



Historic Preservation Services
 Community Development & Neighborhood Services
 281 North College Avenue
 P.O. Box 580
 Fort Collins, CO 80522.0580
 970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 631 Peterson St.
Laurel School National Register Historic District
ISSUED: 1/18/2024

Judy L. Dettmer
 c/o Eric Newcomer, Sol Structures, Inc.
 1724 Ridgewood Rd.
 Fort Collins, CO 80526

Dear Judy Dettmer:

This report is to document proposed alterations to the McCurry Residence, at 631 Peterson St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: New detached garage at rear of property

Our staff review of the proposed work finds the alterations meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This new garage building does not change the residential use of the property.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>The new garage does not require the demolition/removal of any historic materials from the site. Setting a garage on the rear of a lot, on an alley, conforms with historic development patterns in the Laurel School Historic District.</p>	Y

<p>SOI #3</p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>Because of the use of materials and features like the overhead garage door and glass garage door, this new garage does not give the false impression that it is a historic feature, despite other design or material elements similar to the historic house.</p>	<p>Y</p>
<p>SOI #4</p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	<p>N/A</p>
<p>SOI #5</p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p>	<p>N/A</p>
<p>SOI #6</p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<p>N/A</p>
<p>SOI #7</p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p>N/A</p>
<p>SOI #8</p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>Although there is not reason to suspect that archaeological resources would be uncovered during any needed excavation for this project, the applicant should be advised of this Standard and contact Historic Preservation Services immediately for assistance, should anything be uncovered, at 970-224-6078.</p>	<p>Y</p>

SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>Because the new garage will be detached, its construction will not destroy any historic materials characteristic to the property. The new building is sufficiently differentiated through the non-historic garage door types and materials as well as the shed-roofed porch, which contrasts with the historic house’s gabled porch. Elements that match the historic house, such as the siding, trim, window frames, and double-hung window types, as well as the simple gable roof form and one-story height, make the new garage compatible with the historic house.</p>	Y
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>If desired, the new garage could be removed in the future without negatively impacting the historic property.</p>	Y

If you have any questions regarding this review, please contact me. I can be reached at yjones@fcgov.com or at 970-224-6045.

Sincerely,

Yani Jones
Historic Preservation Planner



BUILDING PERMIT APPLICATION

FOR OFFICE USE
APPLICATION NUMBER: APPLICATION DATE:

Job Site Address Unit#

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name First Name Middle

Street Address City State Zip

Phone # Email

Name of Business (COMMERCIAL USE ONLY)

CONTRACTOR INFO: Company Name

License Holder Name LIC # CERT #

LEGAL INFO:

Subdivision/PUD Filing # Lot # Block # Lot Sq Ft

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) Total Garage Sq. Ft.

Residential Sq Ft Commercial Sq Ft # of Stories Bldg Ht # of Dwelling Units

1st Floor Sq Ft 2nd Floor Sq Ft 3rd Floor Sq Ft Unfinished Basement Sq Ft

Finished Basement Sq Ft # of Bedrooms # of Full Baths

3/4 Baths 1/2 Baths # Fireplaces

ENERGY INFORMATION: (CHECK ONE)

Prescriptive Performance U/Arescheck ERI ASHRAE Component/Comcheck IDAP

Air Conditioning? YES NO

City of Fort Collins Approved Stock Plan # SPO List Option #s

Utilities INFO:

New Electric Service Electric Service Upgrade Electric Meter Relocation

Electric Main Breaker Size (Residential Only): 150 amps or less 200 amps Other:

Gas Electric Electric Temp Pedestal? Yes No

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.)

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes No If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes No

If yes, please describe:

Value of Construction (materials and labor): \$ _____

Description of Work: _____

JOBSITE SUPERVISOR CONTACT INFO: Name _____ Phone _____

SUBCONTRACTOR INFO: Electrical _____ Mechanical _____


Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature 

Type or Print Name _____

Phone # _____

Email _____

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

Required for permit submittal - Fill out the following table:

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
B (Business)		x	\$0.50	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.35	
I (Institutional)		x	\$0.50	
M (Mercantile)		x	\$0.40	
R-1 (Hotel)		x	\$0.35	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)		x	\$0.65	
R-4 (Assisted Living)		x	\$0.55	
S (Storage)		x	\$0.40	
U (Utility)		x	\$0.40	
H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
Total				

****Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.****

For additions that include interior remodel: please provide addition square footage above and remodel only valuation here _____.

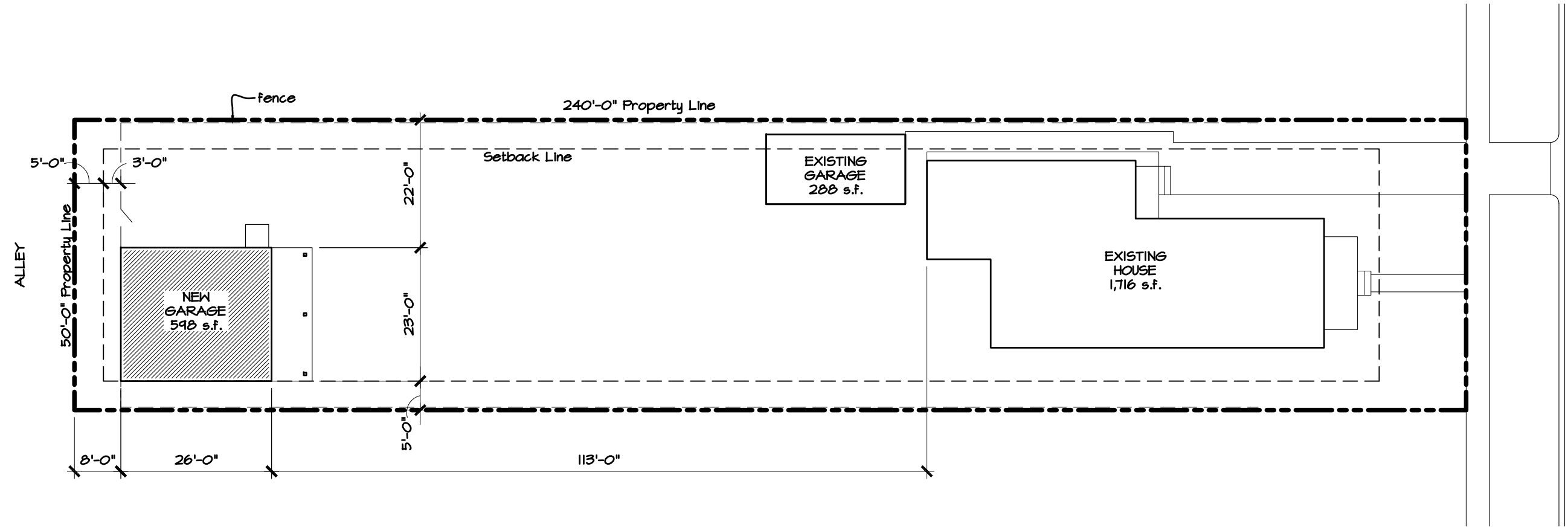
Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

For New Multi-family buildings fill out the following:

1. Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
 - Yes - there are other functions/occupancy areas. *Required: list each in the table above*
 - No - only dwelling units

2. Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
 - Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
 - No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.

SITE NOTES	
631 Peterson Street Legal Description: S 1/2 OF LOT 3, BLK 146, FTC	12,000 s.f. LOT A.F.A. = 4,200 (35%)
ZONE: NCM FRONT SETBACK - 15 feet SIDE SETBACK - 5 feet REAR SETBACK - 5 feet	Existing House = 1,716 s.f. Existing Garage = 288 s.f. Current Total = 2,004 s.f.
	Remaining Allowed = 2,196 s.f. Proposed Garage = 598 s.f.



Dettmer/McAvoy Residence - New Garage
631 Peterson St.
Fort Collins, CO

drawn by

jhd

date

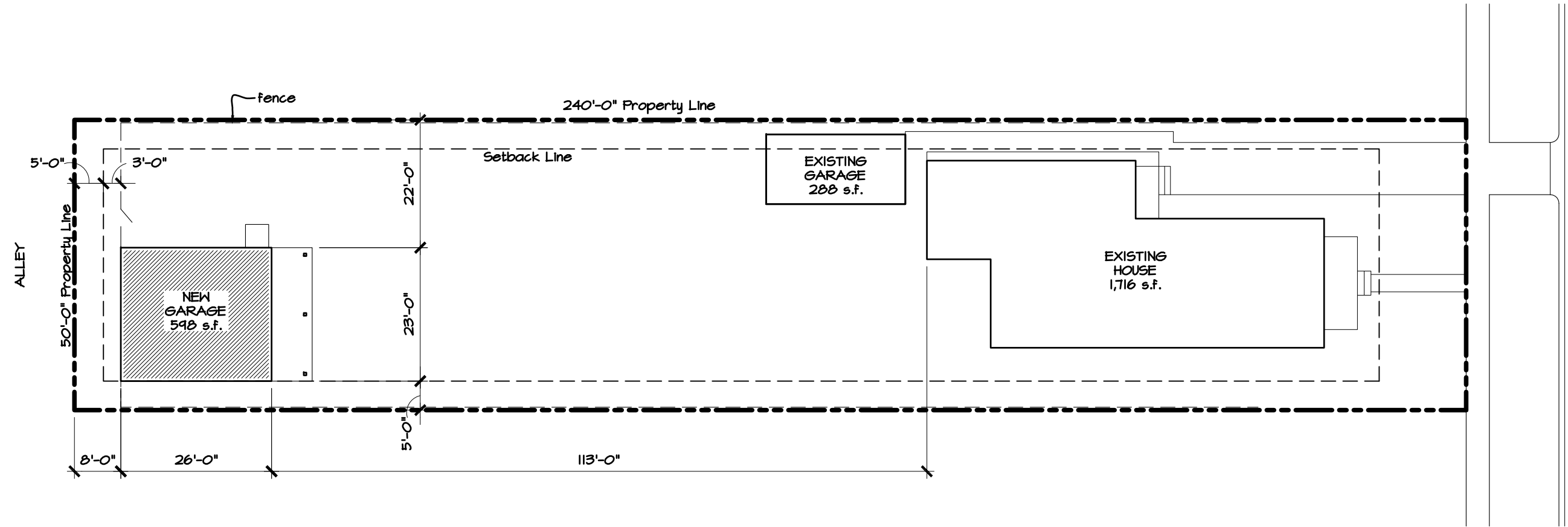
12.21.2023

sheet

a1

 NORTH
 SITE PLAN
SCALE: 1" = 20'-0"

SITE NOTES	
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Dettmer/McAvoy Residence - New Garage
631 Peterson St.
Fort Collins, CO

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jhd

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12.21.2023

sheet

a1

 NORTH
 SITE PLAN
SCALE: 1" = 20'-0"

Dettmer/McAvoy Residence - New Garage
631 Peterson St.
Fort Collins, CO

drawn by

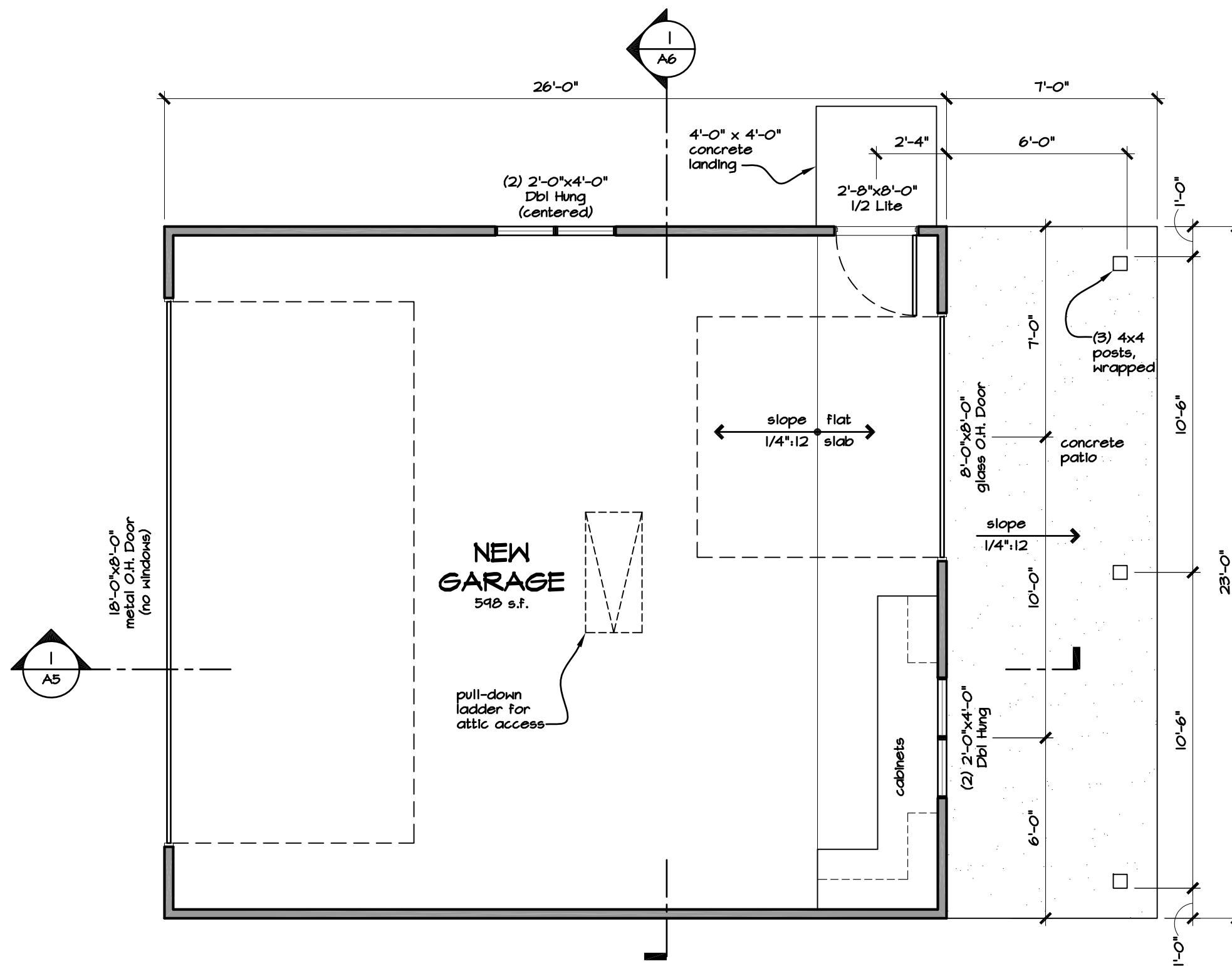
jhd

date

12.21.2023

sheet

a2

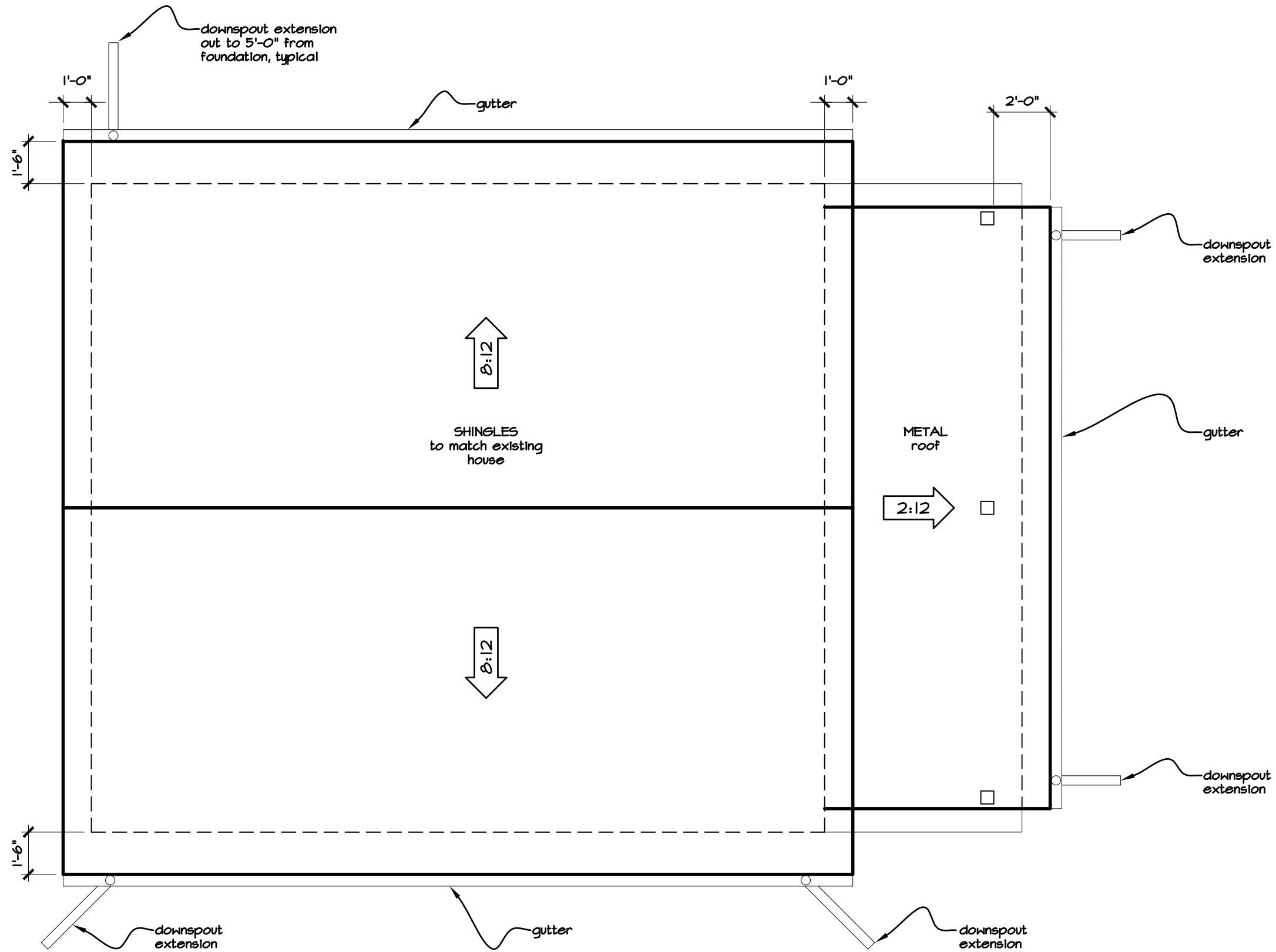


NORTH



FLOOR PLAN

SCALE: 1/4"=1'-0"



drawn by

jhd

date

12.21.2023

sheet

a3



NORTH



ROOF/DRAINAGE PLAN

SCALE: 1/4"=1'-0"



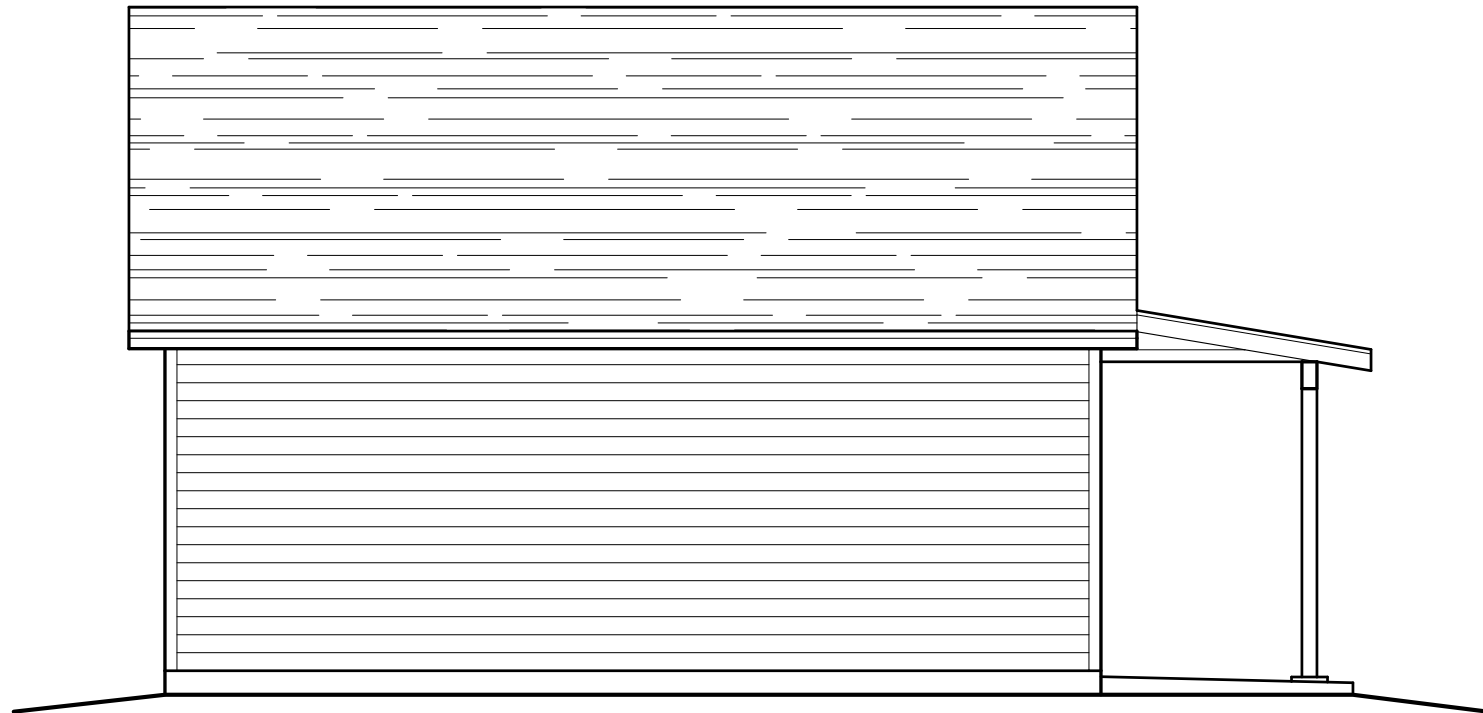
1 EAST ELEVATION
SCALE: 3/16"=1'-0"



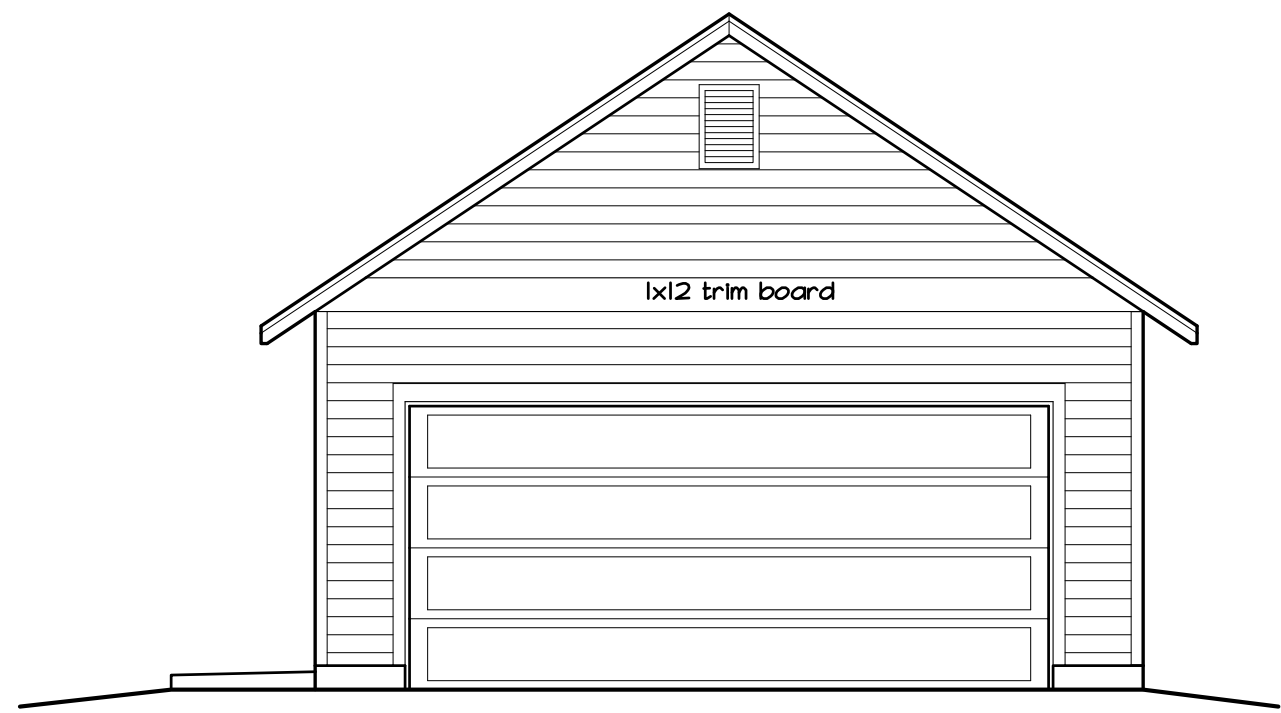
2 NORTH ELEVATION
SCALE: 3/16"=1'-0"

MATERIALS NOTES:

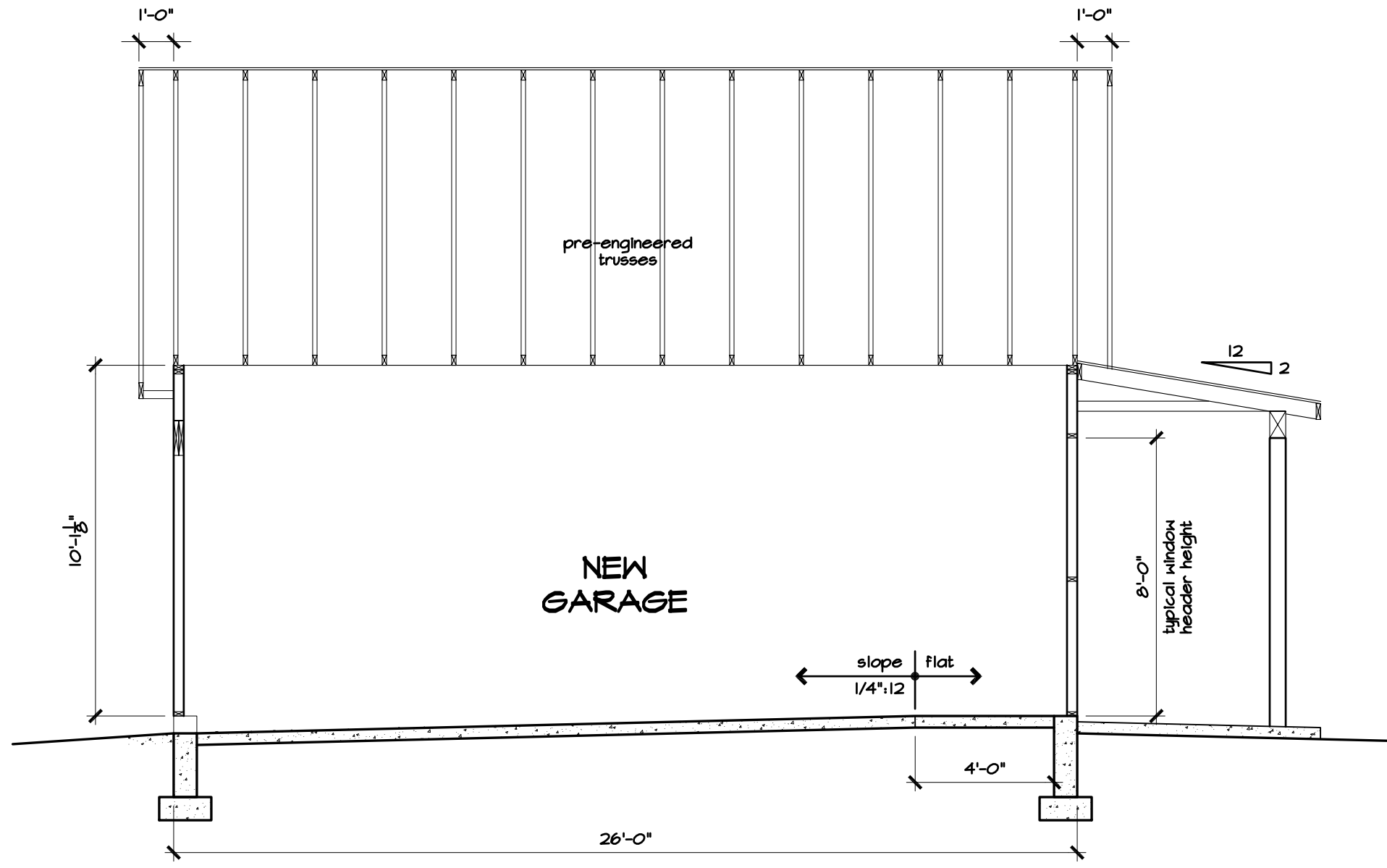
- Lap siding where shown, to match existing house.
- All trim details (window & door trim, corner trim, soffit/fascia trim, etc.) to match existing house.
- Posts at porch roof to be wrapped in trim boards.
- Paint colors to match existing house.



3 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



4 WEST ELEVATION
SCALE: 3/16"=1'-0"



1 GARAGE SECTION
SCALE: 1/4"=1'-0"

Dettmer/McAvoy Residence - New Garage

631 Peterson St.
Fort Collins, CO

drawn by

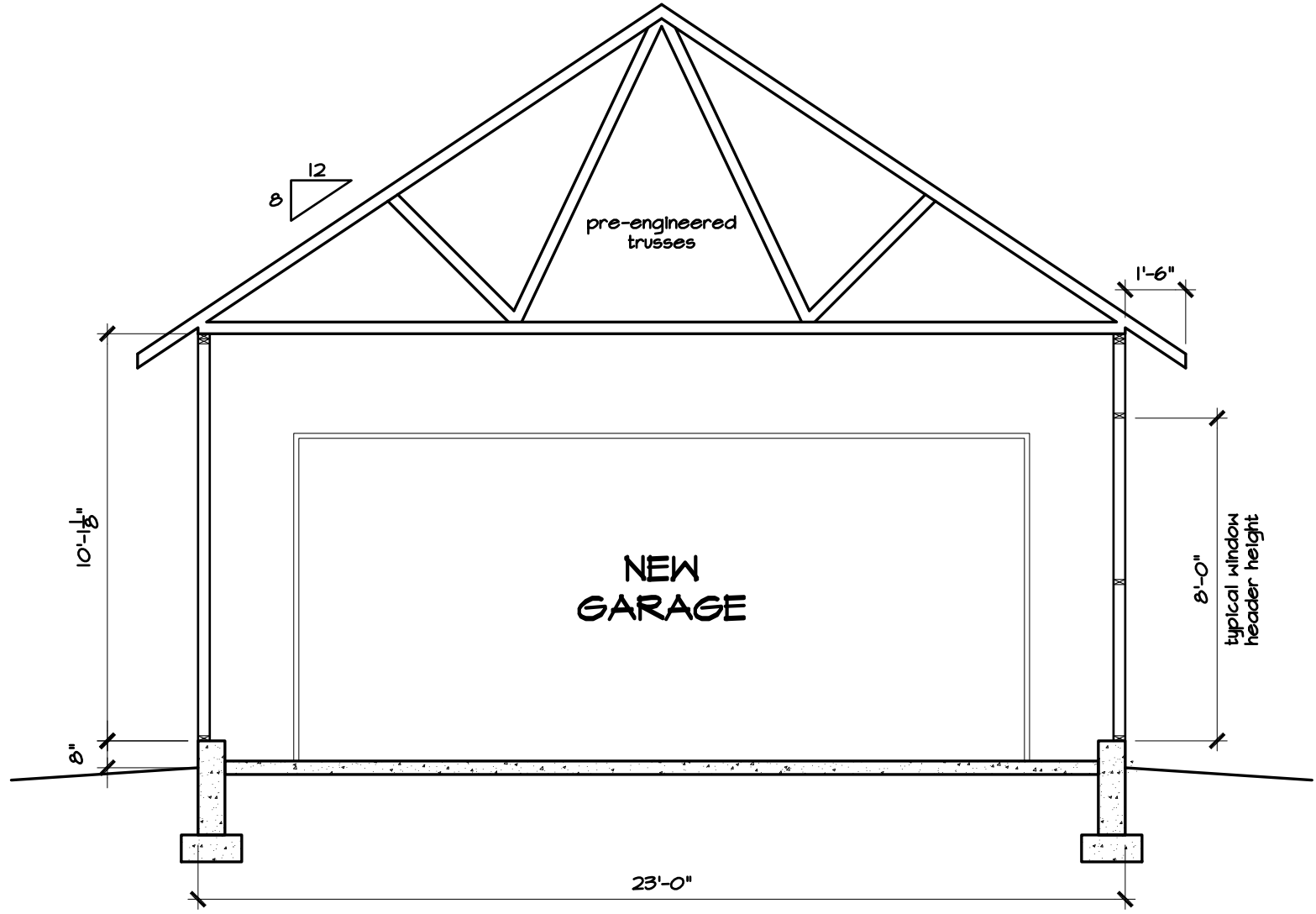
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date

12.21.2023

sheet

a6



1 GARAGE SECTION
SCALE: 1/4"=1'-0"

drawn by

jhd

date

12.21.2023

sheet




a7

ELECTRIC NOTES:




- It is the responsibility of the electrical sub-contractor to install electrical requirements for this project in compliance with all adopted local codes.
- Verify all fixture types and locations with owners.
- Provide GFI outlets where required by code.
- All outlets shown at counter areas shall be 8" above counter to top of outlet.
- Provide smoke detectors as required by code.
- Provide a utility outlet and a light fixture in attic at access hatch.
- Sub-contractor to coordinate integration of new circuits and sub-panel to existing panel required for new lighting & power.

ELECTRIC LEGEND

RECEPTACLES

-  110 VOLT DUPLEX RECEPTACLE
-  110 VOLT DUPLEX WEATHERPROOF RECEPTACLE
-  110 VOLT DUPLEX RECEPTACLE W/ GROUND FAULT CIRCUIT INTERRUPTER

LIGHT FIXTURES

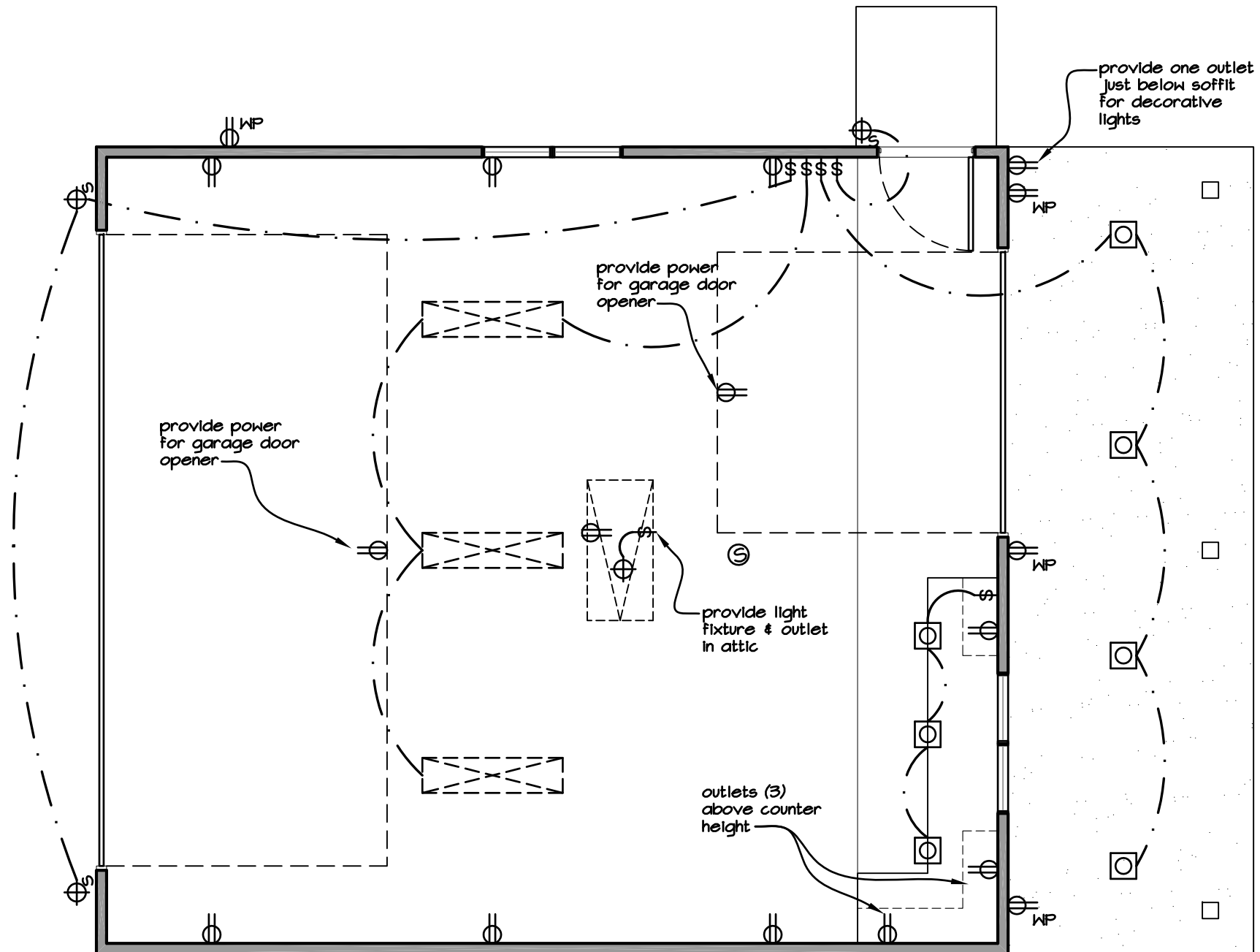
-  WALL MOUNTED/SCONCE FIXTURE
-  FLUSH MOUNTED FIXTURE
-  RECESSED CAN LIGHT

SWITCHES

-  SINGLE POLE SWITCH
-  THREE WAY SWITCH

OTHER

-  SMOKE / CO DETECTOR



NEW ELECTRIC PLAN
 SCALE: 1/4"=1'-0"

Structural General Notes

1. **Design Loads:**
Design Codes: 2021 IRC, ASCE 7-16, ACI318, 2011 & NDS and classified as a Category III structure

Roof Loads:
Roof Dead Load 20 psf + solar panels
Roof Live Load 20 psf
Ground Snow Load, P_g 35 psf
Flat Snow Load, P_f 30 psf
Snow Exposure Factor, C_e 1.0
Snow Thermal Factor, C_t 1.1
Snow Importance Factor, I_s 1.0

Wind Loads:
Design Wind Speed, Vult (3 sec gust) 140 mph
Wind Exposure B
Internal Pressure Coefficient 0.18 (enclosed)

Seismic Loads:
Seismic Design Category B
Soil Site Class D
Analysis Procedure ELF

2. Foundation Design:

a. foundation design is based on assumed bearing values.
maximum bearing capacity = 1500 psf
minimum dead load = n/a

b. foundation specifications
1. all footings to bear on soil prepared in accordance with geotechnical report.
2. the foundation excavation shall be observed by the geotechnical engineer of record.
3. foundation walls to be backfilled in accordance with the recommendations in the geotechnical report.
4. fill material under slabs on grade shall be an approved material placed in accordance with the recommendations in the geotechnical report.
5. slab control joints shall be provided in accordance with aci recommendations.

3. General Requirements:

a. construction method:
the structural drawings represent the final structure. the drawings do not indicate the contractor's means, methods, techniques, sequences of construction and job safety. the engineer of record is not responsible for the contractor's failure to follow plans, specifications, and/or engineering recommendations, nor is the engineer of record responsible for economic loss and/or delays on the contractor or subcontractors.
all construction shall be adequately braced to prevent distortion and damage due to construction loads and natural forces. the contractor shall make allowances for difference between temperature during erection and mean temperature when structure is completed and in service.

b. trade coordination:
the structural drawings are to be used in conjunction with the architectural, electrical, mechanical, plumbing and site drawings. conflicts in dimension and interference shall be directed to the architect prior to construction.

c. specifications:
if conflicts arise from the recommendations of these drawings and those contained in the specifications, the architect and engineer shall be notified of the discrepancy prior to construction.

d. drawing dimensions:
no dimension is to be determined by scaling the drawings or details. if a dimension is not indicated on the drawings and is needed, contact the structural engineer for clarification. if discrepancies are found between the structural drawings and the architectural drawings, contact the structural engineer or architect for clarification.

4. Materials:

a. foundation concrete: $f_c = 3000$ psi foundation, $f_c = 4000$ psi garage slab on grade; minimum of 5-1/4 sacks of type I-III portland cement per cubic yard; air entrained with $6\% \pm 1\%$ air.

b. reinforcing steel: $f_y = 60$ ksi (60 grade). all reinforcing shall be placed in accordance with aci recommendations including minimum laps, spacings and corner bars.

c. wood - framing lumber shall be stress graded Hem-Fir as follows:
a. joists, beams, columns - no. 2 or better.
b. studs - load bearing exterior walls 2x6 no 2 construction grade.
c. studs - interior non-load bearing - 2x4 standard grade.
d. blocking and bridging - no. 2
e. laminated veneer lumber (LVL) shall be stress graded as follows: bending - 2600psi; tension parallel to grain - 1850psi; compression parallel to grain - 2700psi; horizontal shear - 285psi; compression perpendicular to grain - 500psi; modulus of elasticity - 1900ksi.
LVL member sizes are net; lumber sizes are nominal.
f. timber connectors called for on the drawings are as manufactured by Simpson company. connectors by other manufacturers may be used if the load capacity is equal to or greater than the connector specified. use manufacturer's furnished nails and bolts.
g. fasten all wood members with common nails according to the building code unless otherwise noted.
h. roof sheathing shall be 1/2" OSB or 5/8" plywood with an APA span rating of 32/16. nail roof sheathing with 8d nails at 4" on center at panel edges and 12" on center in the field u.n.o.
i. floor sheathing shall be 23/32" plywood with an APA rating of 48/24. glue and nail to framing with 8d nails at 6" on center at panel edges, 8" on center in the field u.n.o.
j. exterior wall sheathing shall be 7/16" OSB or plywood nailed to framing with 8d nails spaced at 6" on center at panel edges, 12" on center in the field minimum u.n.o.

HANGER SCHEDULE U.N.O.	
JOIST / BEAM	FLUSH MOUNT (MIN.)
SINGLE 2x6	LSU26

- all exterior hangers must be galvanized
- hangers shall have all nail holes filled

SHEAR WALL SCHEDULE				
MARK	SHEATHING	FASTENERS	PANEL EDGE SPACING	FIELD SPACING
ALL EXTERIOR WALLS U.N.O.	1/2" OSB or plywood	8d common 1 1/2" 16 gage staples	6" O.C. 3' O.C.	12" O.C. 6' O.C.

- BLOCKING NOT LESS THAN 2" NOMINAL IN THICKNESS SHALL BE PROVIDED AT ALL HORIZONTAL PANEL JOINTS.

▽ DENOTES STD 14 HOLDOWNS AT FOUNDATION

FOOTING / PAD SCHEDULE				
MARK	WIDTH	LENGTH	THICKNESS	REINFORCING
F 1 2	1'-0"	CONT.	0'-8"	2-#4 CONT.
FRI 2	12'Ø		3' DEPTH	2-#4 FULL HT.

TRUSS MANUFACTURER- PROVIDE FINAL TRUSS PACKAGE TO TD STRUCTURAL ENGINEERING FOR REVIEW PRIOR TO CONSTRUCTION. IT IS ASSUMED THAT TRUSSES WILL BE DESIGNED FOR BEARING PERPENDICULAR TO GRAIN. CONTACT TD STRUCTURAL ENGINEERING FOR APPROVAL IF END GRAIN BEARING IS REQUIRED. THE TRUSS MANUFACTURER IS ALSO REQUIRED TO NOTIFY THE STRUCTURAL ENGINEER FOR SPECIAL BEARING REQUIREMENTS.
ADDITIONAL HOLDOWNS MAY BE REQUIRED ONCE FINAL TRUSS DESIGN HAS BEEN RECEIVED.

NOTIFY TD STRUCTURAL ENGINEERING AND ARCHITECT IMMEDIATELY IF DISCREPANCIES BETWEEN PLANS

STRUCTURAL INDEX LIST	
SHEET NO.	STRUCTURAL DRAWINGS
S0.1	PROJECT GENERAL NOTES
S1.1	FOUNDATION AND FRAMING PLANS, DETAILS

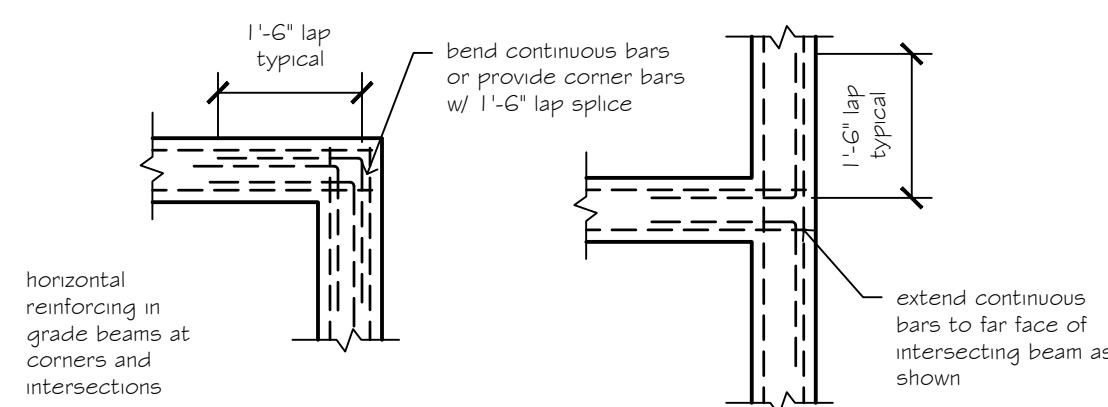


DETTMER RESIDENCE
631 PETERSON
FORT COLLINS, COLORADO

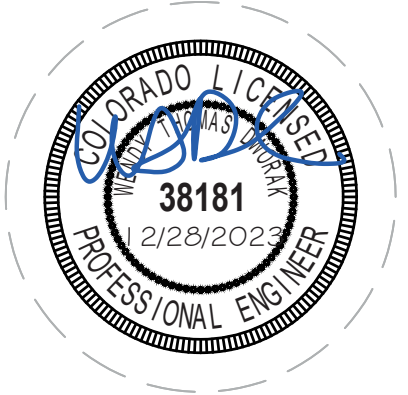
PROJECT NUMBER: 23-105
DESIGNED BY: WTD
REVIEWED BY: WTD
DATE FOR ISSUE: 11/14/2023
REVISION: 12/28/2023

PROJECT GENERAL NOTES

S0.1



typical corner bar reinforcing
1/2" = 1'-0"

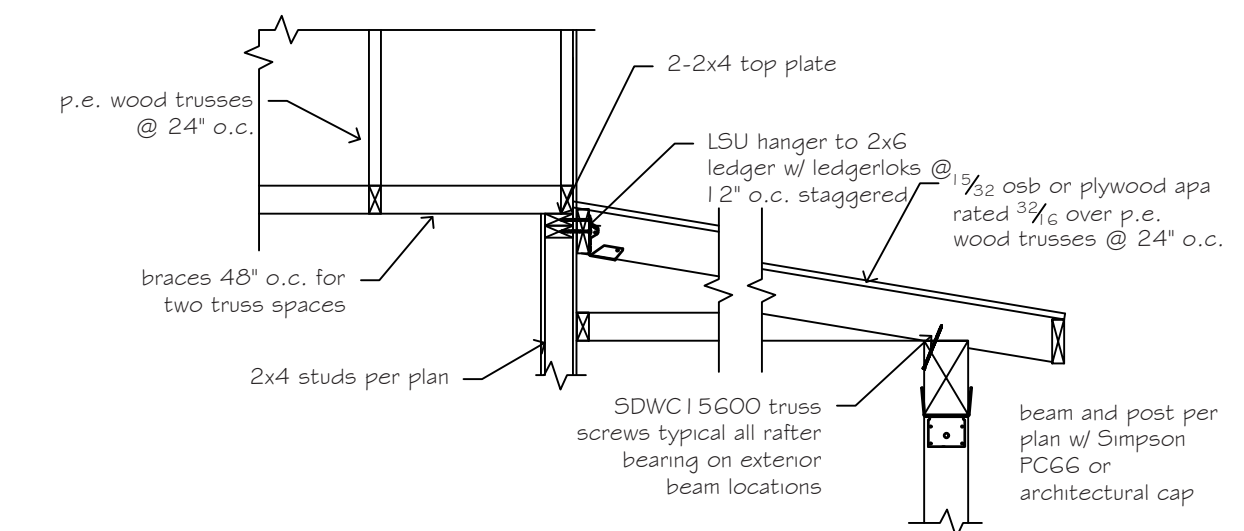


DETTMER RESIDENCE
631 PETERSON
FORT COLLINS, COLORADO

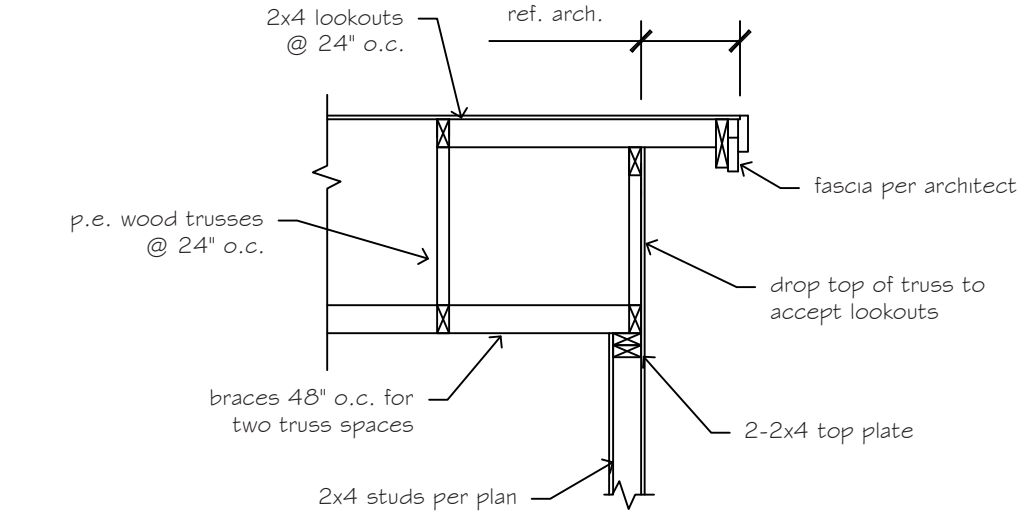
PROJECT NUMBER: 23-105
DESIGNED BY: WTD
REVIEWED BY: WTD
DATE FOR ISSUE: 11/14/2023
REVISION: 12/28/2023

FOUNDATION PLAN

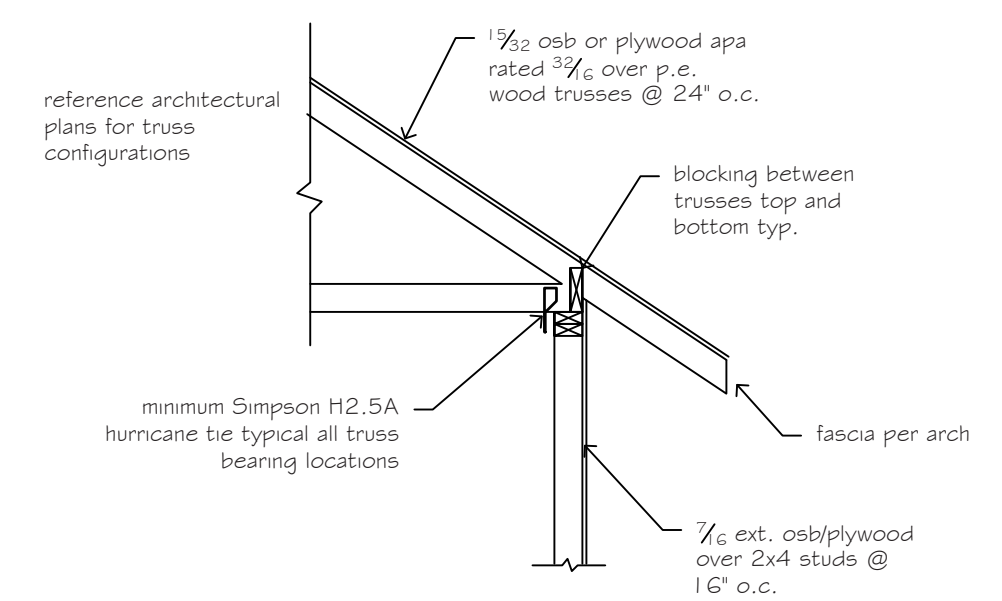
S1.1



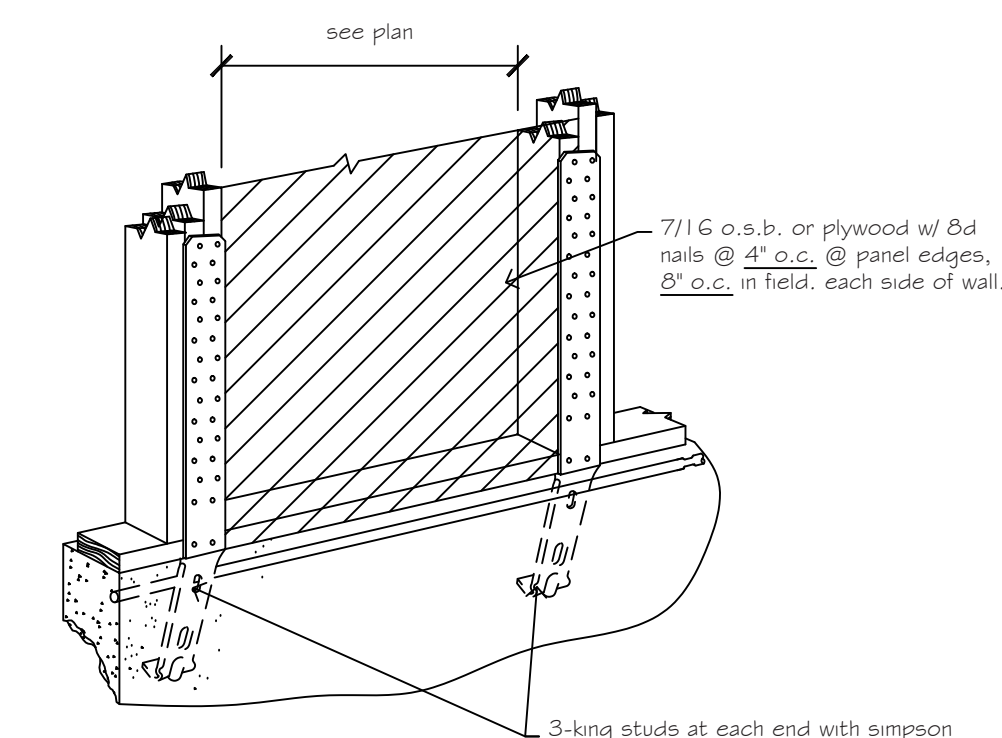
7 rafter bearing at beam
S1.1 1/2" = 1'-0"



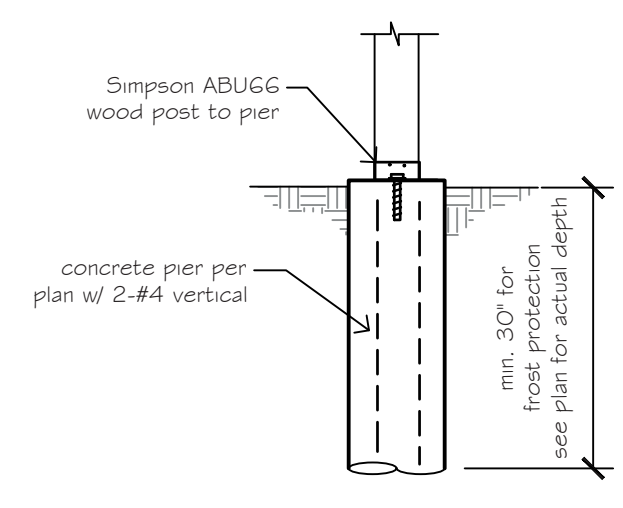
6 gable end lookouts
S1.1 1/2" = 1'-0"



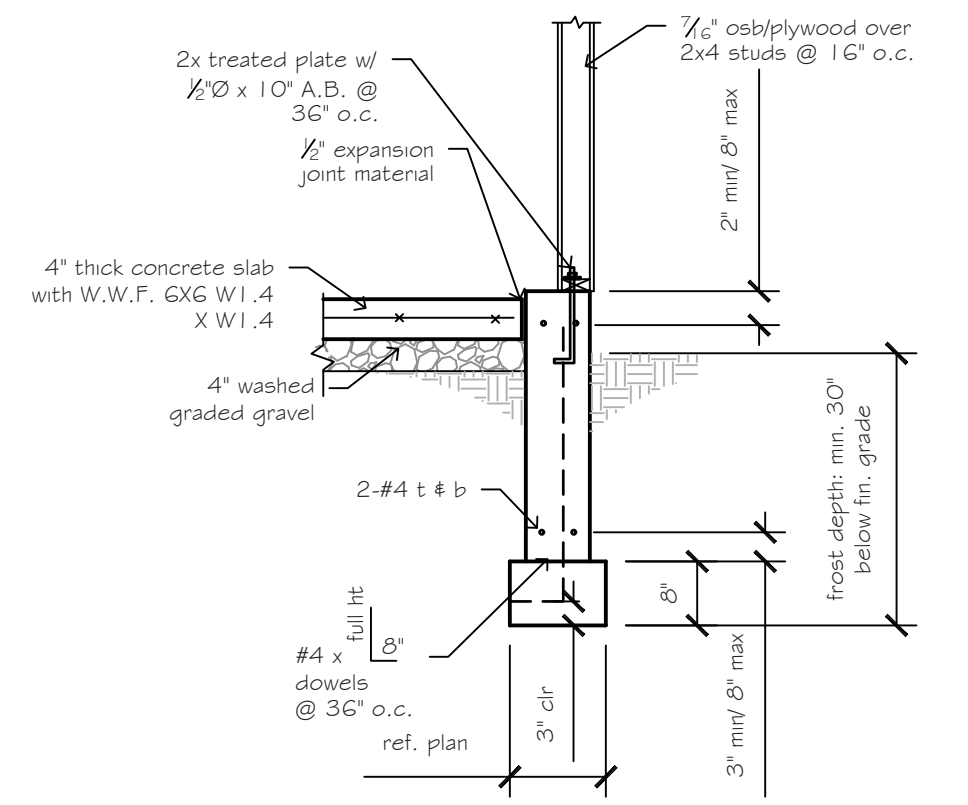
5 truss bearing
S1.1 1/2" = 1'-0"



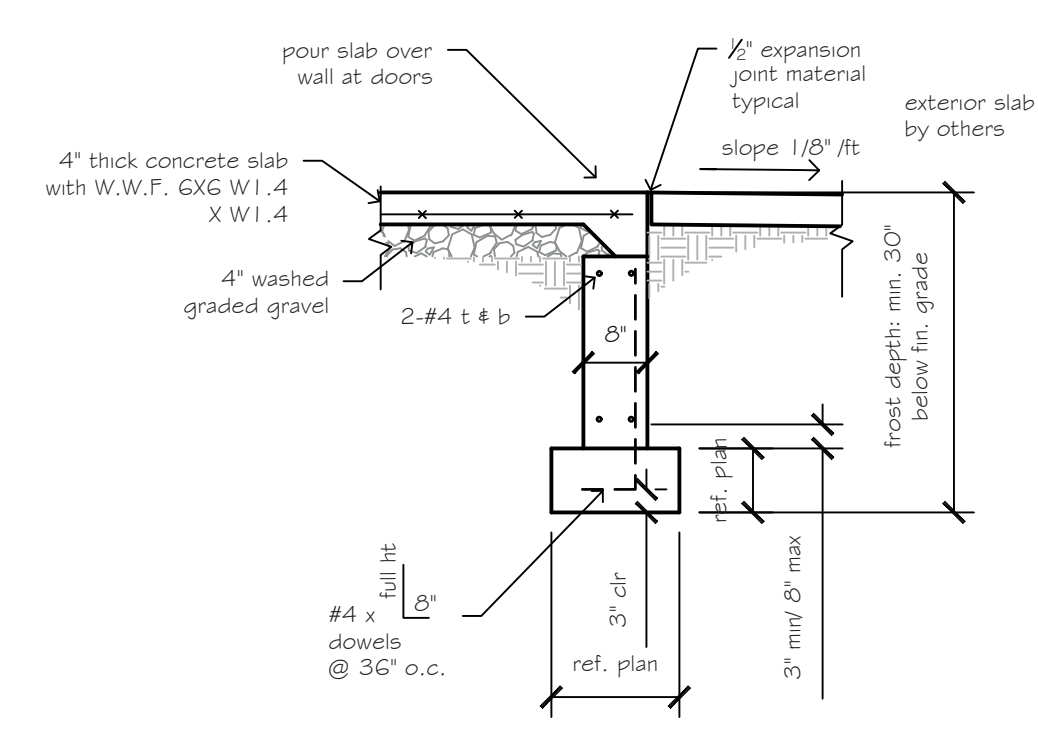
4 typ. holdown at foundation
S1.1 1/2" = 1'-0"



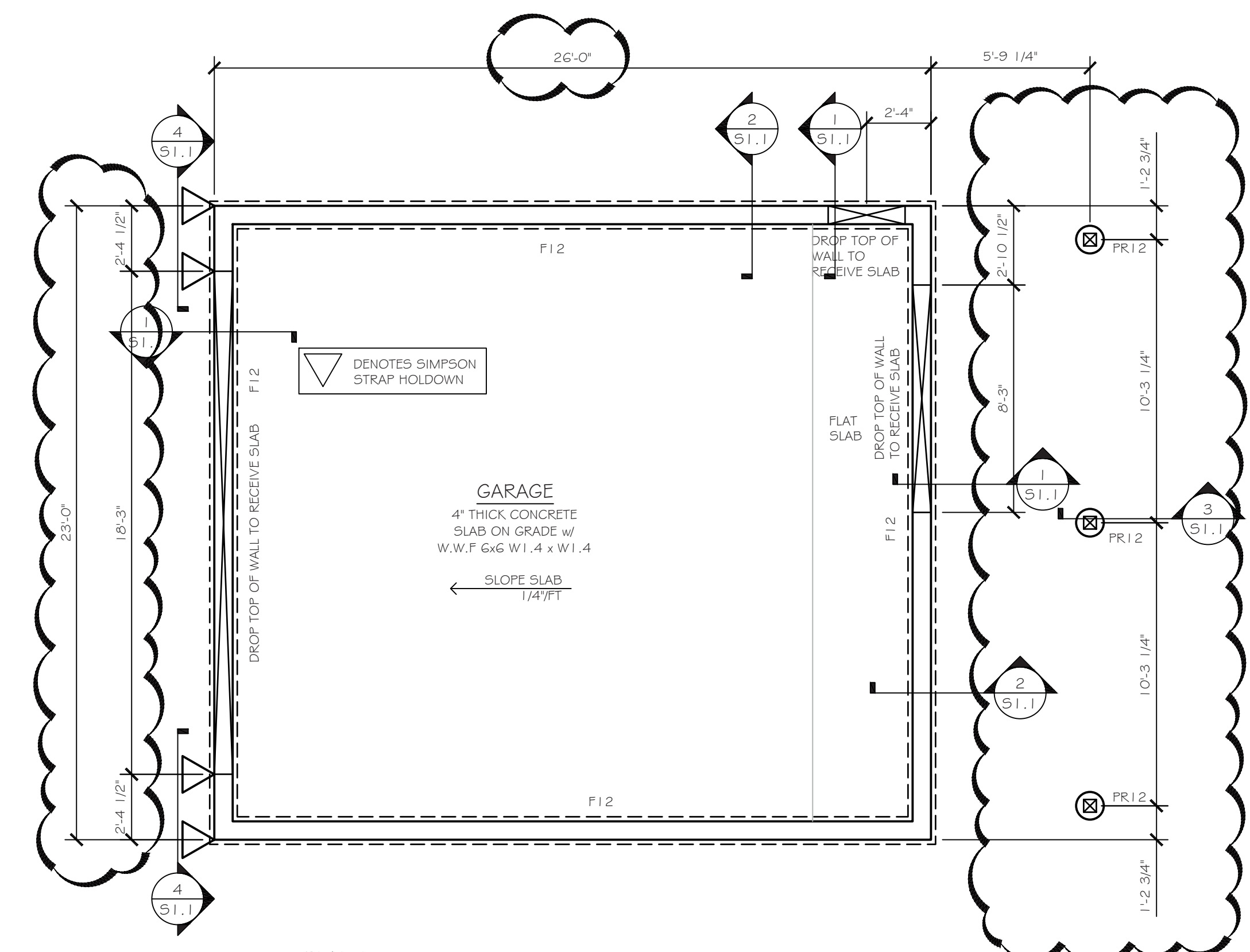
3 pier foundation detail
S1.1 1/2" = 1'-0"



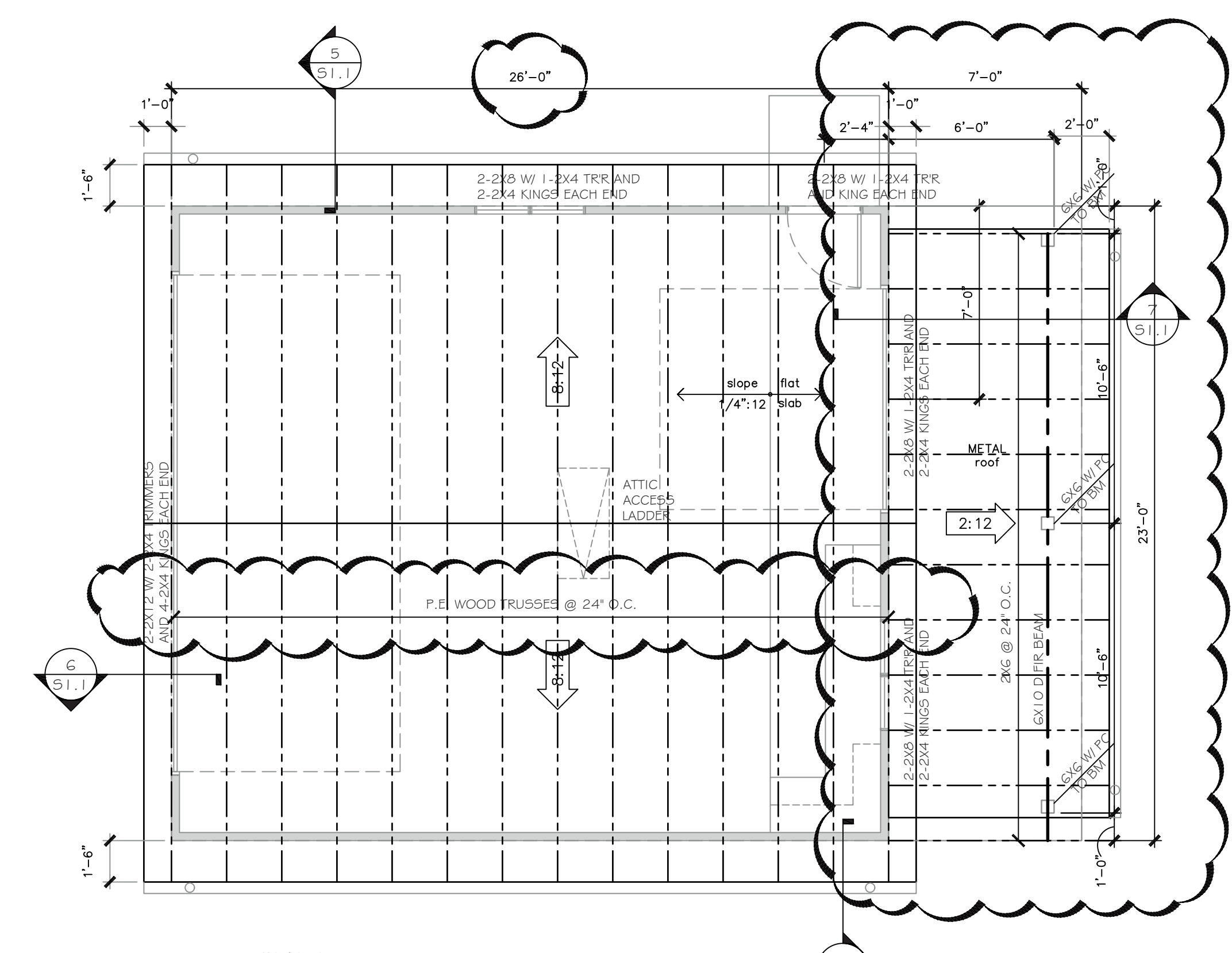
2 garage foundation wall detail
S1.1 1/2" = 1'-0"



1 door foundation detail
S1.1 1/2" = 1'-0"



PLAN N
FOUNDATION PLAN
1/4" = 1'-0"



PLAN N
ROOF FRAMING PLAN
1/4" = 1'-0"

