

Historic Preservation Services

Community Development & Neighborhood Services 281 North College Avenue P.O. Box 580 Fort Collins, CO 80522.0580

970.416.4250 preservation@fcgov.com fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS – Minor Alteration ISSUED: October 17, 2022 EXPIRATION: October 17, 2023

Greg Parker c/o Jeffrey Schneider (Armstead Construction) PO Box 330 Laporte, CO 80535

Dear Property Owner:

This letter provides you with certification that proposed work to your designated Fort Collins landmark property, the Landblom Property at 116 Pearl St., has been approved by the City's Historic Preservation Division (HPD) because the proposed work appears to be routine in nature with minimal effects to the historic resource, and meets the requirements of Chapter 14, <u>Article IV</u> of the Fort Collins Municipal Code.

The alterations reviewed include:

- Re-roofing (asphalt shingles)
- Interior work not reviewed by HPD

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that work beyond that indicated in your permit application/correspondence requires additional approval. Items requiring further approval include, but are not limited to, the following activities:

- Work affecting, or repair of, a chimney;
- Repair or replacement of historic decorative or functional features on or near the roof, such as fascia, purlins, brackets, eaves, gutters, and dormers;
- Installation of roof insulation above the sheathing that will result in more than a 4-inch increase in the roof height; (note: uncovered portions at the eave should be covered with plain fascia or drip edge);
- Addition of new rooftop features including skylights, dormers, and large new vents (note: no further review is needed to install standard edge, ridge, or "turtle" vents required for meeting ventilation standards on new roofs).

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at yjones@fcgov.com or at (970) 224-6045.

Sincerely,

Yani Jones Historic Preservation Planner



ROOFING PERMIT APPLICATION

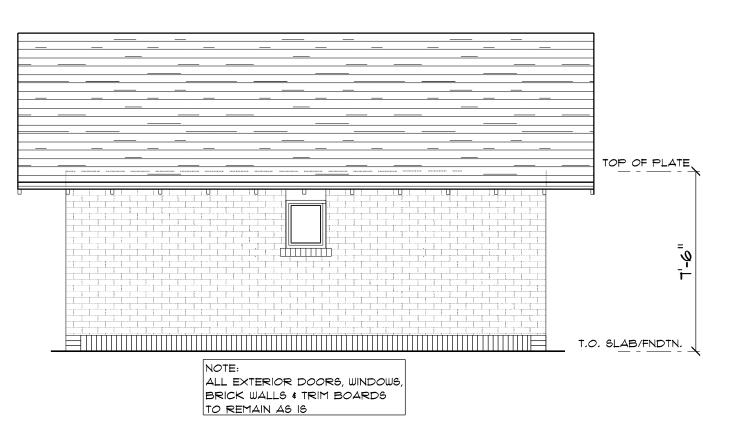
Date _	
Application # _	

281 N College Ave. Fort Collins, CO 80524 970-416-2740

buildingservices@fcgov.com

Job Site Address						_ (City/State	/Zip			
Property Owner Info					Phone Num	hor					
Name											
Address						`	Jily/State	/ZIP			
RESIDENTIAL	◯ Single	Family Detached (Townho	me (attached	l) Ouplex	0	Apartment	/Condo	○ Ga	arage/Other	
COMMERCIAL	Bank	○ Bar ○ Chu	ch O	Hotel/Motel	Medical Offi	ice C) Office	○R	etail	Restaura	ant
COMMERCIAL STRU	UCTURES										
Are you tearing off ex	xisting roo	fing materials to the	decking	?) No						
If keeping existing la	yers, how	many layers are the	re?	Wh	at kind of mater	ial are	they? _				
What new roofing ma	aterials are	you using?									
Is there existing insu	ılation?	Yes O No	Wil	l any insula	tion be removed	d/repla	ced?	Yes 🔘	No		
Value of Construction Residential and Construction Materials Manufacturer	ommercia	l = Labor and Ma		\$	of Squares			# of Sto	orias		
Manufacturer FLAT ROOF (less tha		h) Yes No		#·C	Ji Squares			_# 01 010) i i c s		
ASPHALT ROOF RE		Roof Repair 49							to be re	ocation(s) of are epaired in space ed below.	
Additional Information (if applicable)	ı										
Contractor Informati		td									
Address P.O. Bo	ox 540					_ (City/State	/Zip <u> </u>	Berthoud	d, CO 80513	
Phone Number9)70-699- <u>55</u>	75		_ Email _	info@bluefr	ogroof	ing.com				
License R-3806	3		C	ertificate _	4431-R						
WORK PERFORME	D BY	License/Certifica	e Holder	O Payrol	I Employees						
I hereby acknowledg with all requirements valid until it has be	s contained	I herein and city ord									

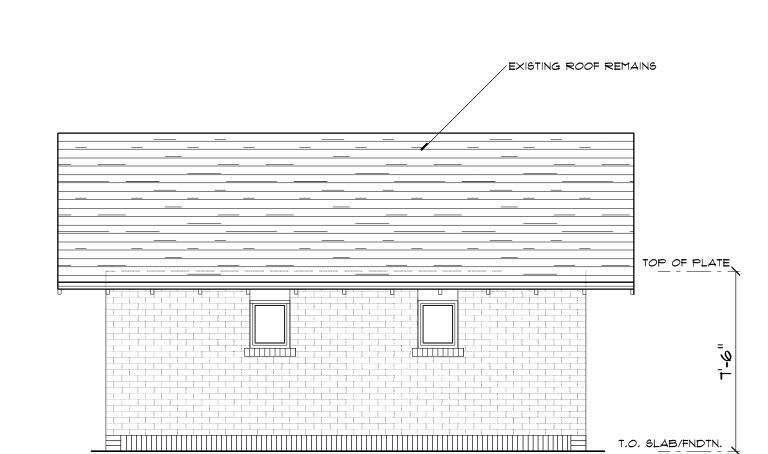
Signature Association of the Signature Print Name John Sokoll Date



LEFT SIDE ELEVATION

NORTH

SCALE: 1/4" = 1'-0"



BUILDING SECTION A

APPLY EPOXY FINISH

TO EXISTING CONC. SLAB

'NEW ENGINEERED RIDGE BEAM

EXISTING

RIDGE BEAM

TYPICAL INTERIOR WALLS:

NEW 2x4 FRAMED WALLS:

2x4 STUDS @ 16" o.c.

R15 INSULATION

TREATED BOTTOM PLATE,

1/2" GYP. BOARD, PAINTED

GLUE/NAIL TO CONC, SLAB

EXISTING ROOF SYSTEM

TO REMAIN.

, 2'-0"

OP OF SLAB/FNDTN

FOUNDATION

TYPICAL RAFTER ROOF:

3/8" = 1'-0"

EXISTING ROOF STRUCTURE TO REMAIN.

SISTER AGAINST EXISTING RAFTERS METAL COLLAR CONNECTION TIES

R-30 BATT INSULATION 1/2" GYP, BOARD, TAPE/FINISH/PAINT

NEW 2x10 RAFTERS @ 24" o.c./SIMPSON WIND TIES,

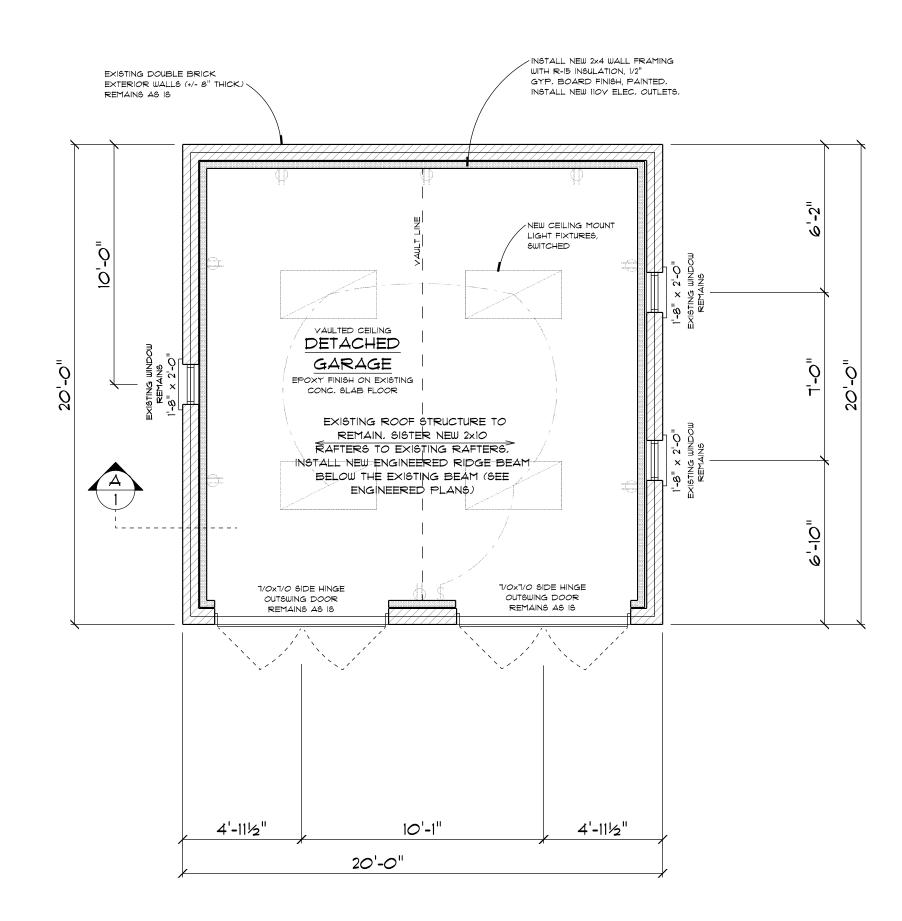
REMAIN AS IS

CONSTRUCTION +/-8" THICK

TYPICAL EXISTING

DOUBLE BRICK

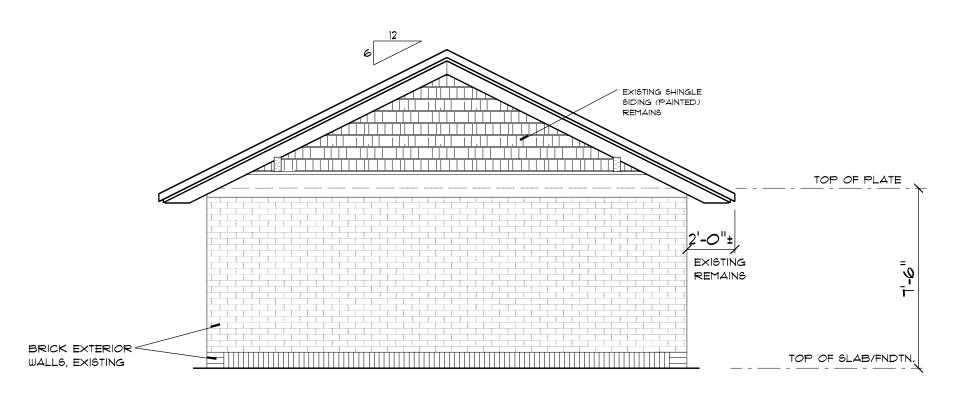
NEW ENGINEERED RIDGE BEAM



DETACHED GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION SOUTH

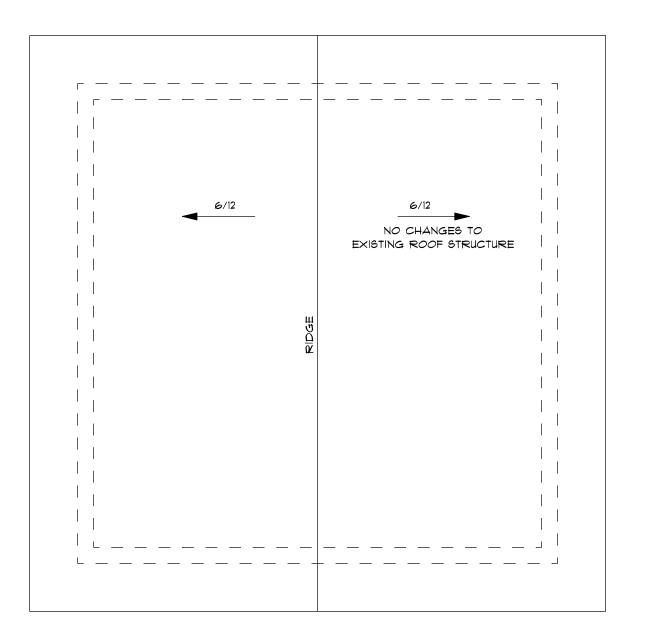


EXISTING SHINGLE SIDING (PAINTED) REMAINS TOP OF PLATE ALL EXTERIOR DOORS, WINDOWS, BRICK WALLS, & TRIM BOARDS TO REMAIN AS IS TOP OF SLAB/FNDTN.

> FRONT ELEVATION WEST







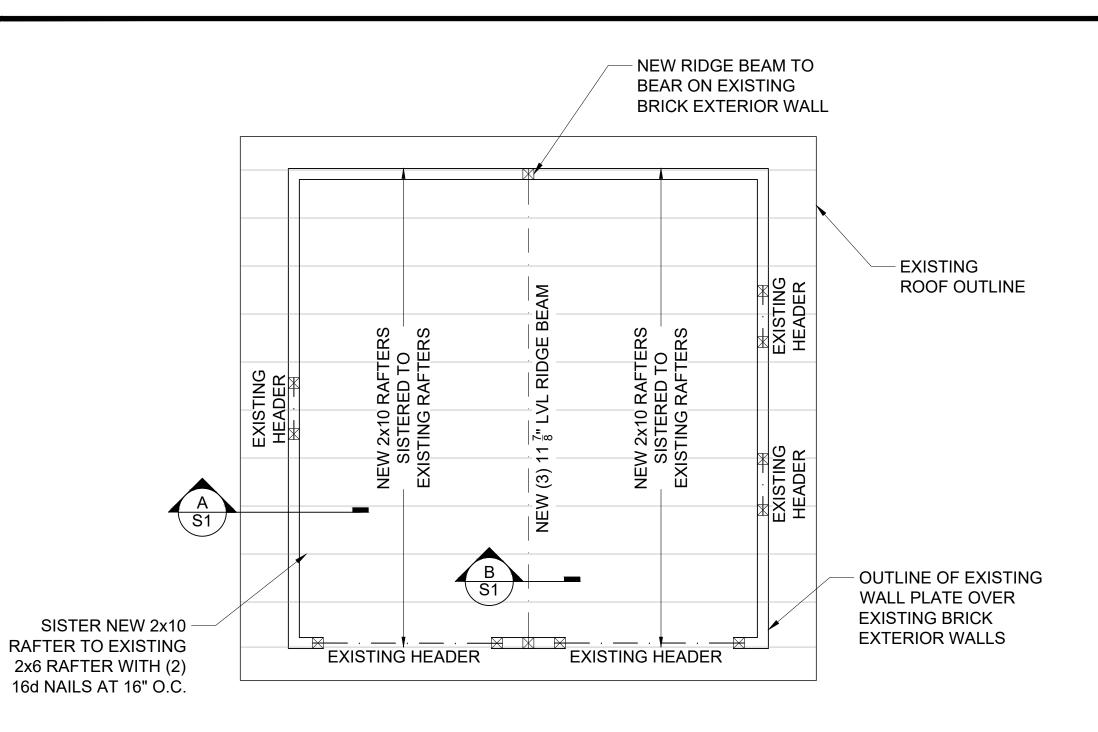
BIRD'S EYE ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF/INTERIOR FINISH

PARKER DET. GAR.

CONSTRUCTION INC



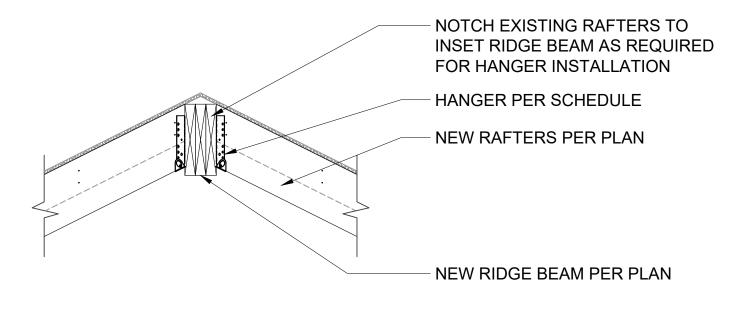
ROOF FRAMING PLAN NOTE: EXISTING HEADERS TO REMAIN

SCALE: 1/4" = 1'-0"

EXISTING 2x6 RAFTERS — TO REMAIN	
SISTER NEW 2x10 RAFTERS — TO EXISTING WITH (2) 16d NAILS AT 16" O.C.	
BEVELED 2x STRIP —	
ATTACH NEW 2x10 RAFTERS — TO EXISTING WALL PLATE WITH SIMPSON H3 TIES	NOTE: NEW RAFTERS TO BEAR ON EXISTING BRICK EXTERIOR WALL



NOTE: CONTACT CTL|THOMPSON PRIOR TO CONSTRUCTION IF CONNECTION VARIES FROM ABOVE DETAIL



B NEW RIDGE BEAM ATTACHMENT

STRUCTURAL NOTES

1. Materials:

DESIGN CRITERIA

HANGER SCHEDULE

NOTE: FOR EXTERIOR APPLICATIONS WHERE ACQ

TREATED LUMBER WILL BE USED, ALL HANGERS MUST

CONNECTION LOCATION

SAWN RAFTER TO RIDGE BEAM

HAVE ZMAX CORROSION PROTECTION.

Referenced Design Codes:

Roof Dead Load

Ground Snow Load

Flat Roof Snow Load

Design Wind Speed

Internal Pressure Coefficient

Wind Speed Type Wind Exposure

Snow Exposure Factor

Snow Importance Factor Snow Thermal Factor

Roof Live Load

Roof Loads:

Wind Loads:

2021 IRC, ASCE 7-16

Risk Category II

2018 NDS

15 psf

20 psf

30 psf

30 psf

140 mph

0.18 (Enclosed)

CONNECTOR

LSSJ-SERIES

1.1

Vult

This plan is based upon the following material properties:

Wood: All dimensional lumber shall be Hem Fir #2 or better unless noted on the plan. All Laminated Veneer Lumber is $1\frac{3}{4}$ " thick x depth shown on plans and shall have an allowable Flexural stress Fb = 2600 psi and Modulus of Elasticity of E = 1.9x10E6 psi or better.

Fasteners All fasteners and connectors in contact with pressure treated lumber and shall be G185 hot-dip galvanized, type 304 stainless steel or type 316 connectors: stainless steel.

All framing shall be in accordance with the provisions of 2021 IRC. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturers specifications. Refer to the code for additional requirements.

Walls: Built up columns are 3-2x6 Hem Fir #2 or better unless noted otherwise on

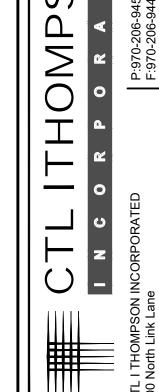
the plans

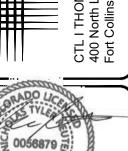
Misc: All wood in contact with concrete shall be pressure treated or redwood. Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

3. Limitations:

2. Framing:

It is the contractors/owners responsibility to verify and coordinate all dimensions prior to construction. Brick ledges, foundation steps, insets, beam pockets, and basement windows, etc. may or may not be shown. These plans are based on the architects and/or contractor/owner furnished plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of the engineer. We recommends a copy of "A Guide to Swelling Soils for Colorado Home Buyers and Home Owners, Colorado Geological Survey Special Publication #43 be provided to any new or future owners of this property.





09/23/22



FRAMING

FC10488.000 09/23/2022 PER PLAN