



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 426 Peterson St.

Laurel School National Register Historic District

ISSUED: November 8, 2022

Todd Miller
c/o John Bridgham, Sundeck Designs
305 N. Sunset St.
Fort Collins, CO 80521

Dear Todd Miller:

This report is to inform you of the results of this office's review of proposed alterations to Rowe/Peasley/Kreutzer Residence at 426 Peterson St., pursuant to Fort Collins Municipal Code, Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation as well.

The alterations reviewed include:

- Replacement of non-historic deck on rear side of house, no attachment to house

Our staff review of the proposed work finds the alterations meet the SOI Standards for Rehabilitation and the project appears to be routine in nature with minimal effects to the historic resource, meeting the requirements of Article IV cited above.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that work beyond that indicated in your permit application/correspondence requires additional approval. Items requiring further approval include, but are not limited to, the following activities:

- Installation of porch/decking that requires exterior demolition or modification of historic materials including siding, windows, or doors
- Installation of porch/decking that will be on a primary/highly visible elevation of the building
- Installation of porch/decking that will require significant site/landscape alterations

If you have any questions regarding this report, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at 970-224-6045.

Sincerely,

Yani Jones, Historic Preservation Planner



BUILDING PERMIT APPLICATION

FOR OFFICE USE

APPLICATION NUMBER:

APPLICATION DATE:

Job Site Address 426 Peterson St. Fort Collins, CO. 80524 Unit# _____

PROPERTY OWNER INFO: (All owner information is required – NOT optional)

Last Name Miller First Name Todd and Donna Middle _____

Street Address 426 Peterson St. City Fort Collins State CO Zip 80524

Phone # 850-251-3530 Email tkmdak@comcast.net

Name of Business (COMMERCIAL USE ONLY) _____

CONTRACTOR INFO: Company Name Sundeck Designs Inc.

License Holder Name John Bridgham LIC # D2-117 CERT # _____

LEGAL INFO:

Subdivision/PUD _____ Filing # _____ Lot # N. 1/2 of LOT 8 Block # 154 Lot Sq Ft 9,500

CONSTRUCTION INFO: Total Building Sq Ft (NOT including basement) 229 Total Garage Sq. Ft. _____

Residential Sq Ft 229 Commercial Sq Ft _____ # of Stories _____ Bldg Ht _____ # of Dwelling Units _____

1st Floor Sq Ft _____ 2nd Floor Sq Ft _____ 3rd Floor Sq Ft _____ Unfinished Basement Sq Ft _____

Finished Basement Sq Ft _____ # of Bedrooms _____ # of Full Baths _____

¾ Baths _____ ½ Baths _____ # Fireplaces _____

ENERGY INFORMATION: (CHECK ONE) NA

Prescriptive ☐ Performance ☐ U/Arescheck ☐ ERI ☐ ASHRAE ☐ Component/Comcheck ☐ IDAP ☐

Air Conditioning? YES ☐ NO ☒

City of Fort Collins Approved Stock Plan # SPO List Option #s _____

Utilities INFO: NA

New Electric Service ☐ Electric Service Upgrade ☐ Electric Meter Relocation ☐

Electric Main Breaker Size (Residential Only): 150 amps or less ☐ 200 amps ☐ Other: ☐

Gas ☐ Electric ☐ Electric Temp Pedestal? Yes ☐ No ☐

ZONING INFO: (COMMERCIAL USE ONLY) NA

Proposed Use: (i.e. medical, office, bank, retail, etc.) _____

For Commercial remodels and tenant finishes, please answer the following questions: NA

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant ☐ New Tenant ☐

If for a new tenant, is this the first tenant to occupy this space?

Yes ☐ No ☐ If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes ☐ No ☐

If yes, please describe: _____

Value of Construction (materials and labor): \$ 22,000

Description of Work: deconstruct existing attached redwood deck at rear of house. Construct new free standing composite surfaced deck (229 sq. ft. - same size and footprint as original) w/ metal railing

JOB SITE SUPERVISOR CONTACT INFO: Name John Bridgham Phone 970-690-9437

SUBCONTRACTOR INFO: Electrical NA Mechanical NA

Plumbing NA Framing NA Roofing NA

Fireplace NA Solar NA Other NA

ASBESTOS STATEMENT DISCLOSURE: In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).

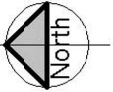
- ☒ I do not know if an asbestos inspection has been conducted on this property.
- ☐ An asbestos inspection has been conducted on this property on or about (enter date) _____
- ☐ An asbestos inspection has not been conducted on this property.

Applicant: I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  Type or Print Name John Bridgham

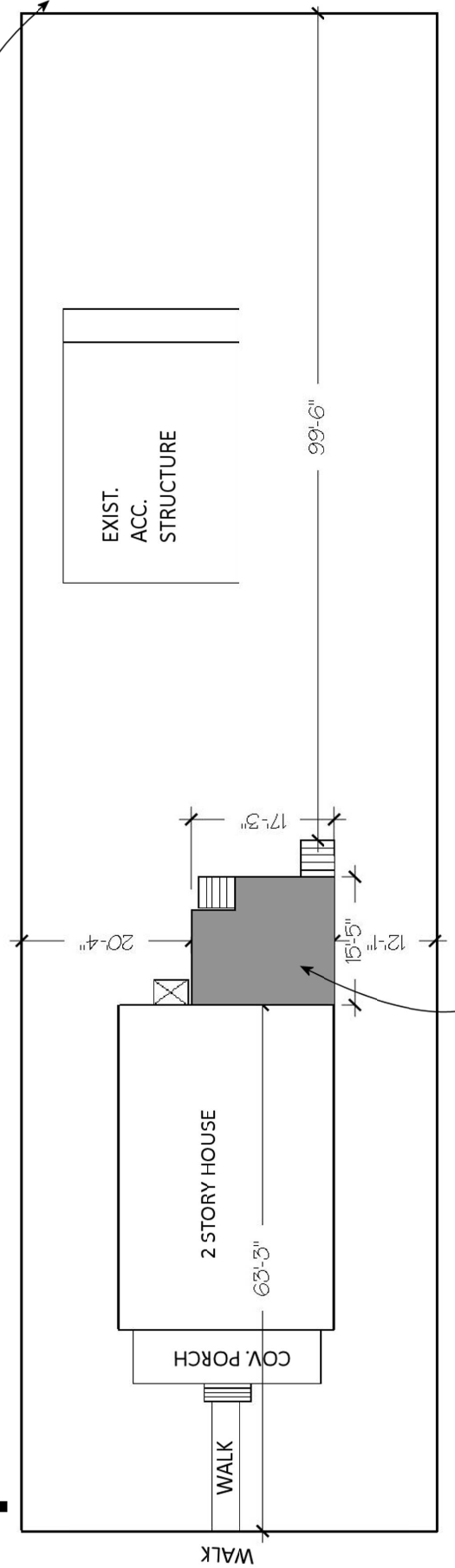
Phone # 970-690-9437 Email sundeckdesigns@gmail.com

THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE



PETERSON ST.

ALLEY



PROPOSED REBUILD OF EXISTING
229 SQ. FT. DECK

Date _____
Page _____
Drawn By: JB

Sundeck Designs
Fort Collins Colorado 970-690-9437

Miller residence deck remodel project
426 Peterson St. Fort Collins, CO. 80524
N 1/2 OF LOT 8, BLK 154, FTC

Parcel# 9712333013

Residential Deck Guide

Check one of the following:

- ☒ The deck is professionally engineered and stamped. Any fields not provided on the plans have been filled out below.
- ☐ The porch/stairs are entirely concrete (fields below do not apply, but plans show height, stairs, guards, etc. per code)
- ☐ The deck is designed to minimum code. (Fill in the sections below and show on plans).

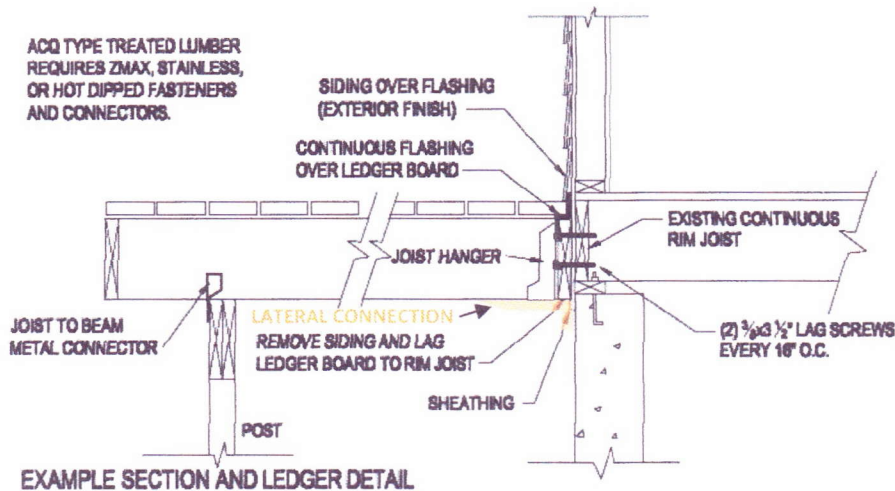
2021 International Residential Code & local amendments: <https://www.fcgov.com/building/codes.php>

1. Access the code: <https://codes.iccsafe.org/content/IRC2021> 2. Go to section R507.

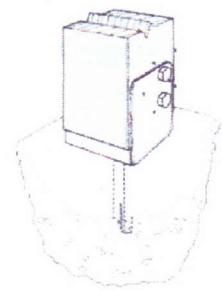
Code section	Deck components	Select/Fill in the blank
Decking		
R507.2 and R507.7	Decking Material	Composite <input type="checkbox"/>
	Orientation of decking to joists	Perpendicular <input type="checkbox"/>
Joists		
Table 507.6 (use 40 live load row) Figure R507.6	Wood Species (Redwood, Cedar etc. are species, <i>treated</i> is not a species)	Southern Pine <input type="checkbox"/>
	Joist Size	2 x 8 <input type="checkbox"/>
	Joist Spacing / Joist Span	16" on center <input type="checkbox"/> 93-1/4"
	Do the joists cantilever? How far?	Yes <input type="checkbox"/> 12"
Beams		
Table R507.5 (1) (40 PSF live load) Section R507.5	Wood Species (Redwood, Cedar etc. are species, <i>treated</i> is not a species)	Southern Pine <input type="checkbox"/>
	Beam Size	(2) 2x8 - ENGINEERED
	Beam Span	7'-2", 10'-0" (see engineered plans)
	Does the beam cantilever? How far?	Yes <input type="checkbox"/> 12"
Posts*		
Table 507.4 (use 40 live load row)	Wood Species (Redwood, Cedar etc. are species, <i>treated</i> is not a species)	Southern Pine <input type="checkbox"/>
	Size of Post	4x4
	Post Height	36" +/-
Piers		
Figure R507.3 Table 507.3.1 (use 40 live load row, 1500 psf column) R507.3	Type of footing/Piers	Show on plans
	Depth of Pier	<input checked="" type="checkbox"/> Freestanding deck = 12" min * <input type="checkbox"/> Attached Decks = 30" min frost depth
	Size of pier	Show on plans <input checked="" type="checkbox"/>
Connection Details		
R507.4.1 & R507.3	Footing/pier to Post Connection	Show on plans <input checked="" type="checkbox"/>
R507.5.1 & R507.5.2	Post to Beam Connection	Show on plans <input checked="" type="checkbox"/>
R507.6.1 & R602.3.1	Joist to Beam Connection	Show on plans <input type="checkbox"/>
Table R507.9.1 Tables R507.9.3(1 & 2); R507.9.1.1 Figure R507.9.1.3 (1 & 2)	Ledger Connection to house with flashing (2x8 min ledger size)	Show on plans <input type="checkbox"/> NOT APPLICABLE - FREESTANDING
R507.9.2 Figure R507.9.2 (1 or 2)	Lateral Connection	Show on plans <input type="checkbox"/> NOT APPLICABLE - FREE STANDING

Residential Deck Guide

Details



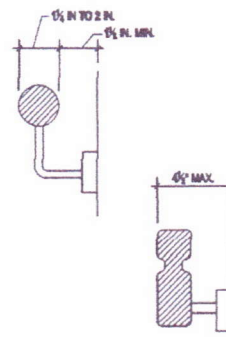
Example - Post Base Connector



Handrails

Handrails are required on at least one side of the stairs where there are 4 or more risers in a flight (landing to landing). Handrails must be graspable.

IRC Section: R311.7.8 – R311.7.8.6



Emergency Escape and Rescue Windows

Where decks are built over window wells that serve the required emergency escape and rescue opening (egress windows), a clear access height of 36" is required (measured from the top of the window well to the underside of the deck structure). **IRC R310.2.4**

Where a deck is adjacent to a window well, fall protection is required (window well cover or guardrail).

Lighting

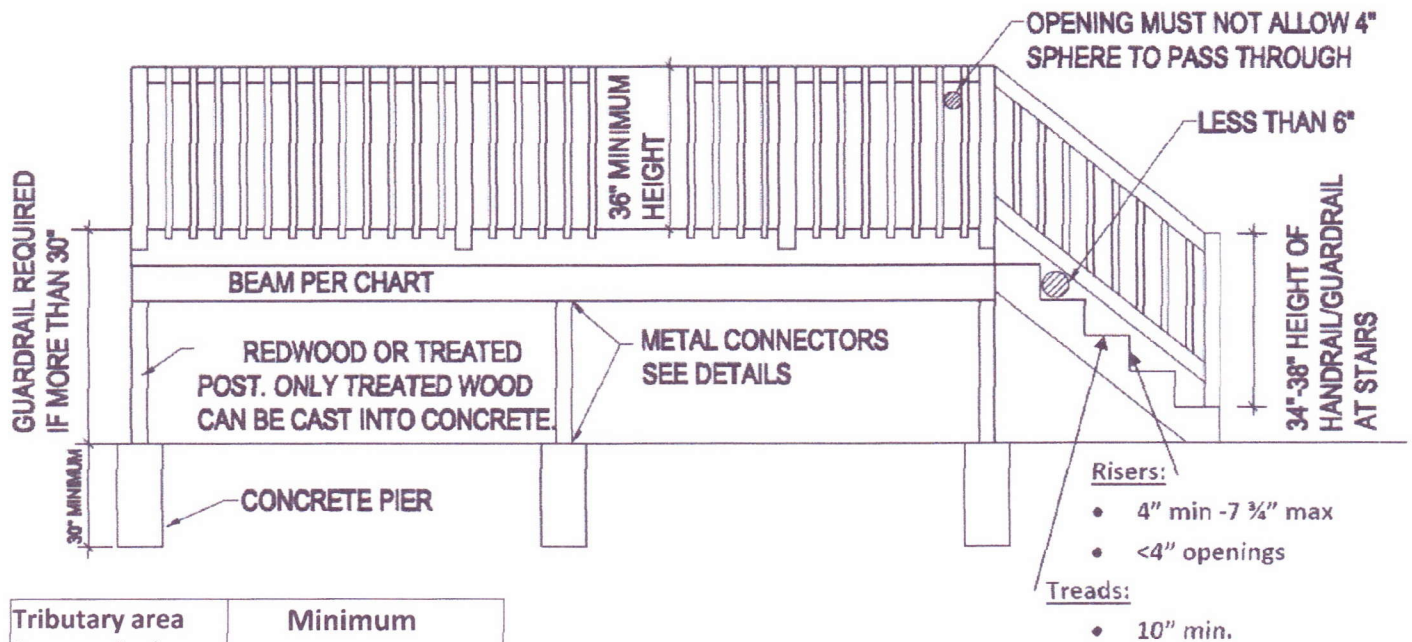
Exterior wet listed light is required at the top landing to illuminate stairs. **IRC Section R311.7.9**

Landings

A solid level landing (i.e. flagstone, concrete or other improved surface) is required at the *top* and *bottom* of exterior deck stairs sized 36" min deep (in the path of travel) x 36" min wide (or width of stair) **IRC Section: R311.7.6**

Residential Deck Guide

Elevation (Side View)



Tributary area (In square feet) -See page 2 for example	Minimum Diameter of Round Pier (In inches)
5	8
20	12
40	16
60	19
80	22
100	25
120	27
140	29
160	31

See the link to code on page 5 for alternate pier/foundation types and sizes.

Based on tributary area and soil-bearing pressure of 1500 PSF and a live load of 40 PSF (Table R507.3.1)

Guards

Guards are required for fall protection where the deck is 30" or more above grade measured at a point 5 ft away from the deck edge (local amendment to definition of grade).

- ☐ Openings in guards cannot exceed 4 inches
- ☐ For cable railing use 3" max spacing and a maximum of 4ft on center support post spacing.

Exterior Guard attachment (R507.10)*:

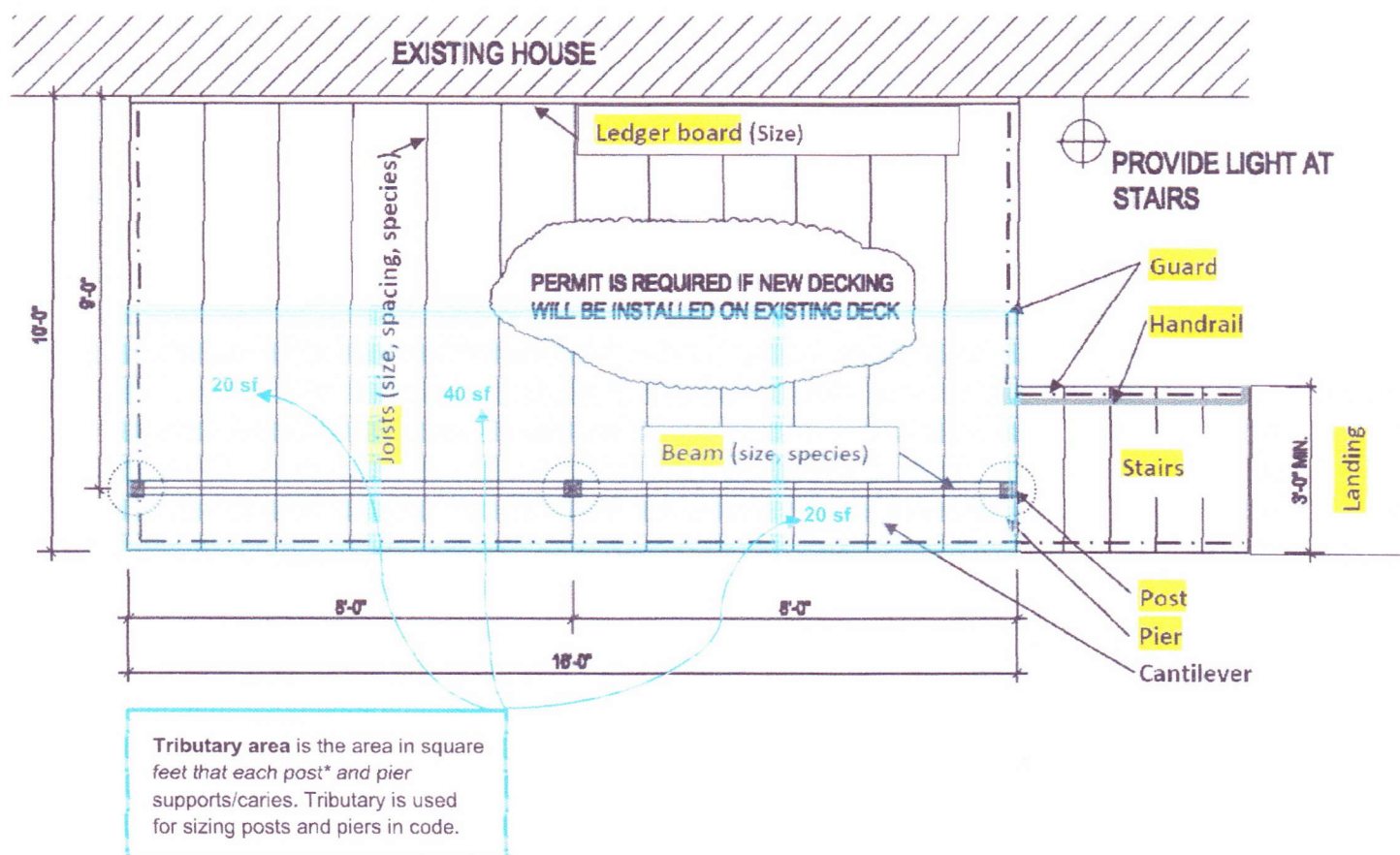
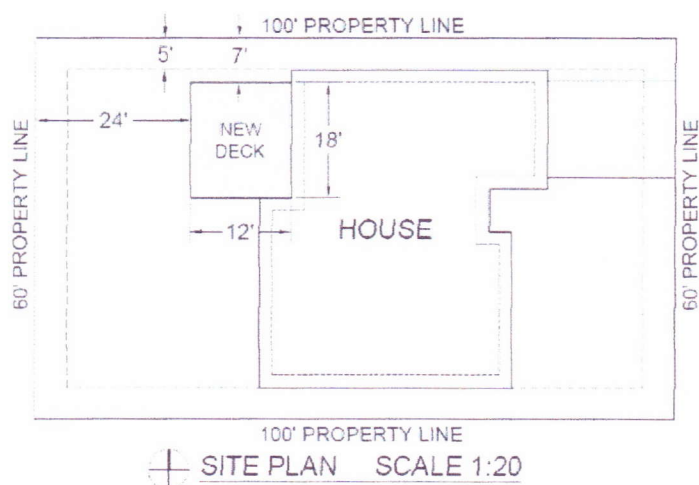
1. Guards mounted on top of the deck shall be connected to the deck joists or beams or blocking to transfer load to the adjacent joists.
2. Where guards are mounted on the side of a beam/joist shall be connected to the adjacent joist to prevent rotation. Fasteners shall not be installed in the end grain.

Residential Deck Guide

Provide the following drawings. All plans must be to scale. (example .: ¼ inch per foot). Can be hand-drawn, but PDF format

Site Plan Requirements:

- ☐ Show location of the new deck in relation to the house
- ☐ Provide measurements from deck to property lines and other structures
- ☐ Show overall length and width of the new deck
- ☐ Newer homes may have an existing site plan available through public records, which can be used to create the NEW site plan. <http://citydocs.fcgov.com/>



Residential Deck Guide

Contractor Licenses allowed to build decks:

A, B, C, C2, D, D2, MM (MM does not include 2 story decks).

Homeowners Builders: See homeowner affidavit.

Required Inspections

1. Setbacks & Footings (pier hole)
2. Foundation (post connections)
3. Rough Frame (must be called in before decking is installed). Rough Electric (if electric work is being done, prior to being concealed by fixtures/outlets).
4. Final Inspection and Final electric (if applicable)

Inspectors need to see all connections. Multiple rough frame inspections will need to be scheduled if using concealed connectors. Open pier hole needs to be inspected before pouring concrete into the hole.

<https://www.fcgov.com/building/inspections.php>

Any deck more than 30" at any point above grade requires a permit.

Any deck attached to the house requires a permit.

Any deck/landing that serves the front door requires a permit.

Any Deck more than 200 sq. ft. requires a permit.

Note: Repairs to any of the scenarios above also require a permit (i.e. replacement of beams/posts/joists, heavier decking material etc.

Submittal Checklist (all documents must be in PDF format)

- 1. Permit Application: include square footage of the deck and note if electrical work is included (lights, outlets)
Name PDF: *Apps – Address – v1*.
 - Homeowner Affidavit (for homeowner builders)
- 2. Site Plan (Name PDF: *Site Plan – Address – v1*)
- 3. Plans (Name PDF: *Plans – Address – v1*)
 - ✓ Floor Plan
 - ✓ Section/side view
 - ✓ Connection details
 - ✓ At least 1 before photo showing where the deck will be located.
 - ✓ Deck Guide filled out
- 4. Plan check fee is due at submittal.
 - ✓ See step #6 [here](#)

Engineered and stamped structural plans or letter are required to be submitted for any of the following conditions:

1. Multi-story / stacked decks
2. Beam supported by hangers
3. Deck is supported by a ledger attached to a cantilever/overhang on the existing house such as a bay window.
4. Decks attached to brick, masonry, or stone veneer.
5. Decks supporting a hot tub/pool.
6. Steel decks that do not conform to section R505, including the use of steel beams, or steel decks for at locations West of Overland Trail (>140 mph wind region)
7. Materials not addressed in code
8. Designs outside of those presented in code

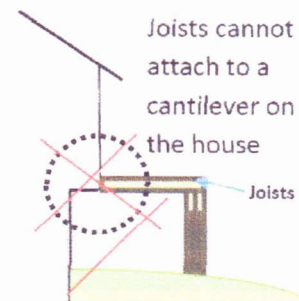




PHOTO OF EXISTING STRUCTURE

Date

Page

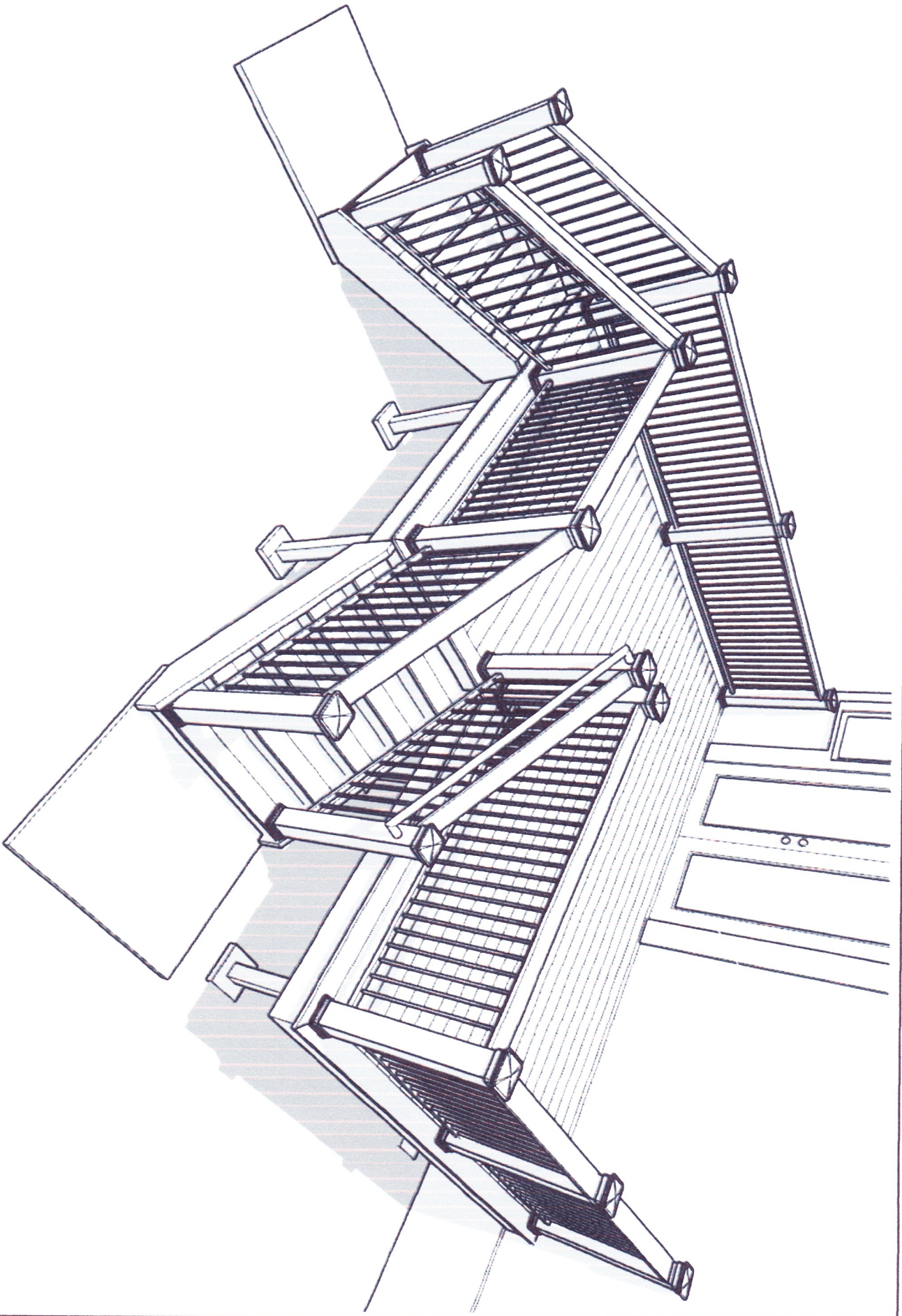
Drawn By: JB

Sundeck Designs

Fort Collins Colorado 970-690-9437

Miller residence deck remodel project
426 Peterson St. Fort Collins, CO. 80524
N 1/2 OF LOT 8, BLK 154, FTC

Parcel# 9712.33.3013



Conceptual rendering - not to scale

Date _____

Page _____

Drawn By: _____

JB

Sundeck Designs

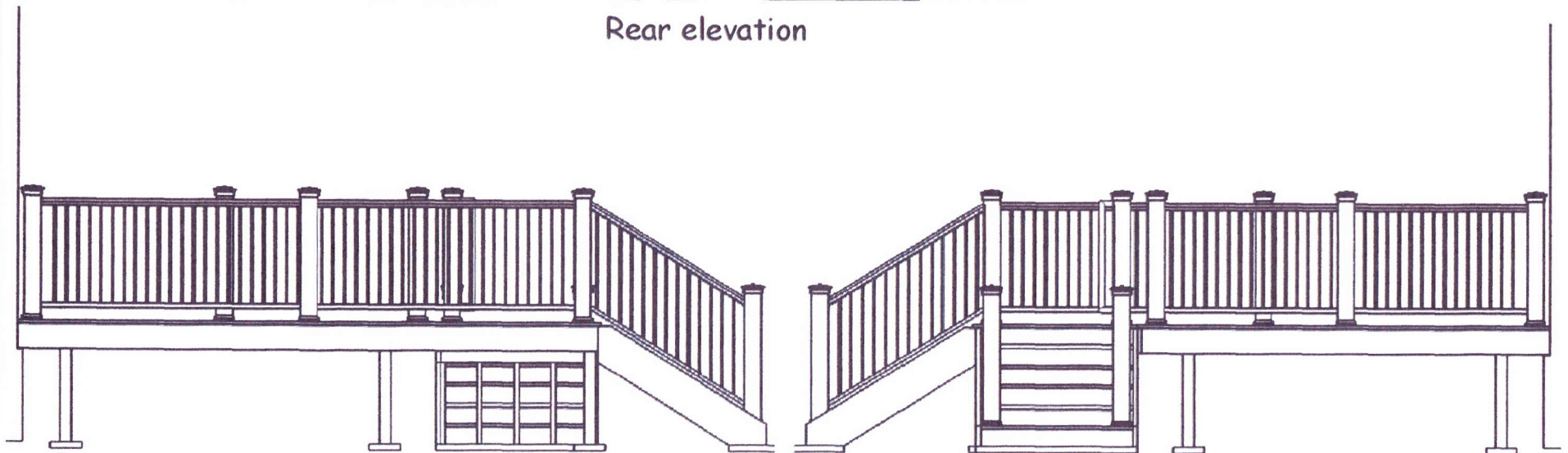
Fort Collins Colorado 970-690-9437

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426 Peterson St, Fort Collins, CO, 80524
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Rear elevation



L. side elevation

R. side elevation

Scale: 1/4" = 1'

Date _____
 Page _____
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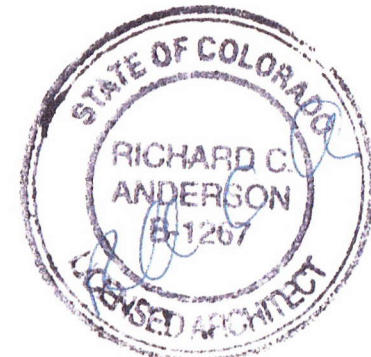
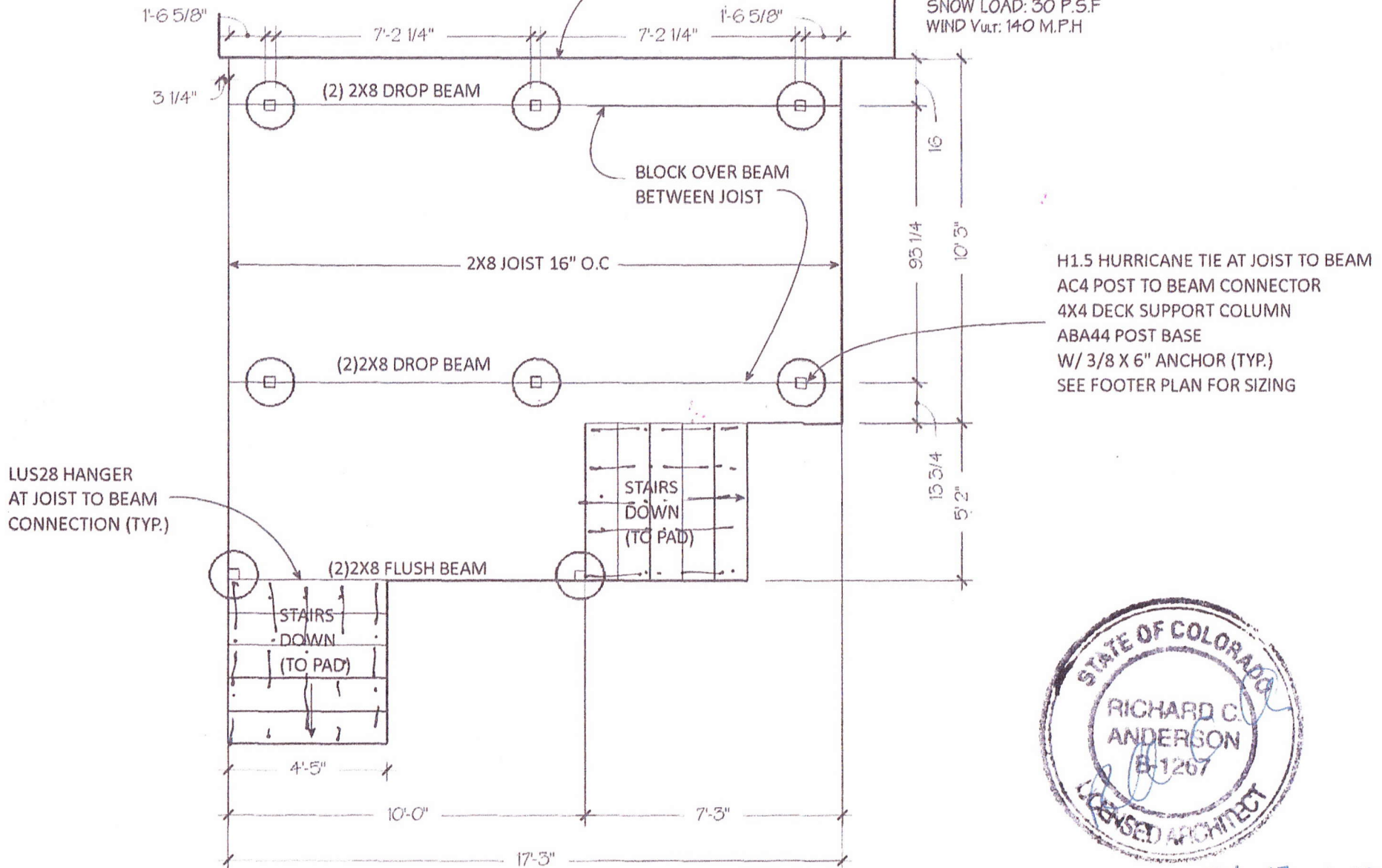
Parcel# 9712333013

FRAMING NOTES:

ALL CONSTRUCTION TO FOLLOW 2021 I.R.C. + LOCAL AMENDMENTS
FRAMING LUMBER: #2 TREATED SOUTHERN YELLOW PINE
DECKING: 5/4" X 6" COMPOSITE
RAILING: WELDED METAL PANELS W/ COMPOSITE POST

DESIGN CRITERIA:

SOIL TYPE: CLAY / SANDY CLAY W/ 1500 P.S.F LOAD CAP.
SEISMIC DESIGN CAT: B
DEAD LOAD: 10 P.S.F
LIVE LOAD: 40 P.S.F
SNOW LOAD: 30 P.S.F
WIND V_{ULT}: 140 M.P.H



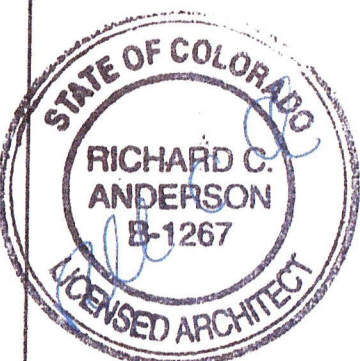
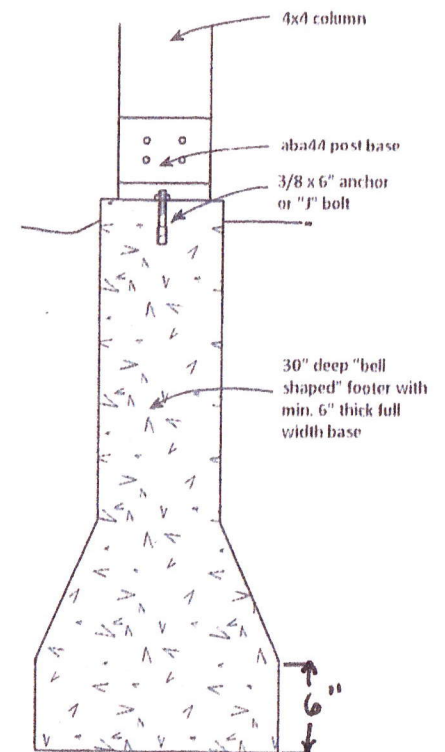
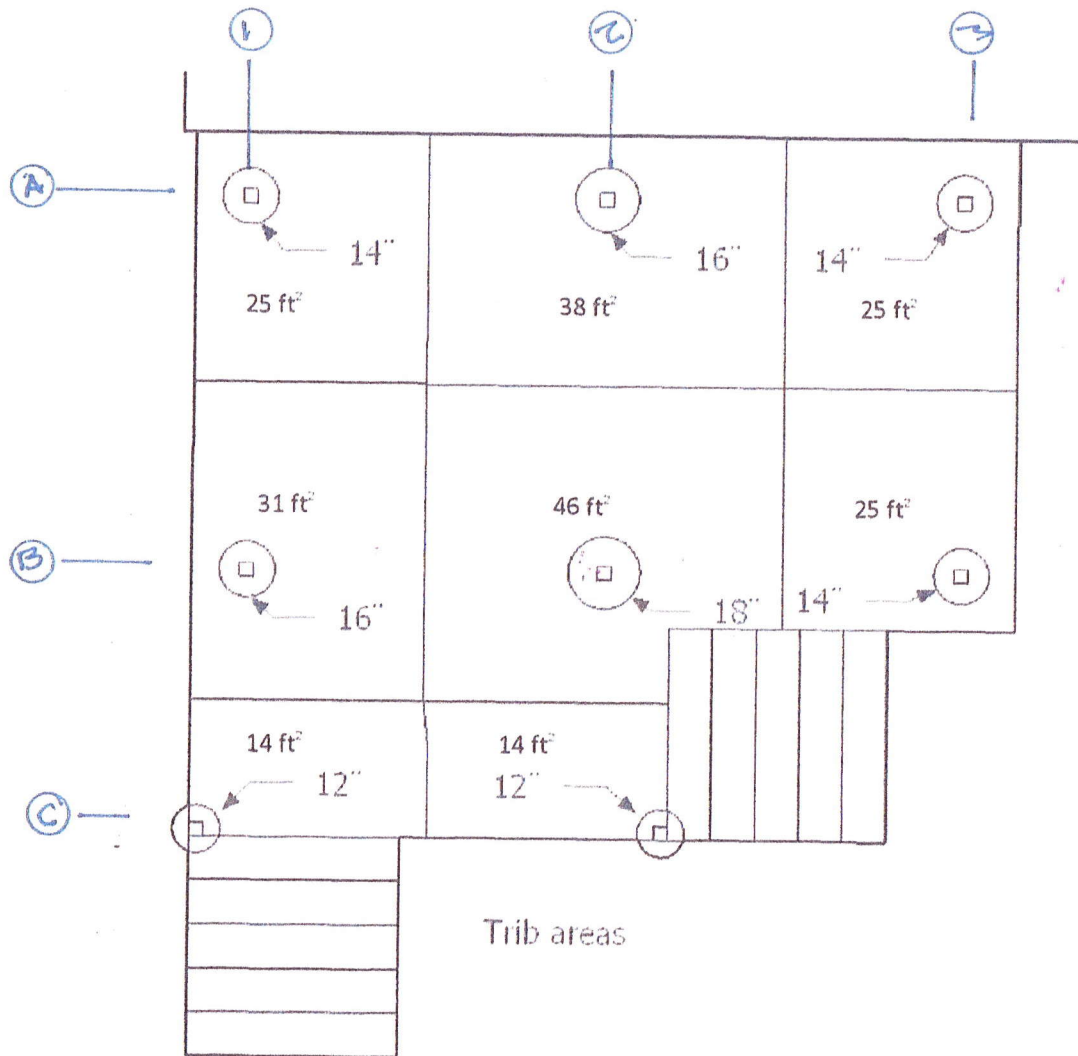
Oct 12, 2022

Date: Oct 13, 2022
Page: 1 of 2
Drawn By: JB
checked RA

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Fort Collins Colorado 970-690-9437

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426 Peterson St. Fort Collins, CO. 80524
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Oct 12, 2022

Date: Oct 13, 2022
 Page: 2 of 2
 Drawn By: JB
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JOIST / BEAM & PIER SIZING Engineered -

REVIEW PER 2021 IRC — SHEET 1 and Sheet 2 attached.

DECK LL + DL = 55 PSF

#2 TREATED SOUTHERN YELLOW PINE : $f_b = 1550$ PS INCH2x8's SPAN'S 12'-10" > 8' OK
16" OC1'-1 3/4" cantilever
OK

CHECK 2-2x8 BEAM

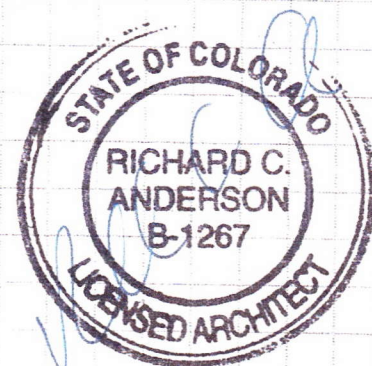
SPAN 7'-2 1/4

LOADING $55(4+2.5) = 398 \text{ \#/ft}$

$$M = \frac{398(7.25)^2}{8} = 2852$$

$$S_x = \frac{M(12)}{f_b} = \frac{2852(12)}{1550}$$

$$= 18.2$$

 S_x 2-2x8's = 26.3 > 18.2 OK

OCT 12, 2022

CHECK PIERS

PIER 1A LOADING $25 \times 55 \text{ PSF} = 1875 \div 1500 = .92$ PIER 2A $38 \times 55 = 2090$

$$\div 1500 = 1.3$$

16" PIER = 1.4 OK

PIER 3A 25 sf. : .92 req'd 1.07 provided OK

PIER 1B $31 \times 55 = 1705 \div 1500 = 1.14$

16" PIER = 1.4 OK

PIER 2B $46 \times 55 = 2530 \div 1500 = 1.7$ 18" PIER = 1.77

PIER 3B 25 sf. (.92 sf. req'd) 1.07 provided OK OK

PIER 1C LOADING $14 \times 55 = 770 \div 1500 = .51$ req'd .79 provided OK

PIER 2C DITTO OK