



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue

P.O. Box 580

Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

AMENDED CERTIFICATE OF APPROPRIATENESS

ORIGINALLY ISSUED: June 2, 2023

RE-ISSUED: August 18, 2023

EXPIRATION: August 18, 2024

City of Fort Collins
c/o Blake Visser
PO Box 580
Fort Collins, CO 80522

Dear Property Owner:

This letter provides you with certification that proposed work to your designated Fort Collins landmark property, the Colorado and Southern Depot and Docks at 250 N. Mason St., has been approved by the City's Historic Preservation Division (HPD) because the proposed work appears to be routine in nature with minimal effects to the historic resource, and meets the requirements of Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

The alterations reviewed include:

- Demo of existing concrete and surrounding area as shown on attached plans, including part of a ramp and railing, for ADA compliant replacement – Demo does not include historic docks; railing is to be salvaged, repaired, and modified as needed for new grades/steps and will be repainted to match the existing color.
- (Added 8/18/2023) Existing wooden loading dock uncovered by concrete demo to be protected in place and re-covered by new concrete slab as described in attached plans.
- (Added 8/18/2023) Demo of east stair for code-compliant landing/stair reconstruction as shown on attached plans – Existing railing to be salvaged, repainted, and replaced; existing brick veneer, footings, walls to be protected in place.
- (Added 8/18/2023) Story stones re-set and steel rings refinished

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please note that work beyond that indicated in your permit application/correspondence requires additional approval.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at (970) 224-6045.

Sincerely,
Yani Jones, Historic Preservation Planner



COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES
281 N. College Ave. • Fort Collins, CO 80524 • Phone: 970.416.2740 • www.fcgov.com/building

BUILDING PERMIT APPLICATION

FOR OFFICE USE
APPLICATION NUMBER: APPLICATION DATE:

Job Site Address 250 N Mason ST, Fort Collins, CO 80524 Unit#

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name Visser First Name Blake Middle
Street Address 300 Laporte Ave City Fort Collins State CO Zip 80522
Phone # 970-388-5646 Email bvisser@fcgov.com
Name of Business (COMMERCIAL USE ONLY) City of Fort Collins - Operation Services

CONTRACTOR INFO: Company Name TBD
License Holder Name TBD LIC # TBD CERT # TBD

LEGAL INFO:

Subdivision/PUD Filing # Lot # Block # Lot Sq Ft

CONSTRUCTION INFO: Total Building Sq Ft (NOT including basement) Total Garage Sq. Ft.

Residential Sq Ft Commercial Sq Ft # of Stories Bldg Ht # of Dwelling Units
1st Floor Sq Ft 2nd Floor Sq Ft 3rd Floor Sq Ft Unfinished Basement Sq Ft
Finished Basement Sq Ft # of Bedrooms # of Full Baths
3/4 Baths 1/2 Baths # Fireplaces

ENERGY INFORMATION: (CHECK ONE)

ComCheck UA (ResCheck) SPA (Simulated Performance Alternative) Prescriptive ERI (Energy Rating Index)

Air Conditioning? YES NO

City of Fort Collins Approved Stock Plan # SPO List Option #s

UTILITIES INFO: Gas Electric Electric Temp. Pedestal Yes No
Electric Main Breaker Size (Residential Only): 150 amp or less 200 Amp Other

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) Public Transportation

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant [X] New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes No If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes No
If yes, please describe:

Value of Construction (materials and labor): \$89,000

Description of Work: Concrete and railing demo and replacement rail fabrication, painting and installation

JOBSITE SUPERVISOR CONTACT INFO: Name TBD Phone TBD

SUBCONTRACTOR INFO: Electrical _____ Mechanical _____

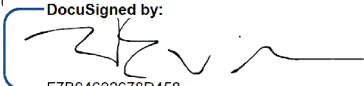
Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other TBD

ASBESTOS STATEMENT DISCLOSURE: *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) _____
- An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  '10/2023 Type or Print Name Blake Visser

Phone # 970-388-5646 Email bvisser@fcgov.com

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



Planning, Development & Transportation
281 N. College Ave
Fort Collins, CO 80524
Phone 970-416-2740 Fax 224-6134

BUILDING OWNER AUTHORIZATION TO OBTAIN A COMMERCIAL BUILDING PERMIT

I, (Print) Blake Visser as owner of record (property address) 250 N. Mason St., Fort Collins CO, 80524 known as (name of business) City of Fort Collins - Operation Services hereby authorize the work listed below to be done on said property. I understand that such work will **only be performed by contractors licensed by the City of Fort Collins.**

I am giving permission for **interior work only**. The scope of the work shall be limited to: _____

I am giving permission for **exterior work only**. The scope of the work shall be limited to: Concrete and railing demo and replacement rail fabrication, painting and installation

I am giving permission for **interior and exterior work**. The scope of the work shall be limited to : _____

(Property owner signature)

Blake Visser - Sr. Facilities Project Manager
(Property owner name; please print)

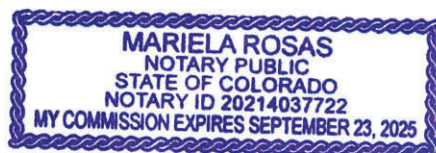
The foregoing affidavit was acknowledged before me on the 03 day of April, 2023 (month, year) by Mariela Rosas for the purpose therein set forth.

Witness my hand and official seal.

My Commission expires: 9/23/2025

Mariela Rosas
Notary Public

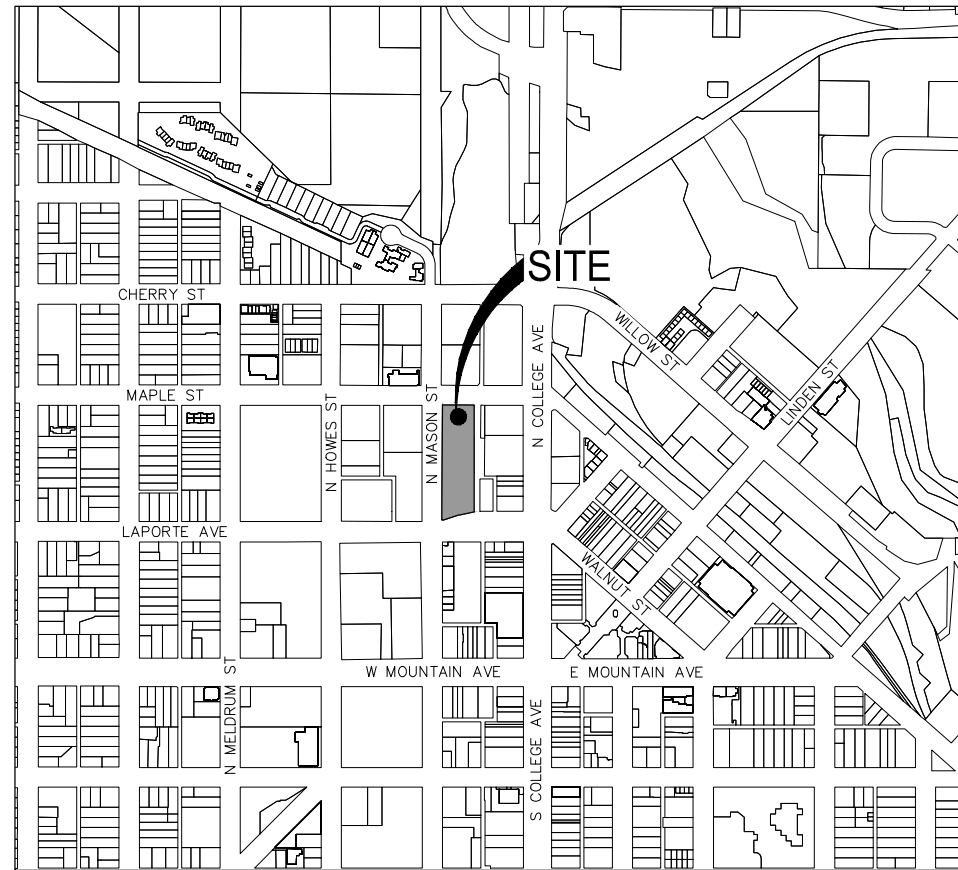
Permit # _____
Office use only



BUILDING PERMIT PLANS FOR: CITY OF FORT COLLINS DOWNTOWN TRANSIT CENTER (DTC) ADA IMPROVEMENTS MARCH 2023

Submit engineer's observation letter(s) for foundations and reinforcing steel to buildingdocs@fcgov.com for review at least 24 hours prior to issuance of the Letter of Completion.

LEGEND			
	EXISTING TELEPHONE LINE		PROPOSED TELEPHONE
	EXISTING ELECTRIC LINE		PROPOSED ELECTRIC
	EXISTING GAS		PROPOSED GAS
	EXISTING SANITARY SEWER MAIN		PROPOSED SANITARY SEWER MAIN & MANHOLE
	EXISTING SANITARY SEWER MANHOLE		PROPOSED WATER MAIN VALVE
	EXISTING WATER MAIN		PROPOSED FIRE HYDRANT
	EXISTING WATER VALVE		PROPOSED STORM SEWER
	EXISTING FIRE HYDRANT		PROPOSED STORM MANHOLE
	EXISTING STORM SEWER		PROPOSED STORM INLET
	EXISTING STORM SEWER MANHOLE		PROPOSED FLARED END SECTION (FES)
	EXISTING STORM SEWER INLET		PROPOSED FLOWLINE, CURB & GUTTER
	EXISTING FLOWLINE, CURB & GUTTER		PROPOSED CONCRETE
	EXISTING EDGE OF ASPHALT		PROPOSED SPOT ELEVATION
	EXISTING CONCRETE		PROPOSED MINOR CONTOUR
	EXISTING SPOT ELEVATION		PROPOSED MAJOR CONTOUR
	EXISTING MINOR CONTOUR		PROPOSED UTILITY POLE
	EXISTING MAJOR CONTOUR		PROPOSED STREET LIGHT
	EXISTING UTILITY POLE		PROPOSED SANITARY SEWER CLEANOUT
	EXISTING STREET LIGHT		PROPOSED WATER CURB STOP METER PIT
	EXISTING GUY WIRE		PROPOSED FENCING RAIL
	EXISTING OVERHEAD UTILITY		
	EASEMENT LINE		
	RIGHT-OF-WAY LINE		



VICINITY MAP
SCALE: 1"=500'

INDEX OF SHEETS	
Sheet No.	DESCRIPTION OF SHEETS
1	COVER
C-001	DEMO & GRADING PLAN
S-001	GENERAL NOTES
S-101	PARTIAL PLAN AND DETAILS

UTILITY CONTACTS:	
<p>CITY OF FORT COLLINS 700 Wood Street Fort Collins, Colorado 80522</p> <p>UTILITIES ENGINEER Matt Simpson Ph. 970.416.2754</p> <p>LIGHT & POWER Luke Unruh Ph. 970.416.2724</p>	<p>NATURAL GAS Xcel Energy 1901 E. Horsetooth Road Fort Collins, Colorado 80525 Contact: Stephanie Rich Ph. 970.225.7828</p> <p>TELEPHONE SERVICE Century Link 3702 Automation Dr, Suite 106 Fort Collins, Colorado 80525 Contact: Engineering Office Ph. 970.490.7508</p>

ENGINEER
Wilson & Company
4065 St Cloud Dr, Suite 201
Loveland, CO 80538
PH. 970.834.6370
Contact: Tim Kemp

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

ABBREVIATION LIST			
AD	ALGEBRAIC DIFFERENCE	LT	LEFT
AE	ACCESS EASEMENT	MH	MANHOLE
ARV	AIR RELEASE VALVE	PAE	PUBLIC ACCESS EASEMENT
ASSY	ASSEMBLY	PE	PEDESTRIAN EASEMENT
BLDG	BUILDING	PERF	PERFORATED
BOV	BLOW OFF VALVE	PC	POINT OF CURVATURE
BW	BOTTOM OF WALL	PCC	POINT OF COMPOUND CURVATURE
C&G	CURB AND GUTTER	PCR	POINT OF CURB RETURN
CL	CENTERLINE	PI	POINT OF INTERSECTION
CMP	CORRUGATED METAL PIPE	PRC	POINT OF REVERSE CURVATURE
DE	DRAINAGE EASEMENT	PT	POINT OF TANGENCY
EAE	EMERGENCY ACCESS EASEMENT	PVC	POLYVINYL CHLORIDE
EG	EXISTING GRADE	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RD	ROOF DRAIN
ENV	ENVELOPE	RT	RIGHT
ES	EMERGENCY SPILLWAY	SAN	SANITARY SEWER
ESMT	EASEMENT	SDMH	STORM DRAIN MANHOLE
EX	EXISTING	STA	STATION
FES	FLARED END SECTION	STM	STORM SEWER
FH	FIRE HYDRANT	TC	TOP OF CONCRETE
FL	FLOWLINE	TB	THRUST BLOCK
GB	GRADE BREAK	TBW	TOP BACK OF WALK
GD	GROUND	TOF	TOP OF FOUNDATION
GV	GATE VALVE	TW	TOP OF WALL
HP	HIGH POINT	TYP	TYPICAL
IE	IRRIGATION EASEMENT	UE	UTILITY EASEMENT
INV	INVERT	VCP	VITRIFIED CLAY PIPE
IRR	IRRIGATION	VPC	VERTICAL POINT OF CURVATURE
LF	LINEAR FEET	VPI	VERTICAL POINT OF INTERSECTION
LP	LOW POINT	VPT	VERTICAL POINT OF TANGENCY

INDEMNIFICATION STATEMENT:

THESE PLANS HAVE BEEN REVIEWED BY THE LOCAL ENTITY FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE LOCAL ENTITY ENGINEER, OR THE LOCAL ENTITY FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED IN ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE LOCAL ENTITY FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

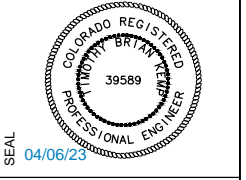
City of Fort Collins - Building Services

These reviewed construction documents shall be on the job site at all times.
Reviewed for Code Compliance - See comments / corrections as attached.
ISSUANCE OF A PERMIT OR FAILURE TO IDENTIFY A CODE VIOLATION DURING REVIEW SHALL NOT GRANT APPROVAL TO VIOLATE THE CODE, ORDINANCE OR ANY OTHER LAW.

Work shall be installed in accordance with the plans. Any changes made during construction that are not in compliance with reviewed construction plans shall be resubmitted for review as an amended set of construction plans.

WILSON & COMPANY
4065 SAINT CLOUD DRIVE, SUITE 201
LOVELAND, CO 80538
PHONE: 970-834-6364
www.wilfontco.com

PROPERTY OWNER
CITY OF FORT COLLINS
281 N. COLLEGE AVE
FORT COLLINS, CO 80524



PROJECT NAME
DTC ADA IMPROVEMENTS

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 20-100-231-06
DESIGNED BY: JDL
DRAWN BY: JDL
CHECKED BY: MPO
DATE: MARCH 2023

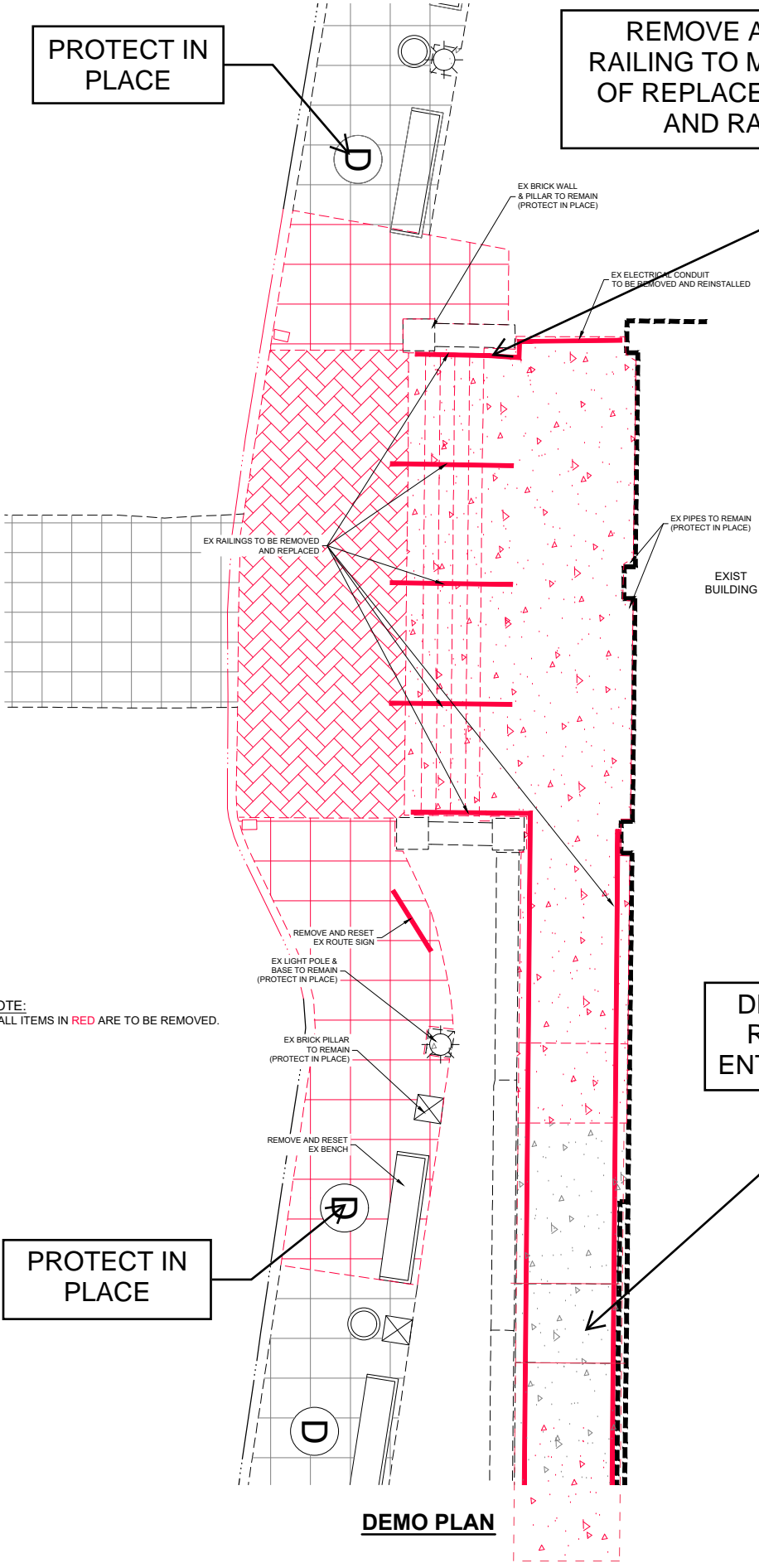
SHEET TITLE
COVER

SHEET NO: **1**

B2302419

PROTECT IN PLACE

REMOVE AND MODIFY RAILING TO MATCH INCLINE OF REPLACEMENT STAIRS AND RAMP, TYP.

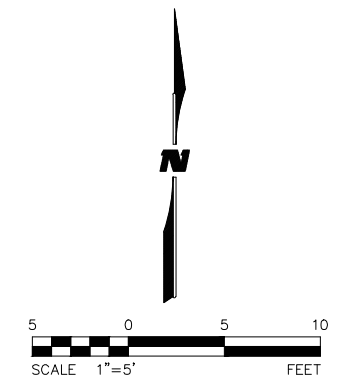
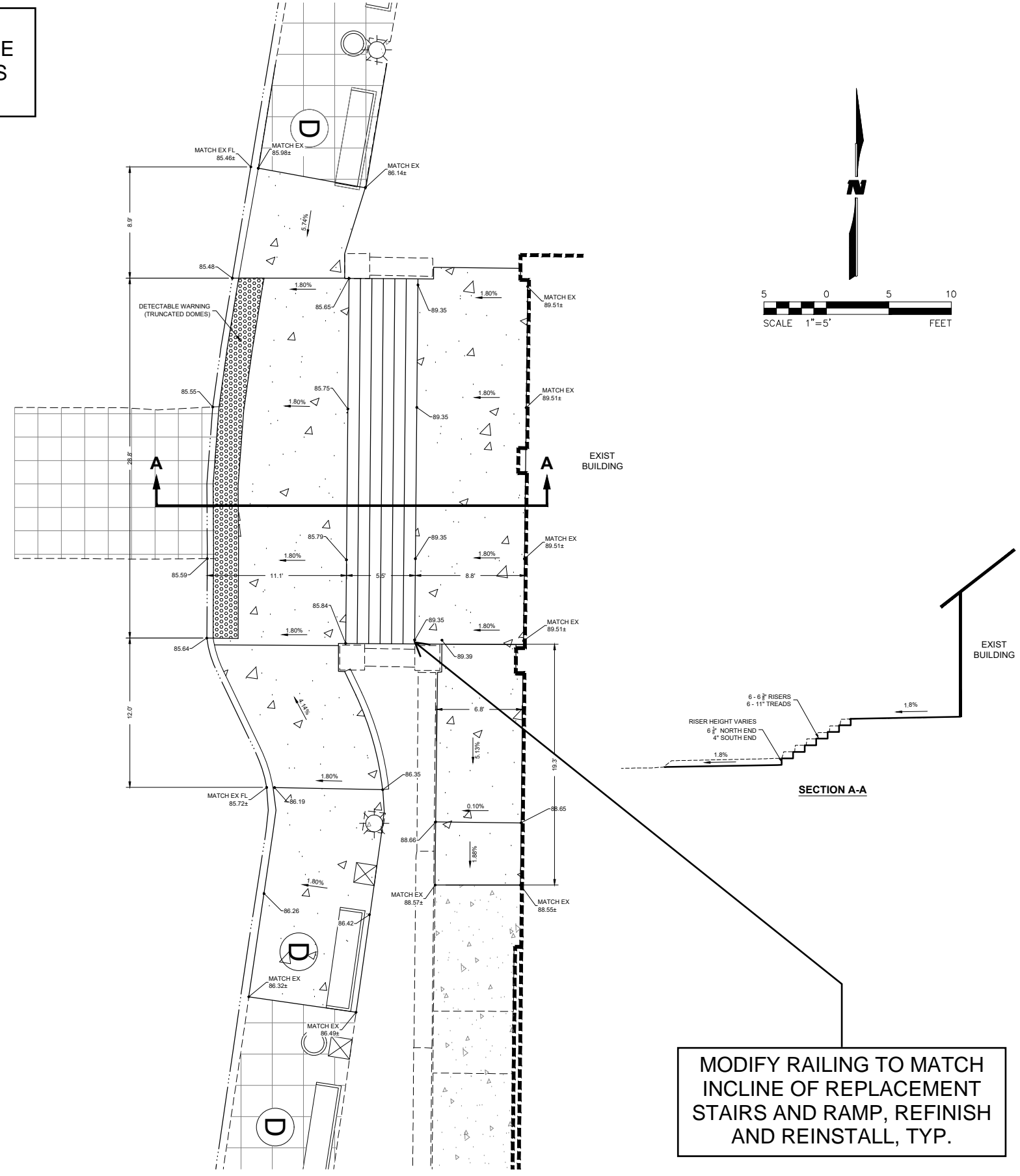


NOTE:
1. ALL ITEMS IN RED ARE TO BE REMOVED.

DEMO AND REPLACE ENTIRE RAMP

PROTECT IN PLACE

DEMO PLAN



MODIFY RAILING TO MATCH INCLINE OF REPLACEMENT STAIRS AND RAMP, REFINISH AND REINSTALL, TYP.

GRADING PLAN

WILSON & COMPANY
4065 SAINT CLOUD DRIVE, SUITE 201
LOVELAND, CO 80538
PHONE: 970-834-6364
www.wilsonco.com

PROPERTY OWNER
CITY OF FORT COLLINS
281 N. COLLEGE AVE
FORT COLLINS, CO 80524

SEAL
04/06/23
COLORADO REGISTERED PROFESSIONAL ENGINEER
BRYAN BRITTON
39589

PROJECT NAME
DTC ADA IMPROVEMENTS

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 20-100-231-06
DESIGNED BY: JDL
DRAWN BY: JDL
CHECKED BY: MPO
DATE: MARCH 2023

SHEET TITLE
DEMO & GRADING PLAN

SHEET NO:
C-001

B2302419

DESIGN CRITERIA

- CODES
 - 2021 INTERNATIONAL BUILDING CODE
 - ASCE 7-16, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 - ACI 318-19, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - AISC STEEL CONSTRUCTION MANUAL, 15TH EDITION.
- RISK CATEGORY PER ASCE 7 TABLE 1.5-1: II (TWO)
- DEAD LOADS: ACTUAL WEIGHT OF COMPONENTS
- LIVE LOADS

ROOF: NA
FLOOR: 250 PSF
- SNOW DESIGN DATA

GROUND SNOW LOAD $P_g = 35$ PSF
EXPOSURE FACTOR $C_e = 1.0$
THERMAL FACTOR $C_t = 1.0$
IMPORTANCE FACTOR $I_s = 1.0$
FLAT ROOF SNOW LOAD $P_f = 30$ PSF
SLOPED ROOF SNOW LOAD $P_s = 30$ PSF
RAIN ON SNOW SURCHARGE = NA
- WIND DESIGN DATA

BASIC WIND SPEED = 140 MPH
EXPOSURE B
IMPORTANCE FACTOR $I_w = 1.0$
INTERNAL PRESSURE COEFFICIENT $GC_{pi} = +/-0.18$
- EARTHQUAKE DESIGN DATA

IMPORTANCE FACTOR $I_e = 1.0$
MAPPED SPECTRAL ACCELERATION PARAMETERS
 $S_s = 0.194$
 $S_1 = 0.056$
SOIL SITE CLASS = D
DESIGN SPECTRAL ACCELERATION PARAMETERS
 $S_{DS} = 0.207$
 $S_{D1} = 0.089$
SEISMIC DESIGN CATEGORY = B

4/10/2023 M:\TRN\20-100-231-06\2_Discliplines_SHEETS\Structural\S001_GEN NOTES CONC TYP DETAILS 23005.dwg

FOUNDATION

- THE PROJECT GEOTECHNICAL REPORT WAS PREPARED BY EMPIRE LABORATORIES FILE NUMBER 209452812, DATED JANUARY 12, 1995.
- DESIGN ALLOWABLE BEARING PRESSURE: 2000 PSF.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, UNDERPINNING AND PROTECTION OF EXISTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE DE-WATERING OF EXCAVATIONS FROM SURFACE WATER, GROUND WATER OR SEEPAGE. REMOVE LOOSE SOIL AND STANDING WATER FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING CONCRETE.
- EXCAVATION AND COMPACTION SHALL BE APPROVED BY THE GOVERNING AGENCY AND THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE AND REINFORCING. THE GEOTECHNICAL ENGINEER SHALL SUBMIT LETTER OF COMPLIANCE TO THE OWNER'S REPRESENTATIVE.
- EXCAVATIONS SHALL BE PROPERLY BACKFILLED. DO NOT PLACE BACKFILL BEHIND RETAINING WALLS BEFORE WALLS HAVE ATTAINED FULL DESIGN STRENGTH. CONTRACTOR SHALL BRACE OR PROTECT BUILDING AND ELEMENTS BELOW GRADE FROM LATER LOADS UNTIL ATTACHING FLOORS ARE COMPLETELY IN PLACE AND HAVE ATTAINED FULL STRENGTH.
- EARTHWORK SHALL BE DONE IN ACCORDANCE WITH SOILS REPORT.
- FORM SIDES OF FOOTINGS, WALLS AND GRADE BEAMS. NEAT FORMING IS NOT PERMITTED.

CONCRETE

- MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS
 - EXTERIOR SLABS ON GRADE AND PADS: 4500 PSI
- JOINTS
 - SLABS ON GRADE:
 - PROVIDE SLAB CONTROL OR CONSTRUCTION JOINTS AS SHOWN ON TYPICAL DETAILS.
 - AT JUNCTION OF SLAB ON GRADE AND VERTICAL CONCRETE OR MASONRY WALL OR COLUMNS, PROVIDE BOND BREAKER OR EXPANSION JOINT AS SHOWN ON DRAWINGS.
 - FOOTINGS: PROVIDE TIGHT BUTT JOINTS WITH ALL HORIZONTAL REINFORCING CONTINUOUS THROUGH THE JOINT AT LOCATIONS DETERMINED BY THE CONTRACTOR.
 - CONCRETE STEM WALLS, SITE WALLS AND RETAINING WALLS: PROVIDE VERTICAL CONTROL OR CONSTRUCTION JOINT AS SHOWN ON TYPICAL DETAILS, AT MAXIMUM HORIZONTAL SPACING OF TWICE THE WALL HEIGHT AND NOT MORE THAN 20 FEET.
 - CONCRETE BEAMS, COLUMNS, BUILDING WALLS, AND SUSPENDED SLABS:
 - LOCATE VERTICAL AND HORIZONTAL CONSTRUCTION JOINTS AS SHOWN ON DRAWINGS.
 - REINFORCING SHALL BE CONTINUOUS THROUGH JOINTS UNLESS NOTED OTHERWISE.
- CHAMFER EXPOSED EDGES OF CONCRETE 3/4" UNLESS NOTED OTHERWISE.

CONCRETE REINFORCING

- FABRICATE AND PLACE REINFORCING IN ACCORDANCE WITH ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, AND ACI 315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
- MATERIAL
 - ASTM A615 GRADE 60.
- DO NOT TACK WELD OR WELD REINFORCING UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS.
- DO NOT USE HEAT IN FABRICATION OR INSTALLATION OF REINFORCING.
- PROVIDE REINFORCING SPLICES CONFORMING TO THE TABLE ON THIS SHEET. PROVIDE CLASS B SPLICES UNLESS NOTED OTHERWISE.
- PROVIDE CONCRETE COVER OVER REINFORCING AS FOLLOWS UNLESS NOTED OTHERWISE:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - NO. 6 THROUGH NO. 11 BARS: 2"
 - NO. 5 BAR AND SMALLER: 1 1/2"
 - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
 - SLABS, WALLS, JOISTS (NO. 11 AND SMALLER): 3/4"
 - BEAMS, COLUMNS: 1 1/2"
 - SLAB ON GRADE:

SLAB THICKNESS	COVER FROM TOP OF SLAB
4", 5"	1 1/2"
6"	2"
7", 8"	2 1/2"
- PROVIDE BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH ACI 318. FOR REINFORCING IN SLABS ON GRADE, PROVIDE PLASTIC CHAIRS WITH PLASTIC SAND PLATES.
- HORIZONTAL REINFORCING IN FOOTINGS, WALLS AND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR PROVIDE CORNER BARS OF THE SAME SIZE AND SPACING AS THE HORIZONTAL BARS AND LAP A MINIMUM OF 30 BAR DIAMETERS OR 24", WHICHEVER IS GREATER.

SLAB THICKNESS	SLUMP 4" TO 6"		SLUMP LESS THAN 4"
	MAXIMUM AGGREGATE SIZE LESS THAN 3/4"	MAXIMUM AGGREGATE SIZE 3/4" AND LARGER	
4"	8'	10'	12'
5"	10'	13'	15'
6"	12'	15'	18'
7"	14'	18'	21'
8"	16'	20'	24'

SPLICE LENGTH NOTES

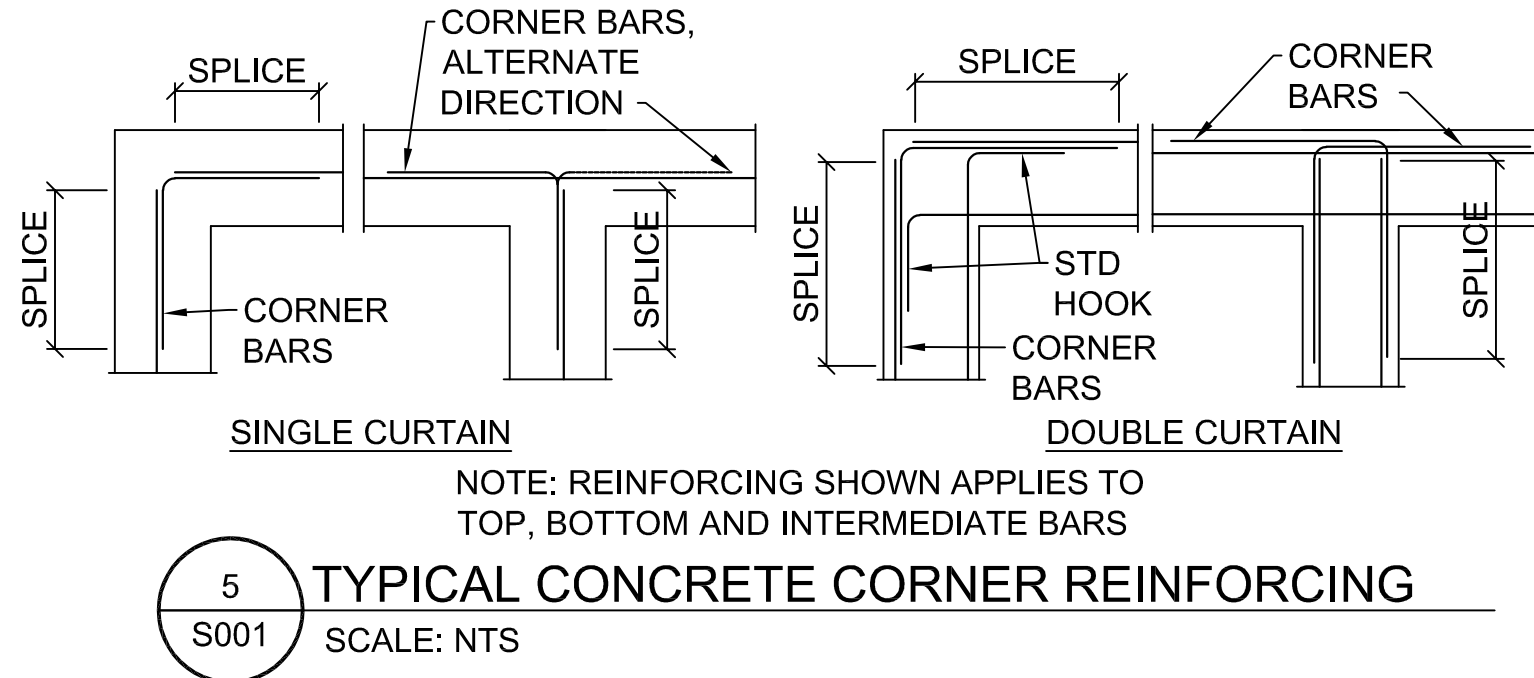
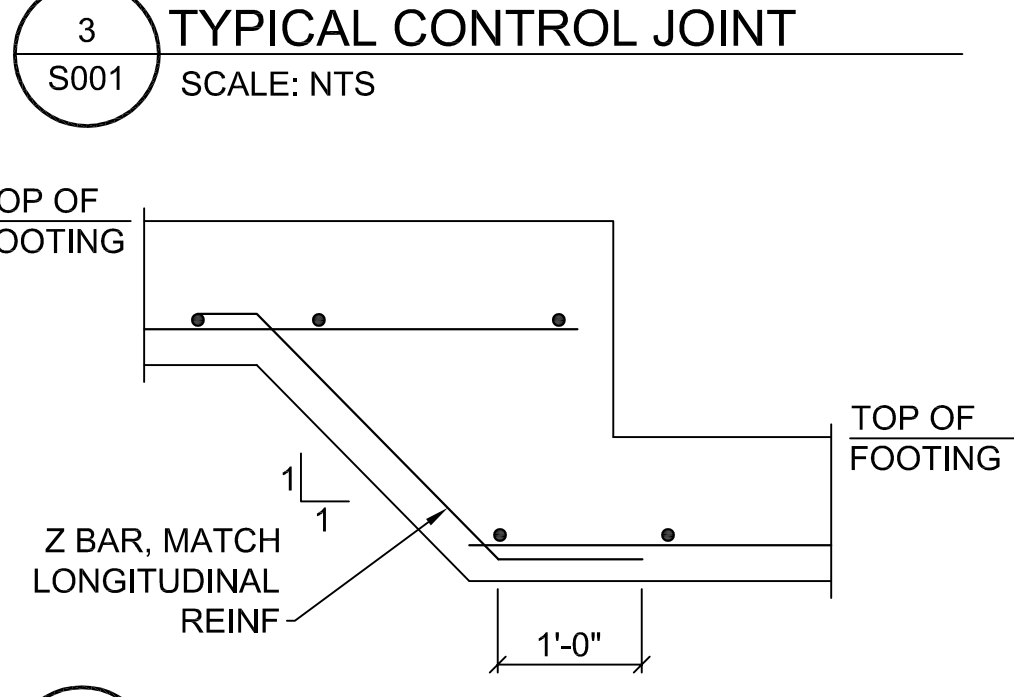
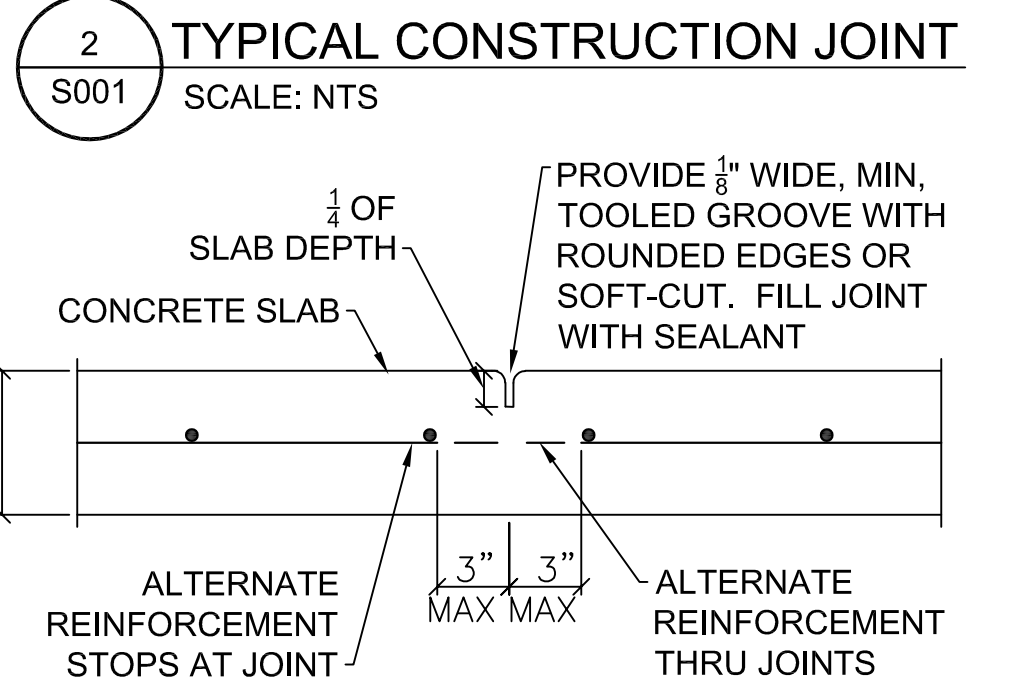
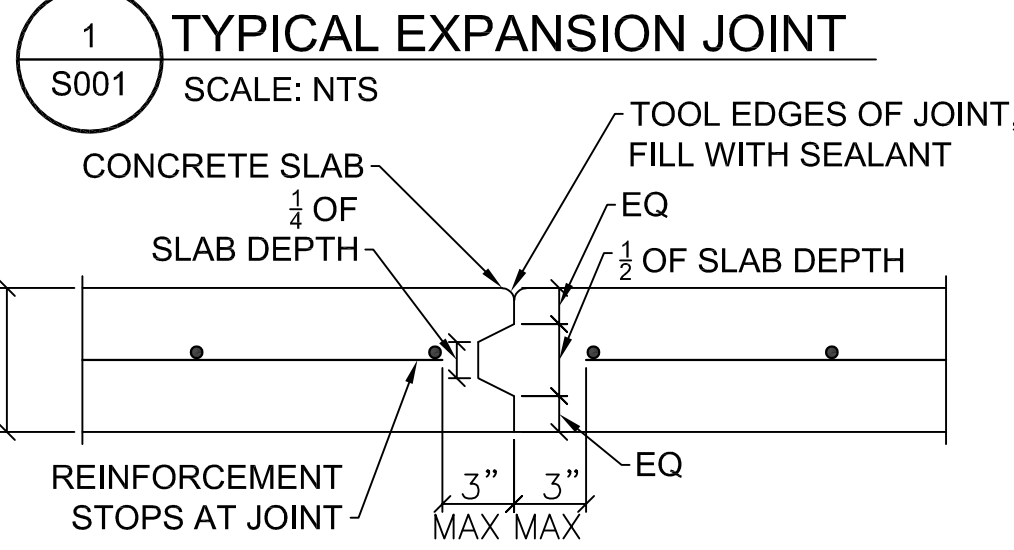
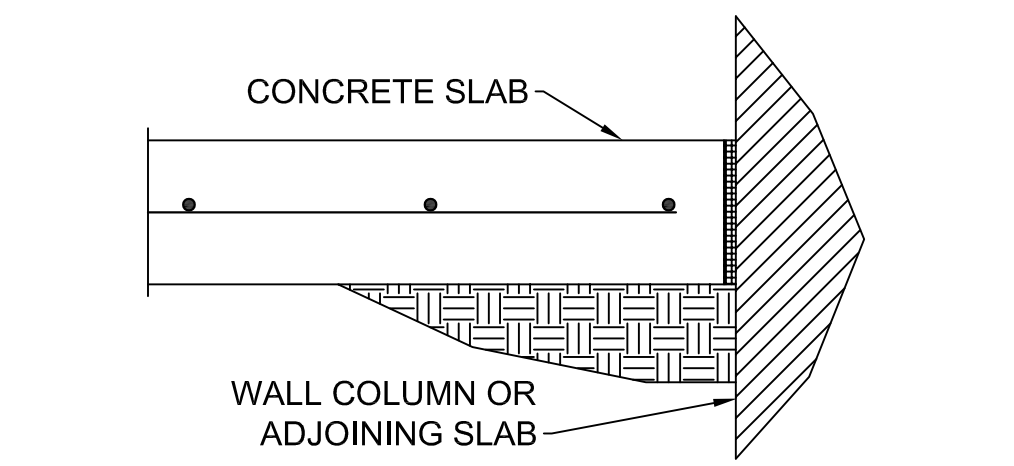
- CLASS A LAP LENGTHS APPLY WHEN BAR LAPS ARE STAGGERED TO LAP HALF THE BARS AT THE SAME LOCATION OR WHEN BARS ARE LAPPED AT A LOCATION WHERE THE REINFORCEMENT AREA PROVIDED IS AT LEAST TWICE THAT REQUIRED.
- CLASS B LAP LENGTHS APPLY WHEN ALL BARS ARE SPLICED AT A LOCATION OF MAXIMUM STRESS IN THE BARS.
- MINIMUM CONCRETE COVER MEASURED FROM THE BAR CENTER SHALL BE AT LEAST 1/2 THE MINIMUM CENTER TO CENTER BAR SPACING.
- MULTIPLY LENGTHS SHOWN BY 1.3 FOR LIGHTWEIGHT CONCRETE.
- MULTIPLY LENGTHS SHOWN BY 1.5 (1.3 FOR TOP BARS) FOR EPOXY COATED BARS WITH COVER LESS THAN 3d OR CLEAR SPACING LESS THAN 6d. ALL OTHER EPOXY COATED BARS SHALL BE MULTIPLIED BY 1.2.
- FOR 4500 PSI CONCRETE MULTIPLY LENGTHS BY 0.816. BOTTOM BARS SHALL NOT HAVE AN EMBEDMENT LENGTH, CLASS "A" SPLICE LENGTH AND CLASS "B" SPLICE LENGTH OF LESS THAN 12".

GENERAL

- CONSTRUCTION DOCUMENTS
 - IF THERE ARE DISCREPANCIES BETWEEN PLANS, DETAILS, GENERAL NOTES AND SPECIFICATIONS, USE THE MOST STRINGENT REQUIREMENTS.
 - SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
 - DETAILS DESIGNATED "TYPICAL" APPLY IN ALL SIMILAR CONDITIONS UNLESS SPECIFIC DETAILS ARE SHOWN.
 - WHERE NO SPECIFIC DETAILS ARE SHOWN, PROVIDE CONSTRUCTION TO MATCH CONSTRUCTION DETAILED FOR SIMILAR CONDITIONS ON THE PROJECT. CONFIRM DETAILS WITH ENGINEER BEFORE CONSTRUCTION.
- DIMENSIONS
 - DO NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES.
- PROJECT COORDINATION
 - COORDINATE STRUCTURAL WORK WITH REQUIREMENTS SHOWN ON ARCHITECTURAL, MECHANICAL, ELECTRICAL, CIVIL AND OTHER PROJECT DRAWINGS.
 - DO NOT LOCATE CONCRETE EQUIPMENT PADS ON ROOFS OR SUSPENDED FLOORS UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- SUBMITTALS
 - THE FOLLOWING SUBMITTALS MUST BE SUBMITTED FOR REVIEW (IF APPLICABLE) TO THE STRUCTURAL ENGINEER OF RECORD.
 - CONCRETE MIX DESIGN.
 - REVIEW OF SUBMITTALS IS FOR GENERAL CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. SUBMITTAL REVIEW DOES NOT RELIEVE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
 - CHANGES TO THE CONTRACT DOCUMENTS
 - CHANGES TO THE CONTRACT DOCUMENTS THAT DO NOT AFFECT THE PROJECT COST OR SCHEDULE MAY BE ISSUED BY THE ENGINEER OF RECORD BY ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS (ASI), RESPONSES TO REQUESTS FOR INFORMATION (RFI), COMMENTS ON SUBMITTALS, OR BY OTHER WRITTEN DOCUMENT.
 - CHANGES TO THE CONTRACT DOCUMENTS WILL NOT BE ISSUED VERBALLY, BY PHONE OR IN PERSON. DO NOT INCORPORATE ANY CHANGES TO THE CONTRACT DOCUMENTS THAT HAVE BEEN ISSUED VERBALLY WITHOUT WRITTEN DOCUMENTATION.
 - ANY WORK DONE ON A CHANGE THAT IMPACTS PROJECT COST OR SCHEDULE, THAT HAS NOT BEEN ISSUED IN WRITING BY THE OWNER, IS AT CONTRACTOR'S RISK. CONTRACTOR MAY NOT BE PAID FOR THIS WORK, AND THE WORK MAY BE REQUIRED TO BE MODIFIED OR REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.

		SPLICE LENGTHS FOR REINFORCEMENT IN NORMAL WEIGHT CONCRETE								
		REINFORCING YIELD STRENGTH 60 ksi CONCRETE COMPRESSIVE STRENGTH 4000 ksi			BOTTOM BARS ¹			TOP BARS ^{1,2}		
BAR SIZE	AREA, in ²	DIA, in	CLEAR SPACING TO NEAREST ADJACENT BAR, in	MINIMUM EMBEDMENT LENGTH, in	CLASS "A" SPLICE LENGTH, in	CLASS "B" SPLICE LENGTH, in	MINIMUM EMBEDMENT LENGTH, in	CLASS "A" SPLICE LENGTH, in	CLASS "B" SPLICE LENGTH, in	
#3	0.11	0.375	0.00 TO 0.75 0.76 AND ABOVE	14.23	22	28	27.75	28	37	
#4	0.20	0.500	0.00 TO 1.00 1.01 AND ABOVE	28.46	29	37	37.00	37	49	
#5	0.31	0.625	0.00 TO 1.25 1.26 AND ABOVE	35.58	36	47	46.25	47	61	
#6	0.44	0.750	0.00 TO 1.50 1.51 AND ABOVE	42.69	43	56	55.50	56	73	
#7	0.60	0.875	0.00 TO 1.75 1.76 AND ABOVE	62.26	63	81	80.93	81	106	
#8	0.79	1.000	0.00 TO 2.00 2.01 AND ABOVE	71.15	72	93	92.50	93	121	
#9	1.00	1.128	0.00 TO 2.26 2.27 AND ABOVE	80.26	81	105	104.34	105	136	
#10	1.27	1.270	0.00 TO 2.54 2.55 AND ABOVE	90.36	91	118	117.47	118	163	
#11	1.56	1.410	0.00 TO 2.82 2.83 AND ABOVE	100.32	101	131	130.42	131	170	

1. TOP BARS ARE HORIZONTAL BARS SO PLACED THAT MORE THAN 12 INCHES OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE BAR.
2. MULTIPLY REQUIRED LENGTH BY 1.15 FOR REQUIRED LENGTHS FOR 3000 PSI CONCRETE.
NOTE: ALL SPLICES TO BE CLASS B EXCEPT ONE HALF OR LESS OF THE TOTAL REINFORCEMENT IS SPLICED WITHIN THE REQUIRED LAP LENGTH



PROPERTY OWNER
CITY OF FORT COLLINS
287 N. COLLEGE AVE
FORT COLLINS, CO 80524



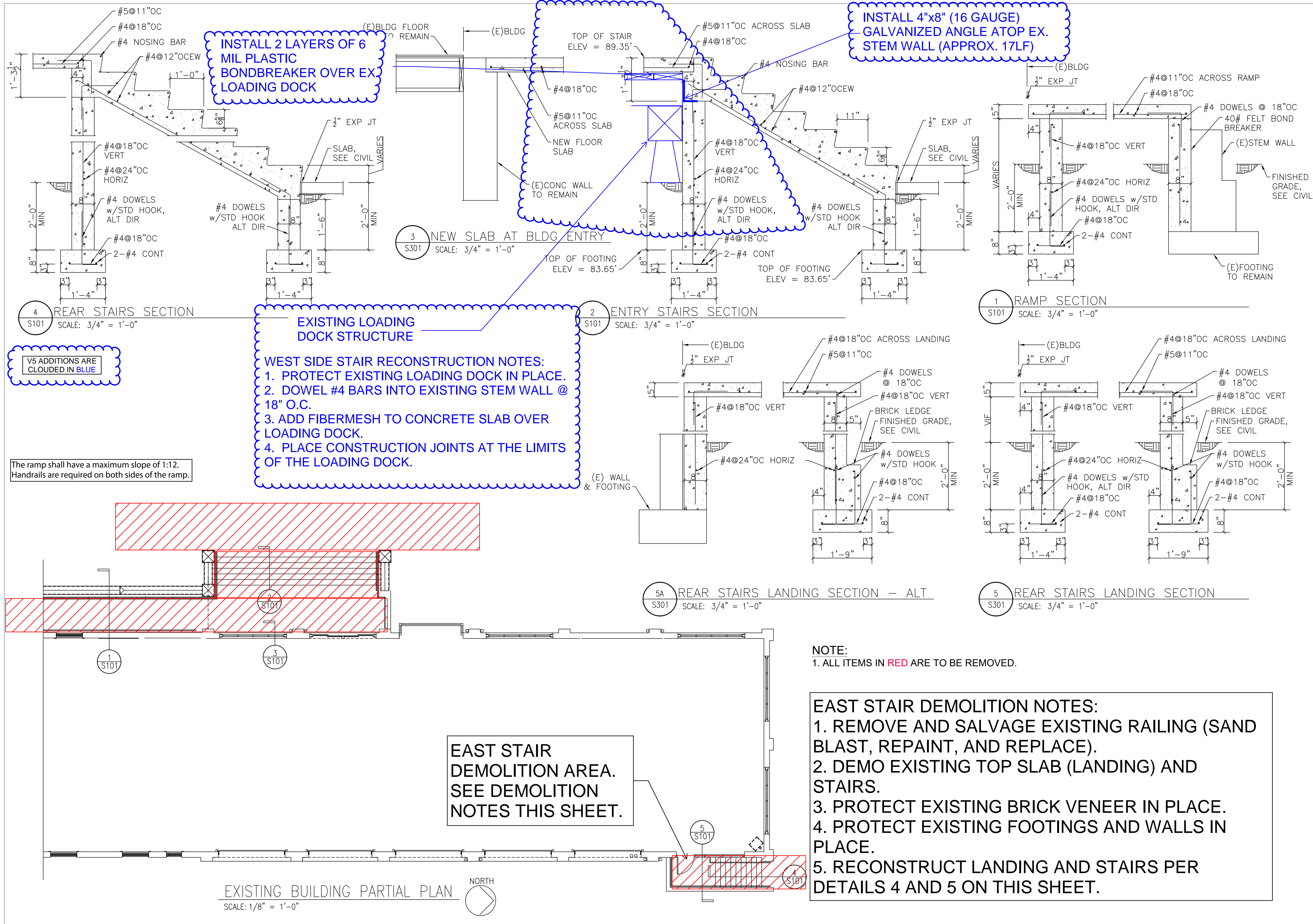
PROJECT NAME
DTC ADA
IMPROVEMENTS

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 20-100-231-06
DESIGNED BY: SA
DRAWN BY: SA
CHECKED BY: SA
DATE: 4/10/23
SHEET TITLE
GENERAL NOTES
TYPICAL CONCRETE
NOTES AND DETAILS

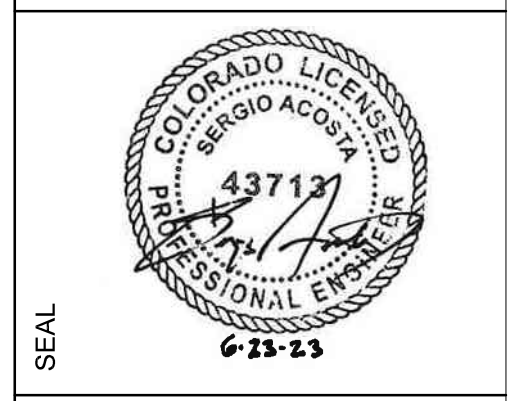
SHEET NO:
S-001

4/10/2023 M:\TRN\20-100-231-06\2_Disiplines_SHEETS\Structural\S101 PLAN & DETAILS 23005.dwg



WILSON & COMPANY
 4401 MASTHEAD ST. NE, SUITE 150
 ALBUQUERQUE, NM 87109
 PHONE: 505-348-4000
 FAX: 505-348-4055
 www.wilsonco.com

PROPERTY OWNER
CITY OF FORT COLLINS
 281 N. COLLEGE AVE
 FORT COLLINS, CO 80524



PROJECT NAME
DTC ADA IMPROVEMENTS

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 20-100-231-06
 DESIGNED BY: SA
 DRAWN BY: SA
 CHECKED BY: SA
 DATE: 4/10/23
 SHEET TITLE
PARTIAL PLAN AND DETAILS
 SHEET NO:
S-101

B2302419

DTC East Stairs Left and Right Handrails

Exist
Entry
Door

Modify Existing Handrail
Loop for Clearance

1'-0" minimum horizontal surface

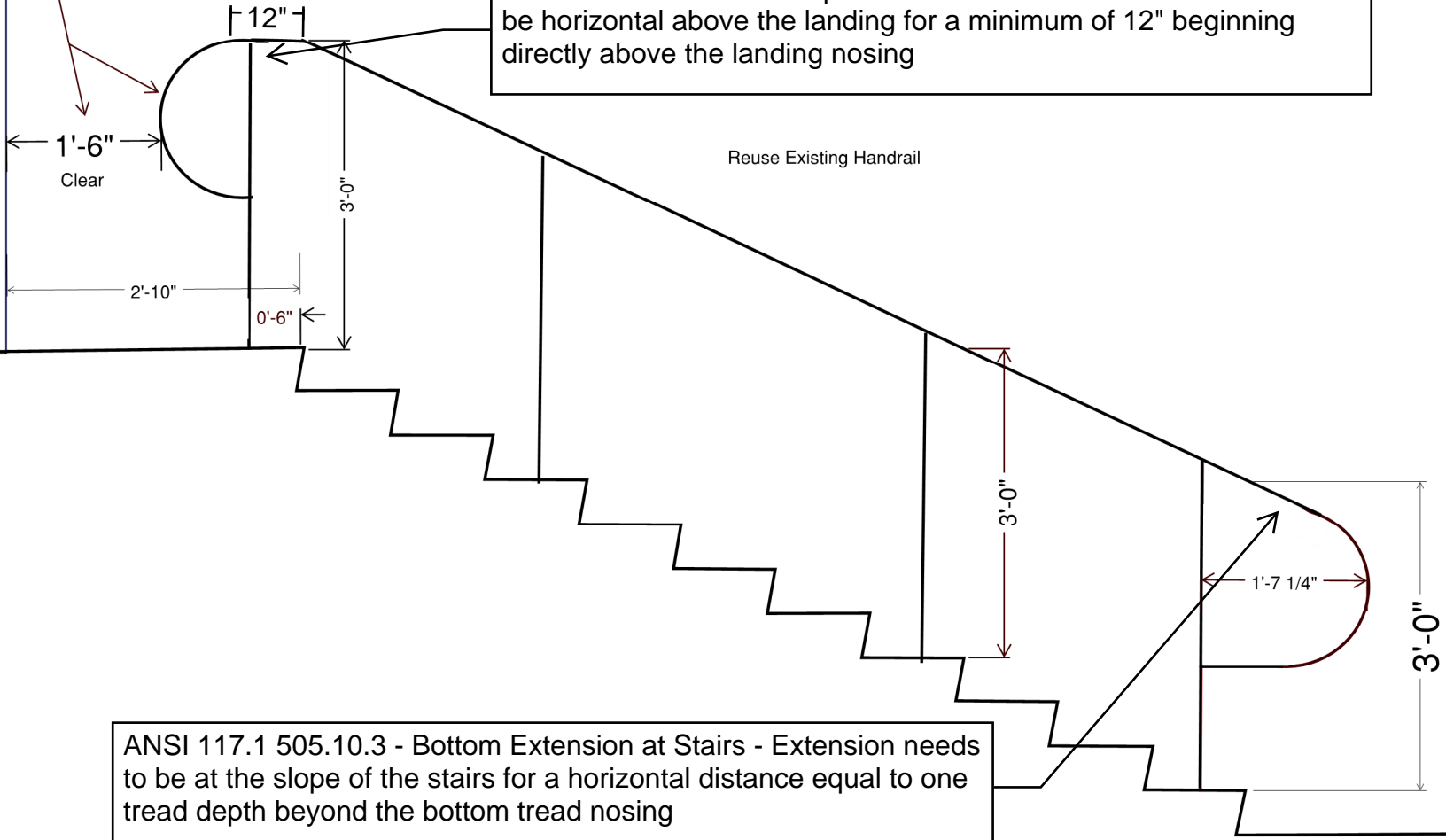
ANSI 117.1 505.10.2 - Top Extension at Stairs - Extension needs to be horizontal above the landing for a minimum of 12" beginning directly above the landing nosing

Reuse Existing Handrail

ANSI 117.1 505.10.3 - Bottom Extension at Stairs - Extension needs to be at the slope of the stairs for a horizontal distance equal to one tread depth beyond the bottom tread nosing

SHEET NO: v4 - 1

B2302419



DTC East Stairway Guardrail and Handrail

ANSI 117.1 505.2 - Handrails shall be provided on both sides of stairs

Reinstall of Exist Guardrail
and Handrail w/ Base Plates

Salvage
Railing for
Reinstall

Existing Landing and
Stairs Replaced due to
deteriorated Conc at
edges and guardrail
posts

Existing Brick to be
protected in Place

Sawcut

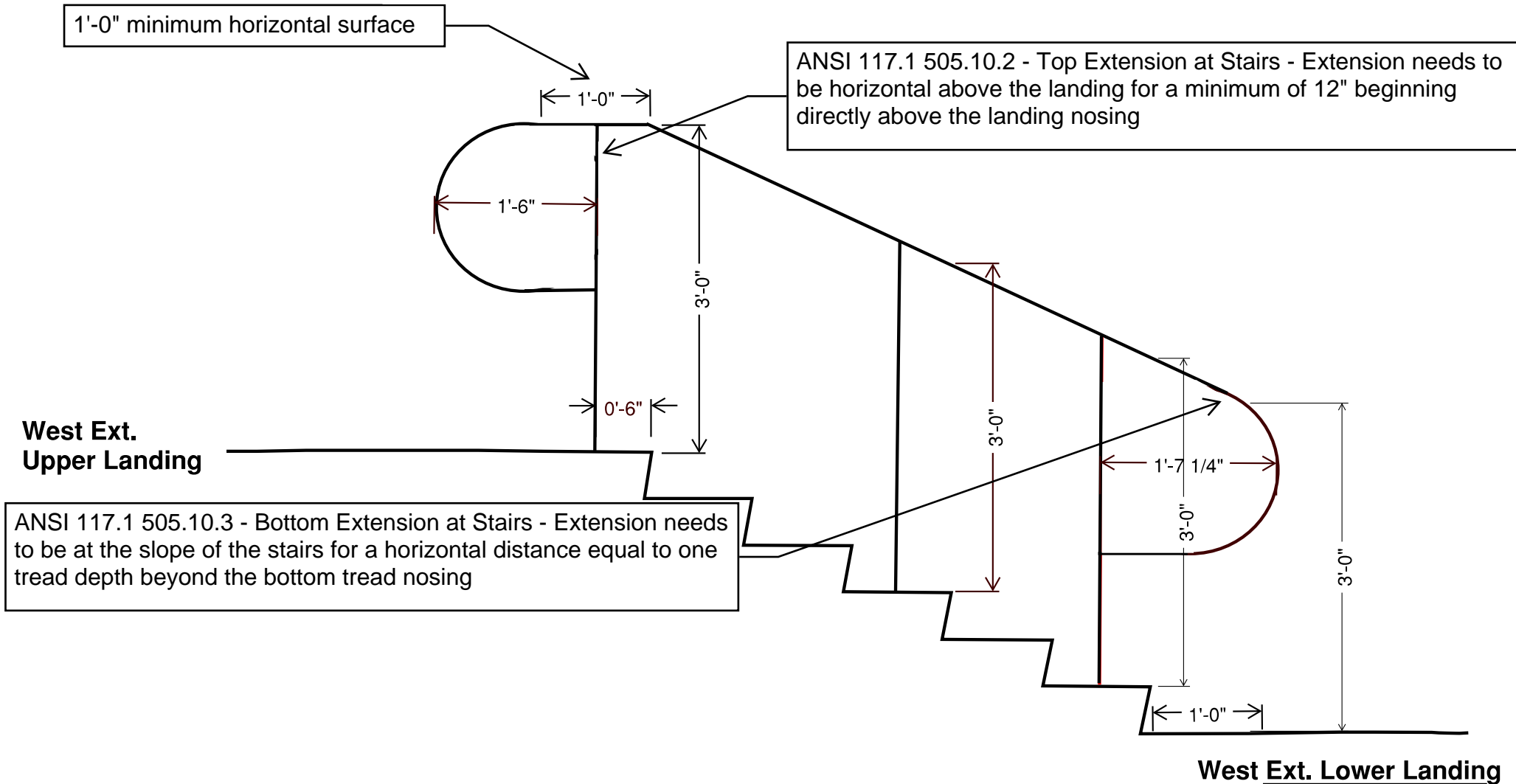
Conc Demo To include top 2 courses of Brick
no Brick/masonry work required. Place new Conc to
new line of Brick.

Existing Brick to be
protected in Place

SHEET NO: v4 - 2

B2302419

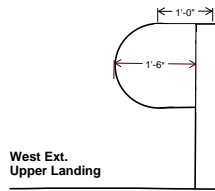
DTC West Stairs Handrails TYP.



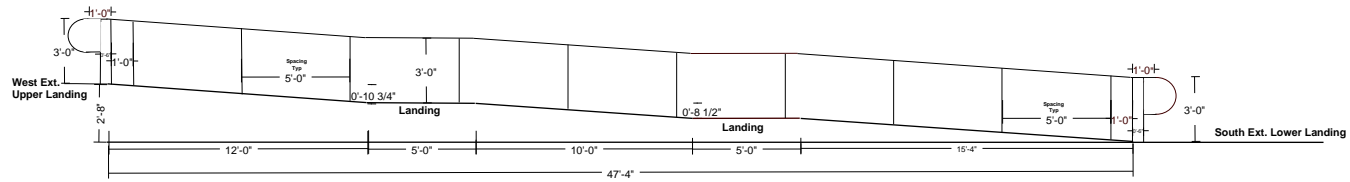
ANSI 117.1 505.10.3 - Bottom Extension at Stairs - Extension needs to be at the slope of the stairs for a horizontal distance equal to one tread depth beyond the bottom tread nosing

ANSI 117.1 505.10.2 - Top Extension at Stairs - Extension needs to be horizontal above the landing for a minimum of 12" beginning directly above the landing nosing

DTC West Ramp Handrail



Railing Closure Typical Each end
Match Existing



New Handrail (1.5in Sch 40 1.9")
Match Existing

*** Field Measure prior to fabrication
Elevations Approx - Verify w/ Civil

SHEET NO: v4 - 4

B2302419

From: [Maren Bzdek](#)
To: [Blake Visser](#); [Yani Jones](#)
Subject: RE: DTC ADA - Demo Findings
Date: Thursday, August 10, 2023 9:49:20 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

Hi Blake,

I didn't realize they had retained the dock under the landing! They must have done that in order to preserve the historic material in order to retain the possibility of restoring the original full length of the dock in the future. That "reversibility" standard is one that is often employed when major changes related to adaptive reuse are called for. So ideally, the work you are doing there now would continue with that investment of retaining that original material for any future possibilities for this building, even though that historic material isn't visible in today's iteration of the building. What are the implications for retaining it in terms of creating a new foundation for the stair landing? We'd need to show that the solution that was used before was no longer workable, or that the wood dock material was too deteriorated to save. If that's not the case, can you recreate a solution that is similar to what was done before?

I like the idea of refinishing the steel rings around the story stones since they are in bad shape, at least in some instances.

I'm here today if you need me to walk over and look at the dock with you.

Maren

From: Blake Visser <bvisser@fcgov.com>
Sent: Thursday, August 10, 2023 8:08 AM
To: Yani Jones <yjones@fcgov.com>; Maren Bzdek <mbzdek@fcgov.com>
Subject: DTC ADA - Demo Findings
Importance: High

Yani/Maren,

Please see the below snapshots.

As we progress with this project a few things were uncovered.

The main item is that there was a topping slab over the old loading dock on the main entrance into DTC.

Please let me know a response to the below as soon as possible.

- Would it be ok to cut back the dock and give this upper stair landing a proper foundation?
- Do you want me to reset the story stones as is or do you want to refinish the steel ring (I might be able to have the painter for the railing do this)?



Thank you,
Blake

.....
Blake Visser
Senior Facilities Project Manager
Operation Services

O: 970.221.6227

M: 970.388.5646

bvisser@fcgov.com



[Chat with me in Teams!](#)

.....

From: [Blake Visser](#)
To: [Eric Cluver](#); [Yani Jones](#)
Cc: [Maren Bzdek](#)
Subject: RE: Downtown Transit Center Permit B2302419
Date: Friday, June 2, 2023 3:50:41 PM

Yani,

Here are answers to your questions in [Blue](#).

Also, I did work with Maren several months ago, maybe even last year to make sure that we are good.

- The plans do not show the wooden dock – Just confirming that the dock will not be impacted by this project. – [No work to the wooden dock with this project.](#)
- Can you please describe the appearance of the new railing? – [We are salvaging the existing railing and repairing and modifying where needed to work with the new grades and steps. Also they will be repainted to match existing color. The intent will be to not even notice that anything changed.](#)

Please let me know if you have any other questions.

Thank you,

Blake

.....

Blake Visser

Senior Facilities Project Manager

Operation Services

O: 970.221.6227

M: 970.388.5646

bvisser@fcgov.com

[Chat with me in Teams!](#)

.....

From: Eric Cluver <ecluver@fcgov.com>
Sent: Wednesday, May 31, 2023 11:08 AM
To: Blake Visser <bvisser@fcgov.com>
Subject: FW: Downtown Transit Center Permit B2302419

Need your input on the two questions below.

Eric L Cluver, RA, LEED AP

Lead Sr Facilities Project Manager

Operation Services

<< OLE Object: Picture (Device Independent Bitmap) >>

O: 970-416-2679

C: 309-838.2208

E: ecluver@fcgov.com

From: Eric Cluver
Sent: Wednesday, May 31, 2023 11:07 AM
To: Yani Jones <yjones@fcgov.com>
Subject: RE: Downtown Transit Center Permit B2302419

Yani,

I am forwarding this to Blake as I do not have this granular of information from him. We will get back with you.

Best,

Eric L Cluver, RA, LEED AP

Lead Sr Facilities Project Manager

Operation Services

<< OLE Object: Picture (Device Independent Bitmap) >>

O: 970-416-2679

C: 309-838.2208

E: ecluver@fcgov.com

From: Yani Jones <yjones@fcgov.com>
Sent: Wednesday, May 31, 2023 10:15 AM
To: Eric Cluver <ecluver@fcgov.com>
Subject: Downtown Transit Center Permit B2302419

Hi Eric!

Blake Visser is listed as the contact for the Downtown Transit Center's permit B2302419, which is for the demo of that concrete stair area, ramp, and railing for an ADA-compliant replacement. I'm making up the Certificate of Appropriateness for historic preservation review, and I just had a couple of questions, if you happen to know – If not, you can forward my email to Blake!

- The plans do not show the wooden dock – Just confirming that the dock will not be impacted by this project.
- Can you please describe the appearance of the new railing?

Thanks for the help!

Yani

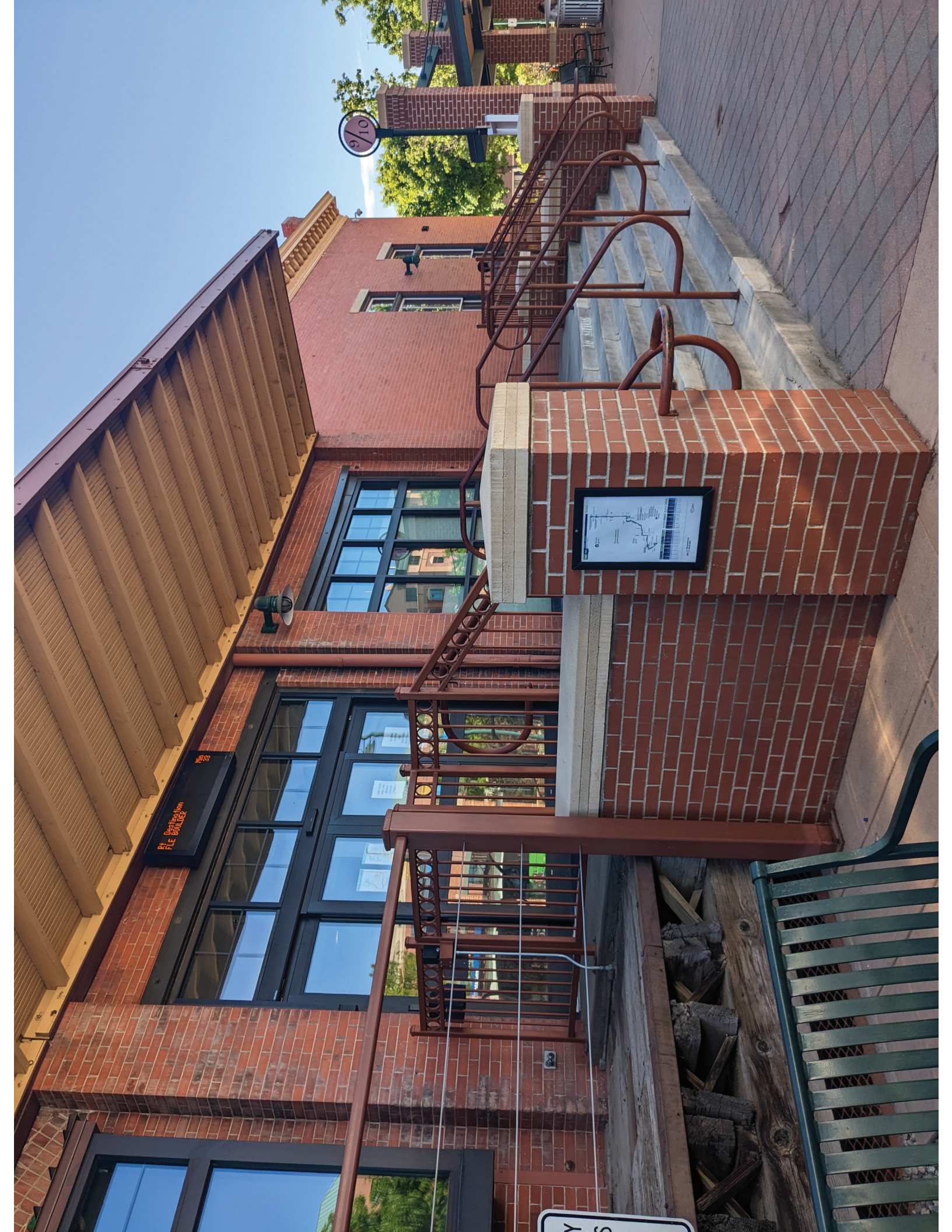
.....
YANI JONES

Pronouns: She/Her ([What's this?](#))

Historic Preservation Planner

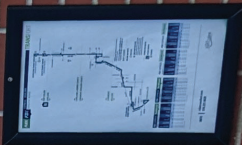
City of Fort Collins Historic Preservation Services

(970) 658-0263



7/10

At Destination
PUE BUILDINGS



Y S

SECURITY
CAMERAS
IN
USE

FLEX
911/92

NO SEATING
IN THIS AREA

NO SEATING





BIKE
DISMOUNT
ZONE



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