



Historic Preservation Services
 Community Development & Neighborhood Services
 281 North College Avenue
 P.O. Box 580
 Fort Collins, CO 80522.0580
970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS
ISSUED: November 15, 2023
EXPIRATION: November 15, 2024

Nathalie Rachline & Alan Braslau
 816 W. Mountain Ave.
 Fort Collins, CO 80521

Dear Nathalie Rachline and Alan Braslau:

As you are aware, last evening the Historic Preservation Commission gave Final Design Review approval for the work you are proposing for the Isaac W. Bennett House, at 816 W. Mountain Ave.

More specifically, the Commission approved:

1. Construction of a sunroom addition and deck (including demolition of existing non-historic deck) as further described in the attached plans and materials.

Applicable Code Standard	Summary of Code Requirement and Analysis	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.</i></p> <p>The property is retaining its historic use.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>The deck proposed for removal/replacement is not historic. The proposed sunroom addition is structurally independent from the historic house, and no historic material would need to be removed. For these reasons, this standard is met.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical</i></p>	Y

	<p><i>development, such as adding conjectural features or elements from other historic properties, will not be undertaken</i></p> <p>Because the proposed addition is clearly differentiated from the historic home in its materials, a false sense of historical development has been avoided.</p>	
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>Because no historic materials or features would be removed as part of this project, this standard is met.</p>	Y
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	N/A
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>There is not reason to believe that there is a likelihood of uncovering archaeological resources during any excavation needed for the proposed new deck or sunroom, but the owner should contact Historic Preservation services immediately if this occurs.</p>	Y
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>As previously stated, this proposal does not include destruction or removal of any historic materials.</p>	Y

	The deck is proposed to be clad in a limestone material to reference the foundation of the historic house. The proposed sunroom addition is clearly differentiated through its glass and fiberglass materials. It is subordinate to the historic house in its size and height. Design choices such following the three-window pattern on the east elevation of the house, the gable roof form and pitch.	
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>Because the new construction proposed is structurally independent from the existing house through the use of an expansion joint and does not destroy any historic materials, this addition could easily be reversed without impacting the historic home if that choice were made in the future.</p>	Y

The Commission found that the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code. Notice of the approved application will be forwarded to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

You may appeal this decision within two weeks by submitting a written notice of appeal to the City Clerk within fourteen (14) calendar days of this decision. Grounds and process for appeals are enumerated in Chapter 2, [Division 3](#) of the Fort Collins Municipal Code.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact staff at preservation@fcgov.com or at (970) 224-6078.

Sincerely,

Jim Rose, Chair
Historic Preservation Commission



Design Review Application Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, Article IV of the Fort Collins Municipal Code.

Applicant Information

Nathalie Rachline

970 215-0705

Applicant's Name

Daytime Phone

Evening Phone

816 W Mountain Avenue, Fort Collins

CO

80521

Mailing Address (for receiving application-related correspondence)

State

Zip Code

nathalie.a.rachline@gmail.com

Email

Property Information (put N/A if owner is applicant)

N/A

Owner's Name

Daytime Phone

Evening Phone

Mailing Address (for receiving application-related correspondence)

State

Zip Code

Email

Project Description

Provide an overview of your project. Summarize work elements, schedule of completion, and other information as necessary to explain your project.

SEE ATTACHED PROJECT DESCRIPTION.

The following attachments are REQUIRED:

- Complete Application for Design Review
- Detailed Scope of Work (and project plans, if available)
- Color photos of existing conditions

Reminders:

Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application may need to be approved.

Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).

Detail of Proposed Rehabilitation Work (*Required)

If your project includes multiple features (e.g. roof repair and foundation repair), you must describe each feature separately and provide photographs and other information on each feature.

Feature A Name:	
Describe property feature and its condition:	Describe proposed work on feature:

Feature B Name:	
Describe property feature and its condition:	Describe proposed work on feature:

Use Additional Worksheets as needed.

Required Additional information

The following items must be submitted with this completed application. Digital submittals preferred for photographs, and for other items where possible.

- At least one current photo for each side of the house. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled
- Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work." Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc.

Depending on the nature of the project, one or more of the following items shall be submitted. Your contractor should provide these items to you for attachment to this application.

- Drawing with dimensions.
- Product specification sheet(s).
- Description of materials included in the proposed work.
- Color sample(s) or chip(s) of all proposed paint colors.

Partial or full demolition is a part of this project.

Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.

Walter Hadme
Signature of Owner

10/14/2023
Date



10.23.2023

Design Review Application
Historic Preservation Division

ROBERT LEWIS DAVIS, JR.
AIA
rdavis@davidavisarch.com

LAURIE PERRIELLO DAVIS
AIA
ldavis@davidavisarch.com

Patio Sun Room Addition
PROJECT DESCRIPTION
816 W Mountain Avenue
Fort Collins, CO 80524

This is an application for a 175 SF patio sun room and 130 SF deck to be located on the back (north) side of the historic house at 816 W Mountain Avenue. The new structure replaces an existing deck (not part of the original Landmarked house) that is attached to house at the foundation. The sun room will have glass walls and roof in thermally efficient fiberglass frames. The proposed new room will be accessible by the existing double doors from the kitchen, which will remain. The glass will allow the house siding and doors to be visible from the back yard.

The proposed patio sunroom's structure will stand independently of the historic house. There is a 2" air gap between the existing house's clapboard siding and the new sunroom steel structure. (see Plan 1 on A3.1 and Structural Plan, PDF 1) An architectural compression product made of rubber will seal the continuous air gap, floor to roof. (See PDF 3, product cut sheet) The foundation and deck surround will be clad in a gray limestone tile that compliments the existing foundation walls.

The pitch of the new sun room is nestled under the eave of the existing roof. It follows the same triangular shape as the back kitchen roofline which is offset horizontally from the west façade by 3'-6". This offset away from the property line makes the addition barely visible. (See Plan 1 on A3.1 and Elevation 2 on 3.1)

The Gunmetal gray window mullions will have narrow sightlines which will by contrast, compliment the landmark house, and will also make the new addition nearly invisible. (See PDF 2 for color) In addition, the window module of the new sun room is in keeping with the bay window rhythm and proportions located on the east façade. (see elevation 1 on A3.1)

221 E Oak Street, Unit A
Fort Collins, CO 80524

t 970 482 1827

San Diego (619) 296-1533

DAVIS DAVIS
ARCHITECTS

221 E OAK STREET, UNIT A
SAN DIEGO, CA 92101
TEL: (619) 482-1827
FAX: (619) 482-1828

PATIO SUN ROOM
816 W MOUNTAIN AVE,
FORT COLLINS, CO 80524

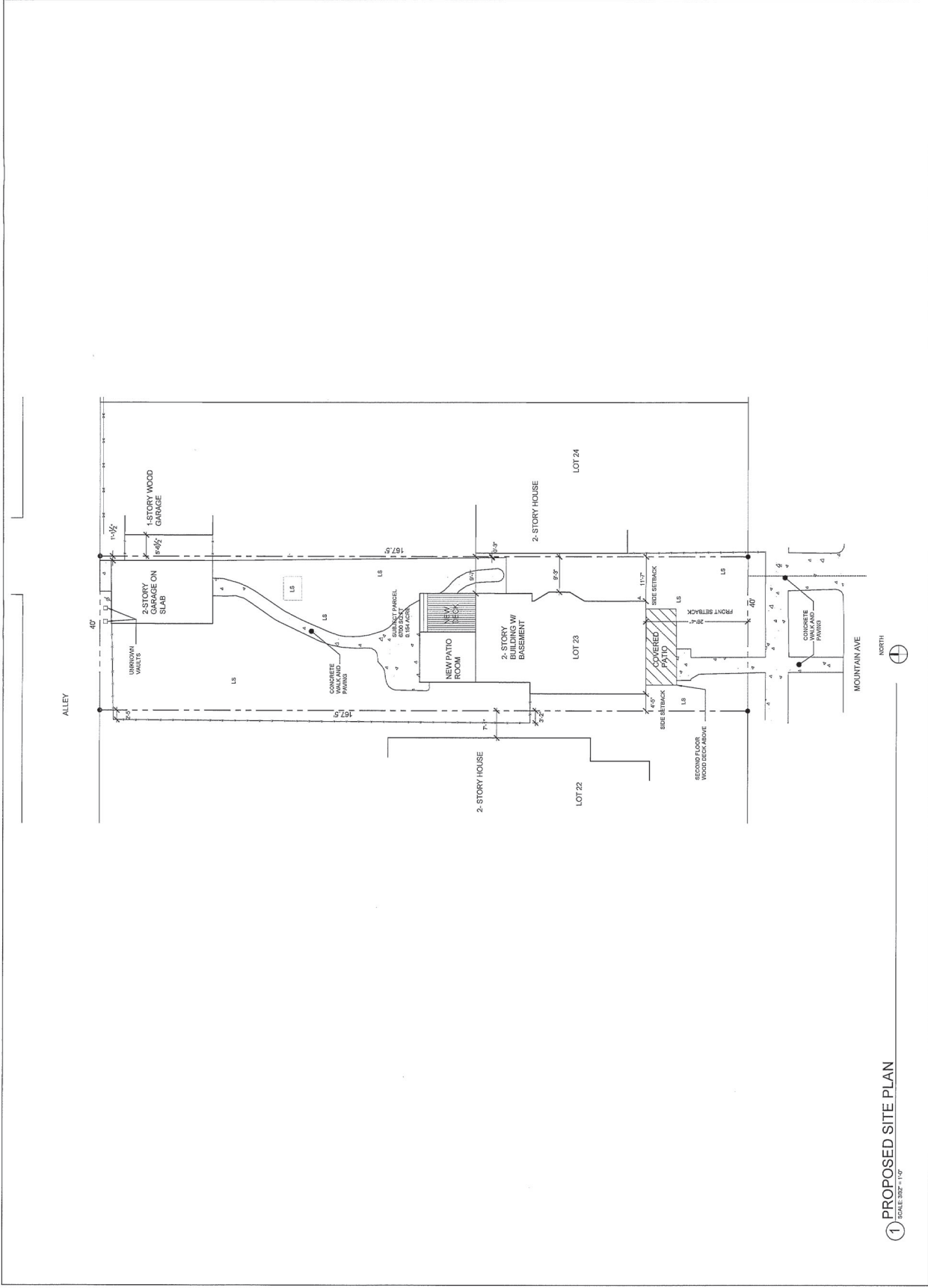


SET ISSUE
REVIEW SET 02.17.2022

SHEET ISSUE
REVISIONS DATE

PROJECT NUMBER:
SHEET:
DRAWN BY: LN
CHECKED BY: RD
PROP SITE PLAN

A1.1
SCALE AS NOTED



1 PROPOSED SITE PLAN
SCALE AS NOTED

DAVID DAVIS ARCHITECTS
 251E GAY STREET, UNIT A
 FORT COLLINS, CO, 80524
 (970) 482-1827
 SAN DIEGO
 (619) 298-1533

PATIO SUN ROOM
 816 W MOUNTAIN AVE,
 FORT COLLINS, CO 80524



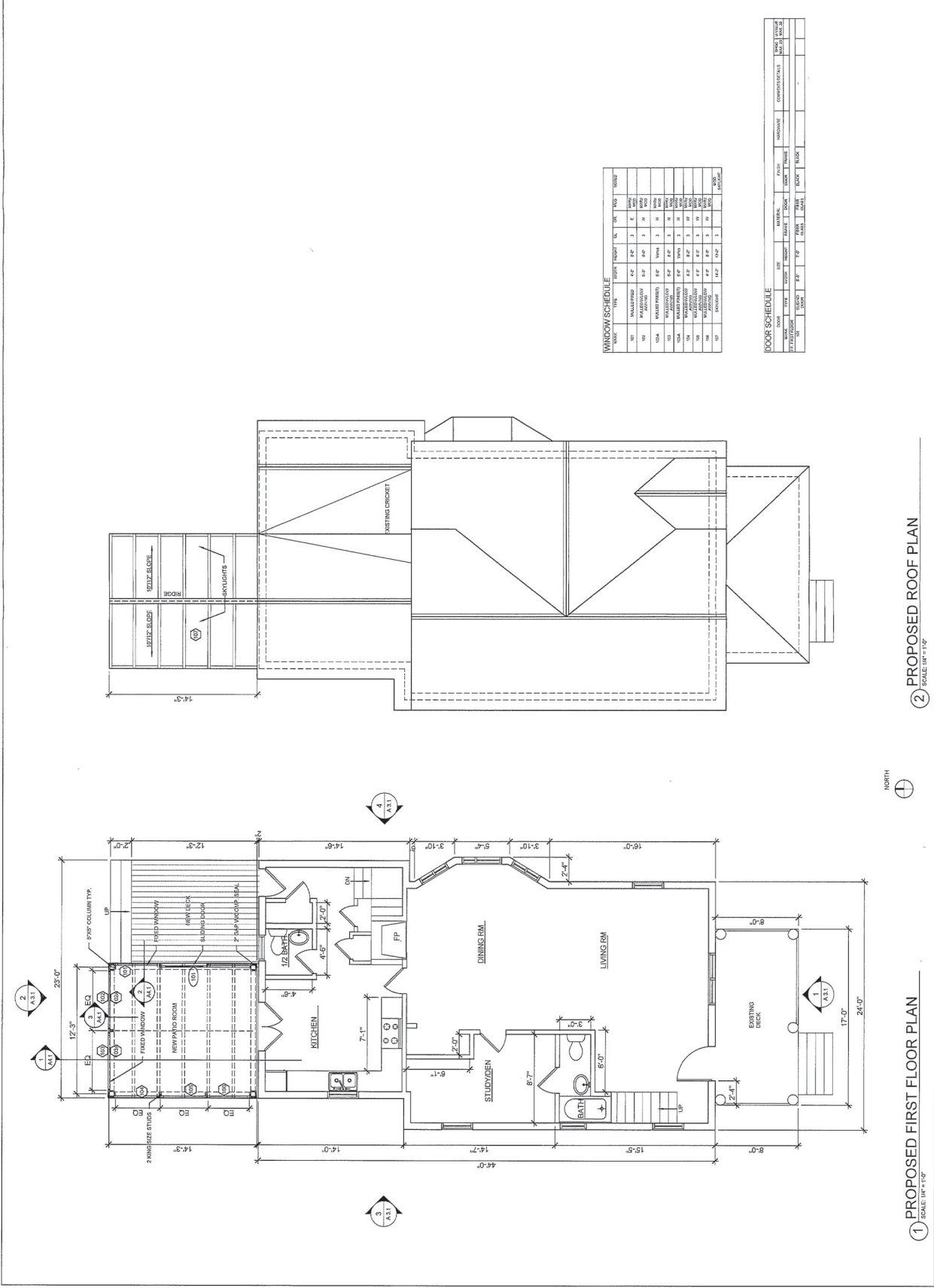
SET ISSUE REVIEW SET 02.17.2022

SHEET ISSUE REVISIONS DATE

PROJECT NUMBER:
 SHEET:
 DRAWN BY: LN
 CHECKED BY: RD

PROPOSED FLOOR PLAN

A3.1
 SCALE AS NOTED



WINDOW SCHEDULE

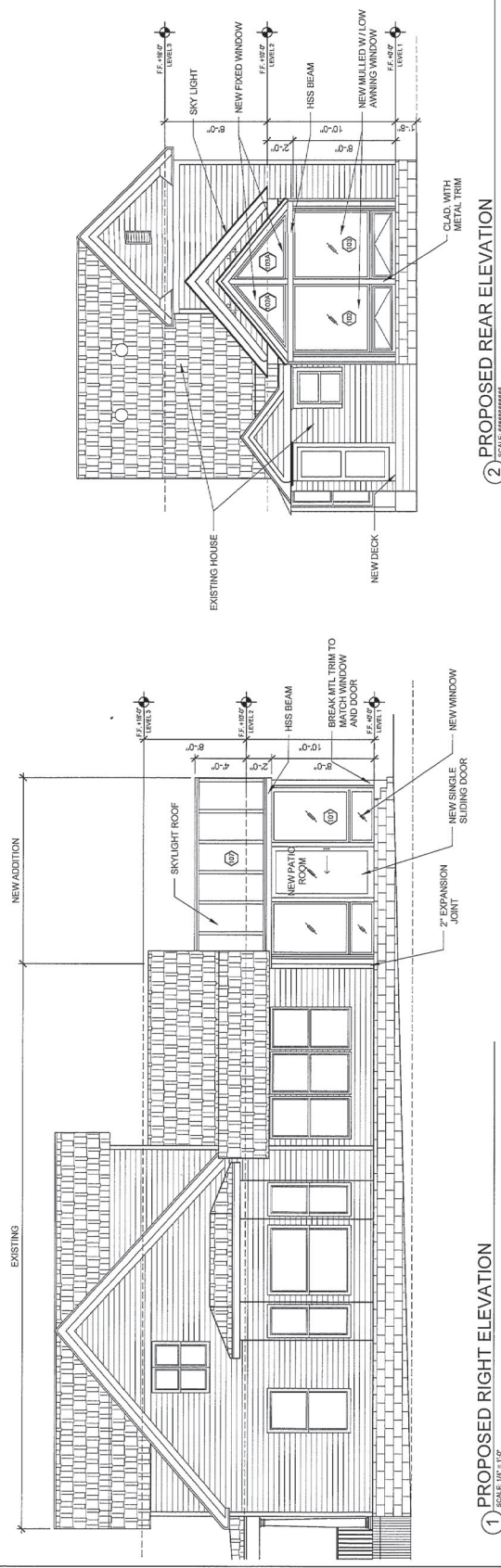
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101	WALL MOUNTED	4" P	3	6	10	10	10	10
102	WALL MOUNTED	4" P	3	6	10	10	10	10
103	WALL MOUNTED	4" P	3	6	10	10	10	10
104	WALL MOUNTED	4" P	3	6	10	10	10	10
105	WALL MOUNTED	4" P	3	6	10	10	10	10
106	WALL MOUNTED	4" P	3	6	10	10	10	10
107	WALL MOUNTED	4" P	3	6	10	10	10	10
108	WALL MOUNTED	4" P	3	6	10	10	10	10
109	WALL MOUNTED	4" P	3	6	10	10	10	10
110	WALL MOUNTED	4" P	3	6	10	10	10	10

DOOR SCHEDULE

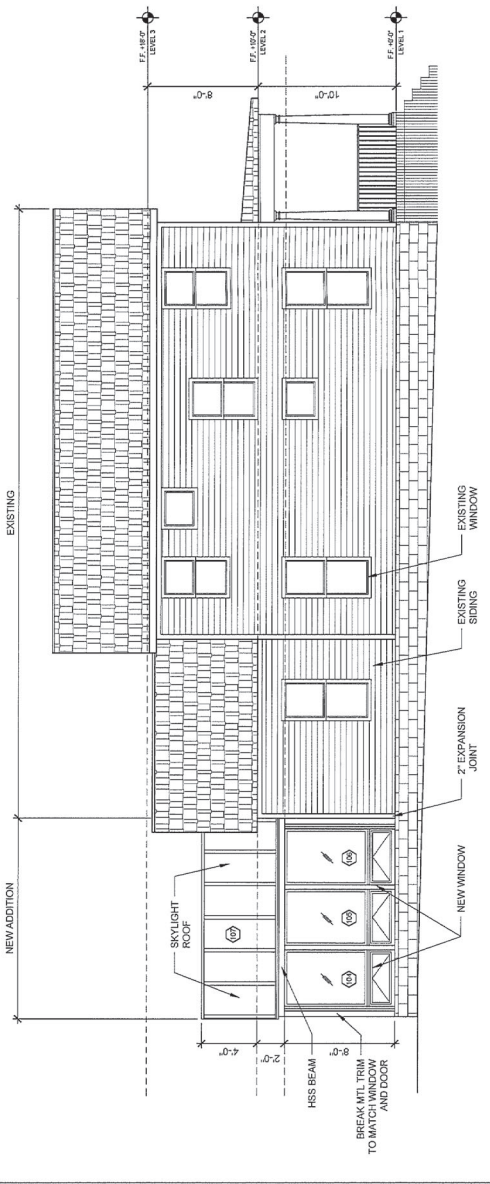
NO.	TYPE	FINISH	HT.	WD.	FINISH
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102	DOOR	4" P	7'-0"	3'-0"	10
103	DOOR	4" P	7'-0"	3'-0"	10
104	DOOR	4" P	7'-0"	3'-0"	10
105	DOOR	4" P	7'-0"	3'-0"	10
106	DOOR	4" P	7'-0"	3'-0"	10
107	DOOR	4" P	7'-0"	3'-0"	10
108	DOOR	4" P	7'-0"	3'-0"	10
109	DOOR	4" P	7'-0"	3'-0"	10
110	DOOR	4" P	7'-0"	3'-0"	10

2 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

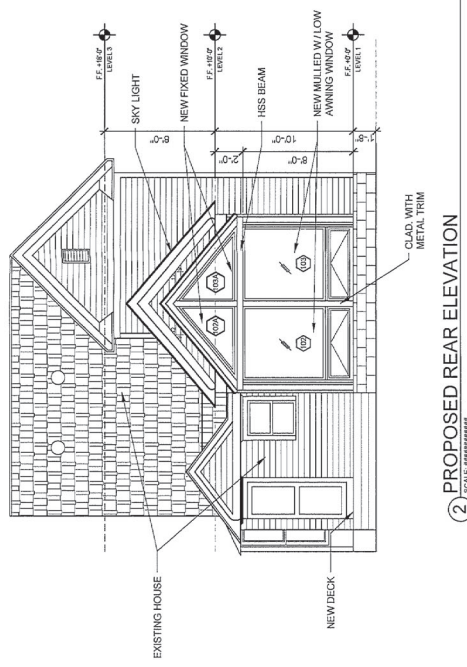
1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 PROPOSED RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



3 PROPOSED LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE: 3/8" = 1'-0"

DAVIDSDAVIS
ARCHITECTS

521 E. OAK STREET, UNIT A
FORT COLLINS, CO. 80524
TEL (970) 442-1927
SAN DIEGO
TEL (619) 236-1633

PATIO SUN ROOM

816 W MOUNTAIN AVE,
FORT COLLINS, CO 80524



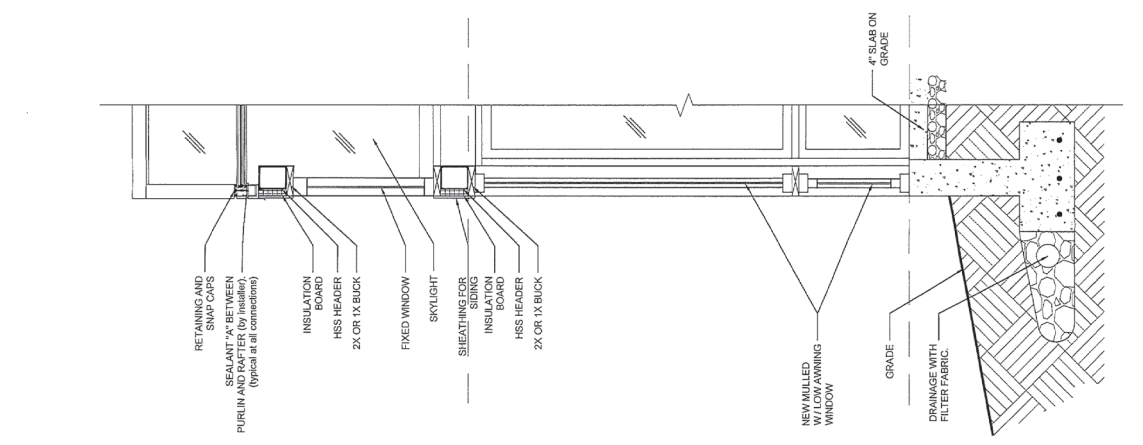
SET ISSUE 02.17.2022
REVIEW SET

SHEET ISSUE DATE
REVISIONS

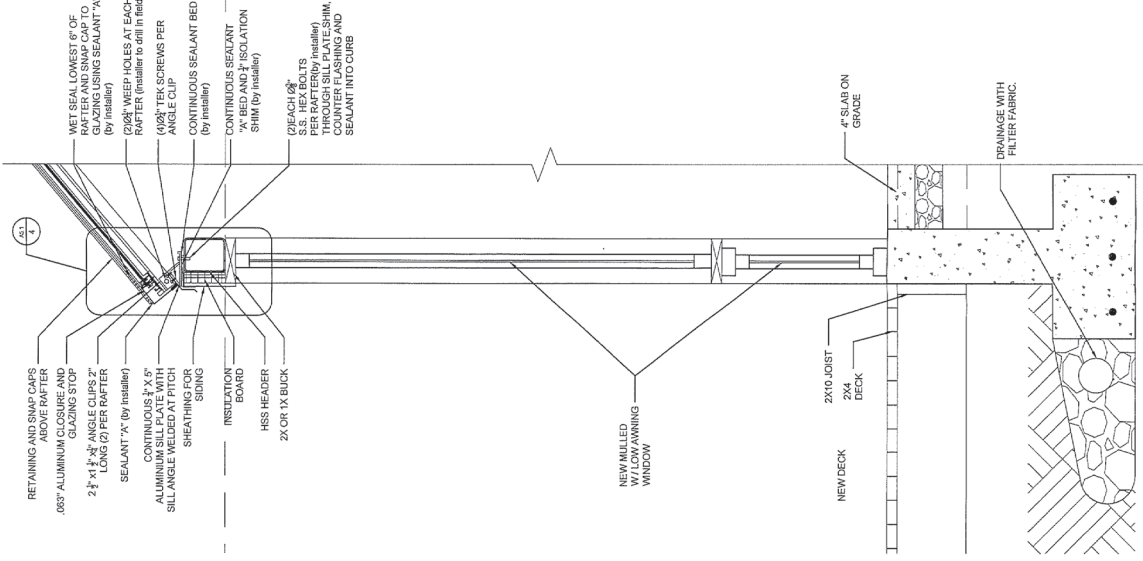
PROJECT NUMBER:
SHEET:
DRAWN BY: LN
CHECKED BY: RD

SECTIONS

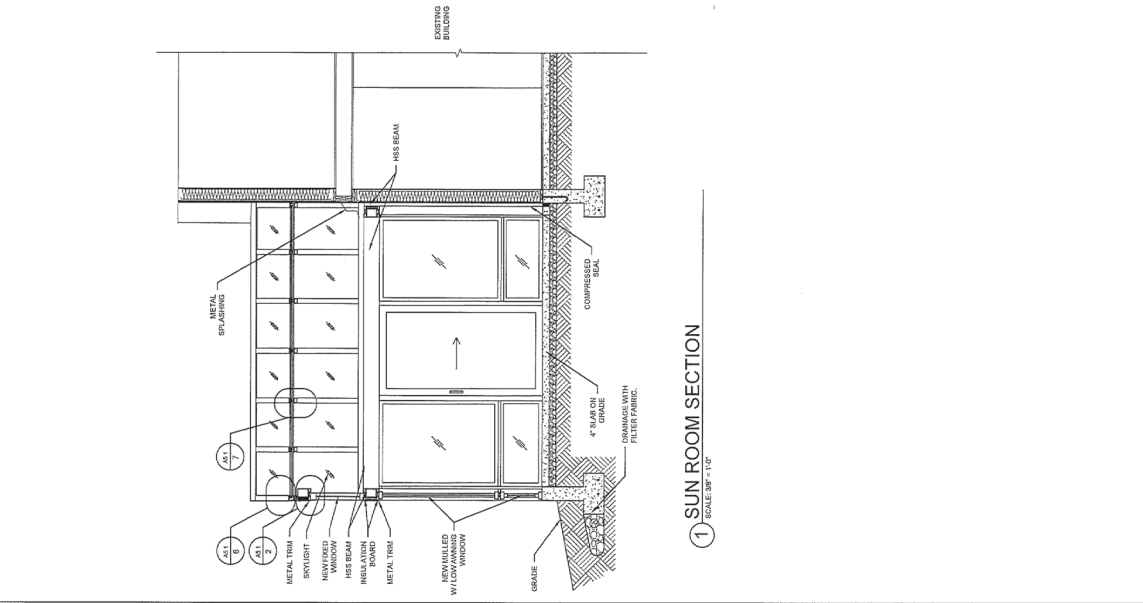
A4.1
SCALE AS NOTED



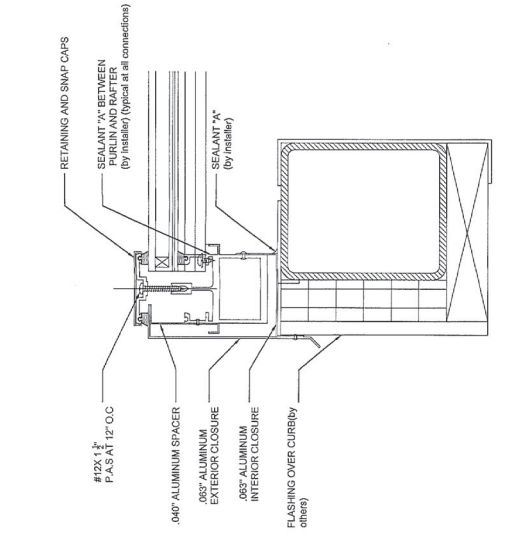
① SUN ROOM SECTION
SCALE: 3/8" = 1'-0"



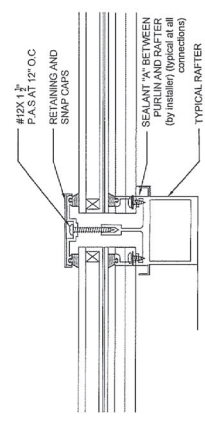
② WALL SECTION
SCALE: 1/2" = 1'-0"



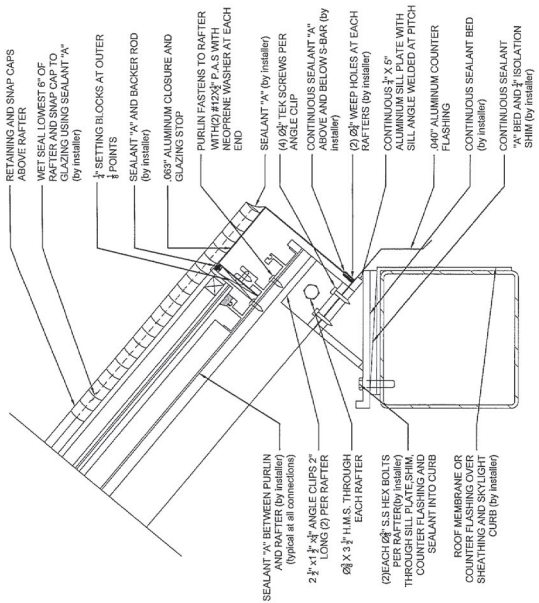
③ WALL SECTION
SCALE: 1/2" = 1'-0"



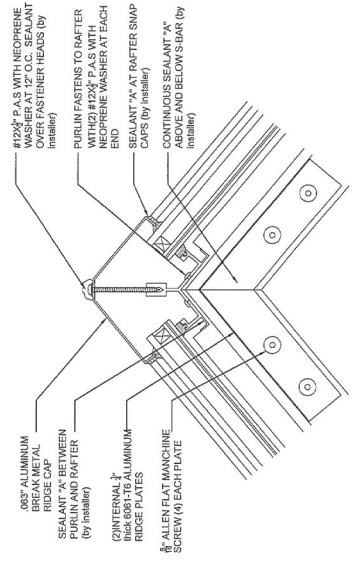
6 END RAFTER DETAIL
SCALE 1/2" = 1'-0"



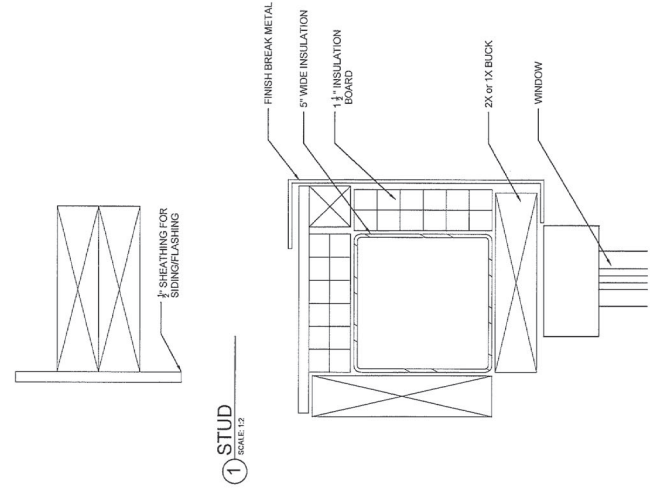
7 RAFTER DETAIL
SCALE 1/2" = 1'-0"



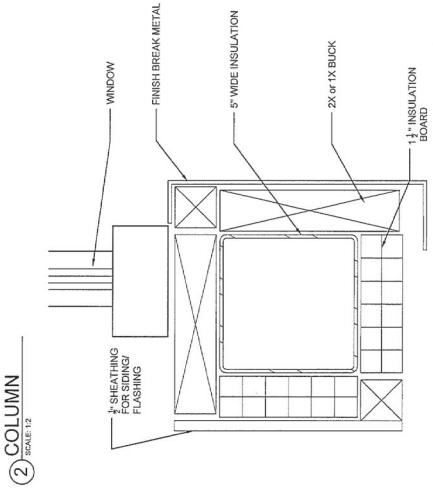
4 STILL DETAIL
SCALE 1/2" = 1'-0"



5 RIDGE DETAIL
SCALE 1/2" = 1'-0"



1 STUD
SCALE 1/2" = 1'-0"



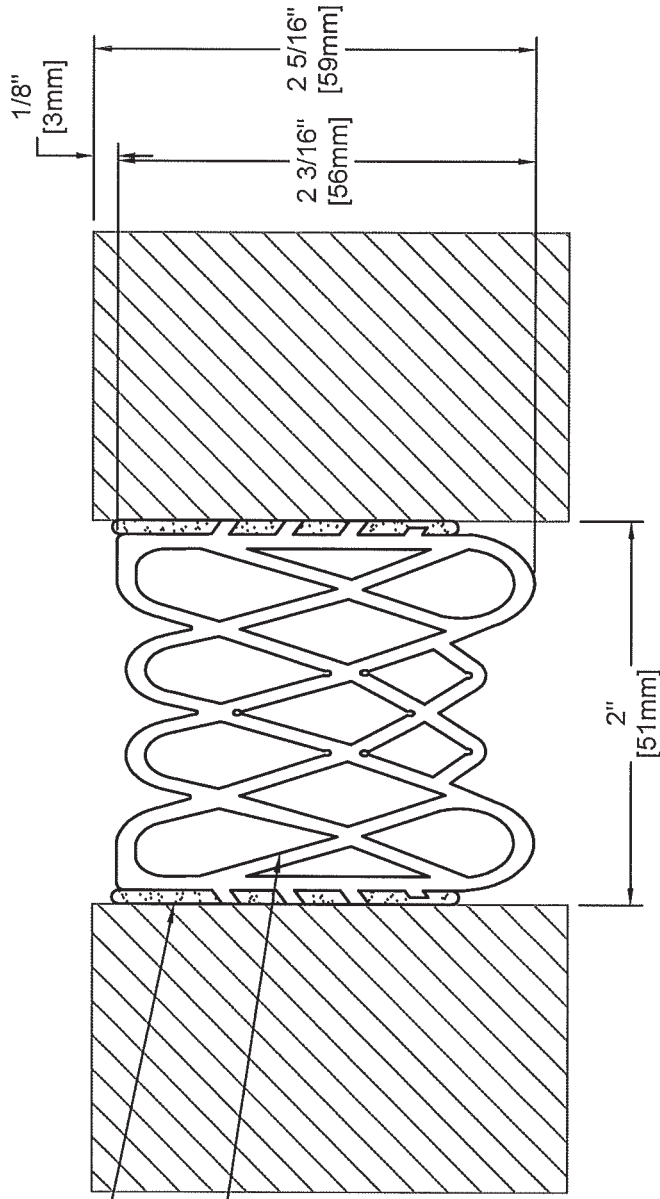
2 COLUMN
SCALE 1/2" = 1'-0"

3 COLUMN
SCALE 1/2" = 1'-0"



PRIMER (JPR010) AND
EPOXY ADHESIVE (JPR011)

SANTOPRENE
COMPRESSION SEAL



816 W Mountain Avenue
Patio Sun Room
Architectural Compression Product

COMPARE AMBIENT
TEMPERATURE CHARTS WITHIN
INSTALLATION INSTRUCTIONS
AGAINST JOINT DIMENSIONS IN
THE FIELD PRIOR TO ORDERING
PRODUCT.

SYSTEM	JOINT WIDTH		NOMINAL JOINT WIDTH INSTALL RANGE		MOVEMENT ±			
	US	mm	US	mm	MINIMUM	MAXIMUM		
AR-200S	2"	51	1 5/8"-2 3/8"	41-60	1"	25	3"	75

FINISH: N/A

PROJECT:

CUSTOMER:

LOCATION:

APPLICATION -
ARCHITECTURAL COMPRESSION SEAL - EXTERIOR/OPEN STRUCTURE

DATE: 6-25-13

SCALE: 1:1

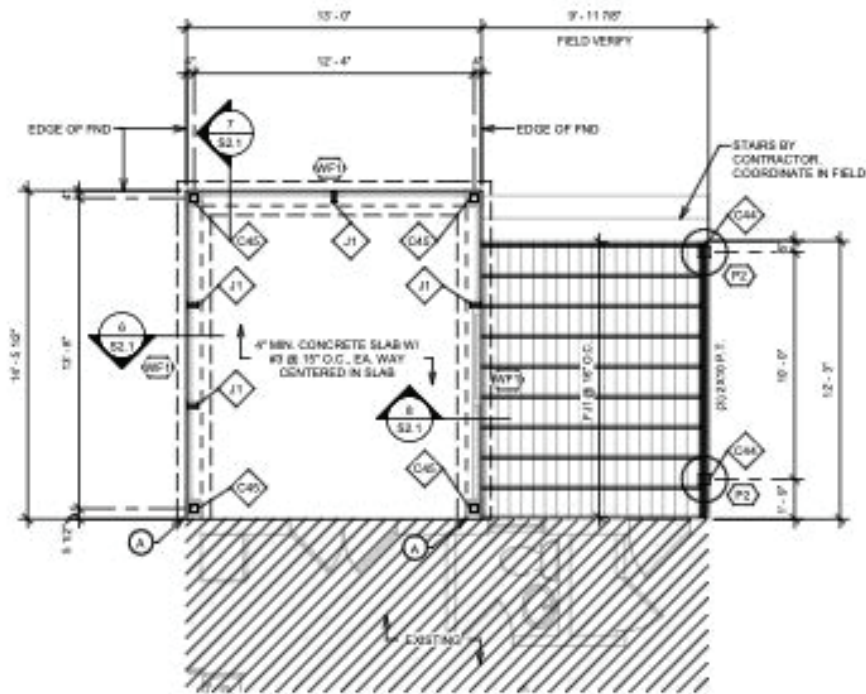
DOC: CAD.JM.217/R4

inpro®

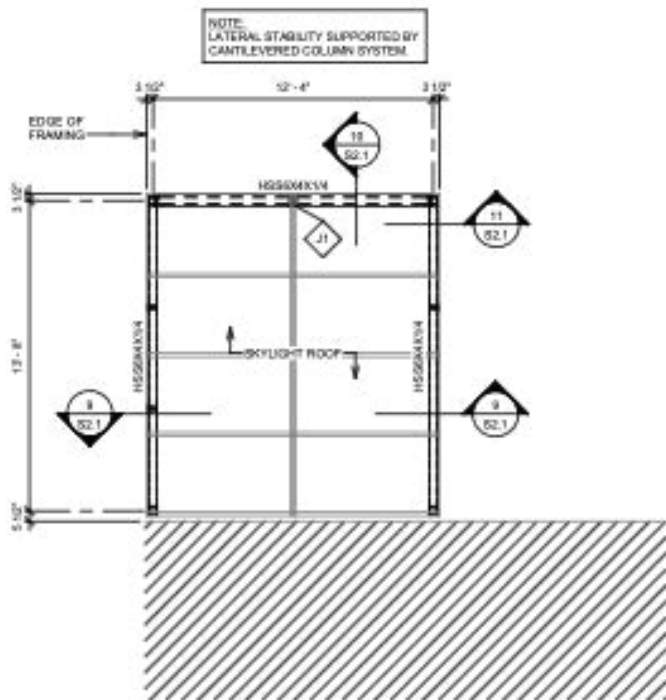
For More Information Visit: Inprocorp.com



PATIO SUN ROOM
 816 MOUNTAIN AVE.
 FORT COLLINS, CO 80524



1 FIRST FLOOR FRAMING PLAN
 1/4" = 1'-0"



2 ROOF FRAMING PLAN
 1/4" = 1'-0"

No.	Description	Date

FRAMING PLANS	
Project number	230036
Date	08/29/2023
Drawn by	CRM
Checked by	CRM

SHEET NUMBER
S1.1

MARVIN ELEVATE® AND ESSENTIAL™

Exterior Color Options

A strong alternative to vinyl, our Ultrex® pultruded fiberglass exterior finish is applied through a proprietary process. The American Architectural Manufacturers Association (AAMA) awards certifications to materials that pass and simulate the harsh conditions that a finish will encounter throughout the life of the window or door. Passing these AAMA 624 verifications gives independent verification that the Ultrex finish is best in class among fiberglass products.

Built for durability and low-maintenance, our Ultrex finish is 3x thicker than competitive finishes, with a smooth coating that resists fading, chalking, peeling and cracking, even in the darkest colors. If a design change calls for a new color, we can repaint without voiding our warranty. Six colors are available in neutral and dark tones.



Gunmetal

Selected: Gunmetal



816 W Mountain Avenue

Patio Sun Room

DOOR AND WINDOW MULLIONS



GUNMETAL

MODERN

MARVIN SIGNATURE™ COLLECTION

MARVIN 









