



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS – Minor Alteration

ISSUED: April 13, 2023

EXPIRATION: April 13, 2023

Angela King & David Rose
4101 Green Ridge Dr.
Laporte, CO 80535-9350

Dear Property Owner:

This letter provides you with certification that proposed work to your designated Fort Collins landmark property, the Ralph House at 641 Remington Street has been approved by the City's Historic Preservation Division (HPD) because the proposed work appears to be routine in nature with minimal effects to the historic resource, and meets the requirements of Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

The alterations reviewed include:

- Demolition of non-historic fence along alley
- Demolition or relocation of non-historic shed along alley
- Installation of Class 6 roadbed (recycled concrete) along rear of property

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please note that work beyond that indicated in your permit application/correspondence requires additional approval.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact our staff at preservation@fcgov.com or 970-224-6078.

Sincerely,

Jim Bertolini
Senior Historic Preservation Planner



Alley view

DOWNTOWN ALLEY ENHANCEMENTS
 EAST MYRTLE ALLEY
 FORT COLLINS, CO
 CONSTRUCTION DOCUMENTS

OWNER:
 DOWNTOWN DEVELOPMENT
 AUTHORITY
 19 OLD TOWN SQUARE
 SUITE 230
 FORT COLLINS, CO 80524



NOT FOR
 CONSTRUCTION
 DATE:
 01/23/23 90% CD

SHEET TITLE:
 SITE
 PLAN

LS-101
 SHEET 15 OF 46

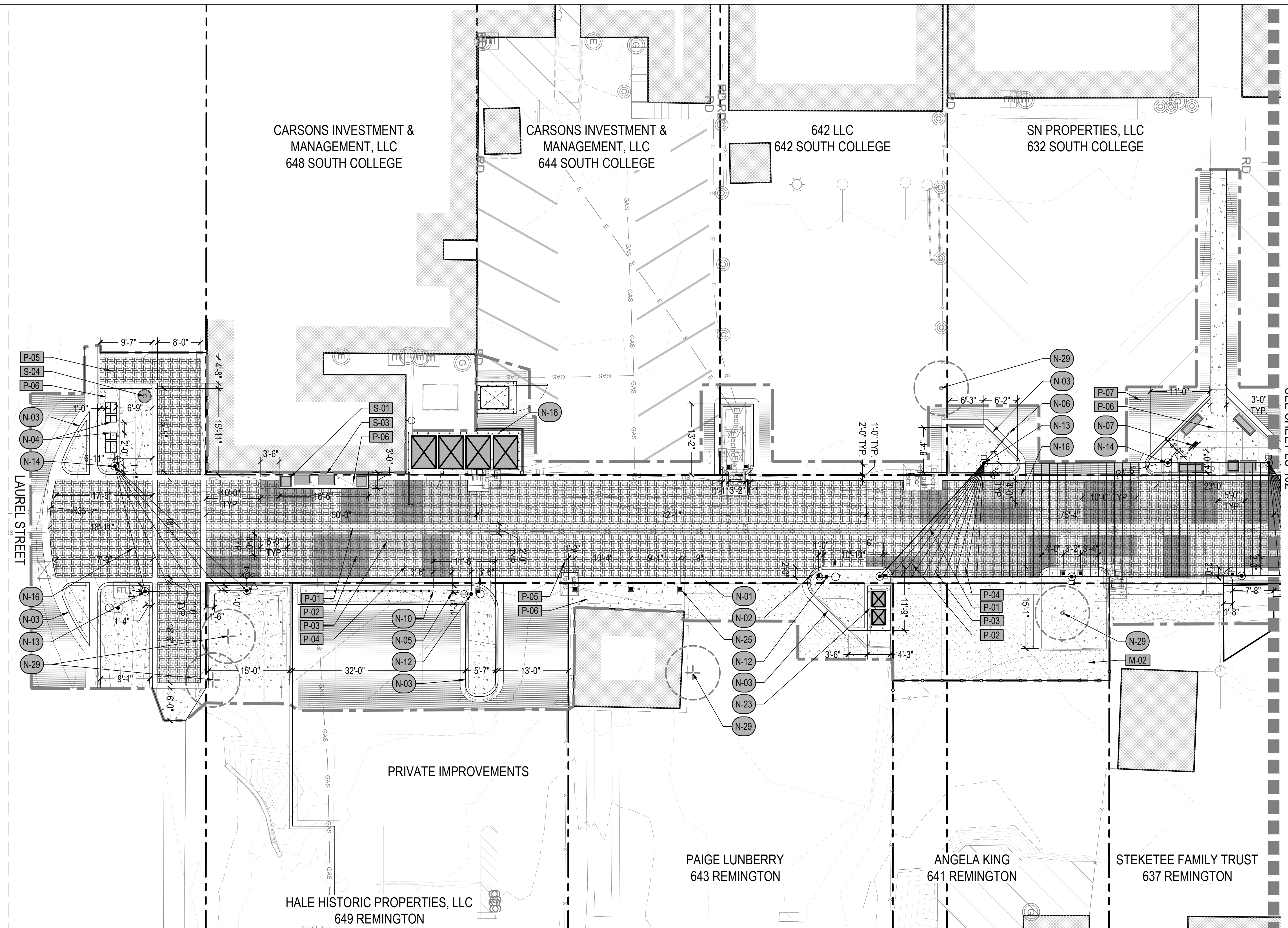
LEGEND

	PROPERTY LINE
	LIMIT OF WORK
	FESTOON LIGHTING, REFER TO ELECTRICAL
	DECORATIVE FENCE
	6' FENCE
	MATCH LINE
	EXISTING BUILDING
	EXISTING WALL MOUNTED LIGHT
	PEDESTRIAN LIGHT POLE
	FESTOON LIGHT POLE
	FESTOON/ PROJECTION POLE
	PROJECTION POLE
	TRASH ENCLOSURE LIGHT
	EXISTING TREES TO REMAIN

CODE	DESCRIPTION
M-01	PLANTING AREA
M-02	CLASS 6 ROAD BASE

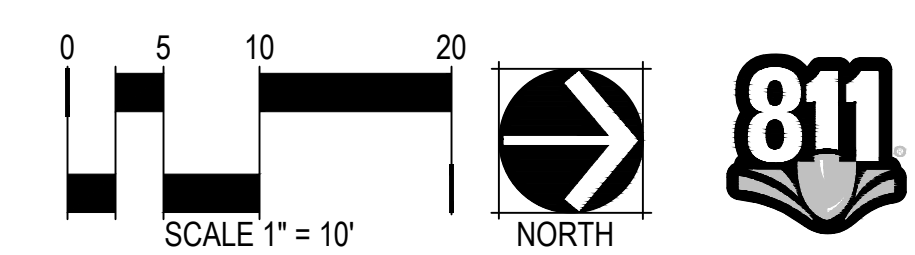
CODE	DESCRIPTION
P-01	PAVER A - PEWTER
P-02	PAVER B - RIVER RED
P-03	PAVER C - BUFF
P-04	PAVER D - CHARCOAL
P-05	PAVER E - EDDINGTON BLEND
P-06	CONCRETE FLATWORK
P-07	ASPHALT

SYMBOL	DESCRIPTION
	S-01 PLANTER POT TYPE 1 - GRAPHITE
	S-02 PLANTER POT TYPE 2 - GRAPHITE
	S-03 3' BENCH
	S-04 TRASH RECEPTACLE



KEY NOTES

CODE	DESCRIPTION	DETAIL	CODE	DESCRIPTION	DETAIL	CODE	DESCRIPTION	DETAIL
N-01	12" CONCRETE HEADER	1&2 / LS-502	N-12	PEDESTRIAN LIGHT POLE, RE: ELECTRICAL		N-21	TRASH SCREEN LAYOUT C	2 / LS-504
N-02	CONCRETE CURB	3 / LS-501	N-13	FESTOON LIGHT POLE	6&7 / LS-503	N-22	TRASH SCREEN LAYOUT D	3 / LS-504
N-03	CURB AND GUTTER	4 / LS-501	N-14	FESTOON/PROJECTION POLE	6&7 / LS-503	N-23	TRASH SCREEN LAYOUT E	5 / LS-504
N-04	ARTIFACT - RAM HORN	1 / LS-506	N-15	PROJECTION POLE	6&7 / LS-503	N-24	EXISTING GATE TO BE FIXED	
N-05	ARTIFACT - HOP	2 / LS-506	N-16	FESTOON LIGHTS, RE: ELECTRICAL		N-25	STEEL BOLLARD	1 / LS-505
N-06	ARTIFACT - ANGLER	3 / LS-506	N-17	TRASH ENCLOSURE LIGHT, RE: ELECTRICAL		N-26	EXISTING BOLLARD, PAINT BLACK	
N-07	ARTIFACT - FISH	1 / LS-507	N-18	TRASH SCREEN LAYOUT A	1 / LS-503	N-27	100-YR FLOODPLAIN	
N-08	ARTIFACT - BEETS	2 / LS-507	N-19	TRASH ENCLOSURE LAYOUT A	3 / LS-503	N-28	FLOODWAY	
N-09	ARTIFACT - BIKE	3 / LS-507	N-20	TRASH SCREEN LAYOUT B	1 / LS-504	N-29	EXISTING TREE TO REMAIN	5 / LP-501
N-10	DECORATIVE SCREEN FENCE	4 / LS-506						
N-11	ELECTRICAL CONTROL CABINET, RE: ELECTRICAL							



CHECKED BY: CS, SW
 DRAWN BY: EN, IP