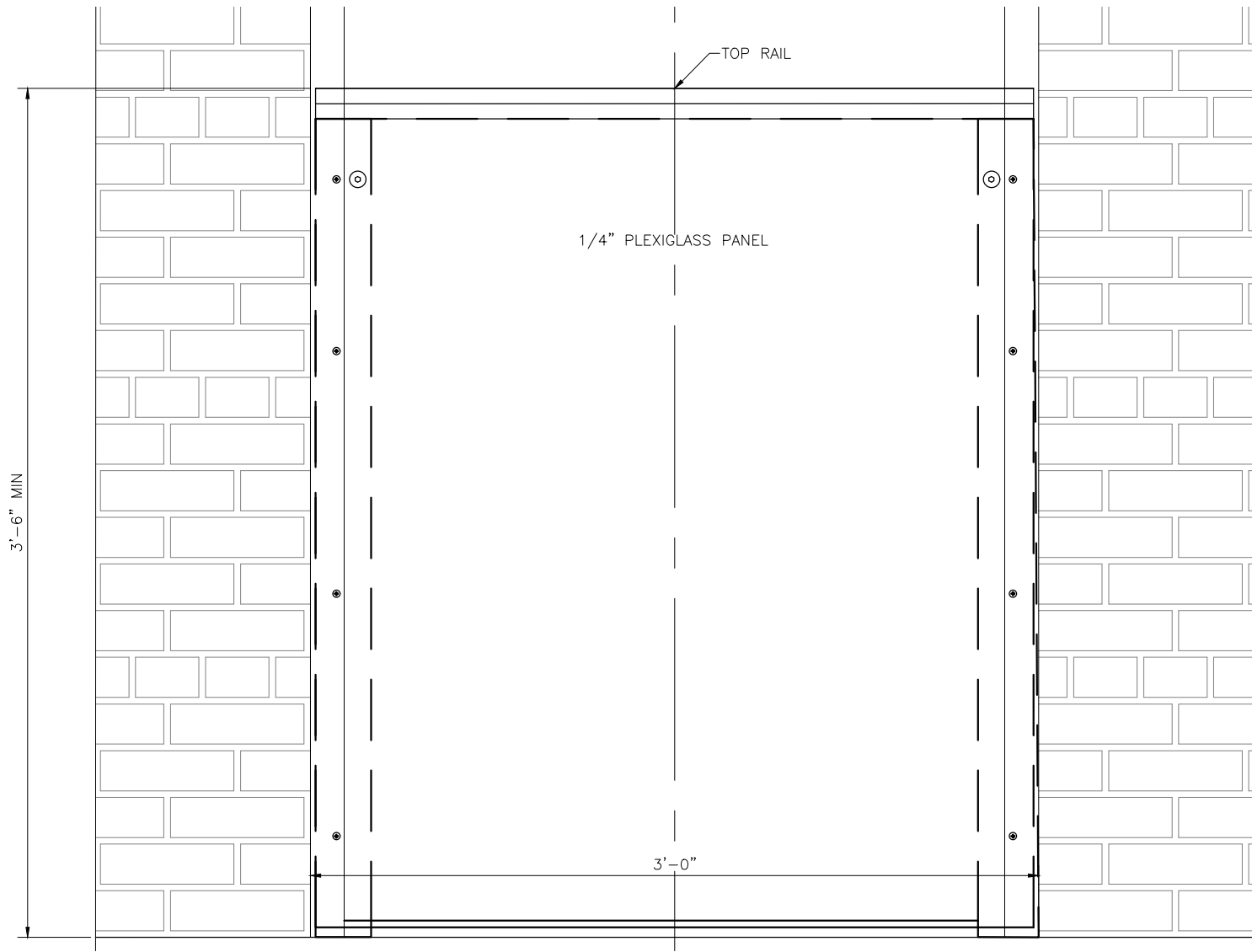
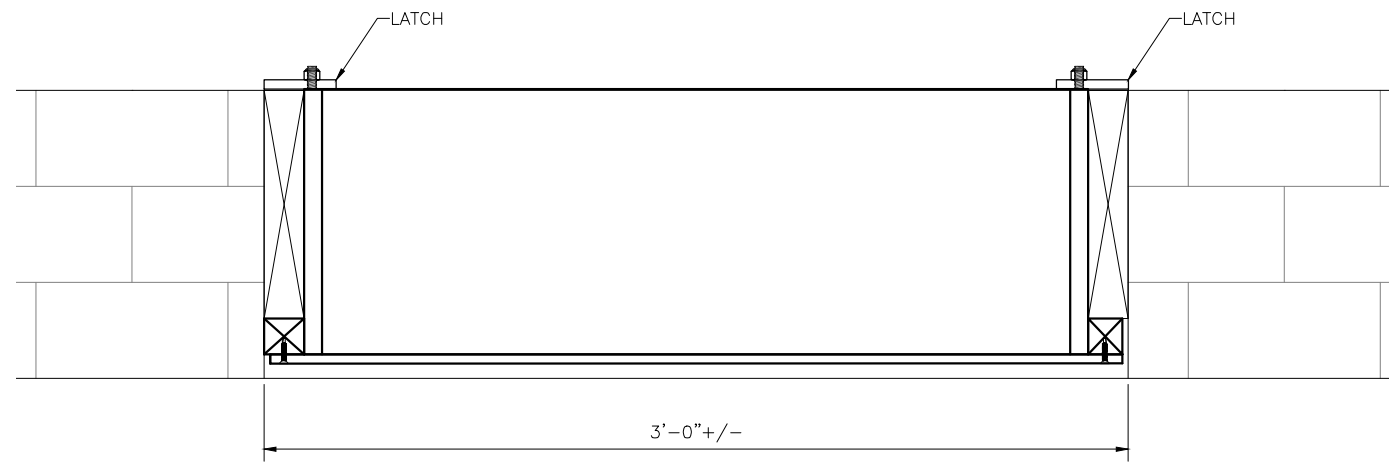
B NEW EXTERIOR DOOR GUARDRAIL
 S-3 SCALE: 3"=1'-0"

NOTE: PAINT COLOR TO MATCH EXISTING DOOR



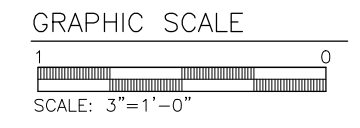
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NO.	1	ISSUED FOR	FWW REVIEW ONLY	DATE	-
	2				-
1883 WATER WORKS FORT COLLINS WATER WORKS BUILDING 2005 NORTH OVERLAND TRAIL, FORT COLLINS, COLORADO					
PEDESTRIAN GUARDRAILS NEW PEDESTRIAN GUARDRAIL					
S-3			DRAWING		
SHEET 3 OF 5					



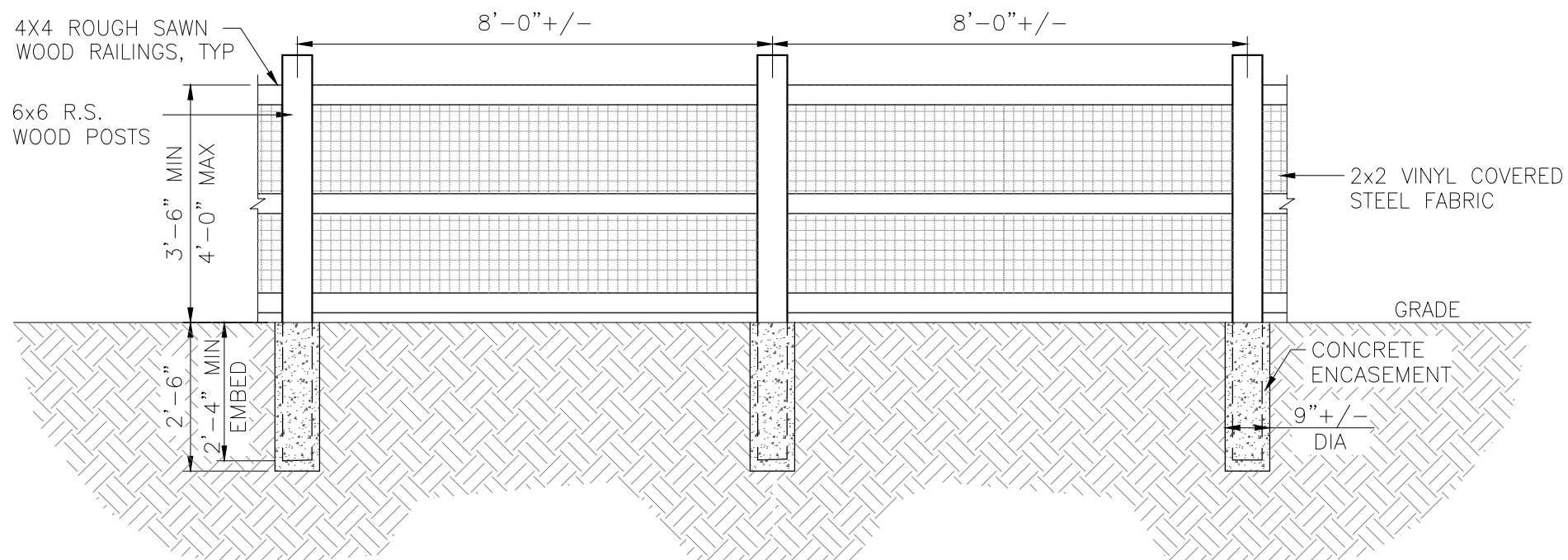
C NEW INTERIOR DOOR GUARDRAIL
 S-4 SCALE: 3"=1'-0"

NOTE: PAINT COLOR TO MATCH EXISTING DOOR

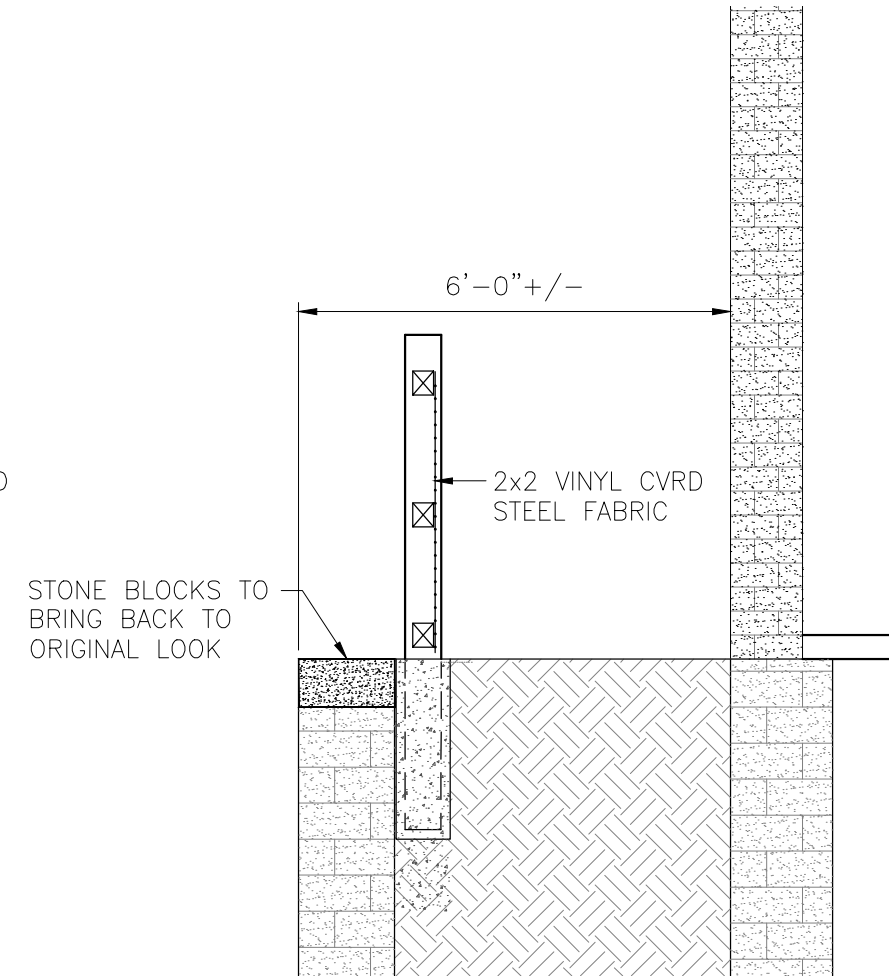


FOR REVIEW ONLY, NOT FOR CONSTRUCTION

NO.	1	ISSUED FOR	FWW REVIEW ONLY	DATE	-
	2				-
1883 WATER WORKS FORT COLLINS WATER WORKS BUILDING 2005 NORTH OVERLAND TRAIL, FORT COLLINS, COLORADO					
PEDESTRIAN GUARDRAILS NEW PEDESTRIAN GUARDRAIL-ALUM. RAILING					
S-4 SHEET 4 OF 5					



ELEVATION



SECTION

D NEW EXTERIOR PEDESTRIAN GUARDRAIL

S-5

SCALE: 3/4"=1'-0"

NOTE: WOOD WILL NOT BE PAINTED BUT LEFT TO AGE NATURALLY

GRAPHIC SCALE



SCALE: 3/4"=1'-0"

NO.	ISSUED FOR	DATE
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2		-

1883 WATER WORKS
 FORT COLLINS WATER WORKS BUILDING
 2005 NORTH OVERLAND TRAIL, FORT COLLINS, COLORADO

PEDESTRIAN GUARDRAILS
 NEW PEDESTRIAN GUARDRAIL



black steel wire fencing



📍 Longmont 9PM

📞 80501

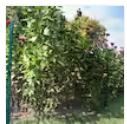
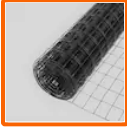
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