



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue

P.O. Box 580

Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: April 21, 2023

EXPIRATION: April 21, 2024

Travis Kauffman
100 First St.
Fort Collins, CO 80524

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the Maneval/Mason/Sauer Property at 100 First St., have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Floor joist system conforming with recommendations of structural engineer to address over span in floor joists in kitchen and areas of makeshift supports (see attachments)

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-658-0263.

Sincerely,

Yani Jones
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This project will not change the residential use of the property.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>This project does not remove character-defining materials, and it does not impact the exterior appearance of the house.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	N/A
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p>	N/A
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>The proposed project addresses inadequacy in the structure of the existing floor support system in the kitchen area. This is not exterior work, and it supports the health and use of the building. The plans for this project conform to recommendations from a structural engineer, Geoff Robinson.</p>	N/A
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A

SOI #8	<i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i>	N/A
SOI #9	<i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i>	N/A
SOI #10	<i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i>	N/A



Design Review Application Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

Applicant Information

Applicant's Name	Daytime Phone	Evening Phone
Mailing Address (for receiving application-related correspondence)	State	Zip Code
Email		

Property Information (put N/A if owner is applicant)

Owner's Name	Daytime Phone	Evening Phone
Mailing Address (for receiving application-related correspondence)	State	Zip Code
Email		

Project Description

Provide an overview of your project. Summarize work elements, schedule of completion, and other information as necessary to explain your project.

The following attachments are REQUIRED:

- Complete Application for Design Review
- Detailed Scope of Work (and project plans, if available)
- Color photos of existing conditions

Reminders:

Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application will need to be approved.

Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).

Required Additional information

The following items must be submitted with this completed application. Digital submittals preferred for photographs, and for other items where possible.

- At least one current photo for each side of the house. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled
- Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work". Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc.

Depending on the nature of the project, one or more of the following items shall be submitted. Your contractor should provide these items to you for attachment to this loan application.

- Drawing with dimensions.
- Product specification sheet(s).
- Description of materials included in the proposed work.
- Color sample(s) or chip(s) of all proposed paint colors.

Partial or full demolition is a part of this project.

Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.

Signature of Applicant

Date



29 October 2021

Travis Kauffman
Annette Bierbower
100 1st Street
Fort Collins, CO 80524

and

Historic Preservation Services
City of Fort Collins
281 N College
Fort Collins, CO 80524

Dears Mr. Kaufman and Ms. Bierbower,

RE: Comments concerning improved support of kitchen floor system, 100 1st Street, Fort Collins, CO 80524. REI Project 21-019.

Our office was asked to evaluate the floor support at 100 1st Street in Fort Collins. I visited the site on 12 July 2021.

The home is a 1904 vintage framed home typical of the Buckingham neighborhood. This home is a unique composite of either a small home that has had several additions, has been combined with a second home or there were changes that were done during of construction. The interior of the home has had changes such as walls being moved or removed and ceiling modifications. This reflects the unique character of the neighborhood created by sugar plant workers, most of whom had limited incomes and progressively built and modified their homes as resources became available. The home reportedly has survived at least one flood of the adjacent Poudre River. The home may have been raised and set on an improved crawl space foundation since initial construction. The crawl space has a cellar space within it that contains the HVAC system and provides some storage. The home is in relatively good condition.

The concern expressed by the owner was the support of the kitchen floor. The floor joists were 2x8 rough sawn joists 24" c/c +/- spanning 16'. In 1904, that floor span would have been a long one, but not necessarily out of character for the home. I did look for evidence of a mid-span support beam, but there were no indication of such a beam. The floor has been supported by a number of added posts and spreaders indicating the floor may have had noticeable deflection. For current day loadings, considering a 40 psf live load and 12 psf material weight, the floor joists would be significantly over span resulting in high bending stresses and a very bouncy floor. To complicate matters, the walls either side of the kitchen support the roof over the kitchen. The west wall also supports the roof over the 6' wide shed roof over the bathroom and west side entry. On site, I initially proposed adding support under the east and west walls of the kitchen. I now also suggest adding a beam support mid-span of the joists.

My analysis is based on the 2018 IRC code, 30 psf roof snow load, 140 mph Exp B V_{ultimate} wind load and 40 psf occupancy load. I did increase the material weight (dead load) of the floor system and roof system to 20 psf to allow for better performance with common modern flooring and roofing material.

My logic for the floor joist support was to use multi-layer laminated veneer lumber (LVL) material spanning multi-span

Our recommendation would be for adding three beams as follows:

West Beam – Built-up (2) 1.75"x5.5" LVL if LVL material continuous or (3) 1.75"x5.5" LVL if LVL spliced, approximately 14'+/- long supporting all floor joists except the rim joists for the original floor system. The beam should be located within 18" of the west kitchen floor rim joists and would be installed below the floor joists. The LVL layers of the beam should be mechanically laminated by 2 rows 10d (0.128"x3") nails (min) 12" c/c between each LVL. It is better not to splice the beam, but if the LVL needs to be sliced, locate splices at 1/4 span locations, with only one layer spliced at any 1/4 span location from any post. The spans can be 6'-4" c/c if equally spaced, but the center support may be adjusted 24" c/c either way if needed. The posts should be 4x4 HF or DF #2 (min) posts and connect each beam to post by post to beam hardware such as Simpson AC post cap. The end posts should be reasonably close to the beam ends but need to be centered on bearing pads as close to the cellar walls or crawl space walls as possible. The two end posts can bear on 16"x18" (2ft²) bearing pads, the center post should bear on a 24"x24" (4ft²) bearing pad. We recommend ABS plastic or treated wood bearing pads. The pad should bear on a leveled, compacted surface. Once the beam is installed, toenail each floor joists to the beam by (3) 8d common nails and add blocking between joists, over beam, alternate openings.

Middle Beam - If 2-span with 3 posts, a built-up (3) 1.75"x5.5" LVL approximately 15' long supporting all floor joists except the rim joists for the original floor system. The spans can be 6'-4" c/c if equally spaced, but the center support may be adjusted 24" c/c either way if needed. For 2-span, the two end posts can bear on 16"x18" (2ft²) bearing pads and the center post should bear on a 24"x24" (4ft²) bearing pad. If the 2-span LVL needs to be sliced locate splices at 1/3 span locations, with only one layer spliced at any 1/3 span location. If single span with only (2) posts, a built-up beam could be either (2) 1.75"x11.25" LVL, (3) 1.75"x9.25" LVL or (4) 1.75"x7.25" LVL. The LVL layers of the beam should be mechanically laminated by 2 rows 10d (0.128"x3") nails (min) 12" c/c between each LVL layer. Single span LVL should not be spliced. The posts can be 4x4 HF or DF #2 (min). Use post to beam hardware such as the Simpson AC post caps. We recommend ABS plastic or treated wood bearing pads. The pad should bear on a leveled, compacted surface. Once the beam is installed, toe-nail each floor joists to the beam by (3) 8d common nails and add blocking between joists, over beam, alternate openings.

East Beam – Built-up (2) 1.75"x7.25" LVL (min) approximately 11' +/- long attached to the existing floor 2x8 rim-board(s). The LVL layers of the beam should be mechanically laminated by 2 rows Ledger LOKs or Timber LOKs 8" c/c max through all the LVL and existing rim board material. If LVL needs to be spliced contact our office. The added beam should be supported from the existing concrete wall and adjacent soil at 8' +/- from the north support. The beam should extend 3.5' +/- south of the post. The post should be 4x4 HF or DF #2 (min) posts and connect to the post by Simpson AC type hardware. The posts should be just east of the partial wall forming the edge of the cellar. The posts can bear on an 18"x24" (3 ft³), bearing pad and can bear partially on top of the concrete wall with the soil next to the wall filled and compacted to the same height as the wall. We recommend ABS plastic or treated wood bearing pads.

During installation, it should be possible to remove any if the existing supports to maneuver the new beams in place. I recommend only removing two at a time, then replacing them to insure the floor system remains in its current level. Once the beams are in position I recommend supporting the beams to be in contact with most floor joists, then jacking the beams and floor system no more than 1/4" to prevent damage to cabinets or structure above. The jacking removes only a bit of deflection, but insures reasonable bearing of existing joists on the new beam. Check the floor above when jacking. Install posts, cut to fit lengths, between the beams and bearing pads. Shim floor joists not in contact with the new beams. After LVL beams are installed, the older jacks and spreaders can be removed.

Calculations are attached. Plan view drawings are provided to clarify beam locations.

It is my hope that the inspection and report is beneficial in your decision making with your property.

Please call our office if there are any questions.

Sincerely,



Geoff Robinson, PE
Structural Engineer / Wood Technologist



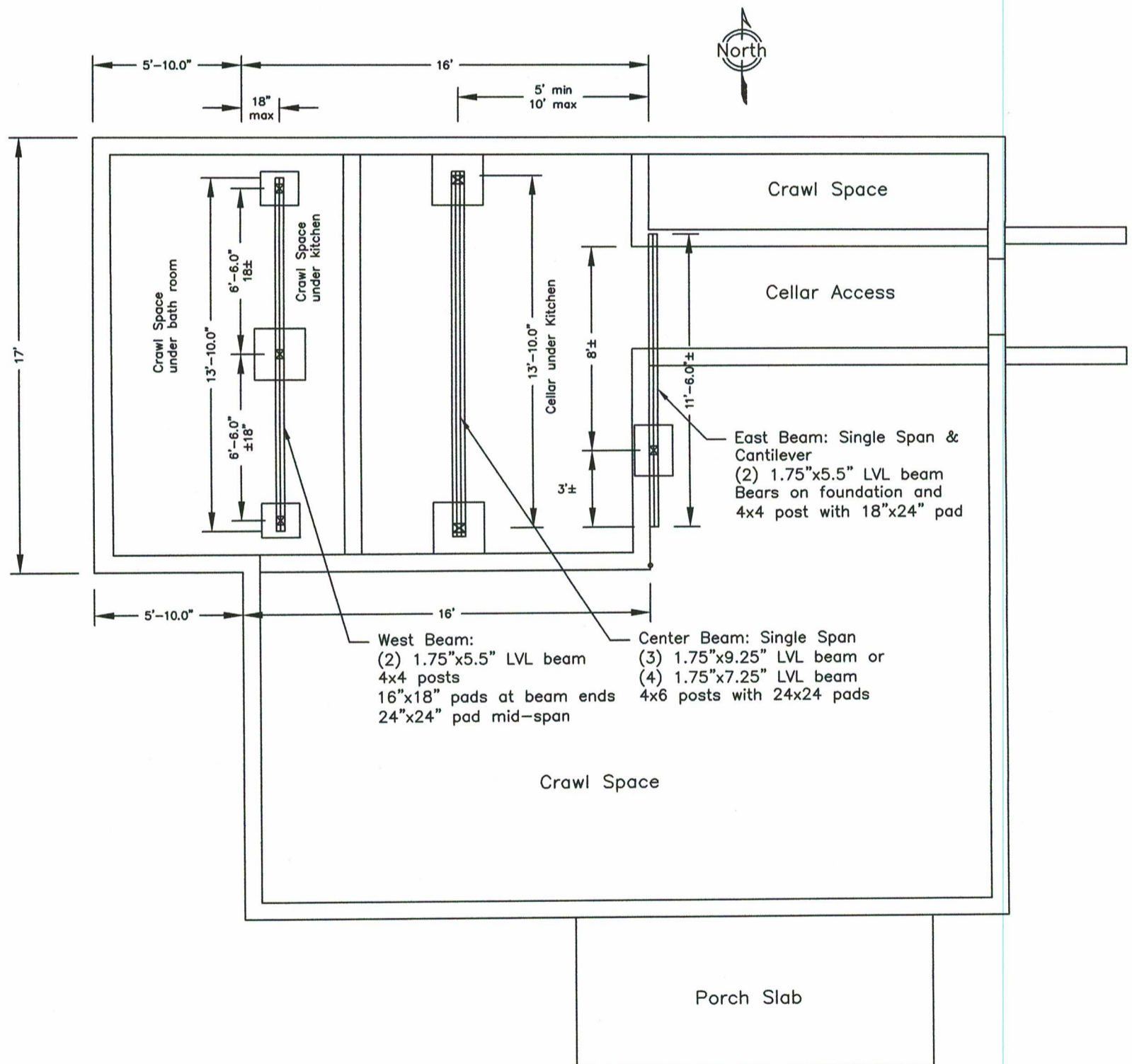
The inspection and comments are limited to the specific items listed in this letter and in no way imply a certification or complete inspection of the structure, its systems or site work. We have no control over workmanship, contractor decisions or site events. No liability is assumed for future loss of value, marketability or any other loss claims.

Design Based on:
 2018 IRC Code - Risk Cat II
 140 mph V_{ult} - Exp C Wind Load
 30 psf Roof Snow / Live Load (p_s)
 40 psf occupancy Live Load
 Reasonable weight estimates
 Footing design based on 1500 psf
 max bearing for DL + LL.

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Floor Support Plan Single Span Middle Beam

Scale: $\frac{3}{16}'' = 1'$ or 1:64



OCT 29 2021

Suggested Floor Support - 1-span middle beam

Travis Kaufman / Annette Bierbower
 100 1st Street
 Fort Collins, CO 80524

Customer: Kauffman / Bierbower
 Project Number: 21-019

Drawing Information:
 Kauffman Bierbower 21-019.dwg
 29 October 2021
 Drawn by: gcr
 Review: gcr

Robinson Engineering, Inc

319 South Grant Avenue
 Fort Collins, Colorado 80521

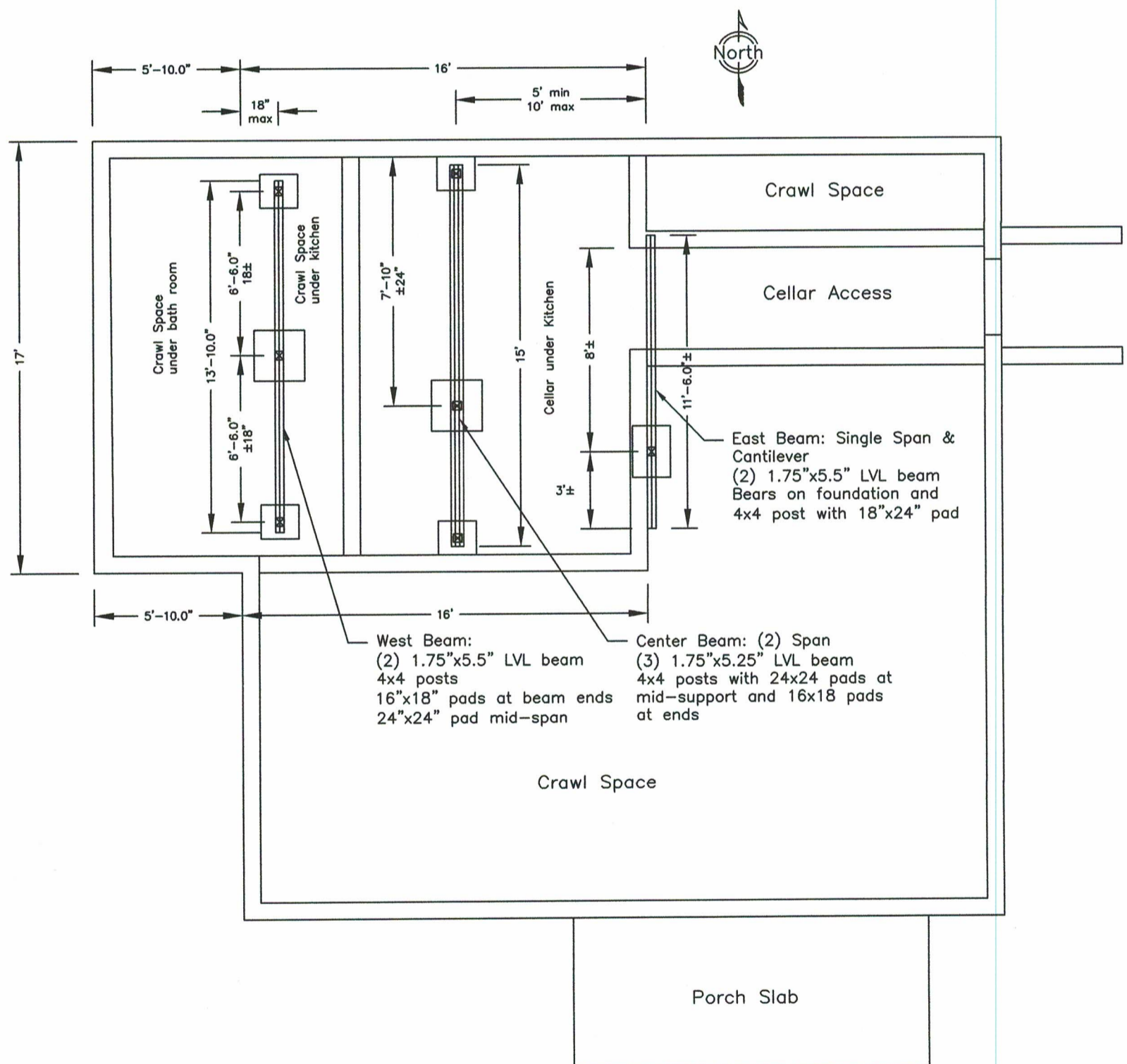
(970) 217-4960 Office
 RobEngInc@gmail.com

Design Based on:
 2018 IRC Code - Risk Cat II
 140 mph V_{ult} - Exp C Wind Load
 30 psf Roof Snow / Live Load (p.)
 40 psf occupancy Live Load
 Reasonable weight estimates
 Footing design based on 1500 psf
 max bearing for DL + LL.

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Floor Support Plan 2-Span Middle Beam

Scale: $\frac{1}{16}'' = 1'$ or 1:64



Suggested Floor Support - 2-span middle beam

Travis Kaufman / Annette Bierbower
 100 1st Street
 Fort Collins, CO 80524

Customer: Kauffman / Bierbower
 Project Number: 21-019

Drawing Information:
 Kauffman Bierbower 21-019.dwg
 29 October 2021
 Drawn by: gcr
 Review: gcr

Robinson Engineering, Inc

319 South Grant Avenue
 Fort Collins, Colorado 80521

(970) 217-4960 Office
 RobEngInc@gmail.com

Quantity	Product	Description	Approximate price/unit	Total Price
7	16' - 5-1/2" x 1-3/4" LVL Beam	LVL beams to build up for floor support	\$68.8460	\$481.92
7	4x4 Treated Lumber Posts (HF or DF#2)	Posts to support East and West Beam	\$30.2743	\$211.92
7	or 4x4 Simpson Strong-Tie Elevated Post Base	Adjustable post cap to jack beams as necessary	\$20.7720	\$145.40
7	Simspon Strong-Tie BC Z Max for 4x4	Steel post cap to pair with washer of adjustable post ca	\$8.7444	\$61.21
7	Peak Products 4x4 Plastic Post Anchor	Post Base to connect to ABS pads	\$15.5800	\$109.06
1	8-10d nails (2-3/8" x 0.113 Nails)	Nails for laminating LVL and beam/joist connection	\$89.2800	\$89.28
3	16' -2 x 12' (for blocking)	Inter-joist blocking for beam	\$28.8122	\$86.44
1	16x18 ABS pads (12 pk)	End posts foundation pads	\$102.3300	\$102.33
2	24x24 ABS Pads	center posts foundation pads	\$43.6500	\$87.30
1	#10 1-1/2" Simpson SD Screws (Box 100)	Fasteners for post/beams	\$19.8916	\$19.89
1	#10 2-1/2" Simpson SD Screws (Box 100)	Fasteners for post/beams	\$26.9926	\$26.99
			Mawson Tax	\$78.05
			Amazon Tax	\$14.60
			Home Depot Tax	\$ 8.18
			Total	\$1,522.58

Checkout (3 items)



1 Shipping address [Change](#)
 Travis Kauffman
 100 1ST ST
 FORT COLLINS, CO 80524-2401
[Add delivery instructions](#)

2 Payment method [Change](#)
 Visa ending in 6311
 Billing address: Same as shipping address.
 ^ **Add a gift card or promotion code or voucher**

3 Review items and shipping

Before you place your order:

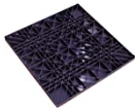
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Select No-Rush Shipping below to receive a reward towards e-books, digital movies, and music.

Estimated delivery: April 20, 2023 - April 21, 2023

Items shipped from Amazon.com



Tie Down 59303 ABS Foundation Pad - 24" x 24"

\$43.65
 & [FREE Returns](#)

Qty:

Sold by: Amazon.com Services LLC

Gift options not available

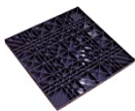
Choose your Prime delivery option:

- Thursday, April 20 - Friday, April 21**
 FREE Prime Delivery
- Tuesday, April 25 - Wednesday, April 26**
 FREE No-Rush Shipping
 Get a \$1 reward for select digital purchases. One reward per purchase.
[Details](#)

Get a \$100 Amazon Gift Card instantly upon approval for the Amazon Prime Rewards Visa Card. No annual fee. [View offer](#)

Estimated delivery: April 26, 2023 - April 27, 2023

Items shipped from UnbeatableSale, Inc



Tie Down Engineering 59300 ABS Foundation Pad - 16" x 18"

\$102.33

Qty:

Sold by: UnbeatableSale, Inc
 Not eligible for Amazon Prime
[\(Learn more\)](#)

Gift options not available

Choose a delivery option:

- Wednesday, April 26 - Thursday, April 27**
 FREE Standard Shipping

[Place your order](#)

By placing your order, you agree to Amazon's [privacy notice and conditions of use](#).

Order Summary

Items (3):	\$189.63
Shipping & handling:	\$0.00
Total before tax:	\$189.63
Estimated tax to be collected:*	\$14.33
Estimated Regulatory Fees:	\$0.27

Order total: \$204.23

[How are shipping costs calculated?](#)
[What is a Regulatory Fee?](#)

Prime shipping benefits have been applied to your order. [\(Why aren't all my items eligible?\)](#)

[Place your order](#)

Order total: \$204.23

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For an item sold by Amazon.com: When you click the "Place your order" button, we'll send you an email message acknowledging receipt of your order. Your contract to purchase an item will not be complete until we send you an email notifying you that the item has been shipped.

[Important information about sales tax you may owe in your state](#)

You may return new, unopened merchandise in original condition within 30 days of delivery. Exceptions and restrictions apply. See Amazon.com's [Returns Policy](#).

Need to add more items to your order? Continue shopping on the [Amazon.com homepage](#).



Mawson Lumber and Hardware
P. O. Box 2206
350 Linden Street
Fort Collins CO 80522
970-482-8082
Fax: 970-482-3846



QUOTE

2304-044016

PAGE 1 OF 1

SOLD TO
MICHELLE'S CASH ACCOUNT

JOB ADDRESS
TRAVIS KAUFFMAN

ACCOUNT	JOB
CASH10	0
CREATED ON	04/18/2023
EXPIRES ON	04/23/2023
BRANCH	1000
CUSTOMER PO#	
STATION	167
CASHIER	MYC
SALESPERSON	MYC
ORDER ENTRY	MYC
MODIFIED BY	

Thank You For Your Business

Item	Description	D	Quantity	UM	Price	Per	Amount
DIM512MICRO	1 3/4X5 1/2 MICROLAM		112	LF	4.3029	LF	481.92
KDAT4410	PRESSURE TREATED 4X4X10' AIR DRIED TO PREVENT CHECKING		7	EA	30.2743	EA	211.92
SIMPCB44	CB44: 4" X 4" COLUMN BASE		7	EA	20.7720	EA	145.40
SIMPBC4	BC4: 4X ZMAX GALVANIZED HALF BASE		7	EA	8.7444	EA	61.21
DIM21216	2X12-16 #2&BTR HEM-FIR		3	EA	28.8122	EA	86.44
SIMPSD10112R100	SD10112R100: #10 1 1/2" EXTERNAL HEX HEAD STRUCTUAL CONNECTOR SCREW (100 PK)		1	EA	19.8916	EA	19.89
SIMPSD102R100-R	SD10212R100-R: #10 2 1/2" HEX HEAD STONG DRIVE STRUCTURAL CONNECTOR SCREW		1	EA	26.9926	EA	26.99
					Subtotal		1,033.77
					060031 7.55% Sales Tax		78.05
					Total		1,111.82

Buyer:

Signature

Your Cart (7)

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! We're sorry, there's a problem with your cart. Please correct any errors indicated below and try again.

Pickup

N Ft Collins (1 item) [Curbside Available](#)

! Out of stock

Peak Products 4 in. x 4 in. Plastic Post Anchor

Model #4080

\$109.06
(\$15.58/item)



Pickup at [N Ft Collins](#)

Delivering to 80524

Pickup

Tomorrow
0 in stock
FREE

Delivery

Thursday, Apr 20
310 available
FREE

7

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Major Appliances: 1-877-961-6683

Custom Blinds: 1-800-658-7320

Call 7 days a week - 6 a.m. to 2 a.m. EST

Subtotal	\$109.06
Pickup	FREE
Sales Tax	\$8.18

Total

Have a question?

[Have a promo code?](#)

Chat with a Home Depot expert.

Live Chat

CHAT NOW

[Checkout](#)

— or —



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orders over \$1,000

[Apply Now](#)

Item Total	\$117.24
Savings	-\$25.00
New Total	\$92.24

Customers Also Purchased...

Best Seller



ProWood Black Rail Connector Bracket (4-Pack)

(355)

\$13⁹⁸

[Add To Cart](#)



Veranda 4 in. x 4 in. 7 Lumens Black Plastic Solar Post

\$5⁹⁹

[Add To Cart](#)



Precision Black Plastic Railing Connectors (2-Pack)

(120)

\$6⁹⁸ /package

[Add To Cart](#)



Veranda 4 in. x 4 in. White New England Base Trim

(374)

\$4⁹⁶

[Add To Cart](#)



ProWood 4 in. x 4 in. Black Metal Post Cap

(164)

\$2⁵⁷

[Add To Cart](#)



ProWood 4 in. x 4 in. x 4-1/2 ft. Pressure-Treated

(247)

\$19⁵⁶

[Add To Cart](#)

Top Rated

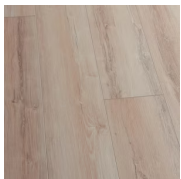


Veranda 4 in. x 4 in. 3 Lumens Bronze

\$9⁹⁷

[Add To Cart](#)

Sponsored Products



Malibu Wide Plank Hickory Mapleton 9.13 in. W x 60 in.

(34)

\$100⁶⁸ /case
Was \$110.45

[Add To Cart](#)



Vissani 50-Pint Dehumidifier with Pump ENERGY

(15)

\$189⁹⁹ /carton
Was \$229

[Add To Cart](#)



HDX Alkaline AA Battery (20-Pack)

(638)

\$8⁹⁸ /box

[Add To Cart](#)

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Peak Products 4 in. x 4 in. Plastic Post Anchor

(222)



Unbranded 2 in. x 12 in. x 16 ft. #2 and Better Prime

(105)



Paslode 3 in. x 0.120 in. Round Drive 30-Degree

(204)



Paslode 3 in. x 0.120-Gauge 30-Degree Galvanized

(204)



Simpson Strong-Tie #10 x 1-1/2 in. 1/4-Hex Drive,

(553)



Simpson Strong-Tie EPB Hot-Dip Galvanized Pier-

(127)



Simpson Strong-Tie BC 2 in. x 2 in. Galvanized

Have a question?

Chat with a Home Depot expert.

Live Chat

CHAT NOW













