



## Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue

P.O. Box 580

Fort Collins, CO 80522.0580

970.416.4250

[preservation@fcgov.com](mailto:preservation@fcgov.com)

[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

### REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 505 E. Laurel St.

Laurel School National Register Historic District

ISSUED: February 1, 2023

Helen E. Williams/Trustee  
c/o Gregg Knapp, Complete Basement Systems  
11795 E. 45<sup>th</sup> Ave.  
Denver, CO 80239

Dear Property Owner:

This report is to inform you of the results of this office's review of proposed alterations to 505 E. Laurel St., pursuant to Fort Collins Municipal Code, Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation as well.

The alterations reviewed include:

- Installation of 28 helical piers to stabilize foundation

Our staff review of the proposed work finds the alterations meet the SOI Standards for Rehabilitation and the project appears to be routine in nature with minimal effects to the historic resource, meeting the requirements of Article IV cited above.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please note that work beyond that indicated in your permit application/correspondence requires additional approval.

If you have any questions regarding this report, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-224-6045.

Sincerely,

Yani Jones  
Historic Preservation Planner



**BUILDING PERMIT APPLICATION**

FOR OFFICE USE
<b>APPLICATION NUMBER:</b> _____ <b>APPLICATION DATE:</b> _____

**Job Site Address** 505 East Laurel Street, Fort Collins, CO 80524 **Unit#** \_\_\_\_\_

**PROPERTY OWNER INFO: (All owner information is required – NOT optional)**

Last Name Williams First Name Hellen Middle \_\_\_\_\_  
 Street Address 3500 Patterson Court City Fort Collins State CO Zip 80526  
 Phone # (970) 310-9183 Email leanngmassey@gmail.com

Name of Business (COMMERCIAL USE ONLY) \_\_\_\_\_

**CONTRACTOR INFO:** Company Name Groundworks Colorado DBA: Complete Basement Systems

License Holder Name \_\_\_\_\_ LIC # N/A CERT # \_\_\_\_\_

**LEGAL INFO:**

Subdivision/PUD \_\_\_\_\_ Filing # \_\_\_\_\_ Lot # \_\_\_\_\_ Block # \_\_\_\_\_ Lot Sq Ft \_\_\_\_\_

**CONSTRUCTON INFO:** Total Building Sq Ft (NOT including basement) \_\_\_\_\_ Total Garage Sq. Ft. \_\_\_\_\_

Residential Sq Ft \_\_\_\_\_ Commercial Sq Ft \_\_\_\_\_ # of Stories \_\_\_\_\_ Bldg Ht \_\_\_\_\_ # of Dwelling Units \_\_\_\_\_

1st Floor Sq Ft \_\_\_\_\_ 2nd Floor Sq Ft \_\_\_\_\_ 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft \_\_\_\_\_

Finished Basement Sq Ft \_\_\_\_\_ # of Bedrooms \_\_\_\_\_ # of Full Baths \_\_\_\_\_

¾ Baths \_\_\_\_\_ ½ Baths \_\_\_\_\_ # Fireplaces \_\_\_\_\_

**ENERGY INFORMATION: (CHECK ONE)**

ComCheck  UA (ResCheck)  SPA <sup>(Simulated Performance Alternative)</sup>  Prescriptive  ERI(Energy Rating Index)

**Air Conditioning?** YES  NO

City of Fort Collins Approved Stock Plan # SPO List Option #s \_\_\_\_\_

**UTILITIES INFO:** Gas  Electric  Electric Temp. Pedestal Yes  No

Electric Main Breaker Size (**Residential Only**): 150 amp or less  200 Amp  Other

**ZONING INFO: (COMMERCIAL USE ONLY)**

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

**For Commercial remodels and tenant finishes, please answer the following questions:**

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant  New Tenant

If for a new tenant, is this the first tenant to occupy this space?

Yes  No  If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes  No

If yes, please describe: \_\_\_\_\_

**Value of Construction (materials and labor):** \$ 55,473

**Description of Work:** Stabilize the foundation by installing (28) helical piers around the foundation wall perimeter to help mitigate vertical movement.


**JOBSITE SUPERVISOR CONTACT INFO:** Name Greg Knapp Phone 720-507-2711

**SUBCONTRACTOR INFO:** Electrical \_\_\_\_\_ Mechanical \_\_\_\_\_  
Plumbing \_\_\_\_\_ Framing \_\_\_\_\_ Roofing \_\_\_\_\_  
Fireplace \_\_\_\_\_ Solar \_\_\_\_\_ Other \_\_\_\_\_

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- I do not know if an asbestos inspection has been conducted on this property.
- An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_
- An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

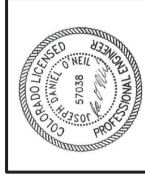
Applicant Signature  1/31/2023 Type or Print Name Greg Knapp  
Phone # 720-507-2711 Email cbs.permits@completebasementsystems.net

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**

General Notes

# HELICAL PIER INSTALLATION

PREPARED FOR:  
GROUNDWORKS



01.30.2023  
309.339.8045

No.	Revision/Issue	Date

Criterion Cons Engineers  
17965 Muzzerebale Way  
Monument, CO 80132

Project Name and Address  
LEANNE MASSEY  
505 E LAUREL ST  
FORT COLLINS, CO 80524

Project: PRJ23003	Sheet: 1 OF 2
Date: 01/30/2023	Scale: NTS

## ENGINEERS STATEMENT

THE REPAIR IS INTENDED TO PROVIDE STABILITY TO THE TO THE STRUCTURE IN THE AREAS AT WHICH PIERS ARE INSTALLED. FRONT AND REAR WALLS OF THE MAIN STRUCTURE ARE NOT INCLUDED IN THIS PROJECT.

THIS PROJECT IS NOT A GUARANTEE THAT FURTHER SETTLEMENT OR WALL CRACKING WILL NOT OCCUR IN OTHER PARTS OF THE HOUSE NOT INCLUDED IN THIS PROJECT, OR THAT SETTLEMENT OR MOVEMENT OF UNPREPARED PORTION WILL NOT RESULT IN ADDITIONAL CRACKING IN THE REPAIRED SECTIONS. PROPER GRADING AND DRAINAGE WILL HELP PROTECT THE REPAIR WORK FROM BECOMING A CONDUIT FOR MOISTURE INTRUSION TO THE DEEPER SOIL STRUCTURES.

REPAIRING A FOUNDATION SYSTEM IN A SUDDEN OR DRAMATIC FASHION USING TECHNIQUES LIKE HELICAL PIERS-PUSH PIERS, PRESSURE GROUTING, OR OTHER QUICK-ACTING LEVELING WITHOUT PROPER METHODOLOGIES CAN HAVE ADVERSE EFFECTS, SUCH AS EXTENSIVE INTERIOR FINISH (DRYWALL) DAMAGE, CRACKS IN TILE FLOORS BUCKLING OR SEPARATION OF WOOD FLOORS, STICKING OR NON-FUNCTIONING WINDOW AND DOOR JAMBS.

CONTACT ENGINEER IF UNEXPECTED FIELD CONDITIONS ARE DISCOVERED.

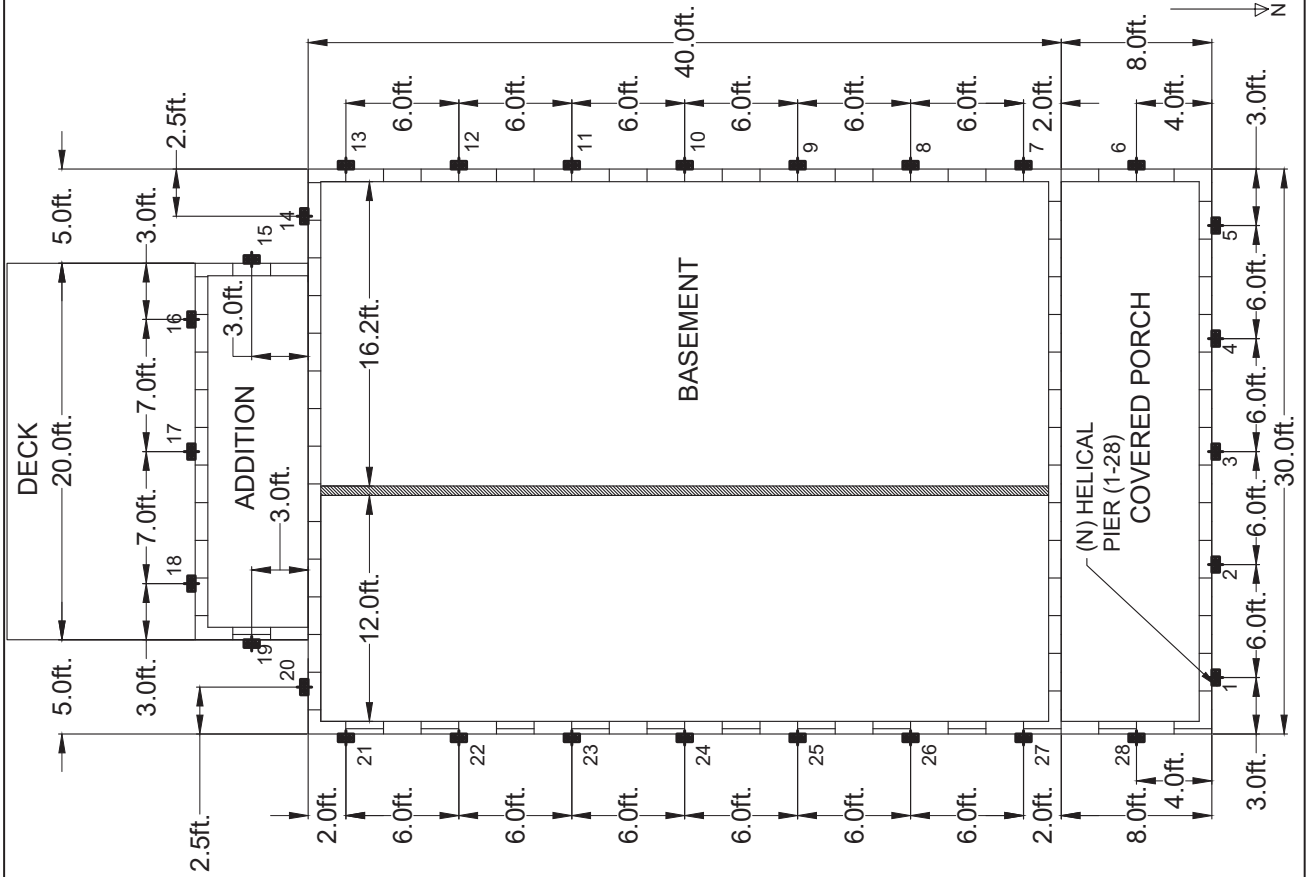
## NOTES-LOAD SUMMARY

1. ROOF-35 PSF LIVE LOAD (LL) SNOW
2. ASPHALT SHINGLE ROOF 15 PSF DL
3. FIRST STORY - 40 PSF LL, 15 PSF DL
4. CMU FOUNDATION WALL - 100 PCF
5. BRICK EXTERIOR - 35 PSF
6. PLASTER/LATH WALLS - 20 PSF
7. 1500 PSF SOIL BEARING
8. STRENGTH-ASSUMED
9. 140 MPH VULN WIND SPEED
9. SEISMIC ZONE B

## HELICAL PIER NOTES

1. INSTALL 28 GRIP-TITE RDS 2875 HELICAL PIERS WITH GALVANIZED BRACKETS AND PIER SHAFT COMPONENTS.
2. DEMOLISH EXTERIOR FOOTER MATERIAL TO REDUCE BRACKET ECCENTRICITY.
3. INSTALL 6"x6"x3/8" STEEL ANGLE AT EACH PIER BRACKET.
4. HELICAL PIERS TO BE INSTALLED ON CENTERLINES SHOWN.
5. DO NOT ATTEMPT TO LIFT STRUCTURE WITHOUT ENGINEER APPROVAL
6. DRIVE HEAD MUST BE IDENTIFIED IN PIER LOG FOR TORQUE CORRELATION

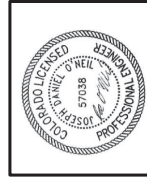
PER 2021 IRC/IBC



General Notes

# HELICAL PIER DETAIL

## PREPARED FOR GROUND- WORKS



01.30.2023  
309.339.8045

No.	Revision/Issue	Date

Print Name and Address

CRITERIUM-CONA  
ENGINEERS  
17565 MUZZI ELOADER WAY  
MONUMENT, CO 80132.

Project Name and Address

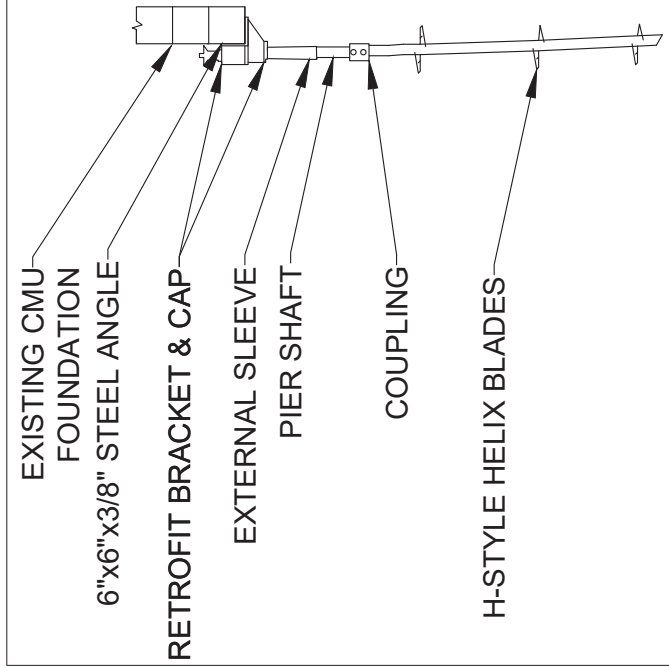
LEANNE MASSEY  
505 E LAUREL ST  
PORT COLLINS, CO 80524

Project No. PH23003

Date 01/30/2023

Scale NTS

Sheet 2 OF 2



### HELICAL PIER DETAILS

- EXISTING STEM WALL APPROXIMATELY 36" DEEP.
- DIGGA MM10K TORQUE HEAD: MINIMUM TORQUE APPLIED - 5,414 FT-LB - 24 KIP ULTIMATE CAPACITY MINIMUM.
- FP3BAG BRACKET TO BE INSTALLED AT EACH PIER.
- INSTALL PIERS WITH (1) 8" AND (1) 10" HELIX
- PROVIDE 30" EXTERNAL SLEEVE
- TORQUE HEAD TYPE USED TO BE IDENTIFIED ON PIER LOG
- DO NOT LIFT STRUCTURE

PER 2021 IRC/IBC