



## Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue

P.O. Box 580

Fort Collins, CO 80522.0580

970.416.4250

[preservation@fcgov.com](mailto:preservation@fcgov.com)

[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

### **CERTIFICATE OF APPROPRIATENESS – Minor Alteration**

**ISSUED: October 17, 2022**

**EXPIRATION: October 17, 2023**

Greg Parker  
c/o Jeffrey Schneider (Armstead Construction)  
PO Box 330  
Laporte, CO 80535

Dear Property Owner:

This letter provides you with certification that proposed work to your designated Fort Collins landmark property, the Landblom Property at 116 Pearl St., has been approved by the City's Historic Preservation Division (HPD) because the proposed work appears to be routine in nature with minimal effects to the historic resource, and meets the requirements of Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

The alterations reviewed include:

- Re-roofing (asphalt shingles)
- Interior work not reviewed by HPD

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that work beyond that indicated in your permit application/correspondence requires additional approval. Items requiring further approval include, but are not limited to, the following activities:

- Work affecting, or repair of, a chimney;
- Repair or replacement of historic decorative or functional features on or near the roof, such as fascia, purlins, brackets, eaves, gutters, and dormers;
- Installation of roof insulation above the sheathing that will result in more than a 4-inch increase in the roof height; (note: uncovered portions at the eave should be covered with plain fascia or drip edge);
- Addition of new rooftop features including skylights, dormers, and large new vents (note: no further review is needed to install standard edge, ridge, or "turtle" vents required for meeting ventilation standards on new roofs).

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at (970) 224-6045.

Sincerely,

Yani Jones  
Historic Preservation Planner



# ROOFING PERMIT APPLICATION

Date \_\_\_\_\_  
Application # \_\_\_\_\_

281 N College Ave. 970-416-2740  
Fort Collins, CO 80524 buildingservices@fcgov.com

**ALL information is REQUIRED. Incomplete applications will not be accepted.**

Job Site Address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

### Property Owner Information

Name \_\_\_\_\_ Phone Number \_\_\_\_\_

Address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

RESIDENTIAL     Single Family Detached     Townhome (attached)     Duplex     Apartment/Condo     Garage/Other

COMMERCIAL     Bank     Bar     Church     Hotel/Motel     Medical Office     Office     Retail     Restaurant

### COMMERCIAL STRUCTURES

Are you tearing off existing roofing materials to the decking?  Yes  No  
If keeping existing layers, how many layers are there? \_\_\_\_\_ What kind of material are they? \_\_\_\_\_  
What new roofing materials are you using? \_\_\_\_\_  
Is there existing insulation?  Yes  No      Will any insulation be removed/replaced?  Yes  No

**Value of Construction**  
Residential and Commercial = Labor and Materials \$ \_\_\_\_\_

### Materials

Manufacturer \_\_\_\_\_ # of Squares \_\_\_\_\_ # of Stories \_\_\_\_\_

FLAT ROOF (less than 2:12 pitch)  Yes  No

**ASPHALT ROOF REPAIRS ONLY**     Roof Repair 49% of roof area max. Class 4 shingle is **not** required.  
 Roof Repair 50% or more of roof area. Class 4 shingle **is required.**    Note location(s) of areas to be repaired in space provided below.

Additional Information \_\_\_\_\_  
(if applicable) \_\_\_\_\_

### Contractor Information

Name Blue Frog Roofing Ltd

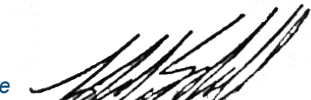
Address P.O. Box 540 City/State/Zip Berthoud, CO 80513

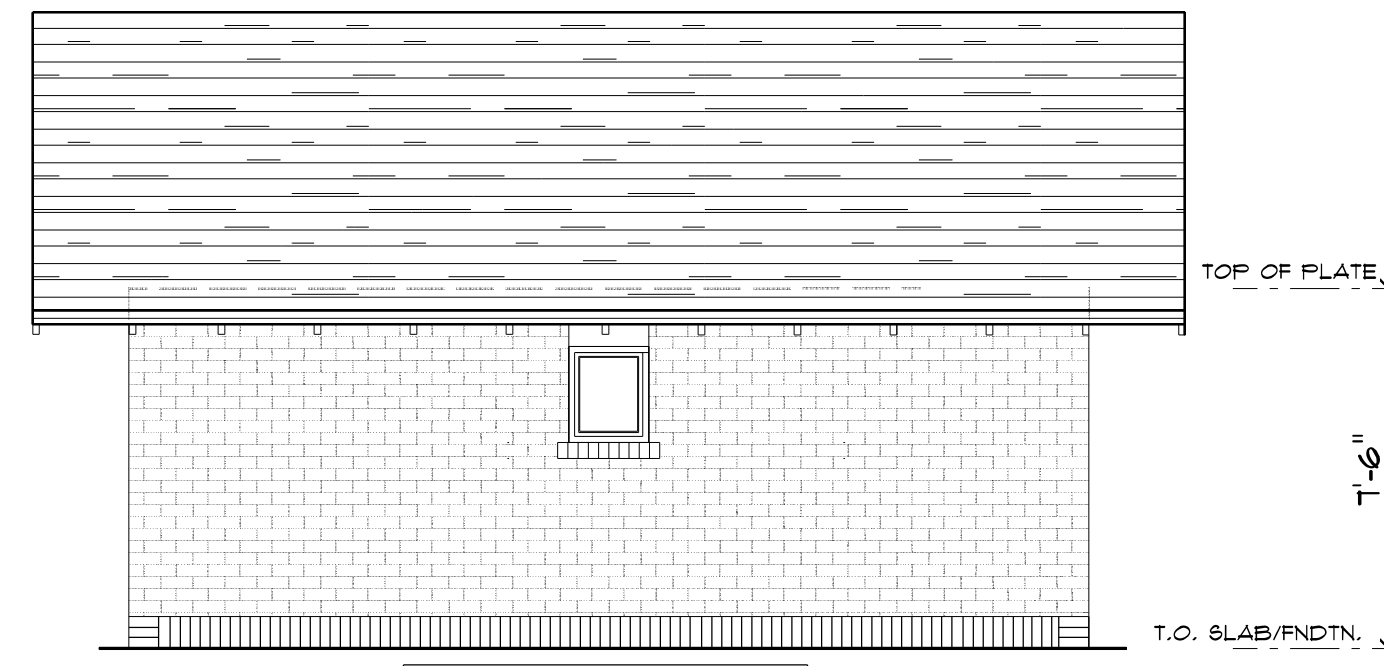
Phone Number 970-699-5575 Email info@bluefrogroofing.com

License R-3806 Certificate 4431-R

**WORK PERFORMED BY**     License/Certificate Holder     Payroll Employees     Exempt Roofer (1099): EX- \_\_\_\_\_  
 Homeowner      Company Name: \_\_\_\_\_

**I hereby acknowledge that I have read this application and state that the above information is complete and correct. I agree to comply with all requirements contained herein and city ordinances and state laws regulating building construction. I know that a permit is not valid until it has been paid and issued.**

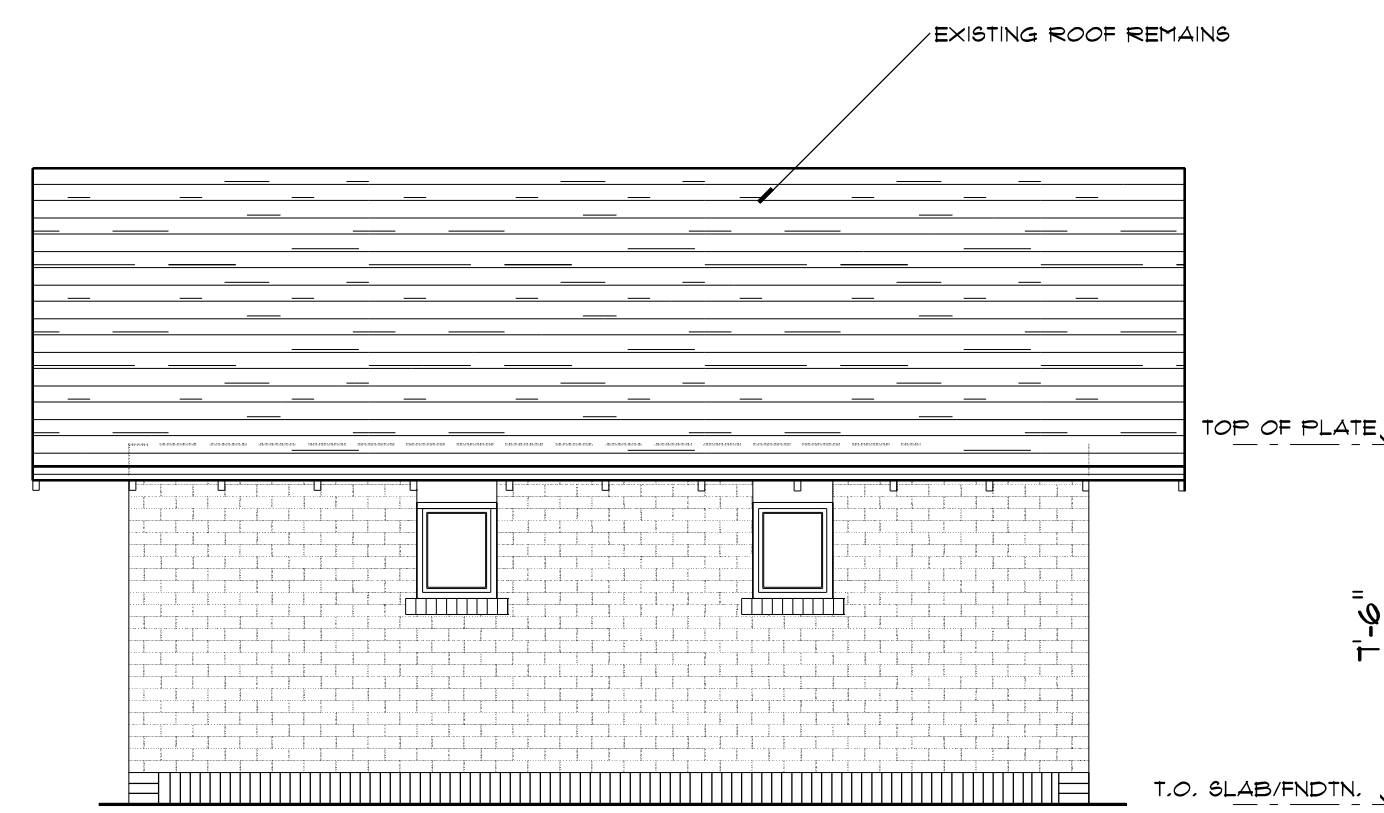
Print Name John Sokoll      Signature       Date \_\_\_\_\_



### LEFT SIDE ELEVATION

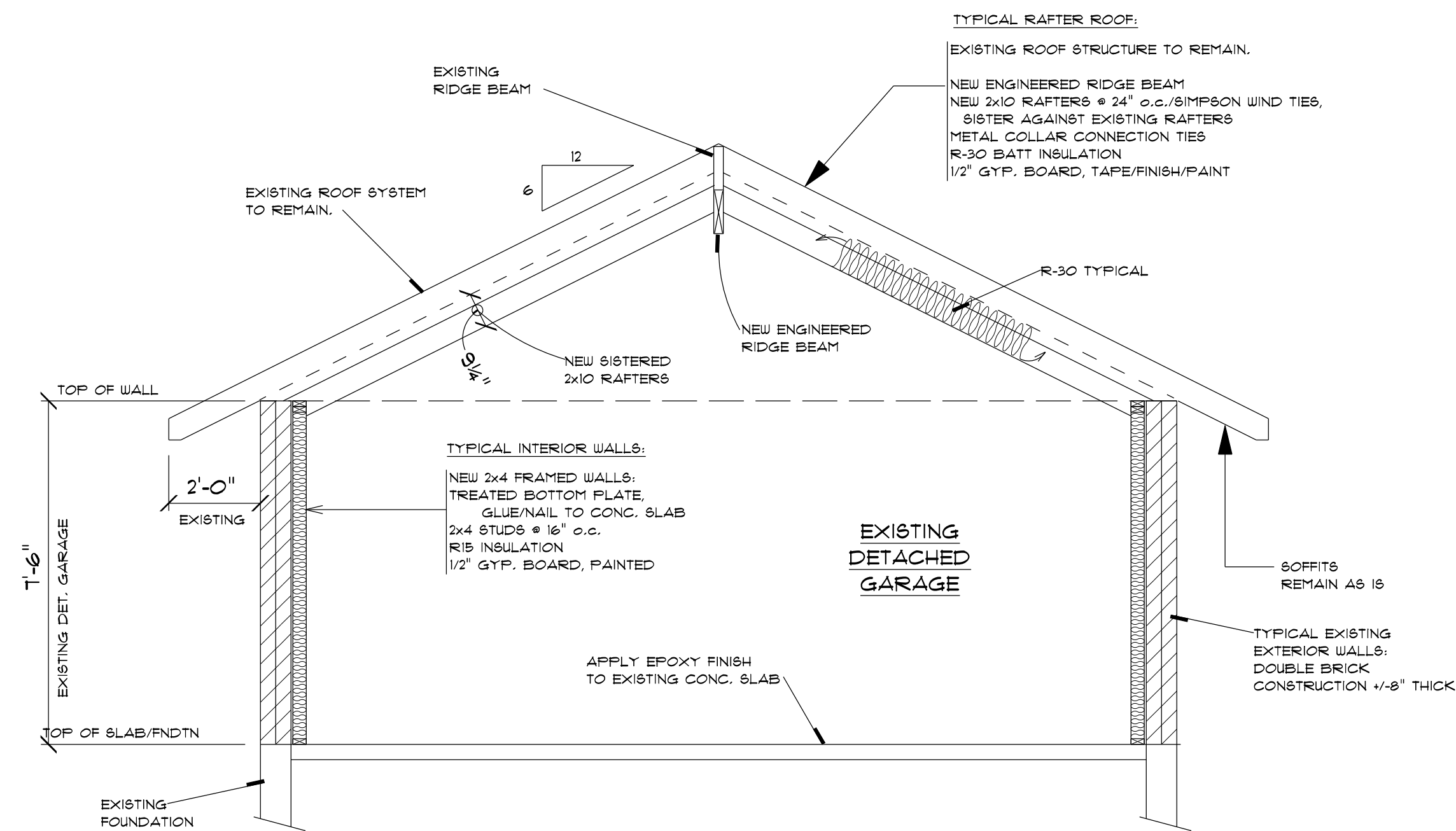
NORTH SCALE: 1/4" = 1'-0"

NOTE:  
ALL EXTERIOR DOORS, WINDOWS,  
BRICK WALLS & TRIM BOARDS  
TO REMAIN AS IS



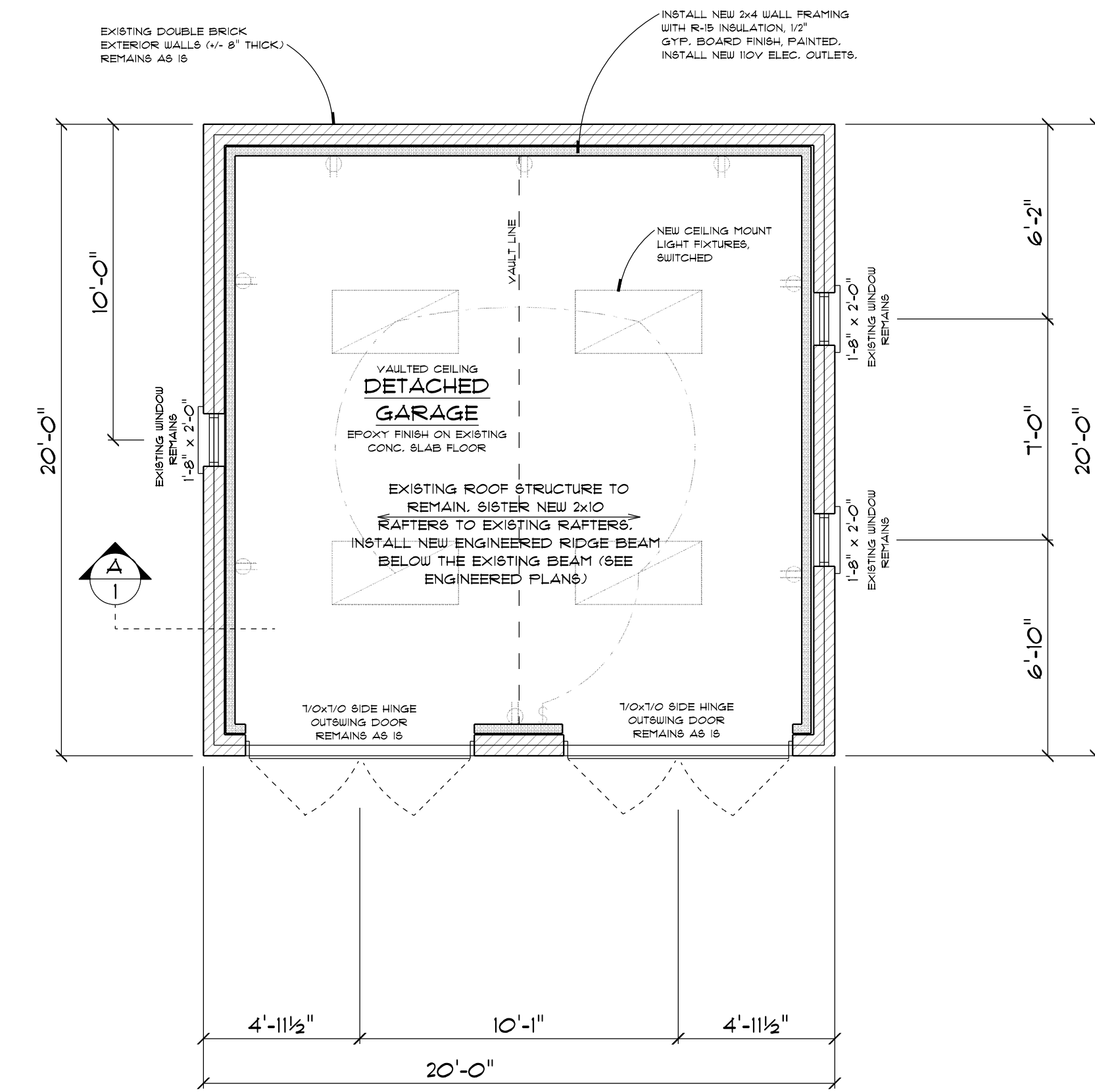
### RIGHT SIDE ELEVATION

SOUTH SCALE: 1/4" = 1'-0"



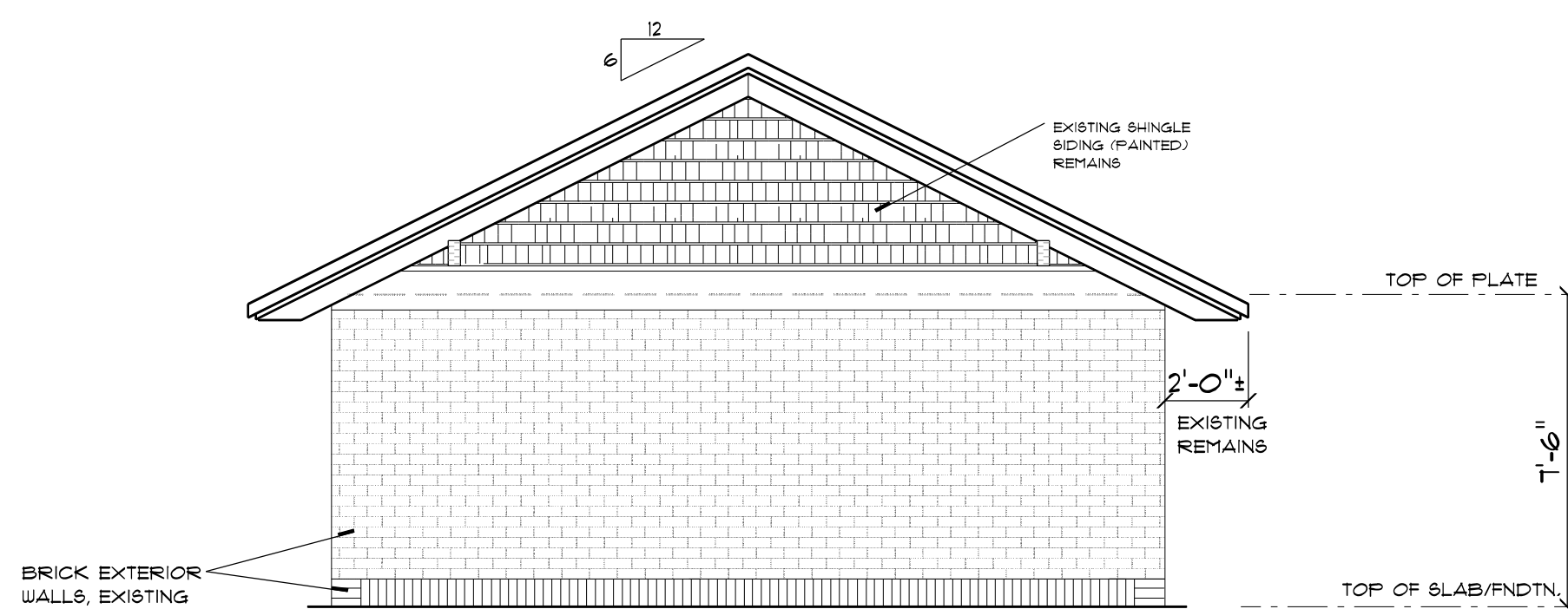
### BUILDING SECTION A

3/8" = 1'-0"



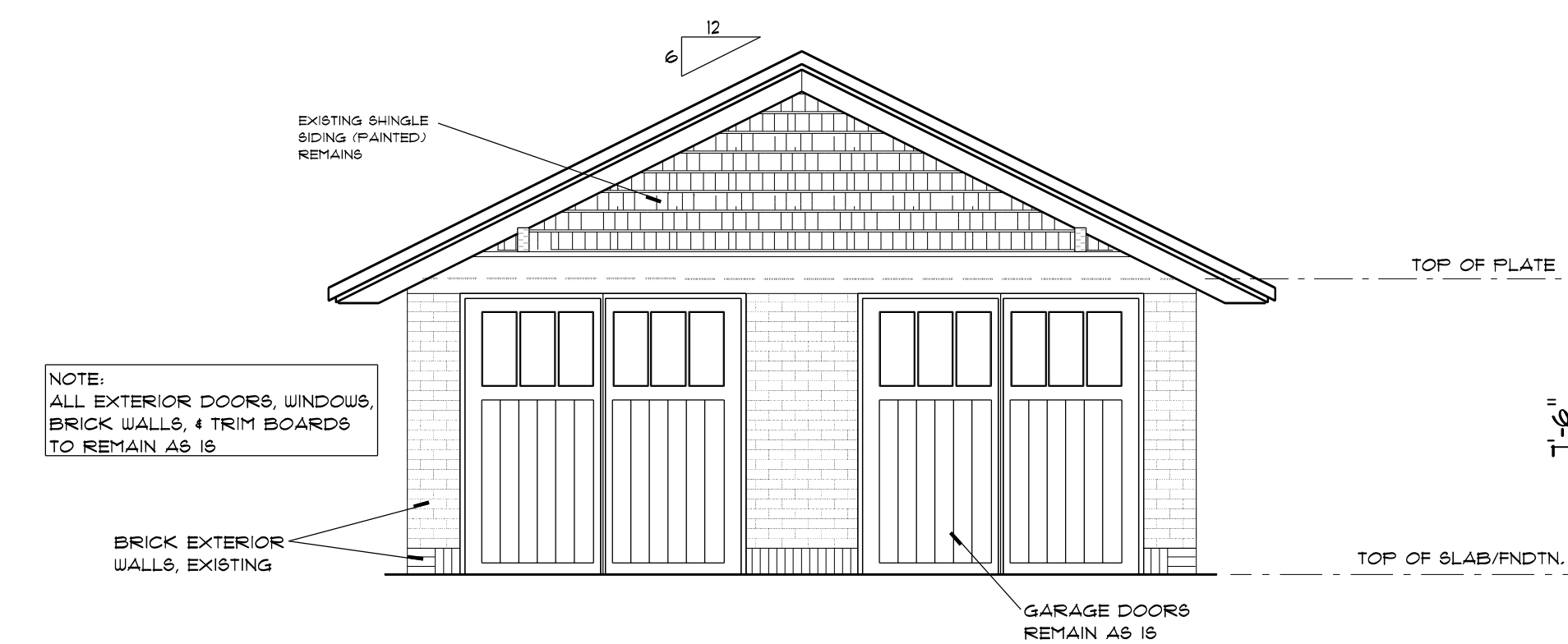
### DETACHED GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



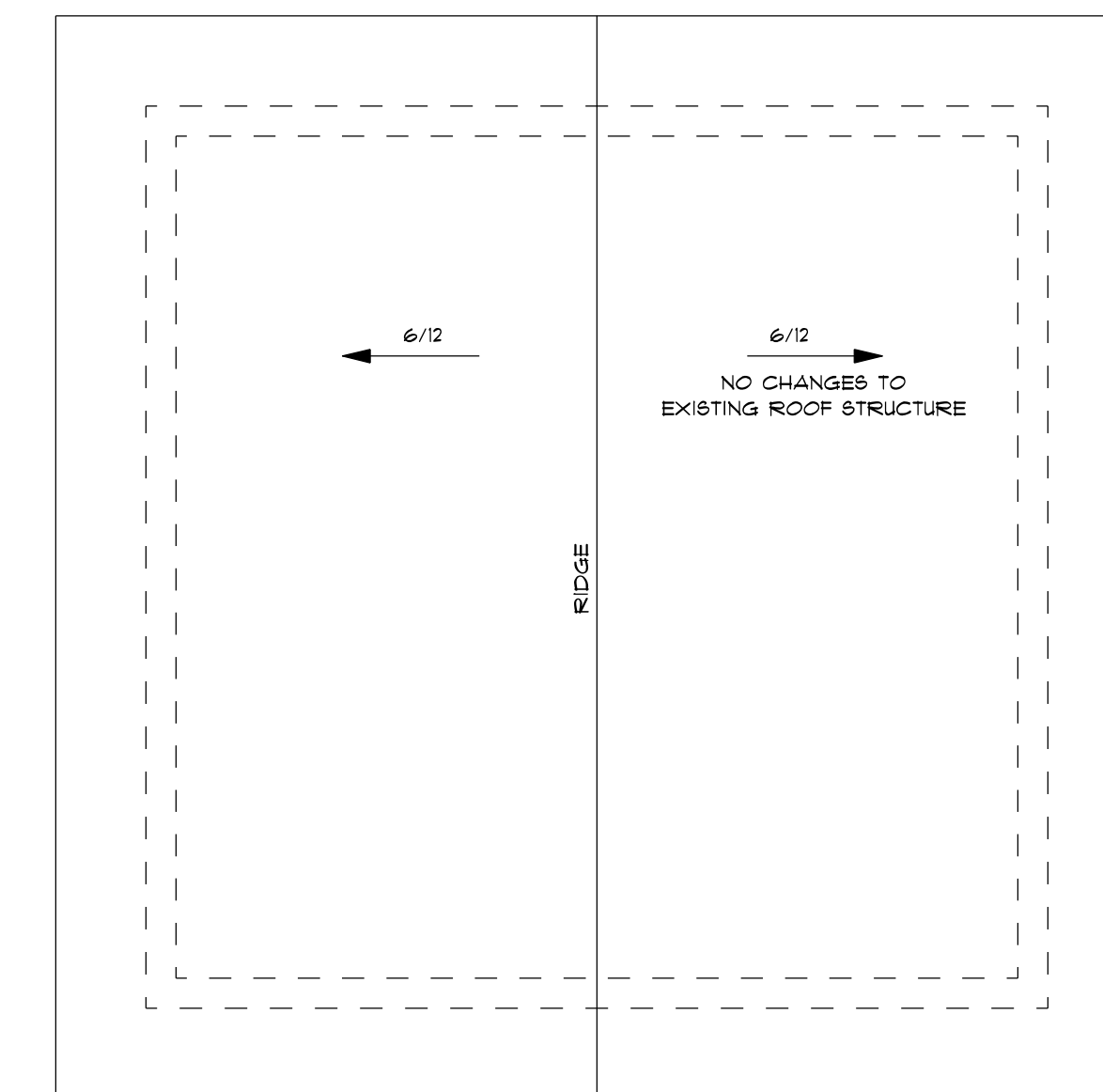
### REAR ELEVATION

EAST SCALE: 1/4" = 1'-0"



### FRONT ELEVATION

WEST SCALE: 1/4" = 1'-0"



### BIRD'S EYE ROOF PLAN

SCALE: 1/4" = 1'-0"

APPROVED:

DRAWN BY:  
JD

DATE:  
6-27-2022  
9-16-2022

ARMSTEAD CONSTRUCTION INC.  
375 E. HORSESHOOTH RD.  
BLDG 4, SUITE 102  
FORT COLLINS, COLO 80525

OFFICE: (970) 472-1113  
FAX: (970) 472-8313  
EMAIL: info@armsteadconstruction.com



PARKER DET. GAR. ROOF/INTERIOR FINISH

ADDITIONAL INFORMATION

116 PEARL STREET  
FORT COLLINS, COLO 80521

SHEET:

1 / 1

