



Historic Preservation Services
 Community Development & Neighborhood Services
 281 North College Avenue
 P.O. Box 580
 Fort Collins, CO 80522.0580
 970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 415 E. Laurel St.
Laurel School National Register Historic District
ISSUED: 9/1/2023

Hoag D. L. Revocable Living Trust & Hoag C. K. Revocable Living Trust
 415 E. Laurel St.
 Fort Collins, CO 80524

Dear Property Owner:

This report is to document proposed alterations to the Peter Hussey House at 415 E. Laurel St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: New detached 2-car garage at rear of property (on alley)

Our staff review of the proposed work finds the alterations meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i> This detached garage project will not impact the single-family residential use of the property, and so this standard is met.	Y
SOI #2	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i>	N/A

<p>SOI #3</p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>Although this new garage structure does reference the existing historic house in some of the design choices to create compatibility between the structures, it is still clearly a modern garage structure with an overhead garage door and does not create a false sense of historical development.</p>	<p>Y</p>
<p>SOI #4</p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	<p>N/A</p>
<p>SOI #5</p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p>	<p>N/A</p>
<p>SOI #6</p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<p>N/A</p>
<p>SOI #7</p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p>N/A</p>
<p>SOI #8</p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>It is unlikely that archaeological resources will be uncovered during this project, but should any such materials be discovered during any needed excavation for this project, please protect those resources in place and contact Historic Preservation Services for assistance.</p>	<p>Y</p>

<p>SOI #9</p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>This related new construction will not destroy any materials from the historic house. The new building is compatible with the existing house due to the matching of elements like trim and siding, but the modern overhead garage door distinguishes it from historic construction.</p>	<p>Y</p>
<p>SOI #10</p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>Because this is a detached garage structure, if it were to be removed in the future, there would not be an impact on the historic house.</p>	<p>Y</p>

If you have any questions regarding this review, please contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner



BUILDING PERMIT APPLICATION

FOR OFFICE USE
APPLICATION NUMBER: _____ APPLICATION DATE: _____

Job Site Address 415 E Laurel St, Fort Collins 80524 **Unit#** _____

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name Hoag First Name Dana Middle LK
 Street Address 415 E Laurel st City Fort Collins State CO Zip 80524
 Phone # 970-217-3149 Email dhoag@colostate.edu

Name of Business (COMMERCIAL USE ONLY) _____

CONTRACTOR INFO: Company Name TBA

License Holder Name TBA LIC # _____ CERT # _____

LEGAL INFO:

Subdivision/PUD Galligans Filing # _____ Lot # 9 Block # 157&167 Lot Sq Ft 9000

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) _____ Total Garage Sq. Ft. 576

Residential Sq Ft _____ Commercial Sq Ft _____ # of Stories _____ Bldg Ht _____ # of Dwelling Units _____

1st Floor Sq Ft _____ 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft _____

Finished Basement Sq Ft _____ # of Bedrooms _____ # of Full Baths _____

¼ Baths _____ ½ Baths _____ # Fireplaces _____

ENERGY INFORMATION: (CHECK ONE)

Prescriptive Performance U/Arescheck ERI ASHRAE Component/Comcheck IDAP

Air Conditioning? YES NO

City of Fort Collins Approved Stock Plan # **SPO** _____ List Option #s _____

Utilities INFO:

New Electric Service Electric Service Upgrade Electric Meter Relocation

Electric Main Breaker Size (Residential Only): 150 amps or less 200 amps Other:

Gas Electric Electric Temp Pedestal? Yes No

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes No If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes No

If yes, please describe: _____

Value of Construction (materials and labor): \$ 40,320

Description of Work: build exterior garage Construction type V-B

JOBSITE SUPERVISOR CONTACT INFO: Name tba Phone _____

SUBCONTRACTOR INFO: Electrical tba Mechanical _____

Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

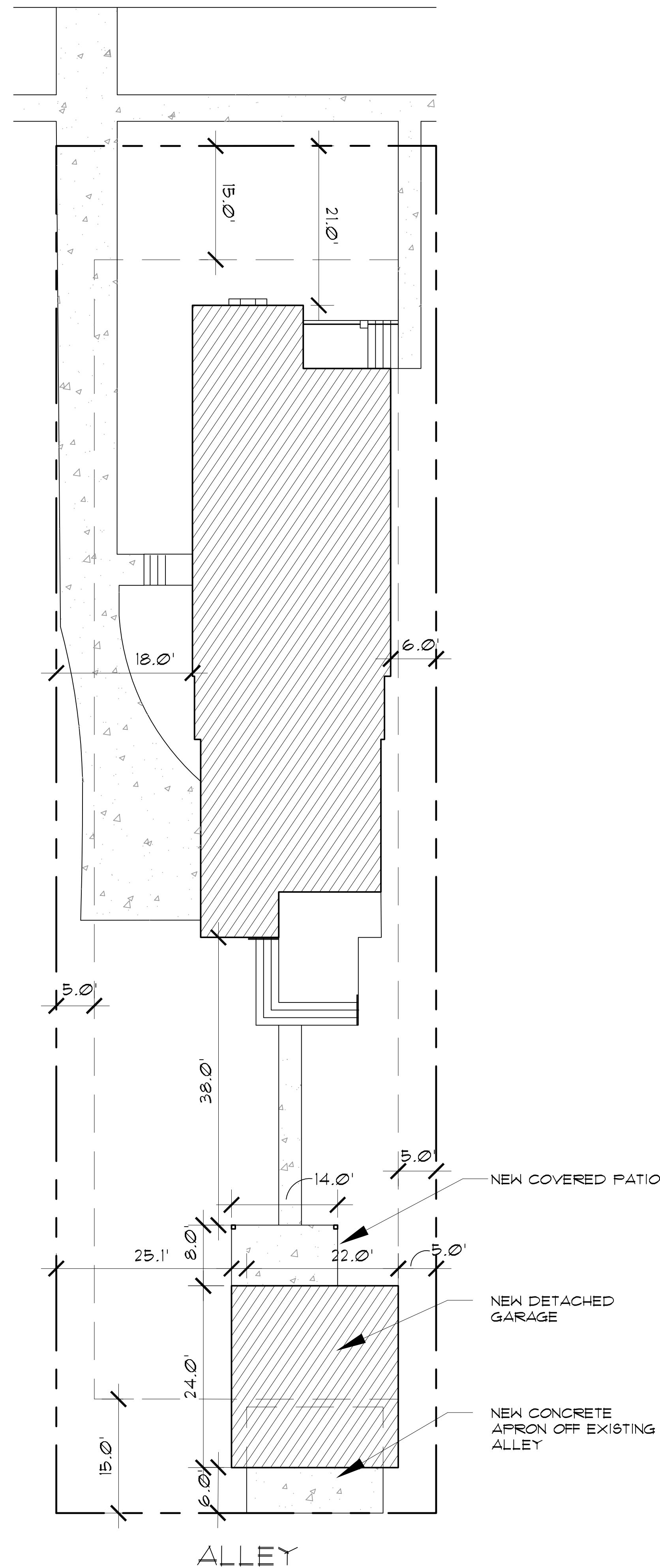
Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature Dana Hoag Digitally signed by Dana Hoag
Date: 2023.08.28 09:34:33 -06'00' Type or Print Name Dana Hoag

Phone # 970-217-3149 Email dhoag@colostate.edu

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE

E LAUREL ST



NEW COVERED PATIO

NEW DETACHED GARAGE

NEW CONCRETE APRON OFF EXISTING ALLEY

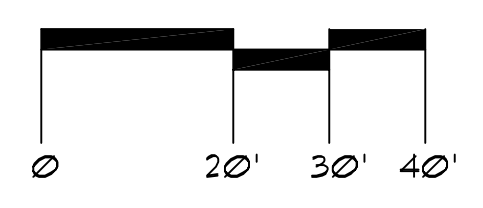
SITE NOTES

1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE AS REQUIRED BY LOCAL STANDARDS TO AN APPROVED RECEPTOR OR EQ.
2. CONTRACTOR TO VERIFY HORIZONTAL PLACEMENT AND FINISH FLOOR ELEVATIONS WITH OWNER AND ARCHITECT PRIOR TO EXCAVATIONS.
3. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE ARCHITECT IMMEDIATELY.
4. (T.O.F.) INDICATES MINIMUM TOP OF FOUNDATION.
5. ANY GRADING SHOWN IS ONLY A GUIDE AND SHALL NOT BE USED FOR CALCULATING EXACT EXCAVATION QUANTITIES.
6. WHERE DRAINS OCCUR THE DRAIN SHALL BE RUN TO DAYLIGHT WITH A SLOPE OF AT LEAST 1/4" PLF. AS AN ALTERNATIVE, THE DRAIN MAY BE RUN TO A SUMP, THEN PUMPED AWAY FROM THE FOUNDATION.
7. ALL EXTERIOR CONC. FLATWORK TO BE A MIN. (4" THICK 3000 psi CONC. W/ FIBER MESH) OVER 2" THICK GRAVEL OR COMPACTED SAND BASE OVER PROPERLY COMPACTED GRADE. VERIFY FINISH W/ OWNER.
8. SITE PLAN IS BASED UPON SUBDIVISION PLAT # 6 SATELLITE IMAGERY.
9. ALL MATERIALS TO BE DISPOSED OF OFF-SITE ARE TO BE DISPOSED OF IN A LAWFUL LANDFILL AND IN ACCORDANCE WITH GOVERNMENT REQUIREMENTS.
10. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

PROJECT SUMMARY

CLIENT:
 DANA HOAG
 JOBSITE ADDRESS
 415 E LAUREL ST
 FORT COLLINS, CO 80524
 JOBSITE LEGAL ADDRESS
 LOT 9, BLK 151, GALLIGANS SUB OF BLK 151 & 161, ETC

1 SITE PLAN
 1" = 10'-0"

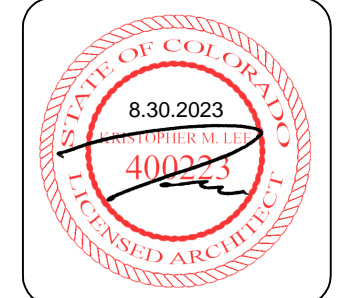


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© 2023 Kenney Lee Architecture Group, Inc.
 ARCHITECTURAL
 SITE PLAN
 date: 8/30/2023
 drawn: BAH
 checked: ---
 job no.

NEW DETACHED GARAGE:
HOAG RESIDENCE
 415 E LAUREL ST
 FORT COLLINS COLORADO (970) 663-0548

Kenney Lee
 architecture group, inc.




sheet
A1.1

HOAG GARAGE

415 E LAUREL

FORT COLLINS

COLORADO


Kenney Lee
architecture group, inc.
 Loveland • Colorado
 (970) 663-0548

GENERAL NOTES

- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, CODES, AND OWNER REQUIREMENTS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THIS SHALL BE DONE PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- PROSPECTIVE SUB-CONTRACTORS SHALL SECURE ALL DATA AT THE SITE OF PROPOSED CONSTRUCTION SUCH AS CONVENIENCE OF RECEIVING AND SORTING MATERIALS, STAGING AREAS, LOCATION OF PUBLIC SERVICES, AND OTHER INFORMATION WHICH WILL HAVE INFLUENCE ON MAKING THEIR PROPOSALS OR ON THE EXECUTION OF THE WORK. NO ALLOWANCES WILL BE MADE FOR FAILURE OF THE SUB-CONTRACTOR TO OBTAIN SUCH ON-SITE INFORMATION PRIOR TO SIGNING OF THE CONTRACT.
- SHOULD EITHER THE DRAWINGS AND THE SPECIFICATIONS, OR ANY PARTICULAR SPECIFICATION, AND THE GENERAL CONDITIONS CONTRADICT EACH OTHER IN ANY POINT, OR REQUIRE CLARIFICATION, THE CONTRACTOR MUST CALL THE SAME TO THE ATTENTION OF THE ARCHITECT, AND HIS DECISION SHALL BE OBTAINED PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT AND IN THE PROPOSED CONSTRUCTION BUILDING OR SITE OR SURROUNDINGS. NO CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREA.
- EACH CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENT AND SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCIES OR OMISSION HE MAY DISCOVER. FURTHER, THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH HE BELIEVES TO BE CONTRARY TO HIS KNOWLEDGE OF GOOD CONSTRUCTION STANDARDS AND PRACTICES AND SHALL NOT USE ANY SUBSTANDARD MATERIAL.
- CONTRACTOR SHALL FOLLOW SIZES IN SPECIFICATIONS OR DIMENSIONED FIGURES ON DRAWINGS IN PREFERENCE TO SCALE MEASUREMENTS AND FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS.
- WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK, OR OF A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIOUS AND SO CONSTRUCTED.
- CONTRACTOR IS TO VERIFY THAT ALL EQUIPMENT AND FIXTURES ARE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS. THE CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT ANY EQUIPMENT NOT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS. THE CONTRACTOR IS TO ASSURE THAT THE PLACEMENT OF EQUIPMENT IS POSSIBLE BEFORE CONSTRUCTION OF ALL INTERIOR PARTITIONS ARE COMPLETED.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE.
- THE GENERAL CONTRACTOR SHALL MAKE NO CHANGES IN THE WORK WITHOUT A CHANGE ORDER SIGNED BY THE OWNER, OR A CONSTRUCTION CHANGE DIRECTIVE ISSUED BY THE ARCHITECT.
- IT WILL BE ASSUMED THAT EACH TRADE HAS ACCEPTED THE QUALITY OF THE WORK OF OTHERS UPON WHICH HIS WORK MUST BE APPLIED, UNLESS THE ARCHITECT AND OWNERS INFORMED TO THE CONTRARY AT LEAST 24 HOURS BEFORE COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR THE PROPER INSTALLATION OR CONFORMANCE WITH CODES OR STANDARDS LISTED OR DEPICTED HEREIN SHALL BE INCLUDED IN THE WORK.
- ALL EXTERIOR WALLS ARE 2 X 6'S, INTERIOR WALLS ARE 2 X 4'S U.N.O.
- VERIFY ALL TUB & SHOWER SIZES BEFORE FRAMING WALLS.
- PROVIDE FIRE BLOCKING PER CODES @ ALL STAIRS AND WALLS OVER 10' HIGH.
- WINDOW & DOOR CALLOUTS ARE NOMINAL. VERIFY WITH MFR FOR R.O. & EGRESS REQUIREMENTS. WINDOW CALLOUTS ARE IN FEET & INCHES.
- EGRESS WINDOW - AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. W/ MIN. DIM. OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.
- PROVIDE SOLID BLOCKING BEHIND ALL TOWEL BARS, VERIFY LOCATIONS WITH OWNER.
- ALL KNEE WALLS TO BE SECURED THRU FLOORS AT THEIR ENDS.
- THERE ARE MULTIPLE INSTALLATION POSSIBILITIES FOR THE ELECTRICAL SYSTEM AND ITS COMPONENTS. A LICENSED ELECTRICIAN SHALL ADAPT THE ELECTRICAL SYSTEM TO THIS PLAN IN ACCORDANCE WITH LOCAL CODE.
- ALL CABINET LAYOUT IN BATHROOMS, KITCHENS, & LAUNDRY ARE FOR REFERENCE ONLY. OWNER TO ARRANGE FINAL LAYOUT WITH CABINET MFR. PRIOR TO CONSTRUCTION.

ABBREVIATIONS

AB	ANCHOR BOLT	GA	GAUGE
ADJ	ADJUSTABLE	GL	GLASS
BOF	BOTTOM OF FOOTING	H	HORIZONTAL
BLDG	BUILDING	LG	LONG
BLK	BLOCK	LT	LIGHT
BM	BEAM	MB	MACHINE BOLT
BS	BOTTOM OF STEEL	ML	MICRO-LAM
CAB	CABINET	MTL	METAL
CIP	CAST IN PLACE	NC	NOT IN CONTRACT
CLG	CEILING	NC	ON CENTER
CL	CENTER LINE	O.H.C.	OVERHEAD CABINET
CLR	CLEAR	P	TOP FLATE OR PROPERTY LINE
CMU	CONC. MASONRY UNIT	PT	PRESSURE TREATED
CONC.	CONCRETE	RAD	RADIUS
CONT.	CONTINUOUS	REQ'D	REQUIRED
CONN	CONNECTION	RFS	ROD AND SHELF
CSK	COUNTERSINK	S&P	SHELF AND POLE
DBL	DOUBLE	SH	SHELF
DF	DOUGLAS-FIR	SH	SHELF
DIA	DIAMETER	SH	SHELF
DN	DOWN	SQ	SQUARE
DWG	DRAWING	STL	STEEL
EA	EACH	TOF	TOP OF FOUNDATION
EF	EACH FACE	TOF	TOP OF SLAB
EQ	EQUAL	TOU	TOP OF WALL
ES	EACH SIDE	TS	TUBE STEEL
EU	EACH WAY	TYP	TYPICAL
FD	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FDN	FOUNDATION	V	VERTICAL
FLR	FLOOR	WD	WOOD
FN	FIELD NAIL	WUF	WELDED WIRE FABRIC
FT	FEET		

CONSULTANTS

OWNER
 DANA HOAG
 415 E LAUREL ST
 FORT COLLINS, CO

ARCHITECT
 KENNEY LEE ARCHITECTURE GROUP, INC
 209 EAST FOURTH STREET
 LOVELAND, COLORADO 80531
 (970) 663-0548

STRUCTURAL ENGINEER
 MCBRIDE STRUCTURAL DESIGN
 JOHN MCBRIDE

CODE COMPLIANCE

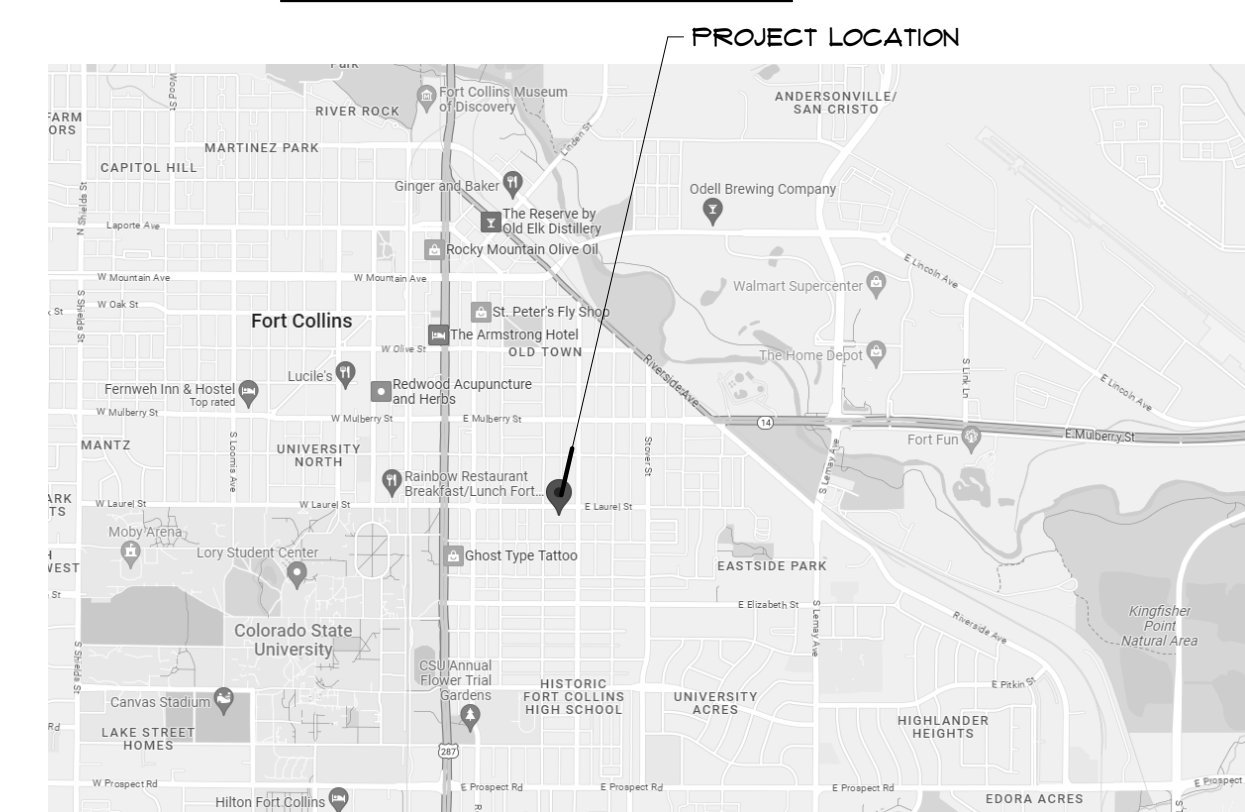
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AS PER THE CITY OF FORT COLLINS.

- 2021 IRC

SHEET INDEX

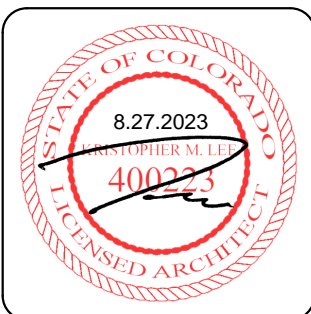
ARCHITECTURAL	
A1.0	COVER SHEET
A1.1	ARCHITECTURAL SITE PLAN
A3.1	PLANS, ELEVATIONS, SECTIONS
STRUCTURAL	
S1.1	FOUNDATION & FRAMING PLAN
S2.1	STRUCTURAL DETAILS & GENERAL NOTES

VICINITY MAP



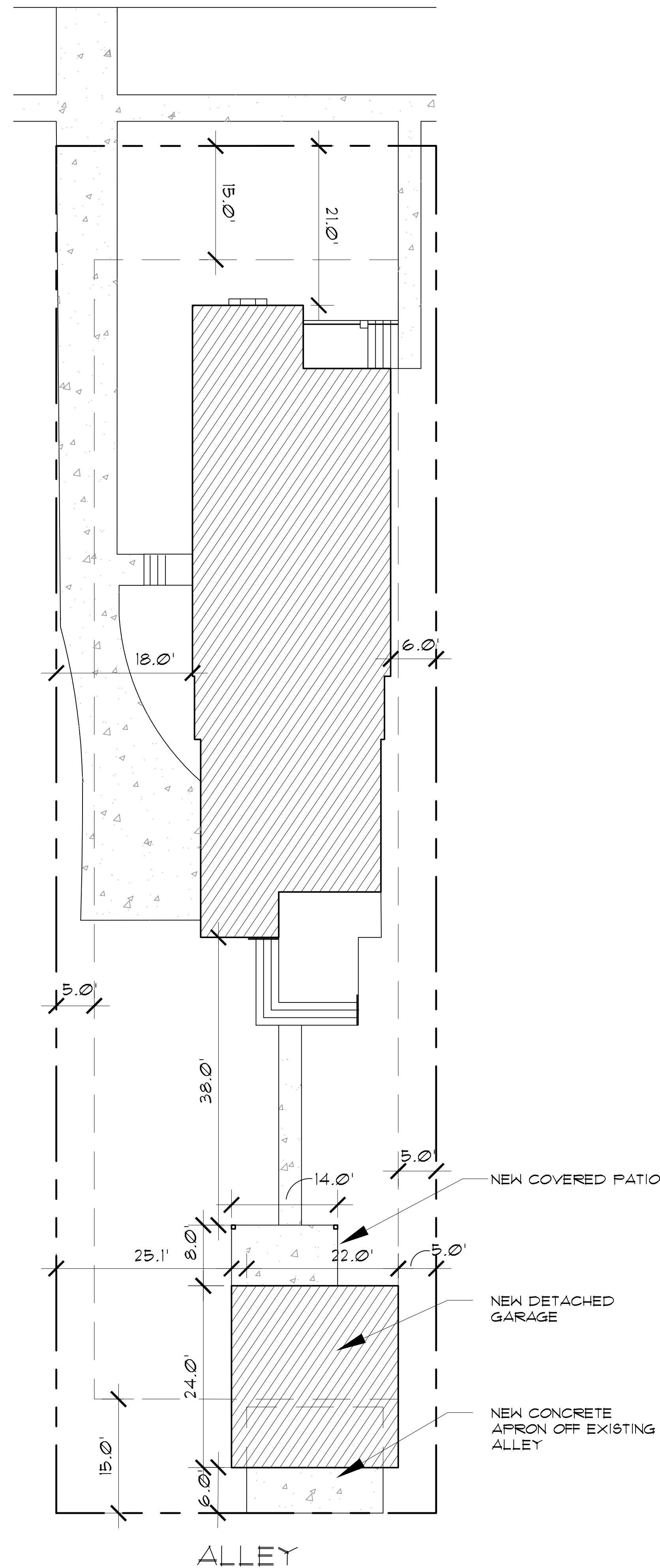
NOTICE: DUTY OF COOPERATION - RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED, AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

HOAG GARAGE
 415 E LAUREL



sheet
A1.0

E LAUREL ST



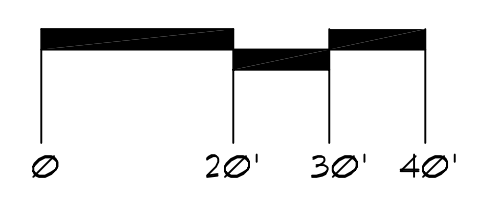
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1 SITE PLAN
 1" = 10'-0"



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Kenney Lee architecture group, inc.
 ARCHITECTURAL SITE PLAN
 HOAG RESIDENCE
 415 E LAUREL ST
 FORT COLLINS COLORADO
 (970) 663-0548
 date: 8/30/2023
 drawn: BAH
 checked: ---
 job no.

ROOFING NOTES

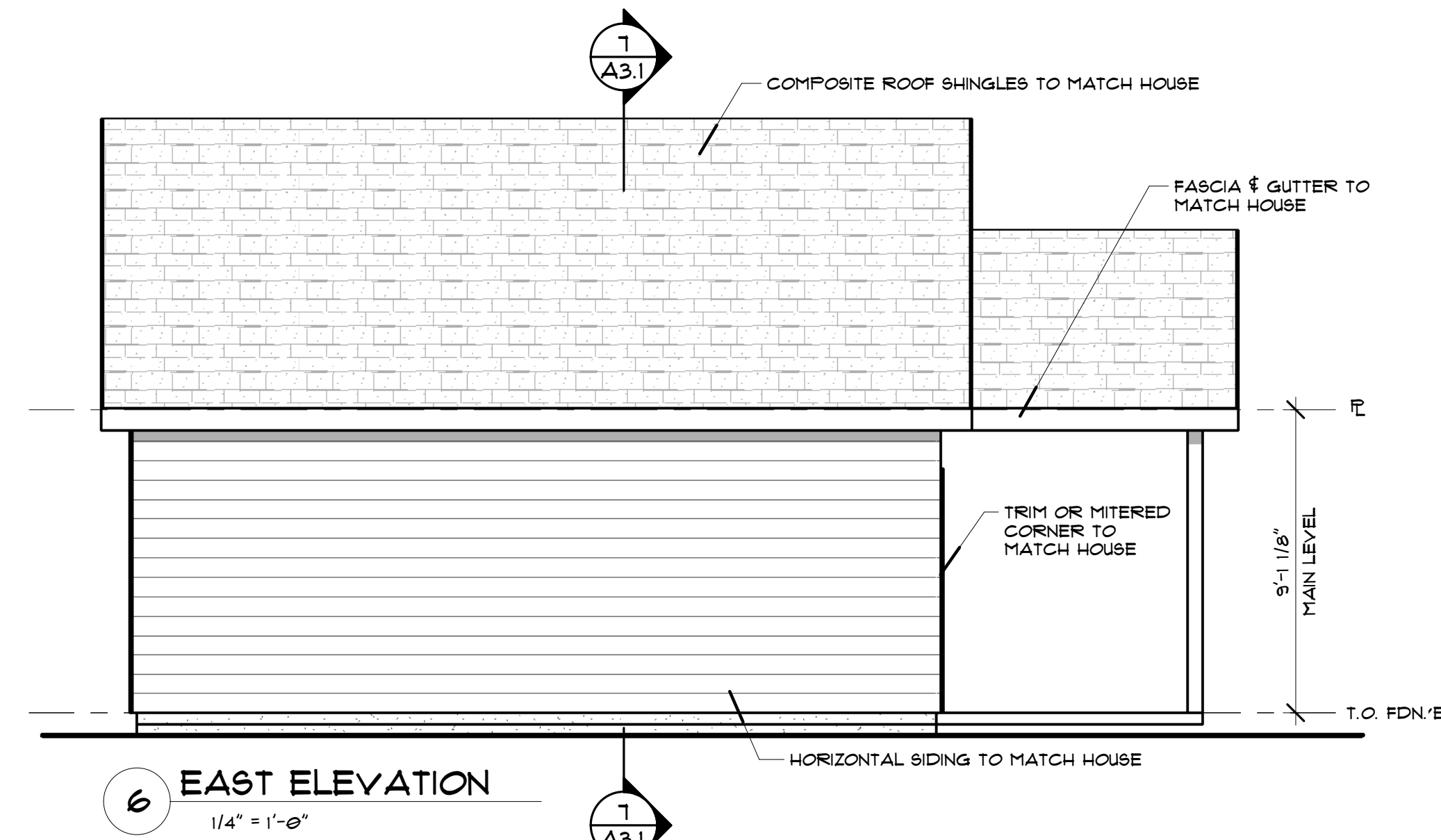
ROOFING TO BE MFR. TO BE SELECTED
 VERIFY WITH OWNER FOR ANY SPECIAL BLENDS
 ROOF SLOPE TO BE SEE SECTIONS & ELEVATIONS FOR MORE INFO.
 USE SYNTHETIC UNDERLAYMENT PER MANF. REQUIREMENTS.
 GUTTERS WHERE INDICATED PER PLAN TO BE SEAMLESS SHEET METAL (VERIFY W/ OWNER)
 ALL SHEET METAL ROOF PENETRATIONS TO BE PAINTED TO MATCH COLOR OF MOST ADJACENT ROOFING.
 ALL VALLEYS TO HAVE CONT. SHEET METAL FLASHING.
 ALL VALLEYS TO BE CLOSED TYPE INSTALLATION.
 PROVIDE ROOF VENTILATION AS PER SEC. R906 - 2021 IRC
 ROOF FRAMING PER TRUSS ENGINEER.

ELECTRICAL SYMBOLS

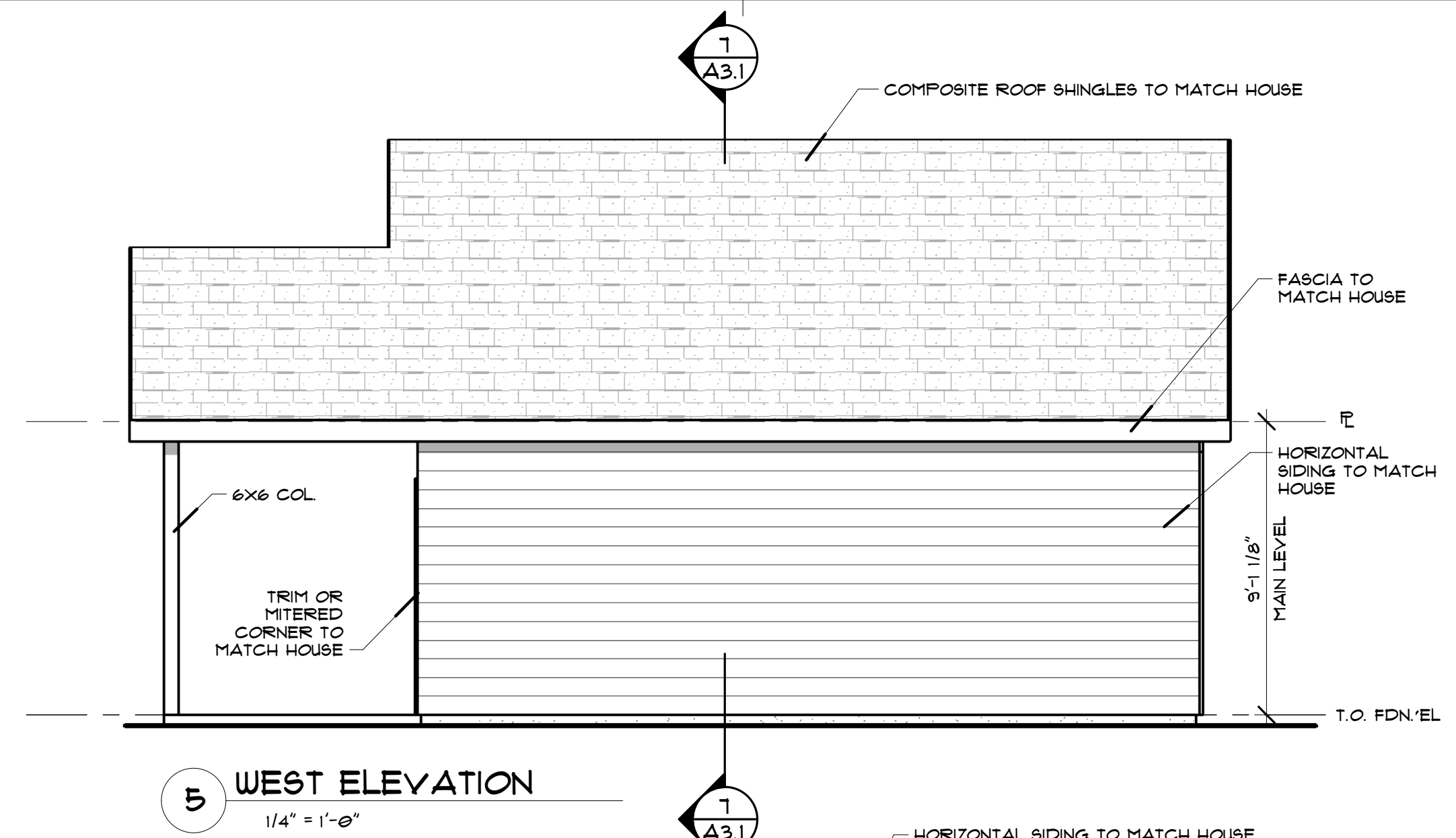
- 110V OUTLET
- 220V OUTLET
- UP WEATHER PROOF 110V
- 1/2 HOT (SWITCHED) 110V OUTLET
- FLOOR OUTLET 110V
- CEILING MOUNTED OUTLET 110V
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- CABLE T.V. COAXIAL
- TELEPHONE/DATA
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- HANGING CEILING LIGHT FIXTURE WITH BLOCKING TO SUPPORT 100 LB. MIN.
- CEILING FAN
- WALL SCONCE
- HEAT LAMP
- JUNCTION BOX
- THERMOSTAT
- LED TUBE LIGHT FIXTURE (SIZE PER PLAN)
- EXHAUST FAN
- FAN / LIGHT COMBINATION
- PENDANT LIGHT
- 4-PLEX OUTLET
- GROUND FAULT INTERRUPTED
- SPEAKER LOCATION
- SECURITY LIGHTING
- SMOKE DETECTOR
- REASSESSED CEILING MOUNTED CAN LIGHT
- UNDER/ OVER CABINET SURFACE MOUNTED LOW VOLT. PUCK LIGHTS

ELECTRICAL NOTES

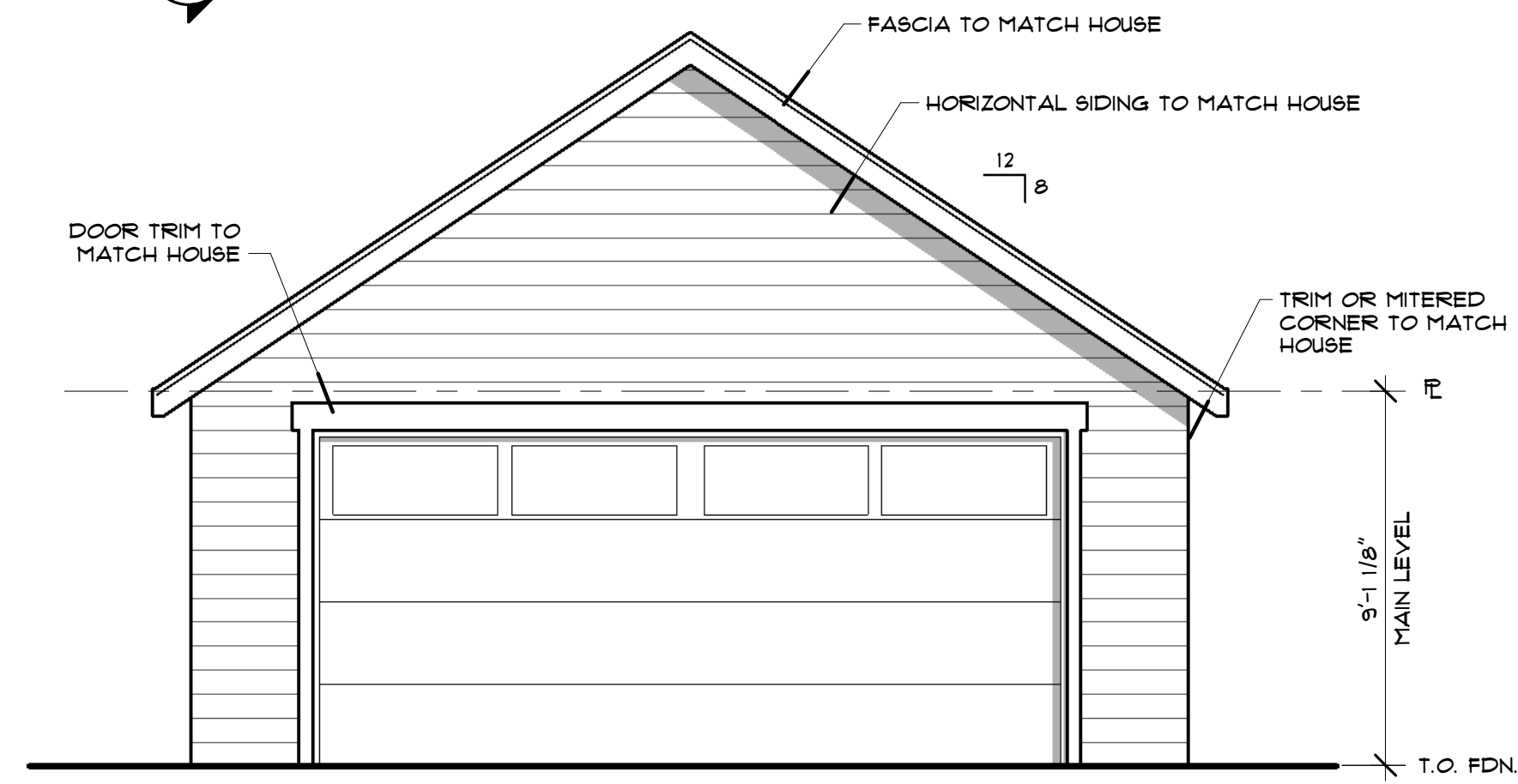
1. ALL EXTERIOR OUTLETS TO BE WEATHERPROOF AND GFI PROTECTED.
2. LIGHTING FIXTURES OCCURRING ABOVE TUBS OR SHOWERS SHALL BE WATERPROOF PROTECTED.
3. ALL OUTLETS & RECEPTACLES IN KITCHENS, BATHS, UTILITY AREAS, BAR AREAS AND OUTLETS IN GARAGE SHALL HAVE GFI PROTECTION AS PER N.E.C. (ALSO VERIFY ANY ADDITIONAL LOCAL REQUIREMENTS)
4. CONTRACTOR TO FIELD VERIFY ALL ELECTRICAL WITH OWNER & ARCHITECT PRIOR TO INSTALLATION.
5. CLEARINGS FOR FURNACE TO BE PER MFR. LISTINGS.
6. CONTRACTOR TO PROVIDE AN ALLOWANCE IN BID FOR ALL HANGING FIXTURES SUCH AS FANS, CHANDELIERS, ETC. SHOWN ON PLAN.
7. ELECTRICAL SYSTEM GROUND TO BE PROVIDED PER N.E.C.
8. PROVIDE RECIRC. PUMP ON WATER HEATER. INSULATE ALL HOT WATER LINES WITH R-3 MIN. INSULATION (U.N.O.)
9. SMOKE DETECTORS TO BE PERMANENTLY WIRED TO HOUSE CIRCUIT.
10. KITCHEN LIGHTS AND APPLIANCES TO BE ON SEPARATE CIRCUITS.
11. DUCTLESS FANS CANNOT BE USED IN BATHROOMS WHERE A TUB OR SHOWER IS PRESENT.
12. ELECTRICAL OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH N.E.C. ARTICLE 210-52.



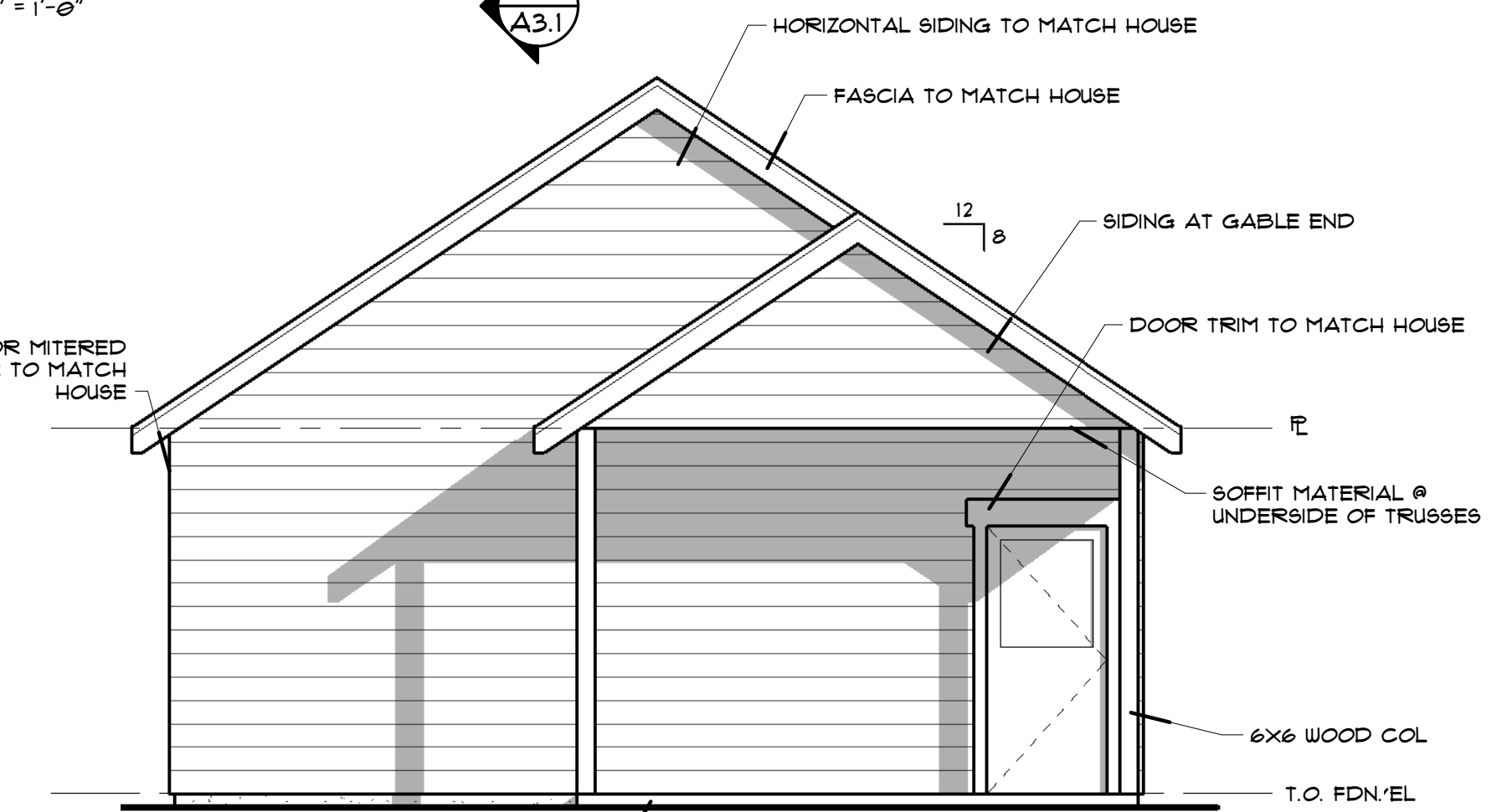
6 EAST ELEVATION
1/4" = 1'-0"



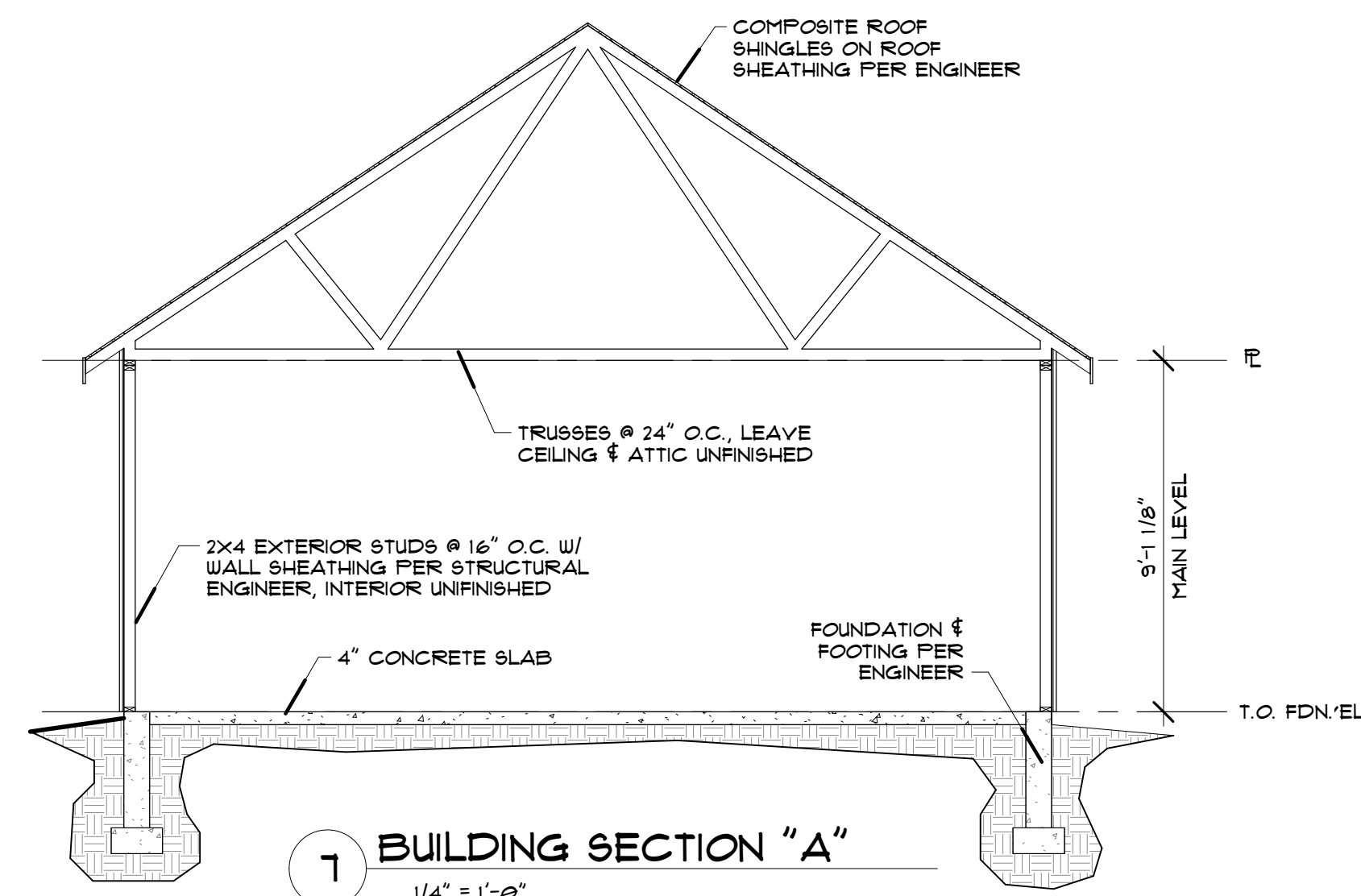
5 WEST ELEVATION
1/4" = 1'-0"



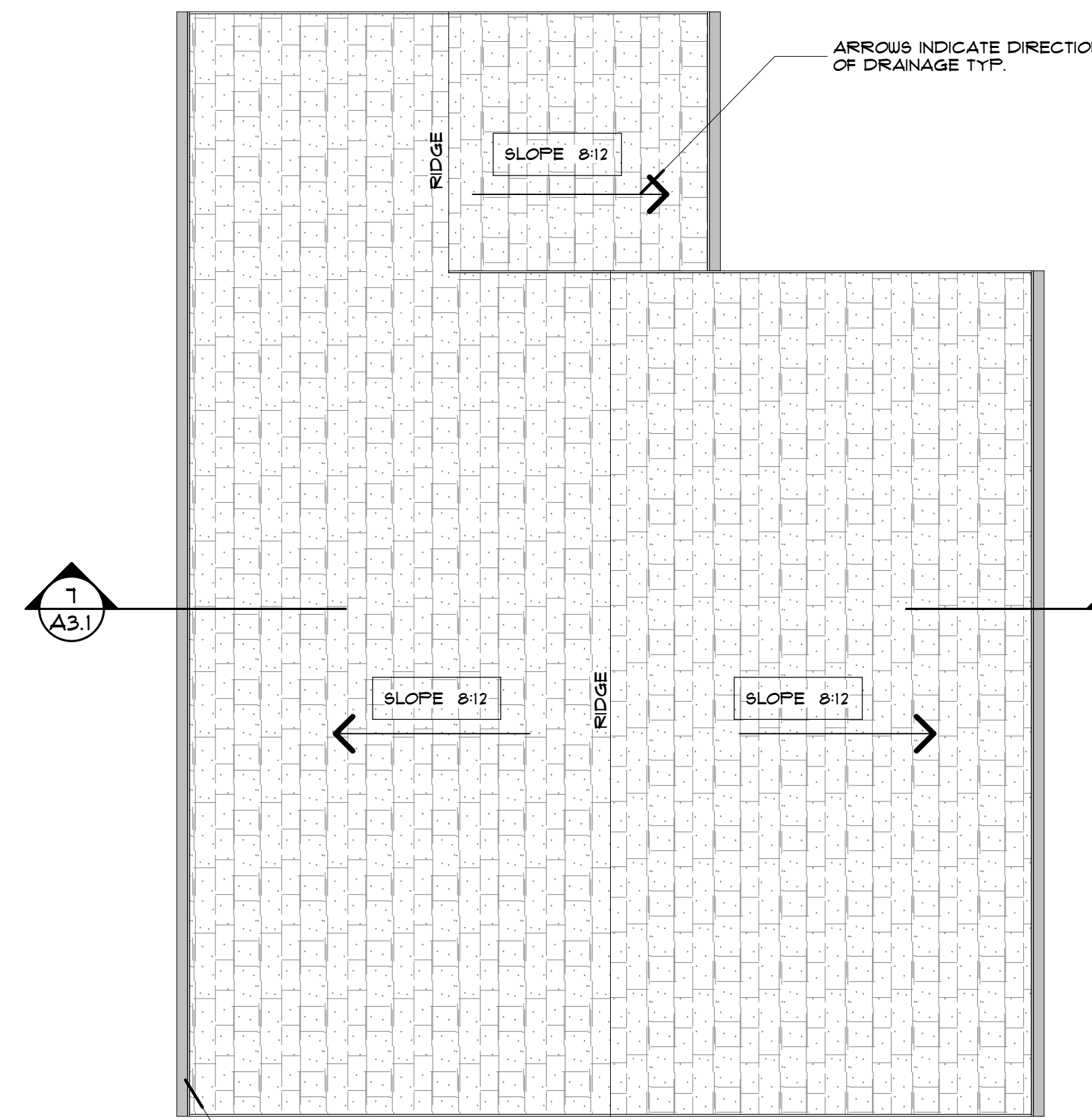
4 SOUTH ELEVATION
1/4" = 1'-0"



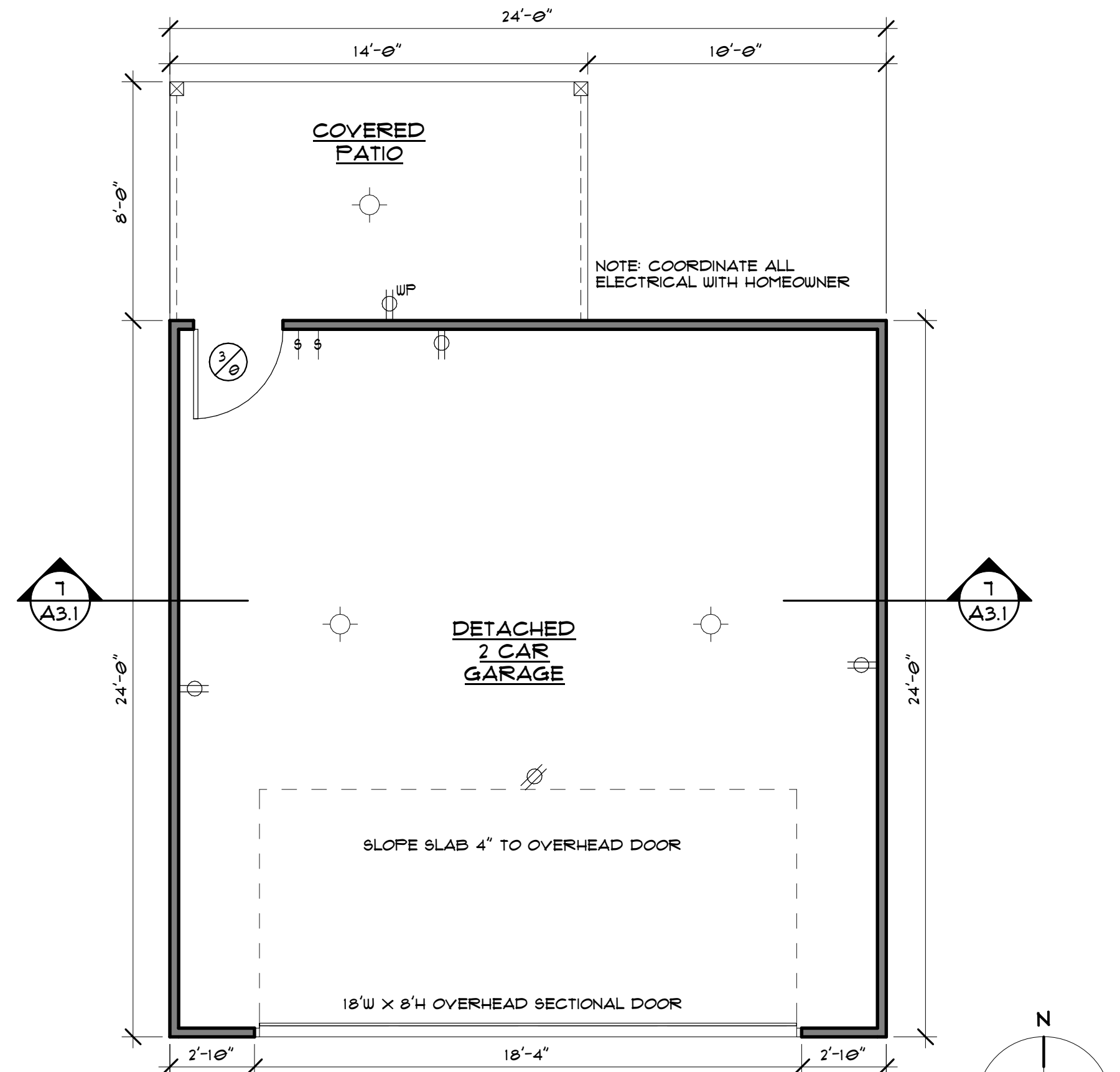
3 NORTH ELEVATION
1/4" = 1'-0"



1 BUILDING SECTION "A"
1/4" = 1'-0"



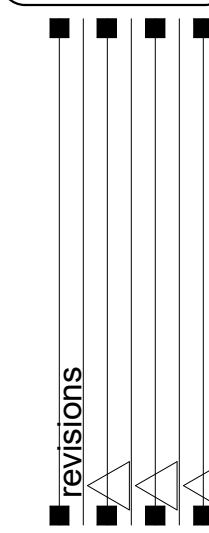
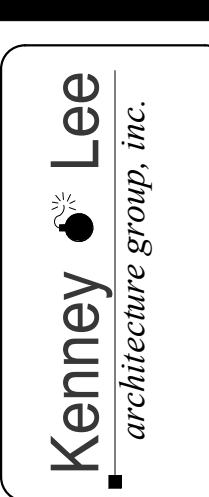
2 ROOF DRAINAGE PLAN
1/4" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

576 SQ. FT. GARAGE

NOTICE: CITY OF COOPERATION - RELEASE OF THESE PLANS CONSTITUTES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS REQUIRED TO ACHIEVE THE BEST RESULTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES. THIS SET IS NULL & VOID SHOULD ANY SET BE OBTAINED FROM THE SET.



HOAG GARAGE
415 E LAUREL

FORT COLLINS COLORADO

PLANS, ELEVATIONS, SECTIONS

date 8-27-2023
 drawn B.A.M.
 checked B.A.M.

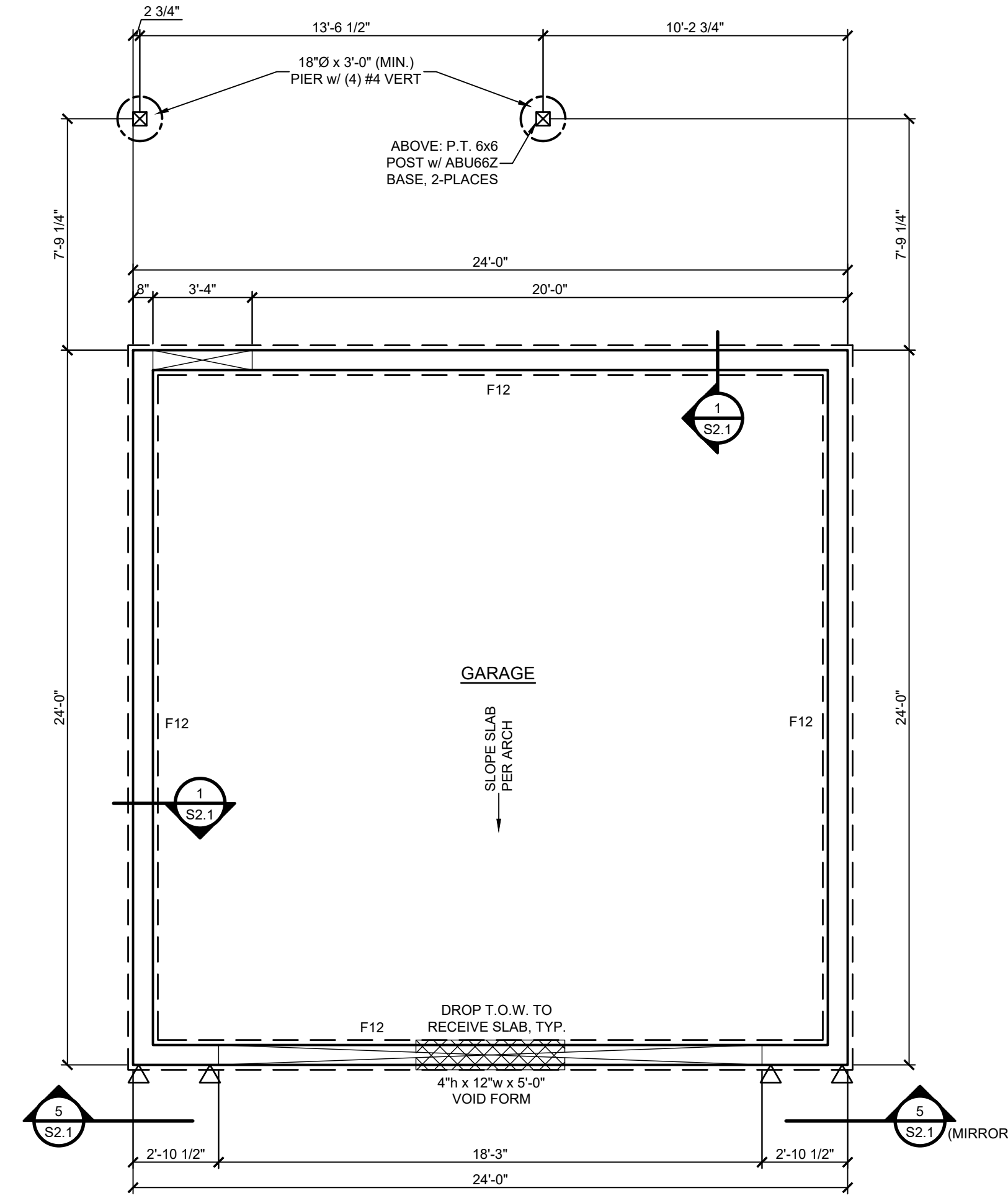


sheet **A3.1**

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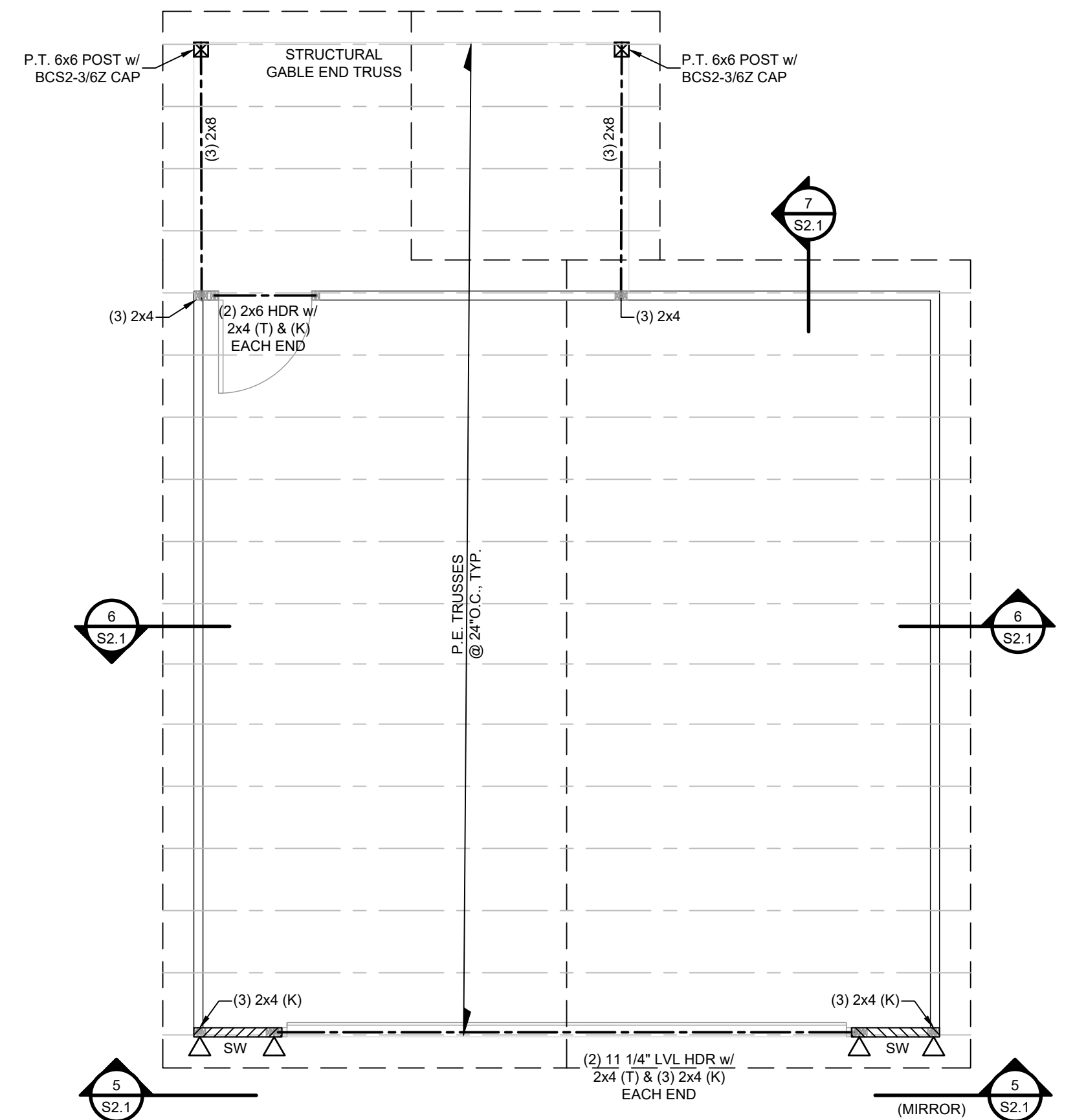
NOTICE: CITY OF COLOREDON - Release of these plans constitutes neither a representation, warranty, or guarantee by the engineer, architect, or contractor. Design and construction are the responsibility of the contractor. The use of these plans shall be reported immediately to the architect, engineer, or contractor if any discrepancy is discovered. Any ambiguity or discrepancy shall be reported immediately to the architect, engineer, or contractor. Changes made from the plans without the consent of the architect, engineer, or contractor are unauthorized and shall relieve the architect, engineer, or contractor of responsibility for all consequences arising out of such changes. THIS SET IS NULL & VOID SHOULD SHEET A-1 OR THE COVER SHEET BE OMITTED FROM THIS SET. COMMUNICATION IS TO BE MADE THROUGH THE ARCHITECT. COMMUNICATION IS TO BE MADE THROUGH THE ARCHITECT. COMMUNICATION IS TO BE MADE THROUGH THE ARCHITECT.

NO.	DATE	DESCRIPTION
1		
2		
3		
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7		



FOUNDATION PLAN
1/4" = 1'-0"
PLAN NOTES:
▽ DENOTES SIMPSON HOLDDOWN @ TOP OF FOUNDATION (RE: 5/S2.1)

FOOTING SCHEDULE			
MARK	FOOTING SIZE (WIDTH x HEIGHT)	LONGITUDINAL REINFORCING	TRANSVERSE REINFORCING
F12	12" x 8"	(2) #4 CONT.	NOT REQ'D



ROOF FRAMING PLAN
1/4" = 1'-0"
FINAL P.E. TRUSS PACKAGE TO BE REVIEWED BY MCBRIDE STRUCTURAL DESIGN PRIOR TO CONSTRUCTION

PLAN NOTES:
EXTERIOR WALL STUDS: 2x4's HEM-FIR #2 @ 16" O.C. @ GARAGE
ALL EXTERIOR STUDS MUST BE SHEATHED ON OUTSIDE FACE AND PROVIDED GYP. BOARD ON INSIDE FACE OR FULL DEPTH BLOCKING @ 4'-0" O.C. MAX.
ROOF SHEATHING: 15/32" APA RATED SHEATHING 32/16 SPAN RATING w/ 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN THE FIELD. WITHIN 4FT OF ROOF EDGES & RIDGES, ATTACH w/ 8d NAILS @ 6" O.C. IN THE FIELD.
WIND BRACING: ALL EXTERIOR WALLS TO BE FULLY SHEATHED w/ 7/16" OSB OR PLYWOOD, NAIL w/ 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN FIELD (U.N.O.). BLOCKING NOT LESS THAN 2" NOMINAL IN THICKNESS SHALL BE PROVIDED AT ALL HORIZONTAL PANEL JOINTS.
▨ DENOTES SHEAR WALL PER DETAIL 5/S2.1.
▽ DENOTES SIMPSON HOLDDOWN @ BOTTOM OF WALL (RE: 5/S2.1)

STRUCTURAL GENERAL NOTES AND SPECIFICATIONS:
 PROJECT: GARAGE AT 415 E. LAUREL ST., FORT COLLINS, COLORADO
 CODE: THE 2021 INTERNATIONAL RESIDENTIAL CODE. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CODE.
 RISK CATEGORY: II STRUCTURE

DESIGN LOADS:
 ROOF DEAD LOAD = 20 PSF
 ROOF LIVE LOAD = 20 PSF
 GROUND SNOW LOAD = 35 PSF - ROOF SNOW LOAD = 30 PSF
 WIND SPEED = 140 MPH (ULTIMATE), EXPOSURE B
 SEISMIC DESIGN CATEGORY B

MINIMUM FROST DEPTH = 30 INCHES

SOILS: BASED ON ASSUMED BEARING VALUES TO BE CONFIRMED AT OPEN HOLE OBSERVATION.
 MAXIMUM ALLOWABLE BEARING PRESSURE: 1500 PSF, MIN. DEAD LOAD PRESSURE: 0 PSF
 ALL BEARING SOILS SHALL BE OBSERVED & APPROVED BY AN ENGINEER REGISTERED IN THE STATE OF COLORADO.

FOUNDATIONS SHOULD BE FORMED TO THE PROPER SIZE AND LAYOUT AS SHOWN ON PLANS.
 ALL FOUNDATION ELEMENTS SHOULD BE OBSERVED PRIOR TO PLACEMENT OF CONCRETE AS REQUIRED BY THE GOVERNING AGENCY.
 FOUNDATION EXCAVATION TO BE BACKFILLED IN ACCORDANCE WITH THE SUPERVISING GEOTECHNICAL ENGINEER. SLOPE PERIMETER GRADE AWAY FROM BUILDINGS AS RECOMMENDED IN THE SUPERVISING GEOTECHNICAL ENGINEER.

MATERIALS:
 CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI (FOUNDATION ELEMENTS), 3500 PSI (SLABS). PROVIDE 4 1/2-12% AIR ENTRAINMENT (EXTERIOR) AND 1-3% AIR ENTRAINMENT (INTERIOR). CEMENT TO BE TYPE III.
 CONCRETE REINFORCEMENT SHALL BE A615, GRADE 60. ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH ACI 318 RECOMMENDATIONS INCLUDING SPACING, CONCRETE COVER AND MINIMUM LAP SPICES.
 SLABS ON GRADE SHALL BE PLACED ON APPROVED MATERIAL IN ACCORDANCE WITH THE SUPERVISING GEOTECHNICAL ENGINEER. PROVIDE SLAB CONTROL JOINTS IN ACCORDANCE WITH ACI RECOMMENDATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE OWNER OF THE POTENTIAL FOR DAMAGE DUE TO SLAB MOVEMENTS AND THE PRECAUTIONS TO BE TAKEN TO MINIMIZE THE POTENTIAL DAMAGE WHEN MOVEMENT OCCURS. IF THE OWNER CHOOSES SLAB ON GRADE CONSTRUCTION, THE OWNER SHALL ASSUME ALL RISK AND MAINTENANCE ASSOCIATED WITH SLAB ON GRADE CONSTRUCTION. ALL NON-BEARING FRAME WALLS PLACED ON SLABS ON GRADE SHOULD BE PROVIDED WITH A 2" VOIDED SLIP JOINT AT THE BOTTOM OF THE WALL.

WOOD FRAMING:
 DIMENSIONAL LUMBER SHALL BE VISUALLY GRADED HEM-FIR #2 OR BETTER, UNLESS NOTED OTHERWISE. FB-850 PSI, FV=150 PSI, E=1300 KSI.
 TIMBER BEAMS & POSTS SHALL BE VISUALLY GRADED DOUGLAS FIR-LARCH #2 OR BETTER, U.N.O. LAMINATED VENEER LUMBER (LVL) SHALL BE GRADED TO THE FOLLOWING MINIMUM ALLOWABLES: FB-2600 PSI, FV=285 PSI, E=1900 KSI.

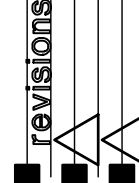
ROOF SHEATHING SHALL BE 15/32" SHEATHING WITH AN APA SPAN RATING OF 32/16 ATTACHED AS NOTED ON PLANS.
 WALL SHEATHING SHALL BE 7/16" APA RATED SHEATHING ATTACHED AS NOTED ON PLANS.
 ROOF, WALL & FLOOR SHEATHING SHALL BE APA TRADEMARKED EXPOSURE 1 WHEN EXPOSED ONLY DURING CONSTRUCTION AND SHALL CONFORM TO THE AMERICAN PLYWOOD ASSOCIATION STANDARD.

FASTEN ALL WOOD MEMBERS WITH COMMON NAILS ACCORDING TO THE BUILDING CODE UNLESS OTHERWISE NOTED. ALL METAL FRAMING CONNECTORS SHALL BE SIMPSON STRONG-TIE OR APPROVED EQUAL INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED (P.T.) IN ACCORDANCE WITH IRC SECTION R317. ALL PRESERVATIVE TREATED LUMBER SHALL CONFORM TO AWPA STANDARD U1 AND THE APPROPRIATE USE CATEGORY. CONNECTORS USED IN CONTACT WITH P.T. WOOD SHALL BE COATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. FASTENERS USED IN P.T. WOOD SHALL CONFORM WITH IRC SECTION R317.3.1.

NOTES:
 THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND SITE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN PRIOR TO CONCRETE PLACEMENT. CONFLICTS IN DIMENSION, INTERFERENCE OR OMISSIONS DISCOVERED IN THE COURSE OF WORK SHALL BE DIRECTED TO THE ARCHITECT PRIOR TO CONTINUATION OF CONSTRUCTION. THE EXISTING CONDITIONS DEPICTED ON THESE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 THE STRUCTURAL DRAWINGS REPRESENT THE FINAL STRUCTURE. THE DRAWINGS DO NOT INDICATE THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OF CONSTRUCTION AND JOB SAFETY. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW PLANS, SPECIFICATIONS, AND/OR ENGINEERING RECOMMENDATIONS, NOR IS THE ENGINEER OF RECORD RESPONSIBLE FOR ECONOMIC LOSS AND/OR DELAYS ON THE CONTRACTOR OR SUBCONTRACTORS.
 ALL CONSTRUCTION SHALL BE ADEQUATELY BRACED TO PREVENT DISTORTION AND DAMAGE DUE TO CONSTRUCTION LOADS AND NATURAL FORCES. THE CONTRACTOR SHALL MAKE ALLOWANCES FOR DIFFERENCE BETWEEN TEMPERATURE DURING ERECTION AND MEAN TEMPERATURE WHEN STRUCTURE IS COMPLETED AND IN SERVICE.



Kenney Lee
 architecture group, inc.



HOAG GARAGE
 415 E. LAUREL ST.,
 FORT COLLINS, COLORADO

DETAILS & STRUCTURAL GENERAL NOTES

DATE: 08/25/2023
 DRAWN: JRY
 CHECKED: JRY
 JOB NO.: 25044

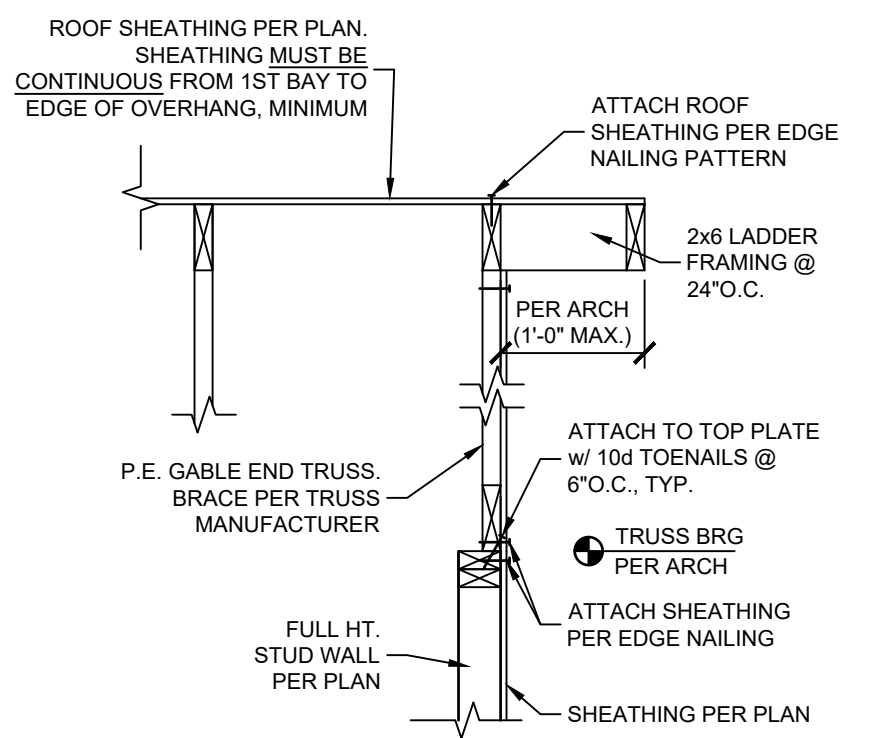


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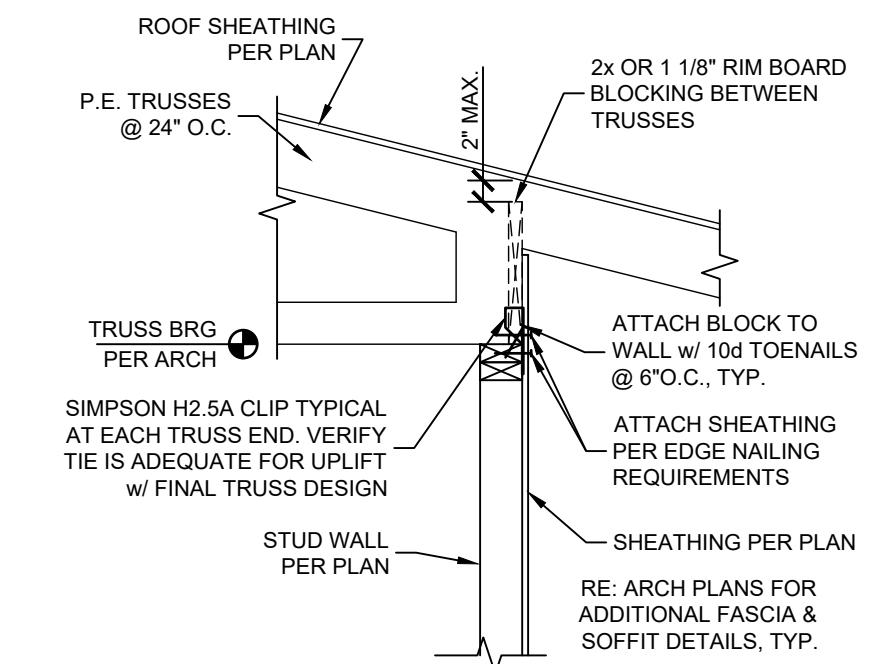
S2.1

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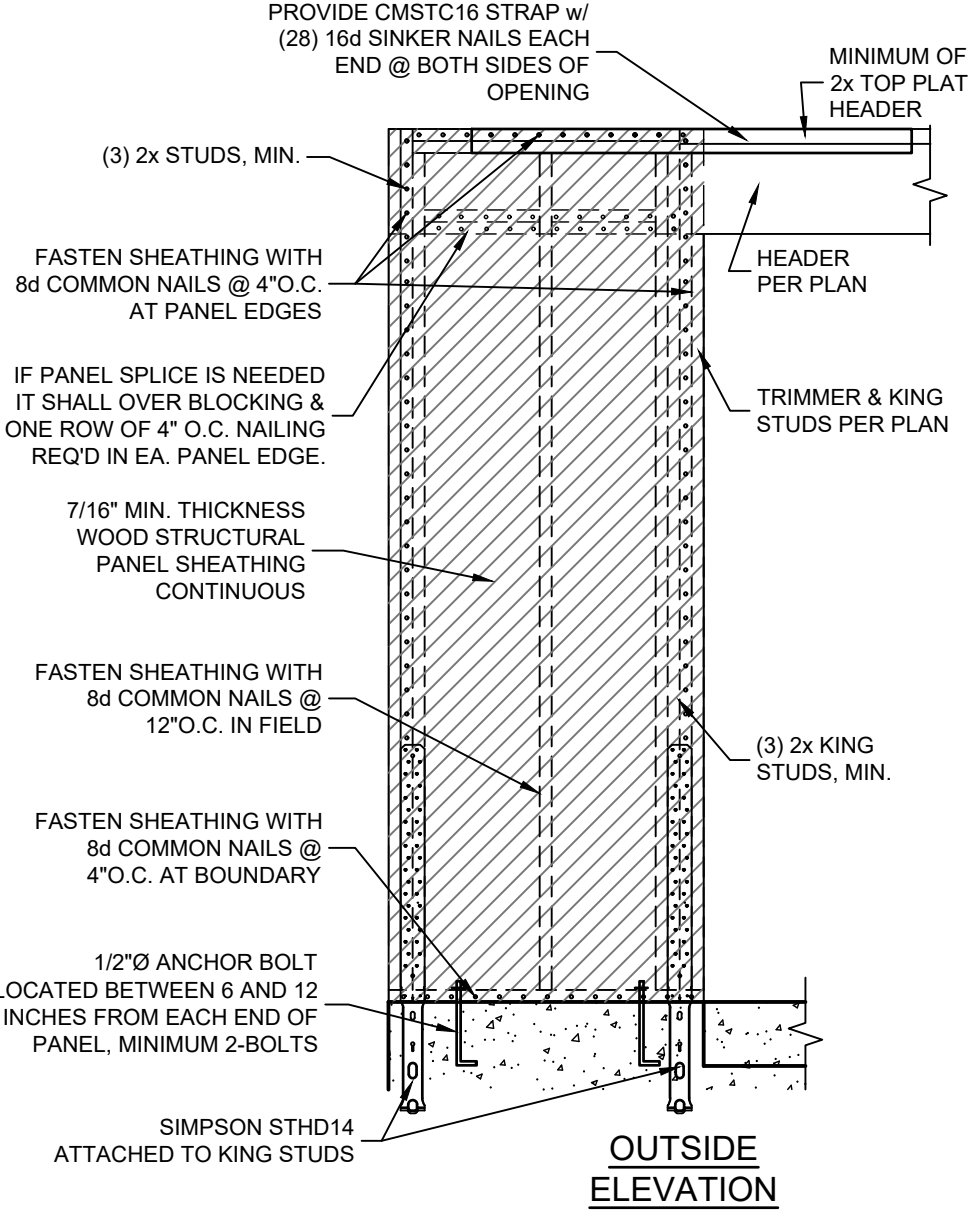
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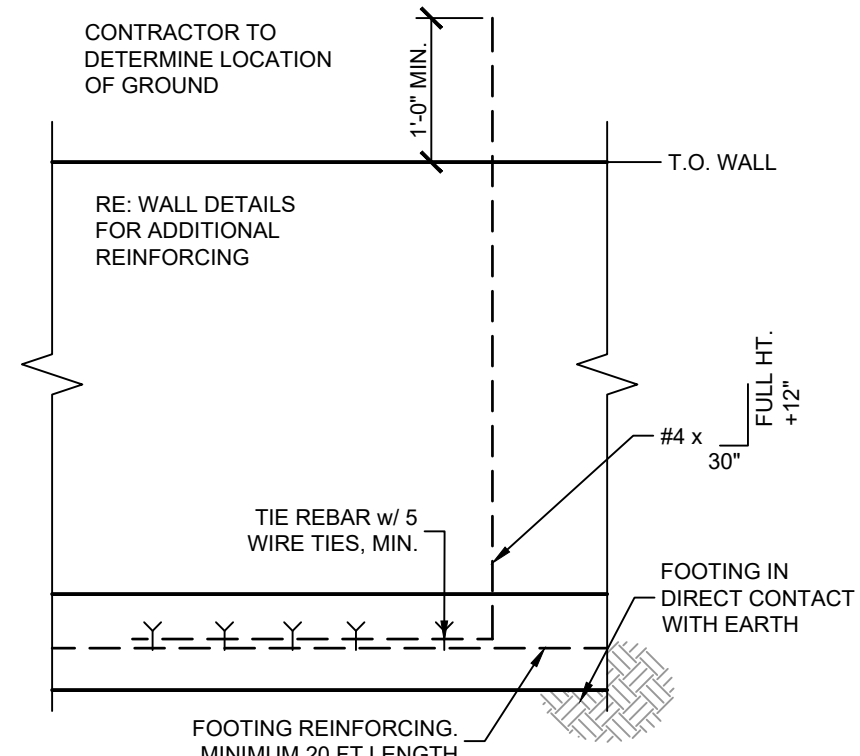
7 GABLE END FRAMING DETAIL (TRUSS)
 S2.1 3/4" = 1'-0"



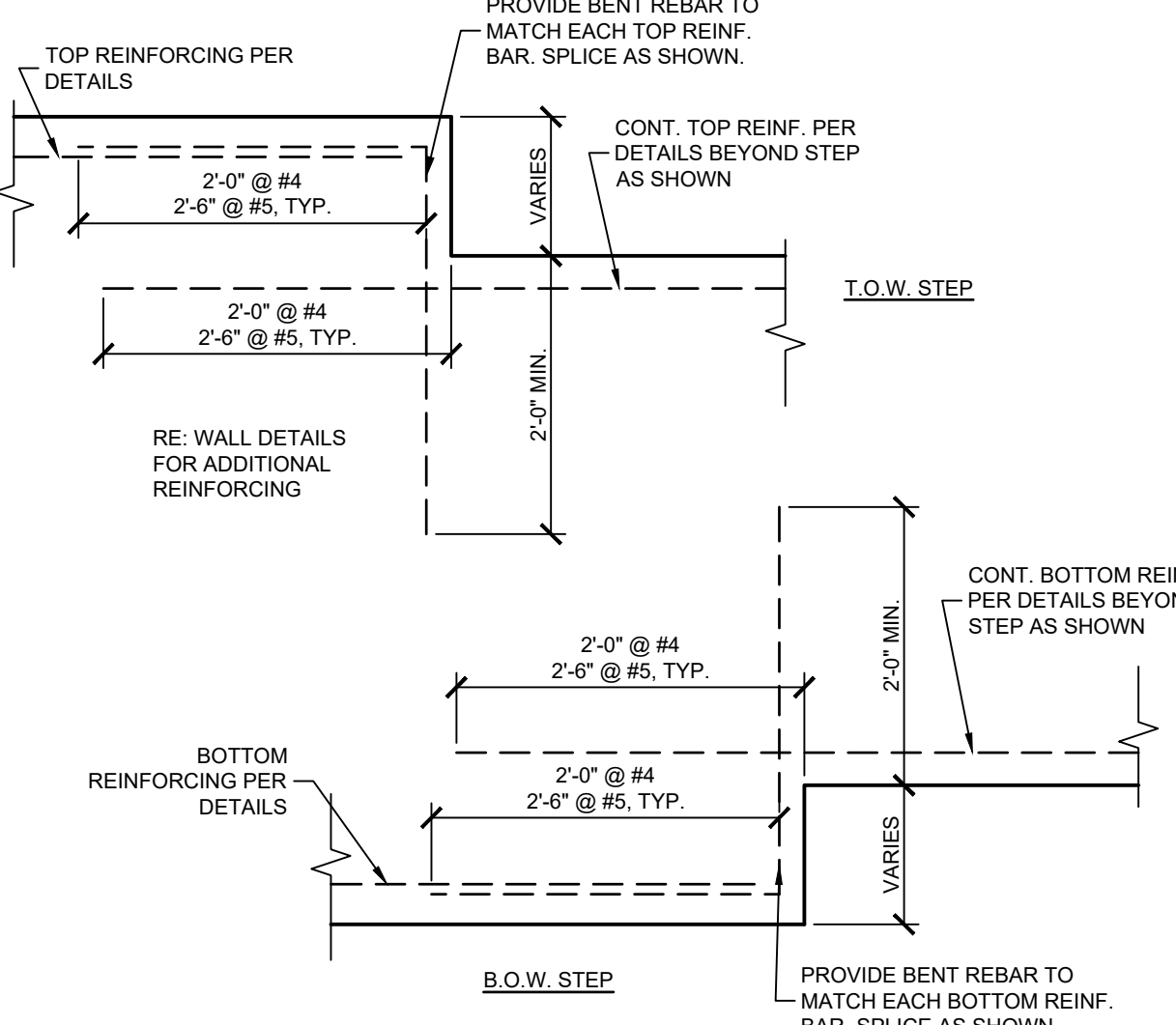
6 ROOF BEARING DETAIL
 S2.1 3/4" = 1'-0"



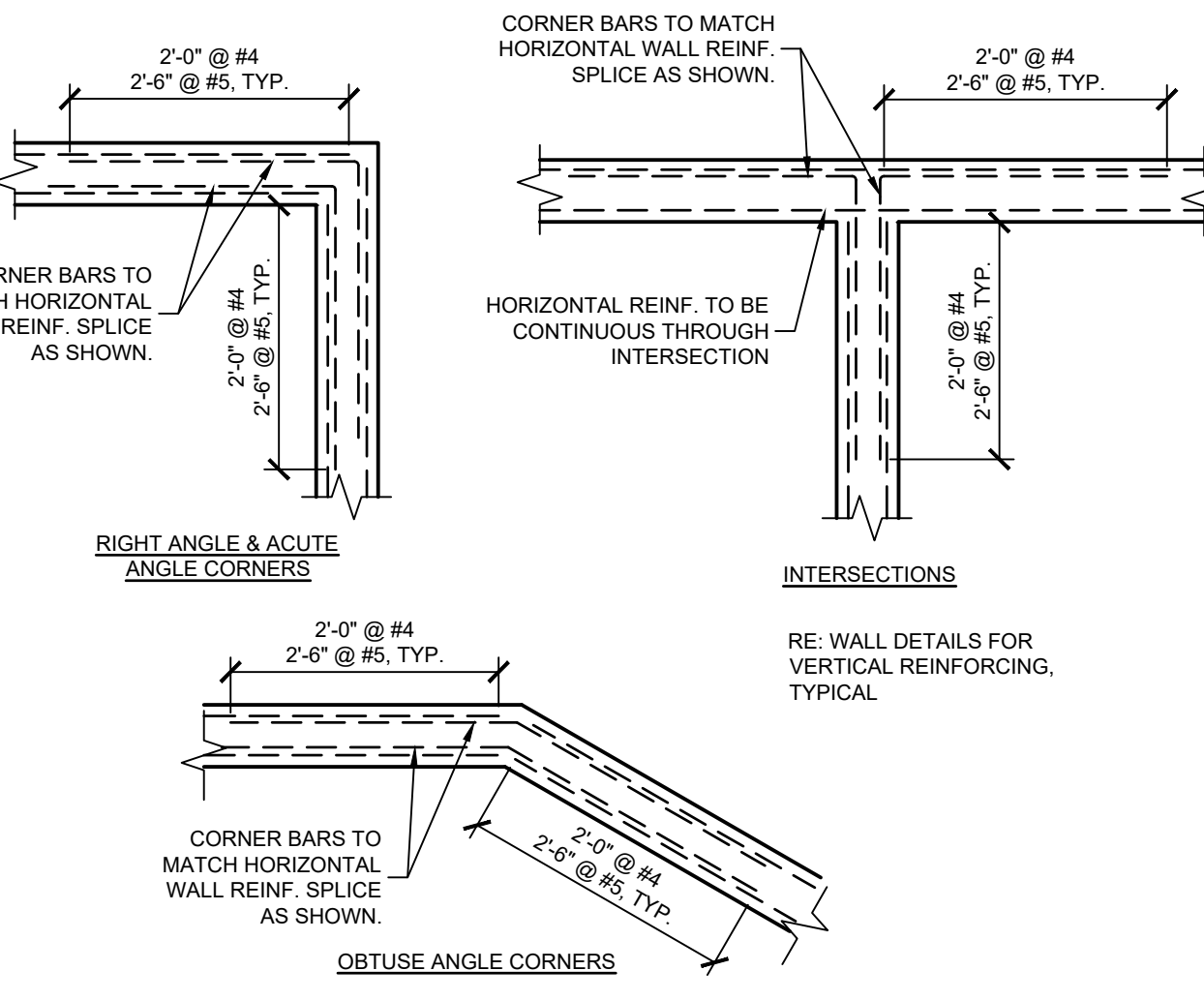
5 SHEAR WALL PANEL DETAIL (GARAGE)
 S2.1 1/2" = 1'-0"



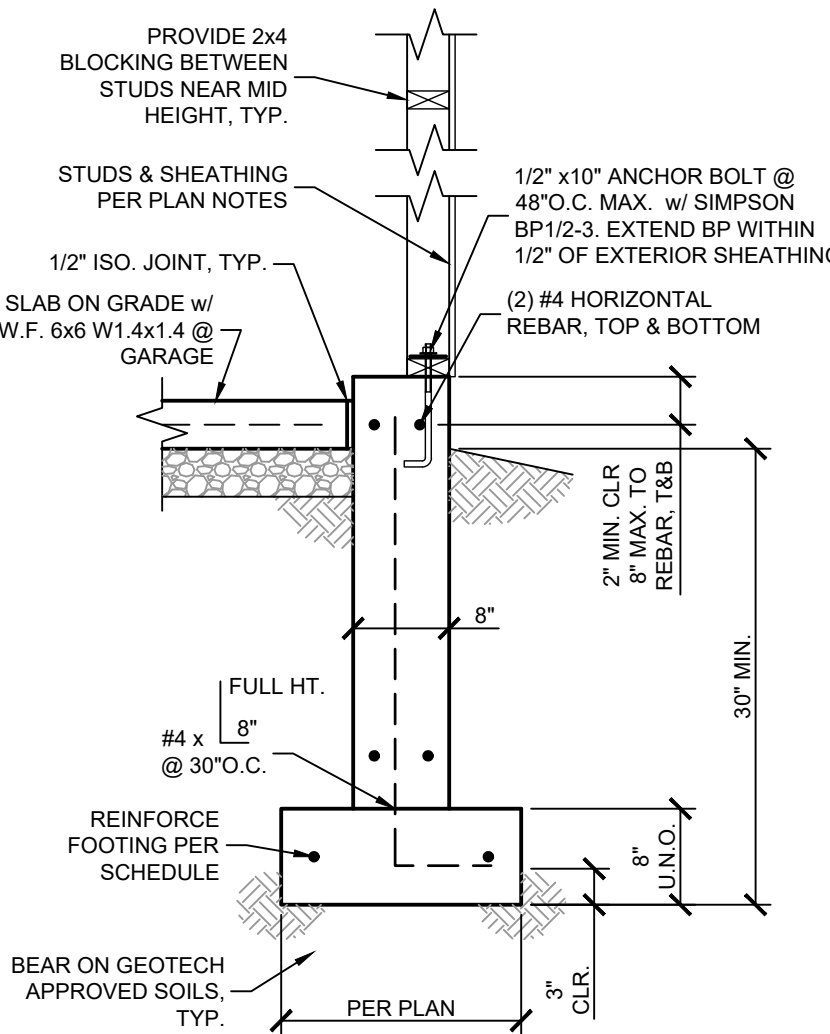
4 UFER GROUND DETAIL (IF REQUIRED)
 S2.1 N.T.S.



3 STEP REINFORCING DETAIL
 S2.1 3/4" = 1'-0"



2 TYPICAL CORNER REINFORCING DETAIL
 S2.1 3/4" = 1'-0"



1 S.O.G. FOUNDATION DETAIL
 S2.1 3/4" = 1'-0"