



Historic Preservation Services
 Community Development & Neighborhood Services
 281 North College Avenue
 P.O. Box 580
 Fort Collins, CO 80522.0580
 970.224.6078
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 1112 Mathews St.
Laurel School National Register Historic District
ISSUED: 9/1/2023

Recycled Properties LLC
 c/o Steve MacBeth
 2200 W. Stuart St.
 Fort Collins, CO 80526

Dear Property Owner:

This report is to document proposed alterations to the J. Richard House, at 1112 Mathews St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: Addition of 131 square-feet to include a new primary bathroom and closet; also raising the roofline for kitchen.

Our staff review of the proposed work finds the alterations do not meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>The single-family residential use of this property will not change due to this alteration, and so this standard is met.</p>	Y

<p>SOI #2</p>	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>This project will remove some distinctive materials/features from the existing house; specifically, two existing windows will be filled in to accommodate the new internal configuration of the house. Although these features are on the rear of the house, the house’s location on an alley/right-of-way make their removal more significant.</p>	<p>N</p>
<p>SOI #3</p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	<p>N/A</p>
<p>SOI #4</p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	<p>N/A</p>
<p>SOI #5</p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>Again, the removal of historic window material does not meet this standard.</p>	<p>N</p>
<p>SOI #6</p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<p>N/A</p>
<p>SOI #7</p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p>N/A</p>
<p>SOI #8</p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>It is unlikely that archaeological resources will be uncovered during the work for this project, but the owner/applicant is advised that should any such materials be discovered during the excavation needed for this project, please protect those resources in place and contact the Historic Preservation office for assistance.</p>	<p>Y</p>

<p>SOI #9</p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The raising of the roof for the kitchen portion of the house does not substantially impact the character of the historic property.</p> <p>Although the proposed roof form of the addition and the proposed window types effectively differentiate the addition from the historic house, certain aspects of the design do not meet this standard. The proposed window material, vinyl, is not compatible with a house of this age. Additionally, although the addition is relatively small, its visibility from the house’s primary elevation does not meet this standard.</p>	<p>N</p>
<p>SOI #10</p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>If the proposed addition were to be removed in the future, despite the new door opening and filling in of existing window openings, the essential form of the historic property would remain because demolition of exterior wall is minimal. For that reason, this standard is met.</p>	<p>Y</p>

Although this report is advisory in nature, please be aware that exterior alterations that do not meet the Secretary of the Interior’s Standards for Rehabilitation may disqualify this property from eligibility for certain financial incentives for historic properties, such as the State Tax Credits for preservation, should the property be determined no longer eligible for historic designation due to the extent of alterations.

If you have any questions regarding this review, please contact me. I can be reached at yjones@fcgov.com or at 970-224-6078.

Sincerely,

Yani Jones
Historic Preservation Planner

Last Name Recycled Properties First Name Laura Pickett Middle _____
Street Address 1298 main st #4131 City windsor State CO Zip 80550
Phone # 3039903595 Email macbeth.lj@gmail.com
Name of Business (COMMERCIAL USE ONLY) Recycled Properties

CONTRACTOR INFO: Company Name _____
License Holder Name Steve Macbeth LIC # D2-228 CERT # _____

LEGAL INFO:
Subdivision/PUD Subdivision: 1028 - CRAFTS RESUB Neighborhood: 19711 Filing # _____ Lot # 11&12 Block # 9 Lot Sq Ft 4690

CONSTRUCTION INFO: Total Building Sq Ft (NOT including basement) _____ Total Garage Sq. Ft. _____
Residential Sq Ft 1044 Commercial Sq Ft _____ # of Stories 2 Bldg Ht _____ # of Dwelling Units _____
1st Floor Sq Ft _____ 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft _____
Finished Basement Sq Ft 216 # of Bedrooms 3 # of Full Baths 1
 $\frac{3}{4}$ Baths _____ $\frac{1}{2}$ Baths _____ # Fireplaces 0

ENERGY INFORMATION: (CHECK ONE)
Prescriptive Performance U/Arescheck ERI ASHRAE Component/Comcheck IDAP
Air Conditioning? YES NO

City of Fort Collins Approved Stock Plan # SPO List Option #s _____

Utilities INFO:
New Electric Service Electric Service Upgrade Electric Meter Relocation
Electric Main Breaker Size (Residential Only): 150 amps or less 200 amps Other:
Gas Electric Electric Temp Pedestal? Yes No

ZONING INFO: (COMMERCIAL USE ONLY)
Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions:
Is the remodel/tenant finishes for an existing or new tenant? (Please check one)
Existing Tenant New Tenant
If for a new tenant, is this the first tenant to occupy this space?
Yes No If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes No
If yes, please describe: add a master bath and fix the roofline

Value of Construction (materials and labor): \$ 45000

Description of Work: add a bathroom off the side of the house. raise the roofline in the back for the kitchen
cosmetic upgrade to the main floor, upgrade the kitchen, flooring, new siding from the
addition. upgrade electrical as needed

JBSITE SUPERVISOR CONTACT INFO: Name Steve Phone 7203510429

SUBCONTRACTOR INFO: Electrical Lobos Electric Mechanical A&O heating

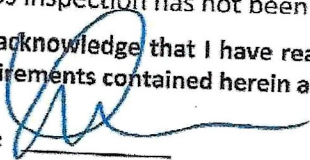
Plumbing Gomez Plumbing Framing Roofing

Fireplace Solar Other

ASBESTOS STATEMENT DISCLOSURE: In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a
remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to
comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature 
Phone # 3039903595

Type or Print Name laura pickett
Email macbeth.lj@gmail.com

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



Building Permit Submittal Checklist:

Revised 2/8/2022

New Single Detached Family Homes, Duplexes, Townhomes, and Additions

Incomplete or deferred submittals will not be accepted

Required at the time of permit submittal - Electronic submittal required.

<input checked="" type="checkbox"/>	New Construction Cost Form (for building permit fees)	<input checked="" type="checkbox"/>	Building Permit Application
<input checked="" type="checkbox"/>	Drawings depicting the scope of work Plans must reflect current adopted codes and standards www.fcgov.com/building/codes.php		Mechanical Design Form and Load Calcs
<input checked="" type="checkbox"/>	Energy Code Compliance Form		Homeowner Affidavit (homeowner builders only)
<input checked="" type="checkbox"/>	Construction Waste Management Plan Form		Plan Check Fee. Additional fee is required for an optional F&F permit.

Required Drawings

NA=Not Applicable NIS=Not in scope

<input checked="" type="checkbox"/>	Architectural Drawings: Existing Drawings showing pre-demo condition. Proposed Floor Plans with room labels and areas. Exterior Elevations, Building Sections, Details.
<input checked="" type="checkbox"/>	Structural Drawings: Sheer: wall bracing and method used, wind speed used, wind speed method, wind speed exposure. Loads: Floor and roof loads used. Framing Plans: Floor, Roof, Girders and Headers Connections and details: including stair attachment details <i>Stamped & Signed Drawings by a Colorado Licensed Engineer/ Architect are required for all footing and foundation work (new or altered).</i>
	Mechanical Load Calcs (required for new furnaces with new ductwork including new secondary systems for additions) Manual J,D,S (ACCA approved only)
	Electrical Drawings: Outlets, lighting, panel, equipment. Select
<input checked="" type="checkbox"/>	Site Plan: Show distance from new work to property lines and adjacent structures on the same lot. Include outdoor area calculation: https://www.fcgov.com/wsr
	Townhomes only: Accessibility site compliance plan (CRS 9-5)
	Townhomes and Duplexes only : Fire separation details and fire sprinkler systems under P2904 must be submitted for review.
	Townhomes and Duplexes only : Submit the City of Fort Collins Approved site Utility Plan, (that was approved in development) showing underground utilities and line sizes.

Additional Requirements

(may require a separate submittal, or review process)

	Separate Demo Permit: Required for Full or Partial demolition of exterior elements.
	Separate Solar Permit: Required for all new solar
	Historic Preservation Review www.fcgov.com/historicpreservation Alterations to, or Demolitions of buildings more than 50 years old will be reviewed for Historic Eligibility
<input checked="" type="checkbox"/>	Grading WaterUtilitiesEng@fcgov.com Grading plan may be required if impervious area on lot is greater than 350sf.
	Are you building in a Floodplain? https://www.fcgov.com/utilities/what-we-do/stormwater/flooding/floodplain-maps-documents
	Zoning: Contact Zoning for questions on: Setbacks, easements, buildable area per lot, and short term rentals. zoning@fcgov.com
	Poudre Fire Authority: 102 Remington / (970)-416-2891 https://www.poudre-fire.org/online-services If the following types of Fire Suppression systems are used, separate a separate permit to Poudre Fire Authority online: 13D, 13R, NFPA 13

Optional Footing & Foundation Permit

(new homes only, not allowed for additions)

	Submit for full permit with an additional F&F set
	F&F Set: Structural Foundation Plans (stamped), Underground plumbing and electric (for townhomes only).

Applicant Name: <i>Laura Pickett</i>	Job Site Address: <i>1112 Matthews St</i>
Phone: <i>303 990 3595</i>	Email (Required): <i>micketh.lj@gmail.com</i>

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

Required for permit submittal - Fill out the following table:

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)				
B (Business)		x	\$0.40	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.50	
I (Institutional)		x	\$0.35	
M (Mercantile)		x	\$0.50	
R-1 (Hotel)		x	\$0.40	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)		x	\$0.35	
R-4 (Assisted Living)	1317	x	\$0.65	85.15
S (Storage)		x	\$0.55	
U (Utility)		x	\$0.40	
H High hazard		x	\$0.40	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
Total				

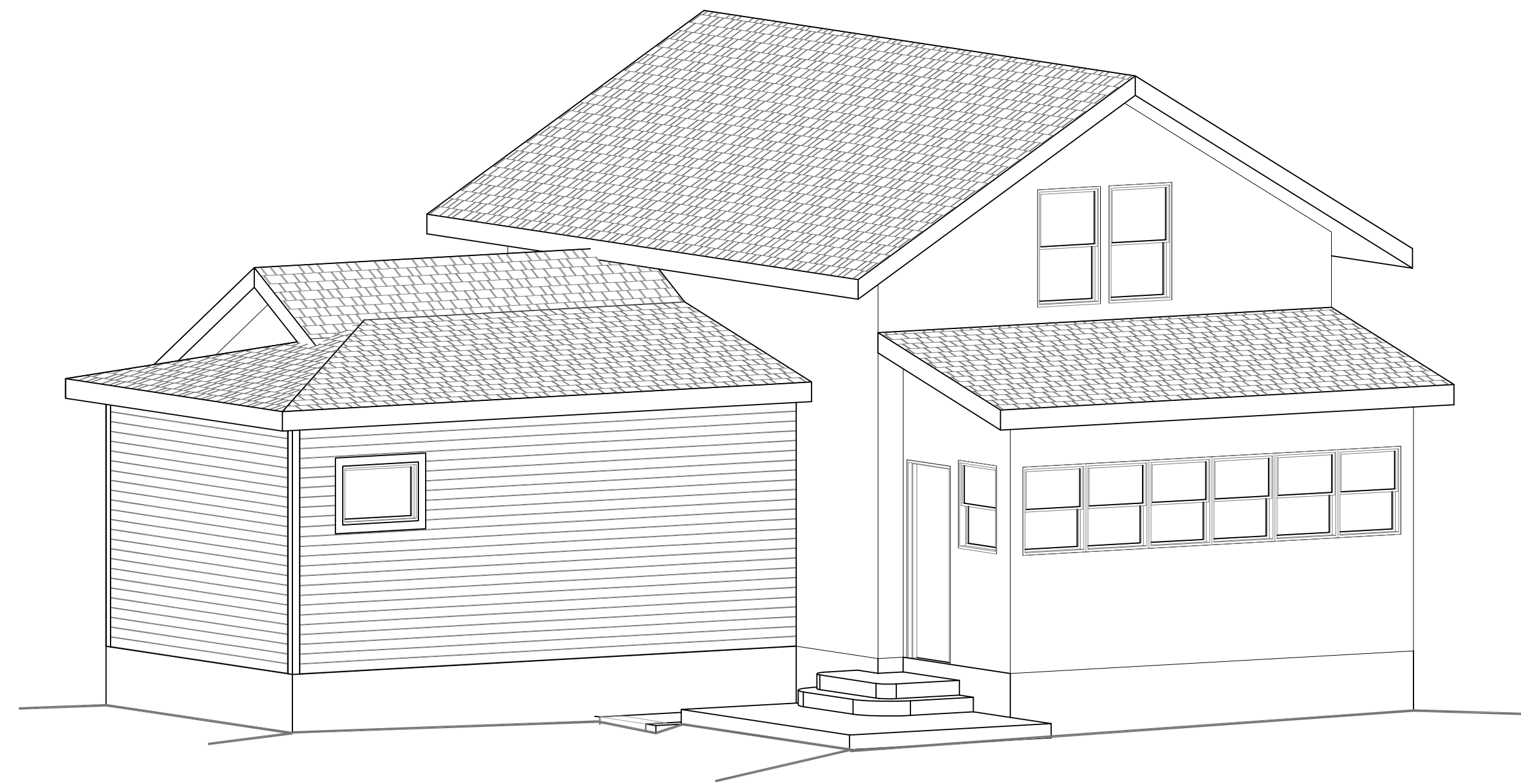
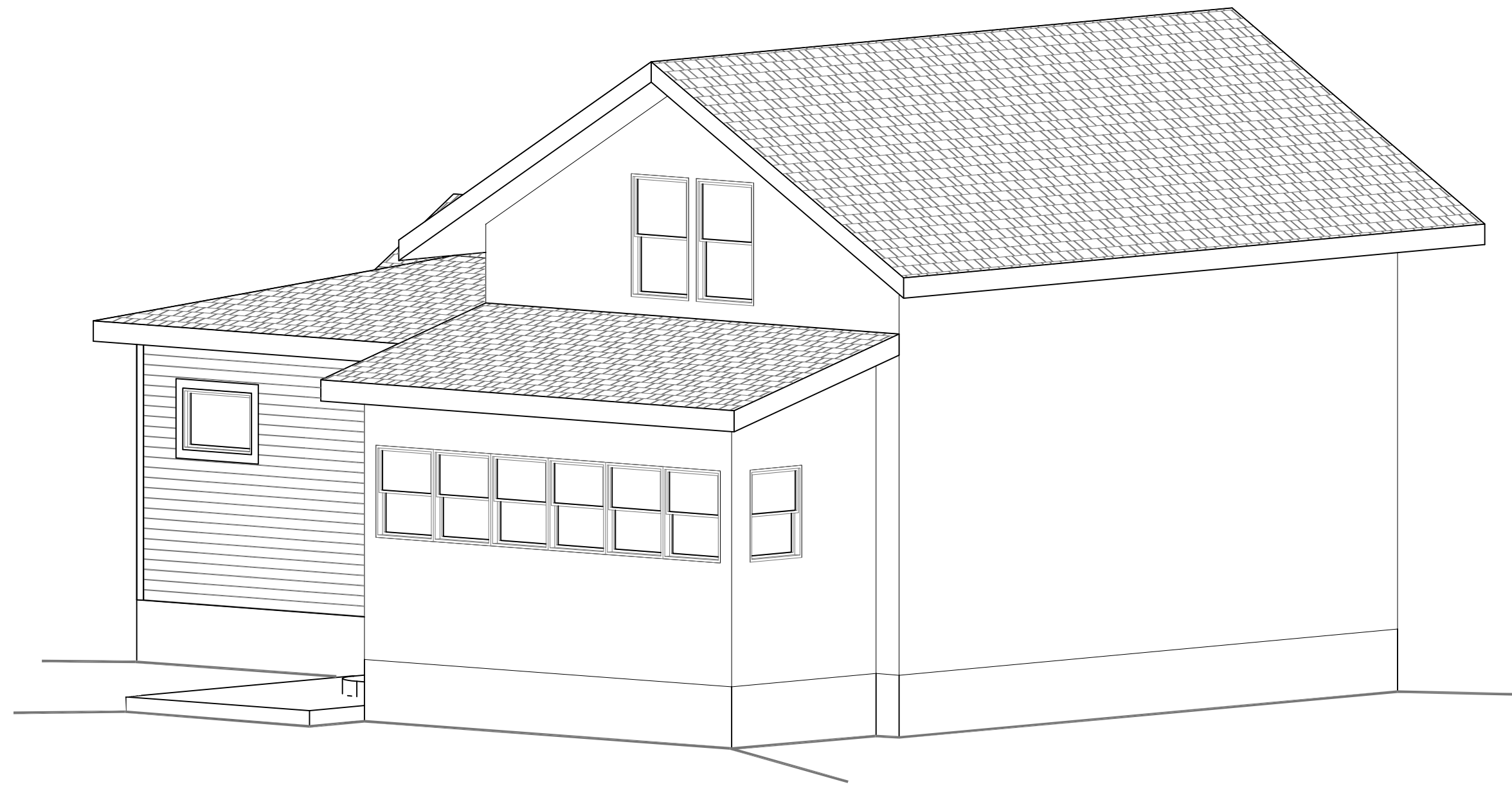
****Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.****

For additions that include interior remodel: please provide addition square footage above and remodel only valuation here 846 of total \$21,000 for remodel area
 Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

For New Multi-family buildings fill out the following:

1. Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
 - Yes - there are other functions/occupancy areas. *Required: list each in the table above*
 - No - only dwelling units

2. Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
 - Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
 - No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.



1112 MATTHEWS STREET

FORT COLLINS, CO

SHEET SCHEDULE

- A0 - COVER SHEET
- A1 - FLOOR PLAN
- A1.1 - SITE PLAN
- A2 - ELEVATIONS
- S1 - FOUNDATION, FRAMING PLANS & NOTES

GENERAL NOTES

1. BUILDING DEPARTMENT: COTY OF FORT COLLINS
2. Code Editions: 2021 IRC, 2021 IECC (International Energy Conservation Code).
3. Design Criteria: Roof-Ground Snow Load: 30psf; Wind Speed: ##mph (V-JLT / # Second Gusts) Exposure B/C; Seismic Design Category: B; Frost Line Depth: 30"
4. Building Review Findings: Stories: Base Building Height: Basement
##" NO AT ADDITION
5. Elevation of building: ###"
6. Gross Building Areas: EXISTING MAIN: 715 s.f., NEW ADDITION: 131 s.f., Total: 846 s.f.
7. Type of Construction: CONCRETE FOUNDATION, WOOD FRAMED
8. (2021IRC) ROOF: R-60 w/ 1" air space. Use 9" of spray foam or 3" min. spray foam tight to bot. of sheathing w/ batts below to alleviate roof ventilation requirement; . WALLS: R-20 cavity + 5 c.i. or R-13 cavity + 10 c.i. or R-0 cavity + 15 c.i. in walls exposed to unconditioned spaces; FLOORS: R-30 in floors exposed to unconditioned spaces; FOUNDATION: R-19 cavity or R-13 cavity + 5 c.i. or R-15 c.i. at basement or crawlspace walls. R-10 24" deep at perimeter for frost protected thickened edge slabs, for heated slabs add min. R-5 under full slab area in addition to required slab edge insulation, the slab edge insulation at heated slabs shall not be required to extend below the slab; DOORS & WINDOWS: All new exterior Doors and Windows shall have a maximum .32 U-Factor (c.i. = continuous insulation)
IN LIEU OF PRESCRIPTIVE ENERGY CODES, U-VALUE METHOD (RESCHEK) MAY BE USED, WHICH WILL RESULT IN TOTAL ENERGY ANALYSIS WITH POSSIBLY LESS INSULATION. Door and Window sizes are generic and read as Foot/Inch, i.e. 36s = 3'-0" x 6'-8". Windows shall be Tempered if within 24" of door swings, less than 18" off the floor or within shower or bath tub walls. Egress windows shall have a minimum opening height of 24", a minimum opening width of 20", a minimum 5.7 s.f. (542 sq. in.) net clear opening and a maximum 44" tall sill height. Rough openings are the responsibility of and shall be provided by the Homeowner or Contractor. Doors separating garage from living space to be 1hr fire rated self closing. All new exterior Doors and Windows shall have a maximum .32 U-Factor.
9. Exterior walls to be per plan with 1/2" O.S.B sheathing at exterior and 1/2" sheetrock at interior, U.N.O.. Final interior and exterior finishes to be per owner. Fiber-cement, fiber-mat reinforced cement, glass mat gypsum backers or fiber-reinforced gypsum backers in compliance with ASTM C 1288, C 1325 or C 1178 or C 1278 respectively, shall be installed in accordance with the manufacturers' recommendations as backers for wall tile in tub and shower areas and wall panels in shower areas.
10. Roofing per plan with min. #30 felt underlayment with Ice and Water Shield at eaves and valleys per code. Provide a controlled method of water disposal from roofs that will collect and discharge all roof drainage to the ground surface at least 5' from foundation walls or to an approved drainage system.
11. Dimensions are to edge of framed walls, and to center of windows and doors, U.N.O. Use printed dimensions.
12. Electrical, Mechanical and Plumbing per Code: We do not provide an electrical plan as it is required to be installed per code, if you have any special needs or wants, contact your electrician. Plans show locations of furnace/heat system components, but specifications, sizing and duct work, etc... of same will be excluded. Plans show locations of major plumbing fixtures, but specifications of same will be excluded

A0

COVER SHEET

SCALE: 1/4" = 1'



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1112
MATTHEWS ST.

NEW ADDITION AT
1112 MATTHEWS ST.
FORT COLLINS, CO

G.C.:
RECYCLED PROPERTIES
LAURA PICKETT
PHONE: 303-990-3595

DRAFTED BY:
DAVID BENJAMIN
ENGINEERING REVIEW:
MARK BENJAMIN / SETH HOOVER
ENGINEER OF RECORD:
MARK BENJAMIN, P.E.
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SCALE:
1/4" = 1' U.N.O.

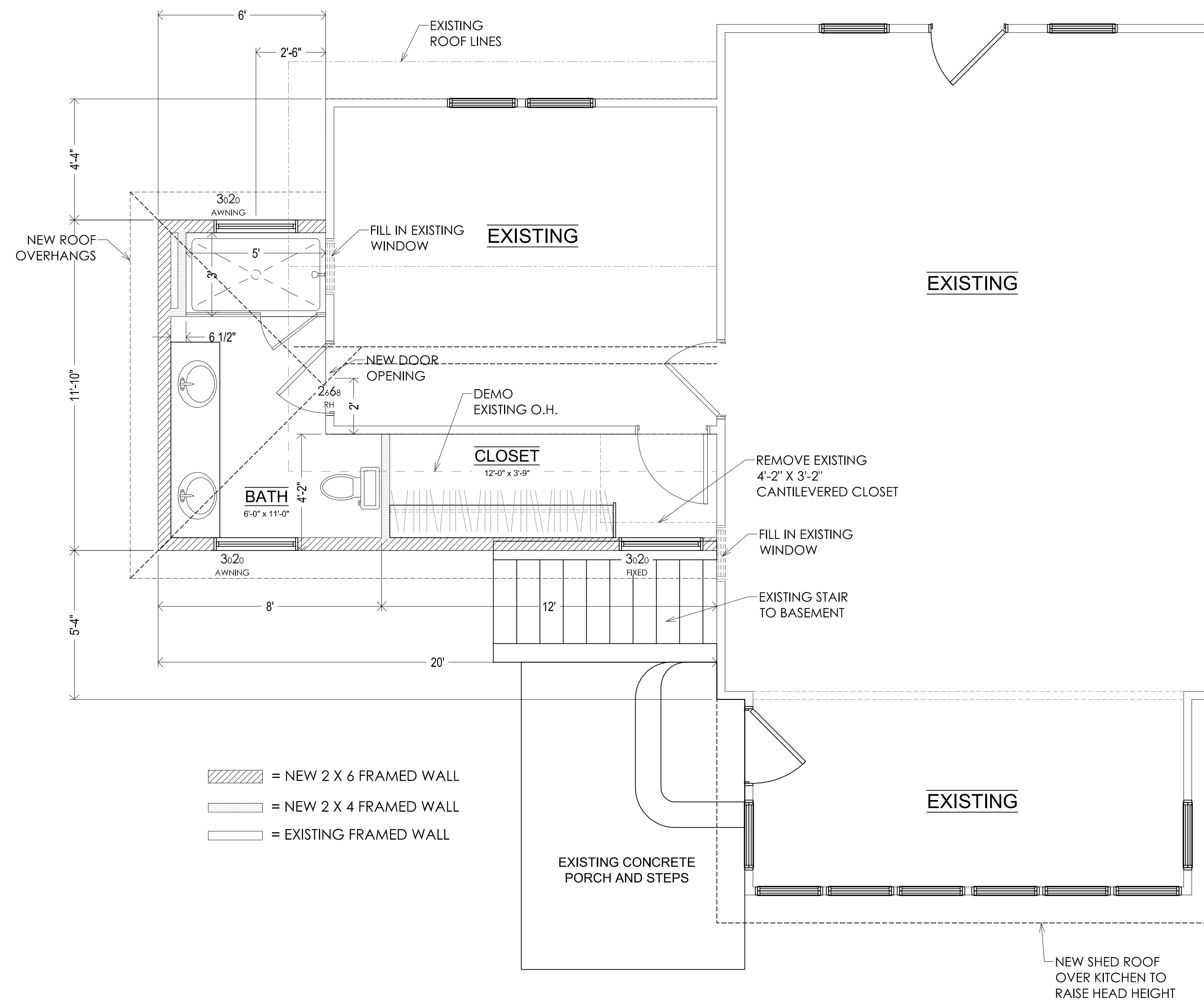
COVER
SHEET

FINAL
DATE
6/05/2023

FINAL PLAN FOR SUBMITTAL TO
THE BUILDING DEPARTMENT
AND FOR CONSTRUCTION

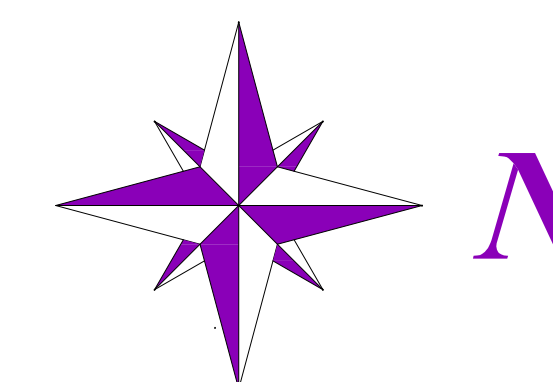
ENGINEERS
JOB #
RCPP53-23081

SHEET
A0

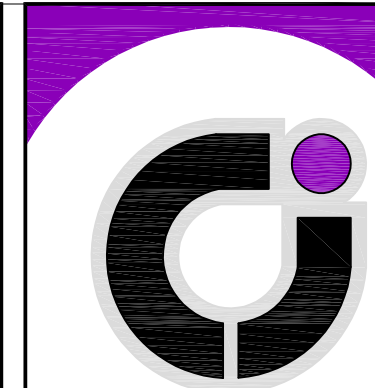


A1

MAIN FLOOR PLAN 131 s.f.



SCALE: 3/8" = 1'



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SCALE:
1/4" = 1' U.N.O.

MAIN
FLOOR
PLAN

FINAL
DATE
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SHEET
A1

MATHEWS STREET (100' ROW)

CURB & GUTTER

5' SIDEWALK

50'

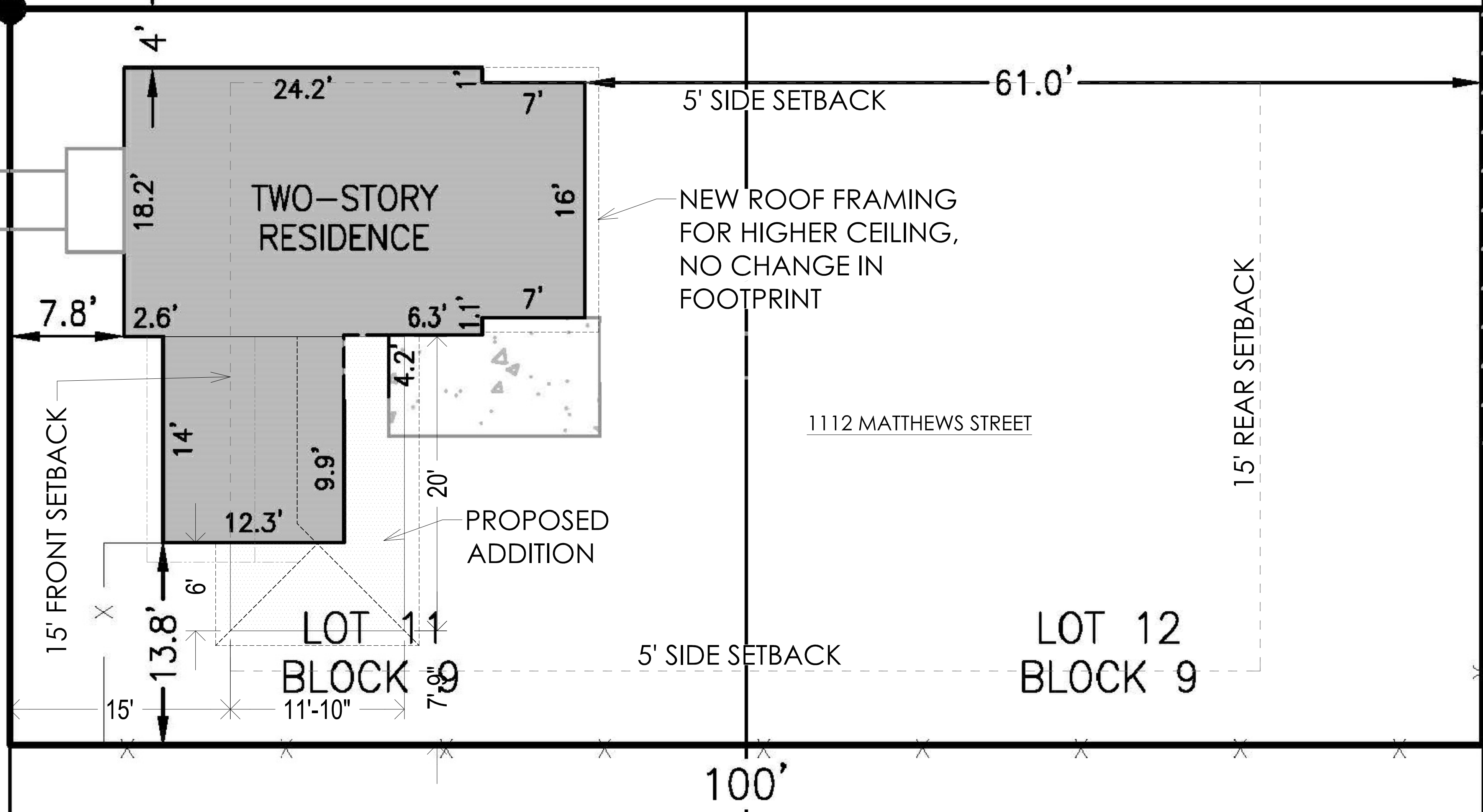
FOUND #5 REBAR

20' ALLEY

100'

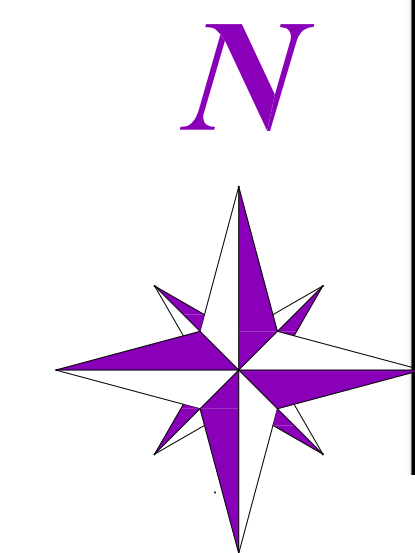
BUILDING SQUARE FOOT INFO
EXISTING BASEMENT: 435 s.f.
EXISTING MAIN LEVEL: 715 s.f.
NEW ADDITION: 131 s.f.
MAIN TOTAL: 846 s.f.

FORT COLLINS ZONE NCM
LOT AREA: 5000 s.f.
50' WIDE LOT
PRIMARY STRUCTURE
FOOTPRINT: 846 s.f.
846 / 5000 = .17 (17% LOT
COVERAGE)



LOT 11
(NOT A PART)

LOT 12
(NOT A PART)



A1.1

SITE PLAN

SCALE: 1" = 5'



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and Engineering

SCALE:
1/4" = 1' U.N.O.

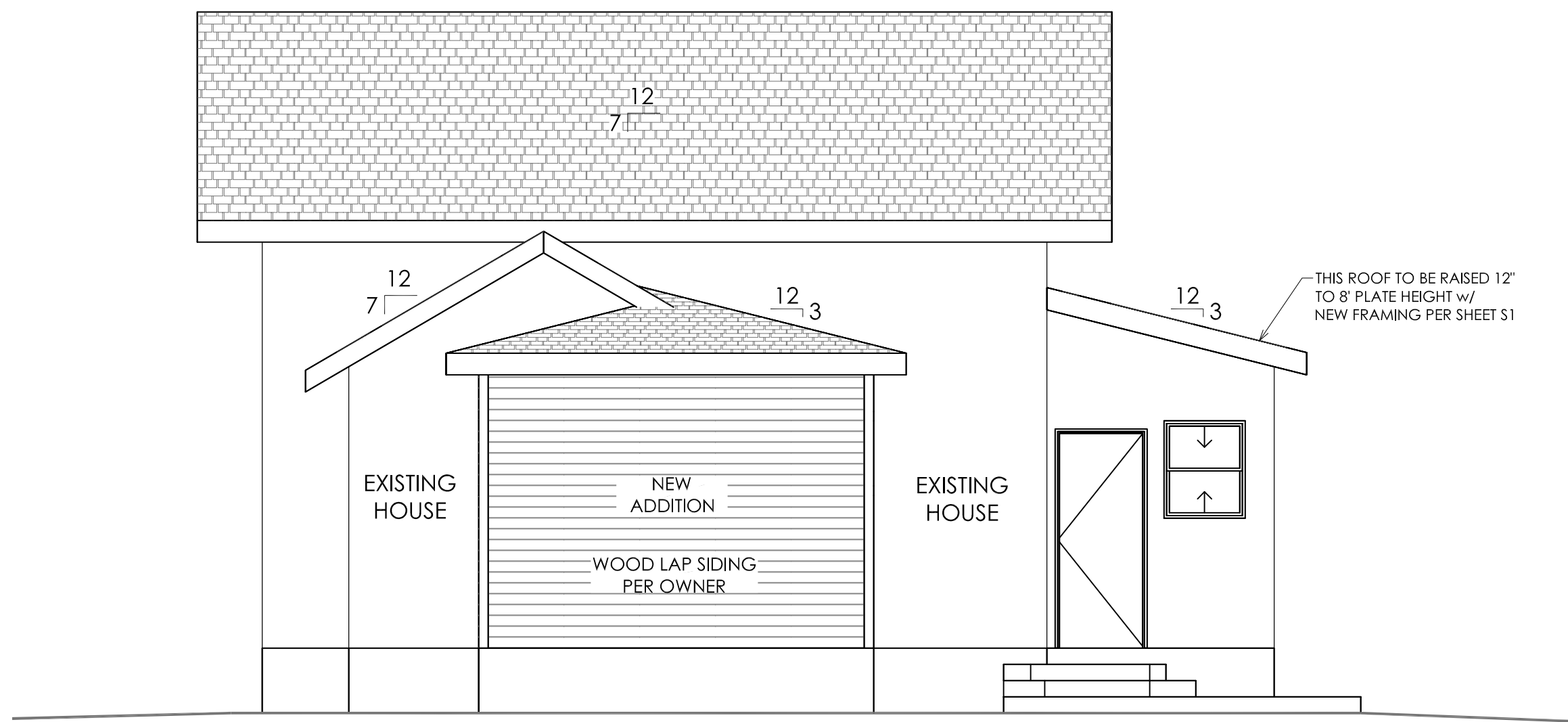
SITE
PLAN

FINAL
DATE
6/05/2023

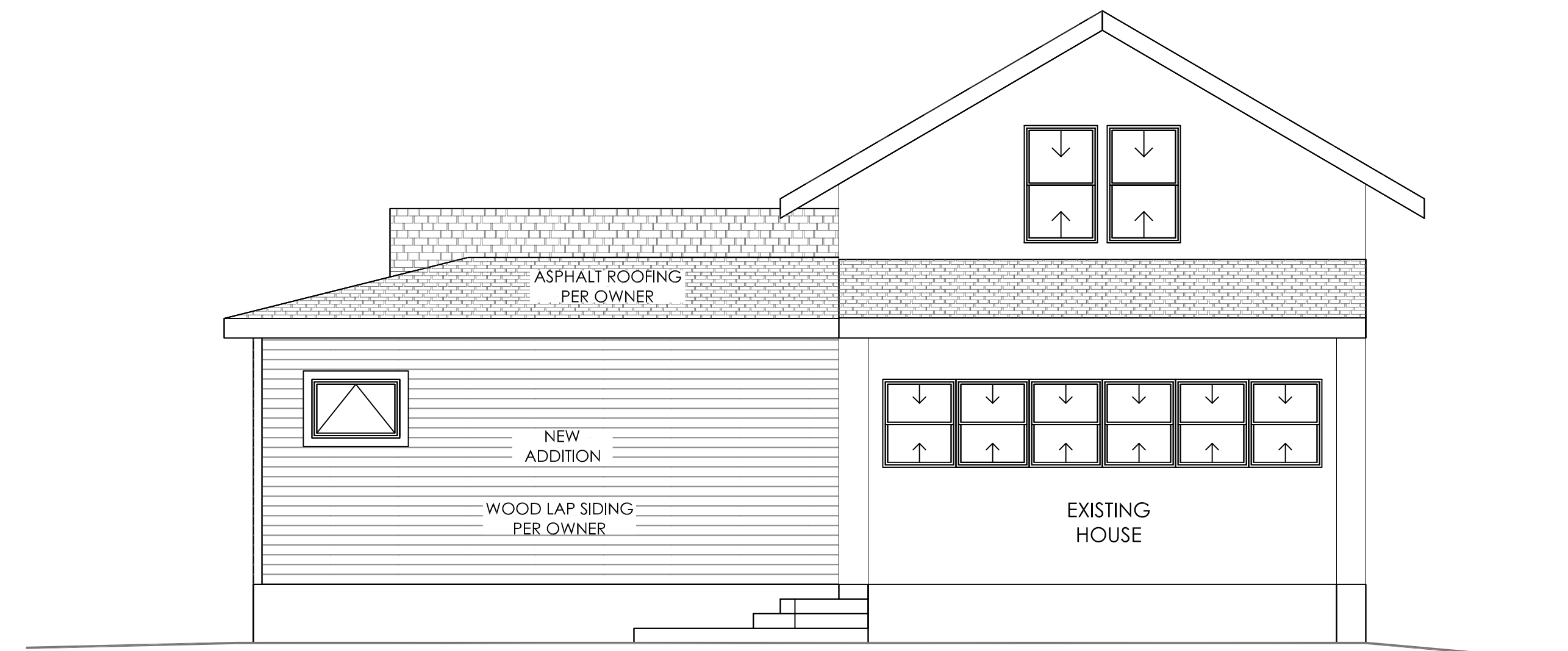
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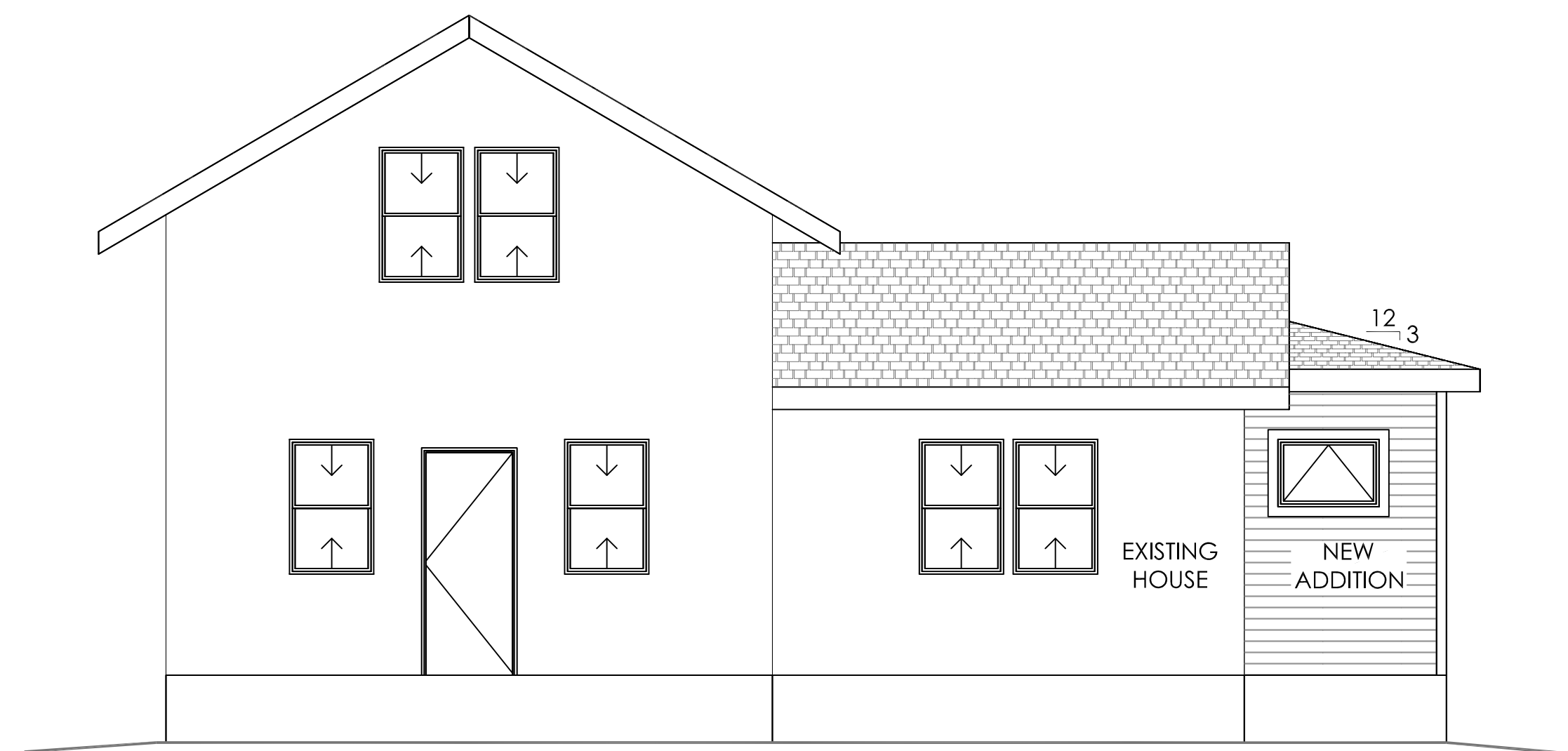
SHEET
A1.1



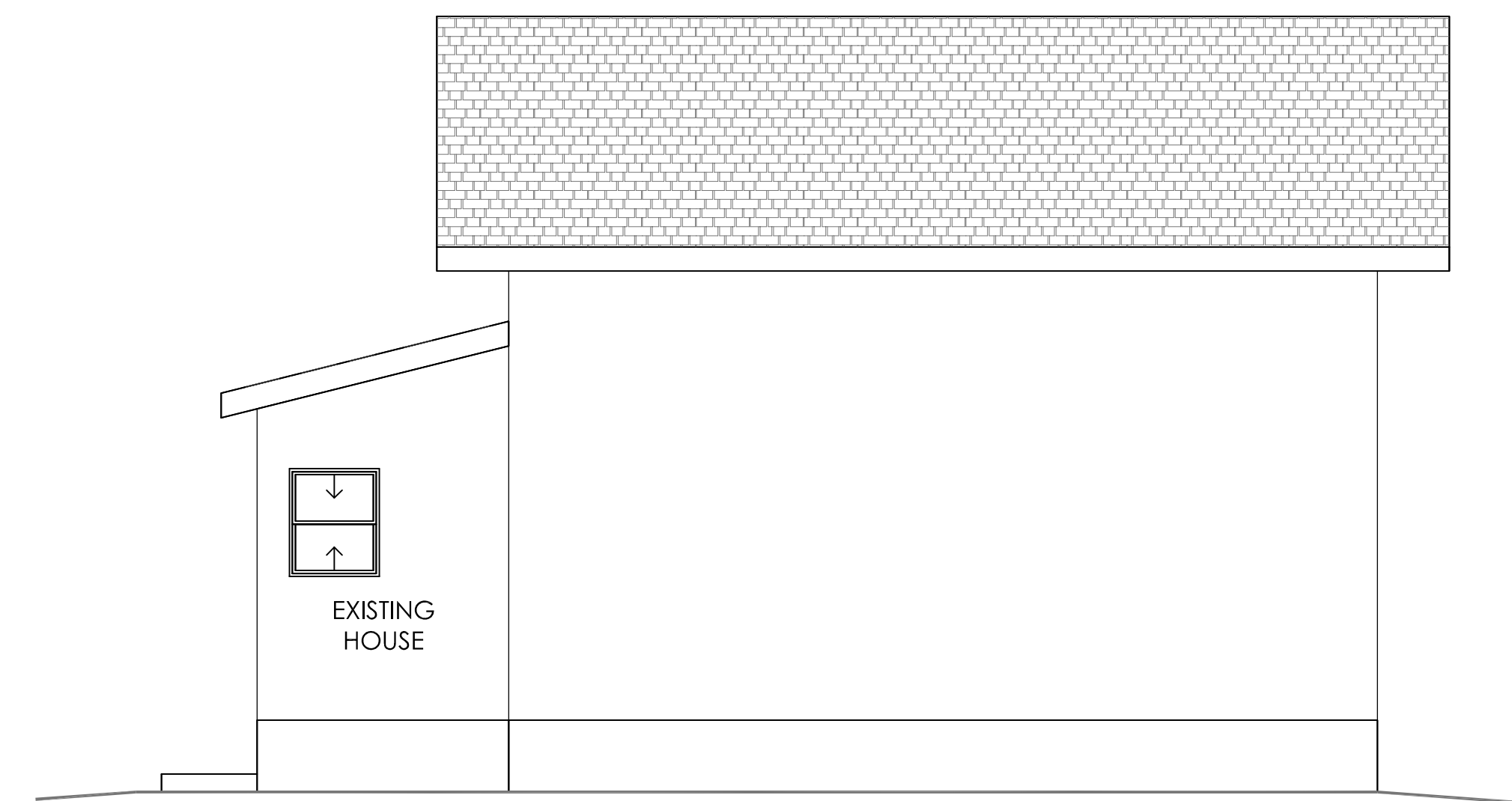
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

A2

ELEVATIONS

THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BLDG. ENVELOPE

SCALE: 1/4" = 1'

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SHEET
 A2

STRUCTURAL NOTES

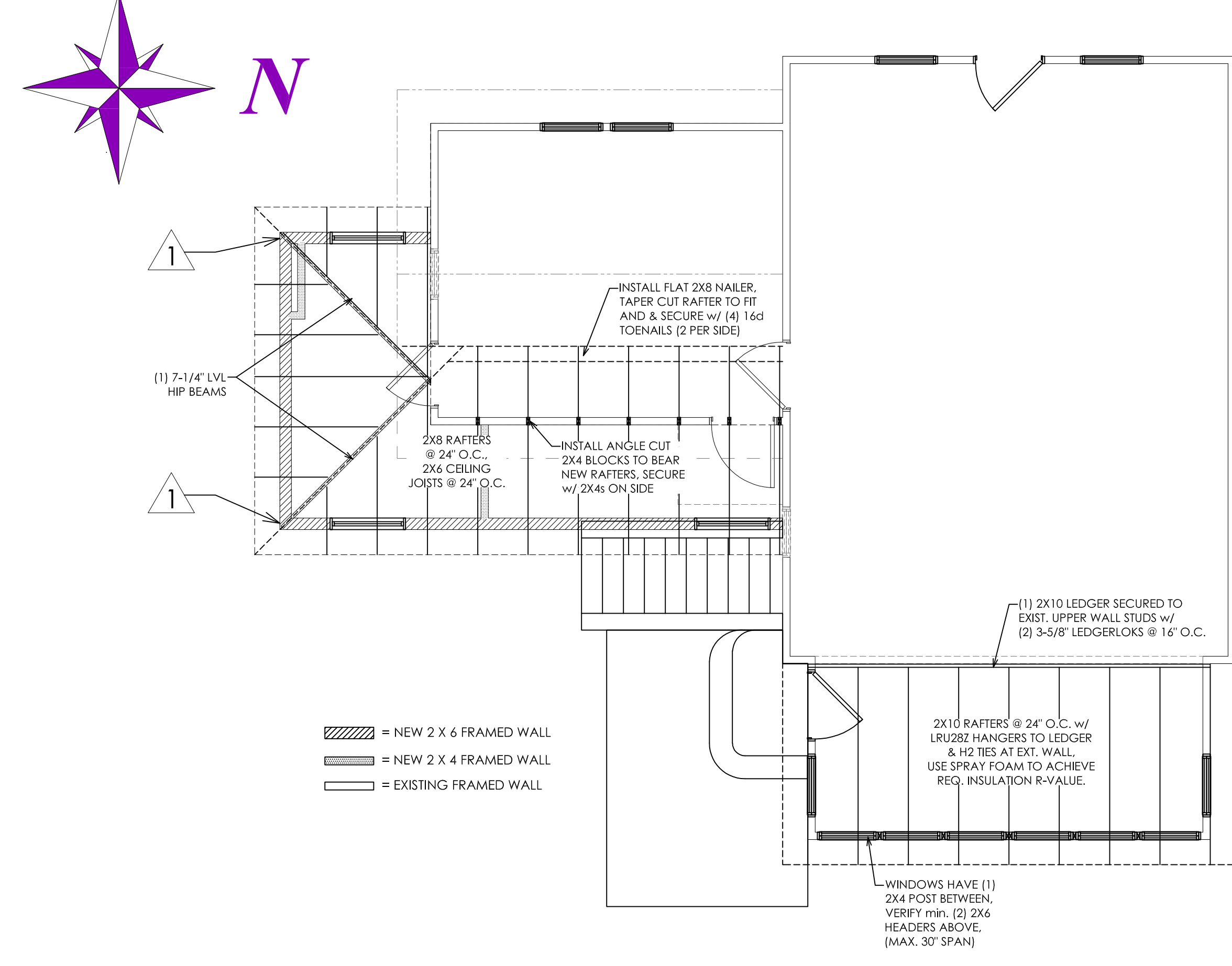
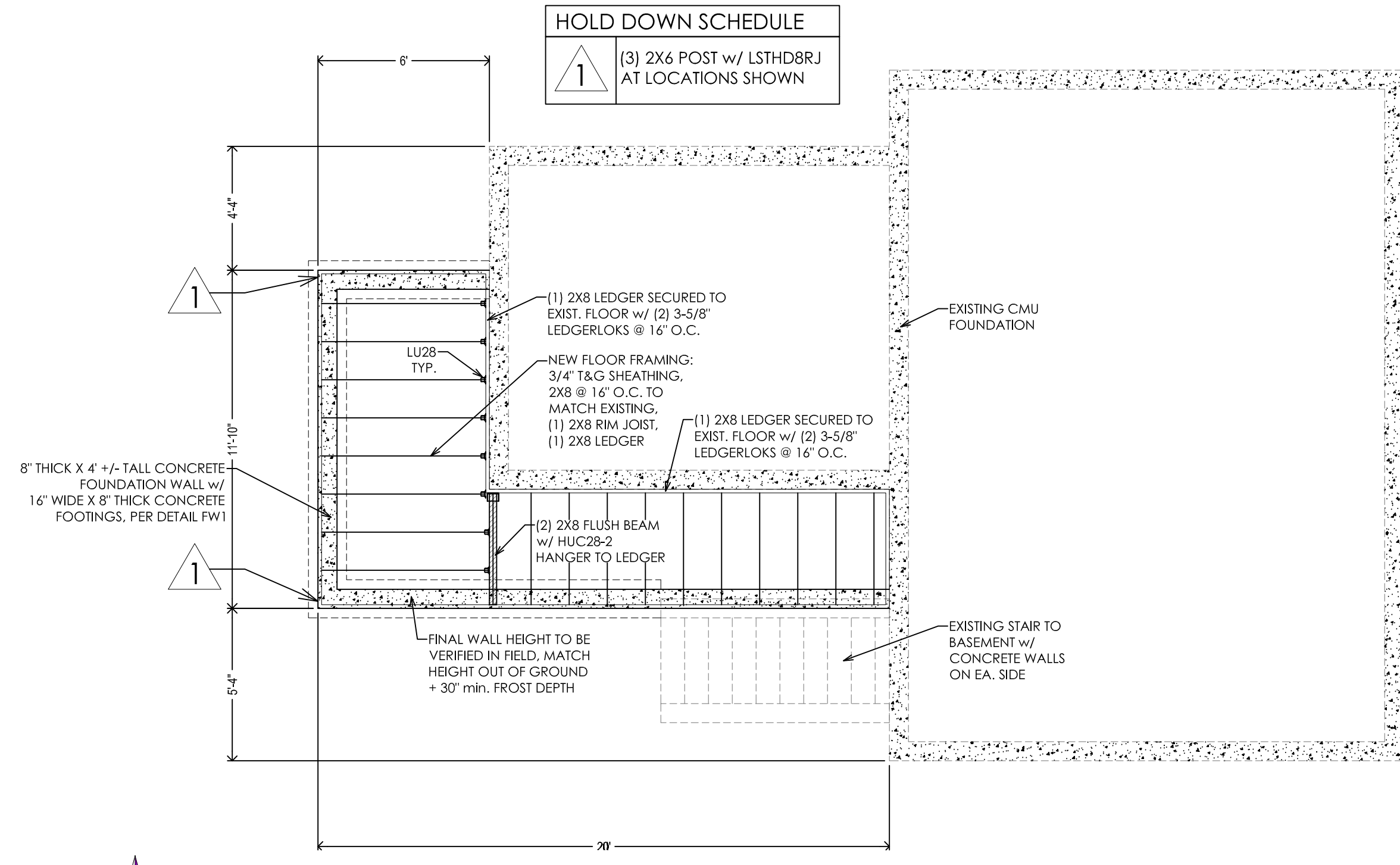
- REFERENCE INTERNATIONAL RESIDENTIAL CODE 2021 EDITION, AS AMENDED BY THE MUNICIPALITY HAVING JURISDICTION OVER THIS PROJECT.
- FOUNDATION DESIGN IS BASED ON THE ASSUMPTION THAT THE EXISTING SOIL AT THE BOTTOM OF THE EXCAVATION FOR THE FOUNDATION HAS LOW SWELL POTENTIAL BASED ON A MAP PUBLISHED BY THE COLORADO GEOLOGICAL SURVEY WHICH SHOWS THE LOCATION OF VARIOUS TYPES OF SOILS IN THE FRONT RANGE URBAN CORRIDOR. THE DESIGN ENGINEER'S EXPERIENCE INDICATES THAT SANDY-CLAY SOILS EXIST AT THE SITE. IT IS EXPECTED THAT THIS SOIL HAS LOW SWELL POTENTIAL AND IS CAPABLE OF SUPPORTING FOOTING PADS AND WALL-ON-GRADE IMPOSING A MAXIMUM BEARING PRESSURE OF 1500 PSF. AS SPECIFIED IN RC TABLE NO. INT-1.1, WITH A BALANCED DEAD LOAD OF 800 PSF. UNIFORM DIFFERENTIAL MOVEMENT, AN "OPEN HOLE" OBSERVATION SHALL BE PERFORMED AT THE OWNER'S EXPENSE UNDER THE SUPERVISION OF MARK BENJAMIN P.E. AS SOON AS THE EXCAVATION WORK IS COMPLETED TO VERIFY THE ASSUMPTION. AS AN ALTERNATIVE, A COPY OF ANY PREVIOUS SOILS REPORT MAY BE FORWARDED TO MARK BENJAMIN P.E. TO VERIFY THIS ASSUMPTION. IF THIS OPTION IS AVAILABLE, INCLUDE A COPY OF THE SOILS REPORT WITH THE BUILDING PERMIT APPLICATION FOR THE BUILDING OFFICIALS USE. AS A FURTHER OPTION, THE SOIL TYPE ASSUMED IS CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT OR SANDY SILT (CL, ML, MH OR CH). IF THE BUILDING OFFICIAL DETERMINES THAT THE SOIL THAT EXISTS AT THE LOCATION DOES NOT MEET THE REQUIREMENTS (CONTRACTOR OR EXCAVATOR) CAN MAKE THIS DETERMINATION TO THE BUILDING OFFICIALS SATISFACTION. FORWARD THIS INFORMATION TO MARK BENJAMIN P.E.
- PLACE FOOTINGS ON UNDISTURBED SOIL. BELOW LOCALLY MANDATED FROST DEPTH. IN CASE SOIL IS DISTURBED, RECOMPACT IT TO MEET STANDARD PROCTOR DENSITY OR PER GEOTECHNICAL REPORT.
- ALL FOUNDATION CONCRETE SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. THE AGGREGATE SHALL BE 1 INCH MAXIMUM SIZE. THE CEMENT IN ALL CONCRETE IN CONTACT WITH EARTH SHALL BE TYPE I OR TYPE II MODIFIED UNLESS OTHERWISE NOTED. MAXIMUM SLUMP SHALL BE 4 IN WALLS, BEAMS AND FOOTINGS. 3 IN STRUCTURAL SLABS. 5 IN SLABS-ON-GRADE, AND 3 IN DRILLED CONCRETE PILES (AKA CASINGS). WATER IN EXCESS OF 1.0 GALLONS PER CUBIC YARD CANNOT BE ADDED AT THE SITE WITHOUT APPROVAL OF THE DESIGN ENGINEER. CARESSONS MUST HAVE A MINIMUM SLUMP WHICH MAY VARY. SUPPLEMENTING THE MIX WITH ADDITIONAL CEMENT OR FLASICEER IN ORDER TO ACHIEVE THE 3000 PSI 28-DAY STRENGTH REQUIREMENT.
- AT THE EXISTING FOUNDATION, SPLICE TOP AND BOTTOM HORIZONTAL REBAR TO 30" LONG #4 REBAR EPOXYED IN 5" MINIMUM DEPTH DRILLED.
- ALL REINFORCING STEEL BARS SHALL CONFORM TO ASTM A615 GRADE 60, EXCEPT FOR COLUMN TIES, BEAM STIRRUPS AND EMBEDDED PLATE ANCHORS, WHICH SHALL BE GRADE 40. CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE IN ACCORDANCE WITH RC SECTION 19.5.3. MAKE ALL BARS CONTINUOUS AROUND CORNERS OR PROVIDE CORNER BARS OF EQUAL SIZE AND SPACING. PLACE 2" #5 GRADE 40 OR 2" #4 GRADE 60 IN 1" SPACING WITH 2" PROTECTION AROUND ALL OPENINGS IN THE CONCRETE IN GRADE BEAMS. BOTTOM SPLICES SHALL BE AT THE DRILLED PIERS AND TOP SPLICES SHALL BE AT MIDSPAN.
- ALL LUMBER MATERIAL SHALL BE NO. 2 GRADE HEM-FIR OR BETTER, WITH A BASE MINIMUM ALLOWABLE EXTREME FIBER BENDING STRESS FOR MEMBERS (Fb) OF 850 PSF EXCLUDING ADJUSTMENT FACTORS FOR USE, SIZE, LOAD DURATION, ENVIRONMENT, ETC., UNLESS OTHERWISE NOTED. WHERE THE TERM "DOUGLASS FIR" APPEARS ON THE DRAWINGS, THE DENOTES NO. 2 GRADE DOUGLASS FIR OR BETTER, HAVING AN Fb EQUAL TO 875 PSF. TOP PLATES MUST BE NO. 2 GRADE DOUGLASS FIR OR BETTER OR NO. 2 GRADE HEM-FIR. THE FRAMING MEMBERS BEARING ON WALLS ARE STACKED ABOVE THE STUDS. STUDS SHALL BE STANDARD GRADE OR BETTER.
- STANDARD HEADERS SHALL BE 2 - 2 X 8S BEARING ON SINGLE TRIMMER STUDS FOR OPENINGS LESS THAN 4 FEET WIDE. 2 - 2 X 10S BEARING ON DOUBLE TRIMMER STUDS (UNLESS NOTED OTHERWISE) FOR OPENINGS 4 FEET TO 4 FEET WIDE. ALL OPENINGS OVER 4 FEET WIDE SHALL HAVE ENGINEERED HEADERS. IF 2 OR MORE STUDS ARE INDICATED AS A COLUMN, THE STUDS SHALL BE BUNDLED AND NAILED TOGETHER WITH ONE 1/2" NAIL PER VERTICAL JOINT. FLOOR JOISTS SHOULD NOT BE NAILED MORE THAN 5" PAST THE CENTER LINE OF ANY BEAM. DOUBLE-UP ALL FLOOR JOISTS WHICH ARE PARALLEL TO PARTITIONS ABOVE UNLESS OTHERWISE NOTED. FLOOR SHEATHING SHALL BE 3/4" T&G SHEATHING WITH 1/2" SPACING AT PANEL EDGES AND 12" SPACING AT INTERMEDIATE STUDS AND AT A 12" SPACING AT PANEL EDGES UNBLOCKED. ROOF SHEATHING SHALL BE 1/2" O.S.B. MINIMUM SECURED WITH 8D NAILS AT A 6" SPACING AT PANEL AND DRAINAGE EDGES AND AT A 12" SPACING AT PANEL EDGES UNBLOCKED. WALLS SHALL BE BRACED WITH SOLID 2" X 4" TRUSS BRACING PANEL SHEATHING WITH 8D NAILS AT A 6" SPACING AT PANEL AND SHEAR WALL EDGES AND AT A 12" SPACING AT INTERMEDIATE STUDS TO MEET THE REQUIREMENTS OF RC SECTION R602.10, UNLESS A DIFFERENT OBSERVE SHOWN ON THE DRAWINGS. BLOCKING NOT LESS THAN 2" NOMINAL IN THICKNESS SHALL BE PROVIDED AT ALL WALL SHEATHING HORIZONTAL PANEL JOINTS. TALL GABLE WALLS AT VAULTED CEILING SHALL HAVE FULL HEIGHT STUDS. NOMINAL FOR UNDER 16" TALL; ENGINEERED LUMBER (E.L. LSL) FOR OVER 16" TALL. DO NOT STACK WALL SECTIONS VERTICALLY UNLESS OVER FLOOR DIAPHRAGM.
- FRAMING SHALL CONFORM TO THE WOOD FRAME CONSTRUCTION MANUAL GUIDE FOR HIGH WIND CONSTRUCTION. FOLLOW ALL FRAMING GUIDELINES EXCEPT AS NOTED ON THE PLAN.
- ALL PRE-MANUFACTURED CONNECTORS SPECIFIED SHALL BE PROVIDED BY SIMPSON STRONG-TIE COMPANY. FOR ANY SUBSTITUTIONS SUBMIT 3 COPIES OF SHOP DRAWINGS AND SPECIFICATIONS FOR REVIEW AND APPROVAL TO MARK BENJAMIN P.E., 7 DAYS PRIOR TO ORDERING.
- WHERE BEAMS ARE INDICATED ON THE PLANS WITH THE LETTERS "LV", 1-3/4" WIDE LAMINATED VENEER LUMBER MEMBERS HAVING A MINIMUM FLEXURAL STRESS OF 2400 PSI, A MODULUS OF ELASTICITY OR "E" VALUE OF 1,800,000 PSI, AND A MINIMUM HORIZONTAL SHEAR STRESS OF 285 PSF SHALL BE INSTALLED. APPROVED PRODUCTS ARE "VIBRO-LAM" OR "TRALLAM" MANUFACTURED BY TRUS, CORP. MANOMLUM, "TREDUANT" MANUFACTURED BY ROSEBURG FOREST PRODUCTS, "GANG-LAM" MANUFACTURED BY LOUISIANA PACIFIC, "TIC-LAM" MANUFACTURED BY TECTA LAMINATES, OR "VIBRO-LAM" MANUFACTURED BY ROBEK CASCADE. THE PLANS WILL INDICATE THE QUANTITY NEEDED TO BUILD UP A SINGLE BEAM AND THE MINIMUM STANDARD DEPTH NEEDED.
- SLOPE FINISHED SOIL GRADE AND ANY PAVING AWAY FROM THE BUILDING ON ALL SIDES TO PROVIDE POSITIVE SURFACE DRAINAGE AT THE RATE OF 1/4" PER HORIZONTAL FOOT, UNLESS THERE IS A GEOTECHNICAL REPORT WITH MORE STRINGENT RECOMMENDATIONS. PROVIDE DRAINAGE CONDUITS AND COLLECTION AS NEEDED FOR ROOF RUNOFF. LANDSCAPING ADJACENT TO FOUNDATION SHOULD CONSIDER OF A 3000 WIDE STRIP OF INERT GROUND COVER SUCH AS ROCK OR BARK WITH AN UNDERLYING LAYER OF IMPERVIOUS SOIL OR GEOTEXTILE MEMBRANE. IRRIGATION SHALL BE DESIGNED SO AS NOT TO DISCHARGE WATER ON THE STRIP.
- THE ENGINEER OF RECORD FOR THIS PROJECT, MARK BENJAMIN, P.E., AND/OR CROWN JADE DESIGN AND ENGINEERING PERSONNEL, HAS NOT SUPERVISED AND IN DIRECT CONTACT WITH THE WORK. HAS PERSONALLY EXAMINED THE EXISTING STRUCTURE AND PERFORMED AN ANALYSIS TO DETERMINE IT CAN ADEQUATELY SUPPORT THE ADDITIONAL LOADS IMPOSED BY THE NEW WORK. IF NOT, NEW STRUCTURAL COMPONENTS ARE SHOWN ON THE DRAWINGS.
- ALL DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS ARE INTENDED TO LOCATE STRUCTURAL COMPONENTS RELATIVE TO NON-STRUCTURAL COMPONENTS. THE DESIGN ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DEVIATION IN EXCESS OF THREE INCHES (3") PRIOR TO COMMENCEMENT OF WORK ON COMPONENTS WHICH MIGHT BE AFFECTED BY LOCATION CHANGES IN NO WAY CAN THE DESIGN ENGINEER BE RESPONSIBLE FOR THE ULTIMATE PRECISE LOCATION OR PLACEMENT OF ANY COMPONENT.
- BUILDING DEPARTMENT REQUIRED ENGINEER INSPECTIONS/OBSERVATIONS AS NOTED IN THE CONTRACT MEANS WHEN THE AUTHORITY HAVING JURISDICTION (AHJ) OF BUILDING DEPARTMENT REQUIRES THE ENGINEER TO PERFORM CERTAIN OBSERVATIONS TO VERIFY CONFORMANCE WITH THE DRAWINGS & GEO. FOOTING, FOUNDATION, SPECIAL INSPECTIONS, ETC.). ALLOW AMPLIE TIME FOR CODE TO SCHEDULE SAID OBSERVATIONS. SEVERAL DAYS NOTICE IS NOT SUFFICIENT AND DOES NOT REQUIRE CODE TO MEET THAT SCHEDULE.

DESIGN LOAD VALUES (IN PSF)

GROUND SNOW (PG) = 35 #
 ROOF, DEAD = 10
 ROOF, MAX WIND = 33.0 *
 FLOOR, DEAD = 20
 FLOOR, LIVE = 40
 CEILING, DEAD = 5
 SEISMIC DESIGN CATEGORY = B

* AS SUBJECT TO THE PROCEDURES OF ASCE 7, WITH WIND P1 = 30

BASED ON A 140 MPH V-ULTIMATE WIND SPEED AT I.B.C. EXPOSURE "C", REFER TO CODE TABLES FOR OTHER ZONE LOAD VALUES.

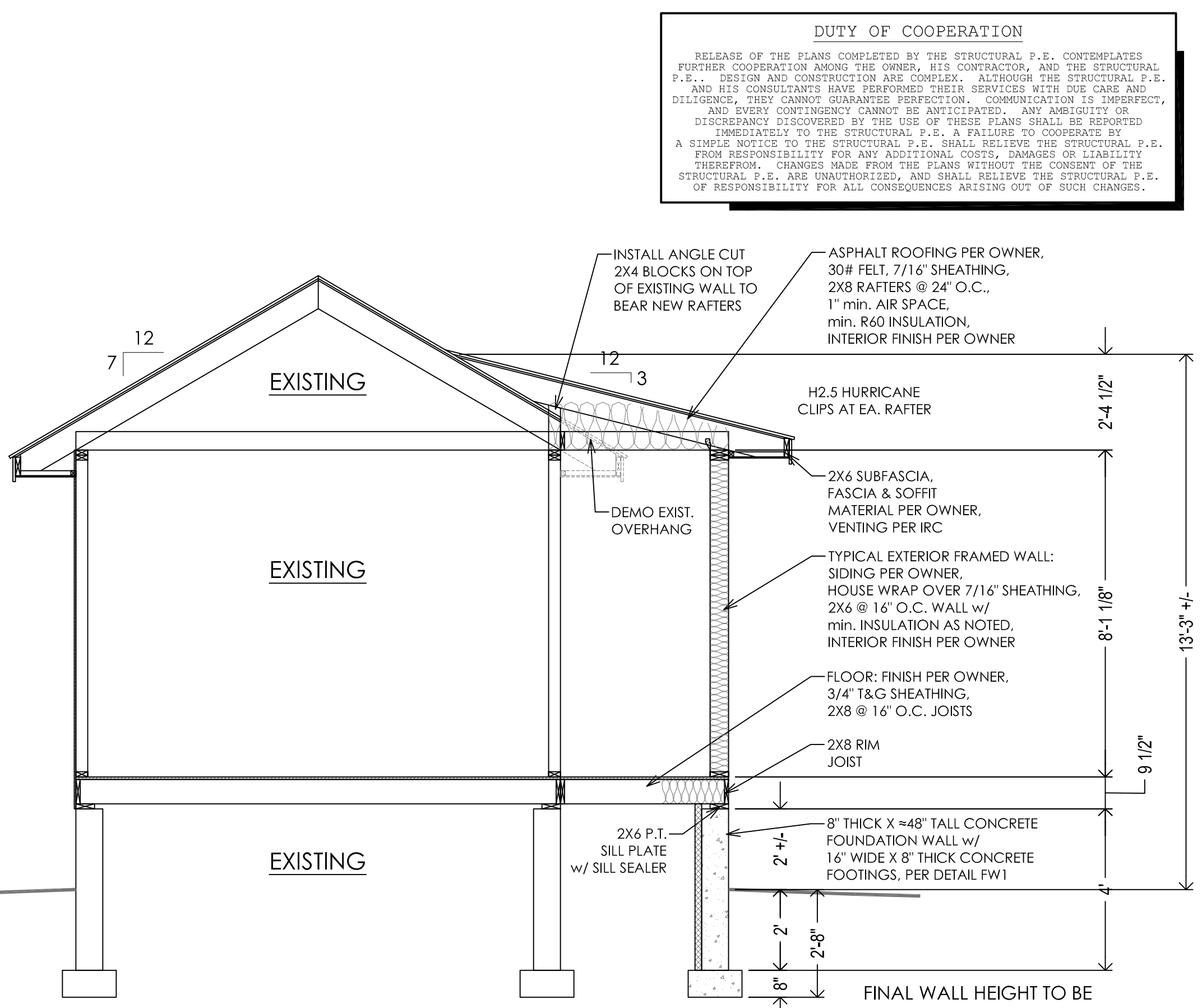


= NEW 2 X 6 FRAMED WALL
 = NEW 2 X 4 FRAMED WALL
 = EXISTING FRAMED WALL

S1 FOUNDATION PLAN and NOTES

HOLD DOWN SCHEDULE

(3) 2X6 POST w/ LSTD8RJ AT LOCATIONS SHOWN



DUTY OF COOPERATION

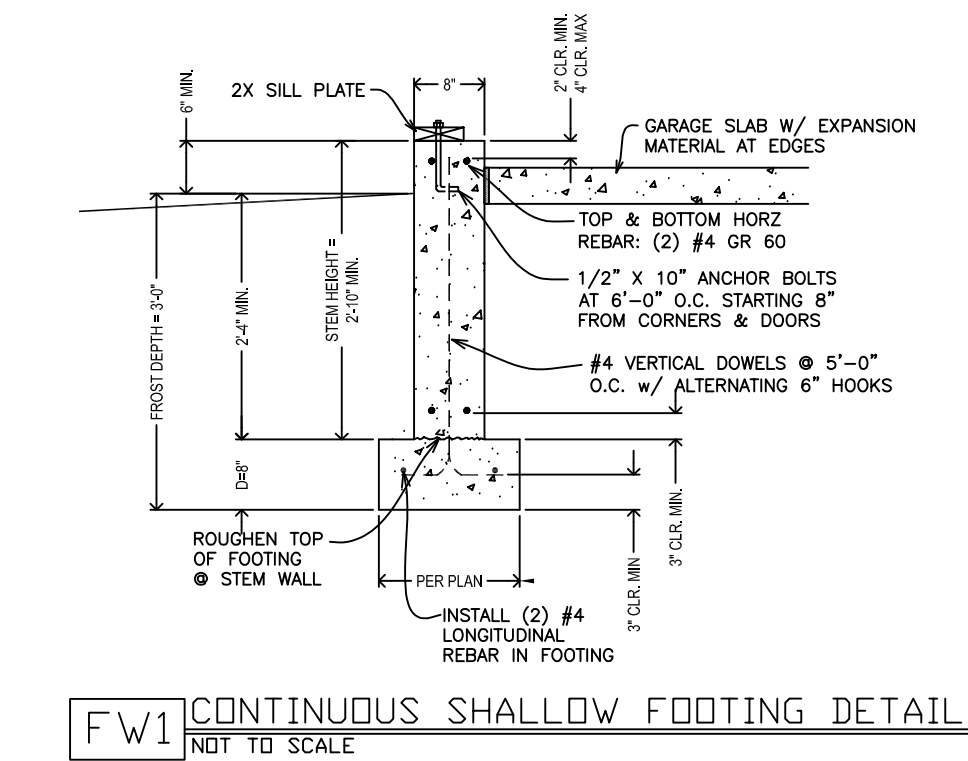
RELEASE OF THE PLANS COMPLETED BY THE STRUCTURAL P.E. CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE STRUCTURAL P.E. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE STRUCTURAL P.E. AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERATIVE, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE STRUCTURAL P.E. A FAILURE TO COOPERATE BY A SINGLE PARTY TO THIS STRUCTURAL P.E. SHALL RELIEVE THE STRUCTURAL P.E. FROM RESPONSIBILITY FOR ANY ADDITIONAL COSTS, DAMAGES OR LIABILITY THEREFROM. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE STRUCTURAL P.E. ARE UNAUTHORIZED, AND SHALL RELIEVE THE STRUCTURAL P.E. OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

VENTING PER IRC SECTION R806:
 (The minimum net free ventilating area shall be 1/150 of the area of the vented space)
 1" min AIR SPACE ABOVE INSULATION, INSTALL BAFFLES AT EAVES TO PREVENT SHIFTING OF INSULATION, INSTALL RIDGE VENT OR ROOF VENTS

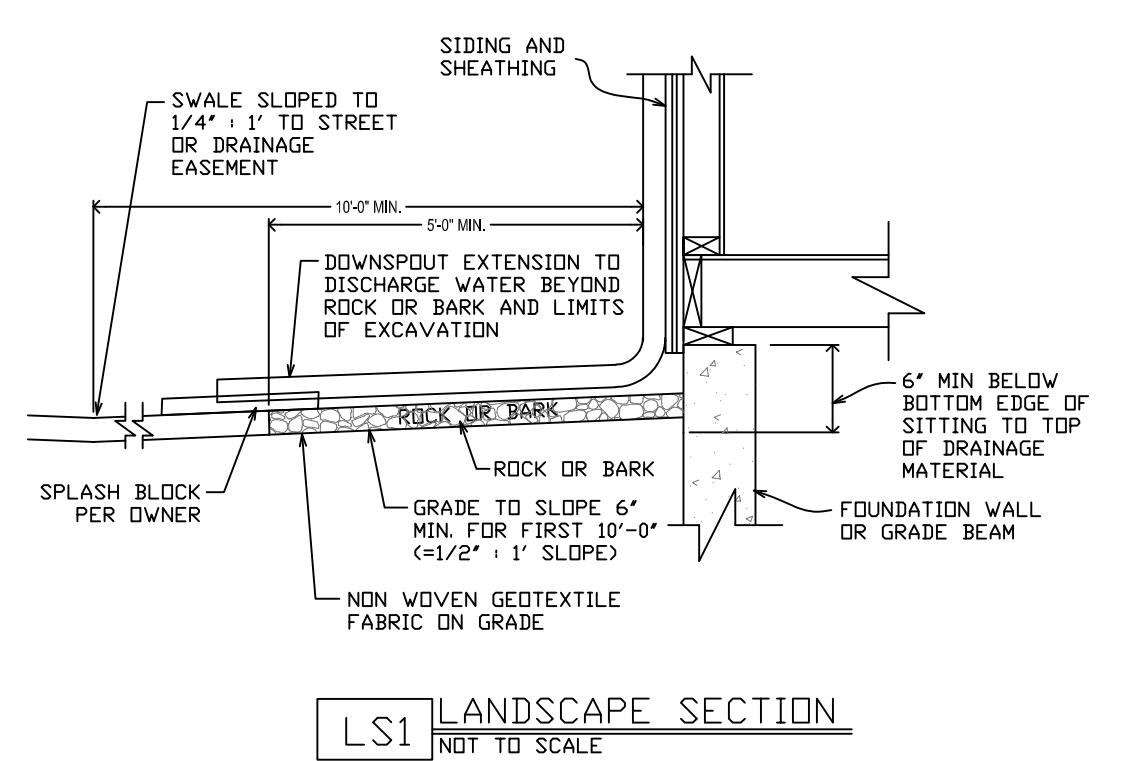
FLOOR SHEATHING:
 3/4" T&G SHEATHING w/ 8d NAILS @ 6" O.C. PANEL EDGE & 12" O.C. IN FIELD, PANEL EDGES UNBLOCKED
WALL SHEATHING:
 7/16" O.S.B. w/ 8d NAILS @ 6" O.C. PANEL EDGE & 12" O.C. IN FIELD, PANEL EDGES BLOCKED
ROOF SHEATHING:
 7/16" min. O.S.B. w/ 8d NAILS @ 6" O.C. PANEL EDGE & 12" O.C. IN FIELD, PANEL EDGES UNBLOCKED

2021 IECC ENERGY CODE IS MET USING THE PRESCRIPTIVE METHOD WITH MINIMUM INSULATION VALUES AS FOLLOWS:
 ROOF: R-60 w/ 1" air space. (R-49 shall be deemed to satisfy the requirements of R-60 wherever full height R-49 insulation extends over the wall top plate at the eaves) Use 9" of spray foam on 3" min. spray foam light to bot. of sheathing w/ bolts below to alleviate roof ventilation requirement; See IRC Section R806.5
 WALLS: R-20 cavity + 5 c.i. or R-13 cavity + 10 c.i. or R-0 cavity + 15 c.i. in walls exposed to unconditioned spaces (c.i. = continuous insulation)
 FLOORS: R-30 in floors exposed to unconditioned spaces; FOUNDATION: R-19 cavity or R-13 cavity + 5 c.i. or 5 c.i. at basement or crawlspace walls, R-10 24" deep at perimeter for frost protected thickened edge slabs, for heated slabs add min. R-5 under full slab area in addition to required slab edge insulation, the slab edge insulation at heated slabs shall not be required to extend below the slab
 DOORS & WINDOWS: All new exterior Doors and Windows shall have a maximum .32 U-factor

NOTE: IN LIEU OF PRESCRIPTIVE ENERGY CODES, U-VALUE METHOD (RESCHKE) MAY BE USED, WHICH WILL RESULT IN TOTAL ENERGY ANALYSIS WITH POSSIBLY LESS INSULATION.



Fw1 CONTINUOUS SHALLOW FOOTING DETAIL
NOT TO SCALE



LS1 LANDSCAPE SECTION
NOT TO SCALE

SCALE: 1/4" = 1'



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1112
 MATTHEWS ST.

NEW ADDITION AT
 1112 MATTHEWS ST.
 FORT COLLINS, CO

G.C.:
 RECYCLED PROPERTIES
 LAURA PICKETT
 PHONE: 303-990-3595

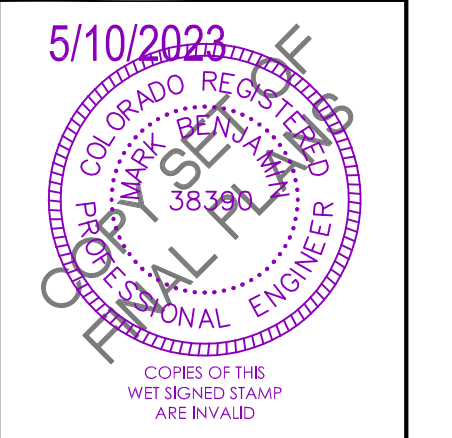
DAVID BY BENJAMIN
 ENGINEERING REVIEW:
 MARK BENJAMIN / SETH HOOVER
 ENGINEER OF RECORD
 MARK BENJAMIN, P.E.
 © PHD&E Inc. dba Crown Jade Design and Engineering

SCALE:
 1/4" = 1' U.N.O.

FOUNDATION
 PLAN &
 NOTES

FINAL
 DATE
 6/05/2023

FINAL PLAN FOR SUBMITTAL TO
 THE BUILDING DEPARTMENT
 AND FOR CONSTRUCTION



ENGINEERS
 JOB #
 RCPP53-23081

SHEET
 S1

From: [steve.macbeth](#)
To: [Historic Preservation](#)
Subject: [EXTERNAL] Re: 1112 Mathews - Permit B2305904 - Historic Preservation
Date: Thursday, August 31, 2023 2:28:26 PM

Please see notes below and attached photos.
Let me know if you have any other questions. Thank you!
Steve Mac.

On Aug 30, 2023, at 2:46 PM, Historic Preservation <preservation@fcgov.com> wrote:

Hi Steve,

This is Yani Jones with the City of Fort Collins Historic Preservation office. I've been routed on the permit review for your addition project for 1112 Mathews St. because this property is in the Laurel School Historic District on the National Register of Historic Places. I have access to your submitted application, but in order to complete my review, I'll need a little more information – Would you please respond to the following/send the materials requested?

- Is a change of use proposed for this property from single-family residential? (e.g., to a duplex use)**NO**
- What type of material is proposed for the new windows on the addition?**Milgard white vinyl with current energy code**
- Are there any material alterations (siding, windows, doors, etc.) to the main structure beyond what is directly impacted by the proposed addition and the raising of the roof for the kitchen?**NO**
- Photos of each side of the existing house **see attached**

Thank you! I'll put a "hold" on your permit in the online permitting system so the Building folks know you're working on getting me these things.

Take care,

Yani

.....
YANI JONES
Pronouns: She/Her ([What's this?](#))
Historic Preservation Planner
City of Fort Collins Historic Preservation Services
(970) 658-0263
<https://www.fcgov.com/historicpreservation/>



