



Historic Preservation Services
Community Development & Neighborhood Services
281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: February 16, 2024

EXPIRATION: February 16, 2025

City of Fort Collins
c/o Kevin Murray, Empire Carpentry
PO Box 245
Bellvue, CO 80512

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the Avery House at 328 W. Mountain Ave., have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Repair, replacement of deteriorated portions, and painting of upper-level sleeping porch sill and hollow support posts

Notice of the approved application will be provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

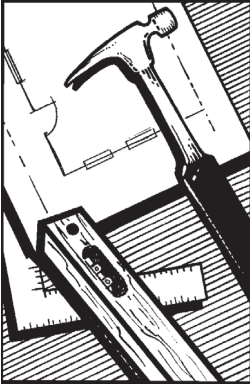
Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-224-6045.

Sincerely,

Yani Jones
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This project will not alter the use of the property.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>This project will not remove any historic features. The appearance of the screened porch will not be altered because the joined surface of the repaired sill will be hidden, and the hollow support posts being removed for repair will be reinstalled.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	N/A
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p>Although it was not part of this house’s original design, the upper level sleeping porch has significance in its own right as part of the evolution of the Avery House, and so its treatment as a historic feature is appropriate.</p>	Y
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>No materials, features, finishes, or examples of construction techniques or craftsmanship characteristic of the property will be destroyed as part of this project. As indicated in the supporting documentation from Empire Carpentry, the exterior portion of the sill that has deteriorated is made of a different wood and uses more modern nails than the surrounding material, indicating it has been replaced before. Its removal/replacement with another wood sill is also appropriate due to the level of deterioration noted additionally under Standard 6 and shown in the attached photo.</p>	Y

SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>The exterior portion of the sill of the sleeping porch has deteriorated beyond repair, most likely due to moisture. It will be replaced on the exterior portion only, if possible, with a pressure treated wood material. Due to this advanced deterioration of the sill (see photo), replacement is appropriate. The posts are being repaired as needed using a two-part epoxy and some dutchman repair rather than being replaced.</p>	Y
SOI #7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	N/A
SOI #8	<i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i>	N/A
SOI #9	<i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i>	N/A
SOI #10	<i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i>	N/A



Empire Carpentry LLC

PO Box 245

Bellvue, Colorado 80512

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empire@verinet.com

Date: February 14th 2024

EVERY HOUSE SUMMER PORCH REPAIR 2024

A second floor, screened in Summer Porch is found on the NE side of the historic Avery House, in Fort Collins. We were asked to repair some trim in the corner. When inspecting the corner, we found more deterioration than expected.

While repairing trim on the Summer Porch it was found that the decorated support posts were deteriorated close to the Sill. The sill had been capped by a tin flash, but was found very deteriorated under the flashing. The Sill has been replaced before. Nails holding it in place are galvanized box, where the rest of the material shows older cut nails. The material (poplar) does not match the surrounding pine material. Poplar is not a good material for exterior use as it does not hold up to moisture.



Figure 1: Rotten Sill showing tin cover.

General Contracting & Design - Residential & Commercial - Remodeling - Preservation

Hollow 6/4" (nominal) posts support the roof. The bottom of the posts show deterioration and need rehabilitation.

Secretary Of the Interior's Standards for Restoration & Rehabilitation

In following the Secretary of the Interior's Standards, we will try to keep the inside half of the Sill. Since the exterior half of the Sill has deteriorated beyond saving, we will laminate up a pressure treated replacement board to be then-laminated to the existing pine interior half. The joined surface will be hidden under the screens. Surfaces will be painted.

We will remove and reinstall the 6/4 hollow posts that support the roof of the porch. Each post will need some dutchman work to allow for reuse. A two-part epoxy system will be used to fill small deriorated areas.



Figure 2: Failed Sill with galvanized nails



Figure 3: Older pine trim showing cut nails.

Kevin Murray

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