



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS – Minor Alteration

ISSUED: January 24, 2023

EXPIRATION: January 24, 2024

Brian Berkhausen
c/o Jeffrey Schneider
1306 W. Mountain Ave.
Fort Collins, CO 80521

Dear Property Owner:

This letter provides you with certification that proposed work to your designated Fort Collins landmark property, the William & Violet Jackson/Robert Bailey Property at 1306 W. Mountain Ave. has been approved by the City's Historic Preservation Division (HPD) because the proposed work includes only minor modifications to plans already reviewed by the Historic Preservation Commission (see attachment), and meets the requirements of Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

The alterations reviewed include:

- Re-roofing historic house (asphalt shingles)
- Install new gutter
 - *Condition 1: New gutter should not obscure exposed rafter tails.*
- Modifications to plans approved by HPC – On the addition
 - Sliding wood basement windows: North elevation (1); West elevation (1); East elevation (2)
 - Double-hung wood window on east elevation – dimensions changed to 5' x 3'9" and paired
 - Back door type changed to outswing Dutch door
 - Rear elevation detail added – Trim board dimensions, gable-end shingles to match existing, gable vent to match existing, specifics of rear patio
- Modifications to plans approved by HPC – On the existing house
 - West elevation basement window locations finalized – 3 existing to remain, 1 existing replaced with sliding wood egress, 1 new sliding wood egress
 - Tempered/obscured glass window on west elevation – Added detail of awning type and exterior wood, interior fiberglass material

NOTE: The following work has already been approved by the HPC at their July and February meetings and remains part of the project scope (see attachment for additional details):

- 1. Replacement of historic basement windows with egress-compliant window units as shown on plans*
- 2. Construction of addition totaling 339 sq. ft. (264 new sq. ft.) onto the existing 1,097 sq. ft. house*

3. *Modification of windows on the west wall of the northwest bedroom of historic house with condition that the window treatment of the northwest bedroom in the historic building be modified to retain the existing window opening, delete one or both of the proposed two new window openings, and install an egress-compliant window in the existing historic opening (condition met by attached plans)*

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that work beyond that indicated in your permit application/correspondence requires additional approval. Items requiring further approval include, but are not limited to, the following activities:

- Work affecting, or repair of, a chimney;
- Repair or replacement of historic decorative or functional features on or near the roof, such as fascia, purlins, brackets, eaves, gutters, and dormers;
- Installation of roof insulation above the sheathing that will result in more than a 4-inch increase in the roof height; (note: uncovered portions at the eave should be covered with plain fascia or drip edge);
- Addition of new rooftop features including skylights, dormers, and large new vents (note: no further review is needed to install standard edge, ridge, or "turtle" vents required for meeting ventilation standards on new roofs).

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at (970) 224-6045.

Sincerely,

Yani Jones
Historic Preservation Planner



BUILDING PERMIT APPLICATION

FOR OFFICE USE

APPLICATION NUMBER: _____

APPLICATION DATE: _____

Job Site Address _____ Unit# _____

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name _____ First Name _____ Middle _____

Street Address _____ City _____ State _____ Zip _____

Phone # _____ Email _____

Name of Business (COMMERCIAL USE ONLY) _____

CONTRACTOR INFO: Company Name _____

License Holder Name _____ LIC # _____ CERT # _____

LEGAL INFO:

Subdivision/PUD _____ Filing # _____ Lot # _____ Block # _____ Lot Sq Ft _____

CONSTRUCTON INFO: Total Building Sq Ft (NOT including basement) _____ Total Garage Sq. Ft. _____

Residential Sq Ft _____ Commercial Sq Ft _____ # of Stories _____ Bldg Ht _____ # of Dwelling Units _____

1st Floor Sq Ft _____ 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft _____

Finished Basement Sq Ft _____ # of Bedrooms _____ # of Full Baths _____

¾ Baths _____ ½ Baths _____ # Fireplaces _____

ENERGY INFORMATION: (CHECK ONE)

ComCheck ☐ UA (ResCheck) ☐ SPA (Simulated Performance Alternative) ☐ Prescriptive ☐ ERI(Energy Rating Index) ☐

Air Conditioning? YES ☐ NO ☐

City of Fort Collins Approved Stock Plan # **SPO** _____ List Option #s _____

UTILITIES INFO: Gas ☐ Electric ☐ Electric Temp. Pedestal Yes ☐ No ☐

Electric Main Breaker Size (Residential Only): 150 amp or less ☐ 200 Amp ☐ Other ☐

ZONING INFO: (COMMERCIAL USE ONLY)

Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions:

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant ☐ New Tenant ☐

If for a new tenant, is this the first tenant to occupy this space?

Yes ☐ No ☐ If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes ☐ No ☐

If yes, please describe: _____

Value of Construction (materials and labor): \$ _____

Description of Work: _____

JOBSITE SUPERVISOR CONTACT INFO: Name _____ Phone _____

SUBCONTRACTOR INFO: Electrical _____ Mechanical _____

Plumbing _____ Framing _____ Roofing _____

Fireplace _____ Solar _____ Other _____

ASBESTOS STATEMENT DISCLOSURE: *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

☐ I do not know if an asbestos inspection has been conducted on this property.

☒ An asbestos inspection has been conducted on this property on or about (enter date) _____

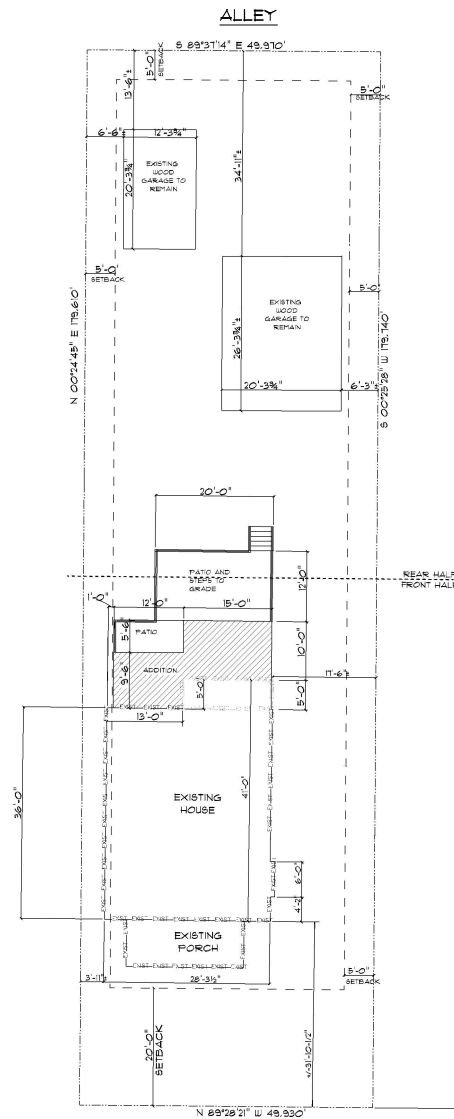
☐ An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature _____ Type or Print Name _____

Phone # _____ Email _____

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



WEST MOUNTAIN AVE.

SITE PLAN

SCALE: 1" = 20'-0"

1306 WEST MOUNTAIN AVE
FORT COLLINS, COLO 80521
SWETT'S ADDITION

NOTE: LOCATION OF EXISTING HOUSE ON LOT
PROVIDED BY OTHERS IN SEPARATE
TOPOGRAPHICAL SURVEY



SHEET:

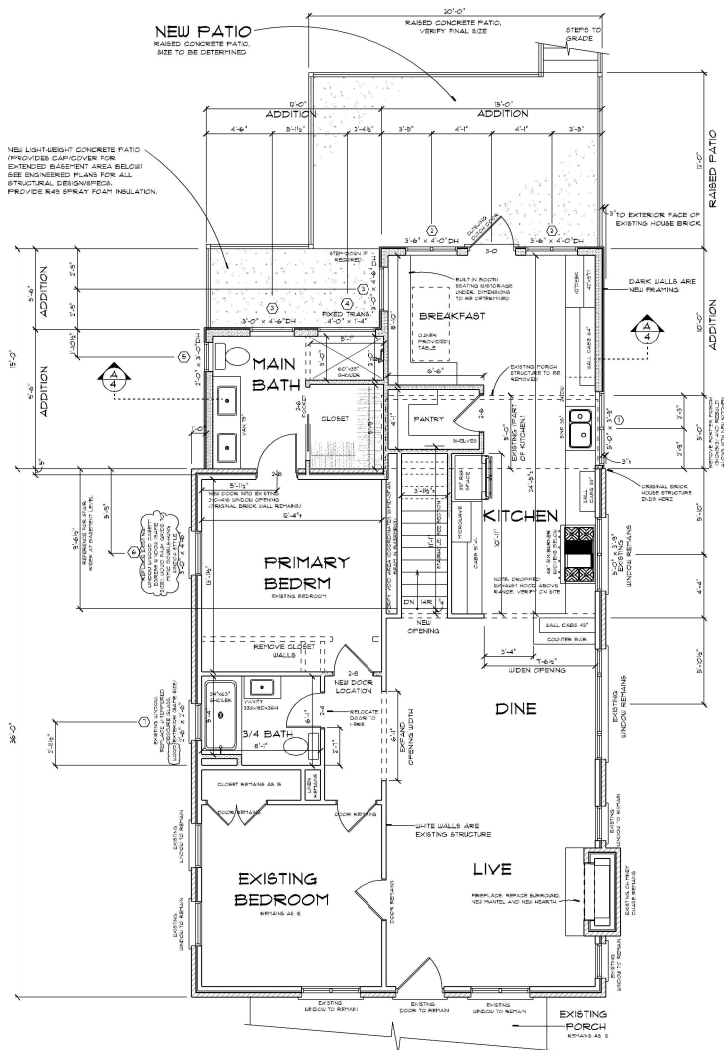
SITE

BERKHAUSEN REMODEL/ADDITION
1306 WEST MOUNTAIN AVE
FORT COLLINS, COLO 80521
SWETT'S ADDITION

ARMSTEAD
CONSTRUCTION INC.
"Building Dreams"

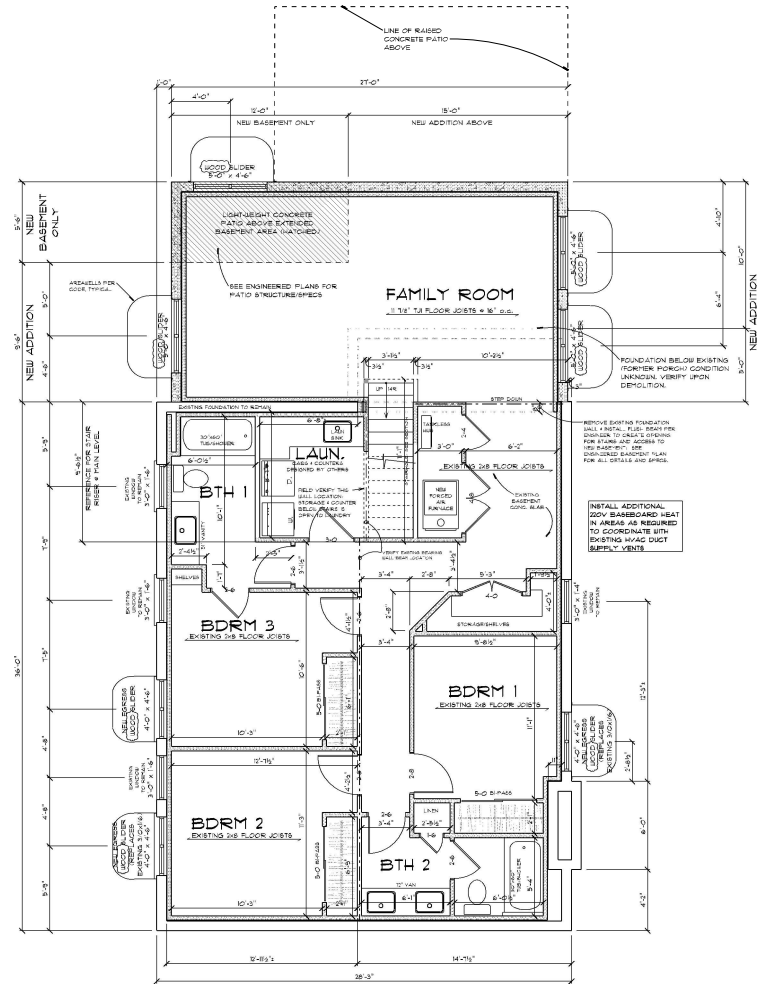
ARMSTEAD CONSTRUCTION INC.
375 E. HORSE CREEK RD.
BLDG 4 SUITE 102
FORT COLLINS, COLO 80525
OFFICE: (970) 422-1113
FAX: (970) 422-8813
EMAIL: info@armsteadconstruction.com

DATE: 11-14-2022
DRAWN BY: JD
APPROVED:



REMODEL and ADDITION
MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



REMODEL and ADDITION
BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

APPROVED:

DRAWN BY:

JD

DATE:

11.11.2022

PROJECT:

1100 WEST MOUNTAIN AVE.

BLDG 4 SUITE 100

FORT COLLINS, COLO 80526

ARMSTEAD CONSTRUCTION INC.

1100 WEST MOUNTAIN AVE.

BLDG 4 SUITE 100

FORT COLLINS, COLO 80526

ARMSTEAD CONSTRUCTION INC.

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BLDG 4 SUITE 100

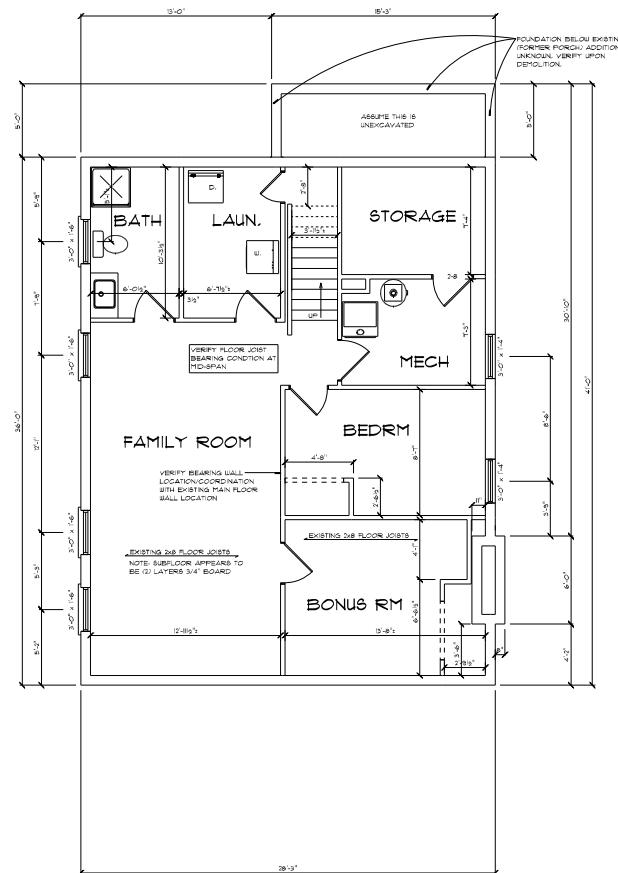
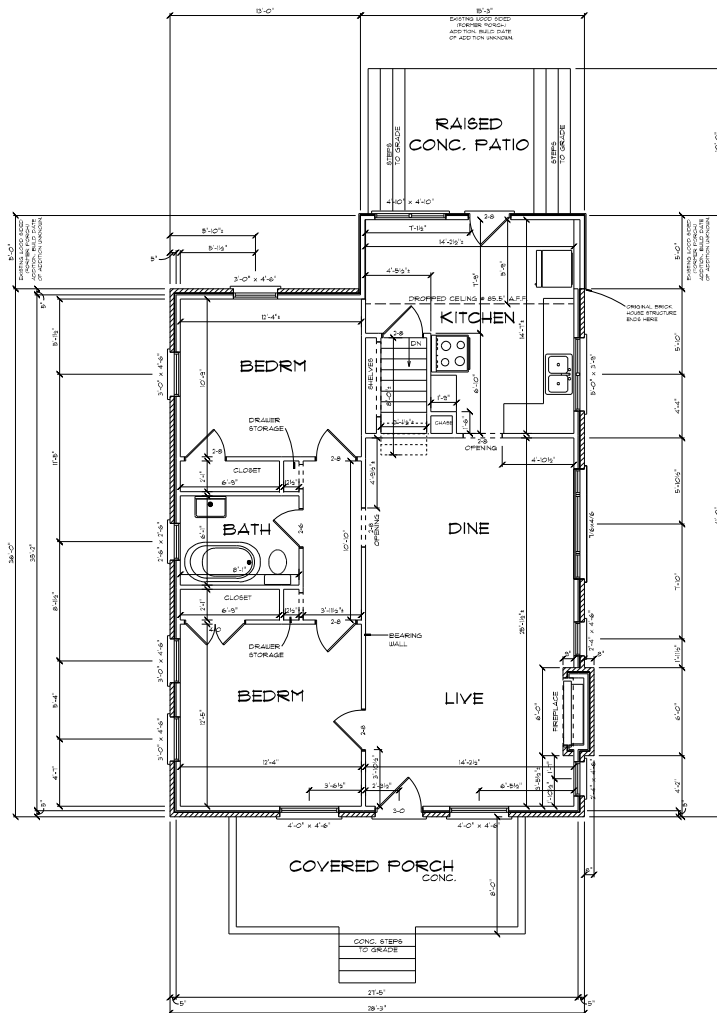
FORT COLLINS, COLO 80526

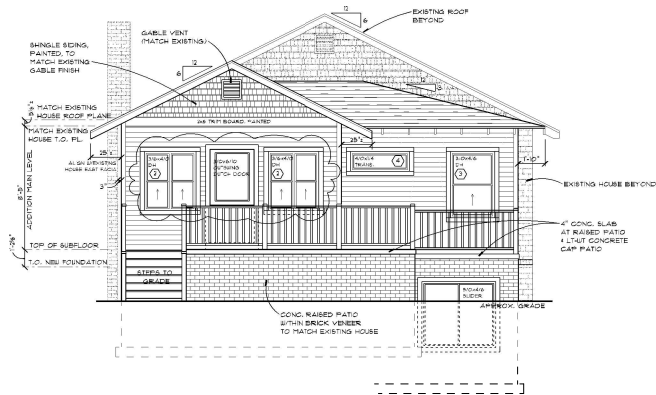
ARMSTEAD CONSTRUCTION INC.

1100 WEST MOUNTAIN AVE.

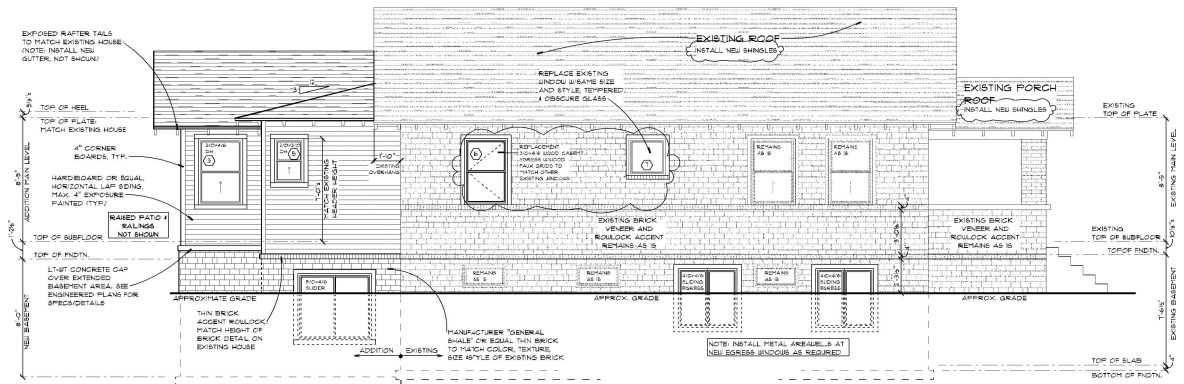
BLDG 4 SUITE 100

FORT COLLINS, COLO 80526

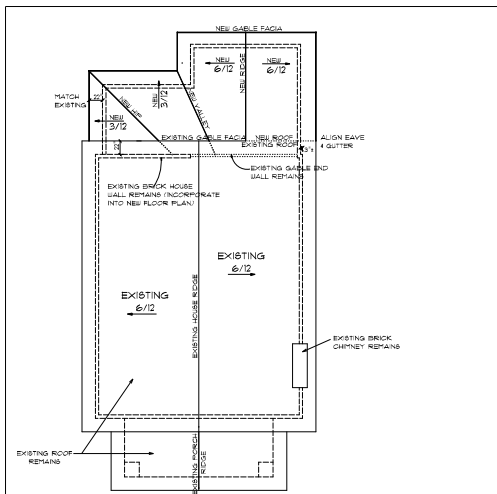




REAR ELEVATION
NORTH
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
WEST
SCALE: 1/4" = 1'-0"



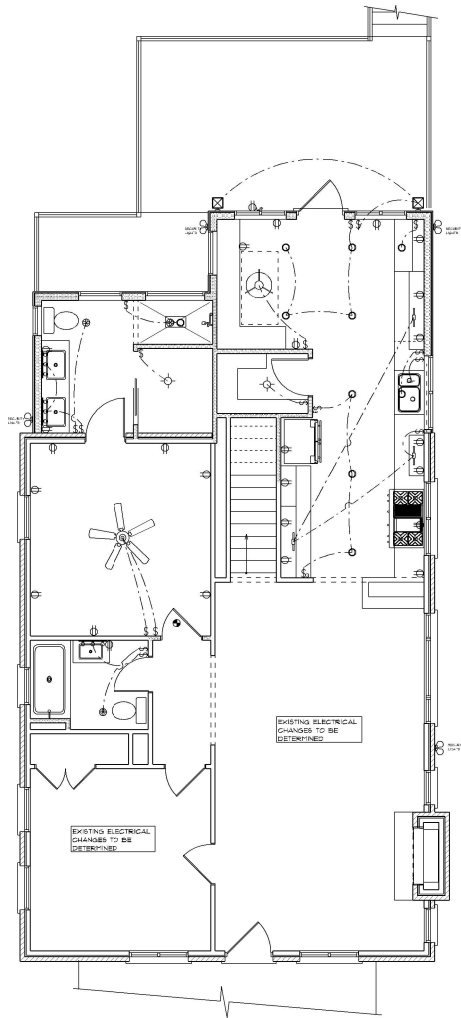
BIRD'S EYE ROOF PLAN
SCALE: 1/8" = 1'-0"

FOR REFERENCE ONLY:
SEE ENGINEERED DRAWINGS FOR TRUSS SPECS
AND COMPLETE LAYOUT WITH CONNECTIONS



RIGHT SIDE ELEVATION
EAST
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE FOR MAIN LEVEL										
OPENING ID	TYPE	W x H	QTY	FRAME	SCREEN	HEADER	TEMPERED	EDGESS	FLAT TO BS. BL.	COMMENT
1	5/0 X 3/0 DOUBLE HUNG	5'0" X 3'0"	1	WOOD	YES	7'-0"	YES	NO	30"	ALL WINDOWS HAVE 1/2\"
2	3/6 X 4/0 DOUBLE HUNG	3'6" X 4'0"	2	WOOD	YES	7'-0"	NO	NO	30"	CONNECTIONS AND MATCH EXISTING BRICK HOUSE EXTERIOR DETAIL DETAILS ON EXTERIOR
3	3/0 X 4/0 DOUBLE HUNG	3'0" X 4'0"	2	WOOD	YES	7'-0"	NO	NO	30"	
4	4/0 X 1/4 TRANSOM FIXED	4'0" X 1'-4"	1	WELDED GLASS	NO	7'-0"	YES	NO	60"	WOOD EXTERIOR
5	2/0 X 3/0 DOUBLE HUNG	2'0" X 3'0"	1	WOOD	YES	7'-0"	NO	NO	40"	
6	2/0 X 3/0 DOUBLE HUNG	2'0" X 4'-0"	1	WOOD	YES	7'-0"	NO	YES	30"	CURRENT EXTERIOR FINISH
7	2/6 X 2/6 AWNING	2'-6" X 2'-6"	1	WELDED GLASS	YES	7'-0"	YES	NO	54"	WOOD EXTERIOR
WINDOW SCHEDULE FOR BASEMENT LEVEL										
NEW WINDOWS ONLY - SEE FLOOR PLAN	W x H	QTY	FRAME	SCREEN	HEADER	TEMPERED	EDGESS	FLAT TO BS. BL.	COMMENT	MANUFACTURER
5/0 X 4/0 SLIDER	5'-0" X 4'-0"	4	WOOD	YES	6'-8"	NO	YES	26"		TBD
4/0 X 4/0 SLIDER	4'-0" X 4'-0"	3	WOOD	YES	6'-8"	NO	YES	21"		TBD

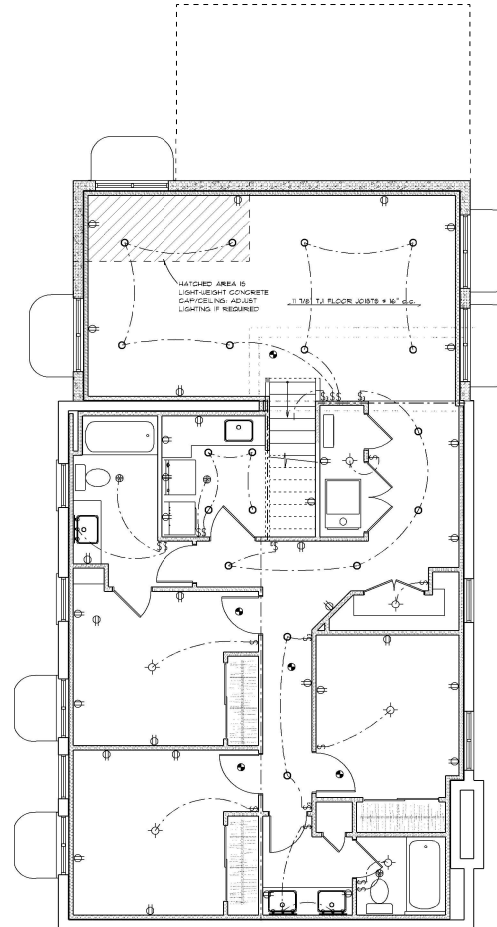


ELECTRICAL	SYMBOL
ceiling fan	
drop and light	
can light	
fluorescent light	
exterior light	
fan	
light	
outlet	
outlet 220v	
outlet gf	
outlet wip	
switch	
switch 3 way	
switch 4 way	
wall mounted	
wall mounted	
undercab light	
smoke/co detector	
security light motion sensor	
pendent	
House Bldg	

MAIN LEVEL ELECTRICAL PLAN

NOTE:
COORDINATE NEW ELECTRICAL
FIXTURES/SWITCHES/CIRCUITS
WITH EXISTING ELECTRICAL TYPICAL
THROUGHOUT THE STRUCTURE.

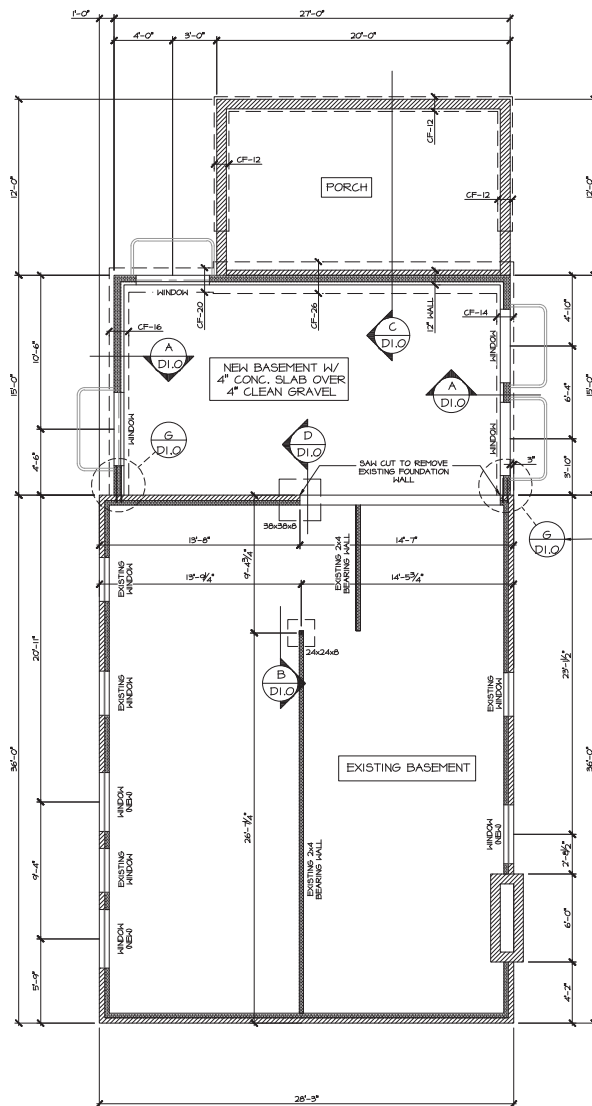
SCALE: 1/4" = 1'-0"



BASEMENT ELECTRICAL PLAN

NOTE:
COORDINATE NEW ELECTRICAL
FIXTURES/SWITCHES/CIRCUITS
WITH EXISTING ELECTRICAL TYPICAL
THROUGHOUT THE STRUCTURE.

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE 1/4" = 1'-0"

FOOTING	SYMBOL	MANUF. / MODEL	NOTES
CF-12	○	SPRISON	DRILL AND EPOXY #4 ROD
CF-14	○	SPRISON	DRILL AND EPOXY #4 ROD
CF-16	○	SPRISON	DRILL AND EPOXY #4 ROD
CF-20	○	SPRISON	DRILL AND EPOXY #4 ROD

FOUNDATION LEGEND

NUMBER SIGNIFIES WIDTH
FOOTINGS

ALL FOOTINGS 2' (610) DEPTH

ALL FOOTINGS TO BEAR UPON
NATIVE UNDISTURBED SOIL OR
STRUCTURAL FILL APPROVED BY THE
GEOTECHNICAL ENGINEER.

BOTTOM OF FOOTINGS TO BE A
MINIMUM 30" (762) BELOW FINISH
GRADE.

PROVIDE 1" DOMELS TO MATCH HALL
REINFORCEMENT ABOVE

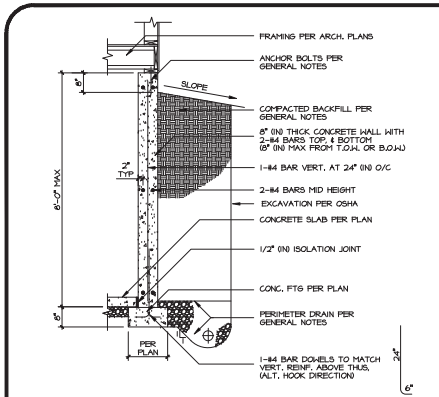
FOOTINGS 24" AND WIDER ADD (3) #4
CONT. 4 (1) #4 TRANS. @ 24" O.C.

ALL PADS TO BEAR UPON UNDISTURBED
NATIVE SOIL OR STRUCTURAL FILL
APPROVED BY THE GEOTECHNICAL
ENGINEER.

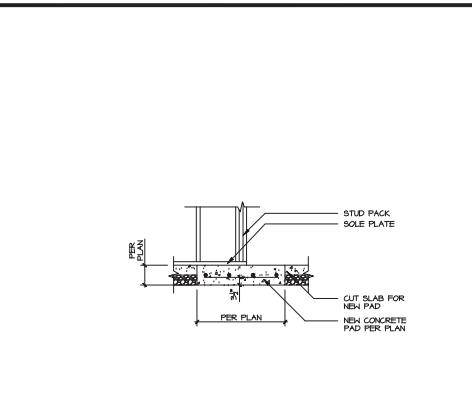
TOP OF PAD EQUAL BOTTOM OF SLAB.

#4 BARS @ 12" ON-CENTER
EACH WAY, 30" FROM BOTTOM
IN DEPTH OF PADS.

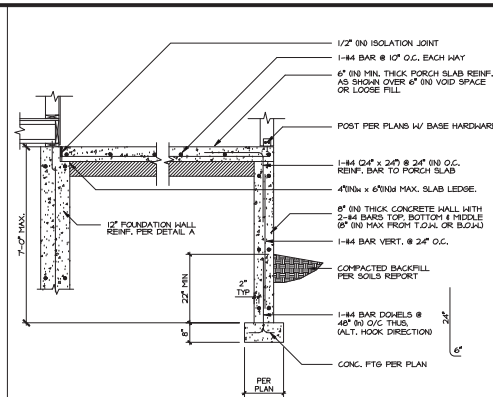
L x W x T



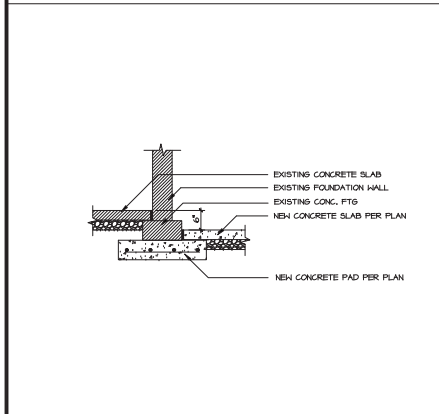
TYPICAL FOUNDATION WALL A



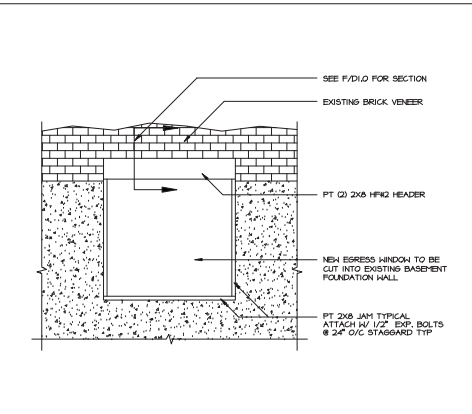
TYPICAL PAD FOOTING B



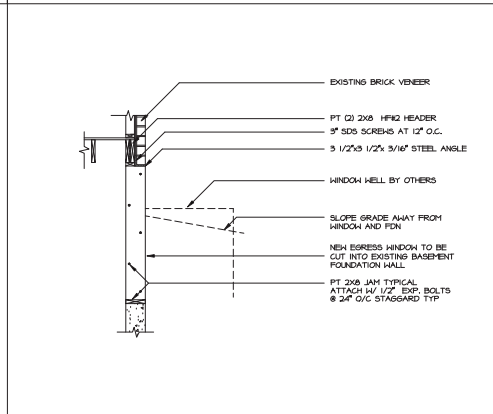
TYPICAL PORCH DETAIL C



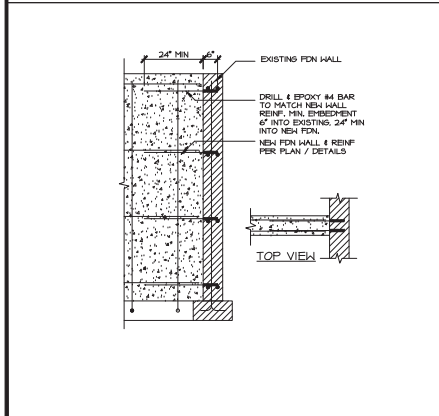
NEW SLAB AT EXISTING WALL D



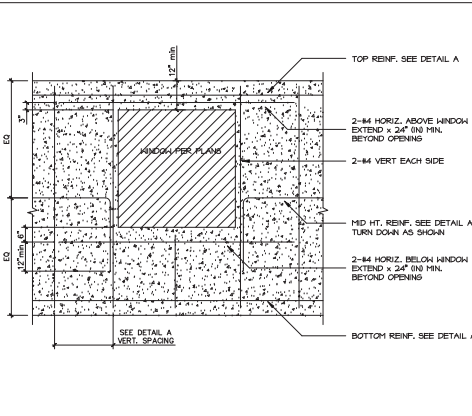
EGRESS WINDOW E



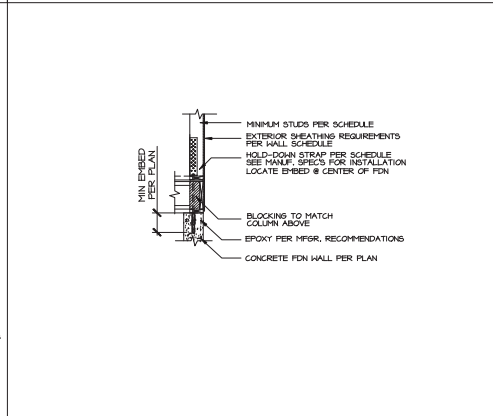
EGRESS WINDOW SECTION F



FOUNDATION WALL TIE-IN G



WINDOW OPENING REINFORCING H



HOLD DOWN DETAIL I

General Notes:

- Codes:**
This plan was prepared based on the 2021 I-Codes with local amendments and portions of the most recent versions of ACI 318, ACI 308R, ASCE Allowable Stress Design and Construction, and the NDS for wood construction.
- Loads:**
This plan is based upon the following load parameters:
Roof: Live Load = 30 psf, Dead Load = 15 psf, Ground Snow Load = 30 psf
Floor: Live Load = 40 psf, Dead Load = 15 psf
Wind: Speed = 140 mph (Ultimate Exposure B)
Seismic: Zone B
Soils: report by Per IRC Table R401.4.1, verify at open-hole:
Recommended allowable bearing pressures:
Max. = 1500 psf
- Materials:**
This plan is based upon the following material properties:
Concrete: Concrete shall contain Type II cement, 6.5% +/- air entrainment, and a minimum 28 day compressive strength of 4000 psi for structural concrete, and 4000 psi for interior or exterior sides on grade.
Reinforcing: Reinforcing shall be deformed grade 60 steel unless noted otherwise (UNO) on the plan and shall conform to ASTM A635, Heavy concrete cover shall be 2" (9) UNO, on the plan. Overlap shall be 40 bar diameters but not less than 24" (6). Detail reinforcing bars in accordance to the ACI detailing manual and ACI code, latest edition. All foundation wall reinforcement should be welded in place. Slab and footing reinforcement shall utilize chairs or other acceptable methods to achieve the required cross section location.
Steel: Structural steel beams shall conform to ASTM A992 (fy=50 ksi, 39ksi) LD, adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 30 kips for columns up to 9'-0" in height, 36" (9) LD, adjustable steel columns shall be schedule 40 and rated for a safe allowable load of not less than 40 kips for columns up to 9'-0" in height. All adjustable steel columns shall have 1/2" (9) of thread exposed.
Anchor: Foundation anchor bolts shall conform to ASTM A307 and be 3" (6) diameter by 10" (9) long spaced at 4'-0" maximum and 12" (9) UNO from corners and ends.
Lumber: All dimensional lumber shall be Hem Fir #2 or better unless noted on the plan. All Laminated Veneer Lumber shall have an allowable flexural stress Fb = 2600 psi and Modulus of Elasticity of E = 1,900,000 psi or better. Glued Laminated Lumber shall have an allowable flexural stress Fb = 2000 psi and Modulus of Elasticity of E = 1,400,000 psi or better. All wood in contact with concrete shall be pressure treated or redwood.
- Fasteners and connectors:**
All fasteners and connectors in contact with pressure treated lumber shall be 6/8S hot-dip galvanized, type 304 stainless steel or type 316 stainless steel.
- Soils:**
He recommends an open-hole observation be performed by a qualified geotechnical engineer. Open-hole observations are to verify that the soil conditions are consistent with those referenced above. Soil conditions inconsistent with these may require additional evaluation or a foundation redesign and should be brought to the attention of the foundation engineer. All footings, pads, or plans located interior basement grade shall be a minimum of 30" (6) below grade, or per local code, and shall bear upon undisturbed native soils or structural fill acceptable to the geotechnical engineer. All other recommendations contained in the soils report pertaining to backfill, drainage, etc., should be incorporated into the design of this project.
- Slab-on-grade:**
A slab-on-grade if shown does not constitute a slab-on-grade recommendation for this project. He does not recommend slab-on-grade for habitable living spaces placed upon expansive soils. The type of floor construction and potential risks should be discussed between the contractor/owner and the appropriate geotechnical engineer. Slab-on-grade where utilized should be isolated from grade beams, columns, planting, or other support structures by use of 3/8" minimum isolation joint material. Provide a 12" (6) minimum void space between all interior partitions and floor slabs. The partition void space should be monitored and maintained throughout the life of the structure. He recommends any areas with slab-on-grade type construction placed upon expansive soils not be filled for a minimum of 3 years. Provide control joints at 12'-0" on center maximum. Exterior slab-on-grade such as patios, porches, driveways, etc. should not be dowled to the foundation.
- Backfill:**
He recommends foundation walls not be backfilled for a minimum of eight days after placement of concrete. Prior to backfilling, he recommends damp-proofing for all foundation walls that retain earth and enclose interior spaces as required by local code. All floors before backfilling should have a foundation wall or an alternative adequately brace the foundation. He recommends imported granular (non-expansive) structural fill be used for backfilling exterior foundation walls and beneath all slab-on-grade areas for sites where expansive soils are prevalent. In lieu of imported granular fill, the native soils could be used for backfill if the material and composition proves to be acceptable to the geotechnical engineer. Backfill should be adequately compacted and graded to provide adequate drainage away from the foundation. Backfill adjacent to the foundation may settle over time. The backfill must be monitored and maintained to provide adequate drainage away from the foundation. All foundation backfill shall be moisture conditioned to 1/2" - 25% of optimum and compacted in 6"-8" lifts to a minimum 90% standard proctor.
- Framing:**
All framing shall be in accordance with the provisions of 2021 IBC/IRC. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturer's specifications. Framing plans shall not constitute complete gravity or lateral force resisting systems. Refer to the code for additional requirements.
Roof: Floor sheathing shall consist of 5/4" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports as required by code. Single floor joist hangers to be Simpson ITS series (or equal). Double floor joist hangers to be Simpson MIT series (or equal).
Single LVL hangers to be Simpson HJ series (or equal). Double LVL hangers to be Simpson HJ540 or equal.
Walls: All exterior wall framing shall be 7/16" Structural rated OSB sheathing over 2x HF12 or better @ 6" on-center unless noted otherwise. Sheathing shall be attached per the Broadsail Panel Schedule.
Bolt up columns are 3-2x12 thickness HF12 or better unless noted otherwise on the plans.
Roof: Roof shall be 7/16" (8) span rating OSB, or better with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment and bracing refer to the truss manufacturer's recommendations.
Attach rafters at all plate w/ Simpson VLBST tie.
Misc: All wood in contact with concrete shall be pressure treated or redwood.
Provide solid blocking to transmit all point loads continuous to the foundation as necessary.
It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. The plans are based on the architect's plans and its own referenced specifications. Any discrepancies or changes should be brought to the attention of the engineer.
- Drainage:**
Adequate drainage shall be provided around the structure. This drainage should be monitored and maintained throughout the life of the structure. At a minimum, we recommend a minimum slope of 1/8" in the first ten feet and a minimum 2% slope from that point to the property line for landscaped areas. For all below grade habitable areas, we recommend an exterior perimeter drain. The exterior perimeter drain shall be installed per the geotechnical engineer's recommendations. At a minimum it should consist of drainage fabric over 12" (6) of clean gravel over a 4" (1) perforated pipe sloped at 1/8" per foot daylight well beyond the foundation system or to a sump pit.
- Limitations:**
It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Block ledges, foundation slabs, beams, posts, and basement slabs, etc., may or may not be shown. The foundation plan is based on the contractor/owner furnished plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of the engineer.

RECOMMENDED QUALITY ASSURANCE OBSERVATIONS	
RECOMMENDED OBSERVATIONS	OBSERVATION PERFORMED BY:
OPEN-HOLE / SOIL VERIFICATION	CTL
FOOTING FORMWORK & SUBGRADE	CTL
FOUNDATION REINFORCEMENT	CTL
PERIMETER DRAIN	CTL
DAMP PROOFING	CTL
NOTES:	OTHER OBSERVATIONS MAY BE REQUIRED BY THE CITY OR OTHER ENGINEER WORKING ON THIS PROJECT.

CTL THOMPSON
Founded in 1971

1500 WEST MOUNTAIN AVENUE
LOT 2, BLOCK 2, SHEETS
FORT COLLINS, COLORADO

12/22/22

PROJECT LOCATION:

DETAILS AND NOTES

CLIENT:

ARMSTRONG CONSTRUCTION
575 E. HORSESHOE ROAD
FORT COLLINS, COLORADO
CONTACT: JEFF SCHNEIDER
970-472-1113

DATE: 12/22/2022
BY: [Signature]
CHECKED: [Signature]
SCALE: AS NOTED



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: July 20, 2022

EXPIRATION: July 20, 2023

Brian and Barbara Berkhausen
1306 W. Mountain Avenue
Fort Collins, CO 80521

Dear Property Owners:

As you are aware, on Wednesday evening the Historic Preservation Commission gave a Final Design Review decision for the work you are proposing for the Jackson-Bailey House & Garage at 1306 W Mountain Ave, approved by motion on a vote of 4 in favor, 2 against, and 1 recusal.

More specifically, the Commission **approved**:

1. Construction of an addition totaling 339 ft² (264 new ft²) onto the existing 1,097 ft² home

The Commission **approved with conditions**:

2. Modification of windows on west wall of northwest bedroom on historic house.
 - o Condition: That the window treatment of the northwest bedroom in the historic building be modified to retain the existing window opening, delete one or both of the proposed two new window openings, and install an egress-compliant window in the existing historic opening.

Note: The following work has already been approved by the HPC at its February meeting, but remains part of the project scope:

1. Replacement of all historic basement windows with egress-compliant window units.
2. Demolition of non-historic garage, and construction of a new 630-ft² garage at the rear of the lot.

An analysis is included below.

Applicable Code Standard	Secretary of the Interior's Standards for Rehabilitation: Summary of Code Requirement and Analysis	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i> The property will remain in residential use.	Y

SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>Designated as a significant example of a Craftsman Cottage, the building is characterized by its small size and compact massing compared to larger Victorian and modern homes. Its simple rectangular form under the front-gabled roof, and other Craftsman-style features including exposed rafter tails, the styled brick exterior, wood sash windows, and prominent brick chimneys together characterize the property.</p> <p>The addition appears to meet this Standard. The overall compact massing of the property remains intact, and the addition retains the overall massing, scale, and spatial relationships of the primary residence.</p> <p>The treatment of the windows at the northwest bedroom's west wall, which will result in the removal of a visible historic window and the creation of two new window openings, is the only item that staff considers as not meeting this Standard by unnecessarily altering the historic window pattern. While such modifications can be accepted in limited circumstances where no other egress alternative exists, alternatives do appear to exist in this case so staff is recommending a condition that this item not be approved.</p> <p><u>Interpreting the Standards Bulletin 14, New Openings in Secondary Elevations or Introducing New Windows in Blank Walls may be helpful in making this determination.</u></p> <p>With the condition that the existing window opening in the northwest corner of the property is retained and new window openings are not installed, staff finds this Standard met.</p>	Y (w/ Condition)
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	N/A
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p>The primary historic feature proposed for removal is the rear porch. While this feature appears to date from the property's historic period and represents a common adaptation to historic residences in Fort Collins, staff does not believe the porch is a character-defining feature based on the significance of the property for Design/Construction as a significant example of a Craftsman Cottage. While staff generally encourages retention of rear porches whenever possible, in this case retaining it is not required in order to meet this Standard.</p>	Y
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>The project as proposed in the current version, conditionally meets this Standard. The plan has been modified from previous iterations to avoid demolition of the primary exterior</p>	Y (w/ Condition)

	<p>wall of the house at its northeast corner. In this case, with one exception, all distinctive, or character-defining, features are being preserved.</p> <p>The exception is the treatment of the west-facing window in the historic northwest bedroom. The upper floor windows of the property and the existing window pattern is a character-defining feature of the property. While some modification of windows on secondary elevations can be allowed in limited circumstances, alternatives appear to exist here to avoid demolition of historic masonry and the loss of the historic window opening. Staff recommends a condition to retain the existing window opening in the northwest bedroom, to delete the creation of two new window openings in this space from the project plan, and to install an egress-compliant new window unit in the existing historic opening.</p> <p><i>Interpreting the Standards Bulletin 14, New Openings in Secondary Elevations or Introducing New Windows in Blank Walls may be helpful in making this determination.</i></p> <p>With that condition in place, staff would consider this Standard met.</p>	
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>Staff has discussed with the applicant the requirements for rehabilitation of the existing windows. That is likely, and may include addition of piggy-back or other integrated storm windows that do not require seasonal removal/reinstallation.</p>	Y
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>The proposal includes excavation for the foundation and finished basement under the addition. Based on the construction date of the property, the disturbed nature of the soil, and distance away from natural waterways (beyond 200 ft), it is unlikely that excavation would uncover significant archaeological materials from the pre-contact or Euro-American settlement periods.</p>	Y

SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>Generally, this Standard calls for additions to meet three main requirements: to be <i>compatible</i>, <i>distinguishable</i>, and <i>subordinate</i>. Staff's analysis is that the project meets these requirements.</p> <p>The addition is comparatively small in footprint, adding approximately 264 ft² of new space to the building, making it compatible and subordinate in size and scale. The massing of the addition will be retained behind the historic building, being flush on the east elevation, and setback slightly on the west elevation. The addition also incorporates the roof forms of the historic building into it, including the hipped roof of the mudroom addition that will be demolished over the new bathroom, and a gabled-end over the new kitchen. Exposed rafter tails, one-over-one windows, and a thin brick foundation for the addition also allude to the features of the historic building.</p> <p>The addition will be distinguishable, primarily by being clad in lapboard above the foundation, a common treatment for additions during the historic period as well, and having the foundation clad in, or constituted by, thin brick (less common for additions like this but compatible with the brick cladding of the main building, especially with the contrasting use on the foundation rather than the addition's primary walls).</p> <p>The addition will be subordinate to the main property. It is flush with the east elevation side wall on the main house, and set in from the west elevation side wall. The roof of the addition will be below that of the historic. The addition is also only adding 264 new ft² to the property (total square footage is 339 ft², minus the 75 ft² mud porch proposed for demolition). This is within the realm of normal additions added onto historic properties under this Standard.</p>	Y
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>In these revised plans, this Standard appears to be met. The mud room addition is not considered a character-defining feature, and</p>	Y

<p>the main brick wall that was formerly along this wall section has already been removed. The modification of the north-facing window at the northwest corner of the house into a passageway into the new bathroom is a common modification to provide passage in between existing and new additions and meets this Standard.</p>	
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The Commission found that Item 1, the proposed addition to the historic house met all criteria and standards in Chapter 14, Article IV of the Fort Collins Municipal Code and was approved without condition.

The Commission found that the proposed Item 2, the modification of windows on the west wall of the northwest bedroom on the historic house could meet the criteria and standards in Chapter 14, Article IV of the Fort Collins Municipal Code, provided certain conditions were met, namely retaining the historic window opening and reducing the amount of demolition and infill.

Notice of the decision regarding this application has been forwarded to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all approved work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

You may appeal this decision within two weeks by submitting a written notice of appeal to the City Clerk within fourteen (14) calendar days of this decision. Grounds and process for appeals are enumerated in Chapter 2, Division 3 of the Fort Collins Municipal Code.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact staff at preservation@fcgov.com or at (970) 416-4250.

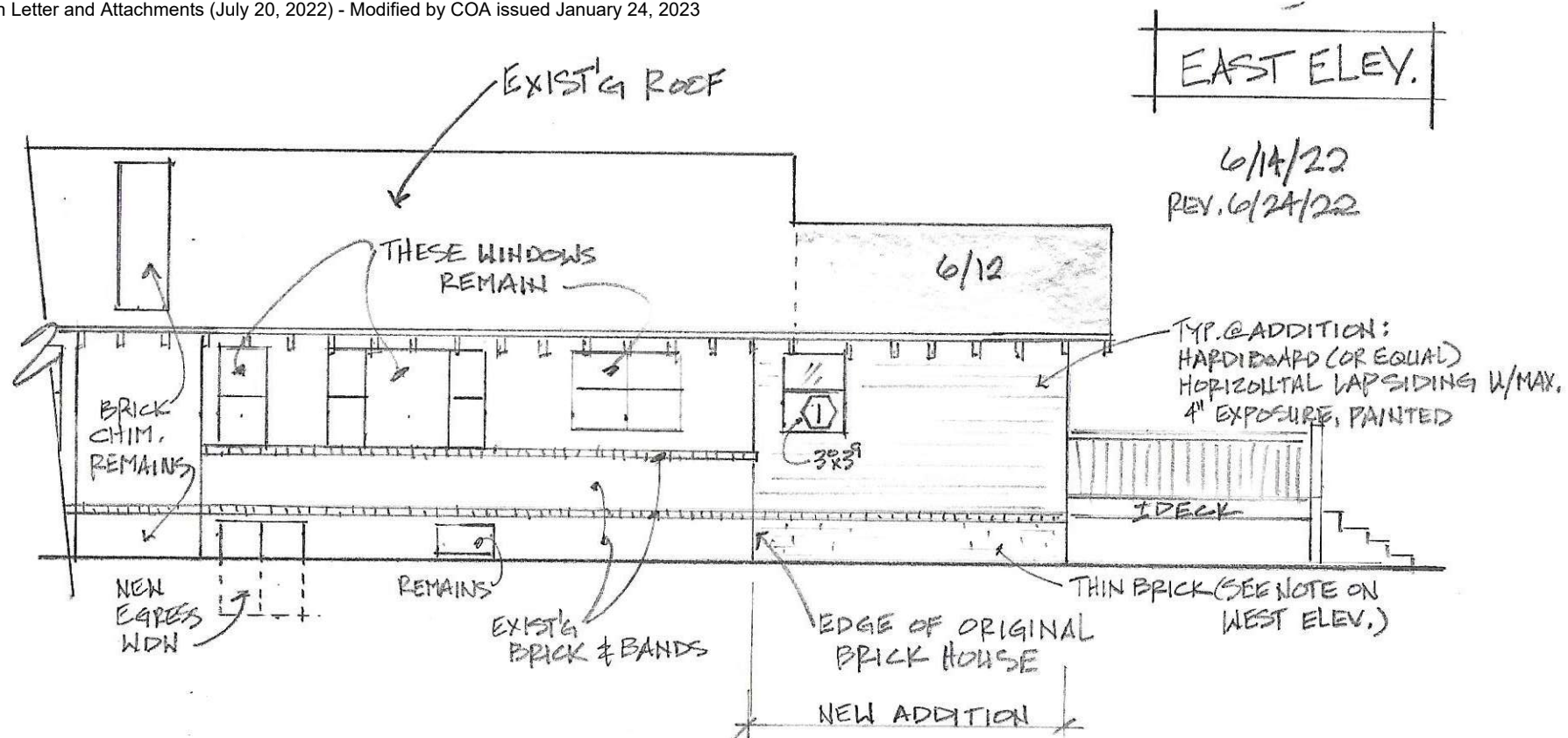
Sincerely,

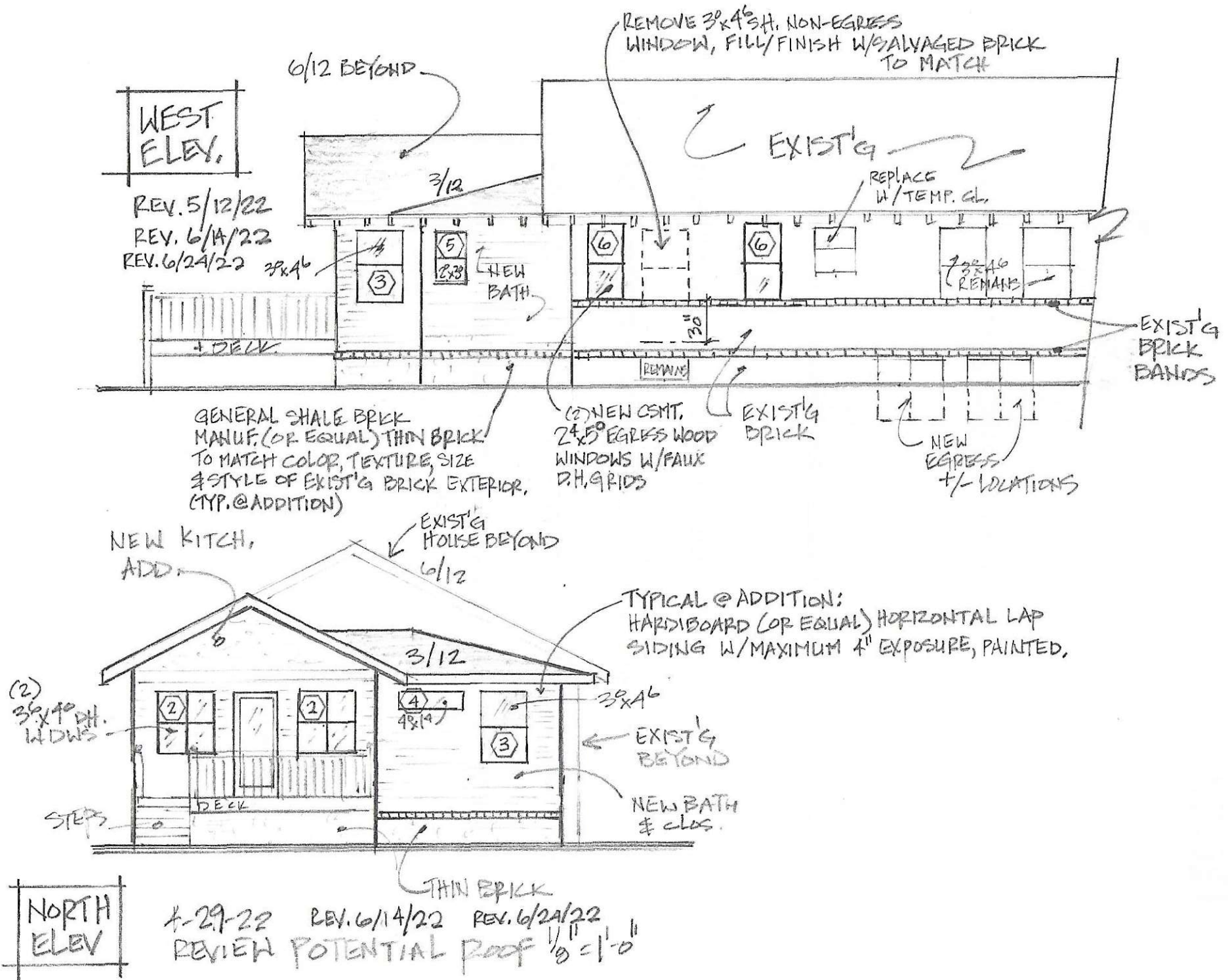


Kurt Knierim, Chair
Historic Preservation Commission

NEW SQ. FT. = +/-264

KITCH. ADDITION IS 10'0"x15'0" = 150sf
ADDED TO THE ORIGINAL HOUSE SIZE -
THE EXISTING "ENCLOSED PORCH" THAT
IS PART OF KITCHEN WILL COUNT AS PART
OF THE "EXISTING" HOUSE S.F. -
DISCUSS W/JEFF.





WINDOW SCHEDULE											
OPENING ID	TYPE	W x H	QTY	FRAME	SCREEN	HEADER	TEMPERED	EGRESS	F.FLR TO B.O. SILL	COMMENT	MANUF'R
①	3/0 X 3/9 DOUBLE HUNG	3'-0" x 3'-9"	1	WOOD	YES	7'-0"	YES	NO	39"	ALL WINDOWS SHALL BE WOOD FRAME CONSTRUCTION AND MATCH EXISTING BRICK HOUSE WINDOWS FOR STYLE/DETAILS ON EXTERIOR	TBD
②	3/6 X 4/0 DOUBLE HUNG	3'-6" x 4'-0"	2	WOOD	YES	7'-0"	NO	NO	36"		TBD
③	3/0 X 4/6 DOUBLE HUNG	3'-0" x 4'-6"	2	WOOD	YES	7'-0"	NO	NO	30"		TBD
④	4/0 X 1/4 TRANSOM FIXED	4'-0" x 1'-4"	1	FIBERGL.	NO	7'-0"	YES	NO	68"		TBD
⑤	2/0 X 3/0 DOUBLE HUNG	2'-0" x 3'-0"	1	WOOD	YES	7'-0"	NO	NO	48"		TBD
⑥	2/4 X 5/0 CASEMENT	2'-4" x 5'-0"	2	WOOD	YES	7'-6"	NO	YES	30"	WITH FAUX DH GRIDS.(THESE WINDOWS REPLACE EXISTING 3/0x4/6 DH UNIT THAT DOES NOT MEET IRC 2021 EGRESS REQUIREMENTS)	TBD









