



**Historic Preservation Services**  
 Community Development & Neighborhood Services  
 281 North College Avenue  
 P.O. Box 580  
 Fort Collins, CO 80522.0580  
 970.224.6078  
[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**REPORT OF ALTERATIONS TO DESIGNATED RESOURCE**  
**Site Number/Address: 608 Whedbee St.**  
**Laurel School National Register Historic District**  
**ISSUED: 1/4/2024**

Bradley Blank  
 608 Whedbee St.  
 Fort Collins, CO 80524

Dear Bradley Blank:

This report is to document proposed alterations to the Cullen House, at 608 Whedbee St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: New two-car garage at rear of lot (demo of existing accessory structure reviewed in report dated 12/14/2023)

Our staff review of the proposed work finds the alterations [do/do not] meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

<b>Applicable Code Standard</b>	<b>Summary of Code Requirement and Analysis (Rehabilitation)</b>	<b>Standard Met (Y/N)</b>
<b>SOI #1</b>	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>  <b>The construction of a new garage will not change the residential use of this property.</b>	<b>Y</b>
<b>SOI #2</b>	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i>	<b>N/A</b>

<p><b>SOI #3</b></p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p><b>Because this garage is differentiated in design from the existing house and uses modern materials, such as engineered wood siding, a sense of false historical development on the site is avoided.</b></p>	<p><b>Y</b></p>
<p><b>SOI #4</b></p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #5</b></p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #6</b></p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #7</b></p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #8</b></p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p><b>Should any archaeological resources be uncovered during this new construction project, the applicant should protect them in place and contact Historic Preservation Services at <a href="mailto:preservation@fcgov.com">preservation@fcgov.com</a> for assistance.</b></p>	<p><b>Y</b></p>

<p><b>SOI #9</b></p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>The new garage is sufficiently differentiated from the historic house through the use of different wall materials and different roof forms. The size and scale of the new garage is appropriate, matching the single-story height of the historic house, and its situation at the very back of the lot, on the alley, is consistent with historic patterns of development for similar accessory structures in this area. Although the design of this structure does not closely imitate the historic house, elements such as the multilight windows and doors visually reference it.</b></p>	<p><b>Y</b></p>
<p><b>SOI #10</b></p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>Because this garage would be a detached structure, it could easily be removed in the future, if desired, without negatively impacting the historic house.</b></p>	<p><b>Y</b></p>

If you have any questions regarding this review, please contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-224-6045.

Sincerely,  
  
 Yani Jones  
 Historic Preservation Planner



## BUILDING PERMIT APPLICATION

<b>APPLICATION NUMBER:</b>	FOR OFFICE USE	<b>APPLICATION DATE:</b>
----------------------------	----------------	--------------------------

Job Site Address 608 Whedbee Street Unit# \_\_\_\_\_

**PROPERTY OWNER INFO: (All owner information is required – NOT optional)**

Last Name Blank First Name Bradley Middle D

Street Address 608 Whedbee St City Fort Collins State CO Zip 80524

Phone # 970 227 5679 Email bbincolorado@gmail.com

Name of Business (COMMERCIAL USE ONLY) \_\_\_\_\_

**CONTRACTOR INFO:** Company Name Homeowner (Brad Blank)

License Holder Name \_\_\_\_\_ LIC # \_\_\_\_\_ CERT # \_\_\_\_\_

**LEGAL INFO:**

Subdivision/PUD \_\_\_\_\_ Filing # \_\_\_\_\_ Lot # 14 Block # 166 Lot Sq Ft 9500

**CONSTRUCTON INFO:** Total Building Sq Ft (NOT including basement) \_\_\_\_\_ Total Garage Sq. Ft. 816 sf

Residential Sq Ft \_\_\_\_\_ Commercial Sq Ft \_\_\_\_\_ # of Stories \_\_\_\_\_ Bldg Ht \_\_\_\_\_ # of Dwelling Units \_\_\_\_\_

1st Floor Sq Ft \_\_\_\_\_ 2nd Floor Sq Ft \_\_\_\_\_ 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft \_\_\_\_\_

Finished Basement Sq Ft \_\_\_\_\_ # of Bedrooms \_\_\_\_\_ # of Full Baths \_\_\_\_\_

¾ Baths \_\_\_\_\_ ½ Baths \_\_\_\_\_ # Fireplaces \_\_\_\_\_

**ENERGY INFORMATION: (CHECK ONE)**

Prescriptive  Performance  U/Arescheck  ERI  ASHRAE  Component/Comcheck  IDAP

**Air Conditioning?** YES  NO

City of Fort Collins Approved Stock Plan # SPO List Option #s \_\_\_\_\_

**Utilities INFO:**

New Electric Service  Electric Service Upgrade  Electric Meter Relocation

Electric Main Breaker Size (Residential Only): 150 amps or less  200 amps  Other:

Gas  Electric  Electric Temp Pedestal? Yes  No

**ZONING INFO: (COMMERCIAL USE ONLY)**

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

**For Commercial remodels and tenant finishes, please answer the following questions:**

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant  New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes  No  If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes  No

If yes, please describe: \_\_\_\_\_

**Value of Construction (materials and labor):** \$ 180,000

**Description of Work:** Build a 816 sf two car garage per design/permit plans submitted. Variance for increased sf has been approved per Sept 14, 2023 FC meeting.

**JOBSITE SUPERVISOR CONTACT INFO:** Name Brad Blank Phone 970 227 5679

**SUBCONTRACTOR INFO:** Electrical Western Electrical Group Mechanical Taft Hill Plumbing  
Plumbing \_\_\_\_\_ Framing Vandervliet Construction Roofing Independent Roofing  
Fireplace \_\_\_\_\_ Solar \_\_\_\_\_ Other Turner Excavation

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.  
 An asbestos inspection has been conducted on this property on or about (enter date) August 2016  
 An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature Bradley D. Blank Type or Print Name BRADLEY D. BLANK  
Phone # 970 227 5679 Email bbincolorado@gmail.com

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



Building Services  
PO Box 580  
281 N College Ave  
Fort Collins, CO 80524  
970-416-2740 phone 970-224-6134 fax

### HOMEOWNER AFFIDAVIT

I, BRADLEY D. BLANK, as owner of record of the property located at:  
608 Whedbee St, Fort Collins, Colorado, hereby declare and attest to  
80524

the following: (please check only the one that applies):

#### OPTION 1: CONSTRUCTION OF NEW HOME

I am acting on my behalf for the purpose of obtaining a building permit and personally constructing my home. The home to be constructed is on the above property and **will** be my primary residence. I have not personally constructed any other new homes in the Fort Collins city limits within the past **24-month** period.

#### OPTION 2: PERMITTED WORK ON DETACHED SINGLE FAMILY HOME

I am acting on my behalf for the purpose of obtaining a building permit and personally constructing an alteration or addition to my house, acting as my own general contractor. The house to be altered is on the above property and is my personal **primary** residence.

#### OPTION 3: PERMITTED WORK ON ATTACHED SINGLE FAMILY DWELLING UNIT.

I am acting on my behalf for the purpose of obtaining a building permit and personally constructing a non-structural alteration to my **attached single family dwelling unit**. The house to be altered is my personal **primary** residence. I am aware that I **cannot complete or supervise** any structural, electrical, plumbing or mechanical work and **must hire contractors/subcontractors** who are currently licensed and insured with the City of Fort Collins\*.

I am personally performing all of the work or hiring City of Fort Collins licensed trades people, or will be continuously supervising unpaid volunteers (see Option 3 for attached dwellings). The work is directly related to the construction of the above referenced home.

I understand that any person(s) or agent(s) contracted to perform **structural** wood-framing, plumbing, HVAC, electrical or roofing work, **MUST BE** licensed contractors in accordance with the regulation of the City of Fort Collins.

I understand that failure to comply with any of the above conditions may result in revocation of any permits associated with the above Permit Application number, forfeiture of any fees that have been collected, a Stop Work Order and potentially a court summons.

Sign in the presence of Notary Public

Bradley D. Blank  
Owner

The foregoing Affidavit was acknowledged before me on this 8th day of

December, 2023 (month, year) by Bradley Blank

Witness my hand and official seal  
My commission expires: \_\_\_\_\_

[Signature]  
Notary Public

CORINA HARTZOG  
Notary Public  
State of Colorado  
Notary ID # 20174008848  
My Commission Expires 02-27-2025

\*nonstructural construction, alterations, and/or repairs of less than \$2000 are exempt from this requirement.



**New Construction Building Permit Fee Form**

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

**Required for permit submittal - Fill out the following table:**

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
B (Business)		x	\$0.50	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.35	
I (Institutional)		x	\$0.50	
M (Mercantile)		x	\$0.40	
R-1 (Hotel)		x	\$0.35	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)		x	\$0.65	
R-4 (Assisted Living)		x	\$0.55	
S (Storage)		x	\$0.40	
U (Utility)	816	x	\$0.40	\$326.40
H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
<b>Total</b>				

\*\*\*\*Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.\*\*\*\*

For additions that include interior remodel: please provide addition square footage above and remodel only valuation here \_\_\_\_\_.

Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

**For New Multi-family buildings fill out the following:**

- Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
  - Yes - there are other functions/occupancy areas. *Required: list each in the table above*
  - No - only dwelling units
- Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
  - Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
  - No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.

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970.372.0965 Phone/Fax  
info@tomlinsondesigns.com

www.tomlinsondesigns.com

PROJECT: 2222  
DRAWN BY: ST, SA  
CHECKED BY: ST  
ISSUE DATE: 12/13/2023

REVISIONS:  
NO. DESCRIPTION DATE

GENERAL NOTES - SITE PLAN

- LICENSED SURVEYOR TO STAKE LOT AND HOUSE. OWNERS AND BUILDER TO APPROVE LAYOUT BEFORE EXCAVATION.
- SOLID CONTOUR LINES INDICATE PROPOSED GRADING, FINAL GRADING WILL BE VERIFIED ON SITE WITH OWNERS.
- ALL GRADES ON ANY PORTION OF THE LOT SHALL HAVE A MINIMUM SLOPE OF 2%. VERIFY IN FIELD WITH FINAL GRADING.
- ALL RUNOFF SHOULD FLOW AWAY FROM ALL STRUCTURES, A MINIMUM OF 10% IN THE FIRST FIVE FEET. VERIFY IN FIELD WITH FINAL GRADING.
- ALL GROUND ELEVATIONS SHALL BE A MINIMUM OF 6" BELOW THE TOP OF FOUNDATION. VERIFY IN FIELD WITH FINAL GRADING.
- CONTRACTOR TO VERIFY AND DISCREPANCIES WITH TOP OF FOUNDATION HEIGHTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
- ALL CONCRETE AND PAVED SURFACES ARE FOR REFERENCE ONLY. FINAL DECISION WILL BE MADE BY OWNER, CONTRACTOR, DESIGNER, AND LANDSCAPE DESIGNER ON SITE OR PRIOR TO FINISH GRADING.

CODE SUMMARY

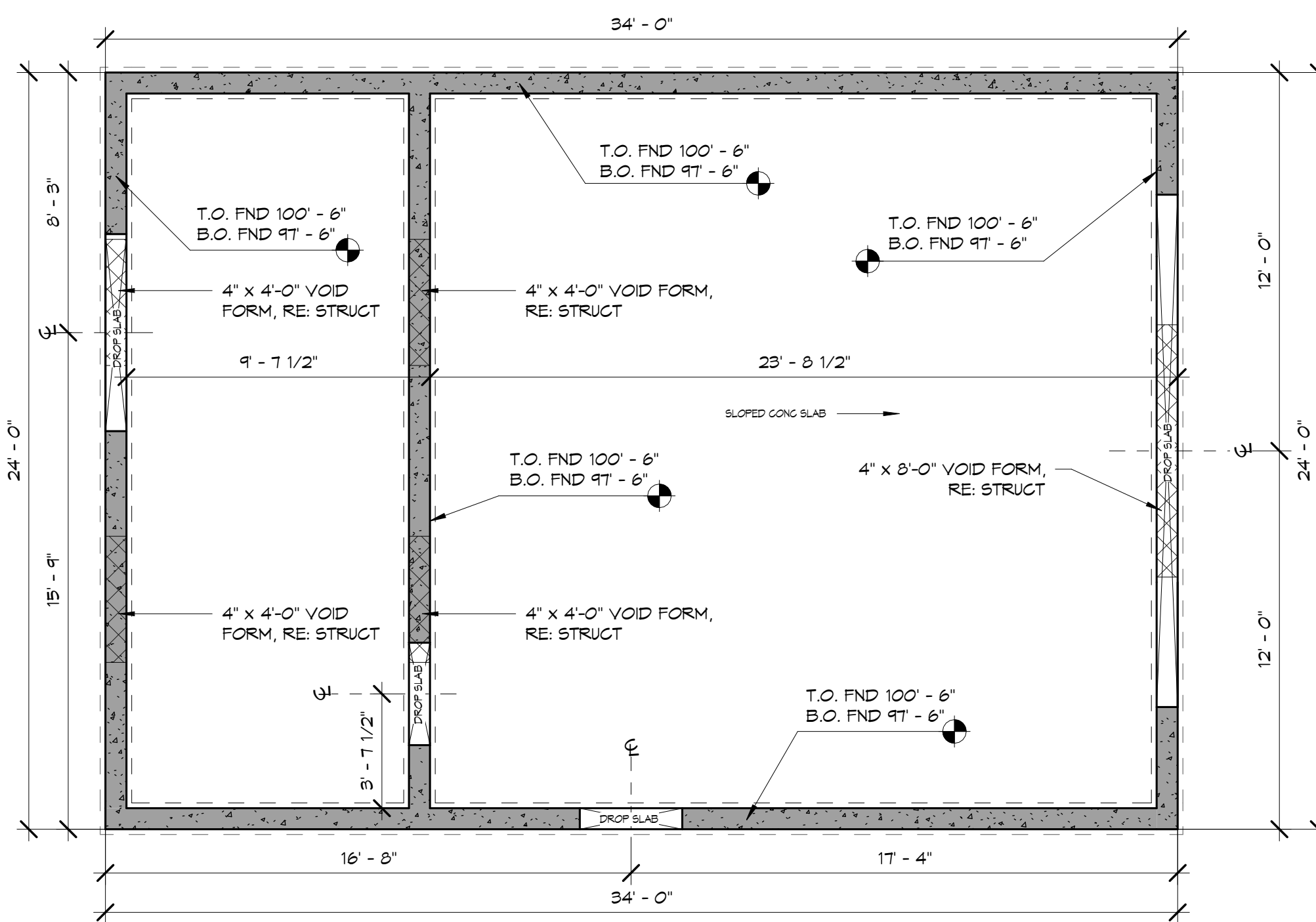
- NEIGHBORHOOD CONSERVATION, MEDIUM DENSITY DISTRICT (N-C-M)
- 4.0 (D) (2) (a) 2:  
On a lot that is between 4,000 and 10,000 SF, the allowable floor area for a single family dwelling and buildings accessory to a single family dwelling shall not exceed 25% of the lot area plus 1,000 sf  
(9,500 sf x 25% = 2,375 sf + 1,000 sf = 3,375 sf)
- 4.0 (D) (2) (a):  
The first 250 SF of a detached accessory building provided it is located behind a street-fronting principal building and is separated from such principal building by at least 10'-0"  
(3,375 sf + 250 sf = 3,625 sf)
- 4.0 (D) (3):  
The allowable floor area on the rear half of the lot shall not exceed 33% of the area of the rear 50% of the lot  
(9,500 / 2 = 4,750 x 33% = 1,567.5 sf)
- 4.0 (D) (6): Maximum Square Footage: 600 SF
  - 4.0 (E) (b) (d): Non-Habitable building height maximum: 20'-0"
  - 4.0 (E) (b) (b): Maximum wall height along side lot lines: 10'-0"

GENERAL NOTES - FOUNDATION PLAN

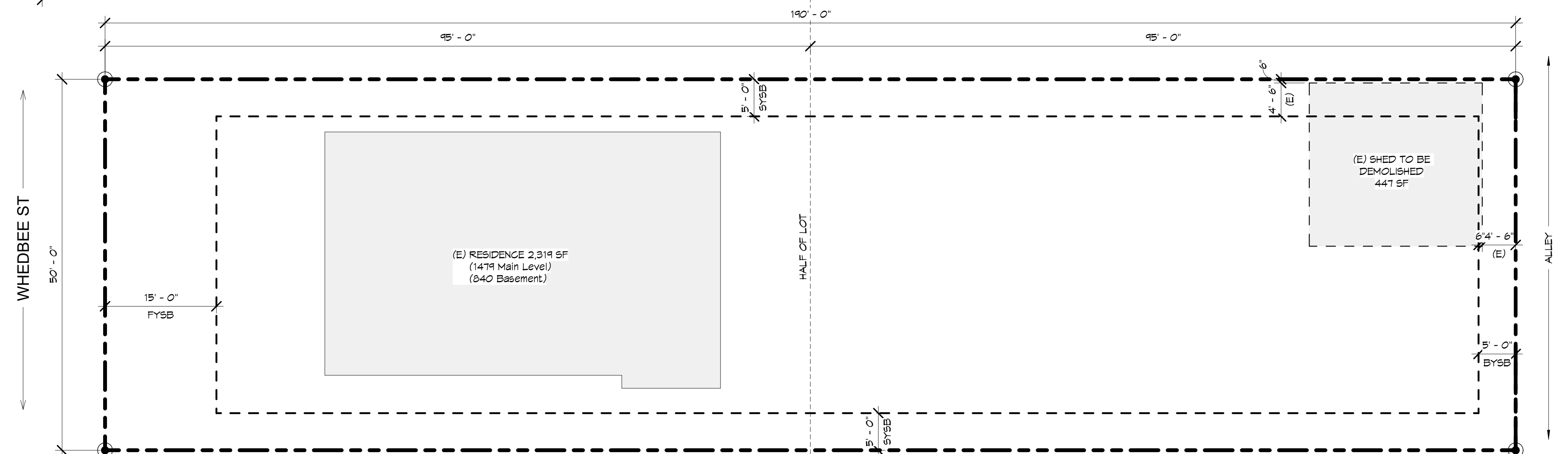
- 100'-0" EQUALS T.O. CONC SLAB AT HIGH POINT
- REFER TO CIVIL FOR T.O. FND., LOT CORNER ELEVATIONS & DRAINAGE PLAN
- REFER TO STRUCTURAL DRAWINGS FOR ALL MEMBER SIZES, CONNECTIONS AND DETAILS
- THIS SHEET IS FOR FOUNDATION HEIGHTS REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBS TO REVIEW AND COMPARE TO ACTUAL SITE CONDITIONS, GEOTECH REPORT, AND STRUCTURAL PLANS

Gross Building Area	
Name	Area
Demo	
(E) Shed to be Removed	447 SF
	447 SF
Garage	
Proposed Unconditioned Garage	569 SF
Proposed Conditioned Storage	247 SF
	816 SF
House	
(E) Main Level	1479 SF
	1479 SF

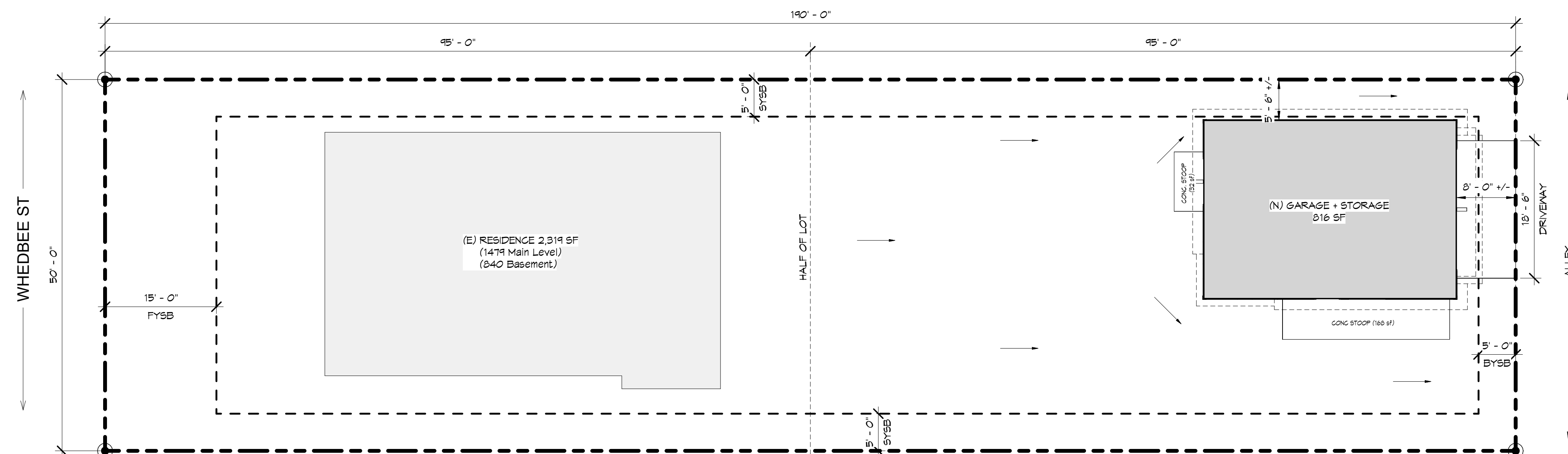
\*\* VARIANCE APPROVAL FOR EXTRA 216 SF HAS BEEN RECORDED \*\*



3 Foundation Plan  
Scale: 1/4" = 1'-0"



2 Demo Site Plan  
Scale: 1" = 10'-0"



1 Site Plan  
Scale: 1" = 10'-0"







# Blank Garage

December 13, 2023

608 Whedbee St  
Fort Collins, CO 80524

Blank Garage

608 Whedbee St  
Fort Collins, CO 80524

Permit Set

12/13/2023

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Fort Collins, CO 80524

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www.tomlinsondesigns.com

PROJECT: 2222

DRAWN BY: ST, SA

CHECKED BY: ST

ISSUE DATE: 12/13/2023

REVISIONS:

NO.	DESCRIPTION	DATE

Cover Page & Project Information

A-0

SHEET

Permit Set

### INFRASTRUCTURE & SYSTEM NOTES

**SITE INFRASTRUCTURE**

- MUNICIPAL ELECTRIC
- MUNICIPAL NATURAL GAS (NOT TO BLDG)
- MUNICIPAL WATER (NOT TO BLDG)
- MUNICIPAL WASTE WATER (NOT TO BLDG)

**MECHANICAL**

- HEAT PUMP MINI SPLIT SYSTEM FOR STORAGE AREA ONLY OF NEW BUILDING

**PLUMBING**

- N/A

**ELECTRICAL**

- TBD (CURRENT EXISTING SERVICE TO BUILDING AREA, UPDATE TO CODE)



### PROJECT INFORMATION

#### PROJECT DATA

**OWNER**  
MELISSA & BRAD BLANK  
608 WHEDBEE ST  
FORT COLLINS, CO 80524

**CONTRACTOR**  
TBD

#### DESIGNER

TOMLINSON DESIGNS, INC.  
141 S. COLLEGE AVE, STE 102  
FORT COLLINS, CO 80524  
970.372.0965 PHONE  
866.353.5225 FAX  
sean@tomlinsondesigns.com

#### STRUCTURAL ENGINEER

TD STRUCTURAL ENGINEERING, INC.  
2909 OXFORD COURT  
FORT COLLINS, CO 80525  
970.372.1140  
jordan@tdstructural.com

#### PROPERTY DATA

**PROJECT ADDRESS**  
608 Whedbee St  
Fort Collins, CO 80524

**PARCEL NUMBER**  
9119214014

**LEGAL DESCRIPTION**  
LOT 14, BLK 166, FTC

#### ZONING DISTRICT

NEIGHBORHOOD CONSERVATION,  
MEDIUM DENSITY DISTRICT (N-C-M)

**HEIGHT LIMIT**  
24' - 0"

**LOT AREA**  
9,500 sf ( 0.21 acres)

**SCOPE OF WORK**  
NEW DETACHED GARAGE w/ STORAGE

#### CONSTRUCTION DATA

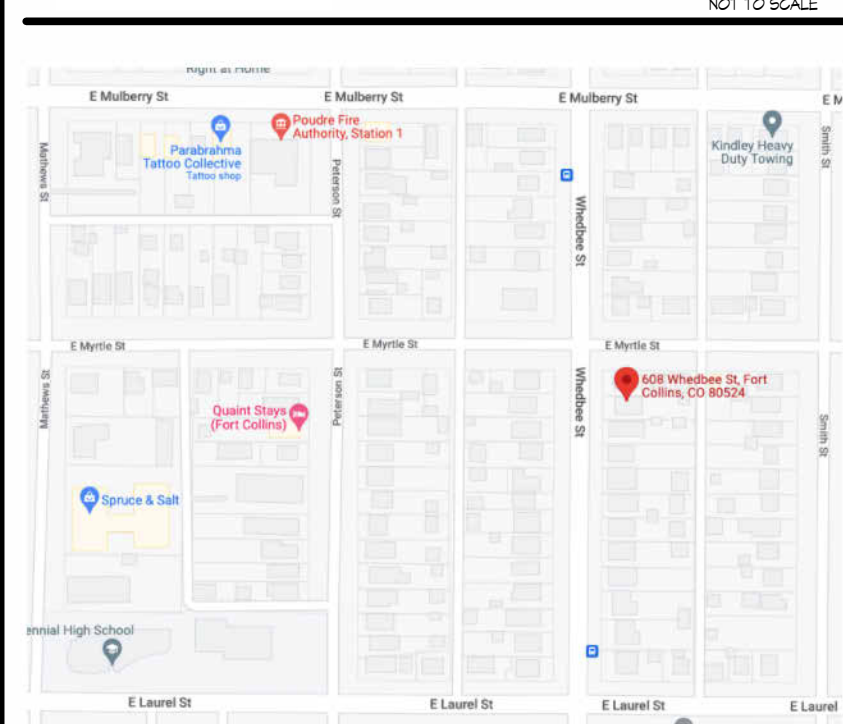
Gross Building Area	
Name	Area
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Proposed Unconditioned Garage	247 SF
Proposed Conditioned Storage	016 SF
House	1479 SF
(E) Main Level	1479 SF

\*\* VARIANCE APPROVAL FOR EXTRA 216 SF HAS BEEN RECORDED \*\*

### DRAWING INDEX

Design Drawings	
Sheet Number	Sheet Name
A-0	Cover Page & Project Information
A-1	Site Plan & Foundation Plan
A-2	Floor Plan, Roof Plan, RCP & Schedules
A-3	Exterior Elevations
A-4	Building Sections, & Connection Details
A-5	Wall Sections & Opening Details

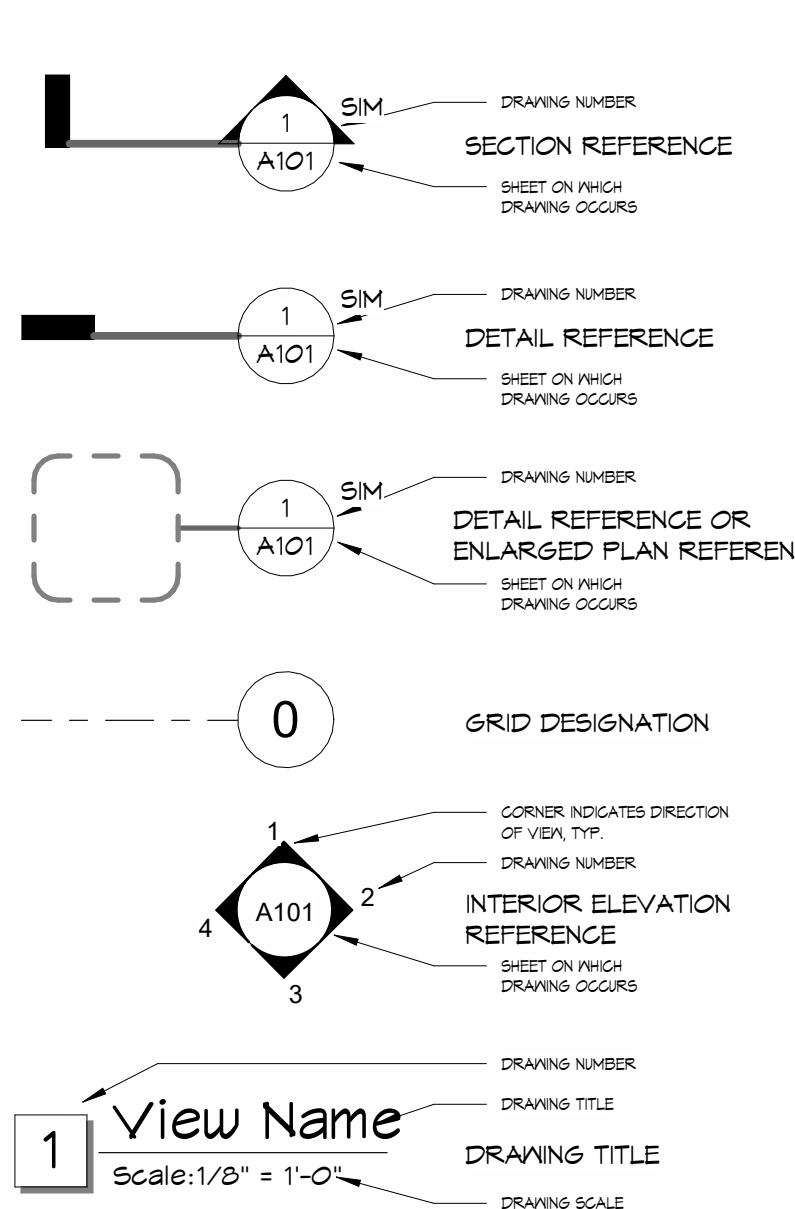
### VICINITY MAP



### GENERAL NOTES

- ALL WORK TO COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE AND PROJECT LOCATION COUNTY/CITY LAND USE CODE WITH AMENDMENTS.
- ALL APPLICABLE CODES, ORDINANCES AND MINIMUM STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES AND SPECIFICATIONS.
- CONTRACTOR MUST CONTACT DESIGNER IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR MUST CONTACT DESIGNER IMMEDIATELY FOR ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND APPLICABLE CODES PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF/HERSELF WITH ALL ASPECTS OF THE WORK PRIOR TO CONTRACTING WITH THE OWNER TO PERFORM THE WORK.
- CONTRACTOR SHALL VERIFY CONFORMANCE OF ACTUAL SOIL CONDITIONS WITH SOILS REPORT AND DESIGN ASSUMPTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FOR THE WORK.
- GUARANTEE ON ALL MATERIALS AND WORKMANSHIP TO BE (1) YEAR FROM DATE OF COMPLETION UNLESS NOTED OTHERWISE IN CONTRACT.
- REPETITIVE FEATURES MAY BE DRAWN ONLY ONCE, BUT SHALL BE PROVIDED AS IF DRAWN IN FULL.
- DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE OR CENTERLINE OF INTERIOR COLUMNS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS AND NOTIFYING THE DESIGNER OF ANY DISCREPANCIES IN FRAMING PRIOR TO PROCEEDING WITH WORK.
- THESE DRAWINGS ARE DESIGN-BUILD IN THE AREAS OF MECHANICAL, ELECTRICAL AND PLUMBING.

### DRAFTING SYMBOLS



Room Name	ROOM MARK	101	DOOR TAG
NAME	LEVEL ELEVATION	11	WINDOW TAG
100'-0"	SPOT ELEVATION	11	WALL TAG
ND CPT	FLOOR FINISH TRANSITION	!	REVISION MARK
4:12	SLOPE DESIGNATION	1	NOTE TAG
1/6	PITCH DESIGNATION	A	ELEVATION NOTE TAG

### MATERIALS LEGEND

[Symbol]	EARTH / CONCRETE FILL	[Symbol]	ROUGH WOOD FRAMING
[Symbol]	GRAVEL / POROUS FILL	[Symbol]	ROUGH WOOD BLOCKING
[Symbol]	CONCRETE	[Symbol]	PLYWOOD
[Symbol]	CMU	[Symbol]	OSB
[Symbol]	BRICK	[Symbol]	FINISH WOOD
[Symbol]	STONE / VENEER	[Symbol]	INSULATION - BATT
[Symbol]	STEEL OR OTHER METALS	[Symbol]	INSULATION - RIGID
[Symbol]	GYPSUM BOARD / PLASTER	[Symbol]	INSULATION - SPRAY APPLIED

### ABBREVIATION LIST

A	ANCHOR BOLT	A	AND	F	FIRE ALARM	N	NEW	U	UNIFORM BUILDING CODE
AB	ANCHOR BOLT	FA	FIRE ALARM	FD	FIRE ALARM PANEL	N	NORTH	UC	UPPER CABINET
ABV	ABOVE	FD	FLOOR DRAIN	FEC	FIRE EXTINGUISHER CAB	NA	NOT APPLICABLE	UG	UNDERGROUND
A/C	AIR CONDITIONING	FECB	FIRE EXTINGUISHER CAB	FF	FINISH FLOOR	NO	NOT IN CONTRACT	UH	UNDERGROUND ELECTRICAL
ADJ	ADJUSTABLE/ADJACENT	FF	FINISH FLOOR	FIN	FINISH(ED)	NO	NUMBER	UH	UNIT HEATER
AFF	ABOVE FINISH FLOOR	FLR	FLOOR/FLOORING	FIN	FINISH(ED)	NTS	NOT TO SCALE	UNFIN	UNFINISHED
AGG	AGGREGATE	FLUR	FLOOR/FLOORING	FIN	FINISH(ED)	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
AL	ALUMINUM	FM	FLOOR MAT	FLR	FLOOR/FLOORING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
ALT	ALTERNATIVE	FND	FOUNDATION	FLUR	FLOOR/FLOORING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
APPR	APPROXIMATE(LY)	FOC	FACE OF CONCRETE	FM	FLOOR MAT	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
ARCH	ARCHITECTURAL	FOF	FACE OF FINISH	FOC	FACE OF CONCRETE	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
ASPH	ASPHALT	FOM	FACE OF MASONRY	FOF	FACE OF FINISH	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BD	BOARD	FOS	FACE OF STUD	FOM	FACE OF MASONRY	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BLDG	BUILDING	FR	FIRE RESISTANT	FOS	FACE OF STUD	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BLK	BLOCK	FRM	FRAMING	FR	FIRE RESISTANT	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BLKG	BLOCKING	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BOT	BOTTOM OF FOOTING	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BOM	BOTTOM OF MASONRY	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BOS	BOTTOM OF STEEL	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BOT	BOTTOM	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BOY	BOTTOM OF WALL	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BRK	BEARING	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BRKT	BRAKET	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BS	BACKSPLASH	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BSMT	BASEMENT	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR
BTM	BETWEEN	FRM	FRAMING	FRM	FRAMING	UNO	UNLESS NOTED OTHERWISE	UV	UNIT VENTILATOR

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PROJECT: 2222  
DRAWN BY: ST, SA  
CHECKED BY: ST  
ISSUE DATE: 12/13/2023

REVISIONS:  
NO. DESCRIPTION DATE

GENERAL NOTES - SITE PLAN

- LICENSED SURVEYOR TO STAKE LOT AND HOUSE. OWNERS AND BUILDER TO APPROVE LAYOUT BEFORE EXCAVATION.
- SOLID CONTOUR LINES INDICATE PROPOSED GRADING, FINAL GRADING WILL BE VERIFIED ON SITE WITH OWNERS.
- ALL GRADES ON ANY PORTION OF THE LOT SHALL HAVE A MINIMUM SLOPE OF 2%. VERIFY IN FIELD WITH FINAL GRADING.
- ALL RUNOFF SHOULD FLOW AWAY FROM ALL STRUCTURES, A MINIMUM OF 10% IN THE FIRST FIVE FEET. VERIFY IN FIELD WITH FINAL GRADING.
- ALL GROUND ELEVATIONS SHALL BE A MINIMUM OF 6" BELOW THE TOP OF FOUNDATION. VERIFY IN FIELD WITH FINAL GRADING.
- CONTRACTOR TO VERIFY AND DISCREPANCIES WITH TOP OF FOUNDATION HEIGHTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
- ALL CONCRETE AND PAVED SURFACES ARE FOR REFERENCE ONLY. FINAL DECISION WILL BE MADE BY OWNER, CONTRACTOR, DESIGNER, AND LANDSCAPE DESIGNER ON SITE OR PRIOR TO FINISH GRADING.

CODE SUMMARY

NEIGHBORHOOD CONSERVATION, MEDIUM DENSITY DISTRICT (N-C-M)

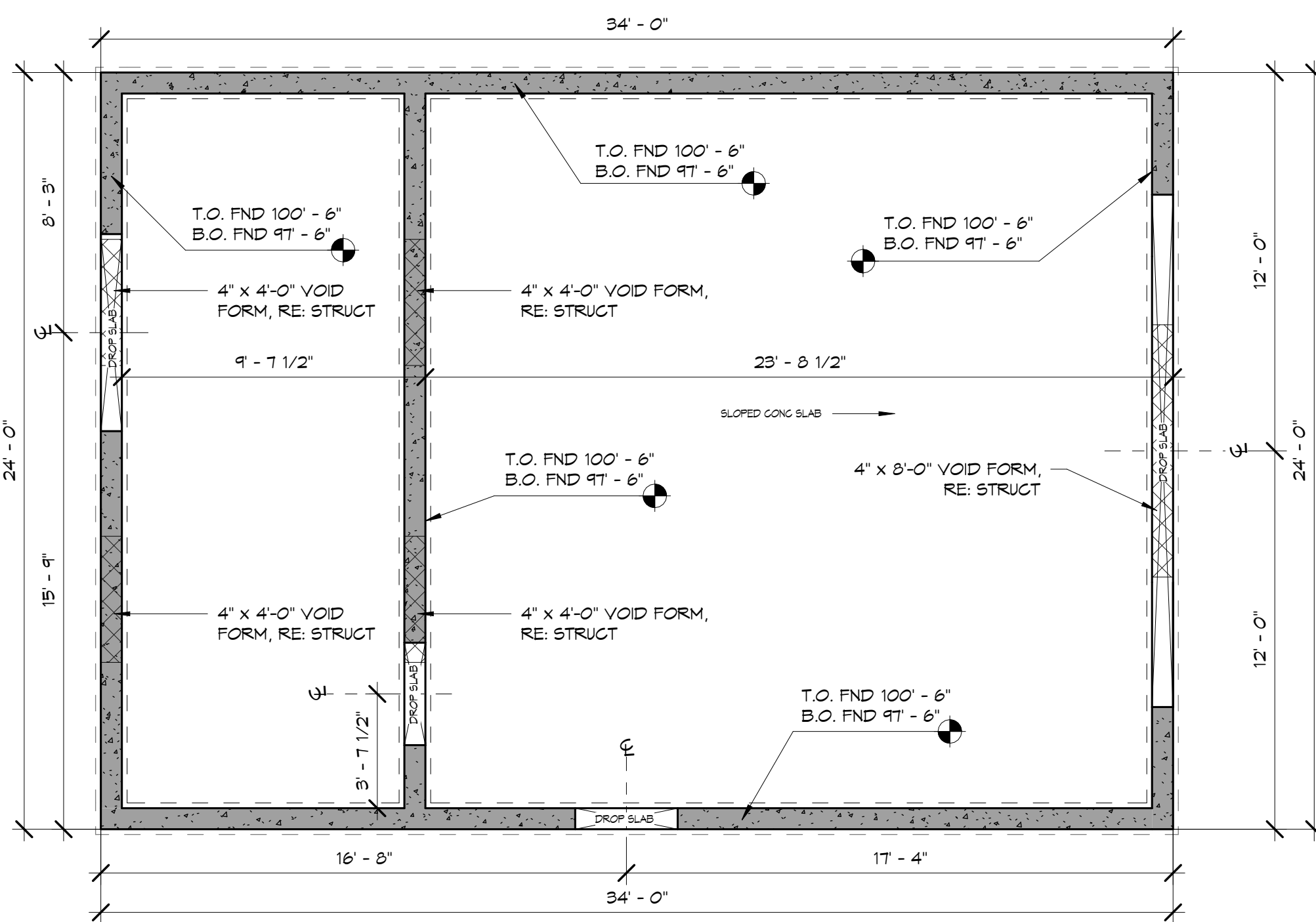
- 4.0 (D) (2) (a) 2:  
On a lot that is between 4,000 and 10,000 SF, the allowable floor area for a single family dwelling and buildings accessory to a single family dwelling shall not exceed 25% of the lot area plus 1,000 sf  
(9,500 sf x 25% = 2,375 sf + 1,000 sf = 3,375 sf)
- 4.0 (D) (2) (a):  
The first 250 SF of a detached accessory building provided it is located behind a street-fronting principal building and is separated from such principal building by at least 10'-0"  
(3,375 sf + 250 sf = 3,625 sf)
- 4.0 (D) (3):  
The allowable floor area on the rear half of the lot shall not exceed 33% of the area of the rear 50% of the lot  
(9,500 / 2 = 4,750 x 33% = 1,567.5 sf)
- 4.0 (D) (6): Maximum Square Footage: 600 SF
  - 4.0 (E) (5) (d): Non-Habitable building height maximum: 20'-0"
  - 4.0 (E) (6) (b): Maximum wall height along side lot lines: 10'-0"

GENERAL NOTES - FOUNDATION PLAN

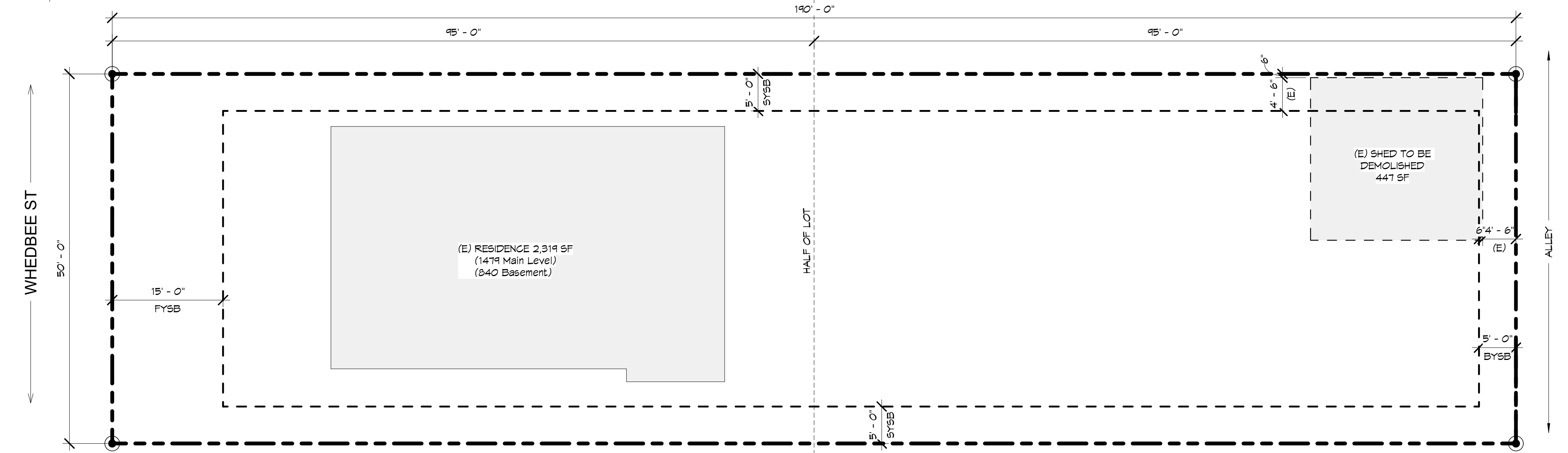
- 100'-0" EQUALS T.O. CONG SLAB AT HIGH POINT
- REFER TO CIVIL FOR T.O. FND., LOT CORNER ELEVATIONS & DRAINAGE PLAN
- REFER TO STRUCTURAL DRAWINGS FOR ALL MEMBER SIZES, CONNECTIONS AND DETAILS
- THIS SHEET IS FOR FOUNDATION HEIGHTS REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBS TO REVIEW AND COMPARE TO ACTUAL SITE CONDITIONS, GEOTECH REPORT, AND STRUCTURAL PLANS

Gross Building Area	
Name	Area
Demo	
(E) Shed to be Removed	447 SF
	447 SF
Garage	
Proposed Unconditioned Garage	569 SF
Proposed Conditioned Storage	247 SF
	816 SF
House	
(E) Main Level	1479 SF
	1479 SF

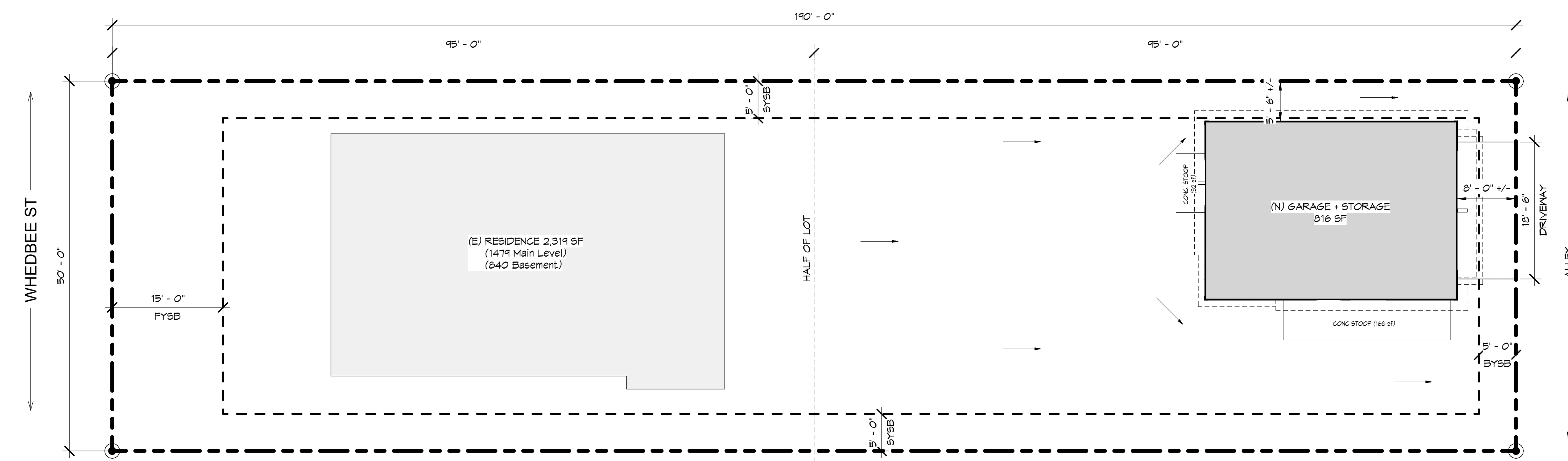
\*\* VARIANCE APPROVAL FOR EXTRA 216 SF HAS BEEN RECORDED \*\*



3 Foundation Plan  
Scale: 1/4" = 1'-0"



2 Demo Site Plan  
Scale: 1" = 10'-0"



1 Site Plan  
Scale: 1" = 10'-0"

**GENERAL NOTES - WINDOW SCHEDULE**

- REFER TO ELEVATION SHEET(S) FOR OPERATION DIRECTION ON ALL CASEMENT, AND SLIDING WINDOWS.
- REFER TO ELEVATION SHEET(S) FOR HEAD/SILL HEIGHTS WHEN NOT INDICATED ON SCHEDULE.
- DIMENSIONS ARE PROVIDED FOR BIDDING PURPOSES AND SHOULD NOT BE CONSIDERED EXACT. FIELD VERIFY ALL OPENINGS TO ENSURE CORRECT WINDOW SIZES BEFORE ORDERING.
- REFER TO WINDOW MANUFACTURERS SPECIFICATIONS FOR EXACT SIZE AND ROUGH OPENINGS.
- WINDOW HARDWARE TO BE SELECTED AT SHOP DRAWING REVIEW.

**GENERAL NOTES - DOOR SCHEDULE**

- DOOR STYLES ARE SUGGESTIONS ONLY. THE OWNER IS RESPONSIBLE FOR FINAL SELECTION OF DOOR STYLES, TRIM AND MATERIAL.
- DIMENSIONS ARE PROVIDED FOR BIDDING PURPOSES AND SHOULD NOT BE CONSIDERED EXACT. FIELD VERIFY ALL OPENINGS AND FRAME DEPTHS TO ENSURE CORRECT DOOR SIZES BEFORE ORDERING.
- REFER TO DOOR MANUFACTURERS SPECIFICATIONS FOR EXACT SIZE AND ROUGH OPENINGS.
- REFER TO FLOOR PLAN SHEET(S) FOR DOOR OPERATION/ swing.

**GENERAL NOTES - FLOOR PLAN**

- DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS. NOTIFY DESIGNER IMMEDIATELY WHEN DISCREPANCIES ARE DISCOVERED.
- INTERIOR DIMENSIONS ARE FROM FACE OF STUD, FACE OF MASONRY, OR FACE OF CONCRETE. WHERE DIMENSIONS IS NOTED "CLEAR", DIMENSION IS TO FINAL FINISH.
- PROVIDE BLOCKING AT ALL ACCESSORIES (GRAB BARS, ETC.), HARDWARE WHERE REQUIRED, WALL HUNG CABINETS, AND TV MOUNTING BRACKETS.
- IT IS THE RESPONSIBILITY OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO REVIEW ALL OF THE DRAWINGS, ESPECIALLY THE INTERIOR ELEVATIONS AND FINISH PLANS, FOR WORK UNDER THEIR RESPECTIVE CONTRACTS.

**GENERAL NOTES - RCP**

- DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS. NOTIFY DESIGNER IMMEDIATELY WHEN DISCREPANCIES ARE DISCOVERED.
- INTERIOR DIMENSIONS ARE FROM FACE OF STUD, FACE OF MASONRY, OR FACE OF CONCRETE. WHERE DIMENSIONS IS NOTED "CLEAR", DIMENSION IS TO FINAL FINISH.
- PROVIDE BLOCKING AT ALL ACCESSORIES (GRAB BARS, ETC.), HARDWARE WHERE REQUIRED, WALL HUNG CABINETS, AND TV MOUNTING BRACKETS.
- IT IS THE RESPONSIBILITY OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO REVIEW ALL OF THE DRAWINGS FOR WORK UNDER THEIR RESPECTIVE CONTRACTS.
- ONLY LIFE/SAFETY/ WELFARE ELECTRICAL ITEMS SHOWN FOR PERMIT PURPOSES. ALL OTHER ELECTRICAL SHALL COMPLY WITH LOCAL CODE/ZONING AND SHALL BE CHOSEN BY OWNER, DESIGNER, AND ELECTRICAL CONTRACTOR.
- EXTERIOR LIGHTING TO BE DONE BY CODE AT EACH EXTERIOR EXIT.
- REVIEW ALL INTERIOR AND EXTERIOR ELEVATIONS FOR LIGHT MOUNTING HEIGHTS.
- CONFIRM ALL USB OUTLETS AND LOCATIONS AT ELECTRICAL WALKTHRU
- CONFIRM ALL NON LIGHTING SYSTEM DIMMER SWITCHES AT ELECTRICAL WALKTHRU
- CONFIRM ALL FINAL PENDANT/TRACK HANGING HEIGHTS/CONFIGURATIONS w/ OWNER AND DESIGNER.

**ELECTRICAL / LIGHTING LEGEND**

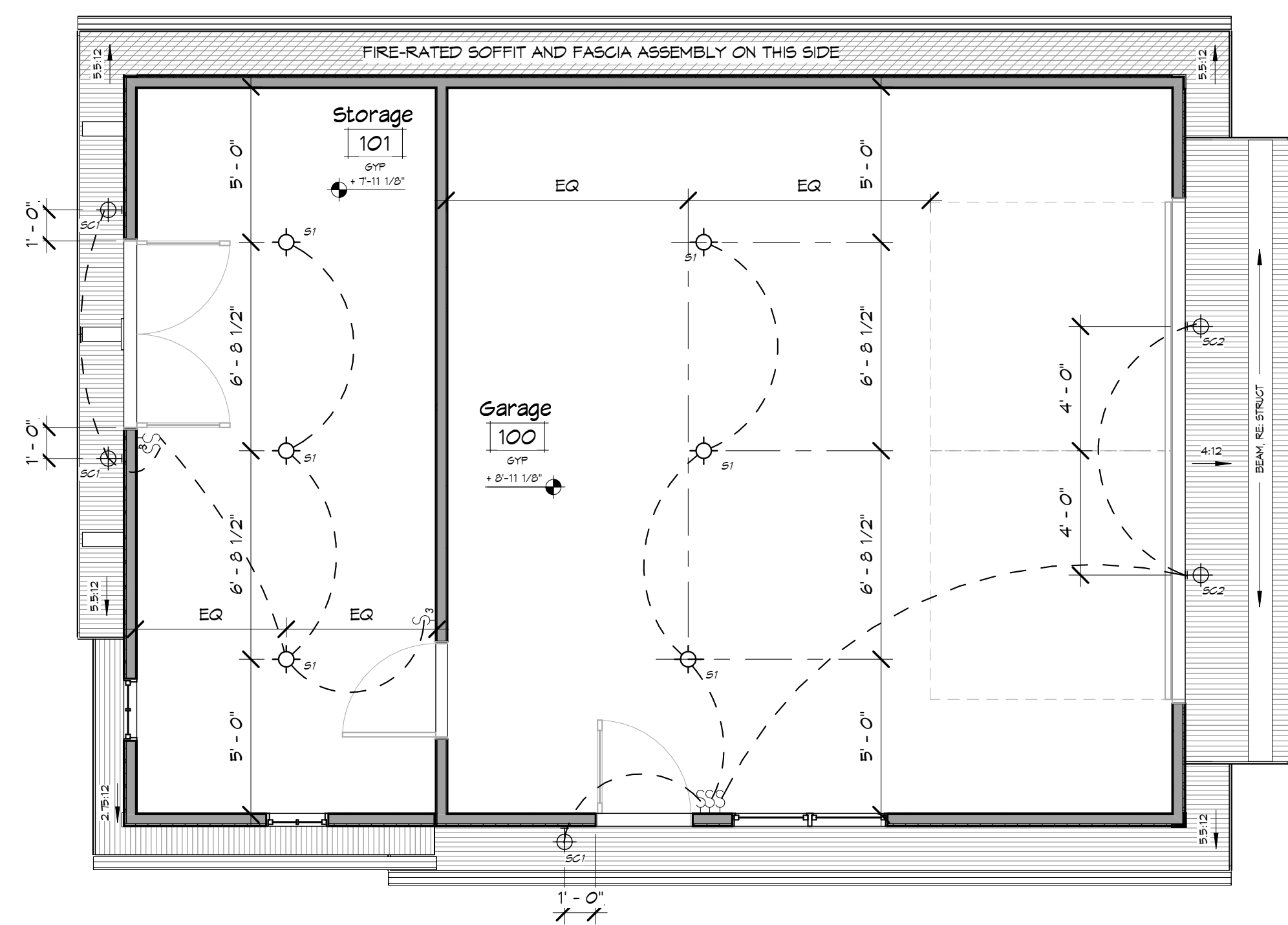
- WALL SCONCE
- CEILING MOUNTED LIGHT
- PENDANT/HANGING LIGHT
- RECESS CAN w/ TRIM
- SPOT LIGHT
- LED STRIP CLOSET LIGHT
- STRIP OR TRACK LIGHT
- EXHAUST FAN
- SMOKE/CO DETECTOR
- CEILING FAN
- OUTLET
- GROUND FAULT INTERRUPT OUTLET
- SURFACE MOUNTED OUTLET
- LIGHT SWITCH
- THREE WAY LIGHT SWITCH
- FOUR WAY LIGHT SWITCH
- DIMMER LIGHT SWITCH
- TIMMER LIGHT SWITCH
- CONTROL BOX SWITCH
- TELEPHONE OUTLET
- CABLE/SATELLITE OUTLET
- DATA/ETHERNET OUTLET

NOTE: ELECTRICAL ROUGH-IN WALK THRU w/ OWNER, CONTRACTOR, AND DESIGNER SHALL DETERMINE FINAL LOCATION AND QUANTITY OF ALL LIGHT FIXTURES, SWITCHES (AND TYPE), AND SPECIAL OUTLETS.

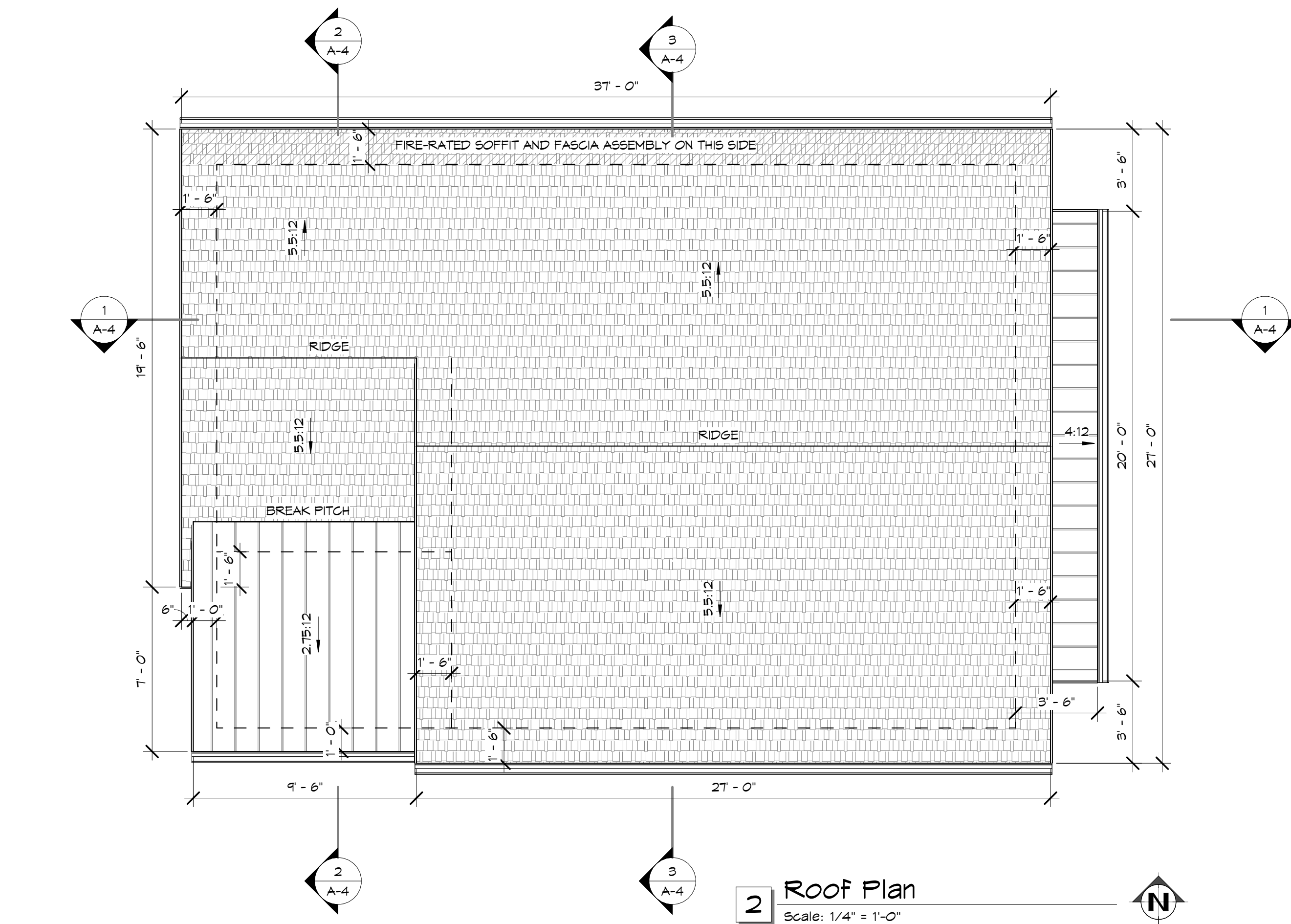
Door Schedule							
Symbol	Door Information			Finish			Comments
	Width	Height	Thickness	Material	Door	Frame	
100a	3' - 0"	7' - 0"	0' - 1 3/4"	Match (E)	Match (E)	Match (E)	20 MIN FIRE RATED
100b	3' - 0"	8' - 0"	0' - 1 3/4"	Match (E)	Match (E)	Match (E)	1/2 LITE, ENTRY DOOR
100c	16' - 0"	8' - 0"	0' - 2 1/4"	TBD	TBD	TBD	OVERHEAD DOOR
101	6' - 0"	7' - 0"	0' - 1 3/4"	Match (E)	Match (E)	Match (E)	DOUBLE FULL LITE, LEFT HAND MAIN
Total: 4							

Window Schedule							
Symbol	Count	Window Dimensions		Description	Material	Head Height	Comments
		Width	Height				
F1	2	2' - 0"	2' - 0"	2020 Fixed	MATCH (E)	7' - 0"	
S1	2	2' - 6"	4' - 6"	2640 Single Hung	MATCH (E)	8' - 0"	
Total: 4							

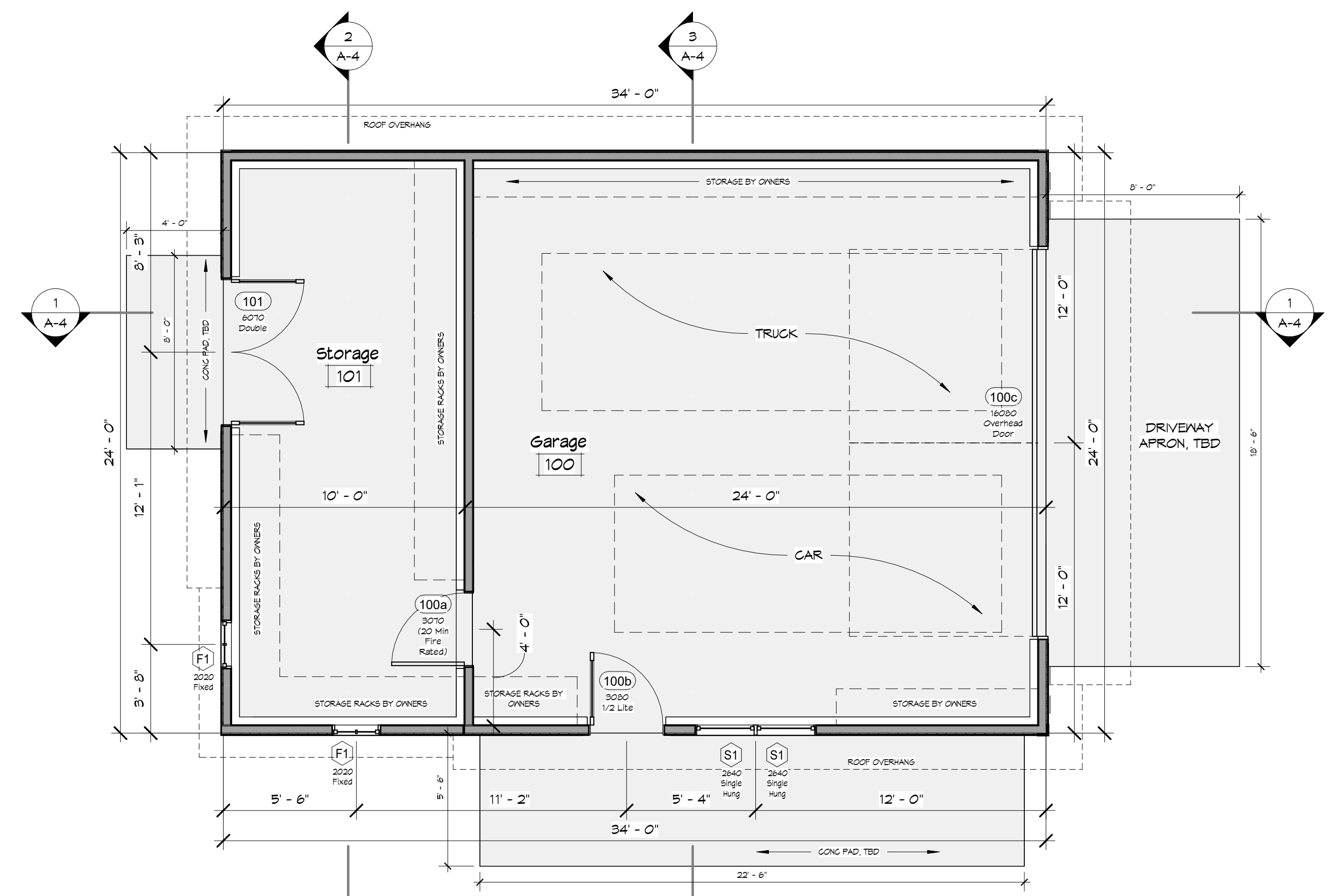
Lighting Fixture Schedule						
Type	Count	Family and Type	Manufacturer	Model	Lamp	Comments
CM1	2	Ceiling, Flush Mount: CM1	TBD	TBD	TBD	
S1	6	Ceiling, Flush Flat (square): 11"	TBD	TBD	TBD	
SC1	3	Sconce, Exterior 1: SC1	TBD	TBD	TBD	
SC2	2	Sconce, Exterior 2: SC2	TBD	TBD	TBD	
Grand total: 13						



**3 Main Level RCP**  
Scale: 1/4" = 1'-0"



**2 Roof Plan**  
Scale: 1/4" = 1'-0"



**1 Main Level Floor Plan**  
Scale: 1/4" = 1'-0"

**Blank Garage**

608 Whedbee St  
Fort Collins, CO 80524

Permit Set

12/13/2023

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PROJECT: 2222  
DRAWN BY: ST, SA  
CHECKED BY: ST

ISSUE DATE: 12/13/2023

REVISIONS:  
NO. DESCRIPTION DATE

**Floor Plan, Roof Plan,  
RCP & Schedules**

**A-2**

SHEET

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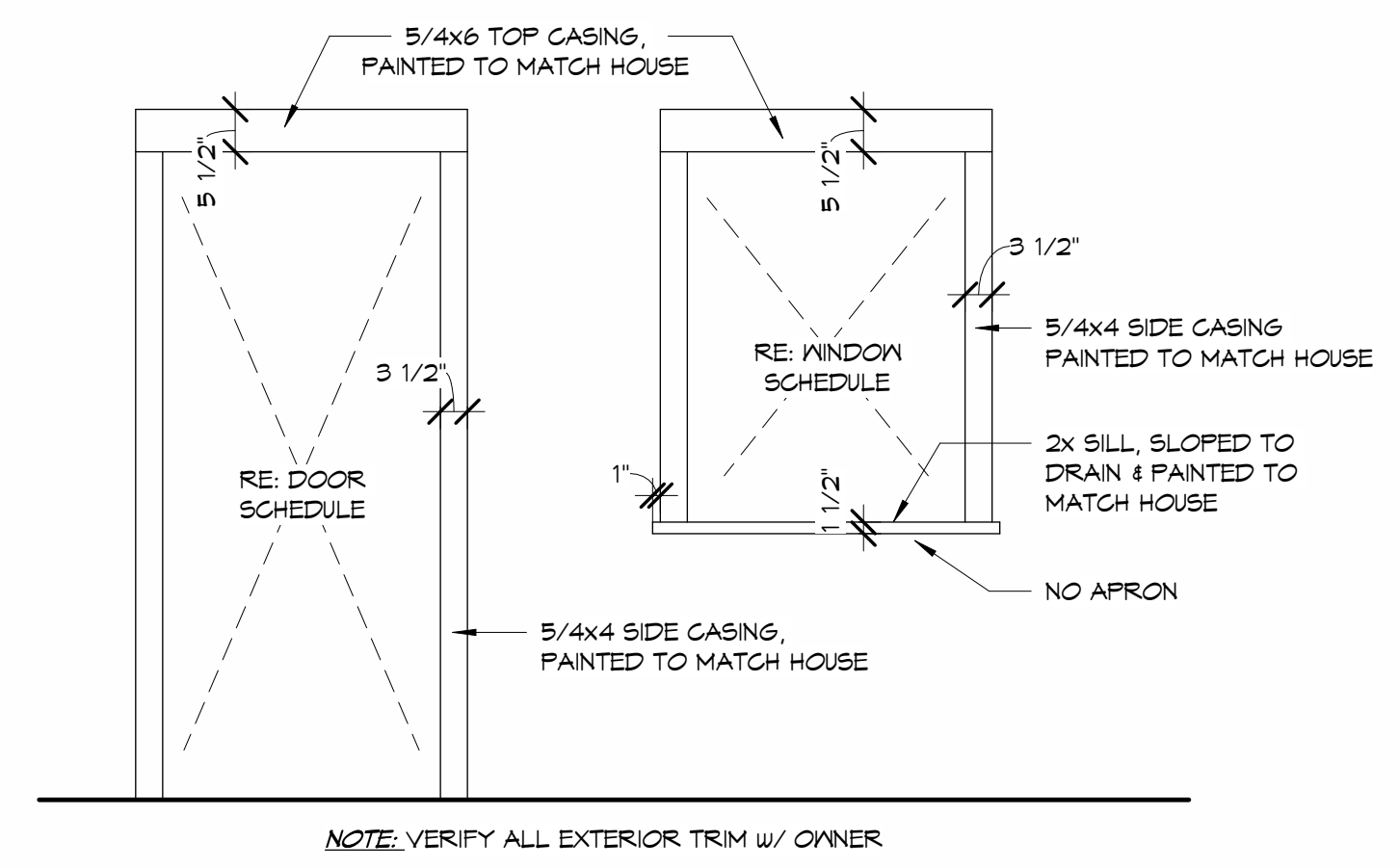
PROJECT: 2222  
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Exterior Elevations

Elevation Tag Notes				
Tag	Description	Manufacturer	Model	Install
A1	Asphalt Shingle	TBD	TBD	Asphalt shingles over (2) layer 30# roofing felt on sheathing attached to P.E. trusses, re: struct (Match house color and style)
A2	Standing Seam	TBD	TBD	Metal Standing Seam roof (warm gray color or sim) over ice & water shield on sheathing attached to P.E. trusses, re: struct
B1	Typical Fascia	LP or similar	Smartside Trim Smooth	5/4x8 UNO, over 2x subfascia and framing, painted to match house.
B2	Roof drip edge	TBD	TBD	Roof flashing/drip edge, match Fascia color.
B3	Gutters & Downspouts	TBD	TBD	Seamless gutter and downspout, match fascia color
B4	Typical Soffit	TBD	TBD	1x4 T&S wood cedar soffit, stained to match wood beams/columns, TBD
C1	Lap Siding, 4" exposure	LP or similar	Smartside Lap or similar	Engineered lap siding w/ 4" exposure (match existing house), install per manufacturer specifications. Painted to match house.
G2	Board & Batten Siding	TBD	TBD	1/2" engineered panel boards w/ 1x2 trim battens at 16" O.C. install over building wrap per manufacturer specifications. Painted to match house.
E1	Casing in Lap Siding	LP or similar	Smartside Trim Smooth	Exterior door/window casing, RE: 5/A-3, painted to match house
F1	Exterior Banding 5/4x10	LP or similar	Smartside Trim or similar	5/4x10 Exterior smooth Banding, install per manufacturer specifications, painted to match house.
F4	Corner Board in Lap Siding	LP or similar	Smartside Trim Smooth	5/4x6 Engineered smooth vertical trim, install per manufacturer specifications, painted to match house.
G1	Angled Wood Brace	TBD	TBD	6x6 angled 54S wood brace, stain TBD (Re: struct)
G2	Wood Beam	TBD	TBD	8x12 54S Wood Beam, RE: struct for connection details, stained TBD
H1	Outlook	TBD	TBD	54S decorative wood accents, RE: 4/A-5 (block above outlook to soffit). Stained TBD
M1	Stable Faux Vents	TBD	TBD	12"x18" louvered faux vents w/ casing, painted tbd



5 Typical Exterior Trim Detail  
Scale: 1/2" = 1'-0"

Door Schedule							
Symbol	Door Information			Material	Finish		Comments
	Width	Height	Thickness		Door	Frame	
Main Level							
100a	3' - 0"	T - 0"	0' - 1 3/4"	Match (E)	Match (E)	Match (E)	20 MIN FIRE RATED
100b	3' - 0"	8' - 0"	0' - 1 3/4"	Match (E)	Match (E)	Match (E)	1/2 LITE, ENTRY DOOR
100c	16' - 0"	8' - 0"	0' - 2 1/4"	TBD	TBD	TBD	OVERHEAD DOOR
101	6' - 0"	T - 0"	0' - 1 3/4"	Match (E)	Match (E)	Match (E)	DOUBLE FULL LITE, LEFT HAND MAIN
Total: 4							

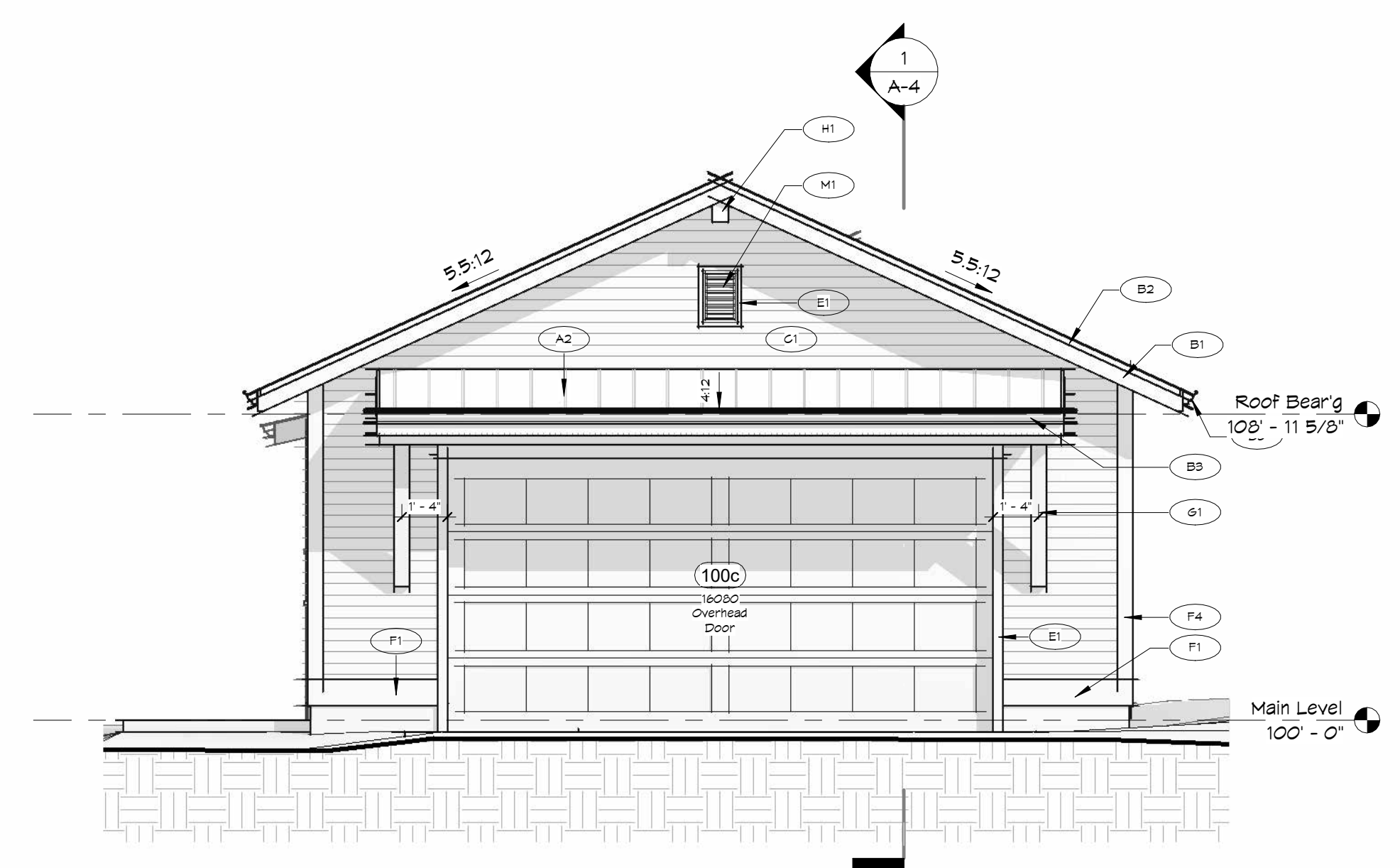
Window Schedule							
Symbol	Count	Window Dimensions		Description	Material	Head Height	Comments
		Width	Height				
F1	2	2' - 0"	2' - 0"	2020 Fixed	MATCH (E)	T - 0"	
S1	2	2' - 6"	4' - 6"	2640 Single Hung	MATCH (E)	8' - 0"	
Total: 4							

GENERAL NOTES - DOOR SCHEDULE

1. DOOR STYLES ARE SUGGESTIONS ONLY, THE OWNER IS RESPONSIBLE FOR FINAL SELECTION OF DOOR STYLES, TRIM AND MATERIAL.
2. DIMENSIONS ARE PROVIDED FOR BIDDING PURPOSES AND SHOULD NOT BE CONSIDERED EXACT. FIELD VERIFY ALL OPENINGS AND FRAME DEPTHS TO ENSURE CORRECT DOOR SIZES BEFORE ORDERING.
3. REFER TO DOOR MANUFACTURERS SPECIFICATIONS FOR EXACT SIZE AND ROUGH OPENINGS.
4. REFER TO FLOOR PLAN SHEET(S) FOR DOOR OPERATION/SWING.

GENERAL NOTES - WINDOW SCHEDULE

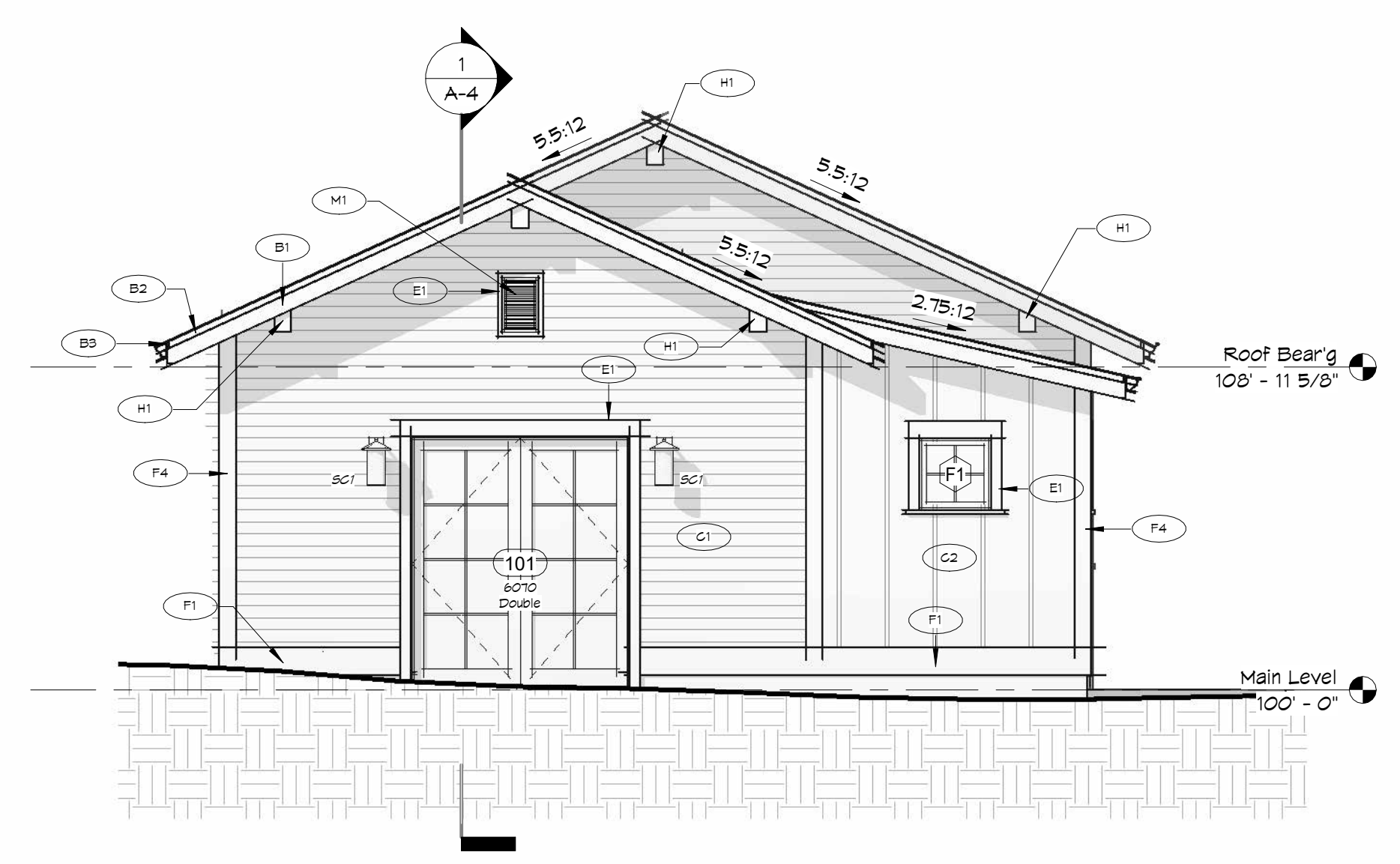
1. REFER TO ELEVATION SHEET(S) FOR OPERATION DIRECTION ON ALL CASEMENT, AND SLIDING WINDOWS.
2. REFER TO ELEVATION SHEET(S) FOR HEAD/BILL HEIGHTS WHEN NOT INDICATED ON SCHEDULE.
3. DIMENSIONS ARE PROVIDED FOR BIDDING PURPOSES AND SHOULD NOT BE CONSIDERED EXACT. FIELD VERIFY ALL OPENINGS TO ENSURE CORRECT WINDOW SIZES BEFORE ORDERING.
4. REFER TO WINDOW MANUFACTURERS SPECIFICATIONS FOR EXACT SIZE AND ROUGH OPENINGS.
5. WINDOW HARDWARE TO BE SELECTED AT SHOP DRAWING REVIEW.



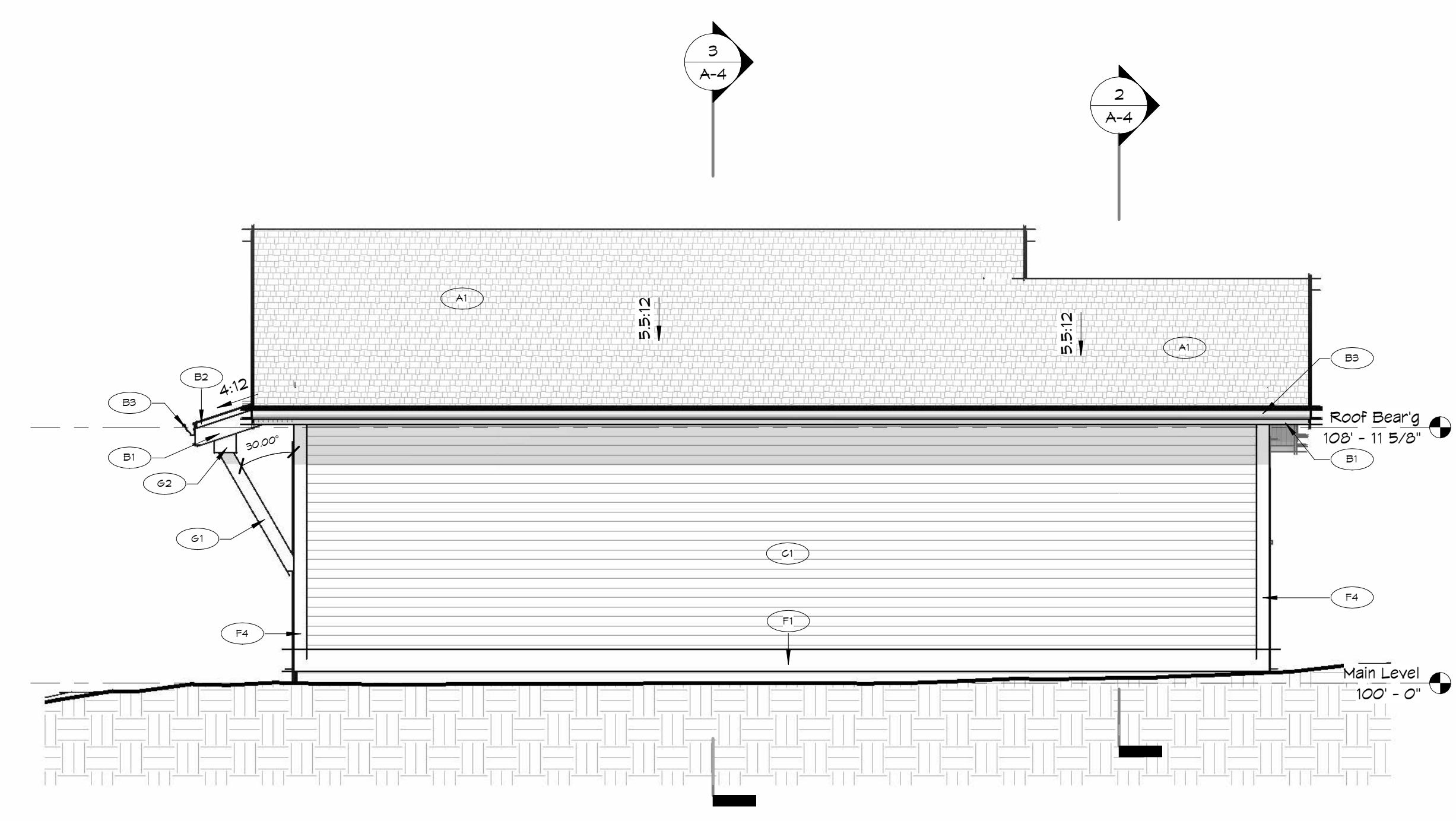
4 East Elevation  
Scale: 1/4" = 1'-0"



3 South Elevation  
Scale: 1/4" = 1'-0"



2 West Elevation  
Scale: 1/4" = 1'-0"



1 North Elevation  
Scale: 1/4" = 1'-0"

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Building Sections, &  
Connection Details

BUILDING ENVELOPE NOTES

TYPICAL ROOF SYSTEM

- P.E. TRUSSES, RE: STRUCT
- 2X RAFTERS, RE: STRUCT
- ATTIC INSULATION (PER CODE IN CONDITIONED AREAS)
- ROOF SHEATHING, RE: STRUCT
- 12 LAYERS 3/8 ROOF FELT
- ICE & WATER SHIELD FOR ALL OVERHANGS AND VALLEYS
- ASPHALT SHINGLE ROOF (MATCH EXISTING)

TYPICAL FASCIA/SOFFIT SYSTEM

- SEAMLESS CONT. GUTTER (DOWNSPUTS MATCH EXISTING)
- DRIP EDGE MATCH FASCIA COLOR
- COMPOSITE FASCIA (MATCH EXISTING), RE: EXTERIOR ELEVATIONS
- 2X SUB-FASCIA FRAMED SOFFIT FRAMING
- 1/4" FOOD SOFFIT, STAINED

TYPICAL FLOOR SYSTEM

- FINISH FLOORING (TBD)
- FLOOR SHEATHING, RE: STRUCT
- FLOOR JOISTS, RE: STRUCT
- R/R INSULATION (PER CODE IN CONDITIONED AREAS)

TYPICAL SLAB SYSTEM

- CONC SLAB ON GRADE, RE: STRUCT
- SLAB UNDERLAYMENT, RE: GEOTECH REPORT
- INSULATE CONC SLAB TO FINF PER CODE IN (CONDITIONED AREAS)

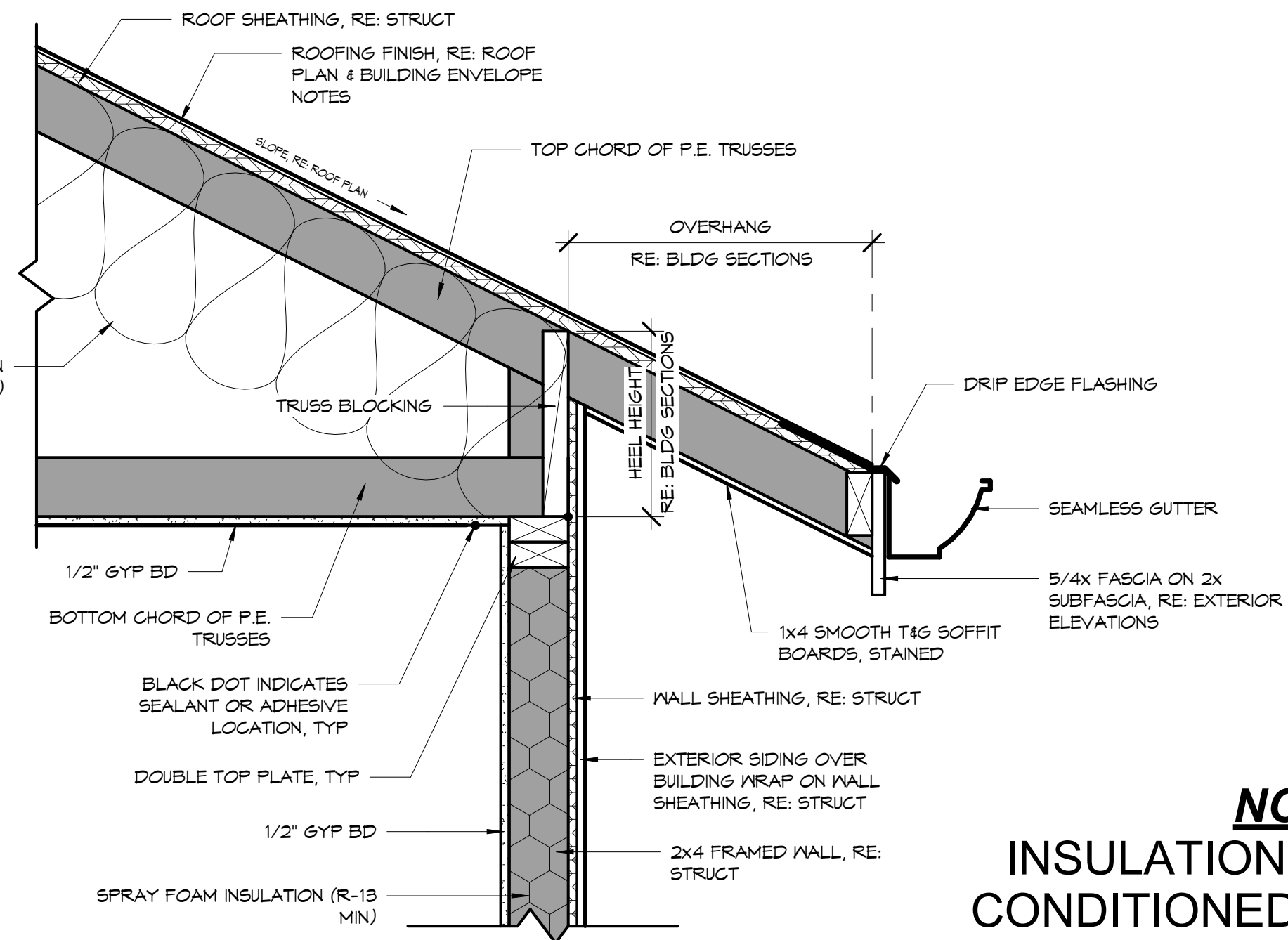
TYPICAL WALL SYSTEM

- FINISH SIDING, SEE ELEVATIONS FOR TYPE & LOCATION TO MATCH EXISTING
- BUILDING WRAP
- WALL SHEATHING, RE: STRUCT
- 2X STUDS, RE: STRUCT FOR SPACING
- WALL INSULATION (PER CODE IN CONDITIONED AREAS)
- VAPOR BARRIER
- 1/2" GYPSUM BOARD (FINISHED LOWER LEVEL)

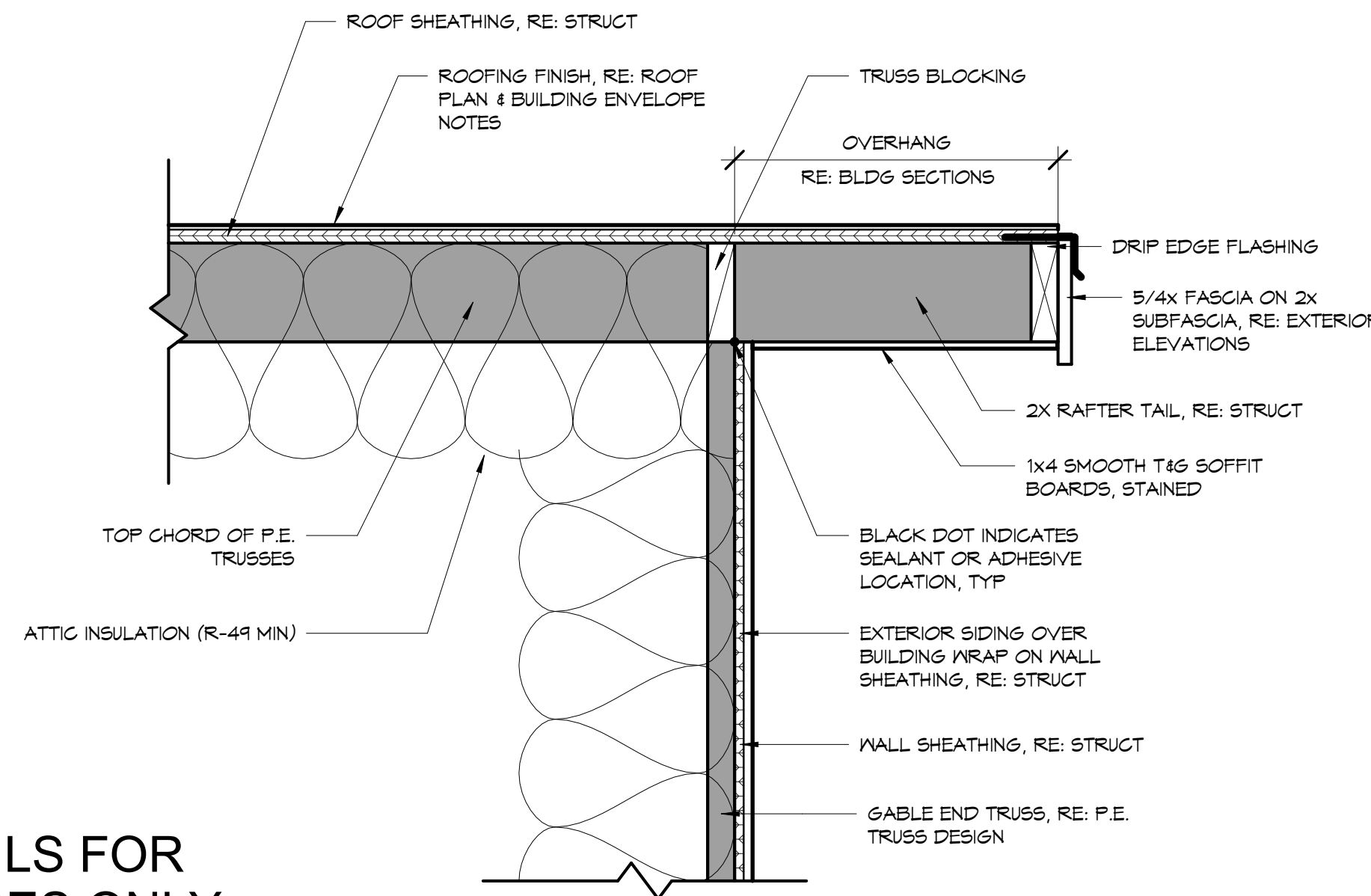
TYPICAL FOUNDATION WALL

- FINISH SIDING, SEE ELEVATIONS FOR TYPE & LOCATION TO MATCH EXISTING
- DAMP PROOFING
- CONC FND WALL, RE: STRUCT
- INSULATE CONC WALL INSULATION (PER CODE IN CONDITIONED AREAS)
- INTERIOR FINISH, TBD

NOTE: INSULATION IN 2X4 FRAMED EXTERIOR WALLS TO BE CLOSED CELL SPRAY FOAM TO CODE IN CONDITIONED AREAS

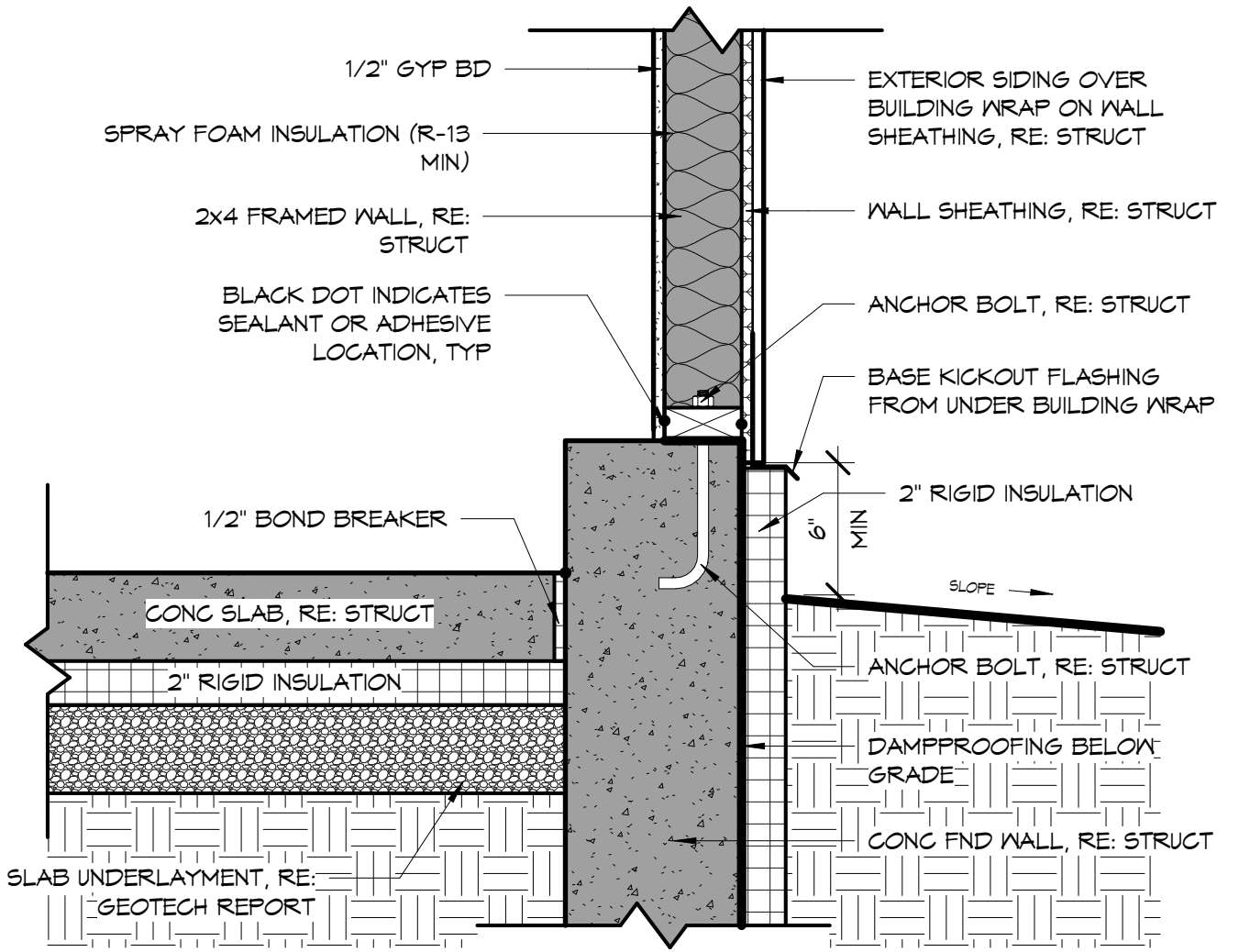


5 Detail @ Roof Eave - Raked Soffit  
Scale: 1 1/2" = 1'-0"

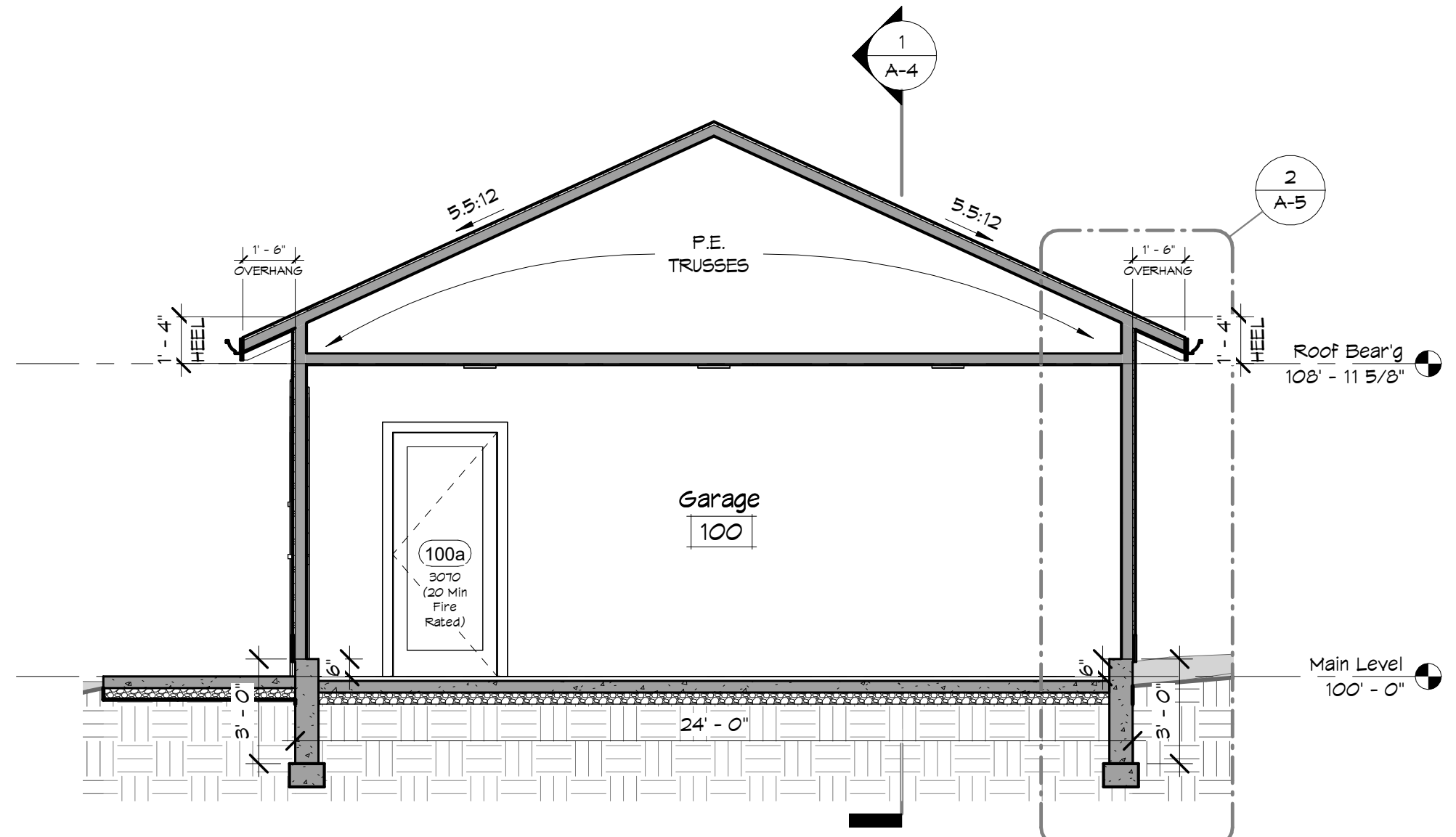


7 Detail @ Roof Gable - Truss w/ 2x Tail  
Scale: 1 1/2" = 1'-0"

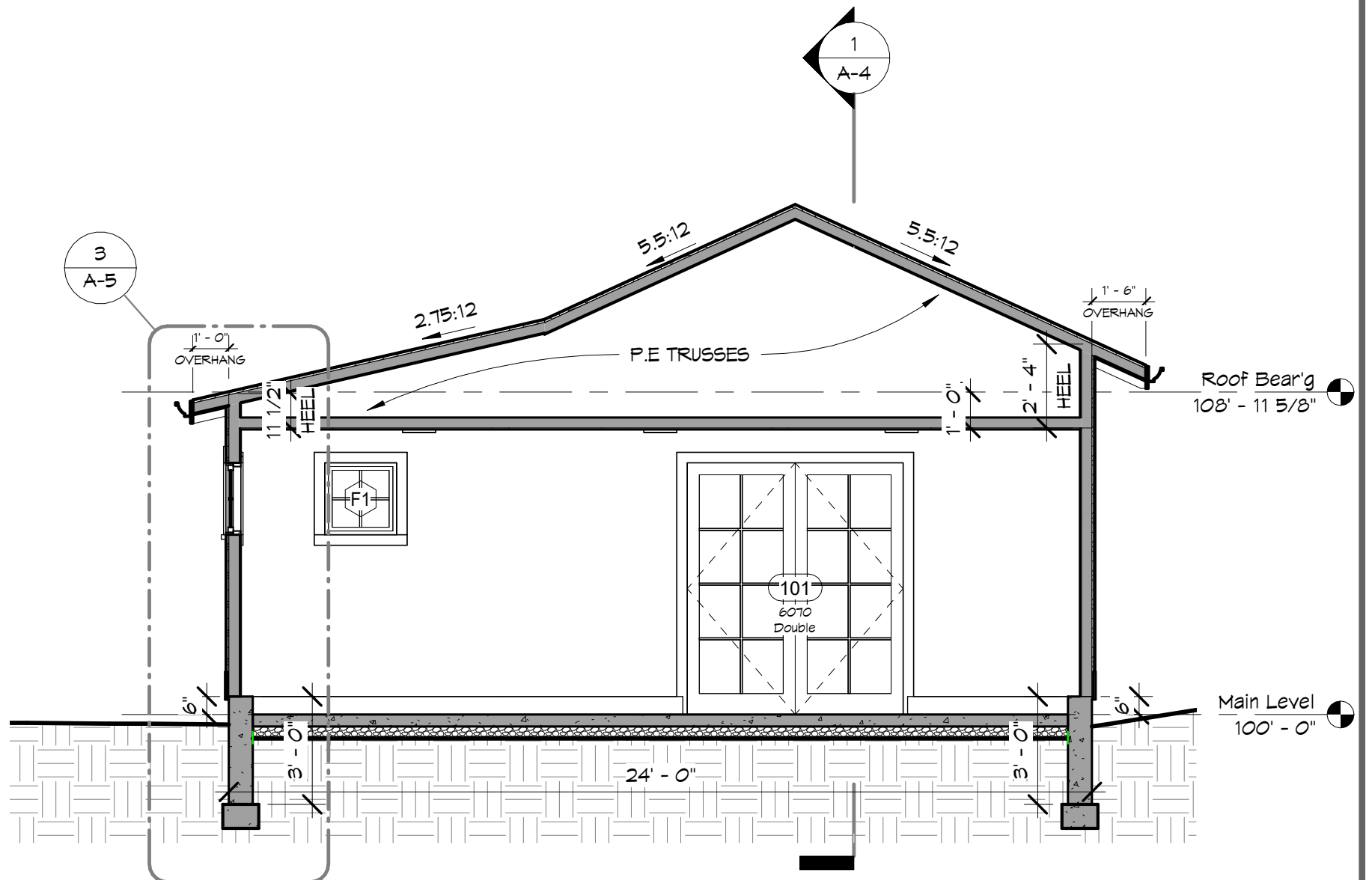
**NOTE:**  
INSULATION DETAILS FOR  
CONDITIONED SPACES ONLY



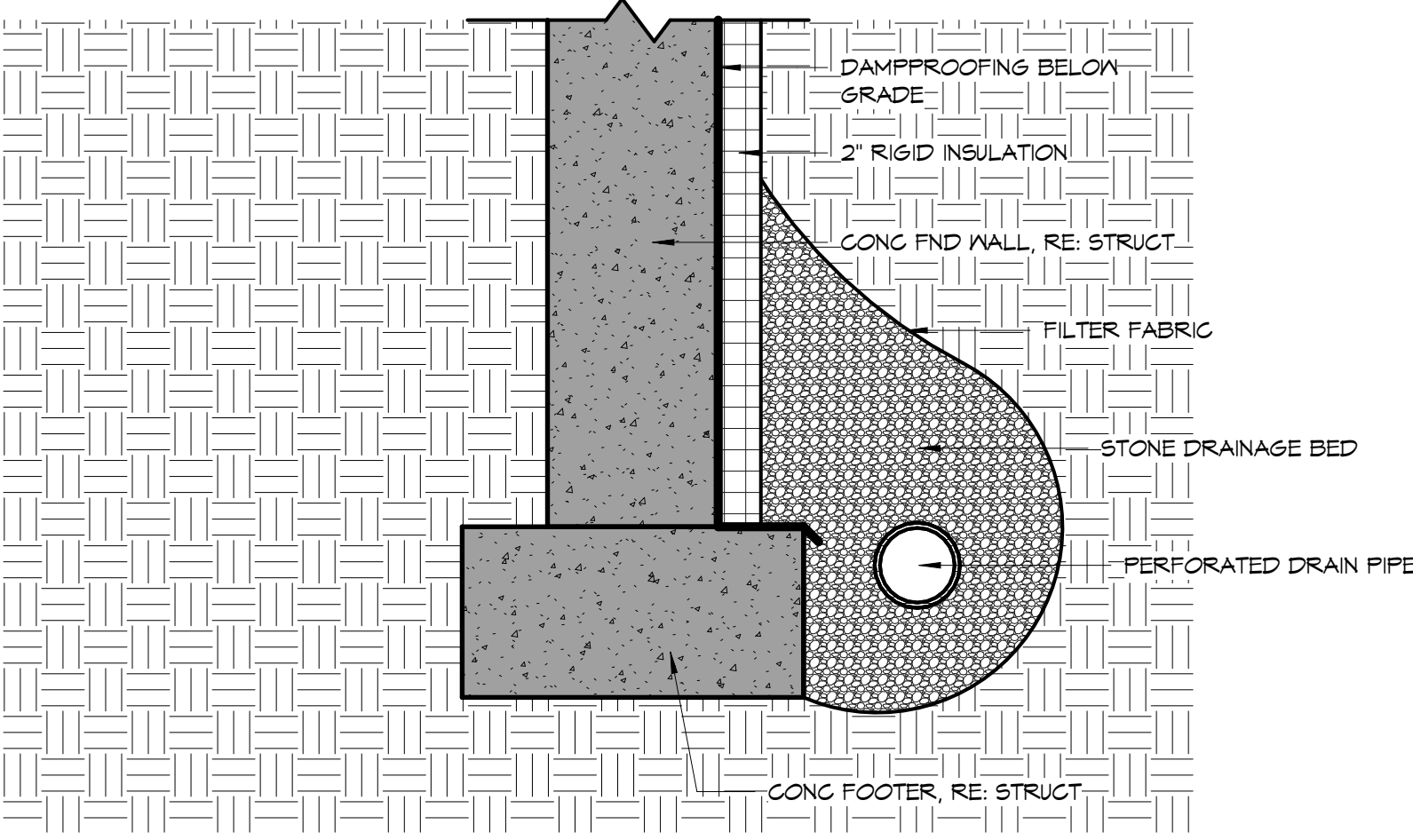
6 Detail @ Conc Slab to T.O. Fnd Wall  
Scale: 1 1/2" = 1'-0"



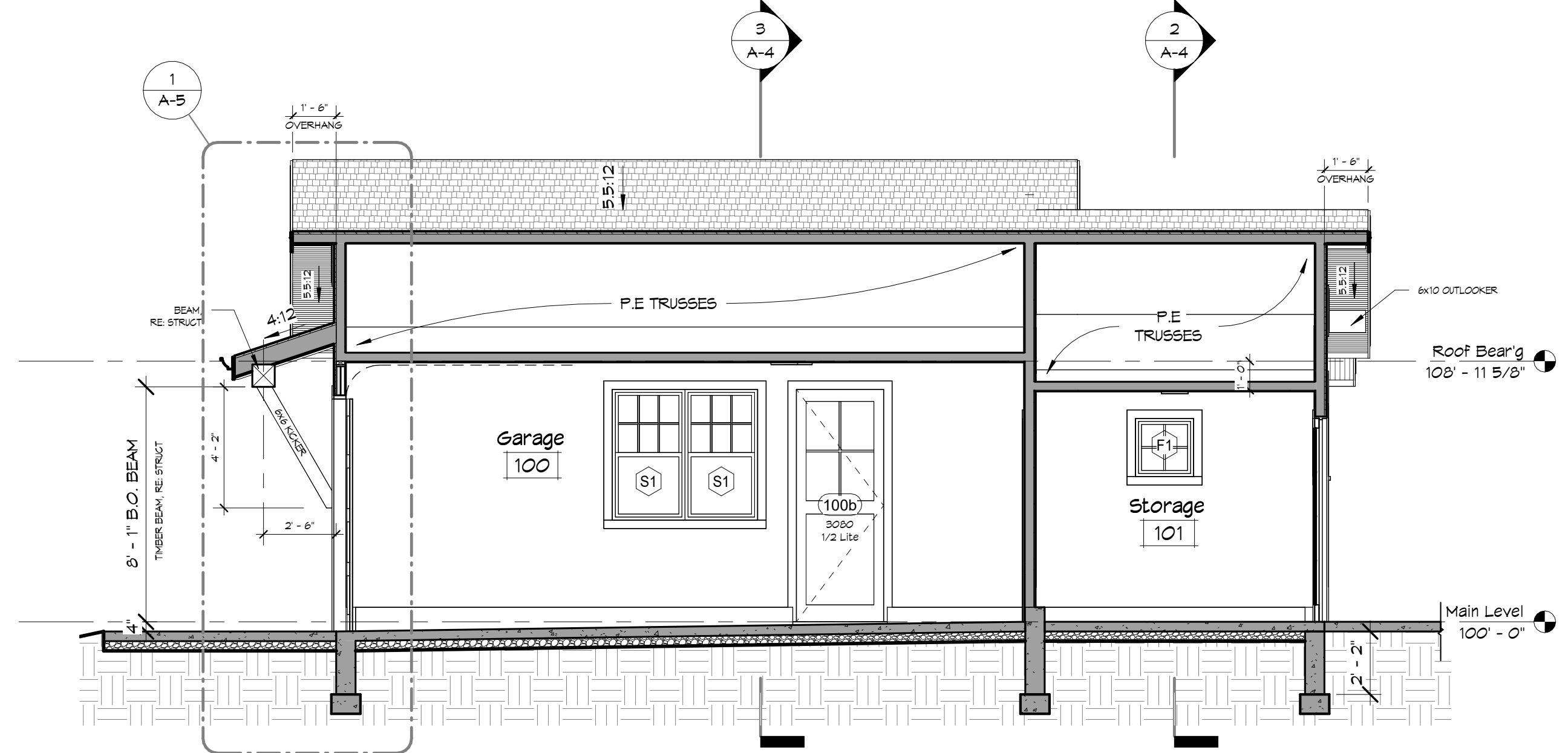
3 Building Section B  
Scale: 1/4" = 1'-0"



2 Building Section C  
Scale: 1/4" = 1'-0"



4 Detail @ Footer  
Scale: 1 1/2" = 1'-0"



1 Building Section A  
Scale: 1/4" = 1'-0"

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PROJECT: 2222  
DRAWN BY: ST, SA  
CHECKED BY: ST

ISSUE DATE: 12/13/2023

REVISIONS:  
NO. DESCRIPTION DATE

**BUILDING ENVELOPE NOTES**

**TYPICAL ROOF SYSTEM**

- P.E. TRUSSES, RE: STRUCT
- 2X RAFTERS, RE: STRUCT
- ATIC INSULATION (PER CODE IN CONDITIONED AREAS)
- ROOF SHEATHING, RE: STRUCT
- 2X LAYERS 15# ROOF FELT
- ICE & WATER SHIELD FOR ALL OVERHANGS AND VALLEYS
- ASPHALT SHINGLE ROOF (MATCH EXISTING)

**TYPICAL FASCIA/SOFFIT SYSTEM**

- SEAMLESS CONT. GUTTER & DOWNSPOUTS (MATCH EXISTING)
- Drip Edge Flashing (RE: STRUCT)
- COMPOSITE FASCIA (MATCH EXIST), RE: EXTERIOR ELEVATIONS
- 2X SUBFASCIA FRAMED SOFFIT FRAMING
- 1/4" FOOD SOFFIT, STAINED

**TYPICAL FLOOR SYSTEM**

- FINISH FLOORING (TYP)
- FLOOR SHEATHING (RE: STRUCT)
- FLOOR JOISTS (RE: STRUCT)
- RM INSULATION (PER CODE IN CONDITIONED AREAS)

**TYPICAL SLAB SYSTEM**

- CONG SLAB ON GRADE (RE: STRUCT)
- SLAB UNDERLAYMENT (RE: GEOTECH REPORT)
- INSULATE CONG SLAB TO FND (PER CODE IN CONDITIONED AREAS)

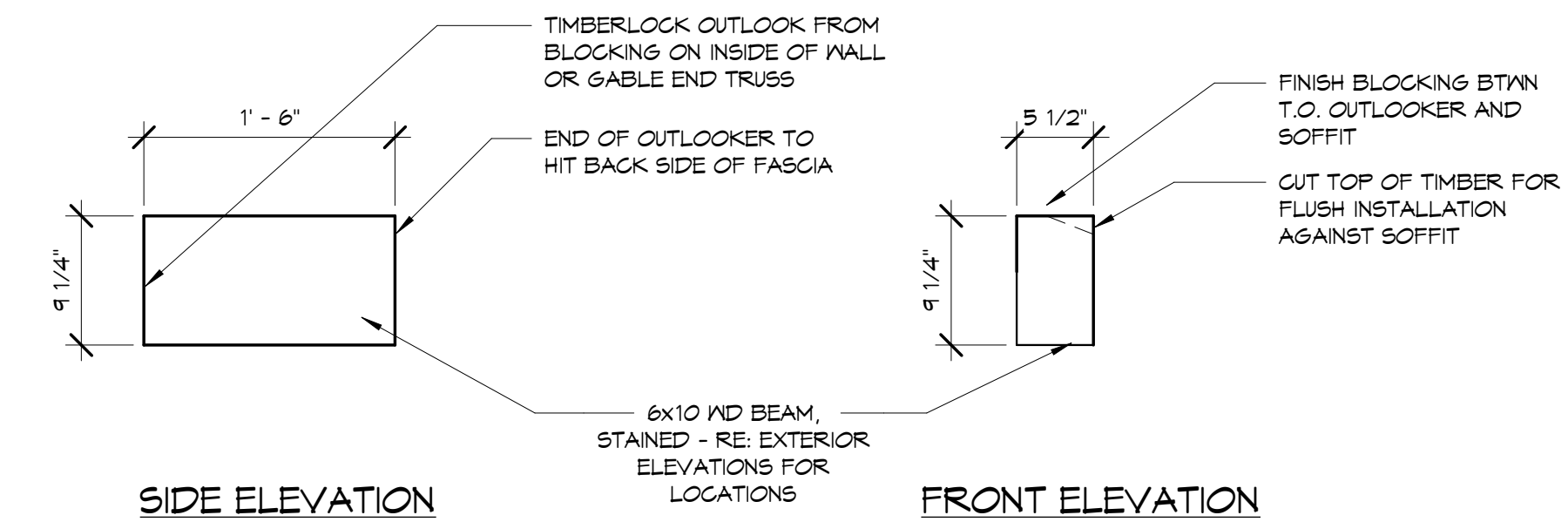
**TYPICAL WALL SYSTEM**

- FINISH SIDING, SEE ELEVATIONS FOR TYPE & LOCATION TO MATCH EXISTING
- BUILDING WRAP
- WALL SHEATHING, RE: STRUCT
- 2X STUDS, RE: STRUCT FOR SPACINGS
- WALL INSULATION (PER CODE IN CONDITIONED AREAS)
- VAPOR BARRIER
- 1/2" GYP BOARD
- INSULATION (PER CODE) OVER CONG WALLS (UNFINISHED LOWER LEVEL)

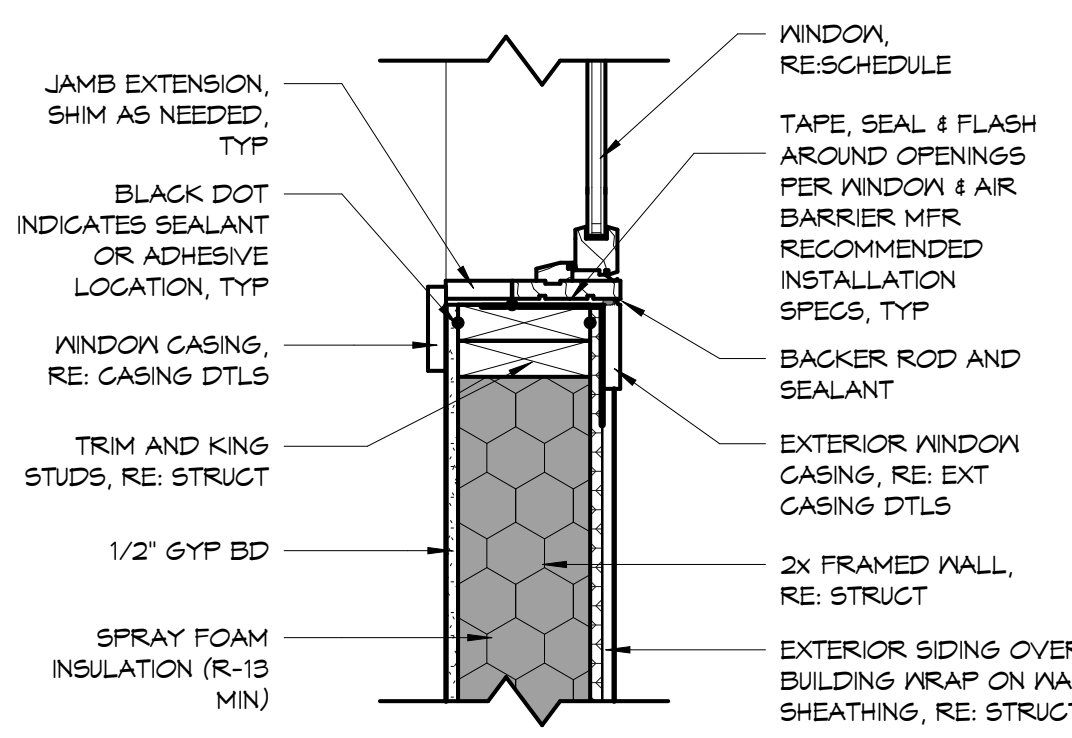
**TYPICAL FOUNDATION WALL**

- FINISH SIDING, SEE ELEVATIONS FOR TYPE & LOCATION TO MATCH EXISTING
- DAMPPROOFING
- CONG FND WALL (RE: STRUCT)
- BELOW GRADE WALL INSULATION (PER CODE IN CONDITIONED AREAS)
- INTERIOR FINISH (TYP)

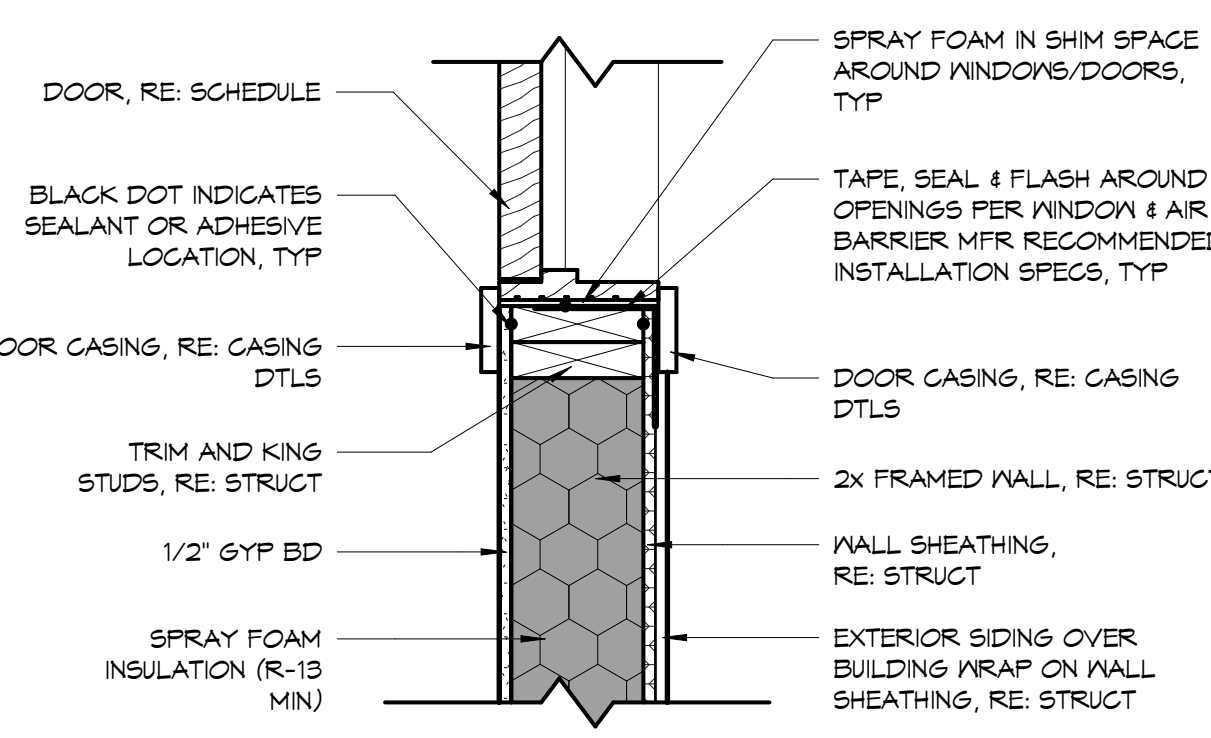
NOTE: INSULATION IN 2X4 FRAMED EXTERIOR WALLS TO BE GLOUED GEL SPRAY FOAM TO CODE IN CONDITIONED AREAS



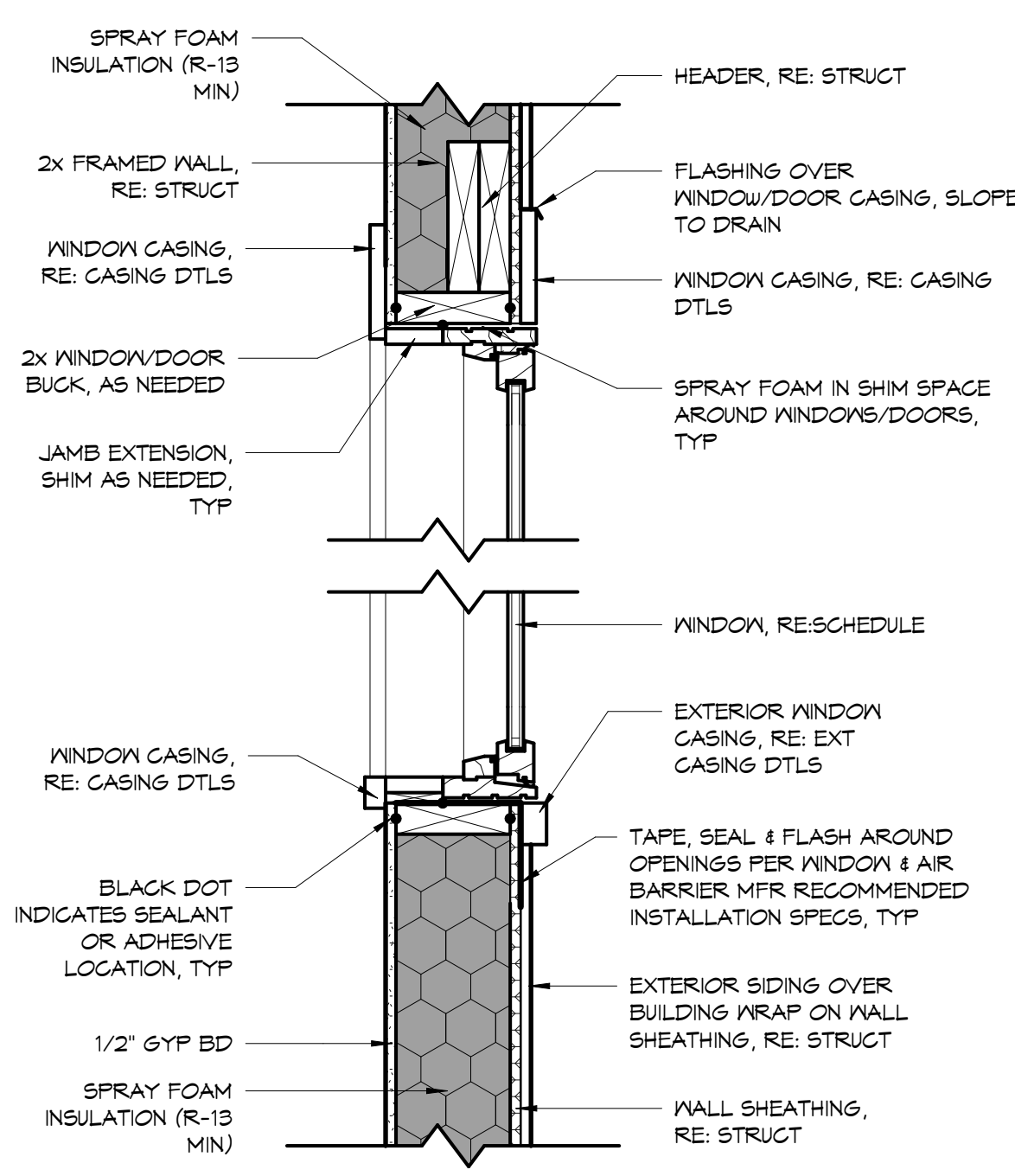
**4 Outlooker Details**  
Scale: 1" = 1'-0"



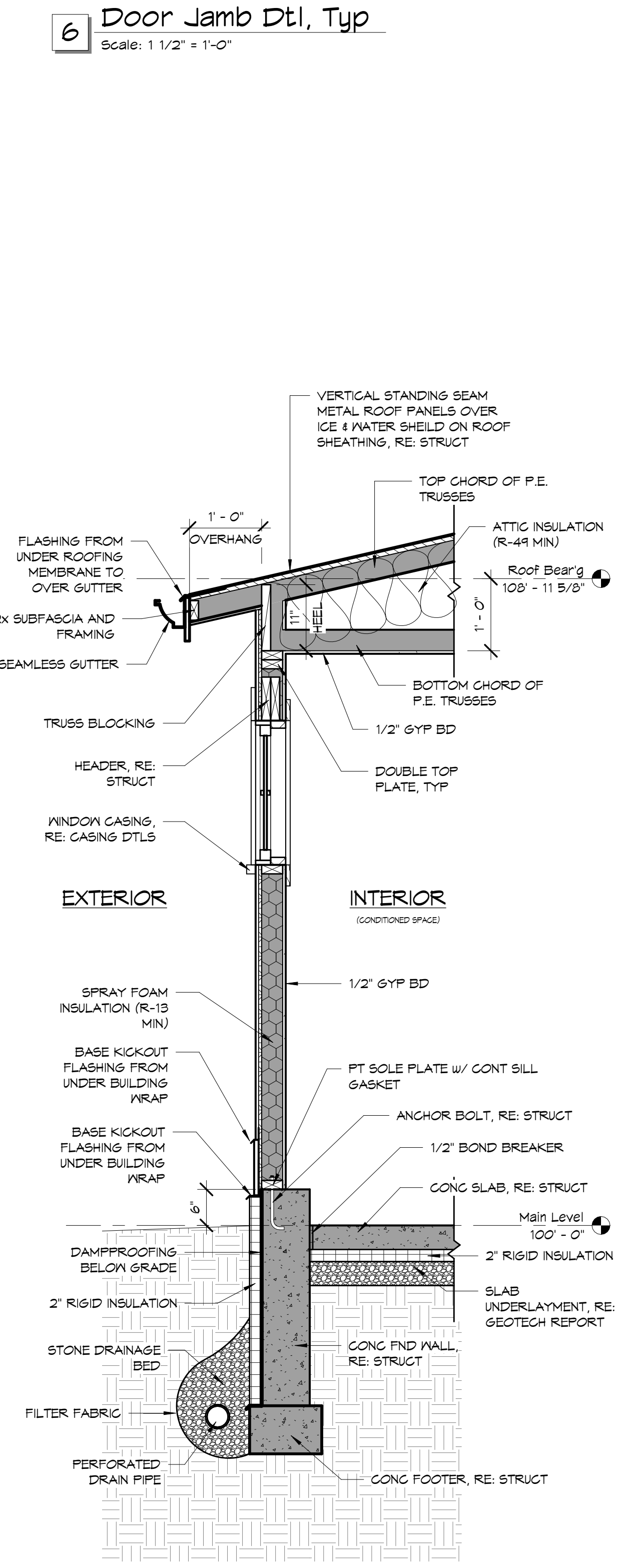
**8 Window Jamb Dtl, Typ**  
Scale: 1 1/2" = 1'-0"



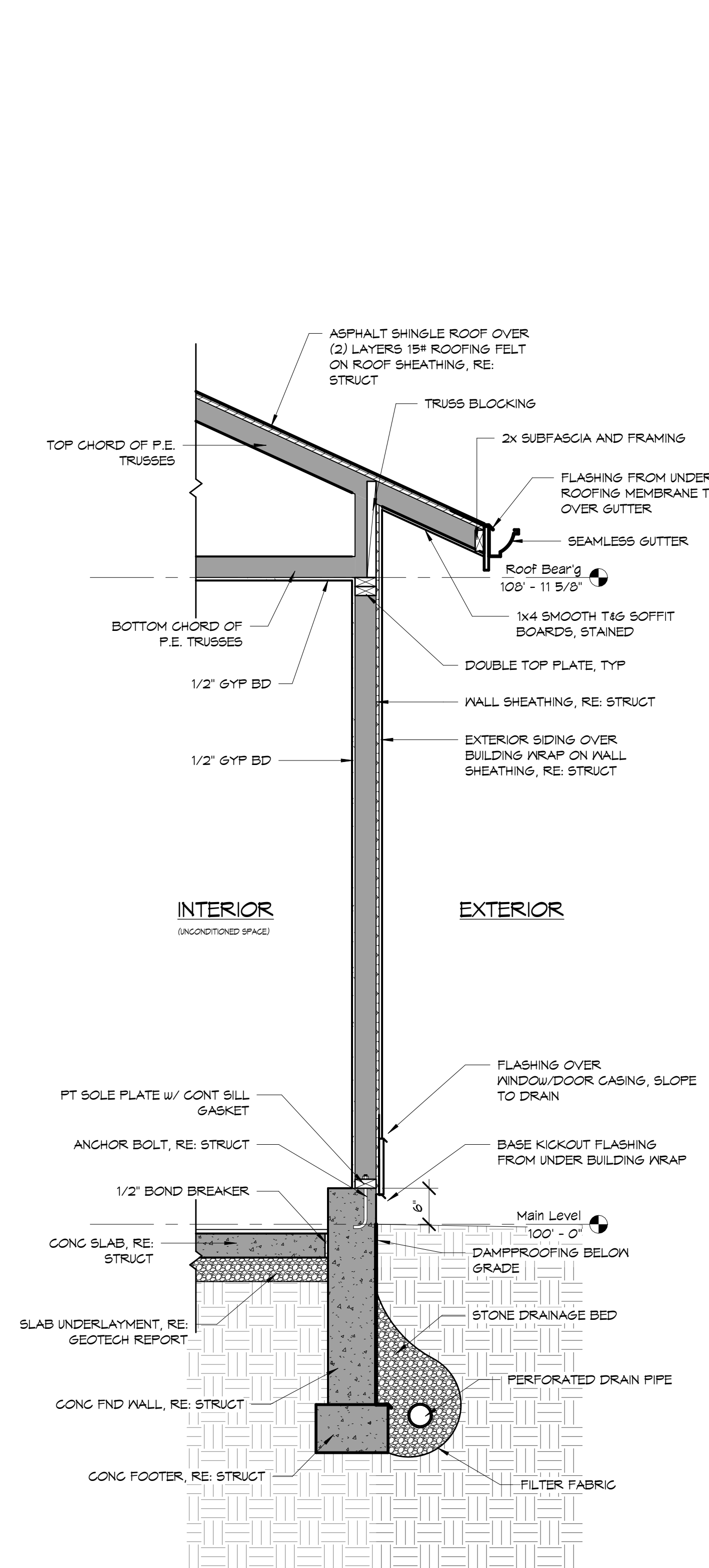
**6 Door Jamb Dtl, Typ**  
Scale: 1 1/2" = 1'-0"



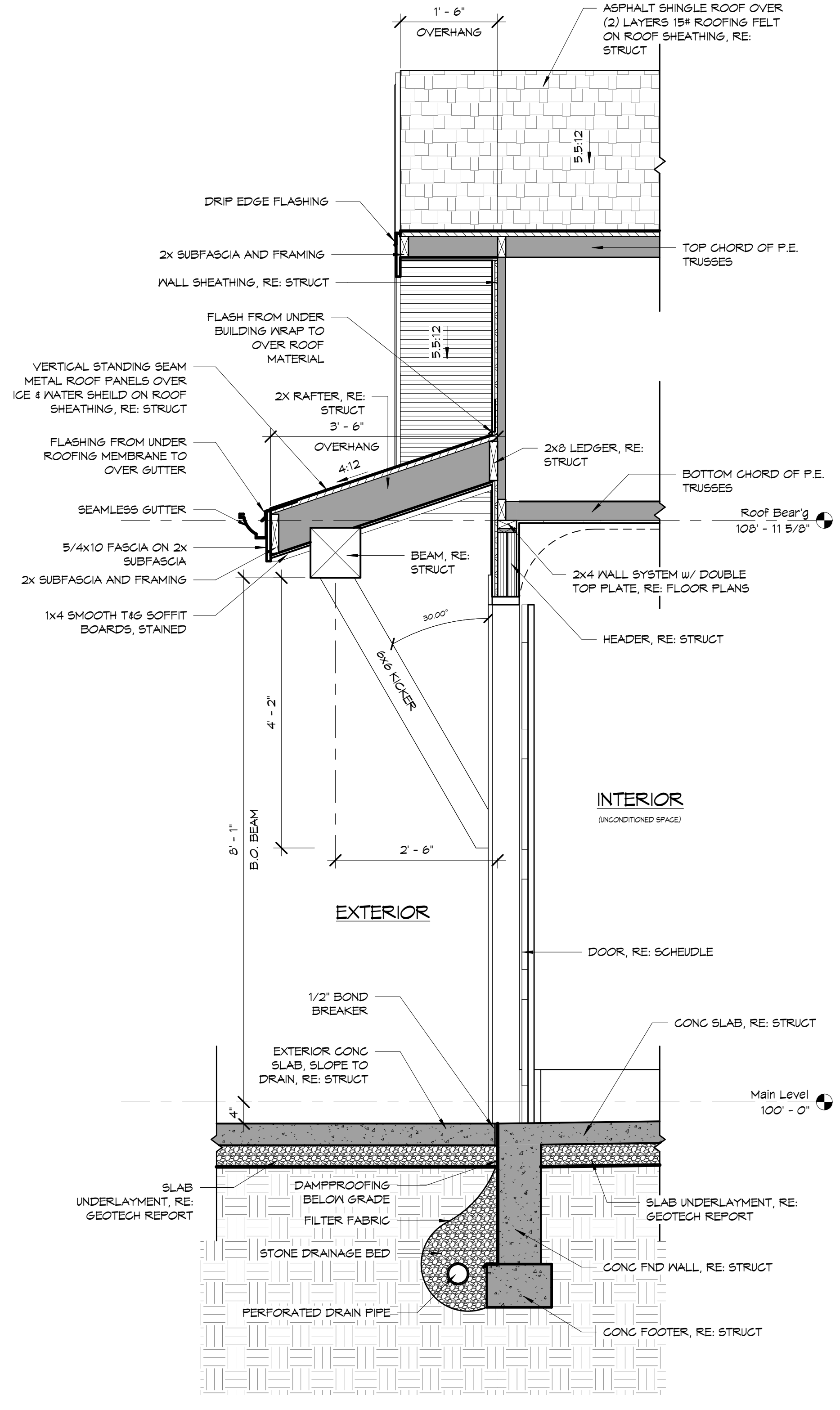
**7 Window Head/Sill Dtl, Typ**  
Scale: 1 1/2" = 1'-0"



**3 Wall Section C**  
Scale: 3/4" = 1'-0"



**2 Wall Section B**  
Scale: 3/4" = 1'-0"



**1 Wall Section A**  
Scale: 3/4" = 1'-0"



