



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue

P.O. Box 580

Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: April 18, 2023

EXPIRATION: April 18, 2024

2Sandys East Elizabeth LLC
c/o Sandy Willison, Sagert-Willison, Inc.
452 S. Link Ln.
Fort Collins, CO 80524

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your historic property in the Laurel School Historic District, 419 E. Elizabeth St., have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Convert 2 existing basement windows into egress windows (units B and C)

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-658-0263.

Sincerely,

Yani Jones
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>This project will not change the residential use of the building.</p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>Although some materials will be removed as part of this project, two existing basement windows and some foundation material below to accommodate the egress windows, they are not character-defining materials.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>The egress windows are not a conjectural feature and also do not convey a false sense of historical development.</p>	Y
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>The basement windows and foundation material being removed are not characteristic of the property; the egress windows will use the same material being removed, and they are required by the building code.</p>	Y
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	N/A
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A

SOI #8	<i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i>	N/A
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The new egress windows are using an existing basement window opening, which minimizes the destruction of historic material and helps with compatibility of scale with the other basement windows on the building.</p>	Y
SOI #10	<i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i>	N/A



BUILDING PERMIT APPLICATION:

Fenestration (exterior doors & windows)

Check all the apply: **All information on the application must be filled out (as applicable).**

Residential Commercial
Single family detached Duplex/Two-Family Single Family Attached (Townhome) Multi-Family (Apartment/Condo)
Garage Bank Bar Church Hotel/Motel Medical Office Retail Other Tri/plex/ 3 family

JOB SITE ADDRESS: 419 East Elizabeth **UNIT#:** B

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name 2Sandys East Elizabeth LLC First Name _____ Middle _____
Street Address 37004 Soaring Eagle Circle City Severance State CO Zip 80550
Phone # 970-218-9824 Email starwd1@msn.com

CONTRACTOR INFO:

Company Name Sagert-Willison, Inc.
License Holder Name Sandy Willison LIC # C1-27 CERT # 597-c1

CONSTRUCTON INFO:

1. Like for like fenestration replacements (non-structural):

	Quantity replaced	Is the fenestration operable? (commercial and more than 3 story multi-family only)	U- factor	SHGC factor	Is % glazing transparency the same (commercial only) Ground floor = 60% glazing (transparency) Upper floors = 40% glazing (transparency)
Windows	1		0.47	0.67	
Doors					
Skylight					

*For code requirements see **window guide** and **codes**

2. Structural Fenestration: New or enlarged openings, new or enlarged basement egress windows (including lowering sill heights in a foundation wall)

lower sill height and replace 1 egress window. No change to header/opening width.

VALUE OF CONSTRUCTION (materials and labor): \$ 1500.00

JOBSITE SUPERVISOR CONTACT INFO: Name Sandy Willison Phone 970.218.9824

SUBCONTRACTOR INFO:

Electrical n/a Mechanical n/a Plumbing n/a

Structural Framing (wood only) n/a

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature [Signature] Type or Print Name Sandy Willison
Phone # 970.218.9824 Email starwd1@msn.com

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



Planning, Development & Transportation
281 N. College Ave
Fort Collins, CO 80524
Phone 970-416-2740 Fax 224-6134

BUILDING OWNER AUTHORIZATION TO OBTAIN A COMMERCIAL BUILDING PERMIT

I, (Print) 2 SANDYS East Elizabeth LLC as owner of record (property address) 419 E. Elizabeth suite B known as (name of business) 419 Triplex hereby authorize the work listed below to be done on said property. I understand that such work will **only be performed** contractors licensed by the City of Fort Collins.

I am giving permission for **interior work only**. The scope of the work shall be limited to: _____

I am giving permission for **exterior work only**. The scope of the work shall be limited to: _____

I am giving permission for **interior and exterior work**. The scope of the work shall be limited to: Replace Existing Window w/ larger egress window and Window Well

[Signature]
(Property owner signature)

Sandy T Willison member
(Property owner name; please print)

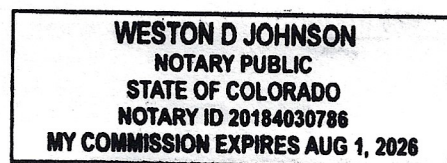
The foregoing affidavit was acknowledged before me on the 11th day of April (month, year) by Sandy T Willison for the purpose therein set forth.

Witness my hand and official seal.

My Commission expires: 8-1-2026

[Signature]
Notary Public

Permit # _____
Office use only





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VALUE OF CONSTRUCTION (materials and labor): \$ 1500.00

JOB SITE SUPERVISOR CONTACT INFO: Name Sandy Willison Phone 970.218.9824

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Applicant Signature [Signature]

Type or Print Name Sandy Willison

Phone # 970.218.9824

Email starwd1@msn.com

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Fort Collins, CO 80524
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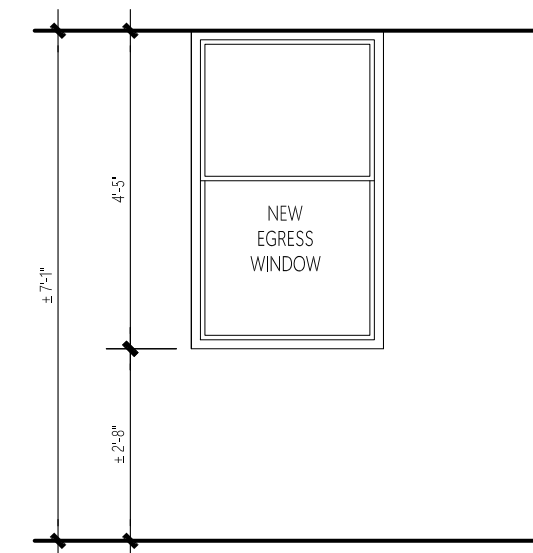
Witness my hand and official seal.

My Commission expires: 8-1-2026

[Signature]
Notary Public

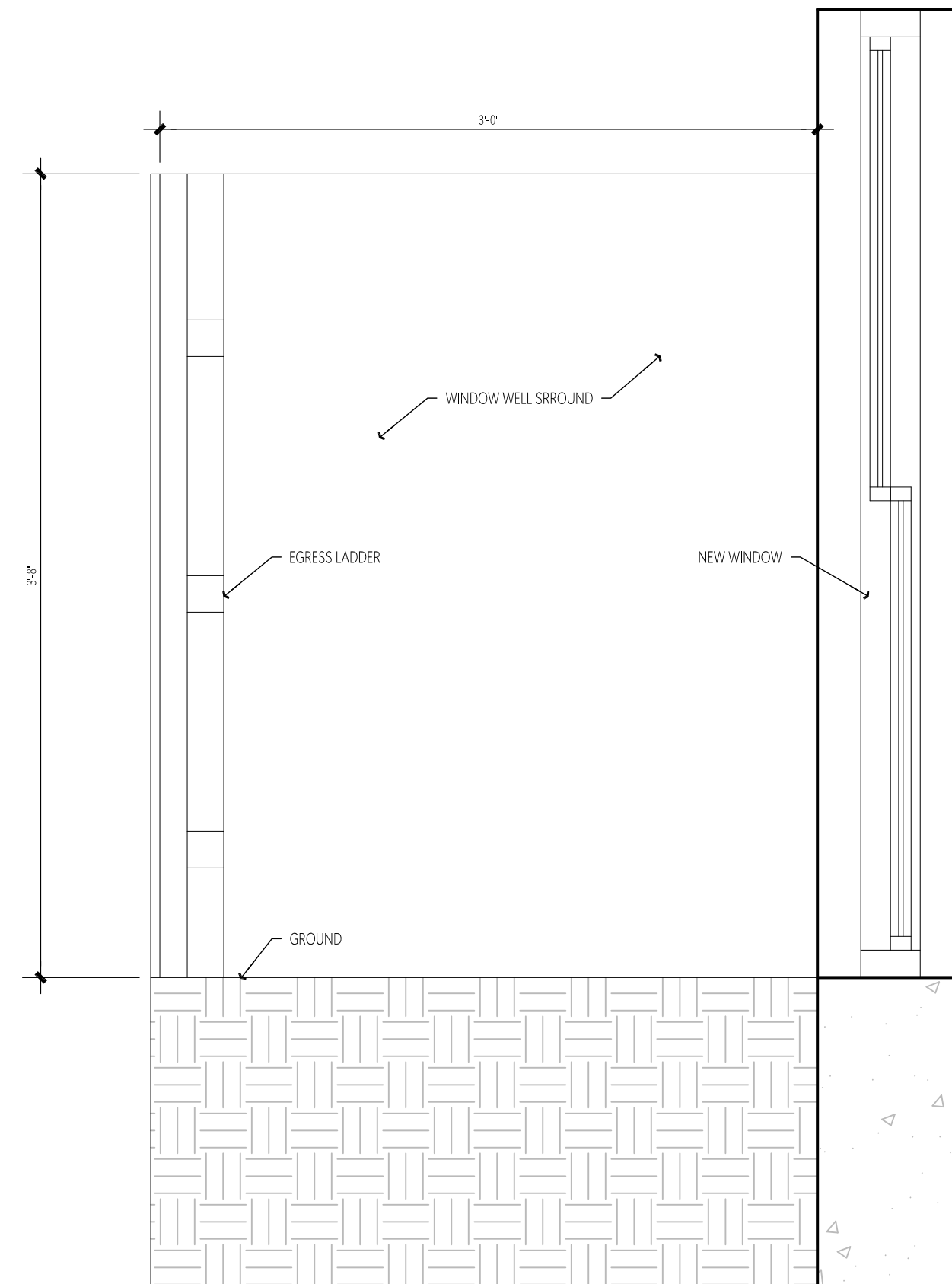
Permit # _____
Office use only

WESTON D JOHNSON
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20184030786
MY COMMISSION EXPIRES AUG 1, 2026



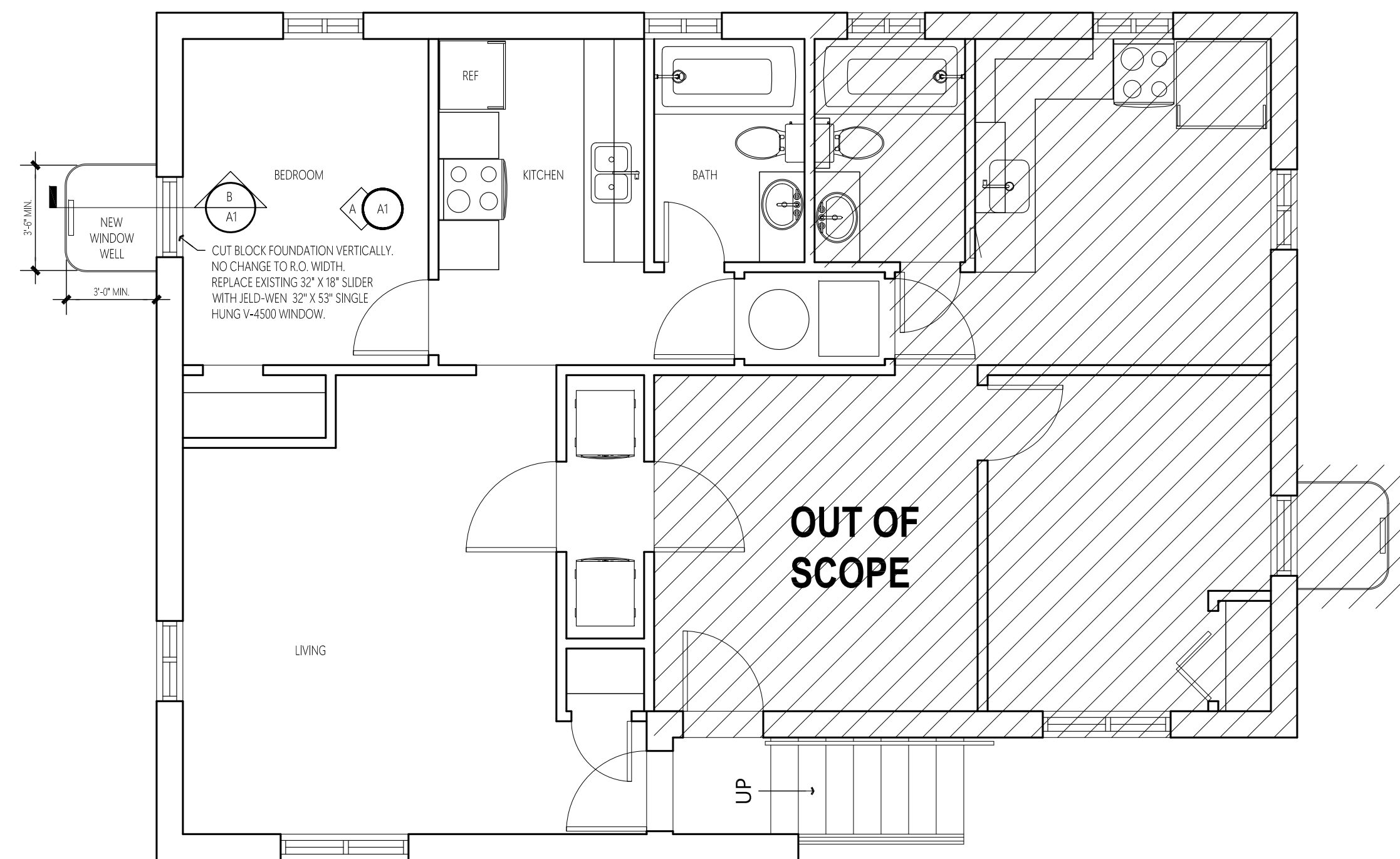
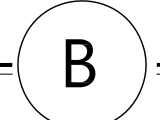
Egress Window
INTERIOR ELEVATION

SCALE: 3/8" = 1'-0"



Egress Window
SECTION

SCALE: 1/4" = 1'-0"



Unit B
FLOOR PLAN

SCALE: 1/4" = 1'-0"



GENERAL CONSTRUCTION NOTES

- ALL EXISTING BUILDING CONDITIONS TO BE FIELD VERIFIED. GENERAL CONTRACTOR RESPONSIBLE TO INFORM ALL SUBCONTRACTORS OF ANY DISCREPANCIES OF THE EXISTING CONDITIONS AS SHOWN ON THE PLANS AND THE ACTUAL EXISTING CONDITIONS AT PROPERTY.
- WHERE EXISTING CONDITIONS CONFLICT WITH DIMENSIONS GIVEN ON DRAWINGS, EXISTING CONDITIONS SHALL GOVERN.
- SITE TO BE MAINTAINED IN CLEAN, SAFE, AND ORDERLY CONDITION. EXTERIOR AND INTERIOR CONDITIONS TO BE CLEANED PROPERLY UPON COMPLETION.
- CONTRACTOR TO BRACE AND PROTECT ALL WORK IN PROGRESS UNTIL CONSTRUCTION IS COMPLETED.
- CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT CONDITIONS OR DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR FOR ALL PHASES, INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- CONTRACTOR RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION IS IN COMPLETE COMPLIANCE WITH ALL CONSTRUCTION REQUIREMENTS OF GOVERNING BUILDING CODES AND REGULATIONS, INCLUDING - BUT NOT LIMITED TO - THE 2021 INTERNATIONAL RESIDENTIAL CODE.
- ALL PENETRATIONS AND HOLES CUT THROUGH FRAMING MEMBERS SHALL ACCURATELY FOLLOW THE REQUIREMENTS OF THE MANUFACTURER AND ACCEPTED BUILDING STANDARDS.
- ALL STRUCTURAL MEMBERS ARE TO BE FASTENED AND SECURED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE MANUFACTURER, INCLUDING THE USE OF APPROPRIATE NAILS, CONNECTORS, HANGERS, RIM JOISTS, WEB STIFFENERS, BRACING, ETC.
- CONTRACTOR IS TO PROVIDE ALL ADDITIONAL WOOD BRACING AND BLOCKING AS REQUIRED TO STABILIZE ALL BUILT ELEMENTS, EVEN WHEN NOT INDICATED ON DRAWINGS. ALL SUCH BRACING AND BLOCKING SHALL BE CONCEALED BEHIND FINISHES.
- INSTALL ALL FIXTURES AND EQUIPMENT PER MANUFACTURERS INSTRUCTIONS AND GUIDELINES.

PROJECT DIRECTORY

OWNER	2Sandys East Elizabeth, LLC
DESIGNER	Studio Topaz LLC 817 Oak St Windsor, CO 80550 970-914-1943
GENERAL CONTRACTOR	Stanwood Construction 452 S Link Lane Fort Collins, CO 80524 970-218-9824

CODE DATA

JURISDICTION: CITY OF FORT COLLINS
SCOPE: ADDITION OF EGRESS WINDOW WELL AT BASEMENT UNIT

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS. ADDITIONALLY, ALL WORK SHALL CONFORM TO LOCAL ZONING AND ALL OTHER APPLICABLE ADOPTED CODES.

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL FUEL & GAS CODE
- 2021 INTERNATIONAL PLUMBING CODE

DRAWING SYMBOL LEGEND

ELEVATION MARK:

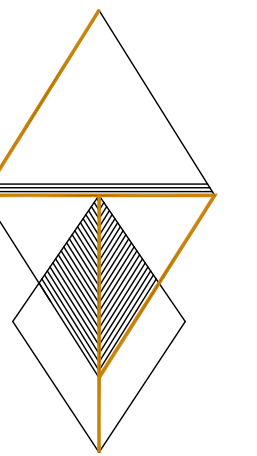
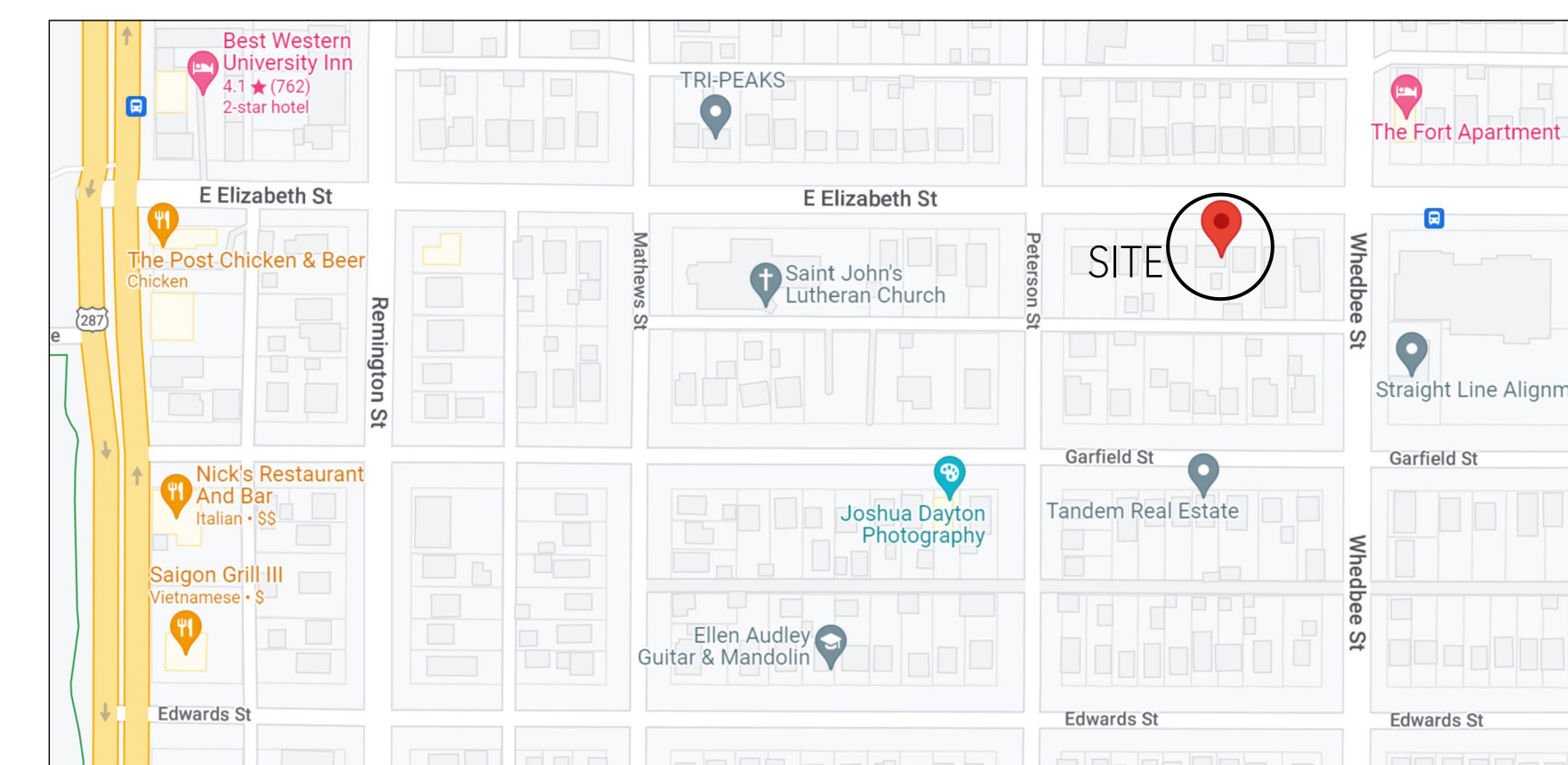
VIEW TITLE:

FLOOR PLAN: SCALE: 1/8" = 1'-0" PLAN NORTH

INTERIOR ELEVATION: SCALE: 3/8" = 1'-0"

NORTH ARROW:

VICINITY MAP



STUDIO TOPAZ
817 OAK STREET WINDSOR, COLORADO 80550
970-914-1943
WWW.STUDIOTOPAZDESIGN.COM

UNIT B
419 E Elizabeth St, Unit B Fort Collins, CO 80524

FOR PERMIT

NO.	DESCRIPTION	DATE
1	FOR REVIEW	4/6/2023
2	FOR PERMIT	4/10/2023

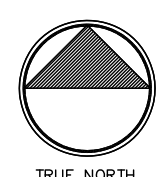
A1

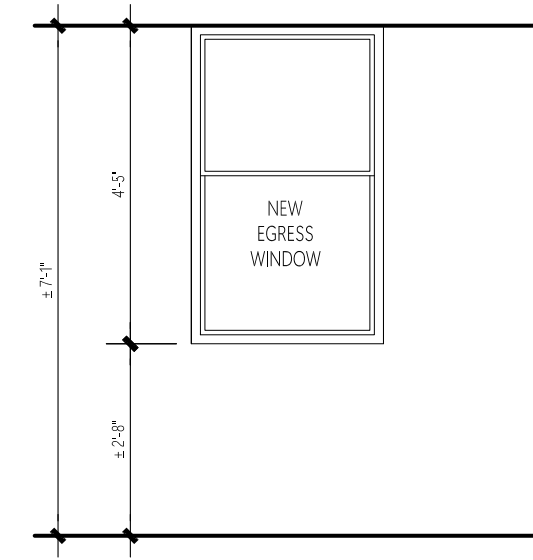
COVER SHEET
FLOOR PLAN
INTERIOR ELEVATION
SECTION

PROJECT: 2213

DRAWN BY: K. JOHNSON

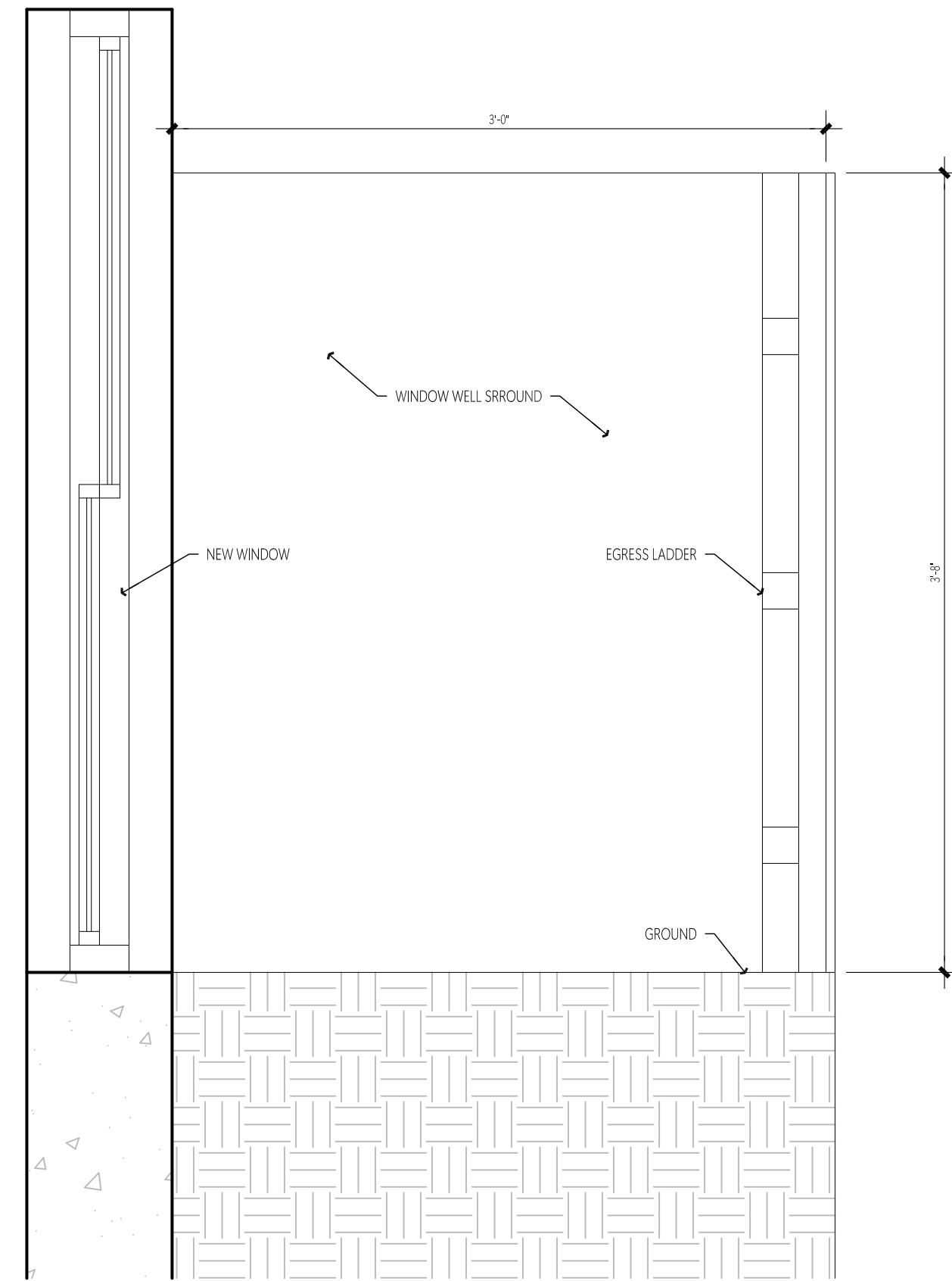
419 E Elizabeth St
Fort Collins, CO 80524





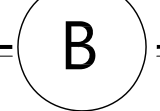
Egress Window
INTERIOR ELEVATION

SCALE: 3/8" = 1'-0"



Egress Window
SECTION

SCALE: 1/4" = 1'-0"

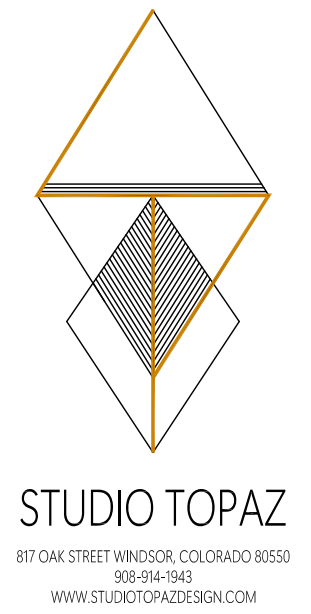


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DRAWING SYMBOL LEGEND

ELEVATION MARK:

VIEW TITLE:

NORTH
ARROW

FLOOR PLAN

SCALE: 1/8" = 1'-0"



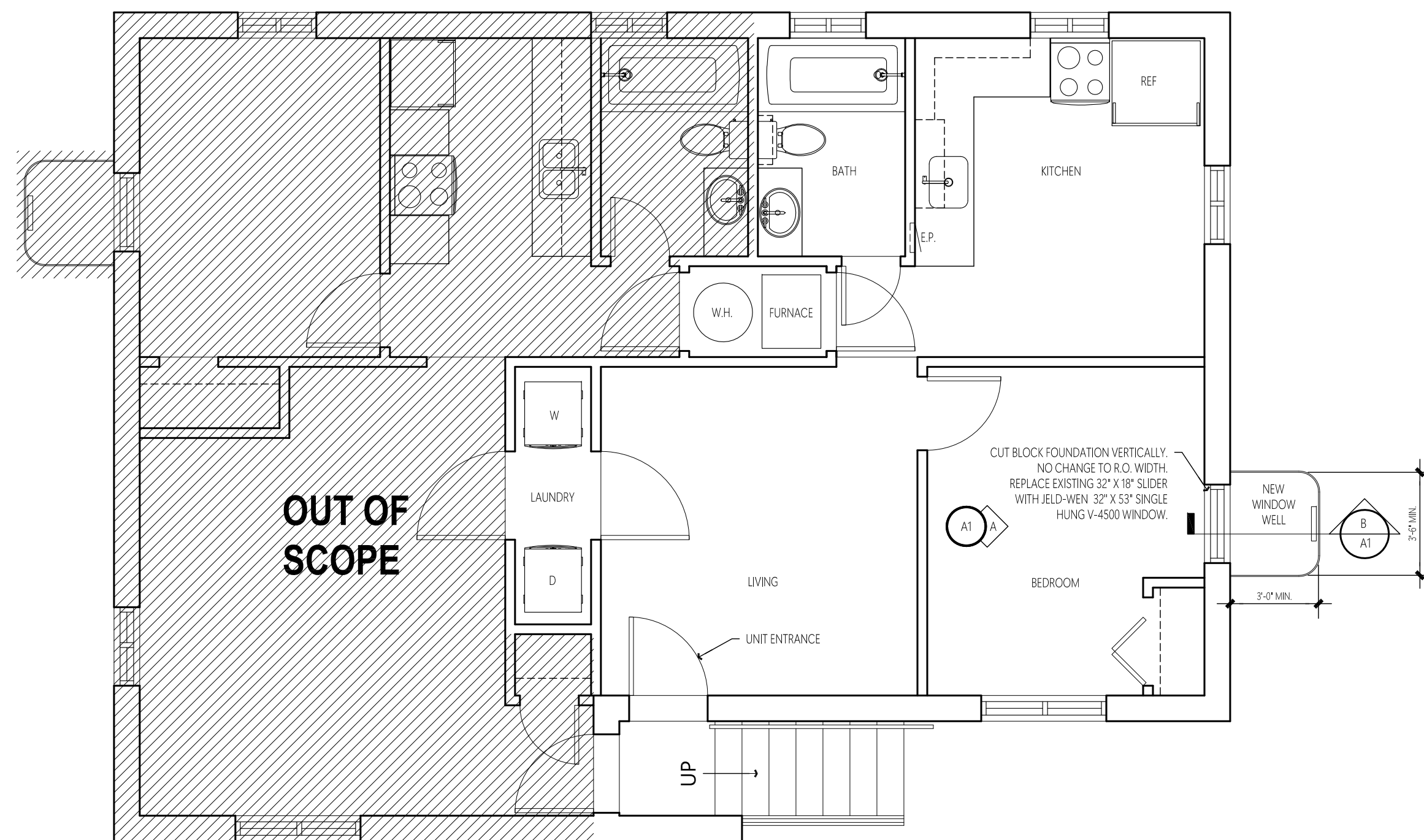
PLAN NORTH

INTERIOR ELEVATION

SCALE: 3/8" = 1'-0"



UNIT C
 419 E Elizabeth St, Unit C Fort Collins, CO 80524

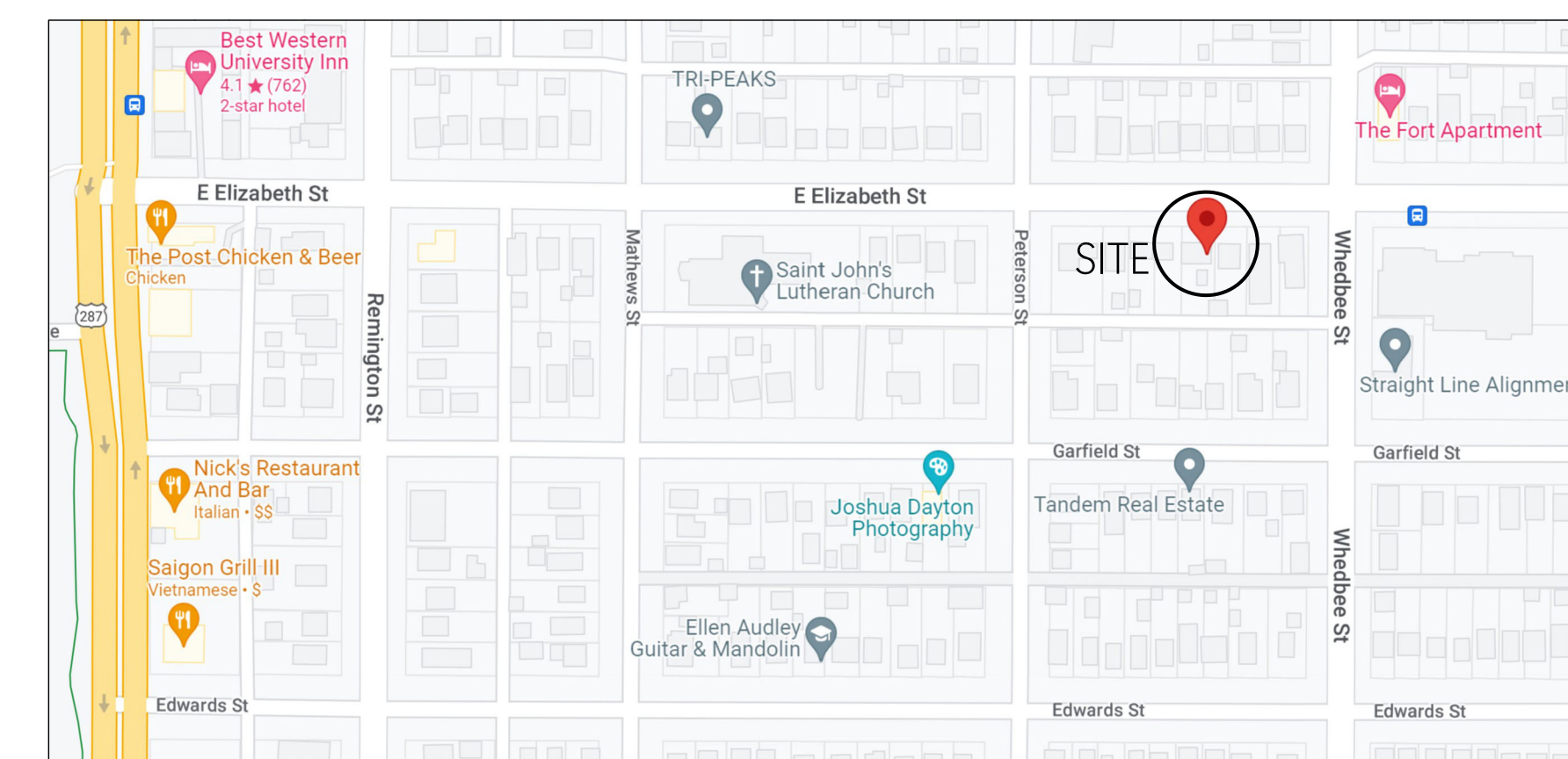


Unit C
FLOOR PLAN

SCALE: 1/4" = 1'-0"



VICINITY MAP



FOR PERMIT

NO.	DESCRIPTION	DATE
1	FOR REVIEW	4/7/2023
2	FOR PERMIT	4/10/2023

A1

COVER SHEET
 FLOOR PLAN
 INTERIOR ELEVATION
 SECTION

PROJECT: 22-13

DRAWN BY: K. JOHNSON

419 E Elizabeth St
 Unit C
 Fort Collins, CO 80524



TRUE NORTH

From: [Sandy Willison](#)
To: [Historic Preservation](#)
Subject: [EXTERNAL] Re: 419 E. Elizabeth - Building Permits B2302492 and B2302495
Date: Monday, April 17, 2023 4:04:02 PM
Attachments: [image.png](#)
[image.png](#)
[image.png](#)

Hello Yani,

The existing windows and the new windows will be vinyl.

This is the link to the Jeld Wen window that we will use. They will both be single hung units without grids or grills.

<https://www.jeld-wen.com/en-us/products/windows/premium-vinyl-v-4500/single-hung>

This is a close up of the existing vinyl windows that will be replaced. They are the same.



This are the two windows that need to be replaced



Sandy Willison
Sagert-Willison, Inc.
452 S Link Lane
Fort Collins, CO 80524
970.218.9824

From: Historic Preservation <preservation@fcgov.com>
Sent: Monday, April 17, 2023 10:35 AM
To: STARWD1@MSN.COM <STARWD1@MSN.COM>
Cc: Historic Preservation <preservation@fcgov.com>
Subject: 419 E. Elizabeth - Building Permits B2302492 and B2302495

Hi Sandy!

This is Yani Jones with the City of Fort Collins Historic Preservation office. I've been routed on the review for your egress window permits for 419 E. Elizabeth St. Units B and C because this property is in the Laurel School Historic District on the National Register of Historic Places, and because exterior alterations to multifamily and commercial buildings 50+ years old are subject to historic preservation review under Land Use Code [Sec. 3.4.7](#). I have access to your submitted application, but in order to complete my review, I'll need a little more information – Can you please email over the following?

- Description of the material of the existing and the proposed windows (e.g., wood, aluminum, vinyl-clad wood, etc.)
- Type of proposed windows (Including description of divided lites, if any. Product links also work! I see your application shows 1/1 sash egress windows, but I'd like to confirm that's what's planned.)
- Photos of existing windows proposed for egress conversion (please label with Unit B or C)

Thank you! I'll put a "hold" on your permit in the online permitting system so the Building folks know you're working on getting me these photos/info.

Take care,

Yani

.....

YANI JONES

Pronouns: She/Her ([What's this?](#))

Historic Preservation Planner

City of Fort Collins Historic Preservation Services

(970) 658-0263

<https://www.fcgov.com/historicpreservation/>