



## Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue

P.O. Box 580

Fort Collins, CO 80522.0580

970.416.4250

[preservation@fcgov.com](mailto:preservation@fcgov.com)

[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

### CERTIFICATE OF APPROPRIATENESS

ISSUED: April 13, 2023

EXPIRATION: April 13, 2024

AnnMarie Banchy and John W. Green  
c/o Steve Josephs, Craftsmen Builders, Inc.  
319 E. Magnolia St.  
Fort Collins, CO 80524

Dear Property Owner:

This letter provides you with confirmation that the proposed changes to your designated historic multifamily property, the William B. Miner Property, have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Demo existing concrete landings for units 1 and 2
- 2) Replace with wood decks with rails, per plans attached
  - a. *Please take care if attaching railing anchor points to building not to damage the brick – Anchor into mortar if possible.*

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-658-0263.

Sincerely,

Yani Jones  
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p><b>This project does not impact the use of the property as a multifamily residential building.</b></p>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p><b>The materials being removed, concrete landings, are not historic, characteristic materials.</b></p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p><b>Because of the limited footprint of the new wood decks to the approximate size and location of the existing concrete stoops and because of their understated design, a false sense of historical development is avoided.</b></p>	Y
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p><b>The concrete landings being demolished are not distinctive materials, features, finishes, or examples of construction for this property.</b></p>	Y

<p><b>SOI #6</b></p>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p><b>Although the landings being replaced are of concrete material, they are not historic features, and so use of a wood material to replace the deteriorated landings or uneven steps is compatible and acceptable. It should be noted that the original design of this building featured a much wider porch at the location of the rear deck (and the front porch was also open), and should it be desired to enlarge this porch space in the future, a historic photograph is available to inform the design.</b></p>	<p><b>Y</b></p>
<p><b>SOI #7</b></p>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #8</b></p>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p>	<p><b>N/A</b></p>
<p><b>SOI #9</b></p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>The new decks for units 1 and 2 will not result in the destruction of historic materials characteristic to the property. The decks are of a compatible material with the existing building, wood, but the design is also simple enough to be differentiated from a historic feature.</b></p>	<p><b>Y</b></p>
<p><b>SOI #10</b></p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>The decks would be able to be removed in the future, so they do not have an impact on the essential integrity of the building.</b></p>	<p><b>Y</b></p>



BUILDING PERMIT APPLICATION

FOR OFFICE USE
APPLICATION NUMBER: APPLICATION DATE:

Job Site Address 503 Mathews St Unit# 1

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name GREEN First Name JOHN/ANNE Middle
Street Address 503 MATHEWS City FT COLLINS State CO Zip 80524
Phone # 860-970-9356 Email ABANCHY@ME.COM

Name of Business (COMMERCIAL USE ONLY)

CONTRACTOR INFO: Company Name C RAFTSMEN BUILDERS INC.

License Holder Name STEVE JOSEPHS LIC # D-607 CERT # 1241-D1

LEGAL INFO:

Subdivision/PUD //10135- Filing # Lot # 4 Block # 135 Lot Sq Ft 7420

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) 3130 Total Garage Sq. Ft.

Residential Sq Ft 3130 Commercial Sq Ft # of Stories 2 Bldg Ht 30 # of Dwelling Units 3
1st Floor Sq Ft 1817 2nd Floor Sq Ft 1313 3rd Floor Sq Ft 0 Unfinished Basement Sq Ft 0
Finished Basement Sq Ft 0 # of Bedrooms 44 # of Full Baths 3
3/4 Baths 1 1/2 Baths # Fireplaces 0

ENERGY INFORMATION: (CHECK ONE)

Prescriptive Performance U/Arescheck ERI ASHRAE Component/Comcheck IDAP

Air Conditioning? YES NO

City of Fort Collins Approved Stock Plan # SPO List Option #s

Utilities INFO:

New Electric Service Electric Service Upgrade Electric Meter Relocation
Electric Main Breaker Size (Residential Only): 150 amps or less 200 amps Other:
Gas Electric Electric Temp Pedestal? Yes No

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.)

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes No If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes No

If yes, please describe:

**Value of Construction (materials and labor):** \$ XXXX 4000.00

**Description of Work:** DEMO OF 2 EXISTING CONCRETE LANDINGS AND STAIRS  
FOR APARTMENTS 1 AND 2. THEY WILL BE REPLACED WITH WOOD DECKS AND STAIRS PER PLAN  
Apt 1 18 square feet

**JOBSITE SUPERVISOR CONTACT INFO:** Name STEVE JOSEPHS Phone 970-218-6905

**SUBCONTRACTOR INFO:** Electrical NA Mechanical NA  
Plumbing NA Framing CRAFTSMEN BUILDERS INC Roofing NA  
Fireplace NA Solar NA Other \_\_\_\_\_

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_
- An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  Type or Print Name STEVE JOSEPHS  
Phone # 970-218-6905 Email STEVE@CRAFTSMENBUILDERSINC.COM

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**

## Residential Deck Guide

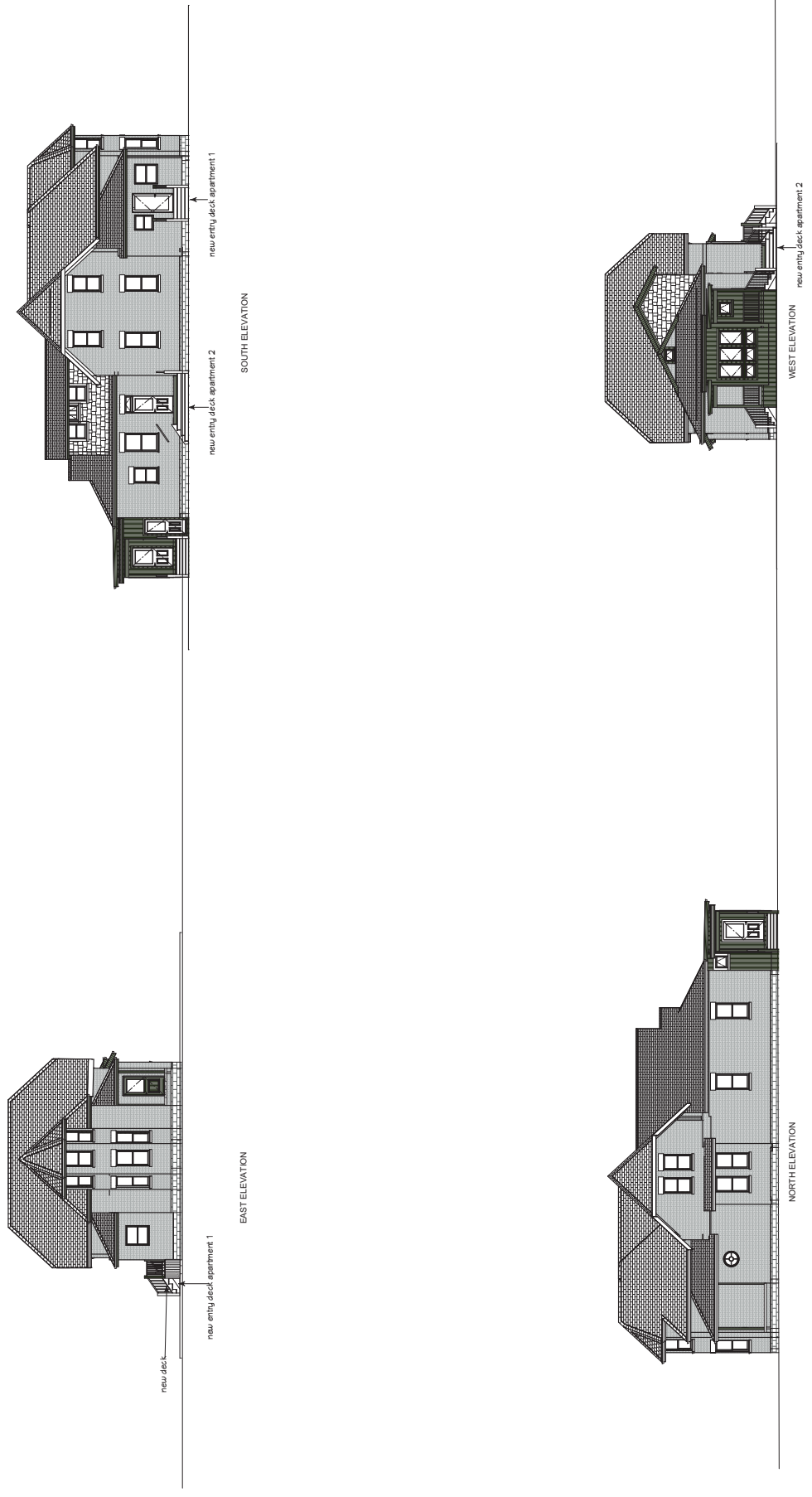
**Check one of the following:**

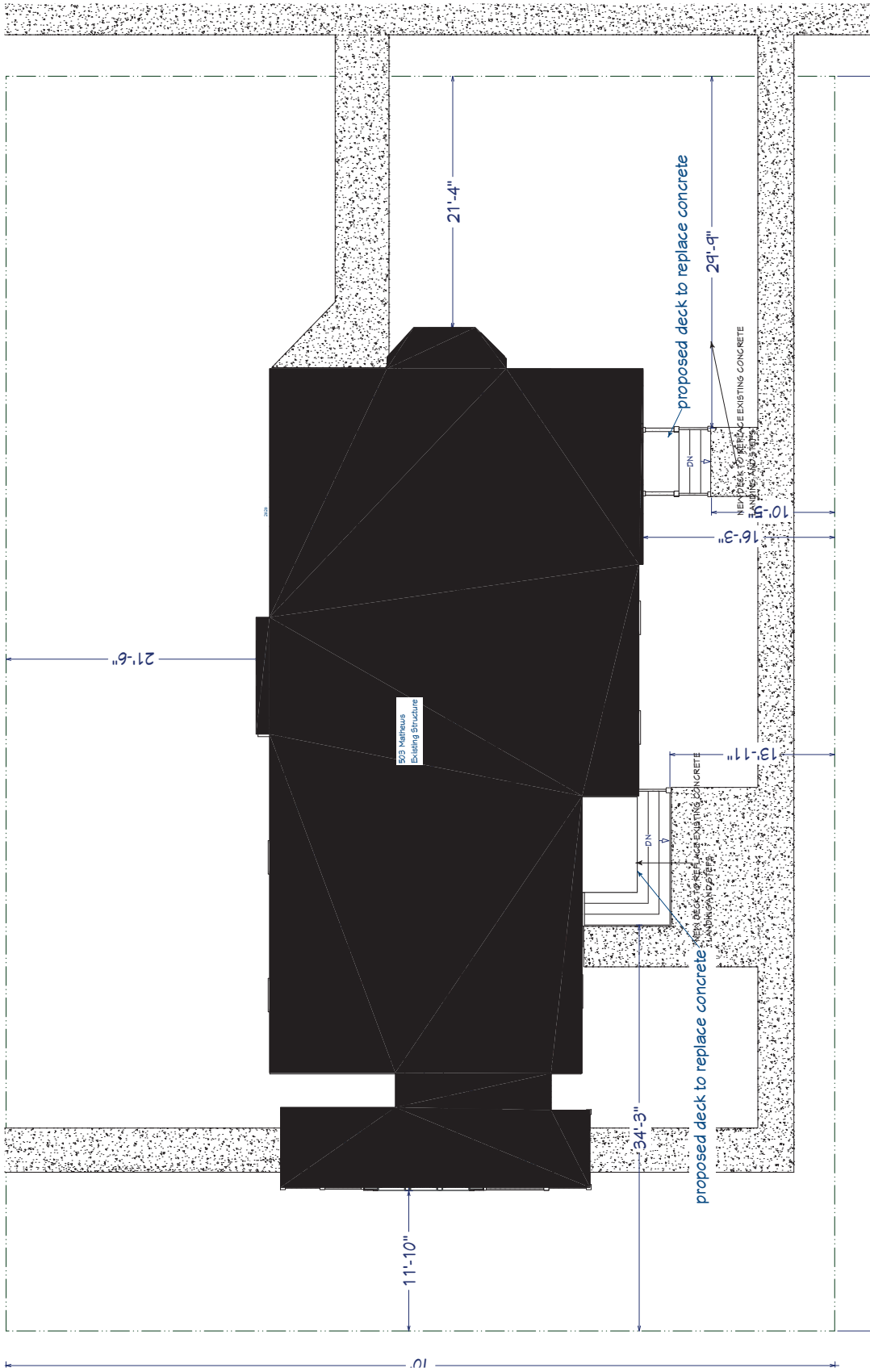
- The deck is professionally engineered and stamped. Any fields not provided on the plans have been filled out below.
- The porch/stairs are entirely concrete (fields below do not apply, but plans show height, stairs, guards, etc. per code)
- The deck is designed to minimum code. (Fill in the sections below and show on plans).

2021 International Residential Code & local amendments: <https://www.fcgov.com/building/codes.php>

1. Access the code: <https://codes.iccsafe.org/content/IRC2021P1/chapter-5-floors> 2. Go to section R507.

Code section	Deck components	Select/Fill in the blank
<b>Decking</b>		
R507.2 and R507.7	Decking Material	· baked ash
	Orientation of decking to joists	· perpendicular
<b>Joists</b>		
Table 507.6 <i>(use 40 live load row)</i>	Wood Species <small>(Redwood, Cedar etc. are species, treated is not a species)</small>	· treated S.Y.P
	Joist Size	·
Figure R507.6	Joist Spacing / Joist Span	·
	Do the joists cantilever? How far?	·
<b>Beams</b>		
Table R507.5 (1) <i>(40 PSF live load)</i>	Wood Species <small>(Redwood, Cedar etc. are species, treated is not a species)</small>	· treated S.Y.P
	Beam Size	·
Section R507.5	Beam Span	·
	Does the beam cantilever? How far?	·
<b>Posts*</b>		
Table 507.4 <i>(use 40 live load row)</i>	Wood Species <small>(Redwood, Cedar etc. are species, treated is not a species)</small>	· redwood
	Size of Post	
	Post Height	
<b>Piers</b>		
Figure R507.3 Table 507.3.1 <i>(use 40 live load row, 1500 psf column)</i> R507.3	Type of footing/Piers	Show on plans
	Depth of Pier	<input type="checkbox"/> Freestanding deck = 12" min * <input type="checkbox"/> Attached Decks = 30" min frost depth
	Size of pier	Show on plans <input type="checkbox"/>
<b>Connection Details</b>		
R507.4.1 & R507.3	Footing/pier to Post Connection	Show on plans <input type="checkbox"/>
R507.5.1 & R507.5.2	Post to Beam Connection	Show on plans <input type="checkbox"/>
R507.6.1 & R602.3.1	Joist to Beam Connection	Show on plans <input type="checkbox"/>
Table R507.9.1 Tables R507.9.3(1 & 2); R507.9.1.1 Figure R507.9.1.3 (1 & 2)	Ledger Connection to house with flashing (2x8 min ledger size)	Show on plans <input type="checkbox"/>
R507.9.2 Figure R507.9.2 (1 or 2)	Lateral Connection	Show on plans <input type="checkbox"/>







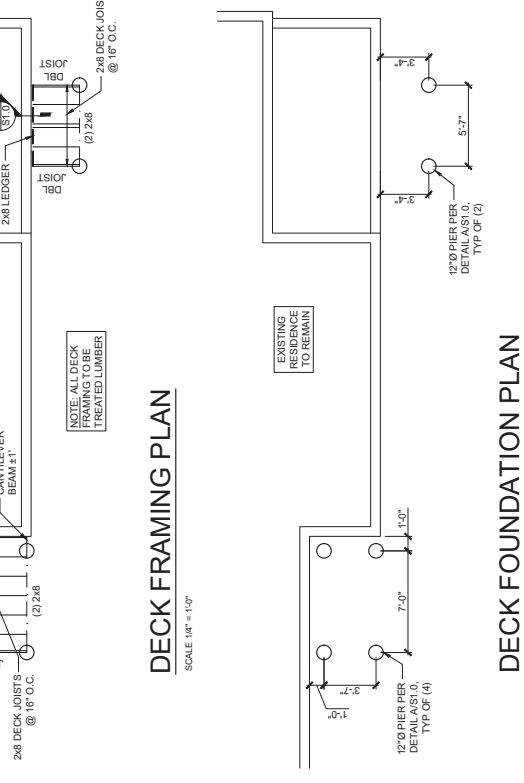
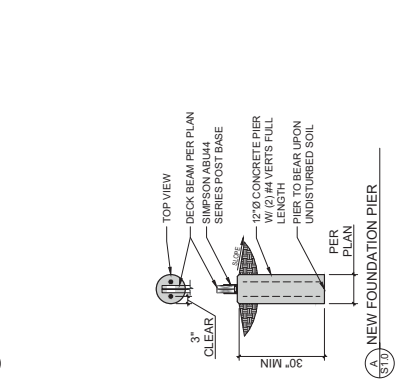
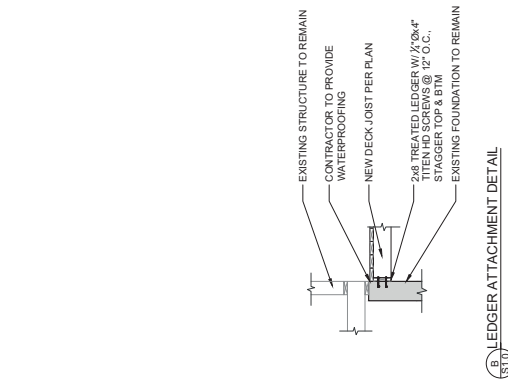
**GENERAL NOTES**

**1. Materials:**  
This plan is based upon the following material properties:  
**Concrete:** Concrete shall contain Type II cement, 6.9%+/- 0.5% air entrainment, and a minimum 28 day compressive strength of 4000 psi for structural concrete, 3500 psi for interior slabs on grade, and 4500 psi exterior slabs on grade.  
**Reinforcing:** Reinforcing shall be deformed grade 60 steel unless noted otherwise (U.S. Standard Specification for Reinforcing Steel Bars). For concrete cover shall be 2" U.N.O. on the slab. Overseas shall be 40 bar diameter but not less than 24" (in). Detail reinforcing bars in accordance to the ACI detailing manual and ACI code, latest edition. All reinforcement shall be lap spliced in accordance to ACI code. Footing reinforcement shall utilize slabs or other acceptable methods to achieve the required cross section location.  
**Anchor Bolts:** Foundation anchor bolts shall conform to ASTM A307 and be 1/2" (in) diameter by 10" (in) long spaced at 4'-0" maximum and 12" (in) from corners and spaces. We recommend using engineered sill plate material.  
**Fasteners and connectors:** All fasteners and connectors in contact with pressure treated lumber shall be G185 hot-dip galvanized, Type 304 stainless steel or Type 316 stainless steel.  
**2. Soils:** Site soils are assumed to have an allowable bearing pressure of 1500 psf. The assumed values are from the 2021 IRC Table R401.4.1. Soils conditions inconsistent with the assumed soils may require additional evaluation or a foundation redesign, and should be verified by a geotechnical engineer. Footings shall be placed on undisturbed native soils. Note if foundations do not bear below frost depth, it is the owner/contractors responsibility to accept the risks associated with frost heave. Since the structure is a shed, it is not required to bear at frost depth level.  
**3. Backfill:** We recommend foundation walls not be backfilled for a minimum of eight days after placement of concrete. Prior to backfilling, damp-proofing all foundation walls that retain earth and enclose interior spaces, as required by local code. All floor systems should be in place and ready for backfilling. We recommend imported granular (non-expansive) structural fill be used for backfilling around all foundation walls and beneath all slab-on-grade areas for sites where expansive soils are prevalent. In lieu of imported granular fill, the onsite soils could be used for backfilling if approved by a geotechnical engineer. Backfill should be adequately compacted and graded to provide adequate drainage away from the foundation. Provide code specified separation from top of wall to finished grade. Backfill adjacent to the foundation may settle over time. The backfill must be monitored and maintained to provide adequate drainage away from the foundation.

**4. Framing:** All framing shall be in accordance with the provisions of 2021 IRC. All manufactured wood products shall be installed per the manufacturer's specifications. Refer to the code for additional requirements.  
**Misc:** All wood in contact with concrete shall be pressure treated or redwood.  
**5. Limitations:** It is the contractor/owner responsibility to verify and coordinate all dimensions prior to construction. Block ledges, foundation steps, insets, beam pockets, and basement and/or contractor/owner furnished plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of the engineer. We recommend a copy of the Swelling Soils for Colorado by the authors and Home Depot's Soil Survey Report be provided to the contractor and owner prior to any new or future owners of this property.

**DESIGN CRITERIA**

<b>Referenced Design Codes:</b>	2021 IRC, ASCE 7-16 ACI 302, 2018 NDS
<b>Deck Loads:</b>	Risk Category II
Deck Dead Load	12 psf
Deck Live Load	40 psf
Ground Snow Load	35 psf
Snow Exposure Factor	1
Snow Importance Factor	1
Snow Thermal Factor	1.1



**DECK FRAMING PLAN**  
SCALE 1/4" = 1'-0"

**DECK FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"



