



Historic Preservation Services
Community Development & Neighborhood Services
281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 614 Whedbee St.

Laurel School National Register Historic District

ISSUED: November 21, 2023

Chris Thomas Ricord
c/o David Maycroft, Hearthfire Construction LLC

Dear Chris Thomas Ricord:

This report is to inform you of the results of this office's review of proposed alterations to the E.B. Bullard House at 614 Whedbee St., pursuant to Fort Collins Municipal Code, Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation as well.

The alterations reviewed include:

- Compatible replacement of deteriorated front stoop/steps and sidewalk

Our staff review of the proposed work finds the alterations meet the SOI Standards for Rehabilitation and the project appears to be routine in nature with minimal effects to the historic resource, meeting the requirements of Article IV cited above.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please note that work beyond that indicated in your permit application/correspondence requires additional approval.

If you have any questions regarding this report, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-224-6045.

Sincerely,

Yani Jones
Historic Preservation Planner



BUILDING PERMIT APPLICATION

FOR OFFICE USE
APPLICATION NUMBER: _____ APPLICATION DATE: _____

Job Site Address _____ Unit# _____

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name _____ First Name _____ Middle _____

Street Address _____ City _____ State _____ Zip _____

Phone # _____ Email _____

Name of Business (COMMERCIAL USE ONLY) _____

CONTRACTOR INFO: Company Name _____

License Holder Name _____ LIC # _____ CERT # _____

LEGAL INFO:

Subdivision/PUD _____ Filing # _____ Lot # _____ Block # _____ Lot Sq Ft _____

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) _____ Total Garage Sq. Ft. _____

Residential Sq Ft _____ Commercial Sq Ft _____ # of Stories _____ Bldg Ht _____ # of Dwelling Units _____

1st Floor Sq Ft _____ 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft _____

Finished Basement Sq Ft _____ # of Bedrooms _____ # of Full Baths _____

¼ Baths _____ ½ Baths _____ # Fireplaces _____

ENERGY INFORMATION: (CHECK ONE)

Prescriptive [] Performance [] U/Arescheck [] ERI [] ASHRAE [] Component/Comcheck [] IDAP []

Air Conditioning? YES [] NO []

City of Fort Collins Approved Stock Plan # SPO _____ List Option #s _____

Utilities INFO:

New Electric Service [] Electric Service Upgrade [] Electric Meter Relocation []

Electric Main Breaker Size (Residential Only): 150 amps or less [] 200 amps [] Other: []

Gas [] Electric [] Electric Temp Pedestal? Yes [] No []

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant [] New Tenant []

If for a new tenant, is this the first tenant to occupy this space?

Yes [] No [] If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes [] No []

If yes, please describe: _____

Value of Construction (materials and labor): \$ _____

Description of Work: _____

JOBSITE SUPERVISOR CONTACT INFO: Name _____ Phone _____

SUBCONTRACTOR INFO: Electrical _____ Mechanical _____

Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature _____ Type or Print Name _____

Phone # _____ Email _____

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



Planning, Development & Transportation
281 N. College Ave
Fort Collins, CO 80524
Phone 970-416-2740 Fax 224-6134

BUILDING OWNER AUTHORIZATION TO OBTAIN A COMMERCIAL BUILDING PERMIT

I, (Print) CHRIS RICORD as owner of record (property address) 614 WHEDBEE STREET known as (name of business) _____ hereby authorize the

work listed below to be done on said property. I understand that such work will **only be performed by contractors licensed by the City of Fort Collins.**

I am giving permission for **interior work only**. The scope of the work shall be limited to: _____

I am giving permission for **exterior work only**. The scope of the work shall be limited to: FRONT STEPS, LANDING, WALLS, STUCCO, SIDEWALKS, STONE MASONRY, FOUNDATION REPAIR

I am giving permission for **interior and exterior work**. The scope of the work shall be limited to: _____

[Signature]
(Property owner signature)

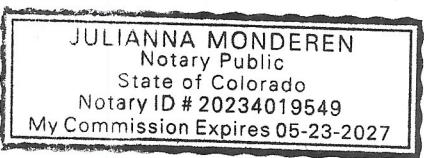
CHRIS RICORD
(Property owner name; please print)

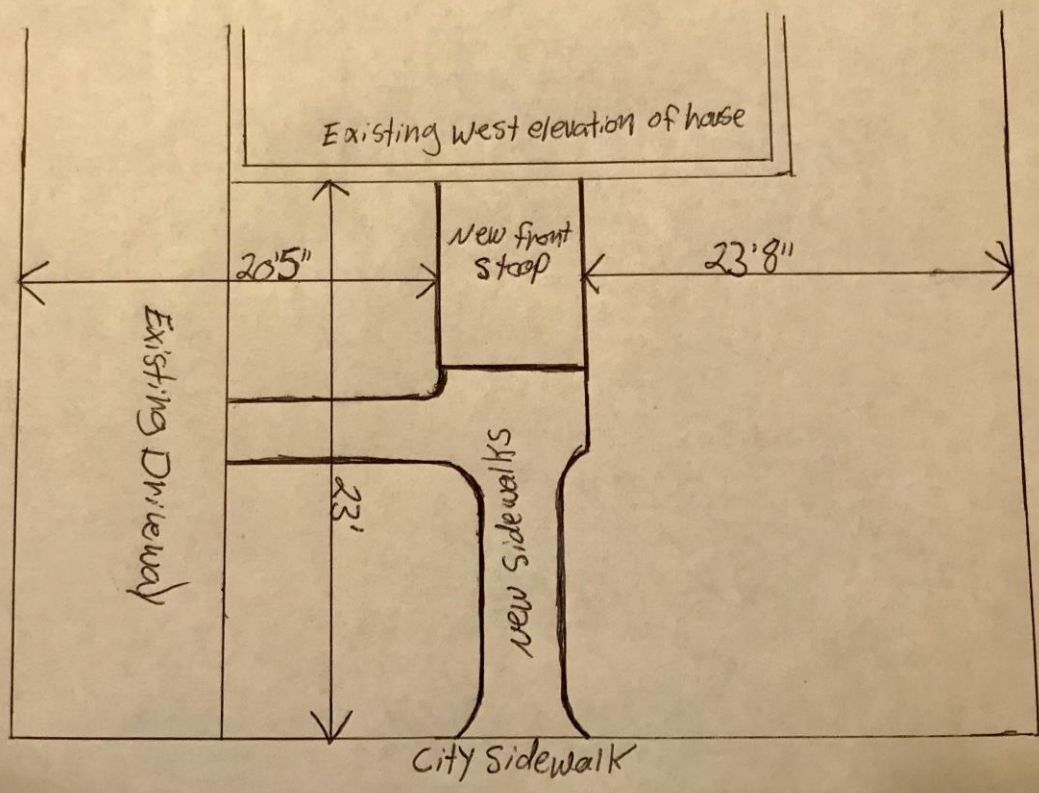
The foregoing affidavit was acknowledged before me on the 13th day of November, 2023 (month, year) by Chris Ricord for the purpose therein set forth.

Witness my hand and official seal.
My Commission expires: 05-23-2027

Julianna Monderen
Notary Public

Permit # _____
Office use only





Site Plan
Scale 1:60

NEW WALK & ENTRY STEPS AT:
 THE RICKO RESIDENCE
 614 WHELBEE ST.
 FORT COLLINS CO., 80524

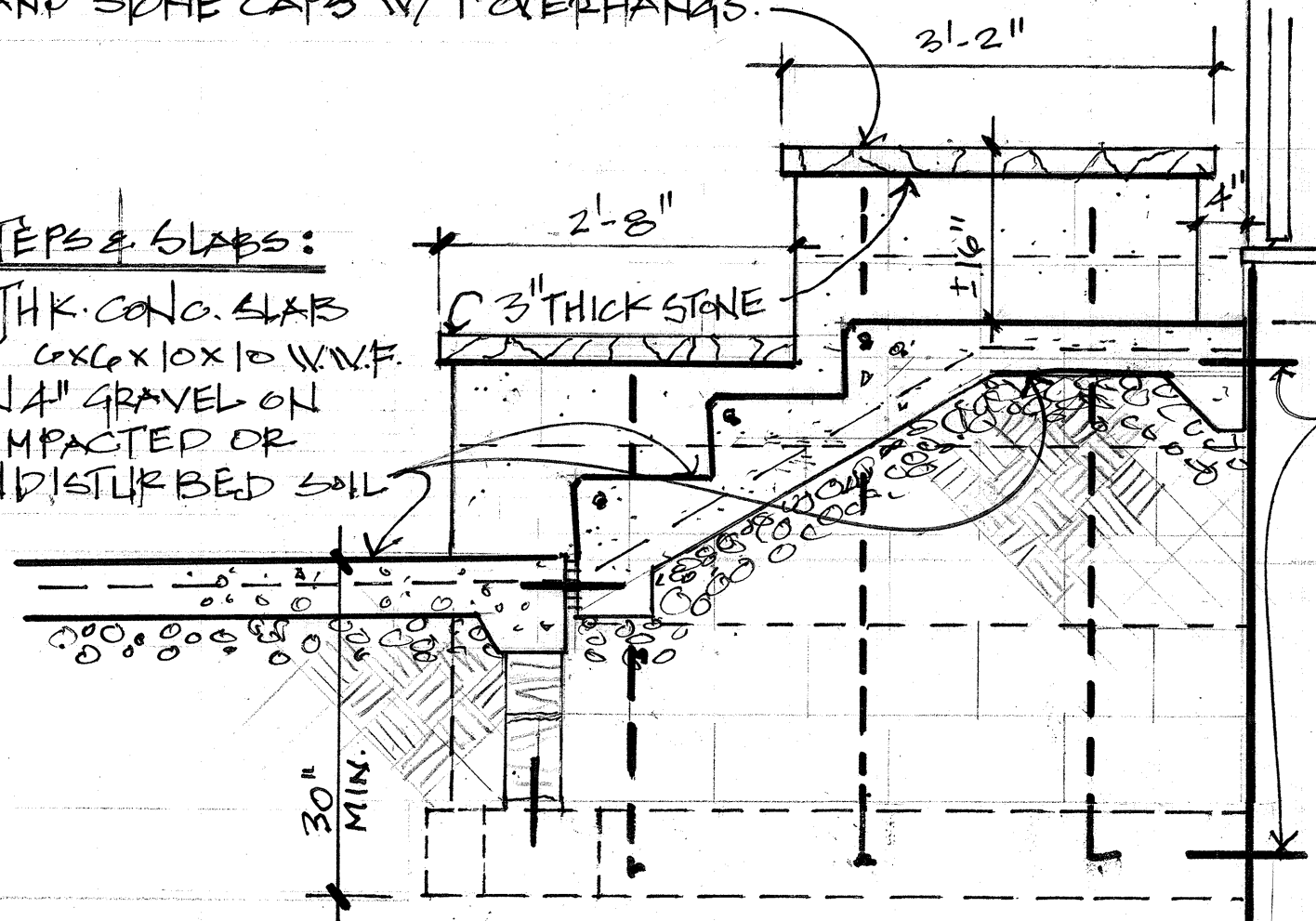
10-27-23

SIDEWALLS & FLYNTHS:

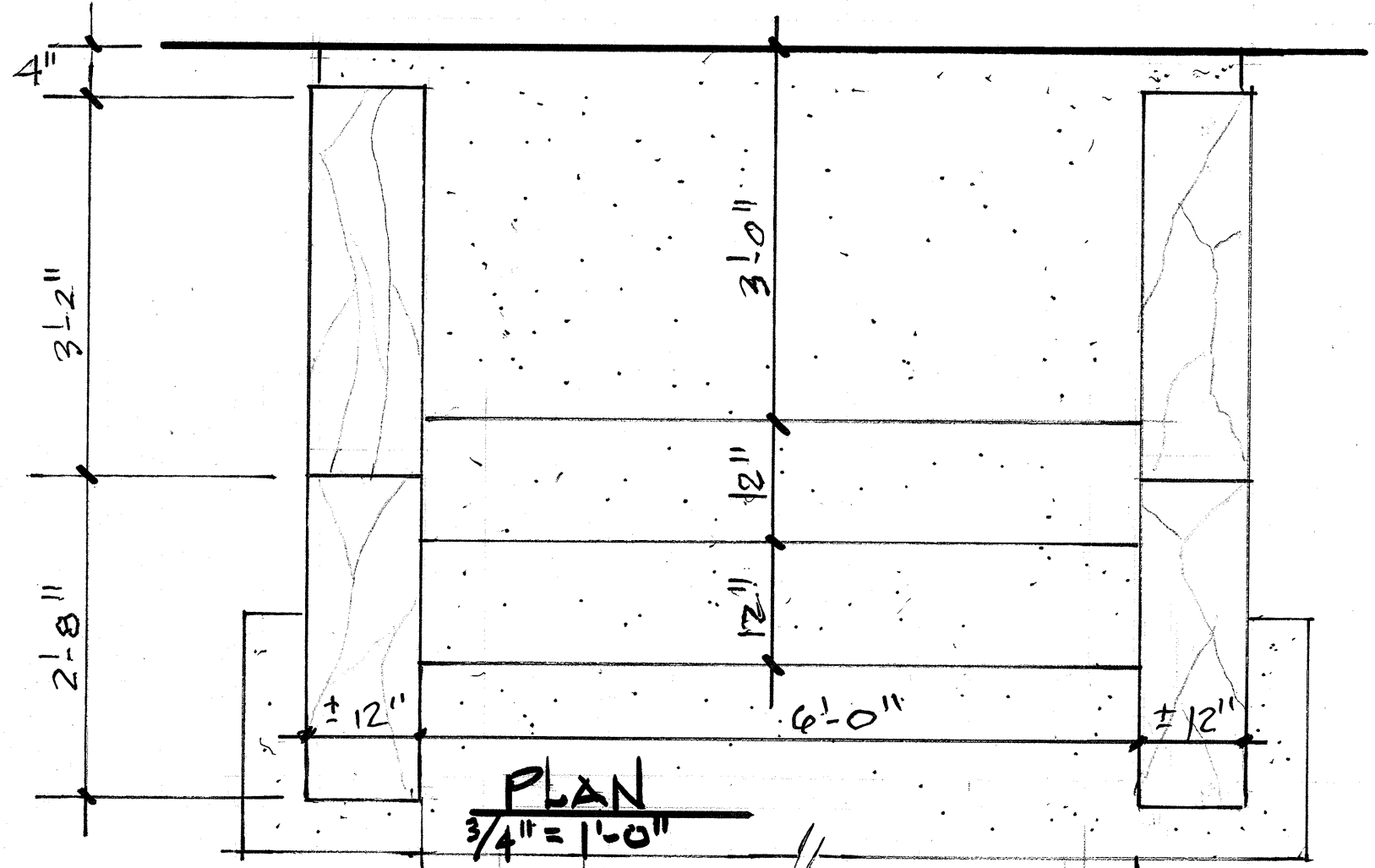
1" STUCCO ON 8" CMU ON 8"x12" FOOTING
 W/ #4 REBAR @ 24" OC. VERT. IN CORE CELL
 & HORIZ. REINF. @ 16" W/ 3" SOLID
 SAND STONE CAPS W/ 1" OVERHANGS.

STEPS & SLABS:

4" THK. CONC. SLAB
 W/ 6x6x10x10 W.W.F.
 ON 4" GRAVEL ON
 COMPACTED OR
 UNDISTURBED SOIL



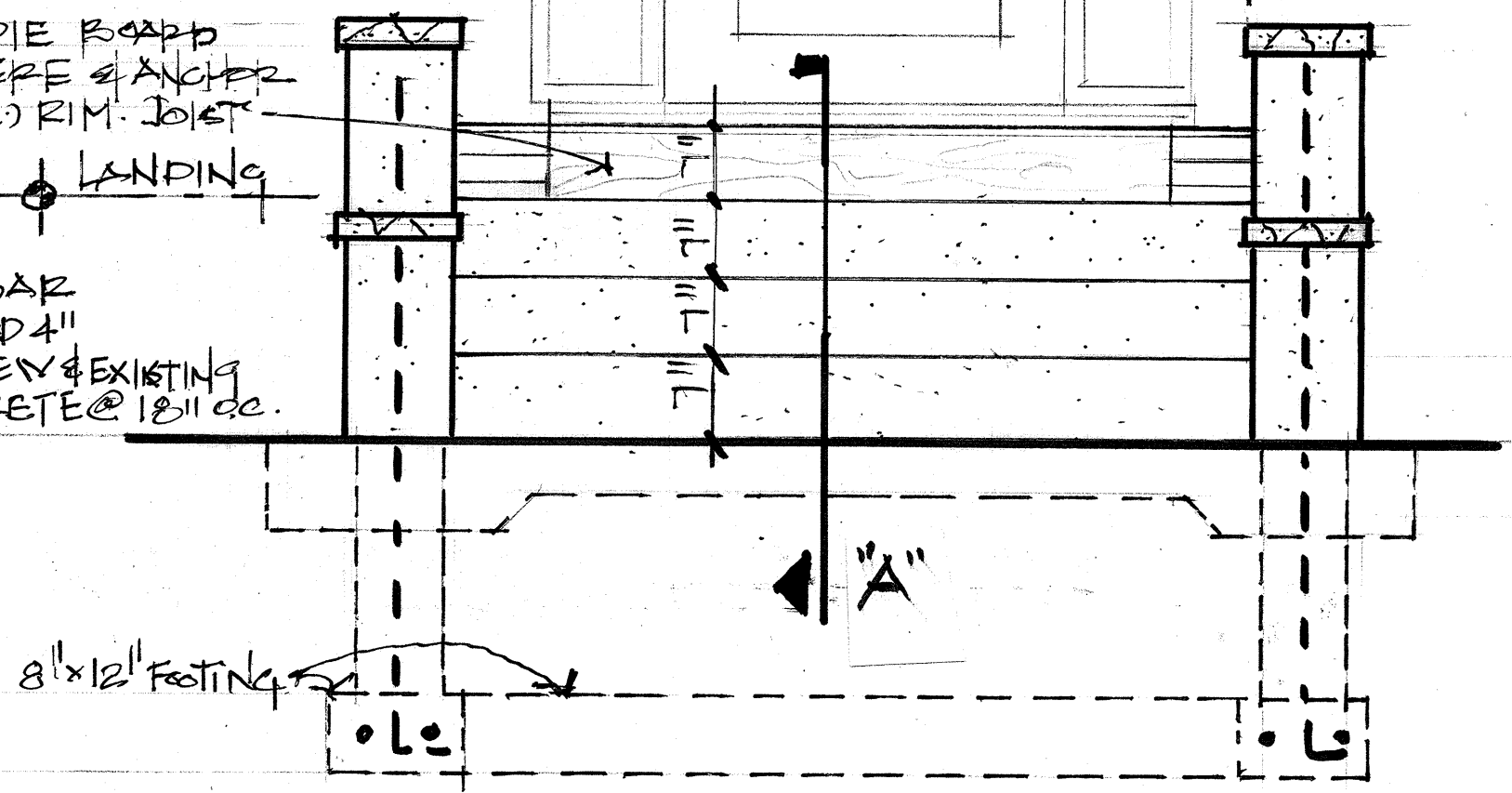
SECTION "A"
 3/4" = 1'-0"



PLAN
 3/4" = 1'-0"

HARDIE BOARD
 ADHERE & ANCHOR
 TO (E) RIM JOIST

#4 REBAR
 EMBED 4"
 INTO NEW & EXISTING
 CONCRETE @ 18" OC.



ELEVATION



Residential Deck Guide

Contractor Licenses allowed to build decks:

A, B, C, C2, D, D2, MM (MM does not include 2 story decks).

Homeowners Builders: See homeowner affidavit.

Required Inspections

1. Setbacks & Footings (pier hole)
2. Foundation (post connections)
3. Rough Frame (must be called in before decking is installed). Rough Electric (if electric work is being done, prior to being concealed by fixtures/outlets).
4. Final Inspection and Final electric (if applicable)

Inspectors need to see all connections. Multiple rough frame inspections will need to be scheduled if using concealed connectors. Open pier hole needs to be inspected before pouring concrete into the hole.

<https://www.fcgov.com/building/inspections.php>

Any deck more than 30" at any point above grade requires a permit.

Any deck attached to the house requires a permit.

Any deck/landing that serves the front door requires a permit.

Any Deck more than 200 sq. ft. requires a permit.

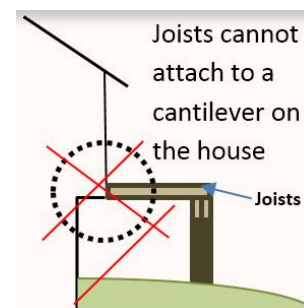
Note: Repairs to any of the scenarios above also require a permit (i.e. replacement of beams/posts/joists, heavier decking material etc.

Submittal Checklist (all documents must be in PDF format)

- Permit Application: include square footage of the deck and note if electrical work is included (lights, outlets)
Name PDF: *Apps – Address – v1.*
 - Homeowner Affidavit (for homeowner builders)
- Site Plan (Name PDF: *Site Plan – Address – v1*)
- Plans (Name PDF: *Plans – Address – v1*)
 - Floor Plan
 - Section/side view
 - Connection details
 - At least 1 *before* photo showing where the deck will be located.
 - Deck Guide filled out
- Plan check fee is due at submittal.
 - See step #6 <https://www.fcgov.com/building/exterior-permits>

Engineered and stamped structural plans or letter are required to be submitted for any of the following conditions:

1. Multi-story / stacked decks
2. Beam supported by hangers
3. Deck is supported by a ledger attached to a cantilever/overhang on the existing house such as a bay window.
4. Decks attached to brick, masonry, or stone veneer.
5. Decks supporting a hot tub/pool.
6. Steel decks that do not conform to section R505, including the use of steel beams, or steel decks for at locations West of Overland Trail (>140 mph wind region)
7. Materials not addressed in code
8. Designs outside of those presented in code



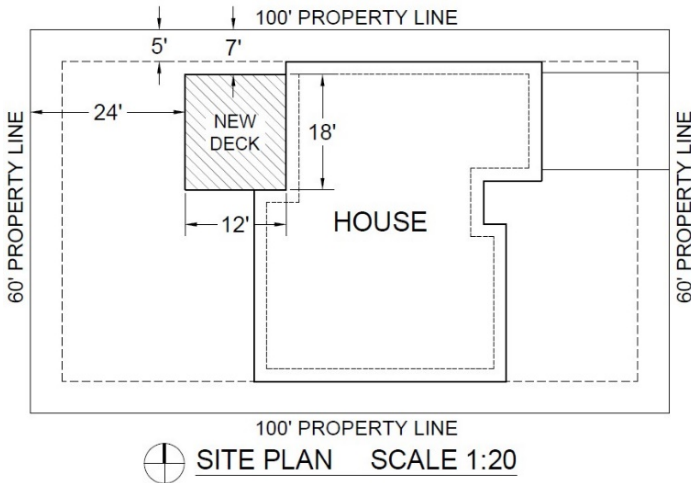
Residential Deck Guide

Provide the following drawings. All plans must be to scale. (example : ¼ inch per foot). Can be hand-drawn, but PDF format

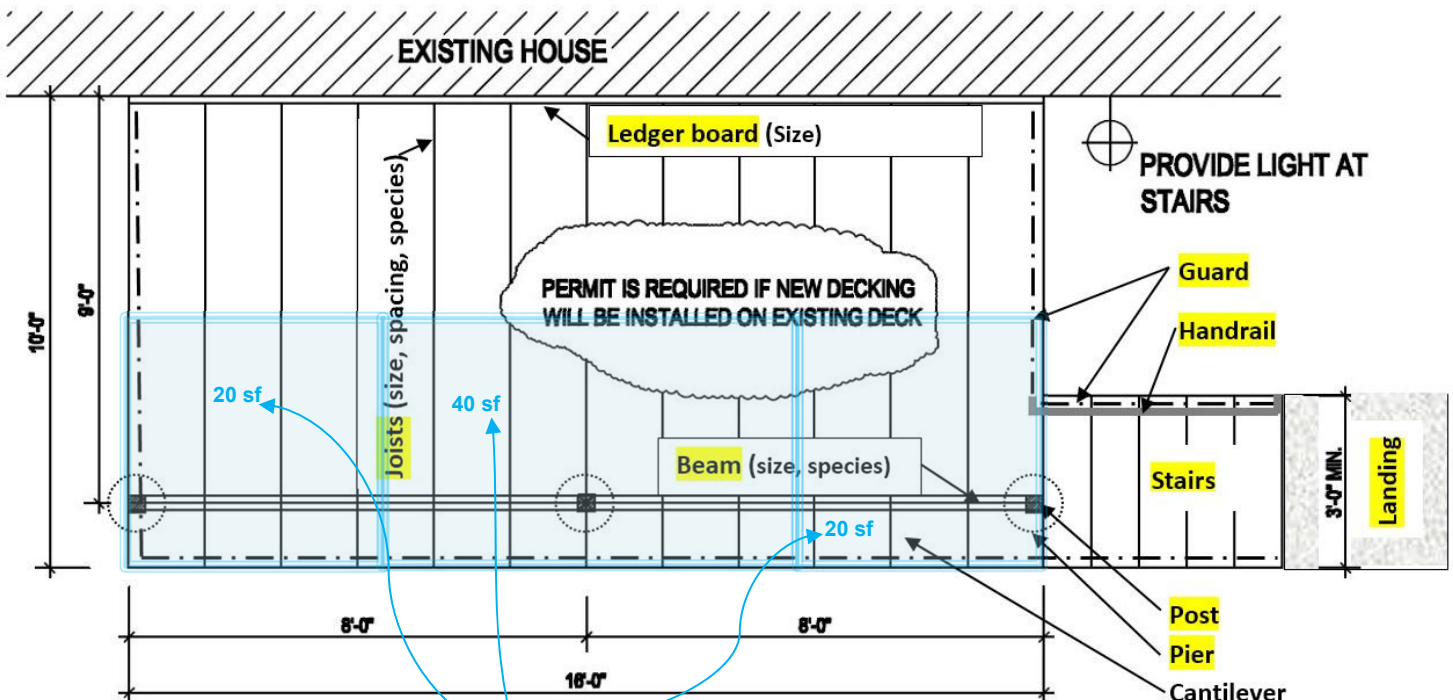
Site Plan

Site Plan Requirements:

- Show location of the new deck in relation to the house
- Provide measurements from deck to property lines and other structures
- Show overall length and width of the new deck
- Newer homes may have an existing site plan available through public records, which can be used to create the NEW site plan. <https://records.fcgov.com/WebLink/>



Floor Plan

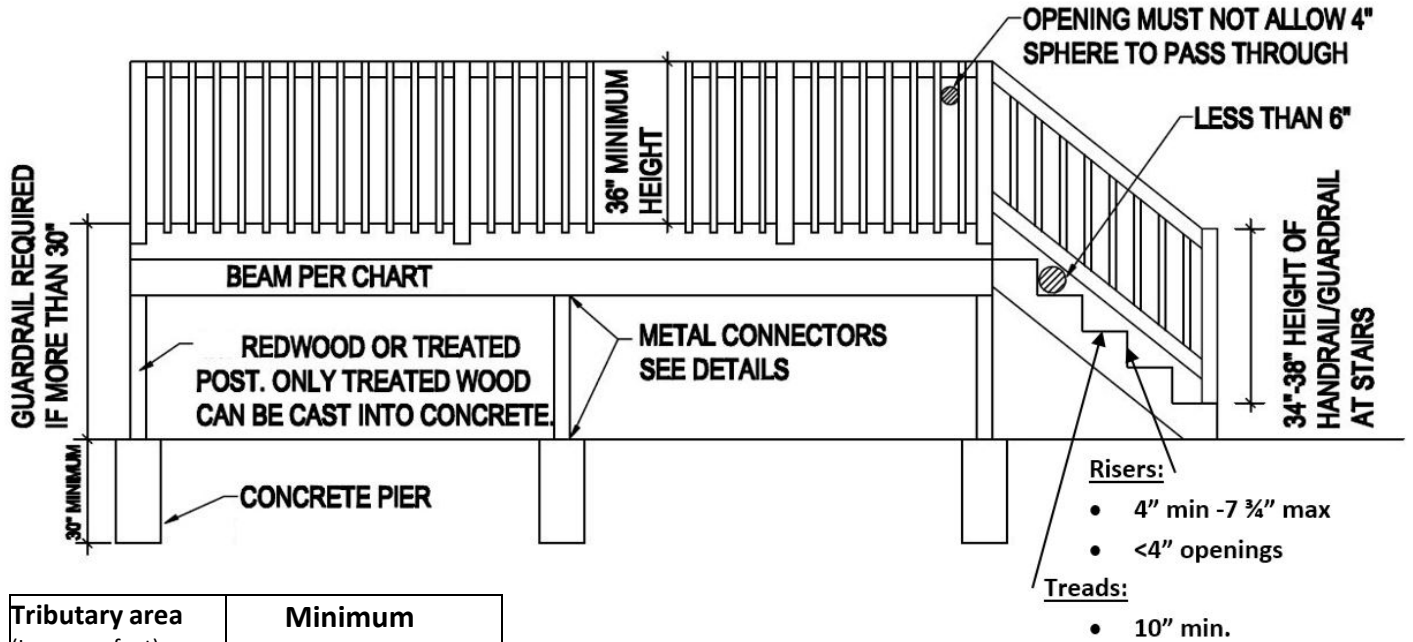


Tributary area is the area in square feet that each post* and pier supports/carries. Tributary is used for sizing posts and piers in code.

*Denotes 2021 IRC Code Changes

Residential Deck Guide

Elevation (Side View)



Tributary area (In square feet) -See page 2 for example	Minimum Diameter of Round Pier (In inches)
5*	8*
20*	12*
40	16
60	19
80	22
100	25
120	27
140	29
160	31

See the link to code on page 5 for alternate pier/foundation types and sizes.
Based on tributary area and soil-bearing pressure of 1500 PSF and a live load of 40 PSF (Table R507.3.1)

Guards

Guards are required for fall protection where the deck is 30" or more above grade measured at a point 5 ft away from the deck edge (local amendment to definition of grade).

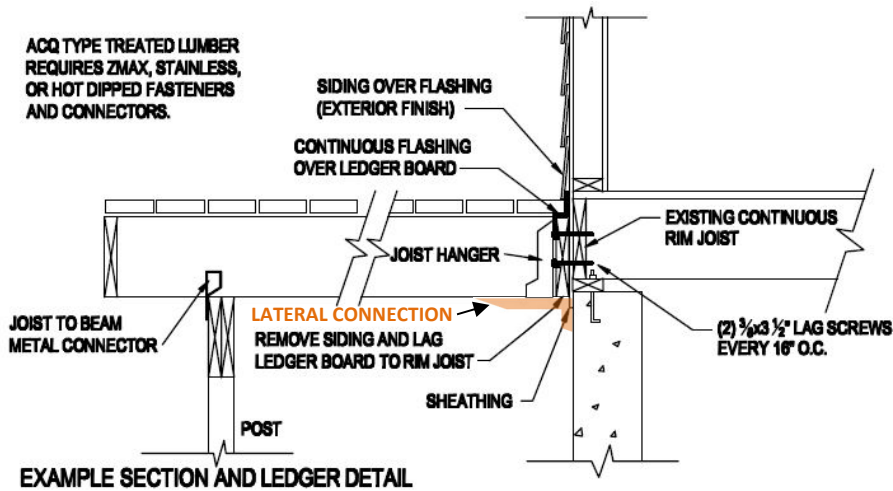
- Openings in guards cannot exceed 4 inches
- For cable railing use 3" max spacing and a maximum of 4ft on center support post spacing.

Exterior Guard attachment (R507.10)*:

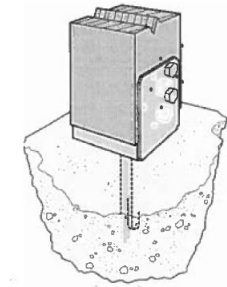
1. Guards mounted on top of the deck shall be connected to the deck joists or beams or blocking to transfer load to the adjacent joists.
2. Where guards are mounted on the side of a beam/joist shall be connected to the adjacent joist to prevent rotation. Fasteners shall not be installed in the end grain.

Residential Deck Guide

Details



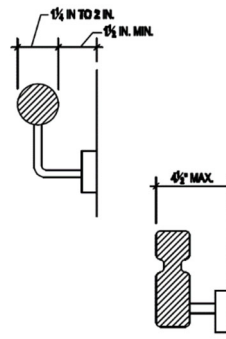
Example - Post Base Connector



Handrails

Handrails are required on at least one side of the stairs where there are 4 or more risers in a flight (landing to landing). Handrails must be graspable.

IRC Section: R311.7.8 – R311.7.8.6



Emergency Escape and Rescue Windows

Where decks are built over window wells that serve the required emergency escape and rescue opening (egress windows), a clear access height of 36" is required (measured from the top of the window well to the underside of the deck structure). **IRC R310.2.4**

Where a deck is adjacent to a window well, fall protection is required (window well cover or guardrail).

Lighting

Exterior wet listed light is required at the top landing to illuminate stairs. **IRC Section R311.7.9**

Landings

A solid level landing (i.e. flagstone, concrete or other improved surface) is required at the *top* and *bottom* of exterior deck stairs sized 36" min deep (in the path of travel) x 36" min wide (or width of stair) **IRC Section: R311.7.6**

Residential Deck Guide

Check one of the following:

- The deck is professionally engineered and stamped. Any fields not provided on the plans have been filled out below.
- The porch/stairs are entirely concrete (fields below do not apply, but plans show height, stairs, guards, etc. per code)
- The deck is designed to minimum code. (Fill in the sections below and show on plans).

2021 International Residential Code & local amendments: <https://www.fcgov.com/building/codes.php>

1. Access the code: <https://codes.iccsafe.org/content/IRC2021P1/chapter-5-floors> 2. Go to section R507.

Code section	Deck components	Select/Fill in the blank
Decking		
R507.2 and R507.7	Decking Material	
	Orientation of decking to joists	
Joists		
Table 507.6 <i>(use 40 live load row)</i>	Wood Species <i>(Redwood, Cedar etc. are species, treated is not a species)</i>	
	Joist Size	
Figure R507.6	Joist Spacing / Joist Span	
	Do the joists cantilever? How far?	
Beams		
Table R507.5 (1) <i>(40 PSF live load)</i>	Wood Species <i>(Redwood, Cedar etc. are species, treated is not a species)</i>	
	Beam Size	
Section R507.5	Beam Span	
	Does the beam cantilever? How far?	
Posts*		
Table 507.4 <i>(use 40 live load row)</i>	Wood Species <i>(Redwood, Cedar etc. are species, treated is not a species)</i>	
	Size of Post	
	Post Height	
Piers		
Figure R507.3 Table 507.3.1 <i>(use 40 live load row, 1500 psf column)</i> R507.3	Type of footing/Piers	Show on plans
	Depth of Pier	<input type="checkbox"/> Freestanding deck = 12" min * <input type="checkbox"/> Attached Decks = 30" min frost depth
	Size of pier	Show on plans <input type="checkbox"/>
Connection Details		
R507.4.1 & R507.3	Footing/pier to Post Connection	Show on plans <input type="checkbox"/>
R507.5.1 & R507.5.2	Post to Beam Connection	Show on plans <input type="checkbox"/>
R507.6.1 & R602.3.1	Joist to Beam Connection	Show on plans <input type="checkbox"/>
Table R507.9.1 Tables R507.9.3(1 & 2); R507.9.1.1 Figure R507.9.1.3 (1 & 2)	Ledger Connection to house with flashing (2x8 min ledger size)	Show on plans <input type="checkbox"/>
R507.9.2 Figure R507.9.2 (1 or 2)	Lateral Connection	Show on plans <input type="checkbox"/>