



**Historic Preservation Services**

**Community Development & Neighborhood Services**

281 North College Avenue  
P.O. Box 580  
Fort Collins, CO 80522.0580

**970.416.4250**

[preservation@fcgov.com](mailto:preservation@fcgov.com)  
[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

**REPORT OF ALTERATIONS TO DESIGNATED RESOURCE**

**Site Number/Address: 317 Locust St.**

**Laurel School National Register Historic District**

**ISSUED: 4/27/2023**

Lauren McConnell  
317 Locust St.  
Fort Collins, CO 80525

Dear Ms. McConnell:

This report is to document proposed alterations to 317 Locust St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: New secondary building at rear of property – two-bay garage with second-level entrance and exterior stair

\*Note: The plans attached do not identify materials. The materials for this project include, based on a phone conversation held with the owner/applicant 4/27/2023:

Asphalt shingle roofing; horizontal, composite lap siding; paint color to match the house; white aluminum windows; modern, overhead garage doors

Our staff review of the proposed work finds the alterations meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p><b>The residential use of this property will not be changing because of this project.</b></p>	Y

<p><b>SOI #2</b></p>	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p><b>Because this project is for a new secondary building at the rear of the property, distinctive materials, features, spaces, and spatial relationships characteristic to the property will not be impacted.</b></p>	<p><b>Y</b></p>
<p><b>SOI #3</b></p>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #4</b></p>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #5</b></p>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #6</b></p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #7</b></p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #8</b></p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p><b>It is improbable that this project will uncover archaeological resources, but should resources be discovered during any necessary excavation for the new building, they should be protected and preserved in place.</b></p>	<p><b>Y</b></p>

<p><b>SOI #9</b></p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>This new 1.5-story garage building is detached at the rear of the property along the alley; its construction will not destroy historic materials characteristic to the property. Because of its use of simplified window patterns and materials, like the modern overhead garage doors and aluminum windows, the new building is differentiated from the historic. Features like the roofing, horizontal composite lap siding, and matching paint color are compatible with the historic house on this property. This project could be made more compatible with the one-story house by reducing the height, but the incompatibility of the height does not disqualify this property from designation on the National Register of Historic Places as part of the Laurel School Historic District.</b></p>	<p><b>Y (with notes)</b></p>
<p><b>SOI #10</b></p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>If the new building were removed in the future, it would not have an impact on the essential form or integrity of the historic property and its environment.</b></p>	<p><b>Y</b></p>

Although the height of this building could be reduced to increase its compatibility with the historic house, this new garage building will have minimal impact when the property is viewed from the street due to the siting of the garage at the rear of the property, and so the project will not impact the eligibility of 317 Locust St. to remain on the National Register of Historic Places as part of the Laurel School Historic District.

If you have any questions regarding this review, please contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-658-0263

Sincerely,

Yani Jones  
Historic Preservation Planner







COMMUNITY DEVELOPMENT & NEIGHBORHOOD SERVICES

281 N. College Ave. • Fort Collins, CO 80524 • Phone: 970.416.2740 • www.fcgov.com/building

BUILDING PERMIT APPLICATION

APPLICATION NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Job Site Address \_\_\_\_\_ Unit# \_\_\_\_\_

PROPERTY OWNER INFO: (All owner information is required - NOT optional)

Last Name MCCONNELL First Name LAUREN Middle KATE
Street Address 317 LOCUST ST. City FT. COLLINS State CO Zip 80524
Phone # (970) 640-5415 Email Laurenkmcc@gmail.com

CONTRACTOR INFO: Company Name \_\_\_\_\_

License Holder Name \_\_\_\_\_ LIC # \_\_\_\_\_ CERT # \_\_\_\_\_

LEGAL INFO:

Subdivision/PUD \_\_\_\_\_ Filing # \_\_\_\_\_ Lot # \_\_\_\_\_ Block # \_\_\_\_\_ Lot Sq Ft \_\_\_\_\_

CONSTRUCTION INFO: Total Building Sq Ft (NOT including basement) \_\_\_\_\_ Total Garage Sq. Ft. 480

Residential Sq Ft \_\_\_\_\_ Commercial Sq Ft \_\_\_\_\_ # of Stories \_\_\_\_\_ Bldg Ht \_\_\_\_\_ # of Dwelling Units \_\_\_\_\_

1st Floor Sq Ft \_\_\_\_\_ 2nd Floor Sq Ft \_\_\_\_\_ 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft \_\_\_\_\_

Finished Basement Sq Ft \_\_\_\_\_ # of Bedrooms \_\_\_\_\_ # of Full Baths \_\_\_\_\_

3/4 Baths \_\_\_\_\_ 1/2 Baths \_\_\_\_\_ # Fireplaces \_\_\_\_\_

ENERGY INFORMATION: (CHECK ONE)

Prescriptive [ ] Performance [ ] U/Arescheck [ ] ERI [ ] ASHRAE [ ] Component/Comcheck [ ] IDAP [ ]

Air Conditioning? YES [ ] NO [ ]

City of Fort Collins Approved Stock Plan # SPO \_\_\_\_\_ List Option #s \_\_\_\_\_

UTILITIES INFO:

New Electric Service [ ] Electric Service Upgrade [ ] Electric Meter Relocation [ ]
Electric Main Breaker Size (Residential Only): 150 amps or less [ ] 200 amps [ ] Other: [ ]
Gas [ ] Electric [ ] Electric Temp Pedestal? Yes [ ] No [ ]

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant [ ] New Tenant [ ]

If for a new tenant, is this the first tenant to occupy this space?

Yes [ ] No [ ] If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes [ ] No [X]

If yes, please describe: \_\_\_\_\_

Value of Construction (materials and labor): \$ 10,000.00

Description of Work: Detached pole barn 480 SF 20'x24'x20'

**JOBSITE SUPERVISOR CONTACT INFO:** Name \_\_\_\_\_ Phone \_\_\_\_\_

**SUBCONTRACTOR INFO:** Electrical \_\_\_\_\_ Mechanical \_\_\_\_\_

Plumbing \_\_\_\_\_ Framing \_\_\_\_\_ Roofing \_\_\_\_\_

Fireplace \_\_\_\_\_ Solar \_\_\_\_\_ Other \_\_\_\_\_

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_
- An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature Lauren Macdonnell

Type or Print Name Lauren Macdonnell

Phone # (970) 690-5415

Email Laurenkmac@gmail.com



Building Services  
PO Box 580  
281 N College Ave  
Fort Collins, CO 80524  
970-416-2740 phone 970-224-6134 fax

### HOMEOWNER AFFIDAVIT

I, Lauren McConnell, as owner of record of the property located at:  
317 LOCUST ST., Fort Collins, Colorado, hereby declare and attest to  
FT. COLLINS, CO 80524  
the following: (please check only the one that applies):

#### OPTION 1: CONSTRUCTION OF NEW HOME

- I am acting on my behalf for the purpose of obtaining a building permit and personally constructing my home. The home to be constructed is on the above property and **will** be my primary residence. I have not personally constructed any other new homes in the Fort Collins city limits within the past **24-month** period.

#### OPTION 2: PERMITTED WORK ON DETACHED SINGLE FAMILY HOME

- I am acting on my behalf for the purpose of obtaining a building permit and personally constructing an alteration or addition to my house, acting as my own general contractor. The house to be altered is on the above property and **is** my personal **primary** residence.

#### OPTION 3: PERMITTED WORK ON ATTACHED SINGLE FAMILY DWELLING UNIT.

- I am acting on my behalf for the purpose of obtaining a building permit and personally constructing a non-structural alteration to my **attached single family dwelling unit**. The house to be altered **is** my personal **primary** residence. I am aware that I **cannot** do any structural, electrical, plumbing or mechanical work and **must hire contractors/subcontractors** who are currently licensed and insured with the City of Fort Collins.

I am personally performing all of the work or hiring City of Fort Collins licensed trades people, or will be continuously supervising unpaid volunteers (see Option 3 for attached dwellings). The work is directly related to the construction of the above referenced home.

I understand that any person(s) or agent(s) contracted to perform **structural** wood-framing, plumbing, HVAC, electrical or roofing work, **MUST BE** licensed contractors in accordance with the regulation of the City of Fort Collins.

I understand that failure to comply with any of the above conditions may result in revocation of any permits associated with the above Permit Application number, forfeiture of any fees that have been collected, a Stop Work Order and potentially a court summons.

Sign in the presence of Notary Public

Lauren McConnell  
Owner

The foregoing Affidavit was acknowledged before me on this 24<sup>th</sup> day of  
October 2022 (month, year) by Lauren McConnell.

Witness my hand and official seal  
My commission expires: Aug 12, 2024

Zachary Bashaw  
Notary Public

ZACHARY BASHAW  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 20204027757  
MY COMMISSION EXPIRES AUGUST 12, 2024



Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

**Required for permit submittal - Fill out the following table:**

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
B (Business)		x	\$0.50	
E (Education/Schools)		x	\$0.50	
F (Factory)		x	\$0.35	
I (Institutional)		x	\$0.50	
M (Mercantile)		x	\$0.40	
R-1 (Hotel)		x	\$0.35	
R-2 (Apartment)		x	\$0.35	
R-3 (Single Family Detached/Duplex)		x	\$0.65	
R-4 (Assisted Living)		x	\$0.55	
S (Storage)	480.00	x	\$0.40	\$192.00
U (Utility)		x	\$0.40	
H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
<b>Total</b>				

\*\*\*\*Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.\*\*\*\*

For additions that include interior remodel, please provide addition square footage above and remodel only valuation here \_\_\_\_\_.

Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

**For New Multi-family buildings fill out the following:**

- Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
  - Yes - there are other functions/occupancy areas. *Required: list each in the table above*
  - No - only dwelling units
- Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
  - Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
  - No (Multi-Family Building) - the other occupancies/amenities are only available to the residents of the building.

The following pages contain a summary of Occupancy Classification Categories as designated by the *International Building Code*. For additional description details please visit [www.fcgov.com/building/codes](http://www.fcgov.com/building/codes) to view and access the current adopted International Building Codes and local amendments. Additional information on occupancy types can be found in Chapter 3 of the International Building Code.

**A (Assembly):** Gathering spaces or rooms for 50 or more people (as calculated by square footage and load factors in the building code):

Examples: Amusement arcades, Amusement Park Structures, Arenas, Art galleries, Bars, Banquet halls, Bleachers, Bowling alleys, Cafeterias, Concert halls, Community halls, Courtrooms, Dance halls, Dining facilities (including associated commercial kitchens), Grandstands, Gymnasiums, Lecture halls, Libraries, Museums, Nightclubs, Places of Religious Worship, Restaurants, Skating rinks, Swimming pools, Stadiums, Taverns, Tennis courts, Theaters.

*\*\*\*List above is inclusive of: A-1, A-2, A-3, A-4, A-5 occupancy types*

**B (Business):** Areas used for office, and professional services.

Including but not limited to: Airport traffic control towers, Ambulatory care facilities, Animal hospitals and kennels, Banks, Barber and Beauty shops, Car wash, Civic administration, Clinic outpatient, Dry cleaning/laundry (pick-up, delivery, or self-serve), Educational occupancies for students above the 12th grade, Food processing and commercial kitchens 2,500 sf or less (not associated with restaurants, cafeterias, dining facilities). Laboratories, Motor vehicle showrooms, Post offices, Print shops, Professional services (architects, attorneys, dentists, physicians, engineers), Radio and television stations, Training and skill development schools such as martial arts studios and gymnastics which are not classified as A-Assembly (less than 50 occupants).

**E (Education):** Educational use by six or more persons at any one time for educational purposes through the 12th grade (not accessory to places of religious worship with occupant loads of less than 100 per room or space), Day care facility occupied by more than five children older than 2.5 years of age who receive educational, supervision or personal care services for fewer than 24 hours per day, or Daycares that provide care for 5-100 children max 2.5 years or younger where the rooms in which the children are cared for, are located on the level of exit discharge and each of these child care rooms has an exit door directly to the exterior.

**F (Factory):** Assembly, Disassembly, Fabrication, Finishing, Manufacturing, Packaging, Repair or processing operations that are not classified as S or H occupancies:

Including but not limited to: Assembly, Fabrication - etc. of: Aircraft, Appliances, Bakeries, Beverages (including alcoholic), Bicycles, Boats, Business machines, Cabinets, Cameras, Carpets and rugs, Ceramic products, Clothing, Construction and agricultural machinery, Disinfectants, Dry cleaning and dyeing, Electric generation plants, Electronics, Engines (including rebuilding), Fabrics, Food processing & commercial kitchens (more than 2,500 square feet that are not associated with restaurants), Furniture, Foundries, Glass products, Gypsum, Hemp products, Ice, Jute products, Leather products, Motor vehicles, Machinery, Metal, Millwork, Motion pictures and television filming (without spectators), Musical instruments, Optical goods, Paper mills or paper products, Plastic products, Printing or publishing, Recreational vehicles, Refuse incineration, Shoes, Soaps and detergents, Textiles, Tobacco, Upholstery, Wood, Woodworking.

**I (Institutional):** Buildings or spaces used for the care or supervision of persons, or persons detained for penal or correctional purposes:

Including but not limited to: Alcohol and drug centers, Assisted living facilities, Detoxification facilities, Correctional centers, Congregate care facilities, Detention centers, Foster care facilities, Group homes, Halfway houses, Hospitals, Jails, Nursing homes, Psychiatric hospitals, Prisons, Prerelease centers, Residential board and care facilities, Social rehabilitation facilities, Reformatories, Adult or Child Daycare facility for persons of any age receiving custodial care fewer than 24hrs a day.

*\*\*\*List above is inclusive of: I-1 (conditions 1-2), I-2 (conditions 1-2), I-3 (conditions 1-5), and I-4 occupancy types.*

**M (Mercantile):** Buildings or spaces used for the display and sale of merchandise, stocks of goods, wares or merchandise and accessible to the public.

Including but not limited to: Department stores, Drug stores, Greenhouses for display and sale of plants with public access, Markets, Motor fuel-dispensing facilities, Retail or wholesale stores, Sales rooms.

**R-1 (Hotel):** Sleeping units where the occupants are primarily transient (30 days max).

Including: Boarding houses (transient) with more than 10 occupants, Congregate living facilities (transient) with more than 10 occupants, Hotels (transient), Motels (transient).

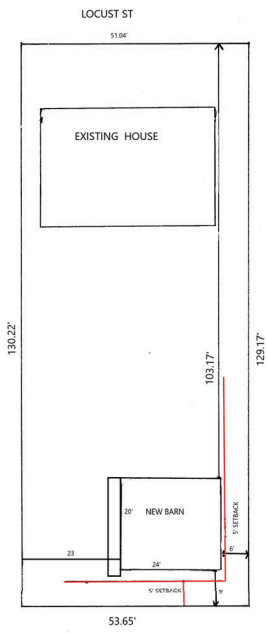
**R-2 (Apartment):** Sleeping units or buildings with more than two dwelling units where the occupants are primarily permanent in nature,

Including: Apartment houses, Congregate living facilities (non-transient) with more than 16 occupants, Boarding houses (non-transient), Convents, Dormitories, Fraternities and sororities, Monasteries, Hotels (non-transient), Live/work units, Motels (non-transient), Vacation timeshare properties

MCCONNELL LAUREN/JUDY  
317 LOCUST ST  
FORT COLLINS, CO 805243308  
Parcel Number: 9713227006  
Legal Description: LOT 6, RE-SUB  
BLK 149, FTC



1" = 15'





Spartan Builders  
7400 S College Ave Fort Collins, CO 80525  
Business: 817-995-2328 Fax:  
Sales Associate: [None]

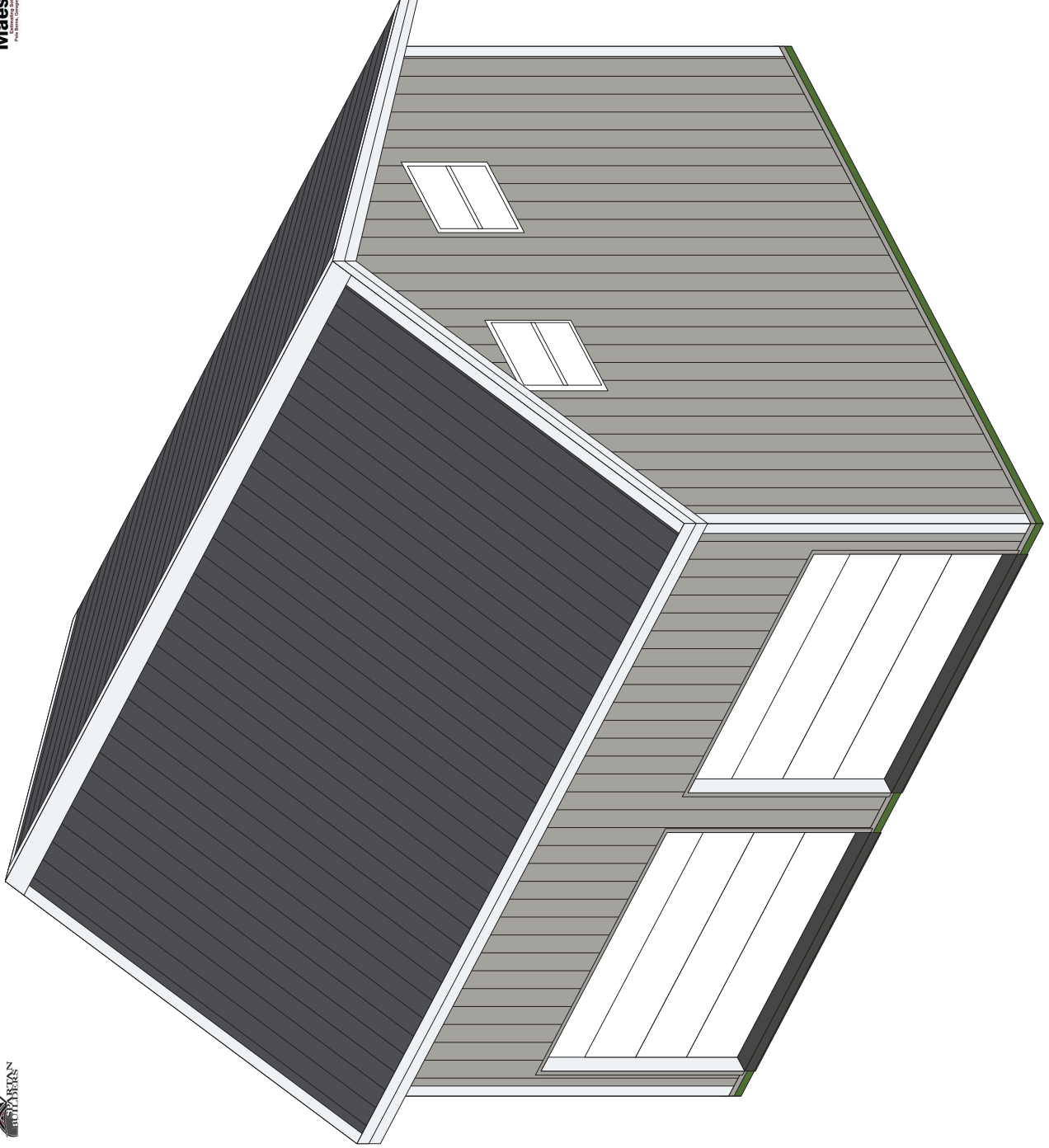
**Building Specifications**

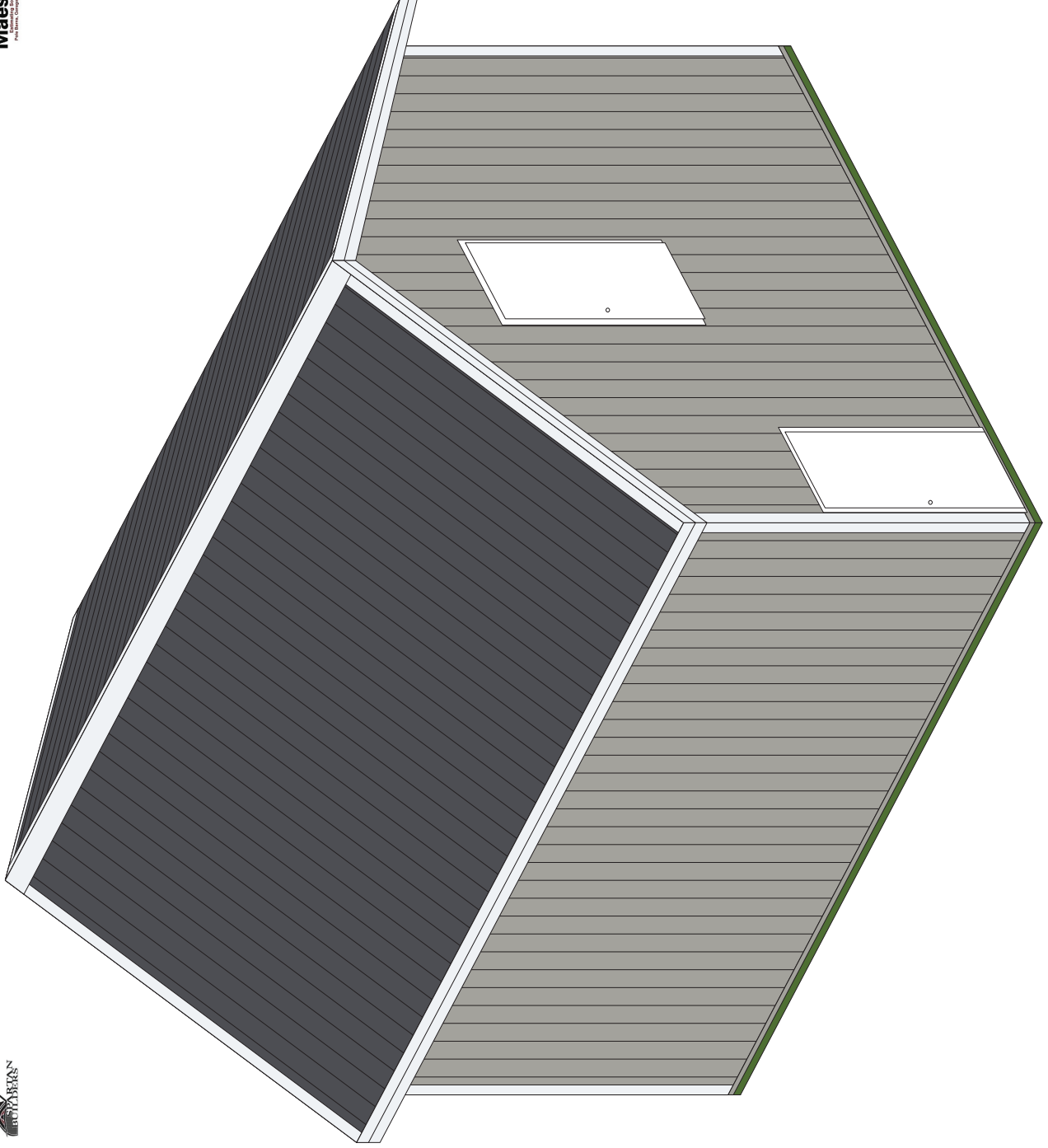
Building Width 20'  
Building Length 24'  
Building Height 13'  
Eave Overhang 12 in.  
Gable Overhang 12 in.  
Pitch of Roof 8 in./12  
Style of Building Post Frame

Customer Name Lauren Mcconnell  
Customer Address 317 Locust Street [None], CO 80525  
Customer Phone Customer Phone Not Available  
Estimate Number 566  
Date of Estimate 3/22/2023 This quote is good for 7 days.

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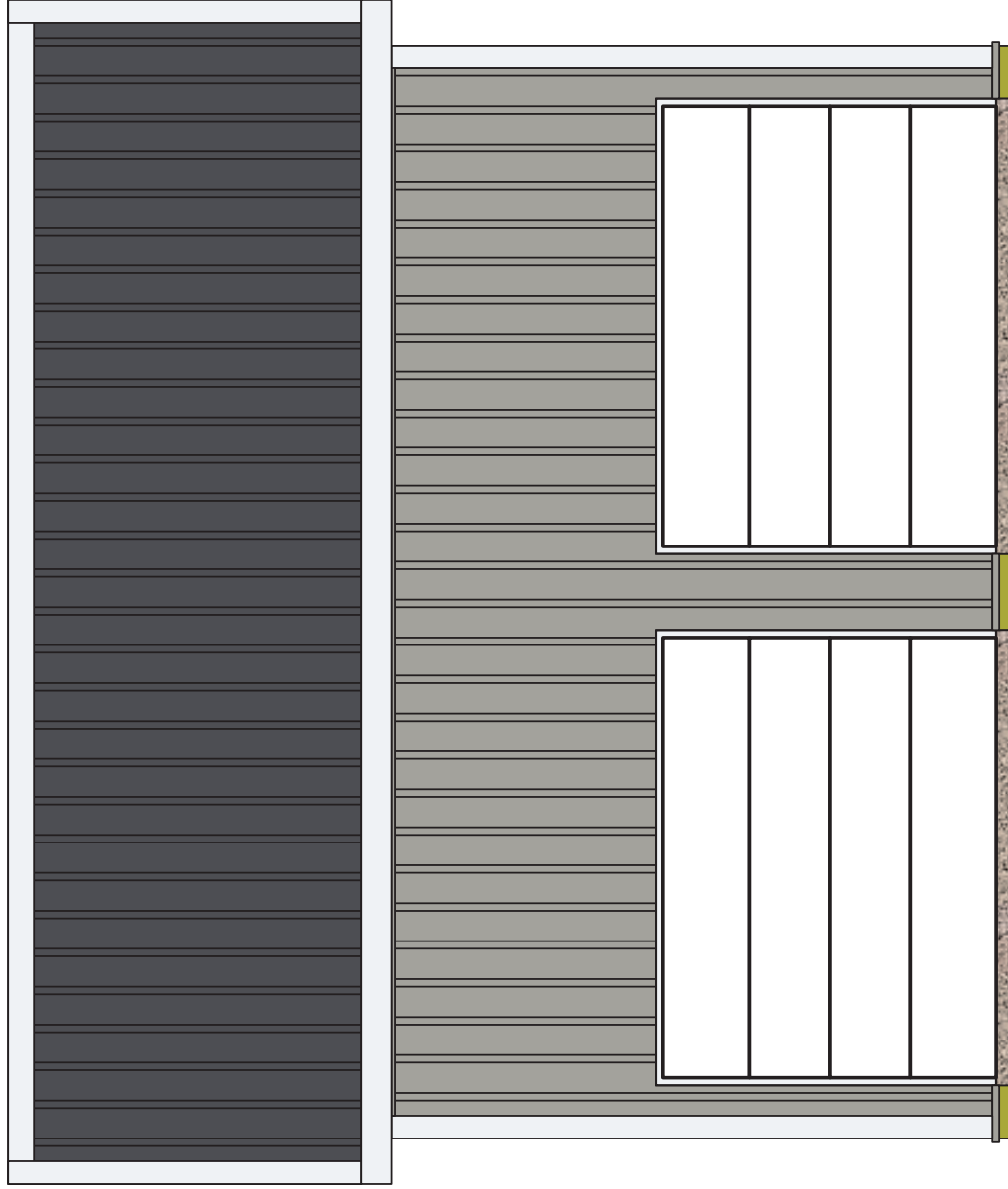
Note: The reports, elevations, diagrams, and drawings included in this estimate are not architectural blueprints. The builder is responsible for structural integrity, proper usage of materials, and adhering to local building codes. Always be sure to verify the materials and drawing packet with your local building inspector, engineer, or architect. Every effort has been made to create accurate and detailed drawings and reports. However, due to the number of combinations of materials that can be used, there exists the possibility for errors. This packet is an estimate and should be reviewed by the builder before starting the project. Symun Systems, Inc. accepts no responsibility for engineering, building codes violations, or the structural integrity of the building.







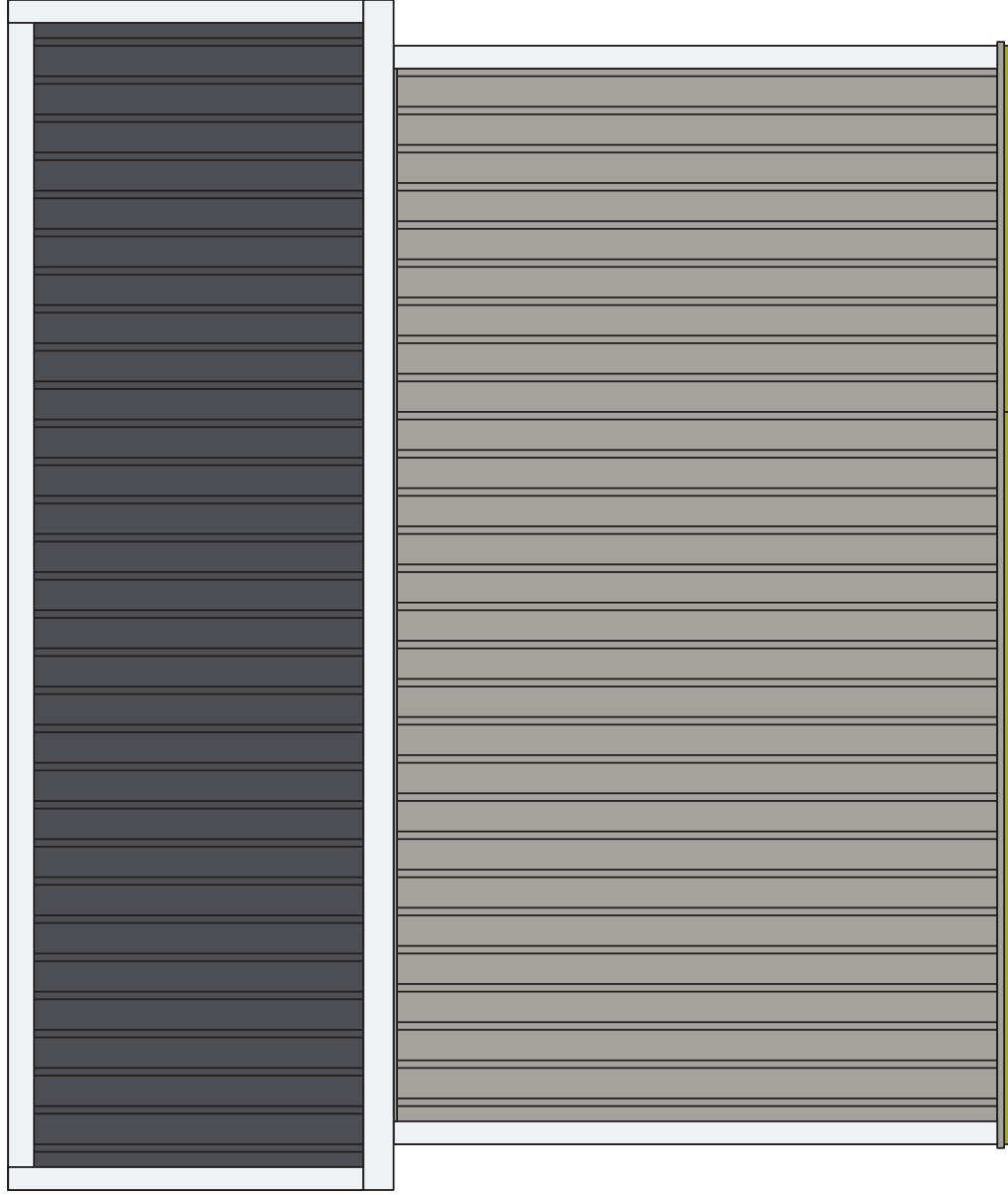
# SOUTH SIDE-EAVE SIDE 2 ELEVATION





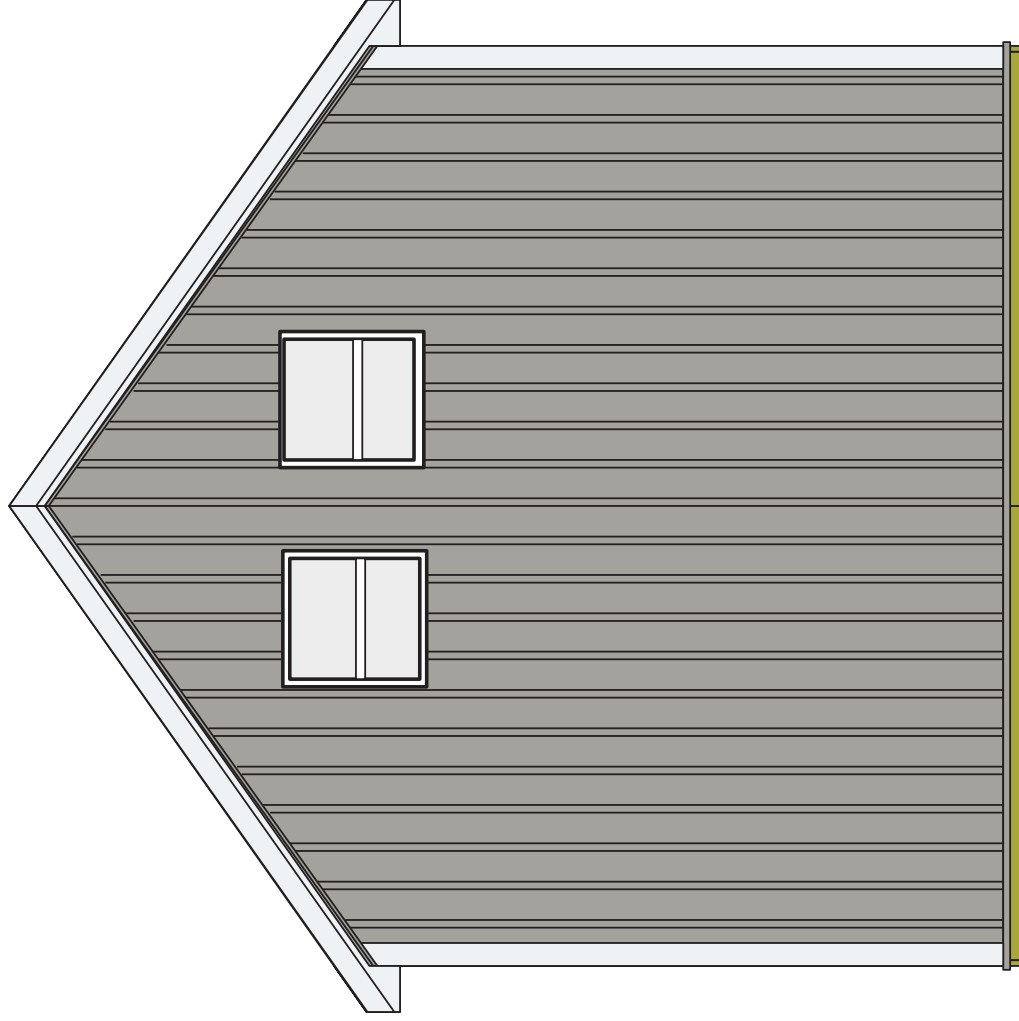


# NORTH SIDE-EAVE SIDE 1 ELEVATION



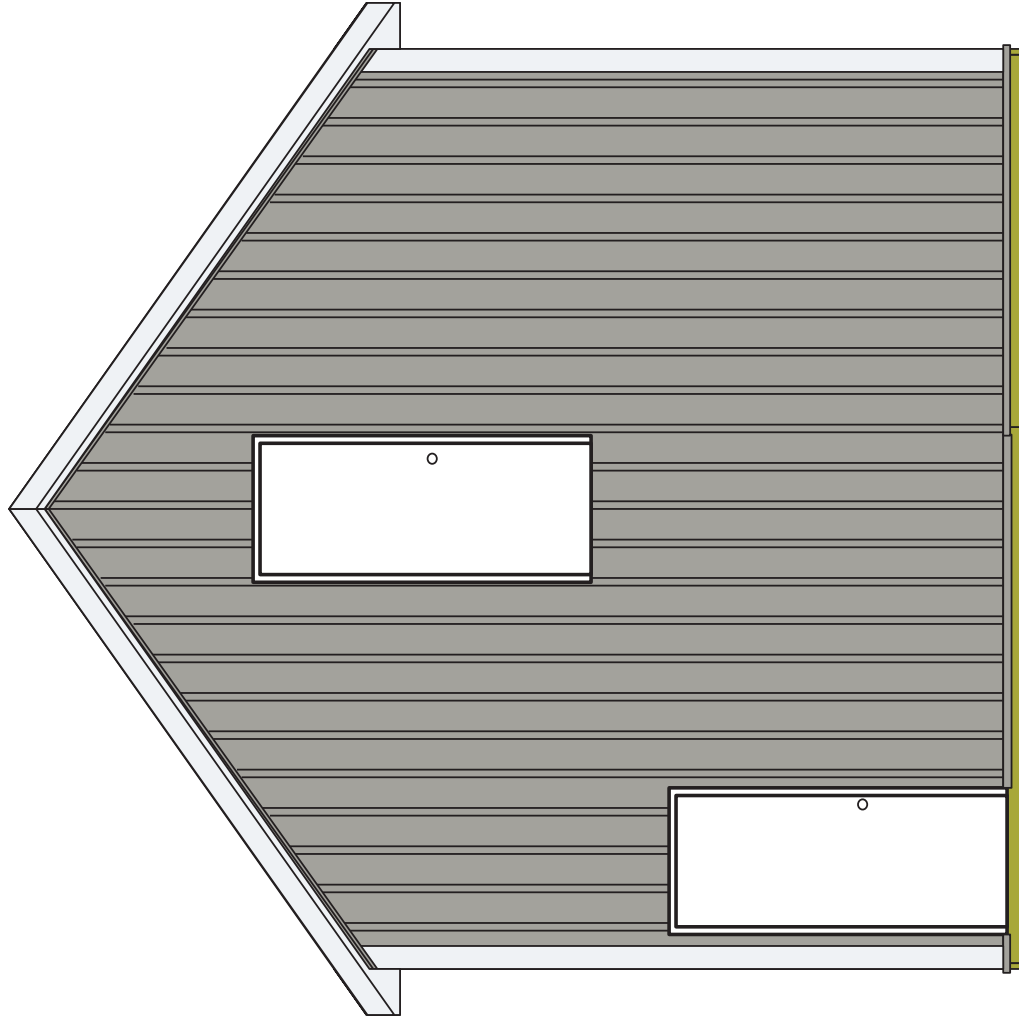


## EAST SIDE-GABLE SIDE 2 ELEVATION

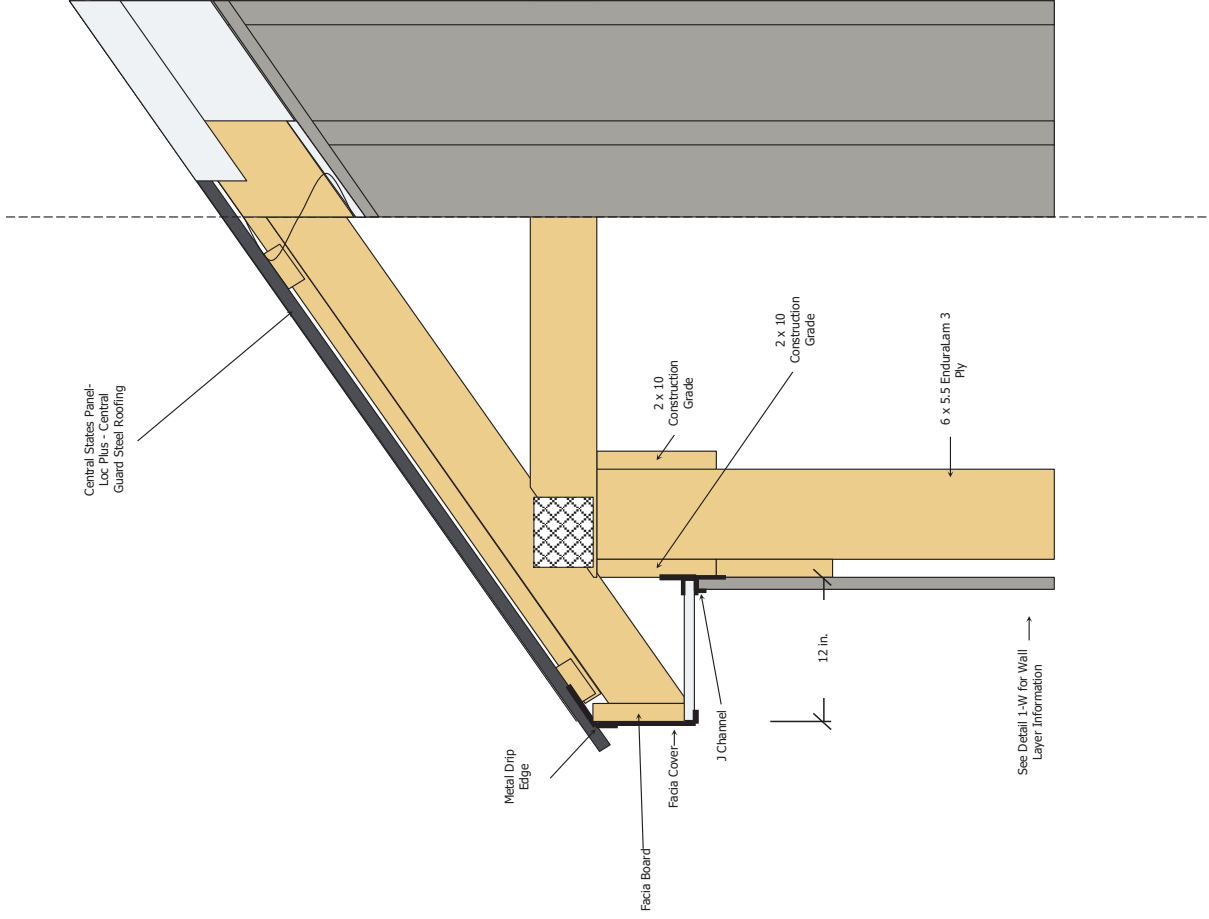




# WEST SIDE-GABLE SIDE 1 ELEVATION



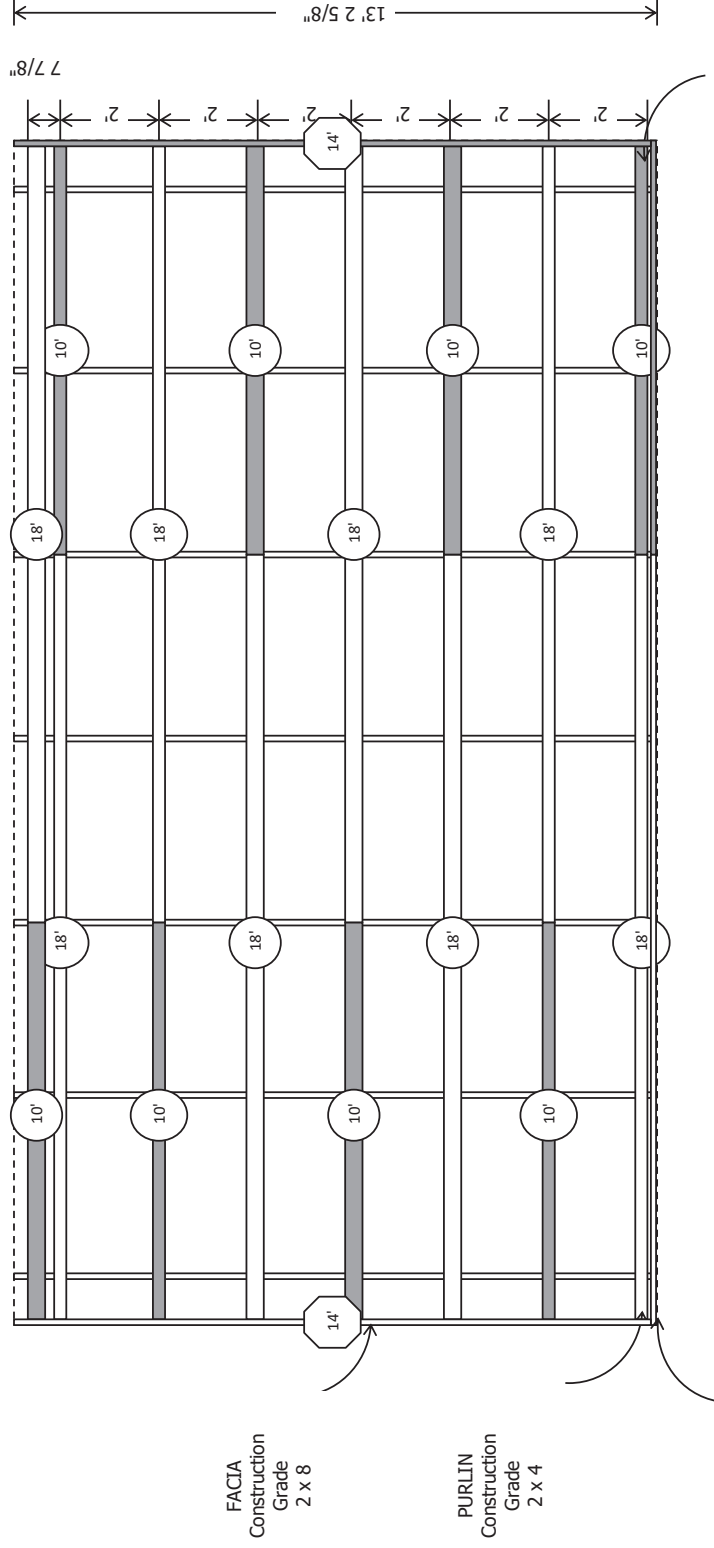
# Overhang Detail







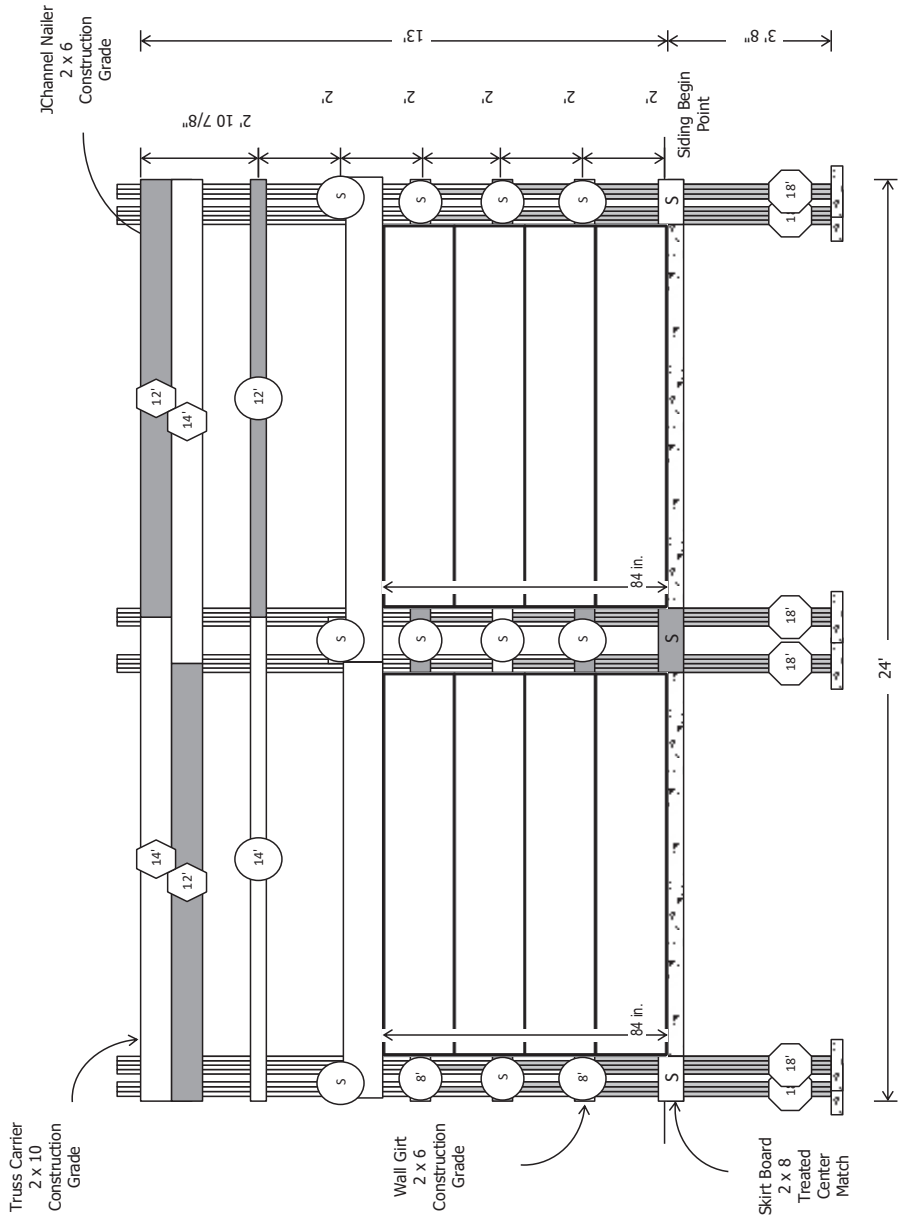
# NORTH SIDE-EAVE SIDE 1 TRUSS AND PURLIN LAYOUT



Bottom Edge of  
Purlin is 15/16" In  
from Tail of Truss



# SOUTH SIDE-EAVE SIDE 2 WALL GIRT VIEW

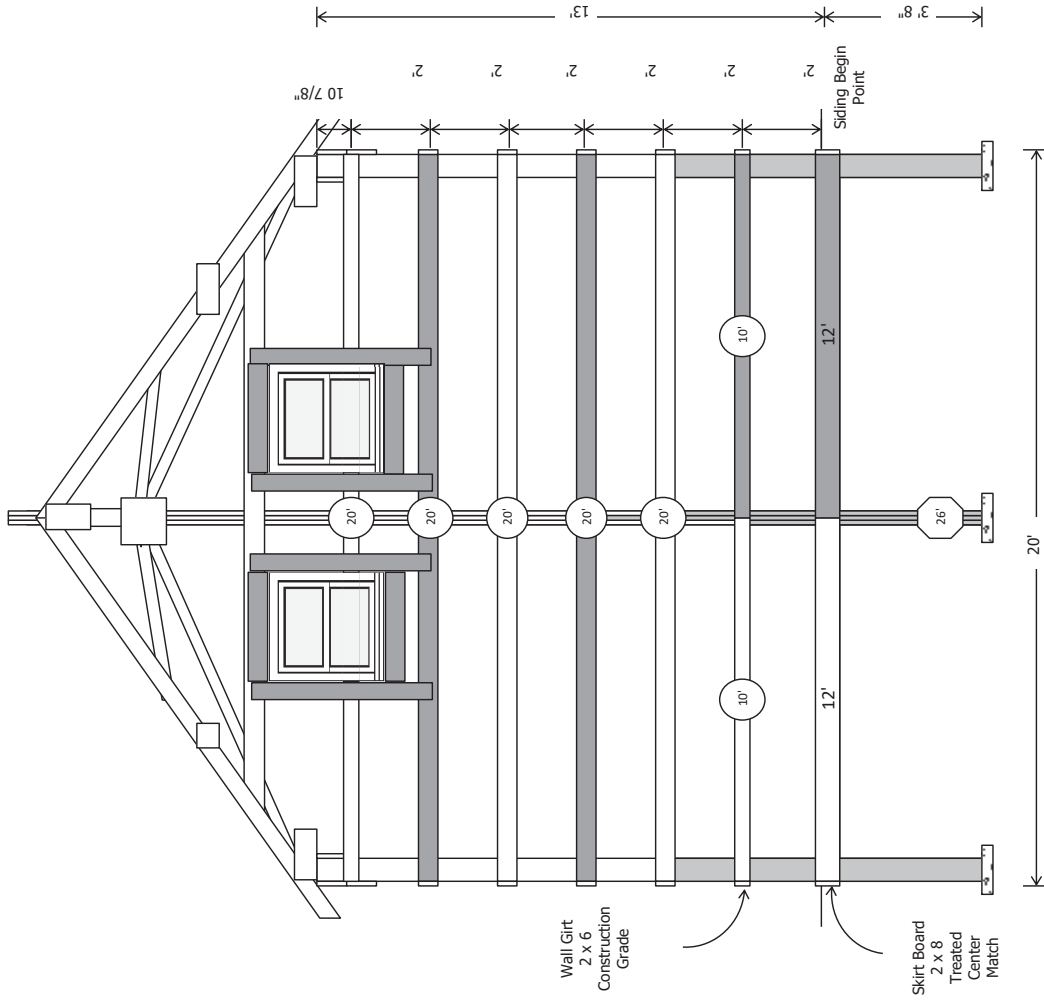






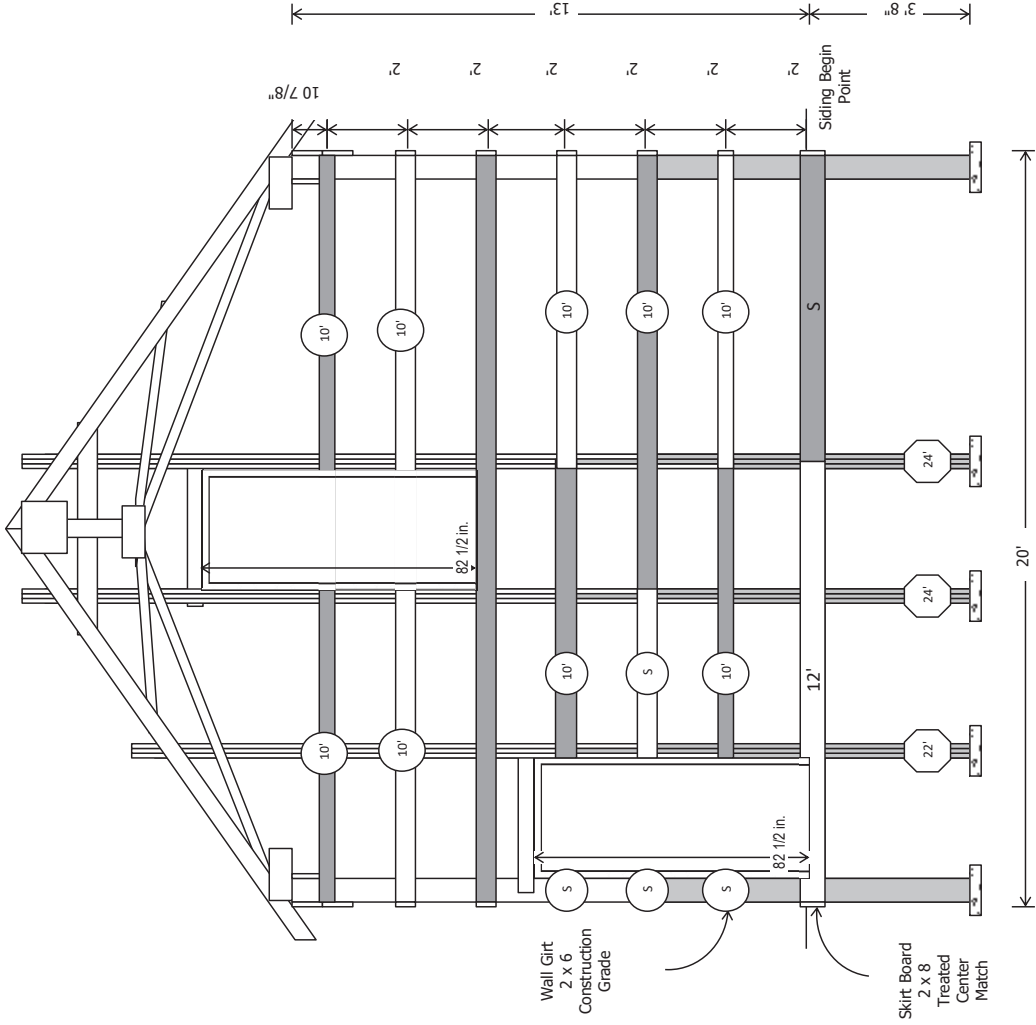


# EAST SIDE-GABLE SIDE 2 WALL GIRT VIEW





# WEST SIDE-GABLE SIDE 1 WALL GIRT VIEW



# NEW 20'x24'x13' POLE BUILDING W/ SECOND FLOOR LOFT & DECK

SITE LOCATION:  
LAUREN MCCONNELL  
317 LOCUST STREET  
FORT COLLINS, COLORADO, 80525

SPARTAN BUILDERS  
BRIANNA PEARSON  
7400 SOUTH COLLEGE AVENUE  
FORT COLLINS, COLORADO, 80525

## BUILDING CODES & ZONING ORDINANCES

- EXECUTE ALL WORK IN ACCORDANCE WITH LOCAL AND FEDERAL CODES, MANUFACTURERS' RECOMMENDATIONS, TRADE AND REFERENCE STANDARDS.
- THIS PLAN IS TO COMPLY WITH THE FOLLOWING GOVERNING AUTHORITIES:
  - INTERNATIONAL BUILDING CODE LATEST EDITION
  - BUILDING OWNERS' REQUIREMENTS
  - ASCE/SEI 7-22

## SCOPE OF WORK

NEW 20'x24'x13' POLE BUILDING WITH SECOND FLOOR AND DECK DRAWING SET DESIGN MEETS THE CURRENTLY ADOPTED 2018 IBC.

TOTAL SQUARE FOOT: 960 SF  
ULTIMATE WIND DESIGN = 115 MPH  
WIND EXPOSURE: C  
SEISMIC DESIGN CATEGORY: B  
GROUND SNOW LOAD = 35lbs/PSF  
SNOW LOAD = 35lbs/PSF  
LOFT LIVE LOAD = 40lbs/PSF  
LOFT DEAD LOAD = 10lbs/PSF  
ROOF LIVE LOAD = 20lbs/PSF  
ROOF DEAD LOAD = 15lbs/PSF  
ASSUMED SOIL BEARING 1500 PSF  
LOFT FLOOR DEFLECTION = L/360  
ROOF DEFLECTION = L/240  
FROST DEPTH = 36"

## BUILDING INFORMATION

BUILDING SIZE: 20'x24' = 480 SF  
2nd FLOOR: 20'x24'± = 437 SF  
INSIDE HEIGHT: 9'-0"± & 6'-11"±  
OVERALL HEIGHT: 20'-3"±  
ROOF PITCH: 8/12  
OVERHANGS: 12"  
LANDING SIZE: 4'x4' = 16 SF

## POST FRAME FOUNDATIONS & POST HOLE BACKFILL

TO ACHIEVE PROPER POST TO SOIL INTERACTION ANY BACKFILL MATERIAL USED MUST BE COMPACTED TO AT LEAST 85% OF THE DENSITY OF THE SURROUNDING SOIL. COMPACT ALL BACKFILL BY TAMPING JARRERS NO GREATER THAN 8" IN THICKNESS. IN GENERAL, EXCAVATED SOIL CAN BE USED FOR BACKFILL AS LONG AS IT IS COMPACTED AND FREE OF ORGANIC MATERIAL AND CONSTRUCTION DEBRIS.

REPLACING EXCAVATED MATERIAL WITH GRAVEL OR WELL GRADED SAND MAY BE NECESSARY WHERE GREATER SOIL STRENGTH AND STIFFNESS ARE NEEDED. IN CASE OF HOLES DRILLED IN CLAY, IT IS NOT RECOMMEND TO BACKFILL WITH COARSE GRANULAR BACKFILL IN AN EFFORT TO REDUCE FROST HEAVE. DRILLING HOLES IN CLAY AND BACKFILLING WITH COARSE GRAINED SOIL TURNS EVERY POSE HOLE INTO A SWAMP PIT THAT TRAPS AND HOLDS WATER. THIS LOCKS THE BACKFILL IN A SATURATED STATE WHICH IS MORE SUSCEPTIBLE TO FROST HEAVE THAN IF CLAY SOILS ARE USED TO PROPERLY BACKFILL THE HOLES.

BUILDING IN ORGANIC SILTS, SIFT CLAYS OR PEAT CONTAINING SOIL IS NEVER RECOMMENDING AS THESE SOILS ARE EITHER WEAK OR INHERENTLY UNSTABLE. EXTRA CAUTION SHOULD BE TAKEN WHEN EVALUATING STRENGTH PROPERTIES OF SOIL WITH VARIABLE CHARACTERISTICS, COMPOSITION AND MOISTURE CONTENT THROUGHOUT THE BUILDING SITE. IF SOIL PROPERTIES PRESENT AT THE BUILDING SITE OR SELECTION OF BACKFILL MATERIAL CAUSES ANY DOUBT ABOUT THE LONG TERM BUILDING PERFORMANCE, SEEK SPECIFIC ADVICE FROM A QUALIFIED SOIL TECHNICIAN OR POST FRAME ENGINEER.

NOT FOR CONSTRUCTION

## STRUCTURAL DRAWING LIST:

- CT/COVER SHEET & GENERAL NOTES
- A1.0 ARCHITECTURAL FLOOR PLANS
- S1.0 GROUND & LOFT FLOOR FRAMING PLANS & DETAILS
- S1.1 STAIR FRAMING SECTION & DETAILS
- E1.0 ELECTRICAL PLAN & PANEL SCHEDULE
- MPL1.0 MECHANICAL PLAN & PLUMBING PLAN

20'x24'x13' POLE BUILDING  
LAUREN MCCONNELL  
317 LOCUST ST.  
FORT COLLINS, CO. 80525



CRAMER ENGINEERING, LLC  
302  
DATE: XX-XX-2022

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NO	22-1019-02
DATE	08-23-2022
PROJECT	LAUREN M. MCCONNELL
SCALE	AS SHOWN
DESIGNER	LAUREN M. MCCONNELL
CHECKER	LAUREN M. MCCONNELL
DATE	08-23-2022

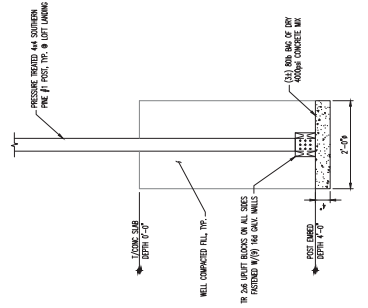
VERIFY ALL DIMENSIONS IN FIELD

## COVER SHEET & GENERAL NOTES

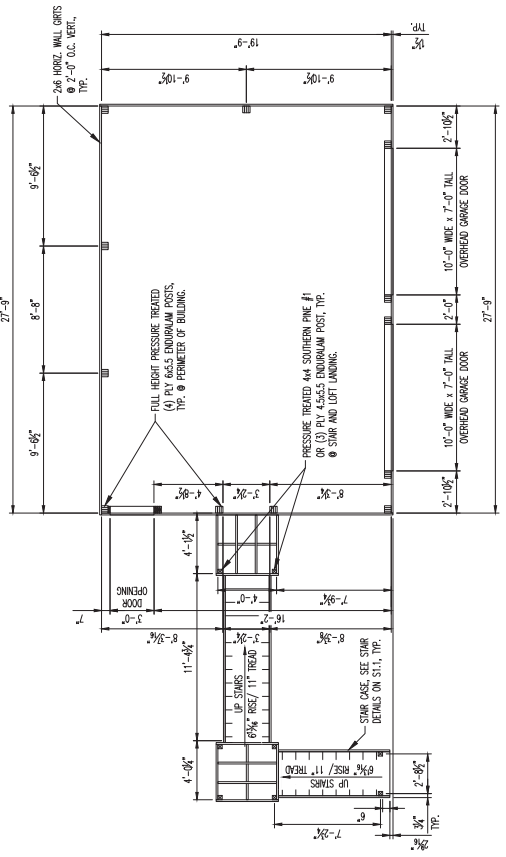
C1.0

ABBREVIATIONS			
TYPE	DESCRIPTION	TYPE	DESCRIPTION
A.B.	ANCHOR BOLT	L	LENGTH
A.L.T.	ALTERNATE	L.L.B.	LONG LEG HORIZONTAL
A.V.C.	AVERAGE	L.P.	LONG LEG VERTICAL
B.C.D.	BOTTOM CHORD	M.A.	MAXIMUM
B.C.L.	BOTTOM CHORD LOAD	M.E.D.	MECHANICAL
B.L.D.	BUILDING	M.F.T.	MANUFACTURER
B.O.	BOTTOM OF	M.L.	METAL
B.P.	BOTTOM PLATE	M.P.	MASONRY
B.R.G.	BEARING	M.S.	MASONRY OPENING
C.L.	CONTROL POINT	N.S.	NEAR SIDE
C.L.R.	CLEAR	O.C.	ON CENTER
C.N.C.	CONCRETE	O.H.	OVERHEAD
C.N.T.	CONCRETE	O.H.	OVERHEAD
C.N.T.	CONCRETE	O.O.	OUT TO OUT
D	DEPTH	P.S.F.	POUNDS PER SQUARE FOOT
D.B.T.	DIMETER	P.S.I.	POUNDS PER SQUARE INCH
D.I.A.	DIMENSION	R.F.	REINFORCEMENT
E.V.	EACHWAY	S.M.	SIMILAR
E.W.	EACHWAY	T.B.	TOP AND BOTTOM
F.L.R.	FLOOR	T.C.R.	TOP CHORD
F.N.	FINISH	T.C.R.	TOP CHORD HEAD LOAD
F.P.	FOOTING	T.O.P.	TOP OF
F.S.	FOOTING	T.O.P.	TOP OF STEEL
F.T.G.	FOOTING	T.O.P.	TOP OF
G.A.	GAUGE	T.O.S.	TOP OF
H.O.R.Z.	HORIZONTAL	U.S.G.	UNLESS NOTED OTHERWISE
H.P.	HIGH POINT	V.P.T.	VERTICAL
I.N.S.U.L.	INSULATION	V.P.T.	VERTICAL
L.O.S.	LEVEL OF	W.F.E.	WELDED
		W.	WIDTH
		W.	WIDTH

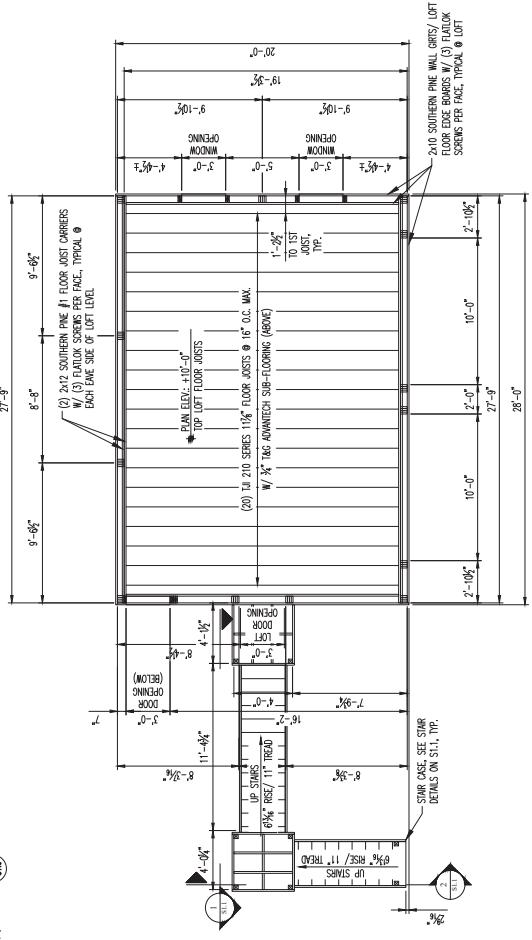




**TYPICAL STAR FOOTING SECTION**  
 SCALE: 3/4" = 1'-0"



**GROUND LEVEL FRAMING PLAN**  
 SCALE: 3/4" = 1'-0"



**LOFT FLOOR FRAMING PLAN**  
 SCALE: 3/4" = 1'-0"

**NOT FOR CONSTRUCTION**



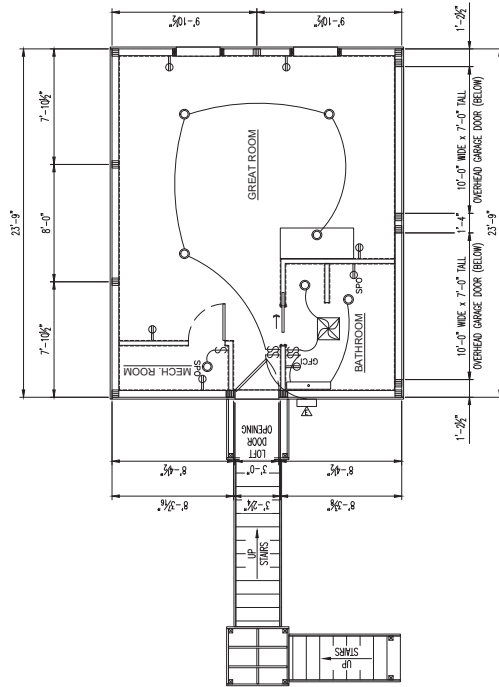
**NEW PANEL A - POWER & LIGHTS**  
 200 AMP 120/240 V 1 Ø PANEL

**MAIN DISCONNECT IN PANEL**

DESCRIPTION	CA	WATTS	CIR.	# AMP
OFFICE INTERIOR LIGHTING	12	500	1	20
OFFICE EXTERIOR LIGHTING	12	56	2	20
OFFICE RECEPTACLES	12	500	3	20
OFFICE RESTROOM	12	500	4	20
HOT WATER TANK	8	4500	5	40
GARAGE (LOWER LEVEL) LIGHTING	12	500	6	20
GARAGE (LOWER LEVEL) RECEPT.	12	500	7	20
			8	
			9	
			6	

WATTS: 7,056 TOTAL WATTS: 7,056 + 0 = 7,056  
 TOTAL AMPS: 162

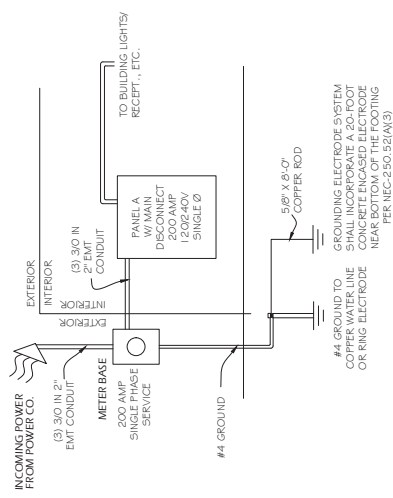
42-CIRCUIT PANEL SHOWN. INSTALL PANEL W/ 30 CIRCUITS MIN.



**LOFT ELECTRICAL PLAN**  
 SCALE: 1/8" = 1'-0"

**NOT FOR CONSTRUCTION**

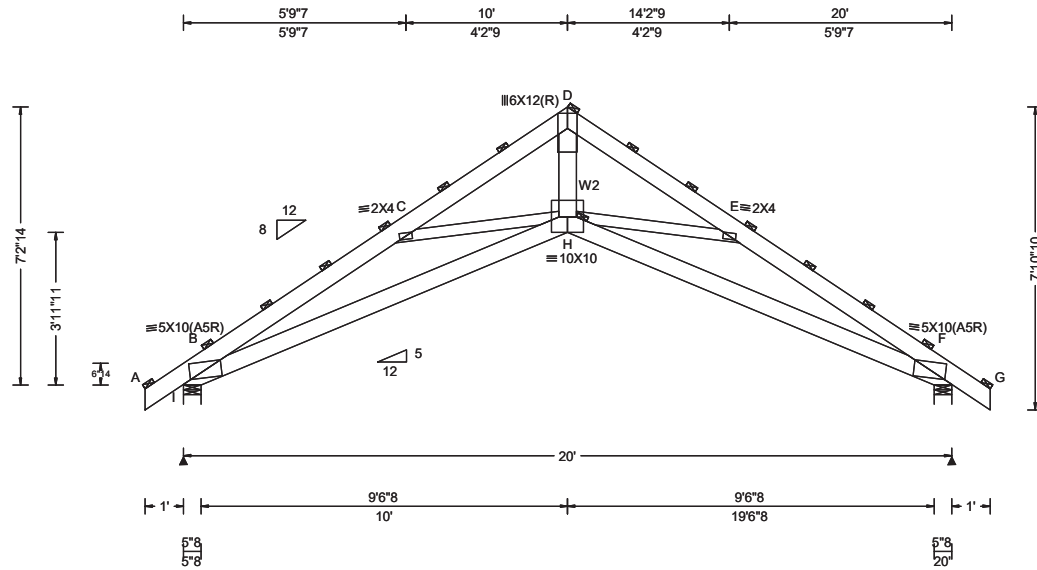
SYMBOL	DESCRIPTION
⌘	SINGLE POLE SWITCH - 4Ø A.F.F.
⌘	THREE WAY SWITCH - 4Ø A.F.F.
⌘	ROTARY DIMMER SWITCH-MULTIPLE UNIT CONTROL
⌘	2X4 SURFACE MOUNT (3)-1ØW LED BULBS
⌘	RECESSED DOWNLIGHT - DIMMER SWITCH - DIMMABLE 12W LED
⌘	RECESSED LIGHT (SPOT) - ROTATES 350 DEGREES - DIMMABLE 12W LED
⌘	CEILING MOUNT SUSPENDED CHANDLIER - (5) 32W FLUORESCENT LAMPS (EACH FIXTURE)
⌘	TASK LIGHT - UNDER CABINET/AUDIO DESK BACK - MAX. 42 W FLUOR.
⌘	WALL VANITY SURFACE MOUNT - 12W LED
⌘	RESTROOM EXHAUST FAN 250 CFM - INTERLOCK TO LIGHT SWITCHES; VENT DIRECT THROUGH TO OUTSIDE. SEAL ALL ROOF OR WALL PENETRATIONS
⌘	RESTROOM EXHAUST FAN VENT; VENTS DUCTED TO ONE EXHAUST FAN SIZED FOR TOTAL FUTURE COOL
⌘	EXTERIOR FLOOD LIGHT/SURFACE MOUNTED
⌘	DUPLEX RECEPTACLE - 110/120 V, 15' MIN. - 4Ø MAX. A.F.F., U.N.O.; VERIFY HGT. IN RANGE SPECIFIED W/ OWNER PRIOR TO INSTALLATION
⌘	GROUND FAULT CIRCUIT INTERRUPTER; INSTALL NOTES AS DUPLEX REC.
⌘	CIG. DUPLEX RECEPTACLE - 110/120 V
⌘	WATERPROOF RECEPTACLE; INSTALL NOTES SAME AS DUPLEX REC.
⌘	SPECIAL PURPOSE RECEPTACLE; 20Ø/120V UTILITY (STOVE, WASHER) INSTALL NOTES SAME AS DUPLEX REC.
⌘	ELECTRIC METER - NEW 200 AMP SERVICE
⌘	NEW 200AMP ELEC. FEED PANEL - FOR BUILDING CIRCUITS & CAPACITY FOR POSSIBLE FUTURE ADDITION
⌘	BATTERY OPERATED COMBINED CO & CO2 DETECTOR
⌘	EXTERIOR 60W LED WALL MOUNTED LIGHT
⌘	INTERIOR 60W LED WALL MOUNTED LIGHT
⌘	2 LIGHT 4Ø WIDE FLUORESCENT CEILING LIGHT WITH ACRYLIC DIFFUSER, 64W FLUSHMOUNT
⌘	2 LIGHT 4Ø WIDE FLUORESCENT CEILING LIGHT WITH ACRYLIC DIFFUSER, 64W



**RISE DIAGRAM**  
 200 AMP 120/240 SINGLE PHASE PANEL  
 COORDINATE ELECTRICAL WORK WITH THE LOCAL POWER COMPANY







Loading Criteria (psf)	
TCLL:	35.00
TCDL:	10.00
BCLL:	0.00
BCDL:	10.00
Des Ld:	55.00
NCBCLL:	10.00
Soffit:	2.00
Load Duration:	1.15
Spacing:	48.0 "

Wind Criteria	
Wind Std:	ASCE 7-16
Speed:	115 mph
Enclosure:	Closed
Risk Category:	II
EXP:	C
Mean Height:	15.00 ft
BCDL:	5.0 psf
MWFERS Parallel Dist:	0 to h/2
C&C Dist a:	3.00 ft
GCpi:	0.18
Wind Duration:	1.33

Snow Criteria (Pg,Pf in PSF)	
Pg:	20.0
Ct:	1.1
CAT:	II
Pf:	15.4
Ce:	1.0
Lu:	-
Cs:	1.00
Snow Duration:	1.15

Code / Misc Criteria	
Bldg Code:	IBC 2021 Res
TPI Std:	2014
Rep Factors Used:	No
FT/RT:	10(5)/2(2)/2(0)
Plate Type(s):	WAVE

Defl/CSI Criteria	
PP Deflection in loc L/defl L/#	
VERT(LL):	0.272 H 867 360
HORZ(LL):	0.282 F - -
HORZ(TL):	0.462 F - -
Creep Factor:	2.0
Max TC CSI:	0.515
Max BC CSI:	0.580
Max Web CSI:	0.523
Mfg Specified Camber:	
VIEW Ver:	22.02.00.0914.12

▲ Maximum Reactions (lbs)						
Loc	Gravity			Non-Gravity		
	R+	R-	/Rh	/Rw	/U	/RL
I	2526	-	-	/1070	/16	/286
F	2526	-	-	/1070	/16	-
Wind reactions based on MWFRS						
I	Brg Wid = 5.5		Min Req = 3.3 (Support)			
F	Brg Wid = 5.5		Min Req = 3.3 (Support)			
Bearings I & F Cperp = 405psi.						
Maximum Top Chord Forces Per Ply (lbs)						
Chords	Tens.Comp.			Tens. Comp.		
	A - B	B - C	C - D	D - E	E - F	F - G
	110	0	0	0	-5232	0
	0	-6520	0	-6520	0	0
	0	-5232	0	110	0	0

**Lumber**  
Top chord: 2x6 SPF 2100f-1.8E;  
Bot chord: 2x6 SPF 2100f-1.8E;  
Webs: 2x4 WEST. WOODS Stud;  
W2 2x6 SPF 1650f-1.5E;

**Plating Notes**  
Handling stresses not considered for plates. Handling of this truss requires special care by truss manufacturer and installation contractor to prevent plate damage.

**Purlins**  
In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	24	-1.00	10.00
TC	24	10.00	21.00
BC	120	0.15	10.00
BC	120	10.00	19.85

Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

**Loading**  
Bottom chord checked for 10.00 psf non-concurrent live load.

**Wind**  
Wind loads based on MWFRS with additional C&C member design.  
Wind loading based on both gable and hip roof types.  
Uplifts based on an elevation at or above 5000 ft.

**\*\*WARNING\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING!**  
**\*\*IMPORTANT\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**  
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Buildin Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a proper attached rigid ceiling. Locations shown for permanent lateral restraint or webs shall have bracing installed per BCSI sections B3, B7, or B11 as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions.  
ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. **A seal on this drawing or cover page listing this drawing indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.**  
For more information see this job's general notes page and these web sites: ITWBCG: www.itwbcg.com; TPI: www.tpinst.org; SBCA: www.sbcindustry.com; ICC: www.iccsafe.org

**RIGID COMPONENT SYSTEMS**

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