



## Historic Preservation Services

### Community Development & Neighborhood Services

281 North College Avenue  
P.O. Box 580  
Fort Collins, CO 80522.0580

970.416.4250

[preservation@fcgov.com](mailto:preservation@fcgov.com)

[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

## REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 610 Whedbee St.

Laurel School National Register Historic District

ISSUED: 9/8/2022

John and Valerie Melia  
c/o William Rogers, Rogers Construction LLC  
531 Skyway Dr.  
Fort Collins, CO 80525

Dear William Rogers:

This report is to document proposed alterations to the R.A. Ellis House, at 610 Whedbee St., pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include:

- Demolition of two garages
- Construction of a new detached garage with storage loft; a carport; a deck; and a covered patio

Our staff review of the proposed work finds the alterations do not meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>  <b>The use of this property will remain residential.</b>	Y

<b>SOI #2</b>	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p><b>Although the name of this historic property does not specifically include the secondary buildings, both garage structures at the rear of this property date to the period of significance for the Laurel School Historic District (1924 and 1933). Their demolition does not meet this Standard; however the placement of the new garage and covered patio structure do allude to the spatial relationship of the original structures.</b></p>	<b>N</b>
<b>SOI #3</b>	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	<b>N/A</b>
<b>SOI #4</b>	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p><b>The secondary structures were not built at the same time as the historic residence (1923), but they still represent the pattern of development embodied by the Laurel School Historic District. Their demolition does not meet this Standard.</b></p>	<b>N</b>
<b>SOI #5</b>	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p><b>Because of the demolition of the historic garages, materials distinct to this property are being removed, and so this Standard is not met.</b></p>	<b>N</b>
<b>SOI #6</b>	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	<b>N/A</b>
<b>SOI #7</b>	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	<b>N/A</b>

<b>SOI #8</b>	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p><b>It is unlikely that the excavation needed for the new garage, covered patio, or deck will reveal archaeological resources, but the applicant should understand that should any resources be revealed, they should be protected.</b></p>	<b>Y</b>
<b>SOI #9</b>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>The new structures are clearly differentiated from the historic house in their design and use of modern materials like metal roofing, board and batten siding, or fiberglass windows; although the residence on this property is stucco, the use of engineered wood siding on the garage structure is compatible with other structures in the district, although board and batten siding is unusual. Historic materials from the two garage structures are being destroyed for the new structures to be constructed, which does not meet this Standard.</b></p>	<b>N</b>
<b>SOI #10</b>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>Because the new construction will include the demolition of two historic garage buildings, the impact to the integrity of this property is permanent, so this Standard is not met.</b></p>	<b>N</b>

Because the historic residence itself is not impacted by the new construction of the garage, covered patio, and deck, this property can still contribute to the Laurel School Historic District; however, the demolition of the two garage or shed structures does negatively impact the integrity of the property overall.

If you have any questions regarding this review, please contact me. I can be reached at [yjones@fcgov.com](mailto:yjones@fcgov.com) or at 970-658-0263.

Sincerely,

Yani Jones  
Historic Preservation Planner



## BUILDING PERMIT APPLICATION

FOR OFFICE USE

APPLICATION NUMBER:

APPLICATION DATE:

Job Site Address \_\_\_\_\_ Unit# \_\_\_\_\_

**PROPERTY OWNER INFO: (All owner information is required – NOT optional)**

Last Name \_\_\_\_\_ First Name \_\_\_\_\_ Middle \_\_\_\_\_

Street Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

Name of Business (COMMERCIAL USE ONLY) \_\_\_\_\_

**CONTRACTOR INFO:** Company Name \_\_\_\_\_

License Holder Name \_\_\_\_\_ LIC # \_\_\_\_\_ CERT # \_\_\_\_\_

**LEGAL INFO:**

Subdivision/PUD \_\_\_\_\_ Filing # \_\_\_\_\_ Lot # \_\_\_\_\_ Block # \_\_\_\_\_ Lot Sq Ft \_\_\_\_\_

**CONSTRUCTON INFO:** Total Building Sq Ft (NOT including basement) \_\_\_\_\_ Total Garage Sq. Ft. \_\_\_\_\_

Residential Sq Ft \_\_\_\_\_ Commercial Sq Ft \_\_\_\_\_ # of Stories \_\_\_\_\_ Bldg Ht \_\_\_\_\_ # of Dwelling Units \_\_\_\_\_

1st Floor Sq Ft \_\_\_\_\_ 2nd Floor Sq Ft \_\_\_\_\_ 3rd Floor Sq Ft \_\_\_\_\_ Unfinished Basement Sq Ft \_\_\_\_\_

Finished Basement Sq Ft \_\_\_\_\_ # of Bedrooms \_\_\_\_\_ # of Full Baths \_\_\_\_\_

¾ Baths \_\_\_\_\_ ½ Baths \_\_\_\_\_ # Fireplaces \_\_\_\_\_

**ENERGY INFORMATION: (CHECK ONE)**

Prescriptive ☐ Performance ☐ U/Arescheck ☐ ERI ☐ ASHRAE ☐ Component/Comcheck ☐ IDAP ☐

**Air Conditioning?** YES ☐ NO ☐

City of Fort Collins Approved Stock Plan # **SPO** \_\_\_\_\_ List Option #s \_\_\_\_\_

**Utilities INFO:**

New Electric Service ☐ Electric Service Upgrade ☐ Electric Meter Relocation ☐

Electric Main Breaker Size (Residential Only): 150 amps or less ☐ 200 amps ☐ Other: ☐

Gas ☐ Electric ☐ Electric Temp Pedestal? Yes ☐ No ☐

**ZONING INFO: (COMMERCIAL USE ONLY)**

Proposed Use: (i.e. medical, office, bank, retail, etc.) \_\_\_\_\_

**For Commercial remodels and tenant finishes, please answer the following questions:**

Is the remodel/tenant finishes for an existing or new tenant? (Please check one)

Existing Tenant ☐ New Tenant ☐

If for a new tenant, is this the first tenant to occupy this space?

Yes ☐ No ☐ If not for the initial tenant for this unit, what was the previous use of this tenant space?

Are there any exterior building changes (including mechanical) associated with the work? Yes ☐ No ☐

If yes, please describe: \_\_\_\_\_



**Value of Construction (materials and labor):** \$ \_\_\_\_\_

**Description of Work:** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**JOBSITE SUPERVISOR CONTACT INFO:** Name \_\_\_\_\_ Phone \_\_\_\_\_

**SUBCONTRACTOR INFO:** Electrical \_\_\_\_\_ Mechanical \_\_\_\_\_

Plumbing \_\_\_\_\_ Framing \_\_\_\_\_ Roofing \_\_\_\_\_

Fireplace \_\_\_\_\_ Solar \_\_\_\_\_ Other \_\_\_\_\_

**ASBESTOS STATEMENT DISCLOSURE:** *In accordance with the State of Colorado Senate Bill 13-152, property owners, applying for a remodel permit, shall indicate their awareness about their property having been inspected for Asbestos Containing Materials (ACM's).*

- ☐ I do not know if an asbestos inspection has been conducted on this property.
- ☐ An asbestos inspection has been conducted on this property on or about (enter date) \_\_\_\_\_
- ☐ An asbestos inspection has not been conducted on this property.

**Applicant:** I hereby acknowledge that I have read this application and state that the above information is correct and agree to comply with all requirements contained herein and City of Fort Collins ordinances and state laws regulating building construction.

Applicant Signature  Type or Print Name \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

**THIS APPLICATION EXPIRES 180 DAYS FROM APPLICATION DATE**

Building permit fees are based on Occupancy Category and Square Footage. Occupancy Categories are typically located on the architectural plans for submittal. A summary of each occupancy category is also included in the following pages as well.

## Required for permit submittal - Fill out the following table:

Occupancy Category (See Description of Occupancies Below)	Square Footage	Multiply square foot by cost per square foot.	Cost per Square Foot	Total
A (Assembly)		x	\$0.40	
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H High hazard		x	\$0.60	
Core and Shell Buildings (No designated occupancy type at construction)		x	\$0.45	
<b>Total</b>				

\*\*\*\*Occupancies and fees will be verified at plan review to ensure occupancy categories and square footages are accurate. Fees will be re-assessed if occupancies and square footages do not match plans.\*\*\*\*

**For additions that include interior remodel:** please provide addition square footage above and remodel only valuation here \_\_\_\_\_.

Please note: overall valuation provide on building permit application will be used for taxes only. Remodel only valuation will be used to calculate plan check fee and building permit fee for addition.

## For New Multi-family buildings fill out the following:

- Are there any areas/functions, other than dwelling units in this building (examples: leasing office, gym, community gather areas, storage, garage, facilities office)?
  - ☐ Yes - there are other functions/occupancy areas. *Required: list each in the table above*
  - ☐ No - only dwelling units
- Are these other areas/functions/ occupancy types available to the public (examples: public gym or pool, event spaces, store/shops/salons, etc.)?
  - ☐ Yes (Mixed Use Building) - there are other occupancies/amenities available to the public.
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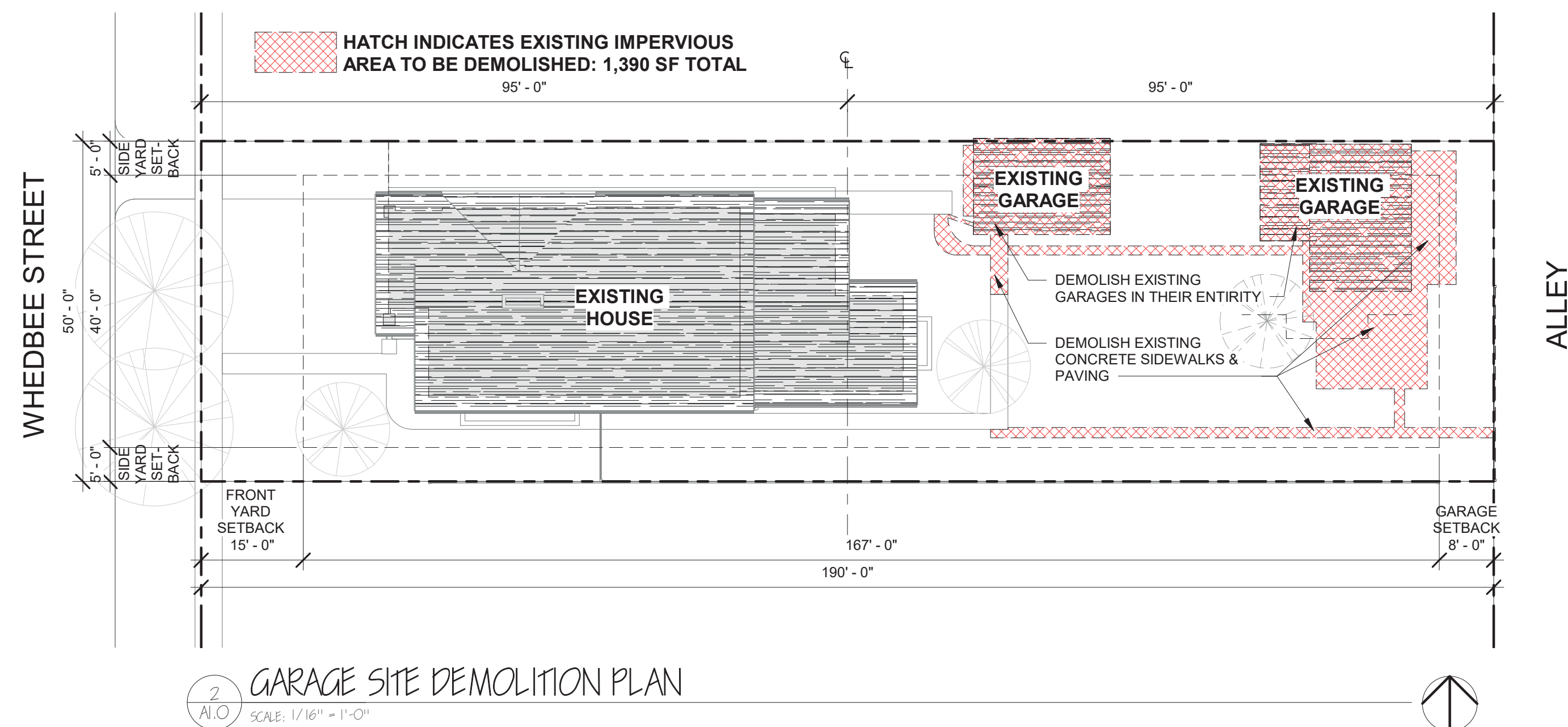
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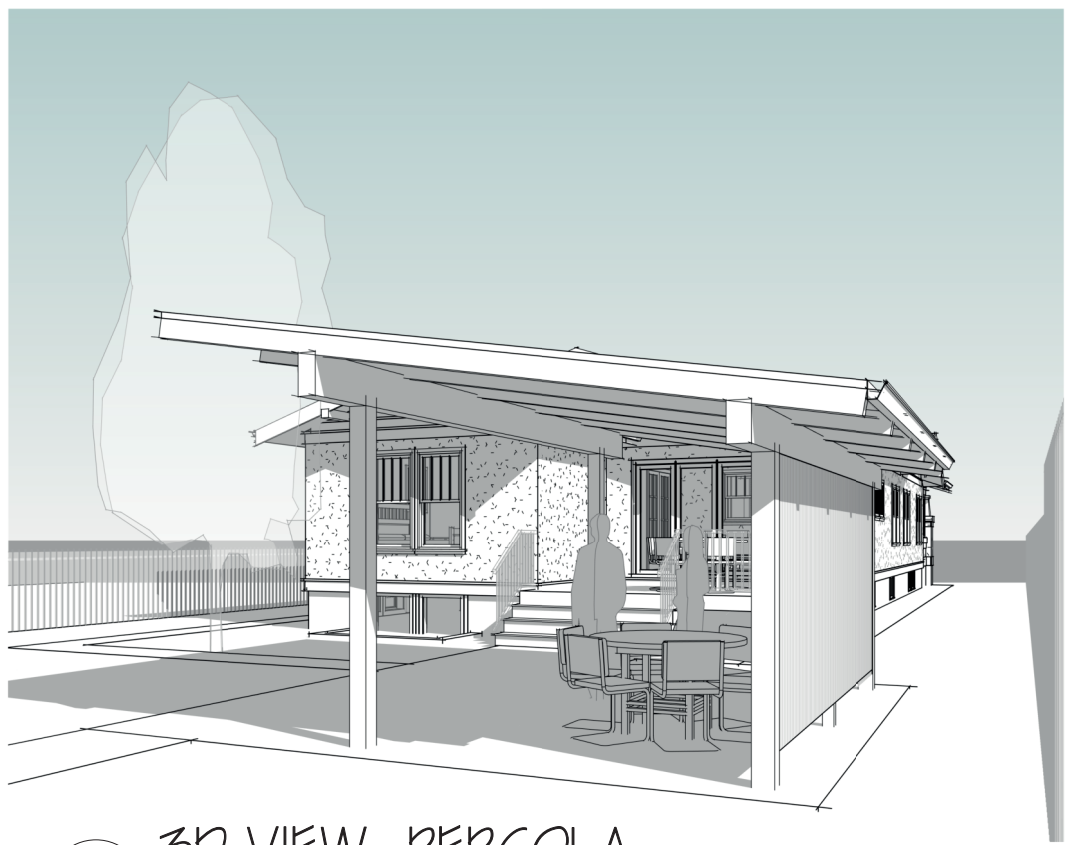
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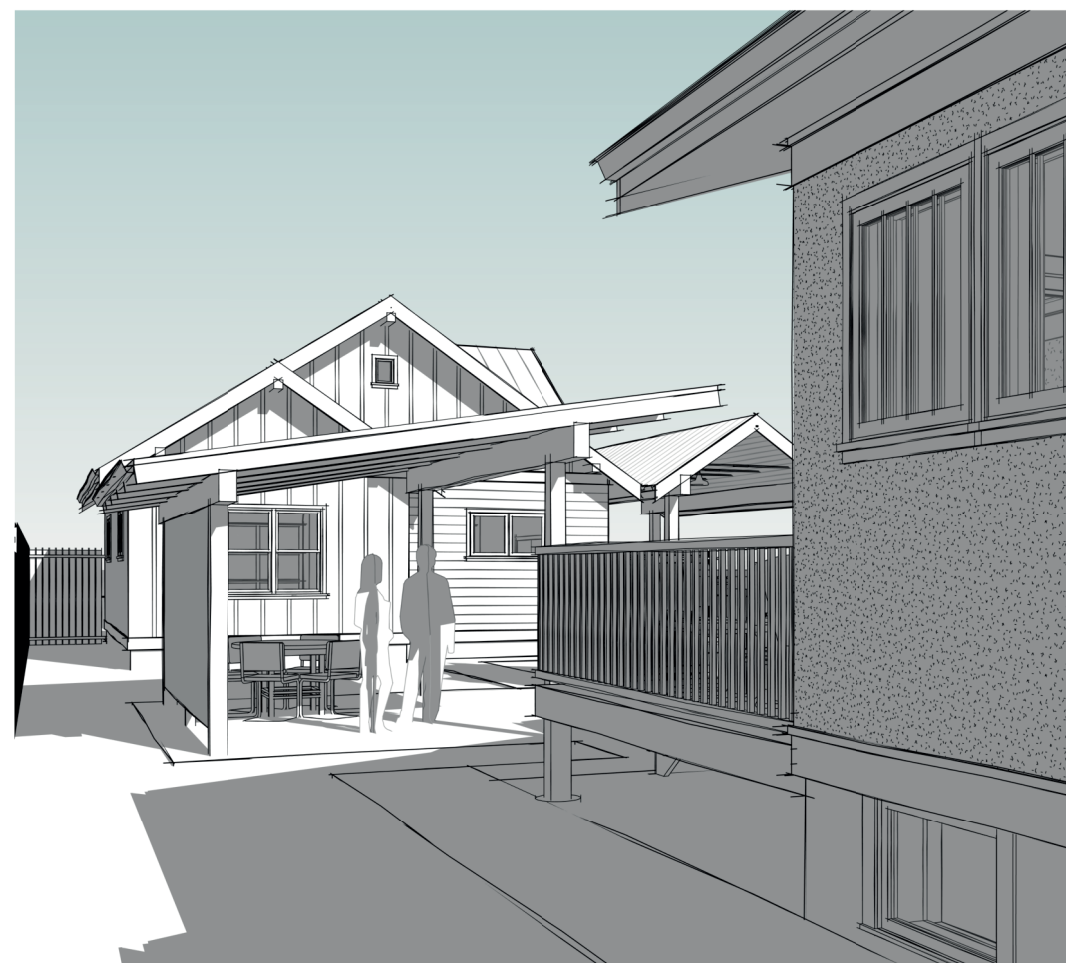




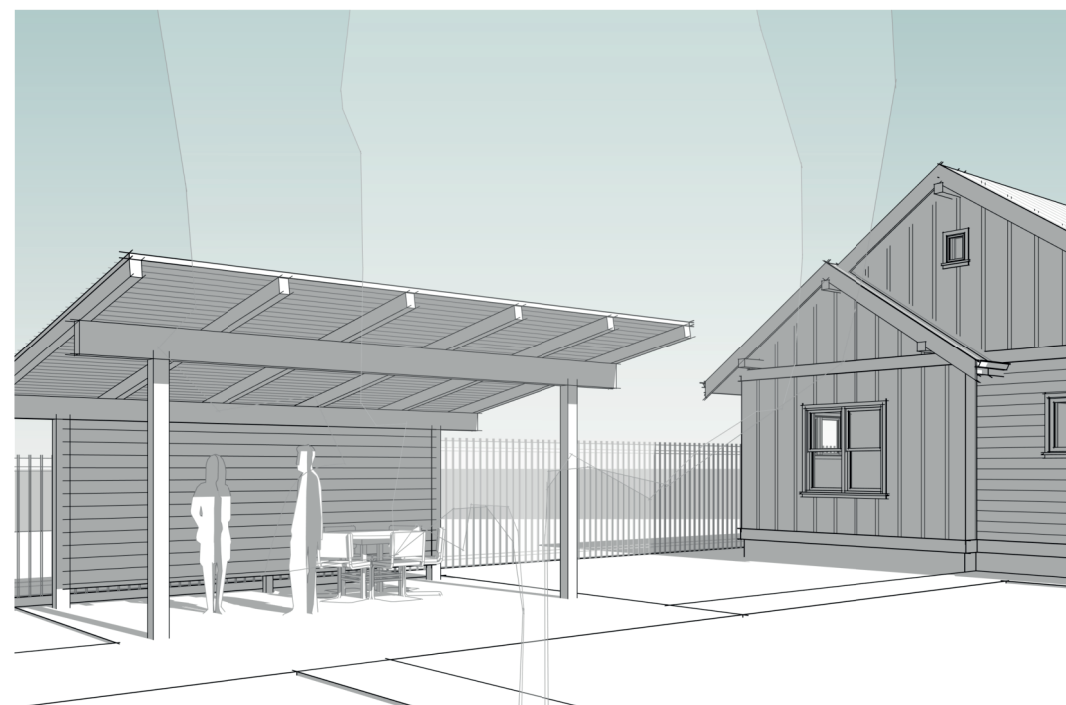




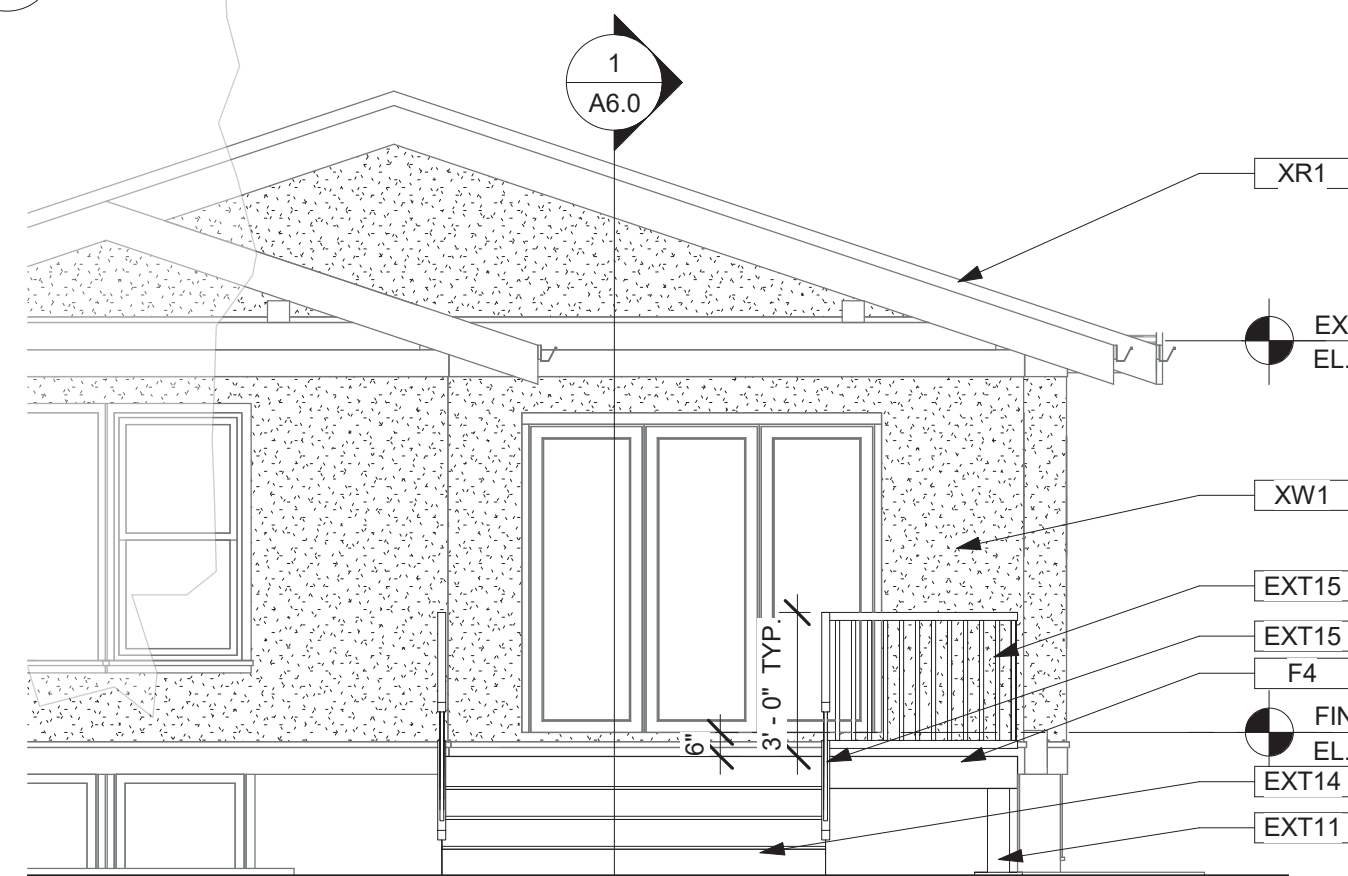
4 3D VIEW- PERGOLA  
A5.0 SCALE



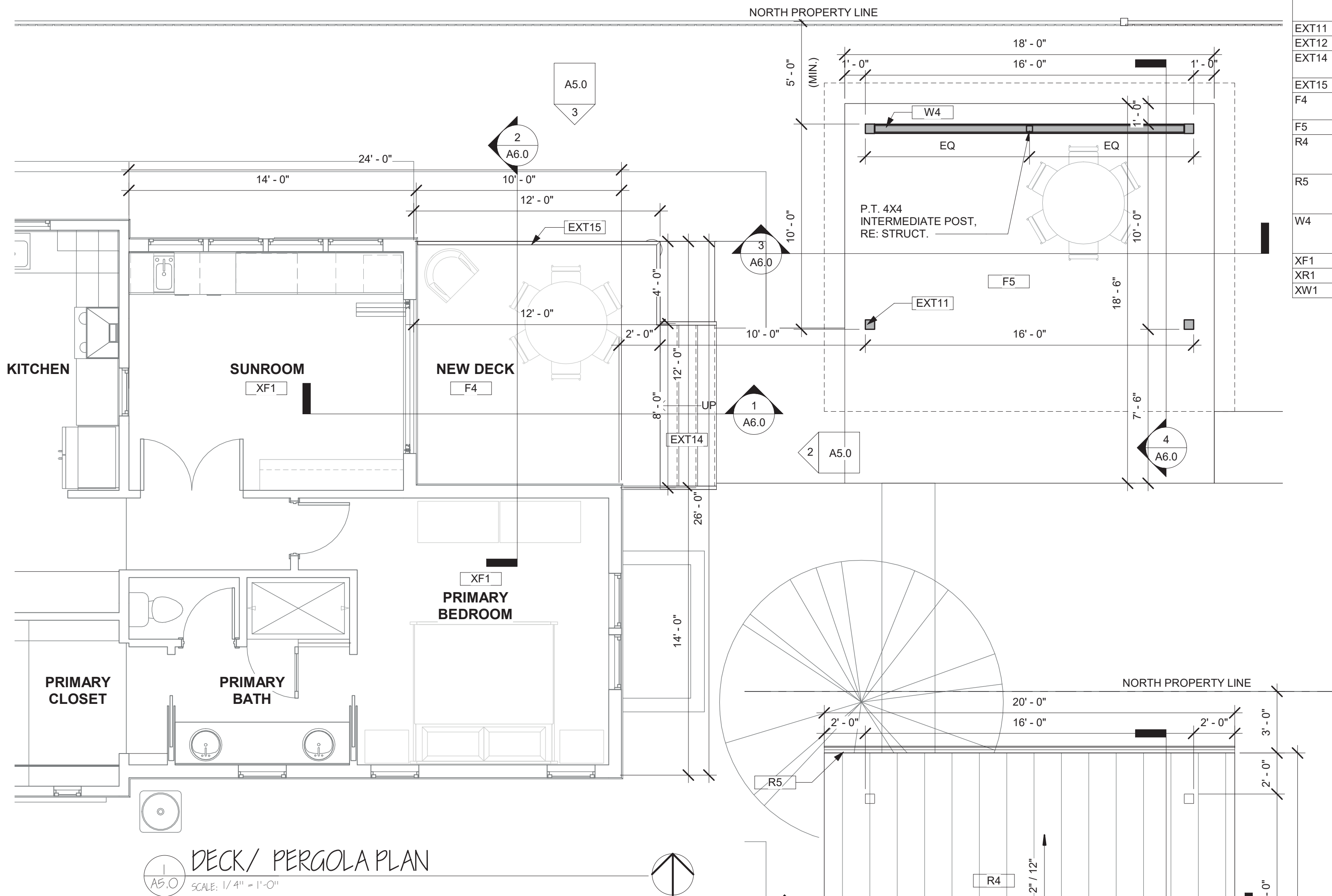
5 3D VIEW- PERGOLA 2  
A5.0 SCALE



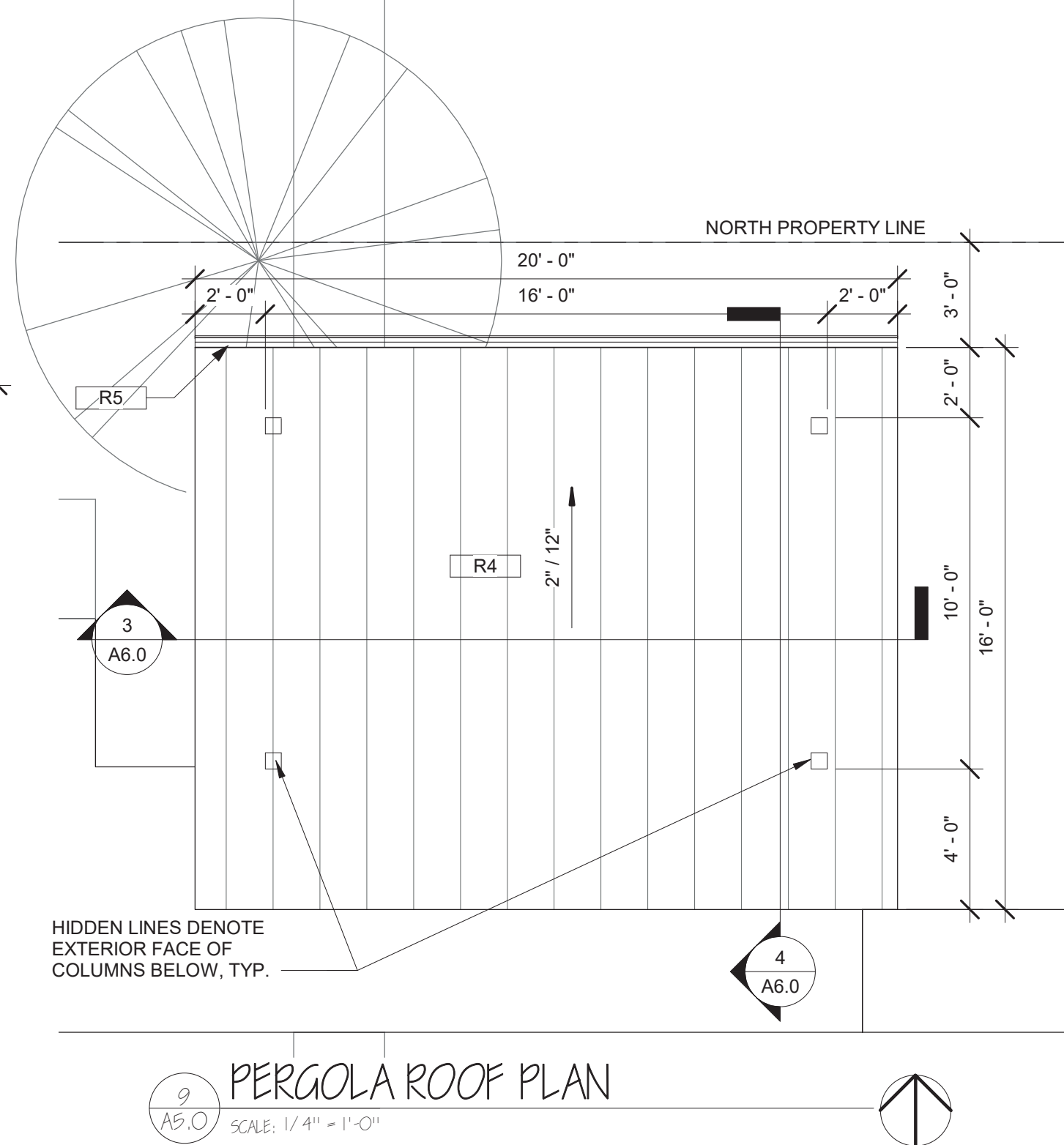
6 3D VIEW- PERGOLA 3  
A5.0 SCALE



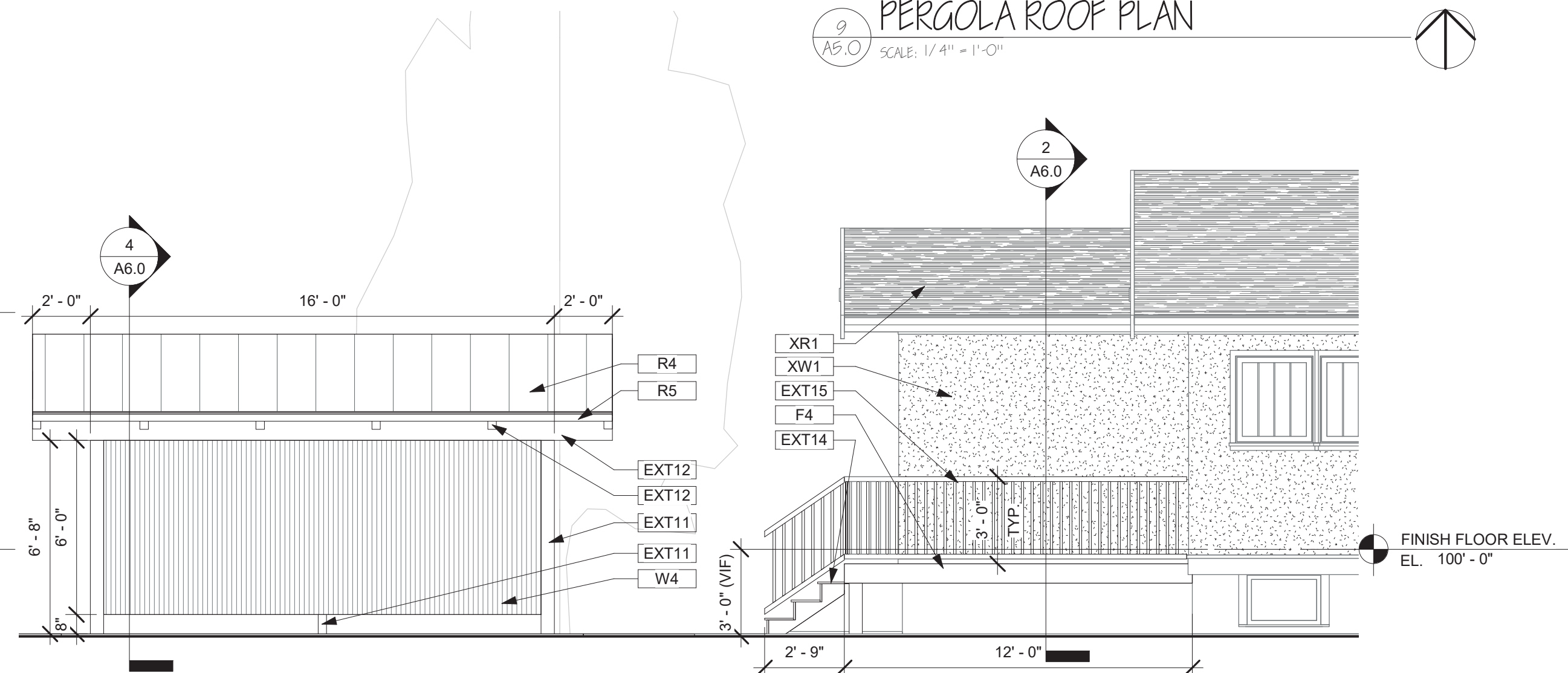
2 DECK EAST ELEVATION  
A5.0 SCALE: 1/4" = 1'-0"



1 DECK/ PERGOLA PLAN  
A5.0 SCALE: 1/4" = 1'-0"



9 PERGOLA ROOF PLAN  
A5.0 SCALE: 1/4" = 1'-0"



3 DECK/ PERGOLA NORTH ELEVATION  
A5.0 SCALE: 1/4" = 1'-0"

GARAGE SYSTEM NOTES	
EXT11	SMOOTH FINISH WOOD COLUMN- STN. & FIN., RE: STRUCT.
EXT12	SMOOTH FINISH WOOD BEAM- STN. & FIN., RE: STRUCT.
EXT14	EXTERIOR STAIRS- P.T. WOOD (PNT.) STRINGERS W/ COMPOSITE DECKING, TREADS, RISERS & SKIRT BOARDS
EXT15	WOOD RAILING- PNT.
F4	NEW COMPOSITE DECKING ON 2-2X8 P.T. WD. JOISTS @ 16" O.C., RE: STRUCT. PROVIDE COMPOSITE SKIRT BOARDS @ DECK PERIMETER.
F5	4" CONCRETE SLAB ON GRADE- SLOPE AWAY FROM BUILDING @ 1/8" FOOT MIN.
R4	PRE-FINISHED STANDING SEAM METAL ROOF (COLOR: TBD) OVER 30 LBS. ASPHALT IMPREGNATED BUILDING PAPER OVER 2X6 T&G DECKING (STN. & FIN.) ON 4X6 WOOD BEAMS (STN. & FIN.) @ 48" O.C., RE: STRUCT.
R5	PREFINISHED METAL HALF ROUND GUTTERS WITH MTL. HANGERS. PROVIDE PREFINISHED METAL ROUND DOWNSPOUT WITH OFFSETS AND ELBOWS OR DECORATIVE RAIN CHAINS (COLOR: TBD) AS REQUIRED TO INSTALL AT ROOF EAVES AND DISCHARGE LOCATIONS.
W4	PERGOLA INFILL WALL- P.T. 2X4 WALL FRMG @ 16" O.C. W/ 1X SALVAGED LUMBER (STN. & FIN.) AT SOUTH (PERGOLA/ PATIO) SIDE AND GALVANIZED CORRUGATED METAL SIDING AT NORTH SIDE. SEE BUILDING ELEVATIONS FOR LOCATIONS.
XF1	EXISTING FLOOR TO REMAIN
XR1	EXISTING ROOF TO REMAIN
XW1	EXISTING EXTERIOR WALL TO REMAIN

studio S  
architecture

715 w. mountain avenue  
fort collins, colorado 80521

phone: 970.231.1040  
e-mail: heidi@studio-s-arch.com

MELIA RESIDENCE  
610 Whedbee Street  
Fort Collins, Colorado

No.	Description	Date
	ISSUED FOR CONSTRUCTION	5.23.22

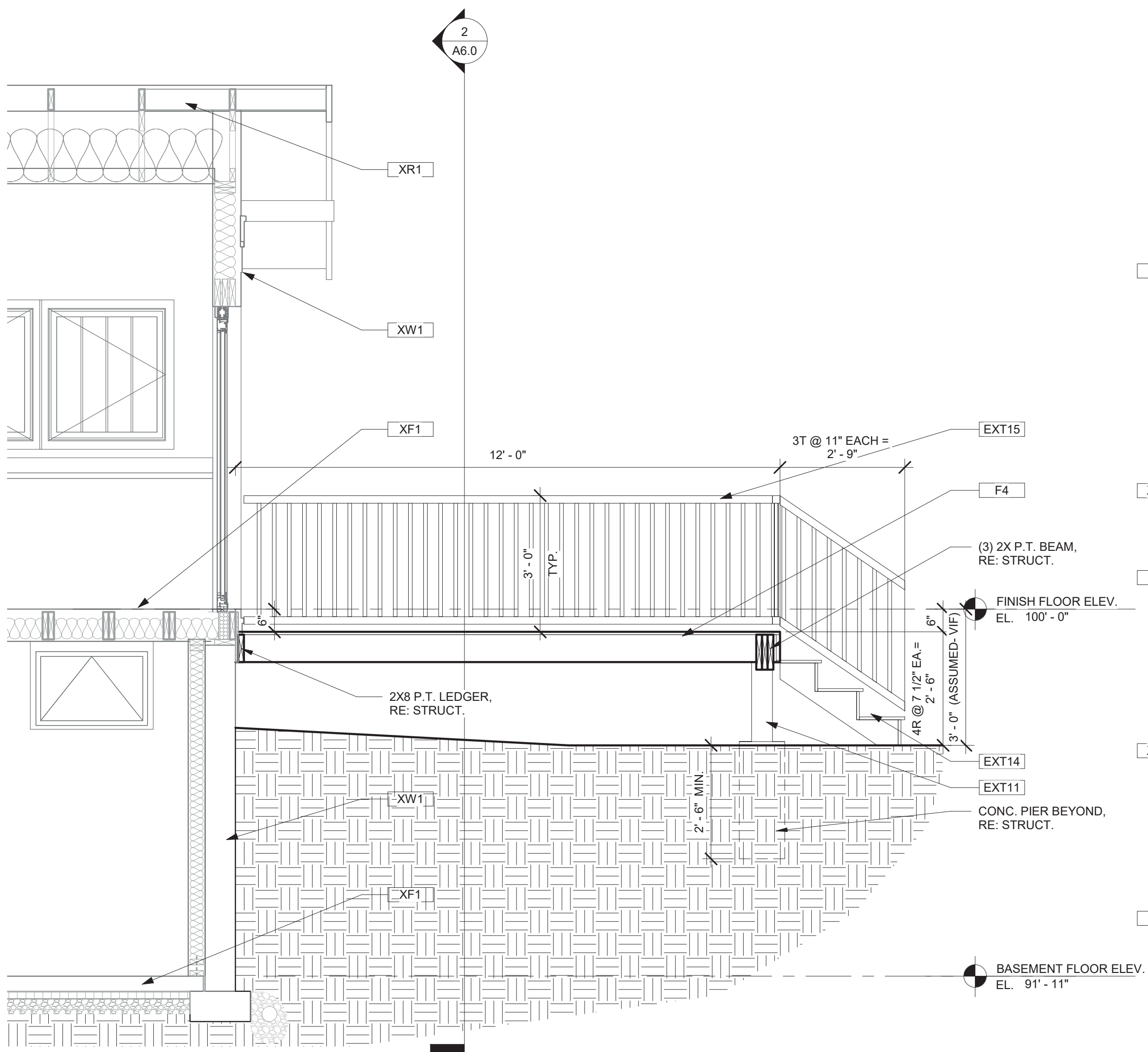
DECK & PERGOLA PLANS  
AND ELEVATIONS

Project number	000
Date	5.23.22
Drawn by	HMS
Checked by	HMS

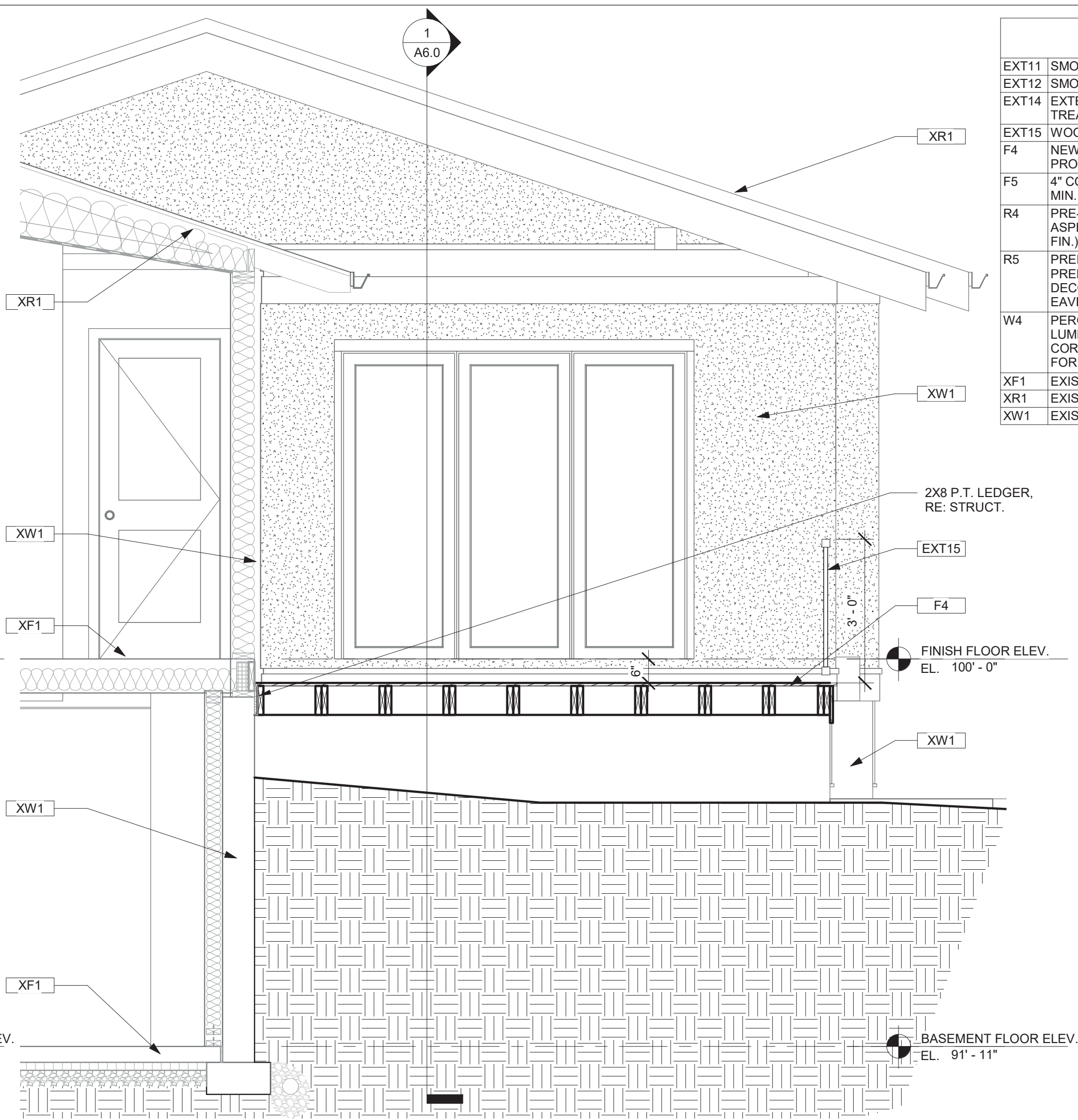
A5.0

NOTE: NEW COVERED PERGOLA TO BE  
CONSTRUCTED UNDER A SEPARATE  
BUILDING PERMIT

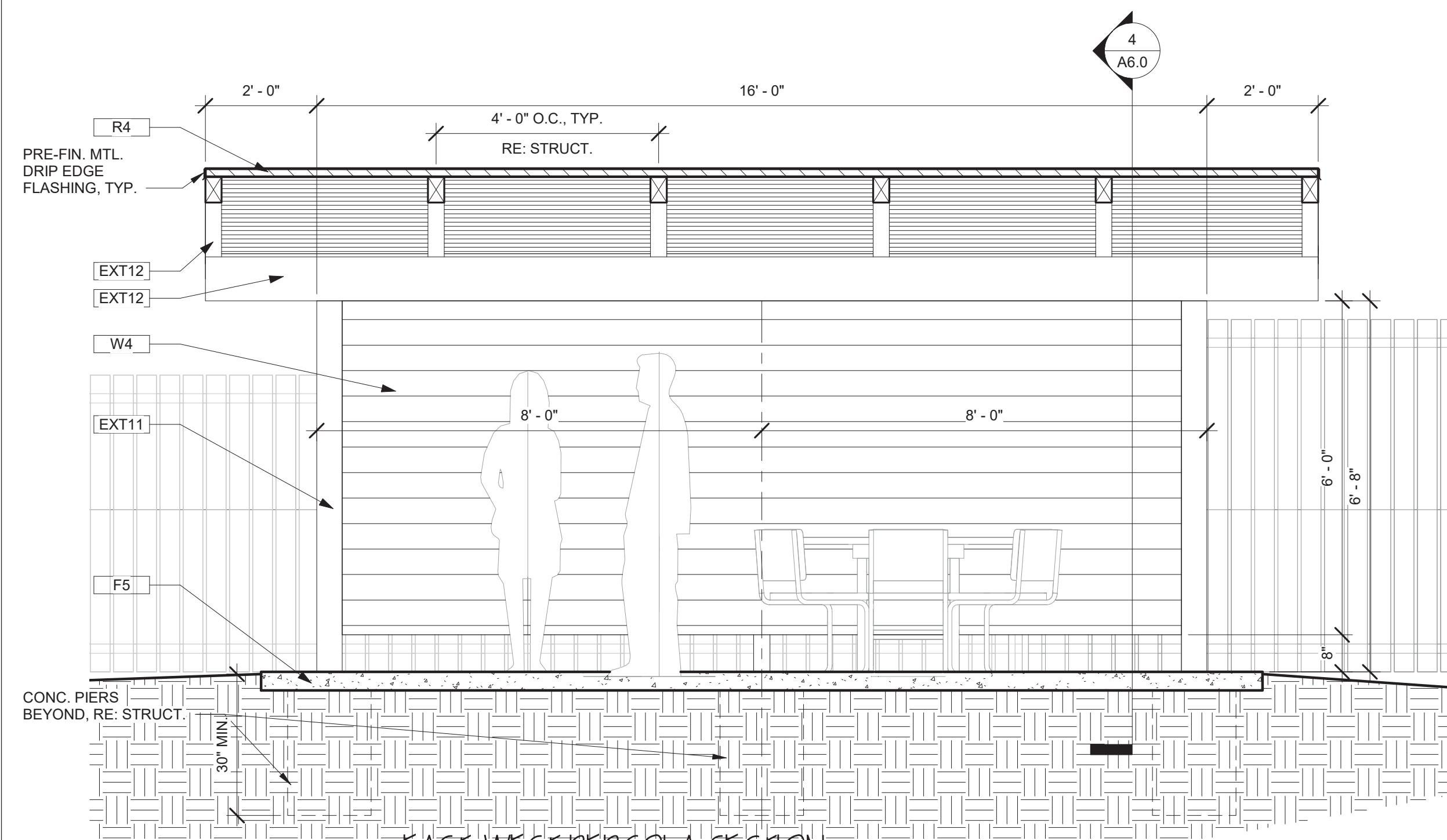




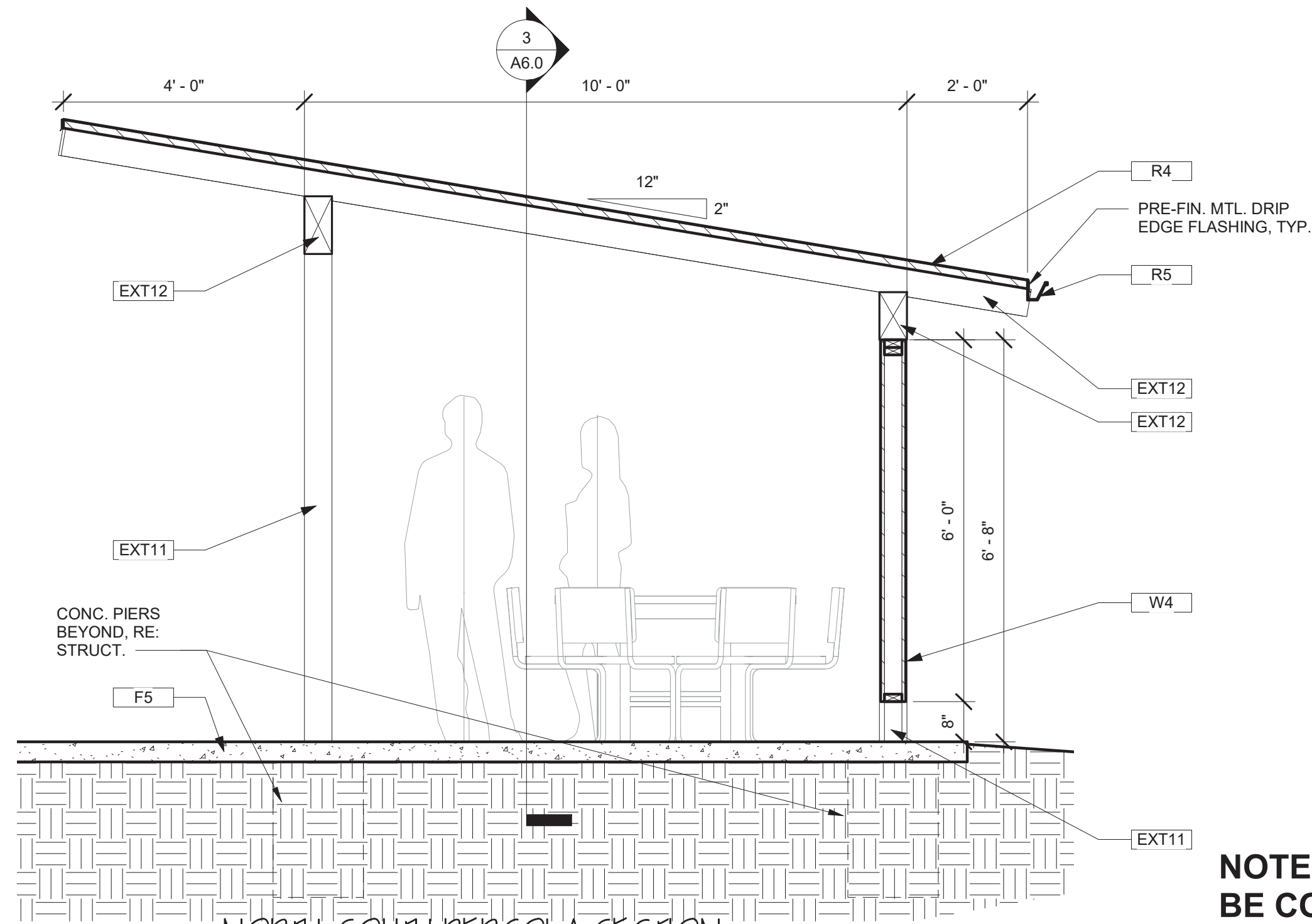
1 EAST-WEST DECK SECTION  
A6.0 SCALE: 1/2" = 1'-0"



2 NORTH-SOUTH DECK SECTION  
A6.0 SCALE: 1/2" = 1'-0"



3 EAST-WEST PERGOLA SECTION  
A6.0 SCALE: 1/2" = 1'-0"



4 NORTH-SOUTH PERGOLA SECTION  
A6.0 SCALE: 1/2" = 1'-0"

GARAGE SYSTEM NOTES	
EXT11	SMOOTH FINISH WOOD COLUMN- STN. & FIN., RE: STRUCT.
EXT12	SMOOTH FINISH WOOD BEAM- STN. & FIN., RE: STRUCT.
EXT14	EXTERIOR STAIRS- P.T. WOOD (PNT.) STRINGERS W/ COMPOSITE DECKING, TREADS, RISERS & SKIRT BOARDS
EXT15	WOOD RAILING- PNT.
F4	NEW COMPOSITE DECKING ON 2-2X8 P.T. WD. JOISTS @ 16" O.C., RE: STRUCT. PROVIDE COMPOSITE SKIRT BOARDS @ DECK PERIMETER.
F5	4" CONCRETE SLAB ON GRADE- SLOPE AWAY FROM BUILDING @ 1/8" FOOT MIN.
R4	PRE-FINISHED STANDING SEAM METAL ROOF (COLOR: TBD) OVER 30 LBS. ASPHALT IMPREGNATED BUILDING PAPER OVER 2X6 T&G DECKING (STN. & FIN.) ON 4X8 WOOD BEAMS (STN. & FIN.) @ 48" O.C., RE: STRUCT.
R5	PRE-FINISHED METAL HALF ROUND GUTTERS WITH MTL. HANGERS. PROVIDE PRE-FINISHED METAL ROUND DOWNSPOUT WITH OFFSETS AND ELBOWS OR DECORATIVE RAIN CHAINS (COLOR: TBD) AS REQUIRED TO INSTALL AT ROOF EAVES AND DISCHARGE LOCATIONS.
W4	PERGOLA INFILL WALL- P.T. 2X4 WALL FRMG @ 16" O.C. W/ 1X SALVAGED LUMBER (STN. & FIN.) AT SOUTH (PERGOLA/ PATIO) SIDE AND GALVANIZED CORRUGATED METAL SIDING AT NORTH SIDE. SEE BUILDING ELEVATIONS FOR LOCATIONS.
XF1	EXISTING FLOOR TO REMAIN
XR1	EXISTING ROOF TO REMAIN
XW1	EXISTING EXTERIOR WALL TO REMAIN

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MELIA RESIDENCE  
610 Whedbee Street  
Fort Collins, Colorado

No.	Description	Date
	ISSUED FOR CONSTRUCTION	5.23.22

DECK & PERGOLA  
SECTIONS

Project number	000
Date	5.23.22
Drawn by	HMS
Checked by	HMS

A6.0

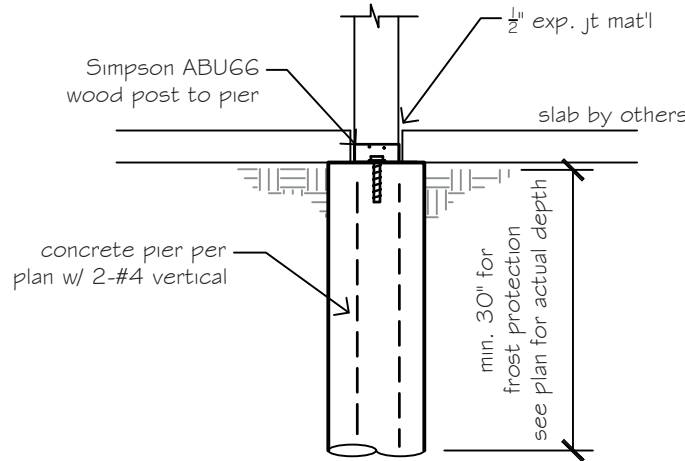
structural notes:

- a. general:
- all construction shall be in accordance with the international residential code (2021 edition) and in accordance with all applicable osha regulations.
  - the contractor shall check and verify all dimensions shown on this plan prior to concrete placement and shall reference architectural plans for blockouts, etc.
  - all exterior walls, interior shear walls and interior bearing walls as noted on the plan shall be constructed as outlined in Table IRCG02.10.4 method WSP: 7/16" osb or plywood one side with min. 1/2" gypsum wall board (GB) on the opposite side.

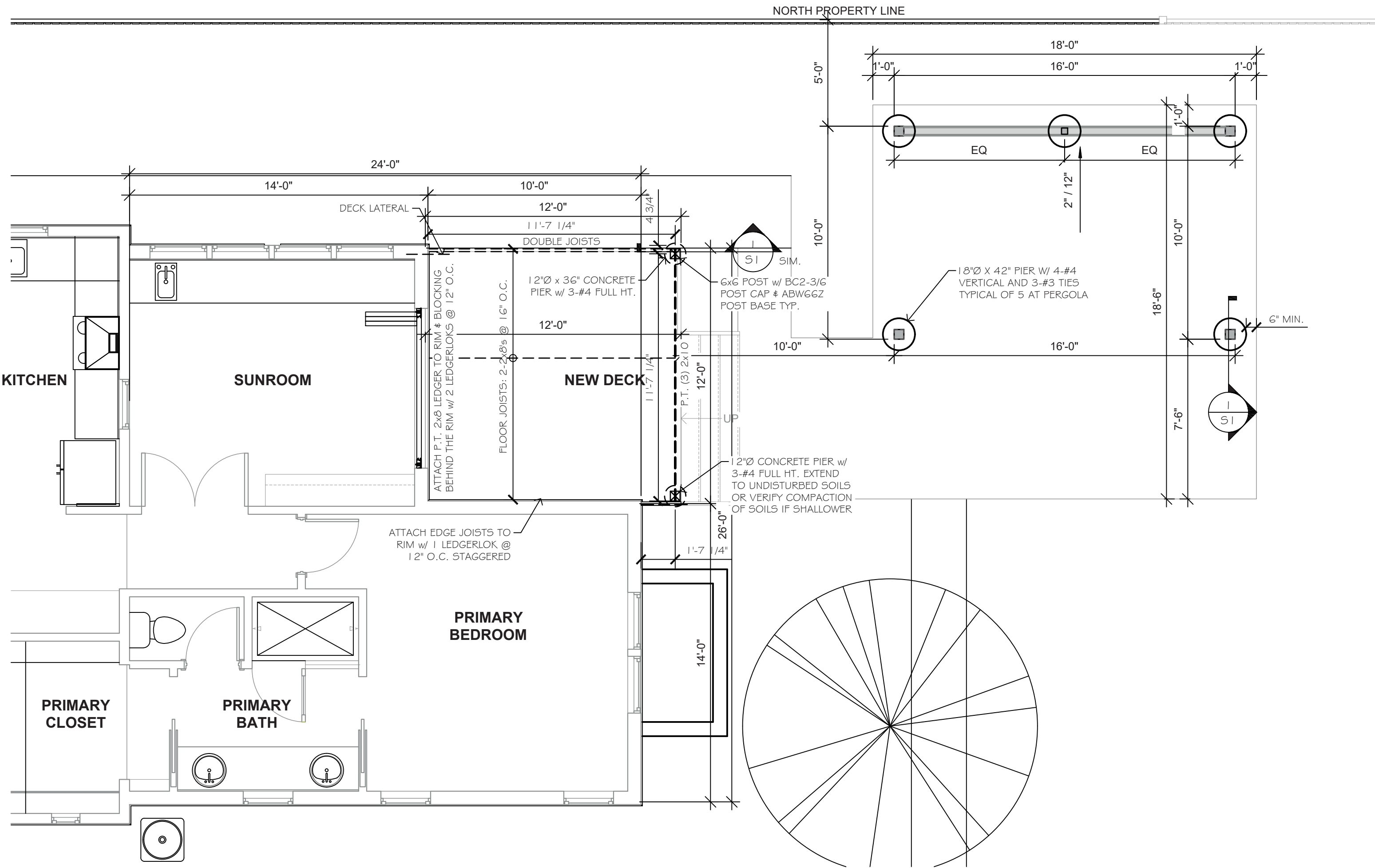
- b. design:
- foundation design is based on assumed bearing values.  
maximum bearing capacity = 1500 psf  
minimum dead load = n/a
  - design live loads: roof snow load  $P_f = 30$  psf; floor load = 40 psf; wind Vult = 140 mph (nominal 3s); exp. b; seismic design category b.

- c. foundation specifications
- all footings to bear on native undisturbed soil.
  - slab control joints shall be provided in accordance with aci recommendations.

- d. materials
- foundation concrete:  $f_c = 3000$  psi foundation,  $f_c = 4000$ psi garage slab on grade; minimum of 5-1/4 sacks of type i-ii portland cement per cubic yard; air entrained with  $6\% \pm 1\%$  air.
  - reinforcing steel:  $f_y = 60$  ksi (60 grade). all reinforcing shall be placed in accordance with aci recommendations including minimum laps, spacings and corner bars.
  - wood - framing lumber shall be stress graded Hem-Fir no. 2 or better.  
- laminated veneer lumber (LVL) shall be stress graded as follows: bending - 2600psi; tension parallel to grain - 1850psi; compression parallel to grain - 2700psi; horizontal shear - 285psi; compression perpendicular to grain - 500psi; modulus of elasticity - 1900ksi.  
LVL member sizes are net; lumber sizes are nominal.  
- joists shall be as manufactured by Trus Joist or an approved substitute. Joists shall be detailed by the joist supplier including bridging, blocking and web filler details and shall be installed in accordance with the manufacturers recommendations.  
- timber connectors called for on the drawings are as manufactured by Simpson company. connectors by other manufacturers may be used if the load capacity is equal to or greater than the connector specified. use manufacturer's furnished nails and bolts.  
- fasten all wood members with common nails according to the building code unless otherwise noted.  
- roof sheathing shall be 15/32" sheathing rated for exterior use with an APA span rating of 32/16. nail roof sheathing with 8d nails at 4" on center at panel edges and 12" on center in the field u.n.o.  
- floor sheathing shall be 23/32" plywood with an APA rating of 48/24, glue and nail to framing with 8d nails at 6" on center at panel edges, 8" on center in the field u.n.o.  
- exterior wall sheathing shall be 7/16" osb or plywood nailed to framing with 8d nails spaced at 6" on center at panel edges, 12" on center in the field minimum u.n.o.

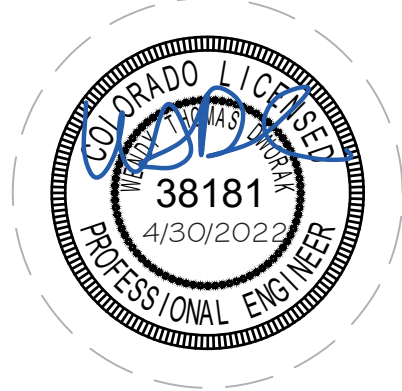


1/51 pier foundation detail  
1/2" = 1'-0"



NOTE: NEW COVERED PERGOLA TO BE  
CONSTRUCTED UNDER A SEPARATE  
BUILDING PERMIT

PLAN N DECK FRAMING & FOUNDATION &  
PERGOLA FOUNDATION PLAN  
1/4" = 1'-0"



MELIA RESIDENCE  
610 WHEDBEE STREET  
FORT COLLINS, COLORADO

PROJECT NUMBER: 22-022  
DESIGNED BY: WTD  
REVIEWED BY: WTD

DATE FOR ISSUE: 4 30 2022

REVISION:

FOUNDATION PLAN  
DETAILS & NOTES



## Residential Deck Guide

### Contractor Licenses allowed to build decks:

A, B, C, C2, D, D2, MM (MM does not include 2 story decks).

**Homeowners Builders:** See homeowner affidavit.

### Required Inspections

1. Setbacks & Footings (pier hole)
2. Foundation (post connections)
3. Rough Frame (must be called in before decking is installed). Rough Electric (if electric work is being done, prior to being concealed by fixtures/outlets).
4. Final Inspection and Final electric (if applicable)

*Inspectors need to see all connections. Multiple rough frame inspections will need to be scheduled if using concealed connectors. Open pier hole needs to be inspected before pouring concrete into the hole.*

<https://www.fcgov.com/building/inspections.php>

Any deck more than 30" at any point above grade requires a permit.

Any deck attached to the house requires a permit.

Any deck/landing that serves the front door requires a permit.

Any Deck more than 200 sq. ft. requires a permit.

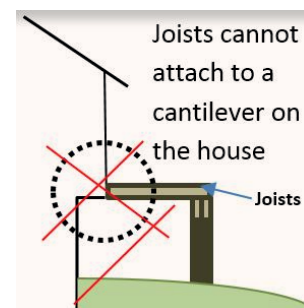
*Note: Repairs to any of the scenarios above also require a permit (i.e. replacement of beams/posts/joists, heavier decking material etc.*

### Submittal Checklist (all documents must be in PDF format)

- ☐ Permit Application: include square footage of the deck and note if electrical work is included (lights, outlets)  
Name PDF: *Apps – Address – v1.*
  - Homeowner Affidavit (for homeowner builders)
- ☐ Site Plan (Name PDF: *Site Plan – Address – v1*)
- ☐ Plans (Name PDF: *Plans – Address – v1*)
  - Floor Plan
  - Section/side view
  - Connection details
  - At least 1 *before* photo showing where the deck will be located.
  - Deck Guide filled out
- ☐ Plan check fee is due at submittal.
  - See step #6 [here](#)

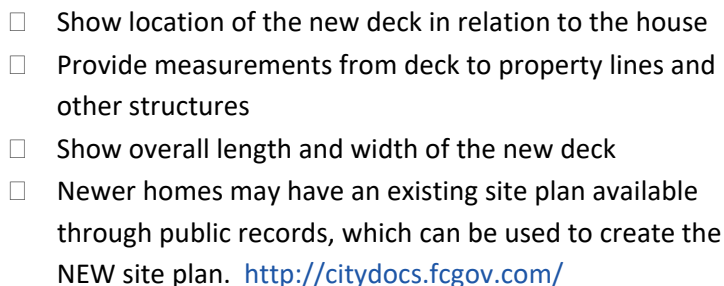
### Engineered and stamped structural plans or letter are required to be submitted for any of the following conditions:

1. Multi-story / stacked decks
2. Beam supported by hangers
3. Deck is supported by a ledger attached to a cantilever/overhang on the existing house such as a bay window.
4. Decks attached to brick, masonry, or stone veneer.
5. Decks supporting a hot tub/pool.
6. Steel decks that do not conform to section R505, including the use of steel beams, or steel decks for at locations West of Overland Trail (>140 mph wind region)
7. Materials not addressed in code
8. Designs outside of those presented in code



Provide the following drawings. All plans must be to scale. (example  $\therefore$  ¼ inch per foot). Can be hand-drawn, but PDF format

### Site Plan Requirements:



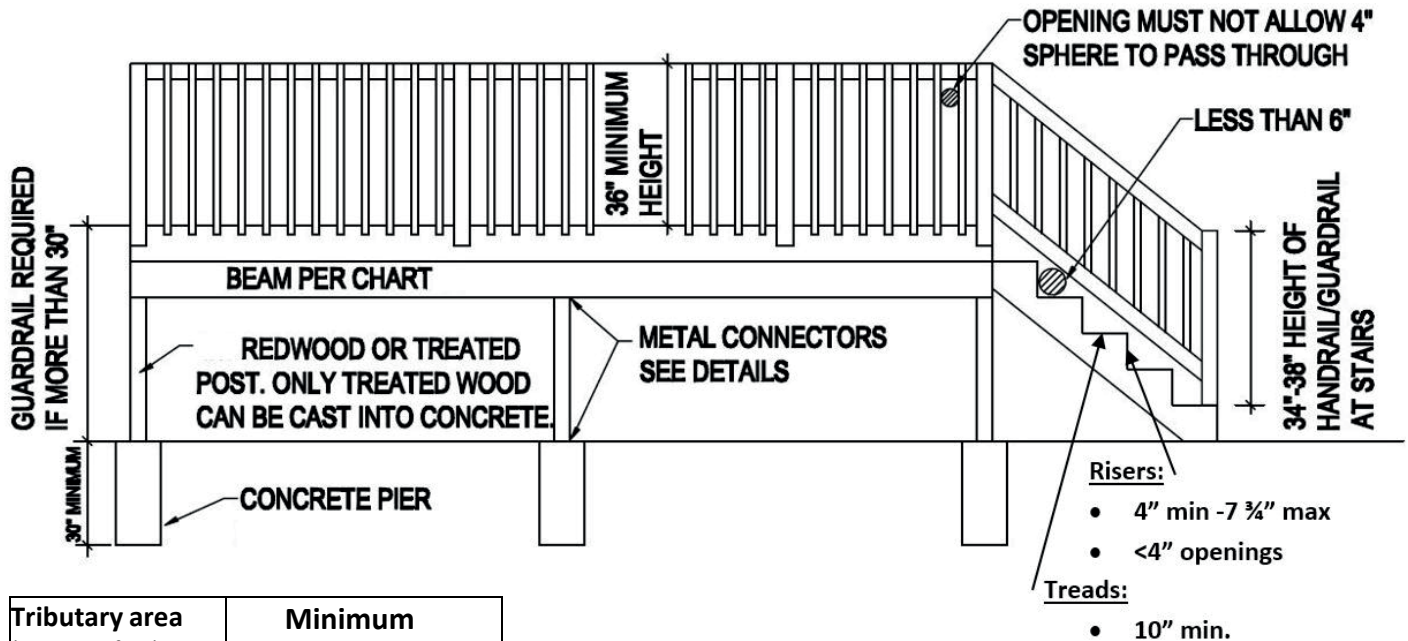
The diagram illustrates a deck layout with various structural and safety components. Key features include:

- EXISTING HOUSE:** The structure at the top of the diagram.
- Deck Dimensions:** Overall width is 16'-0" (split into two 8'-0" sections) and overall depth is 10'-0" (split into two 5'-0" sections).
- Structural Components:**
  - Ledger board (Size):** Located at the top edge of the deck.
  - Joists (size, spacing, species):** Vertical structural members.
  - Beam (size, species):** Horizontal structural member in the center.
  - Post:** Vertical supports at the corners.
  - Pier:** Vertical support in the center.
  - Cantilever:** The section of the deck extending from the house.
- Tributary Areas:**
  - 20 sf:** Two rectangular areas, one on the left and one on the right, each measuring 8'-0" by 2'-6".
  - 40 sf:** A central rectangular area measuring 8'-0" by 5'-0".
- Safety and Access:**
  - Guard and Handrail:** Located on the right side of the deck.
  - Stairs:** Located on the right side, leading to a **Landing**.
  - 3'-0" MIN.:** Minimum width requirement for the landing.
  - PROVIDE LIGHT AT STAIRS:** A note indicating the need for lighting.
- Permit Note:** A cloud-shaped callout states: "PERMIT IS REQUIRED IF NEW DECKING WILL BE INSTALLED ON EXISTING DECK".

**Tributary area** is the area in square feet that each post\* and pier supports/carries. Tributary is used for sizing posts and piers in code.

## Residential Deck Guide

### Elevation (Side View)



Tributary area (In square feet) -See page 2 for example	Minimum Diameter of Round Pier (In inches)
5*	8*
20*	12*
40	16
60	19
80	22
100	25
120	27
140	29
160	31

See the link to code on page 5 for alternate pier/foundation types and sizes.

*Based on tributary area and soil-bearing pressure of 1500 PSF and a live load of 40 PSF (Table R507.3.1)*

### Guards

Guards are required for fall protection where the deck is 30" or more above grade measured at a point 5 ft away from the deck edge (local amendment to definition of grade).

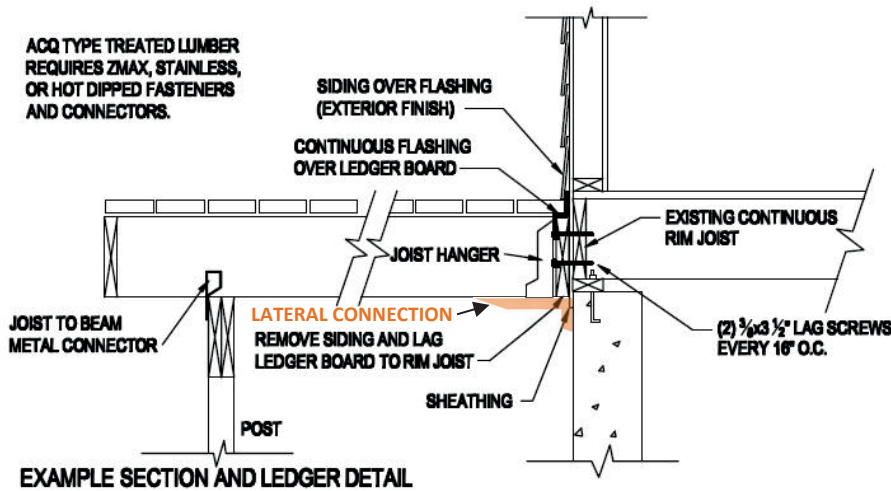
- ☐ Openings in guards cannot exceed 4 inches
- ☐ For cable railing use 3" max spacing and a maximum of 4ft on center support post spacing.

Exterior Guard attachment (R507.10)\*:

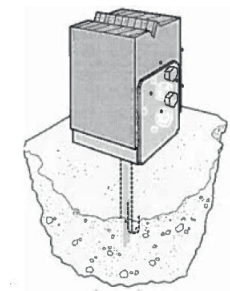
- Guards mounted on top of the deck shall be connected to the deck joists or beams or blocking to transfer load to the adjacent joists.
- Where guards are mounted on the side of a beam/joist shall be connected to the adjacent joist to prevent rotation. Fasteners shall not be installed in the end grain.

## Residential Deck Guide

### Details



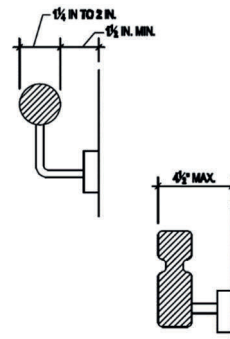
Example - Post Base Connector



### Handrails

Handrails are required on at least one side of the stairs where there are 4 or more risers in a flight (landing to landing). Handrails must be graspable.

**IRC Section: R311.7.8 – R311.7.8.6**



### Emergency Escape and Rescue Windows

Where decks are built over window wells that serve the required emergency escape and rescue opening (egress windows), a clear access height of 36" is required (measured from the top of the window well to the underside of the deck structure). **IRC R310.2.4**

Where a deck is adjacent to a window well, fall protection is required (window well cover or guardrail).

### Lighting

Exterior wet listed light is required at the top landing to illuminate stairs. **IRC Section R311.7.9**

### Landings

A solid level landing (i.e. flagstone, concrete or other improved surface) is required at the *top* and *bottom* of exterior deck stairs sized 36" min deep (in the path of travel) x 36" min wide (or width of stair) **IRC Section: R311.7.6**

## Residential Deck Guide

**Check one of the following:**

- ☒ The deck is professionally engineered and stamped. Any fields not provided on the plans have been filled out below.
- ☐ The porch/stairs are entirely concrete (fields below do not apply, but plans show height, stairs, guards, etc. per code)
- ☐ The deck is designed to minimum code. (Fill in the sections below and show on plans).

2021 International Residential Code & local amendments: <https://www.fcgov.com/building/codes.php>

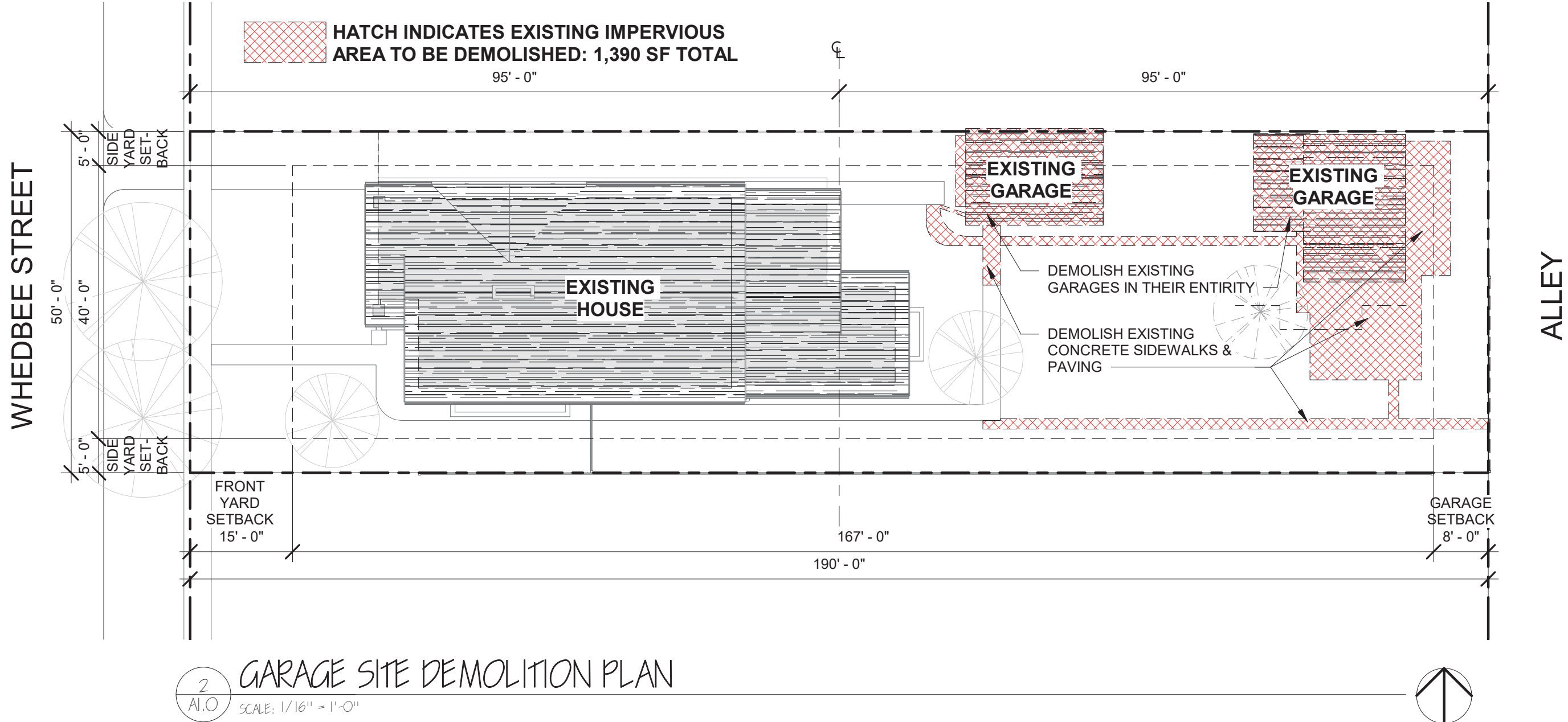
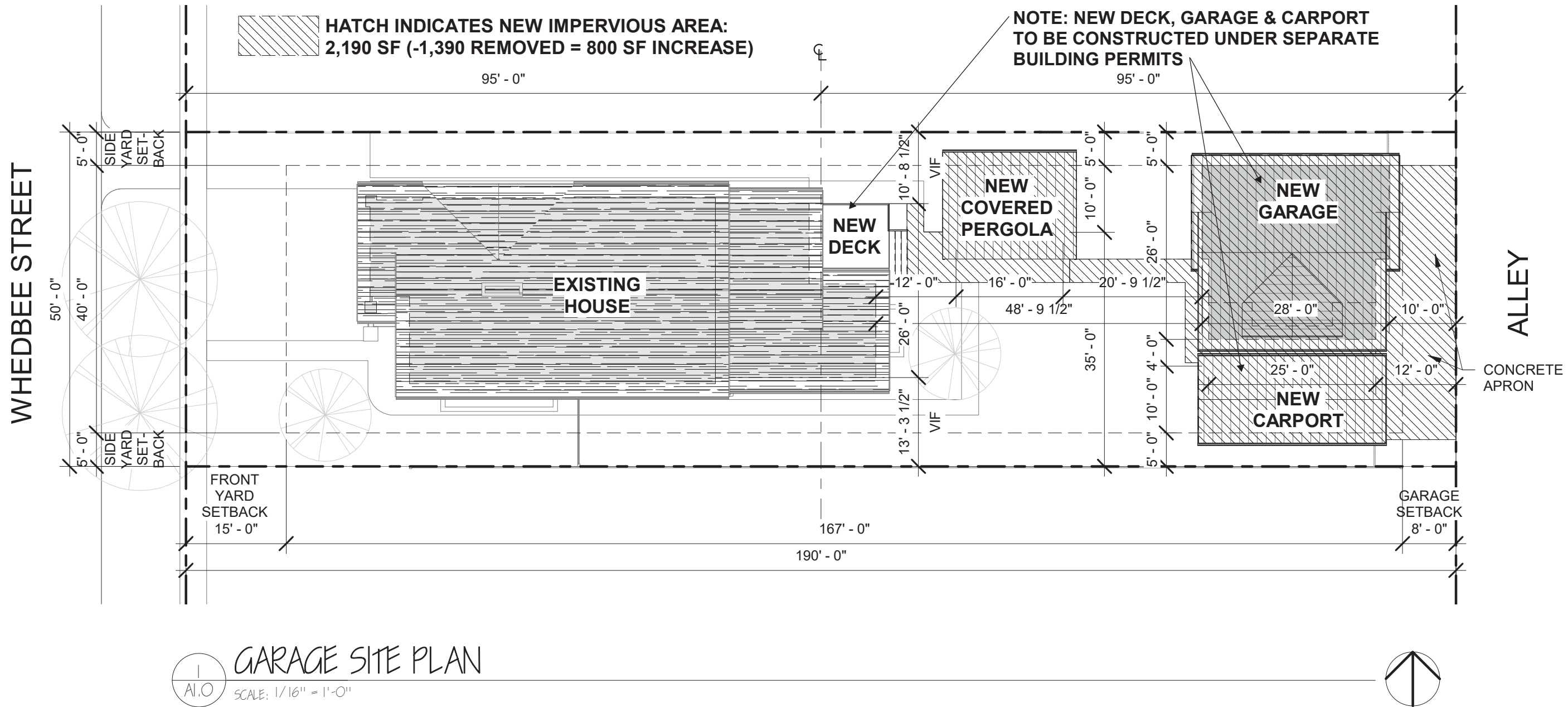
1. Access the code: <https://codes.iccsafe.org/content/IRC2021>      2. Go to section R507.

Code section	Deck components	Select/Fill in the blank
<b>Decking</b>		
R507.2 and R507.7	Decking Material	Composite <input type="checkbox"/>
	Orientation of decking to joists	Perpendicular <input type="checkbox"/>
<b>Joists</b>		
Table 507.6 <i>(use 40 live load row)</i>  Figure R507.6	Wood Species <small>(Redwood, Cedar etc. are species, <i>treated</i> is not a species)</small>	Southern Pine <input type="checkbox"/>
	Joist Size	2 x 8 <input type="checkbox"/>
	Joist Spacing / Joist Span	16" oc 12' <input type="checkbox"/>
	Do the joists cantilever? How far?	no <input type="checkbox"/>
<b>Beams</b>		
Table R507.5 (1) <i>(40 PSF live load)</i>  Section R507.5	Wood Species <small>(Redwood, Cedar etc. are species, <i>treated</i> is not a species)</small>	Southern Pine <input type="checkbox"/>
	Beam Size	3 -2x10 <input type="checkbox"/>
	Beam Span	12' <input type="checkbox"/>
	Does the beam cantilever? How far?	no <input type="checkbox"/>
<b>Posts*</b>		
Table 507.4 <i>(use 40 live load row)</i>	Wood Species <small>(Redwood, Cedar etc. are species, <i>treated</i> is not a species)</small>	Southern Pine <input type="checkbox"/>
	Size of Post	6x6 <input type="checkbox"/>
	Post Height	3' <input type="checkbox"/>
<b>Piers</b>		
Figure R507.3 Table 507.3.1 <i>(use 40 live load row, 1500 psf column)</i> R507.3	Type of footing/Piers	Show on plans <input type="checkbox"/>
	Depth of Pier	<input type="checkbox"/> Freestanding deck = 12" min * <input checked="" type="checkbox"/> Attached Decks = 30" min frost depth
	Size of pier	Show on plans <input type="checkbox"/>
<b>Connection Details</b>		
R507.4.1 & R507.3	Footing/pier to Post Connection	Show on plans <input type="checkbox"/>
R507.5.1 & R507.5.2	Post to Beam Connection	Show on plans <input type="checkbox"/>
R507.6.1 & R602.3.1	Joist to Beam Connection	Show on plans <input type="checkbox"/>
Table R507.9.1 Tables R507.9.3(1 & 2); R507.9.1.1 Figure R507.9.1.3 (1 & 2)	Ledger Connection to house with flashing (2x8 min ledger size)	Show on plans <input type="checkbox"/>
R507.9.2 Figure R507.9.2 (1 or 2)	Lateral Connection	Show on plans <input type="checkbox"/>









<b><u>DRAWING INDEX:</u></b>	
ARCHITECTURAL	
A1.0	SITE PLAN, DEMOLITION PLAN & NOTES
A5.0	DECK & PERGOLA PLANS AND ELEVATIONS
A6.0	DECK & PERGOLA SECTIONS
STRUCTURAL	
S1	FOUNDATION PLANS, DETAILS & NOTES
S2	ROOF & FLOOR FRAMING PLANS & DETAILS

Property Address:	610 Whedbee Street	Lot Size:	9,500 SF (190' x 50')
Property Owners:	John & Valeria Melia	Floor Area Ratio:	0.25 + 1,000 SF + 250 SF allowance for Accessory Structure
Owner's Phone:	702-499-5216	Allowable Total Floor Area:	3,625 SF
Parcel No:	9713214015	Actual Total Floor Area:	
Legal Description:	LOT 15, BLK 166, FTC	Existing First Floor:	1,771SF
Zoning District:	NCM	Proposed Detached Garage:	692 SF*
Subdivision:	10166 - FTC BLK 166	Proposed Carport:	250 SF
Neighborhood:	19711	Total:	2,713 SF
Setbacks:		Allowable Floor Area on Rear 50% of lot:	
Front Yard-	15 Feet	4,750 SF * .33 =	1,567 SF
Rear Yard-	5 Feet	Actual Floor Area on Rear 50% of lot:	
Side Yard-	5 Feet	Existing First Floor:	115 SF
		Proposed Detached Garage:	692 SF*
		Proposed Carport:	250 SF
		Total:	1,057 SF

**NOTE: NEW DECK, GARAGE & CARPORT TO BE CONSTRUCTED UNDER SEPARATE BUILDING PERMITS**

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE, THE 2021 INTERNATIONAL PLUMBING CODE, THE 2021 INTERNATIONAL MECHANICAL CODE, THE 2021 INTERNATIONAL EXISTING BUILDING CODE, THE 2020 NATIONAL ELECTRIC CODE, AS WELL AS ALL LOCAL AMENDMENTS. CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED BY THE JURISDICTION WITH AUTHORITY OVER THE CONSTRUCTION OF THIS PROJECT.
  - ALL DIMENSIONS ARE TO FACE OF CONCRETE, BRICK, WOOD FRAMING OR CENTERLINE OF STRUCTURAL LINES, UNLESS NOTED OTHERWISE.
  - ALL WINDOW HEAD HEIGHTS ARE TO ADJACENT FINISH FLOOR.
  - ALL INTERIOR DOORS TO BE LOCATED 5" OFF ADJACENT WALL UNLESS OTHERWISE NOTED.
  - ALL EXTERIOR AND INTERIOR MATERIALS AND FINISHES SHALL BE AS SHOWN IN THE ARCHITECTURAL DRAWINGS OR AS NEGOTIATED BY THE OWNER & CONTRACTOR FOR ITEMS NOT DETAILED.
  - CONTRACTOR SHALL REVIEW THE DRAWINGS FOR THIS PROJECT, AND VERIFY ALL EXISTING CONDITIONS, FIELD DIMENSIONS, AND OTHER ASPECTS OF THIS PROJECT PRIOR TO BEGINNING CONSTRUCTION. NOTIFY OWNER OR ARCHITECT OF ANY DISCREPANCIES.
  - THE EXISTING CONDITIONS DEPICTED ON THESE DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
  - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - USE ONLY APPROVED, NON-EXPANSIVE, GRANULAR MATERIAL AS FILL. ALL FILL MATERIAL TO BE APPROVED BY OWNER.
  - ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS UNLESS OTHERWISE NOTED.
  - PLUMBING SYSTEM SHALL BE DESIGN/BUILD BY THE SELECTED SUBCONTRACTOR.
  - ELECTRICAL SYSTEMS SHALL BE DESIGN/BUILD BY THE SELECTED SUBCONTRACTOR.
  - PROPOSED LOCATIONS OF LIGHTING FIXTURES, OUTLETS, SWITCHES, AND OTHER EQUIPMENT ARE SCHEMATIC IN NATURE AND SHOWN ONLY FOR DESIGN INTENT. ALL FIXTURES AND DEVICES SHALL BE U.L.-LISTED AND MEET THE REQUIREMENTS OF THE 2020 NATIONAL ELECTRICAL CODE AND LOCAL AMMENDMENTS. PROVIDE SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED BY THE 2021 INTERNATIONAL RESIDENTIAL CODE.
  - DETACHED GARAGE WILL NOT HAVE PERMANENT HEAT.

- SITE GENERAL NOTES:**
- SLOPE GRADE AWAY FROM BUILDING TO MAINTAIN A MINIMUM FALL OF 6" IN THE FIRST 10'. SWALES WITHIN 10' OF BUILDING FOUNDATION SHALL HAVE MINIMUM 2% SLOPE.
  - CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK & NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR.
  - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO CONSTRUCTION START.

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e-mail: heidi@studio-s-arch.com

MELIA RESIDENCE  
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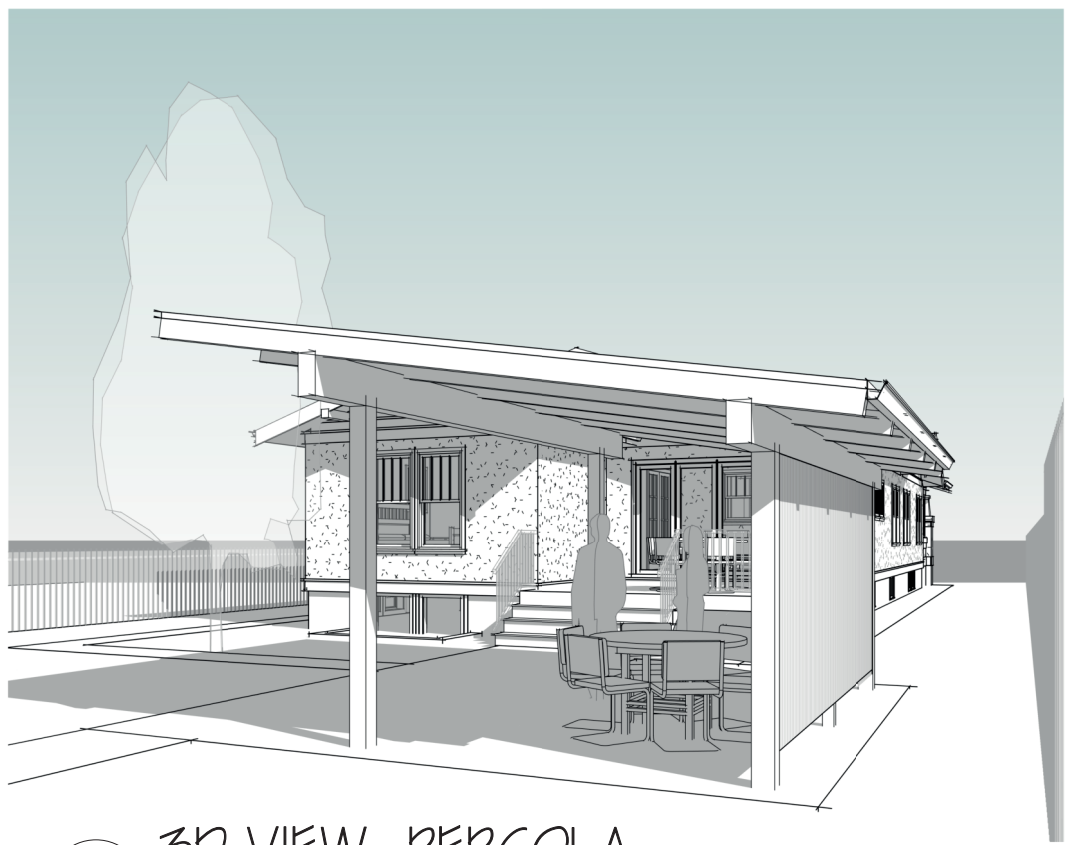
No.	Description	Date
	ISSUED FOR CONSTRUCTION	5.23.22

SITE PLAN, DEMOLITION  
PLAN & NOTES

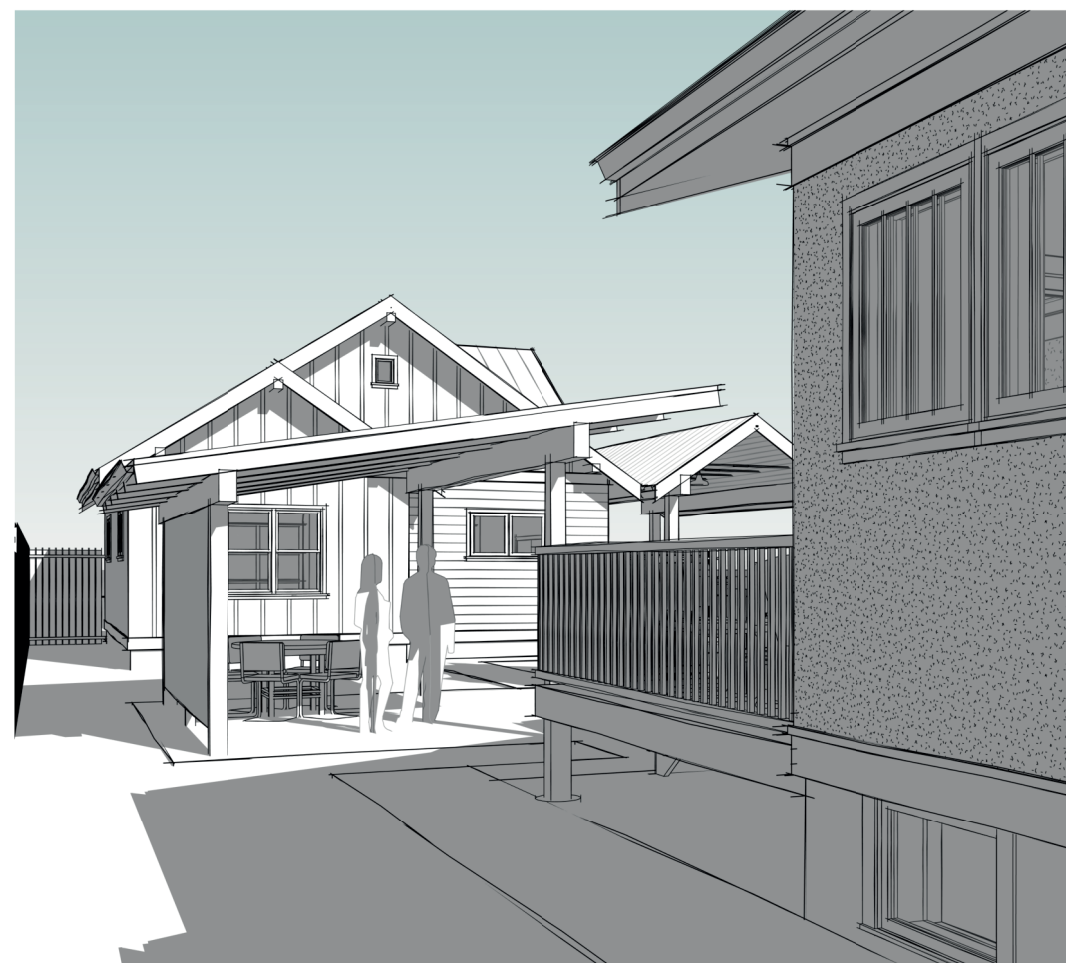
Project number	000
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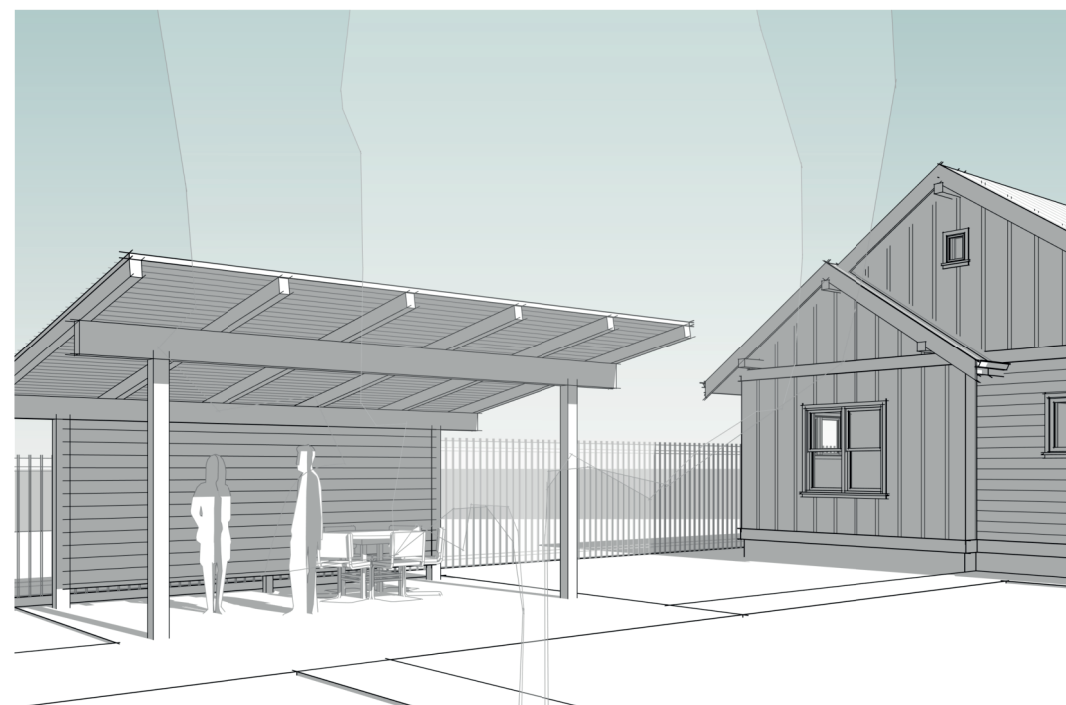




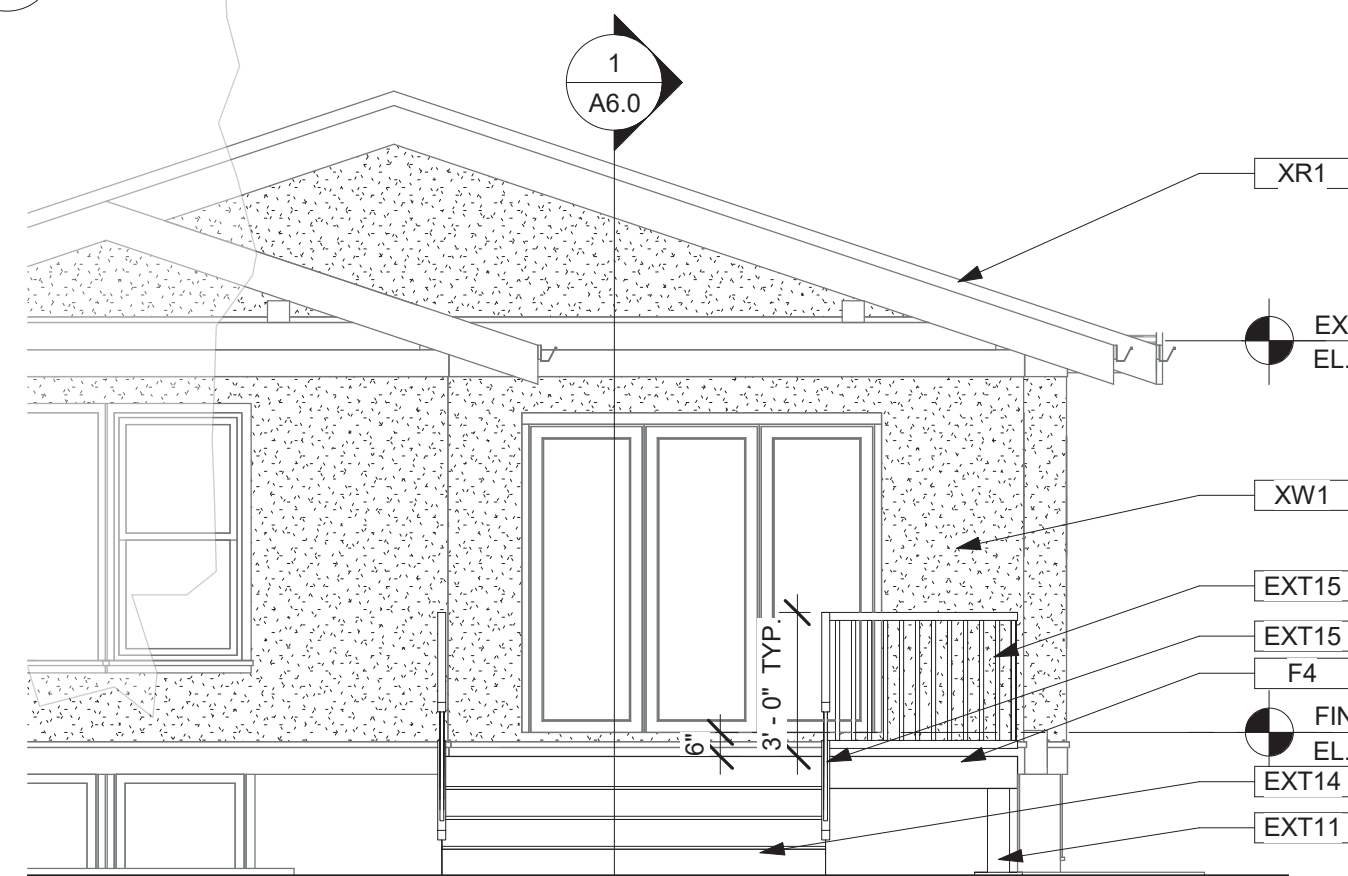
4 3D VIEW- PERGOLA  
SCALE: 1/4" = 1'-0"



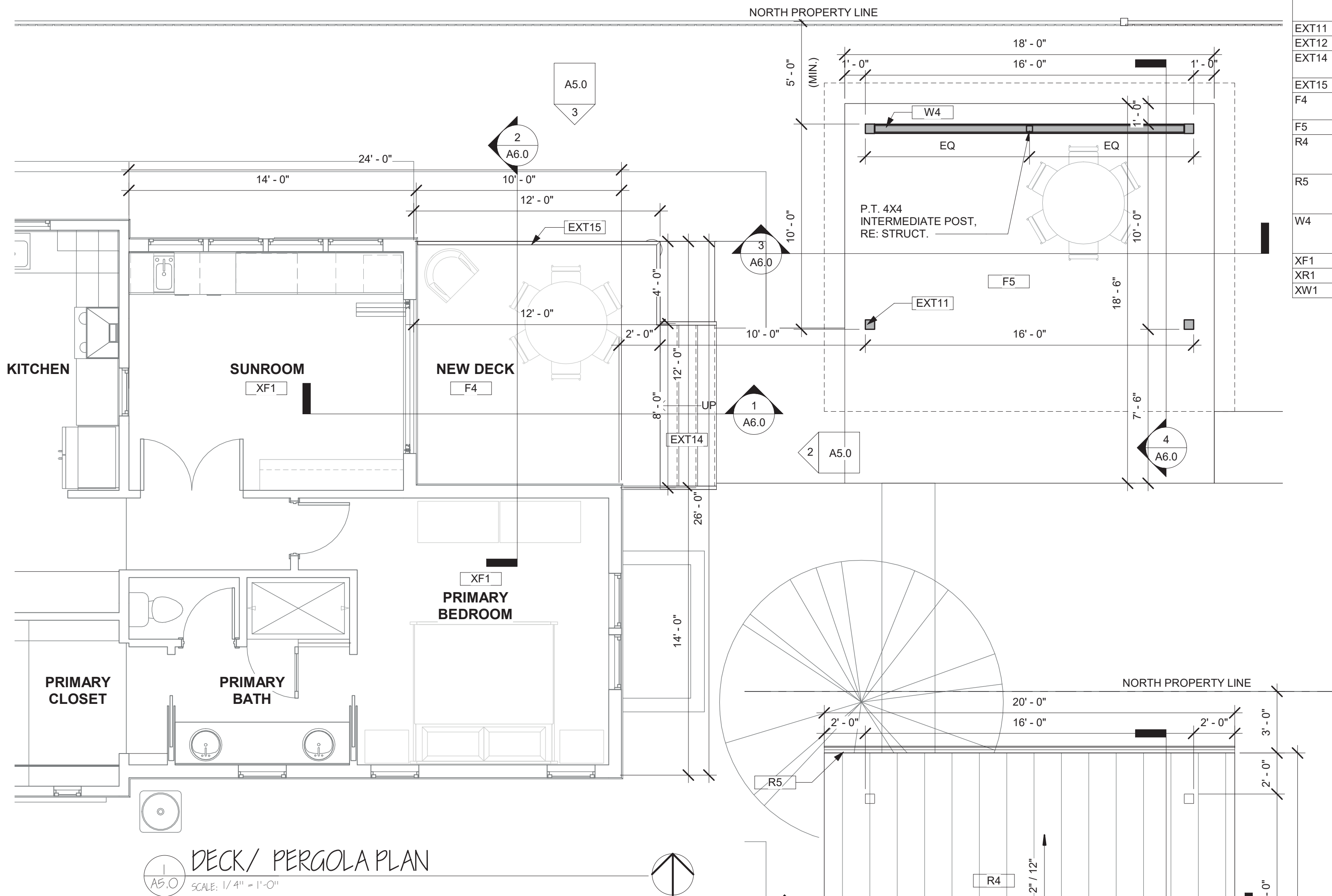
5 3D VIEW- PERGOLA 2  
SCALE: 1/4" = 1'-0"



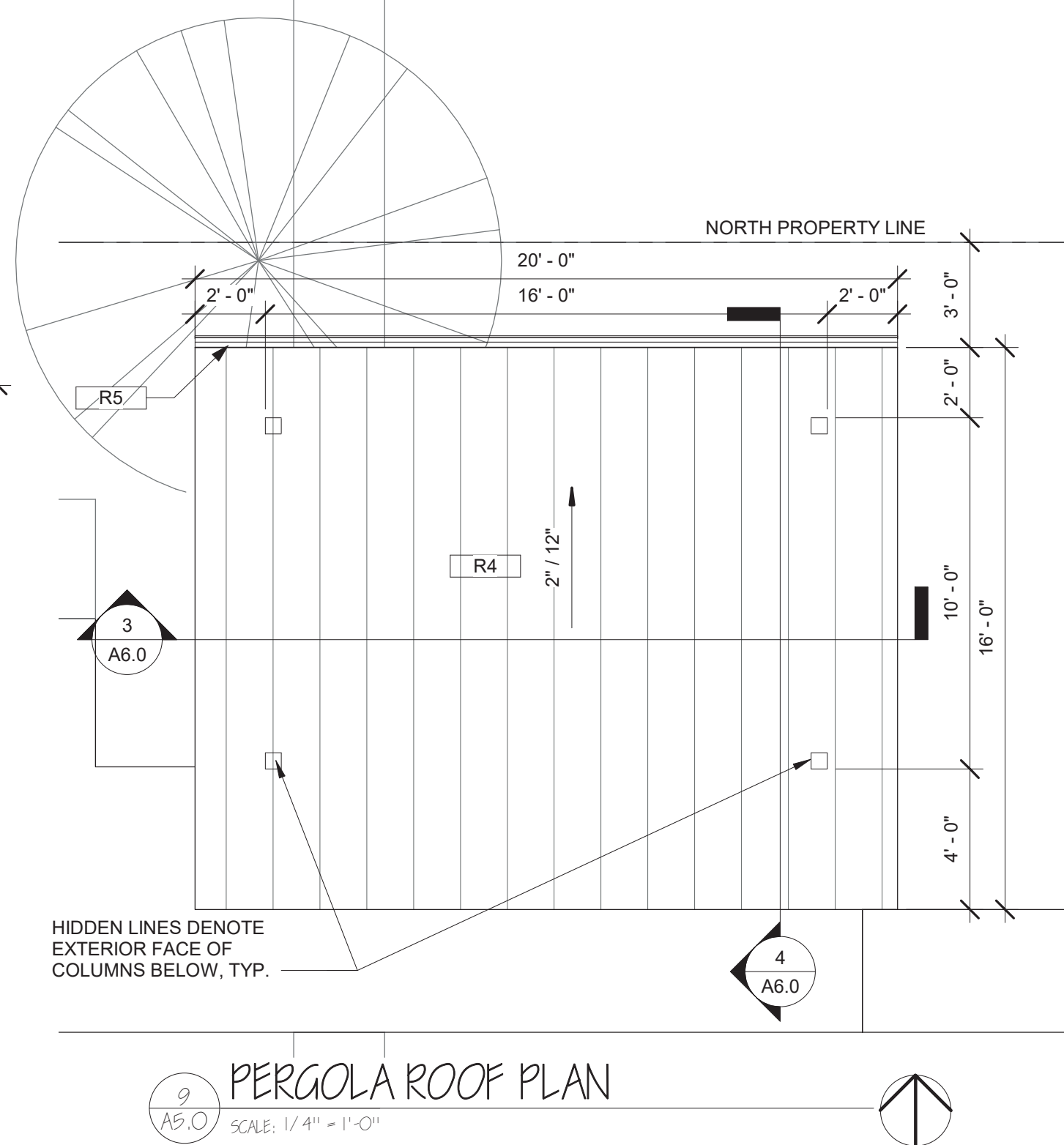
6 3D VIEW- PERGOLA 3  
SCALE: 1/4" = 1'-0"



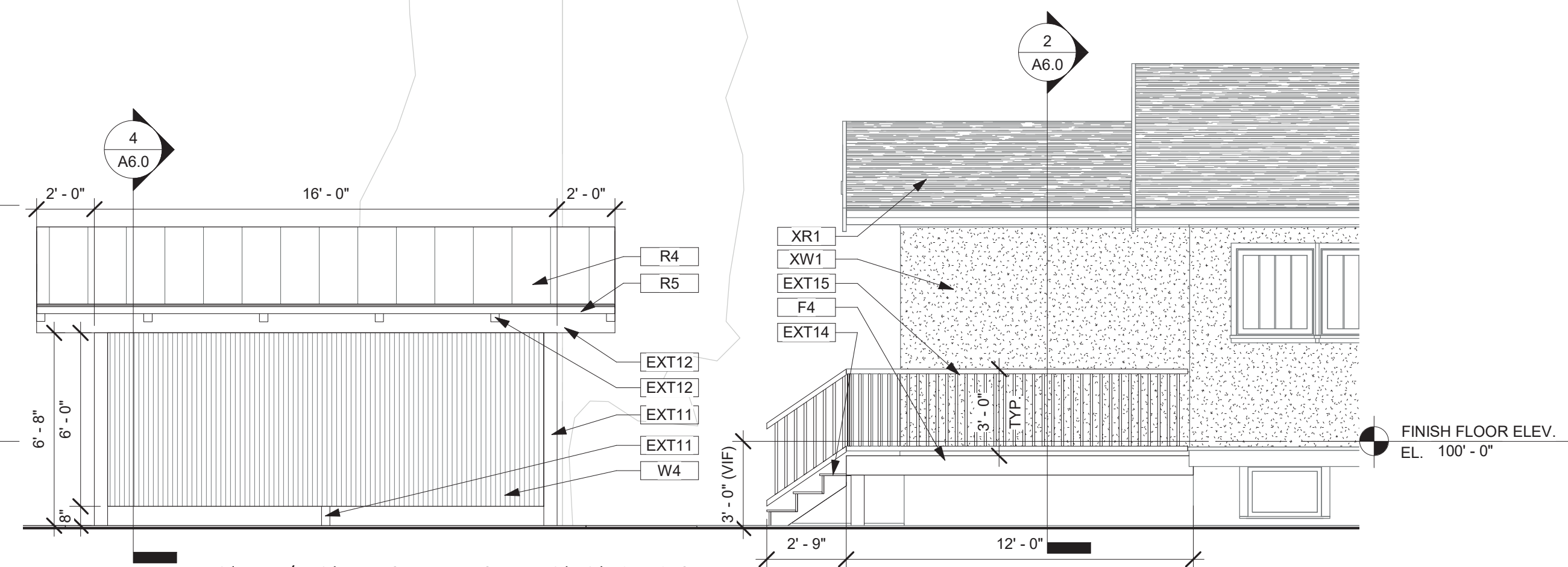
2 DECK EAST ELEVATION  
SCALE: 1/4" = 1'-0"



1 DECK/ PERGOLA PLAN  
SCALE: 1/4" = 1'-0"



9 PERGOLA ROOF PLAN  
SCALE: 1/4" = 1'-0"



3 DECK/ PERGOLA NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

GARAGE SYSTEM NOTES		
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F4	NEW COMPOSITE DECKING ON 2-2X8 P.T. WD. JOISTS @ 16" O.C., RE: STRUCT. PROVIDE COMPOSITE SKIRT BOARDS @ DECK PERIMETER.	
F5	4" CONCRETE SLAB ON GRADE- SLOPE AWAY FROM BUILDING @ 1/8" FOOT MIN.	
R4	PRE-FINISHED STANDING SEAM METAL ROOF (COLOR: TBD) OVER 30 LBS. ASPHALT IMPREGNATED BUILDING PAPER OVER 2X6 T&G DECKING (STN. & FIN.) ON 4X6 WOOD BEAMS (STN. & FIN.) @ 48" O.C., RE: STRUCT.	
R5	PREFINISHED METAL HALF ROUND GUTTERS WITH MTL. HANGERS. PROVIDE PREFINISHED METAL ROUND DOWNSPOUT WITH OFFSETS AND ELBOWS OR DECORATIVE RAIN CHAINS (COLOR: TBD) AS REQUIRED TO INSTALL AT ROOF EAVES AND DISCHARGE LOCATIONS.	
W4	PERGOLA INFILL WALL- P.T. 2X4 WALL FRMG @ 16" O.C. W/ 1X SALVAGED LUMBER (STN. & FIN.) AT SOUTH (PERGOLA/ PATIO) SIDE AND GALVANIZED CORRUGATED METAL SIDING AT NORTH SIDE. SEE BUILDING ELEVATIONS FOR LOCATIONS.	
XF1	EXISTING FLOOR TO REMAIN	
XR1	EXISTING ROOF TO REMAIN	
XW1	EXISTING EXTERIOR WALL TO REMAIN	

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MELIA RESIDENCE  
610 Whedbee Street  
Fort Collins, Colorado

No.	Description	Date
	ISSUED FOR CONSTRUCTION	5.23.22

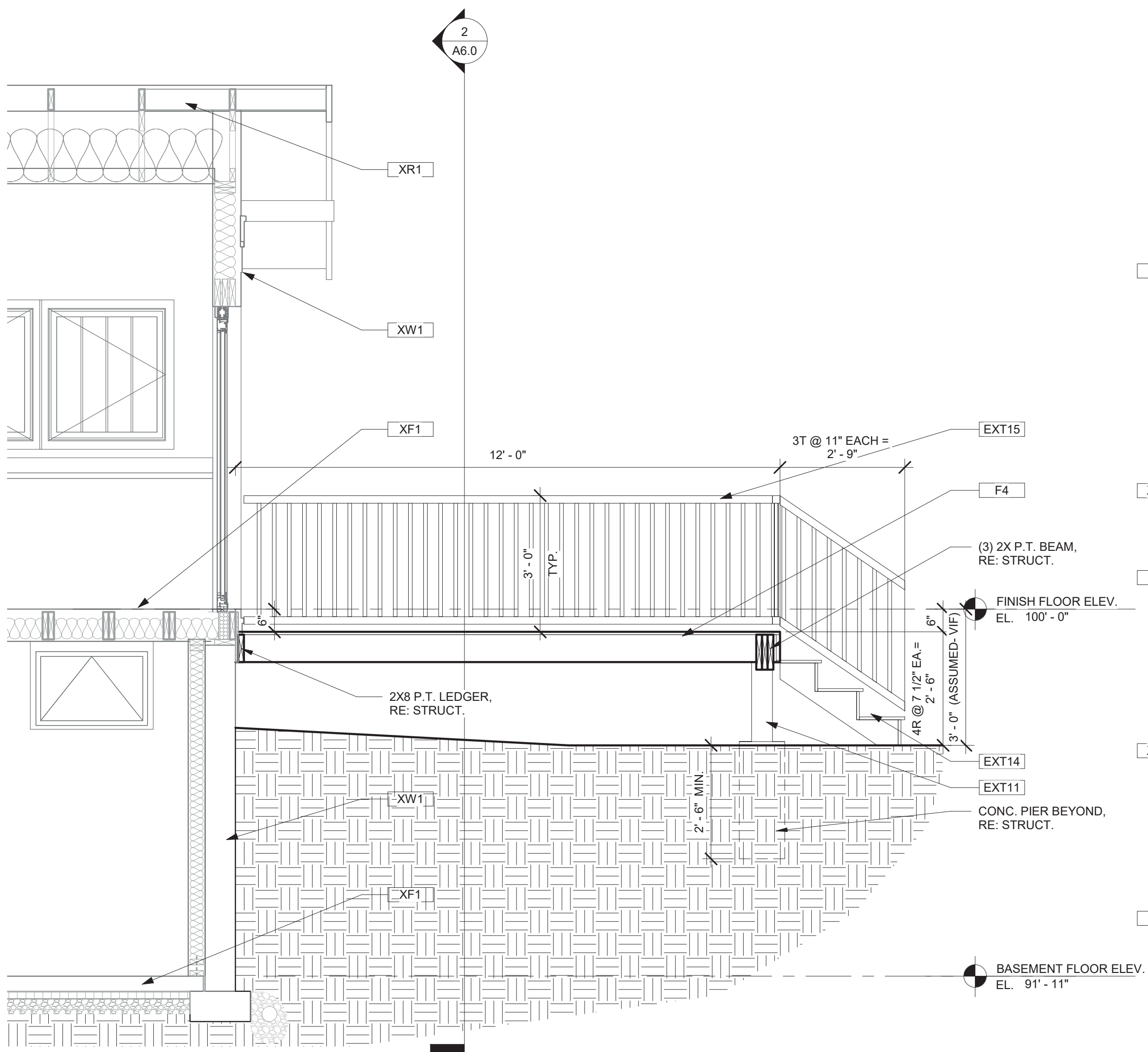
DECK & PERGOLA PLANS  
AND ELEVATIONS

Project number	000
Date	5.23.22
Drawn by	HMS
Checked by	HMS

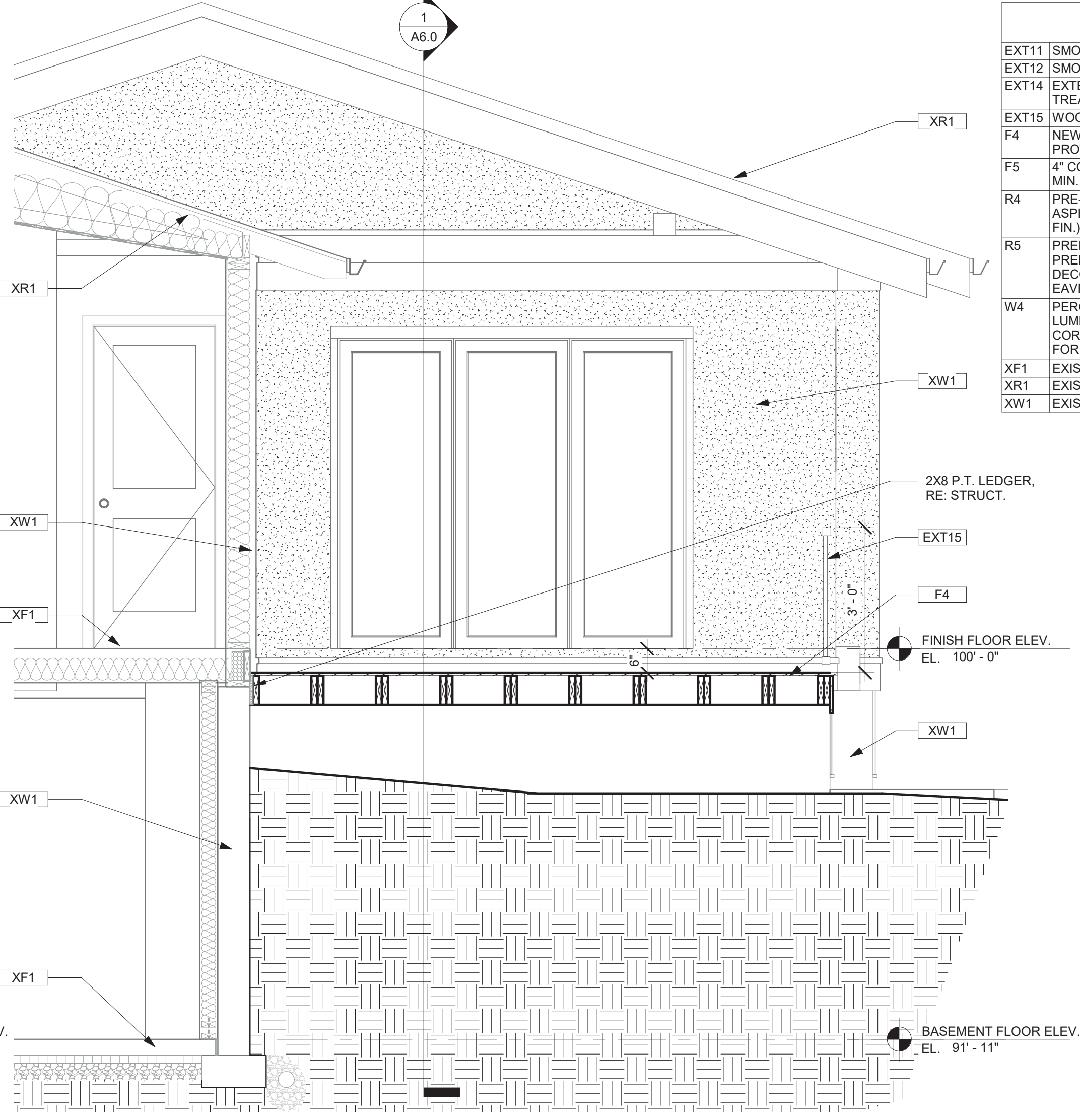
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NOTE: NEW DECK TO BE CONSTRUCTED  
UNDER A SEPARATE BUILDING PERMIT

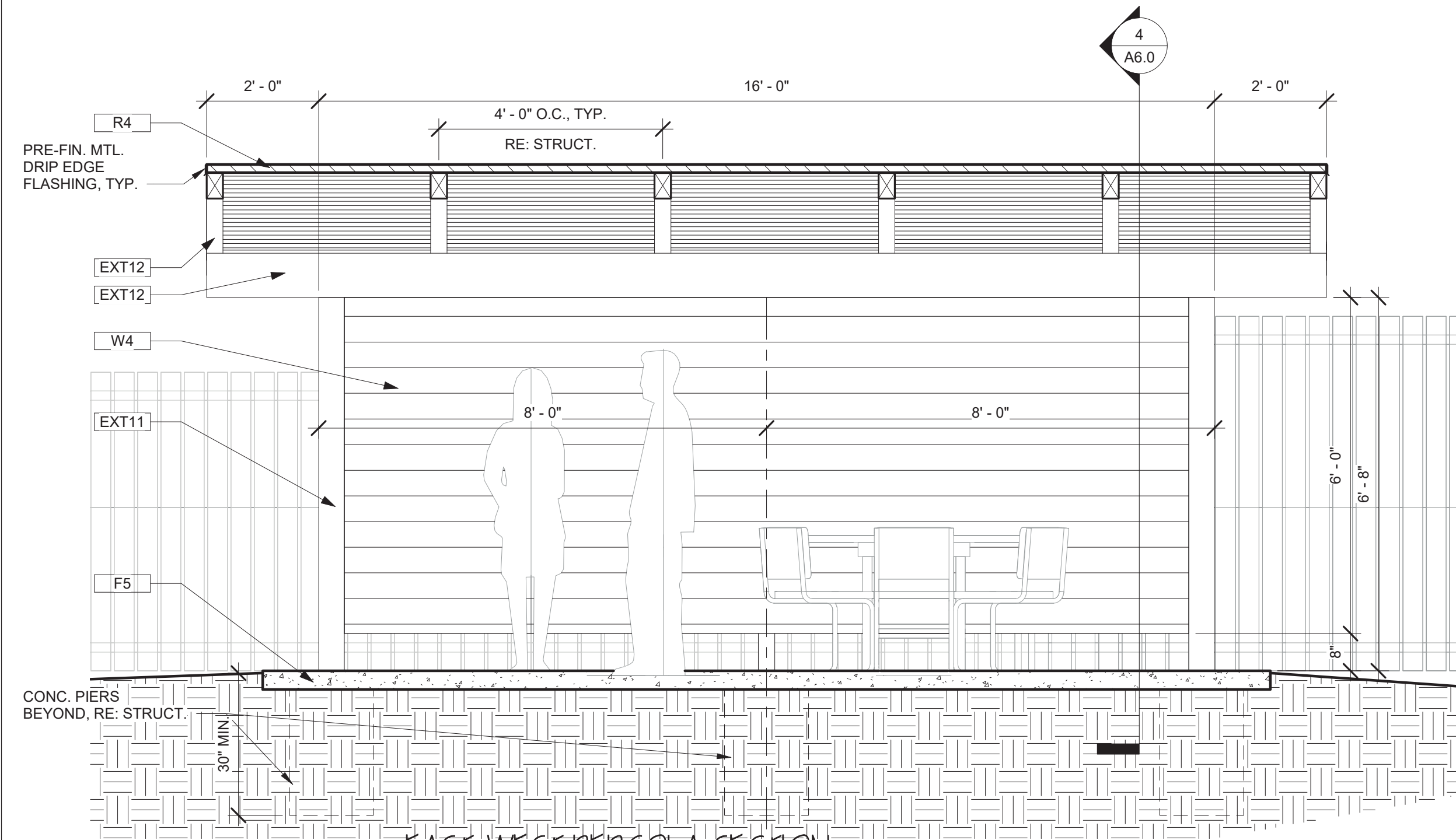




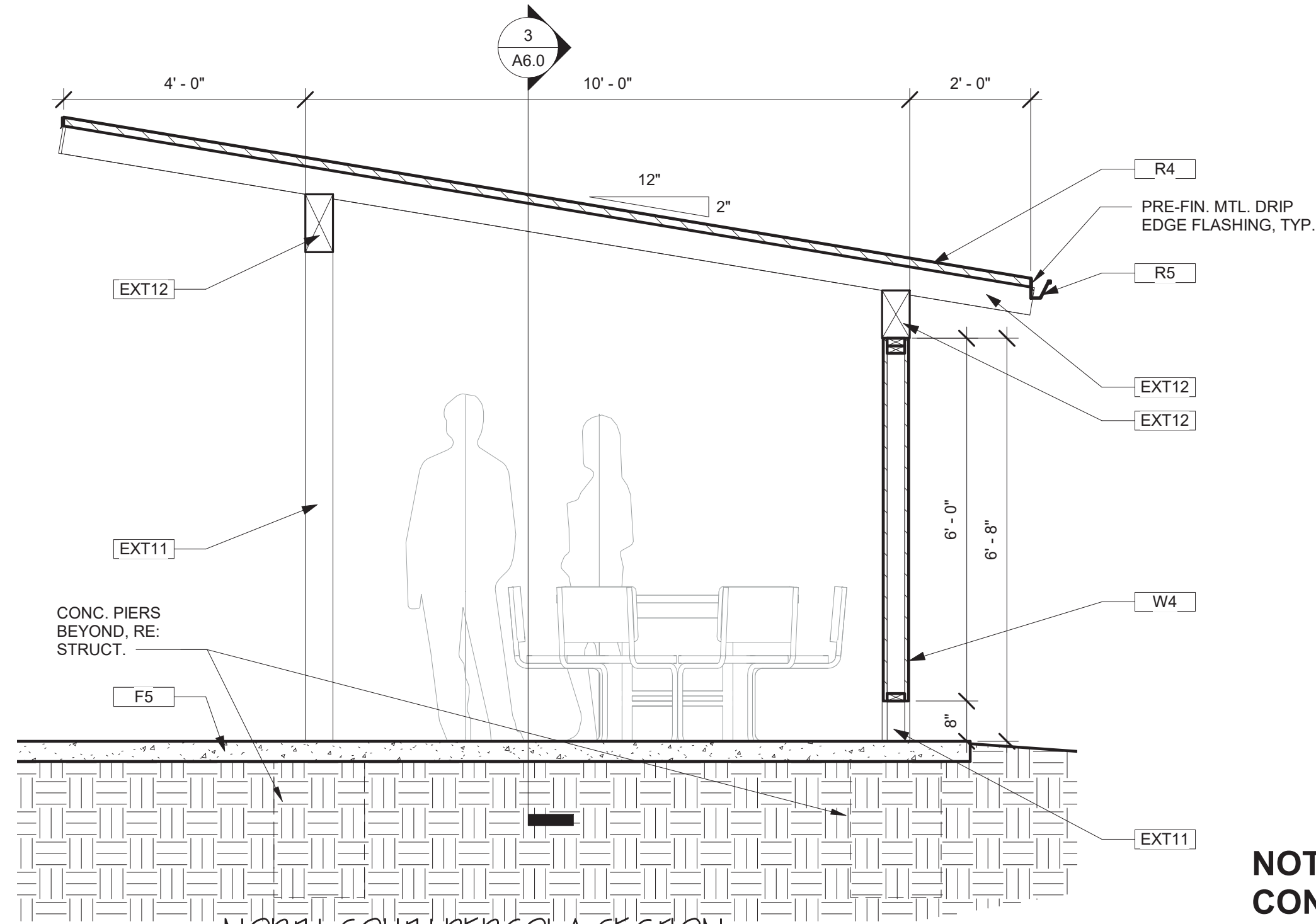
1 EAST-WEST DECK SECTION  
A6.0 SCALE: 1/2" = 1'-0"



2 NORTH-SOUTH DECK SECTION  
A6.0 SCALE: 1/2" = 1'-0"



3 EAST-WEST PERGOLA SECTION  
A6.0 SCALE: 1/2" = 1'-0"



4 NORTH-SOUTH PERGOLA SECTION  
A6.0 SCALE: 1/2" = 1'-0"

NOTE: NEW DECK TO BE  
CONSTRUCTED UNDER A  
SEPARATE BUILDING PERMIT

GARAGE SYSTEM NOTES	
EXT11	SMOOTH FINISH WOOD COLUMN- STN. & FIN., RE: STRUCT.
EXT12	SMOOTH FINISH WOOD BEAM- STN. & FIN., RE: STRUCT.
EXT14	EXTERIOR STAIRS- P.T. WOOD (PNT.) STRINGERS W/ COMPOSITE DECKING, TREADS, RISERS & SKIRT BOARDS
EXT15	WOOD RAILING- PNT.
F4	NEW COMPOSITE DECKING ON 2-2X8 P.T. WD. JOISTS @ 16" O.C., RE: STRUCT. PROVIDE COMPOSITE SKIRT BOARDS @ DECK PERIMETER.
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DECK & PERGOLA  
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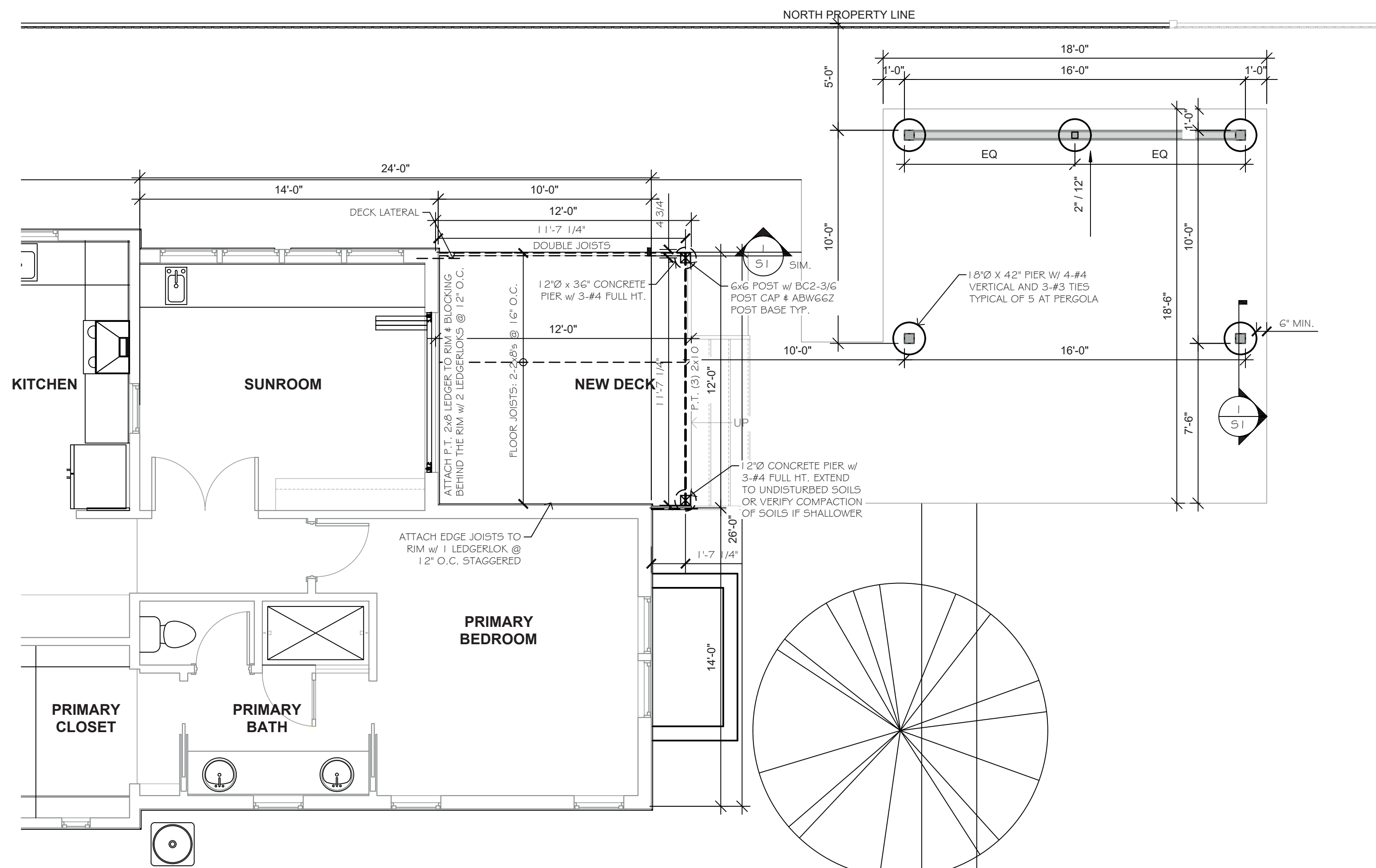
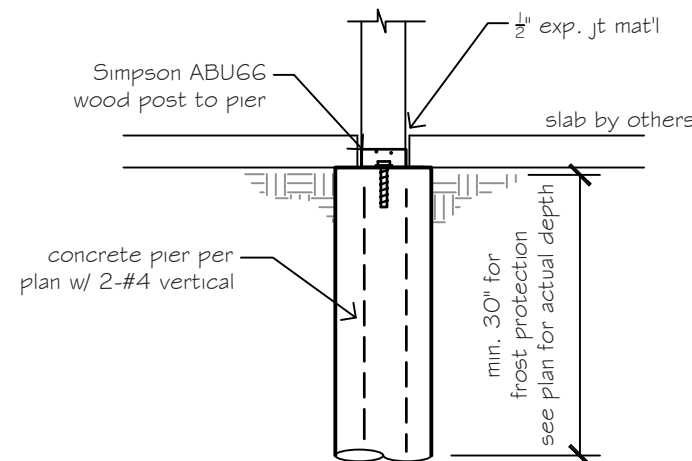
A6.0

- a. general:
  1. all construction shall be in accordance with the international residential code (2021 edition) and in accordance with all applicable osha regulations,
  2. the contractor shall check and verify all dimensions shown on this plan prior to concrete placement and shall reference architectural plans for blockouts, etc.
  3. all exterior walls, interior shear walls and interior bearing walls as noted on the plan shall be constructed as outlined in Table IRC602.10.4 method W5P: 7/16" osb or plywood one side with min. 1/2" gypsum wall board (GB) on the opposite side.

1. foundation design is based on assumed bearing values.  
maximum bearing capacity = 1500 psf  
minimum dead load = n/a  
2. design live loads: roof snow load  $P_f = 30$  psf; floor load = 40 psf; wind Vult = 140 mph (nominal 3s); exp. b;  
seismic design category b.

1. all footings to bear on native undisturbed soil.
2. slab control joints shall be provided in accordance with aci recommendations.

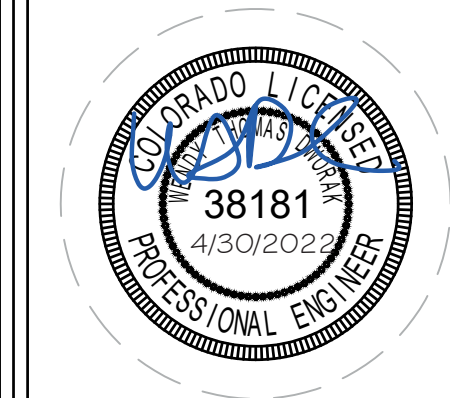
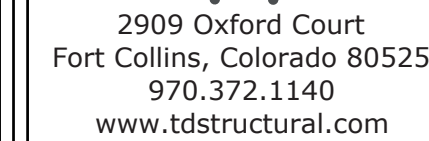
1. foundation concrete:  $f_c = 3000$  psi foundation,  $f_c = 4000$ psi garage slab on grade; minimum of 5-1/4 sacks of type I-III portland cement per cubic yard; air entrained with  $6\% \pm 1\%$  air.
2. reinforcing steel:  $f_y = 60$  ksi (60 grade). all reinforcing shall be placed in accordance with aci recommendations including minimum laps, spacings and corner bars.
3. wood - framing lumber shall be stress graded Hem-Fir no. 2 or better.
  - laminate veneer lumber (LVL) shall be stress graded as follows: bending - 2600psi; tension parallel to grain - 1850psi; compression parallel to grain - 2700psi; horizontal shear - 285psi; compression perpendicular to grain - 500psi; modulus of elasticity - 1900ksi.
- LVL member sizes are net; lumber sizes are nominal.
- I-joists shall be as manufactured by Trus Joist or an approved substitute. I-joists shall be detailed by the joist supplier including bridging, blocking and web filler details and shall be installed in accordance with the manufacturers recommendations.
- timber connectors called for on the drawings are as manufactured by Simpson company. connectors by other manufacturers may be used if the load capacity is equal to or greater than the connector specified. use manufacturer's furnished nails and bolts.
- fasten all wood members with common nails according to the building code unless otherwise noted.
  - exterior wall sheathing 15/32" o.s.b or plywood nailed to exterior studs with an 8d span rating of 32/16. nail roof sheathing with 8d nails at 4" on center at panel edges and 12" on center in the field u.o.
  - floor sheathing shall be 23/32" plywood with an AFA rating of 48/24, glue and nail to framing with 8d nails at 6" on center at panel edges, 8" on center in the field u.o.
  - exterior wall sheathing shall be 7/16" osb or plywood nailed to framing with 8d nails spaced at 6" on center at panel edges, 12" on center in the field minimum u.o.



PLAN N DECK FRAMING & FOUNDATION &  
PERGOLA FOUNDATION PLAN


$$1/4'' = 1'-0''$$

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**MELIA RESIDENCE**  
610 WHEDBEE STREET  
FORT COLLINS, COLORADO

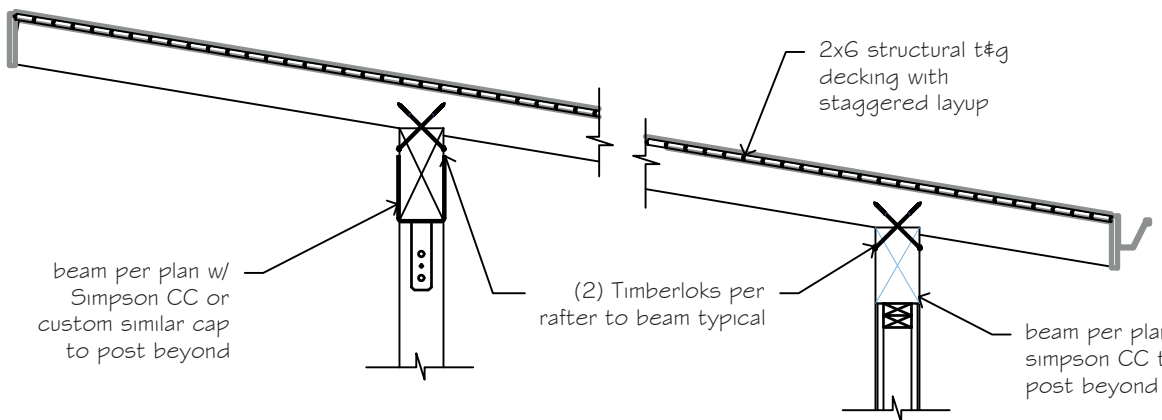
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REVISION:

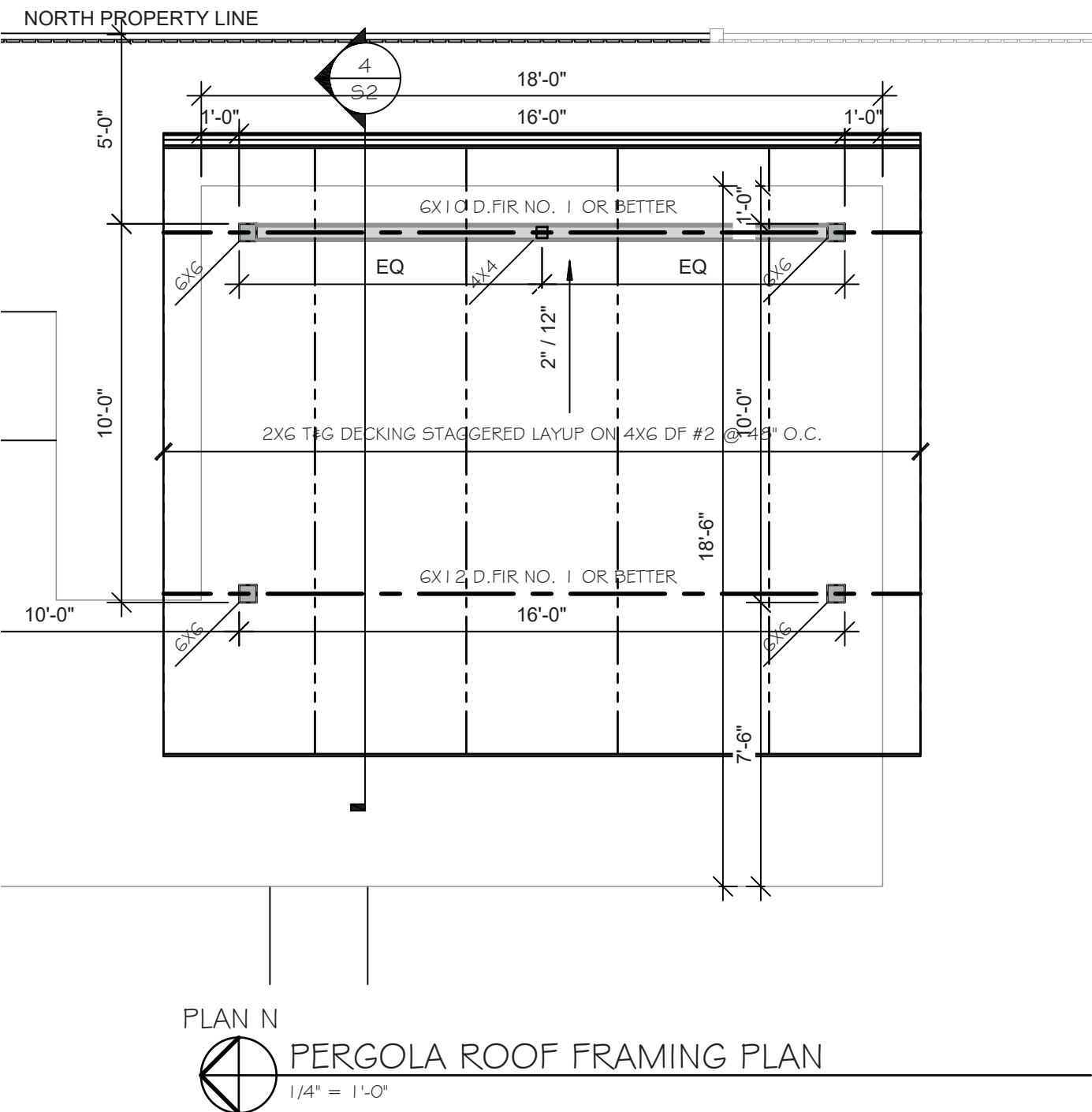
FOUNDATION PLAN  
DETAILS & NOTES

# S1

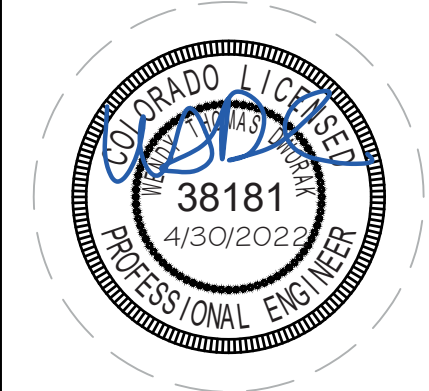




4 pergola roof  
S2 1/2" = 1'-0"



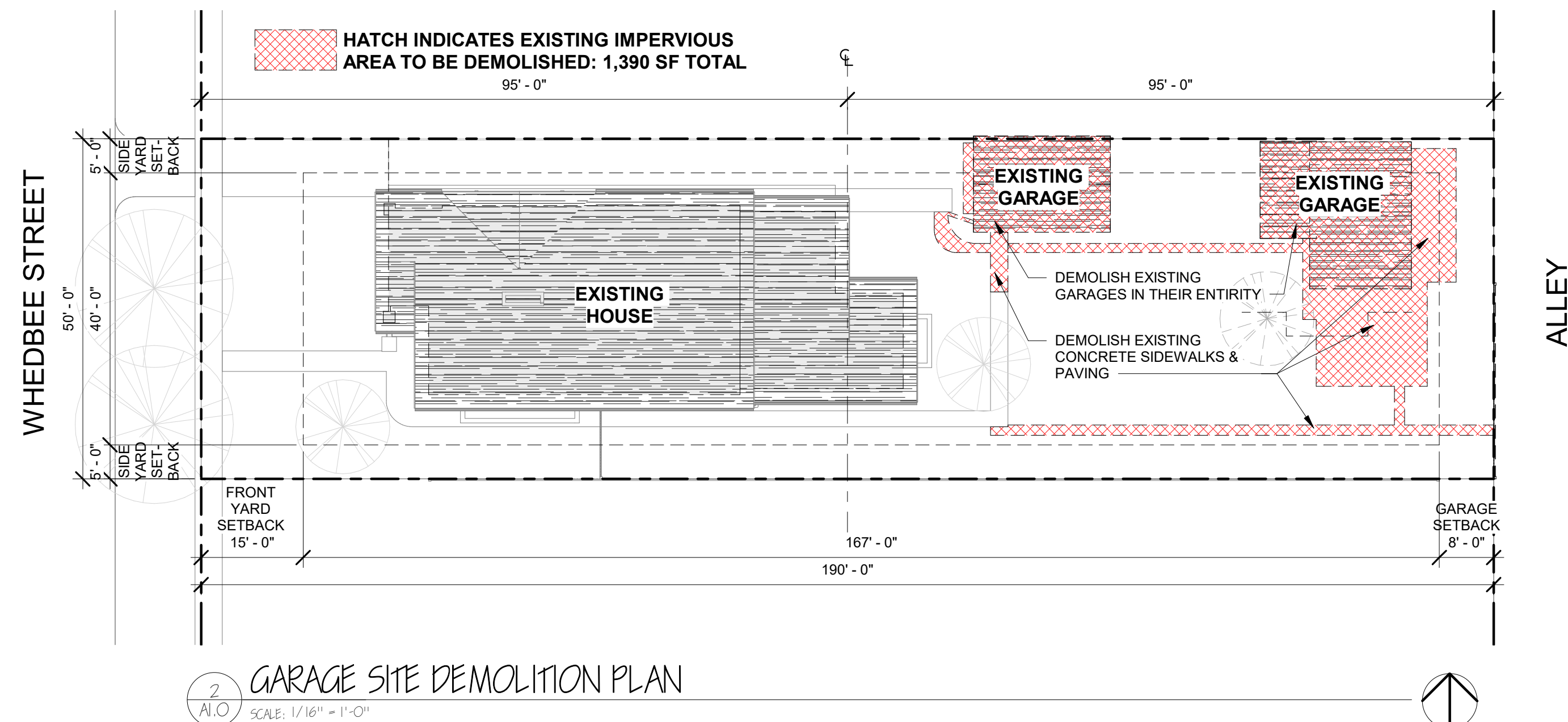
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MELIA RESIDENCE  
610 WHEDBEE STREET  
FORT COLLINS, COLORADO

PROJECT NUMBER: 22-022  
DESIGNED BY: WTD  
REVIEWED BY: WTD  
DATE FOR ISSUE: 4 30 2022  
REVISION:

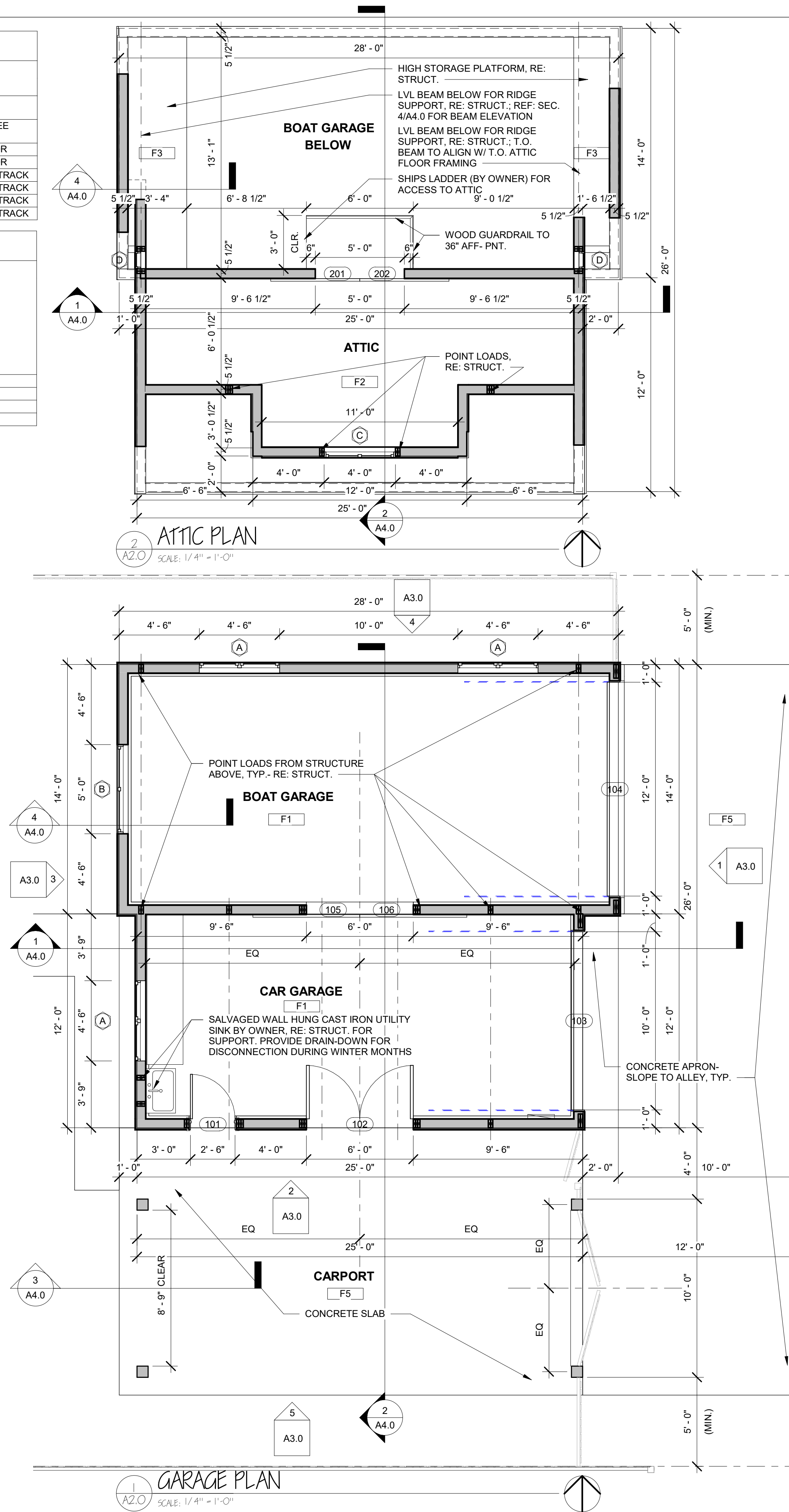
FLOOR & ROOF  
FRAMING PLANS





GARAGE WINDOW SCHEDULE						
WINDOW TYPE	DIMENSIONS			FRAME MATERIAL	OPERATION	COMMENTS
	WIDTH	HEIGHT	HEAD HEIGHT			
A	4' - 6"	2' - 6"	7' - 9"	FIBERGLASS	AWNING	DOUBLE WINDOW UNIT
B	5' - 0"	4' - 6"	7' - 9"	FIBERGLASS	DOUBLE HUNG	DOUBLE WINDOW UNIT
C	4' - 0"	3' - 6"	6' - 6"	FIBERGLASS	DOUBLE HUNG	DOUBLE WINDOW UNIT
D	1' - 0"	1' - 4"	16' - 0"	FIBERGLASS	FIXED	

1. PROVIDE TEMPERED GLAZING PER 2021 INTERNATIONAL RESIDENTIAL CODE  
2. PROVIDE LOW-E DOUBLE INSULATED GLAZING WITH U-FACTOR OF .32 MAXIMUM (**NOTE: THERE IS NO CODE REQUIRED MAXIMUM U-VALUE AS GARAGE/ ATTIC DOES NOT CONTAIN HABITABLE SPACE AND IS NOT HEATED**)  
3. WINDOW COLOR TBD BY OWNER/ ARCH  
4. PROVIDE DEDUCTIVE OPTION FOR VINYL WINDOWS IN LIEU OF FIBERGLASS  
5. DESIGN INTENT IS TO MATCH THE INDICATED WINDOW SIZES AS CLOSE AS POSSIBLE WITH THE CHOSEN WINDOW MANUFACTURER  
6. WINDOW MANUFACTURER AND STYLE TO BE COORDINATED WITH AND APPROVED BY ARCH/OWNER  
7. CONTRACTOR TO COORDINATE ACTUAL ROUGH OPENING SIZES ACCORDINGLY



5  
A2.0

3D INTERIOR VIEW- BOAT GARAGE WEST

SCALE:

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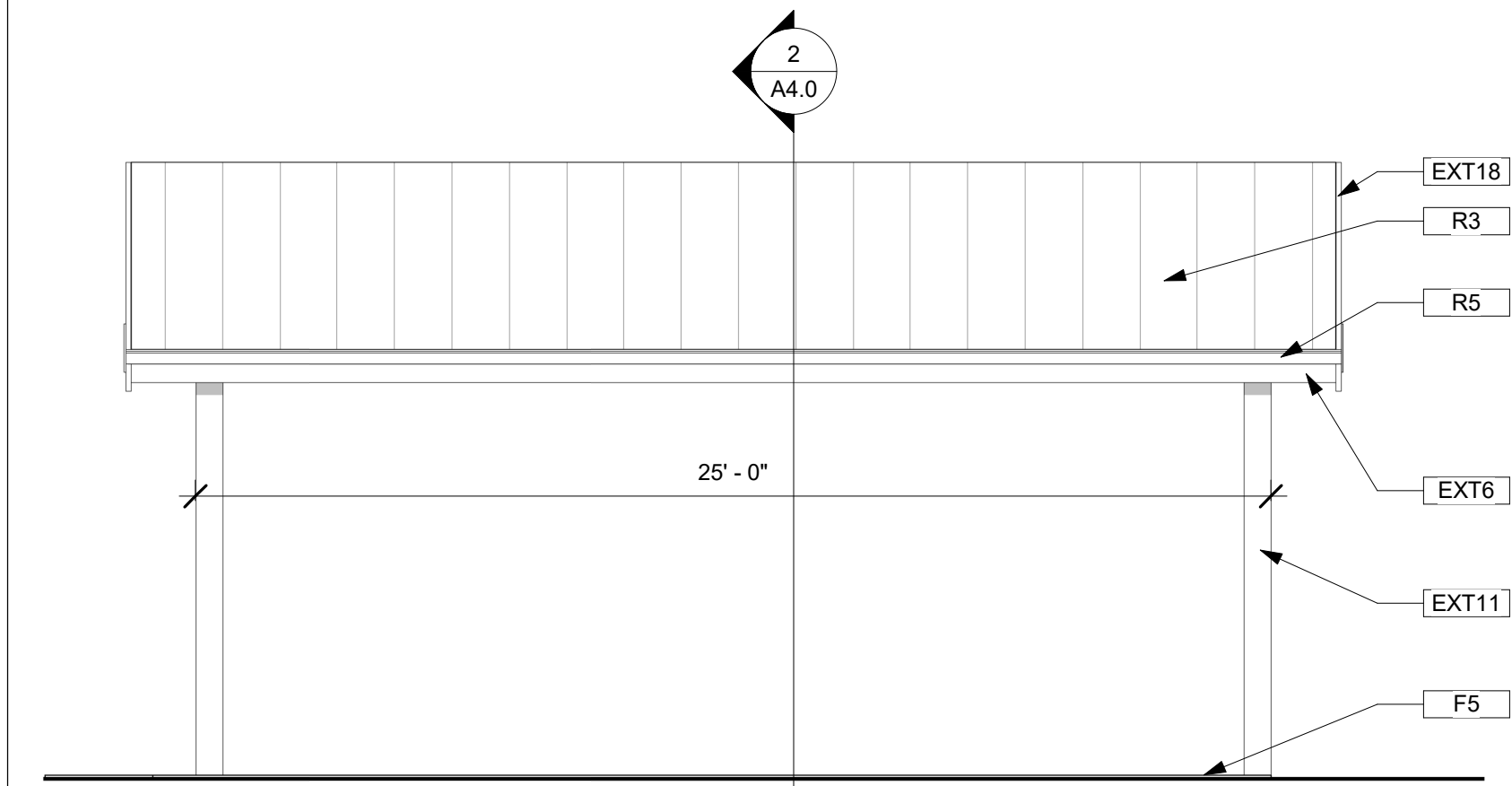
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GARAGE FLOOR PLAN,  
ATTIC PLAN, ROOF PLAN,  
SCHEDULES & 3-D  
INTERIOR VIEWS

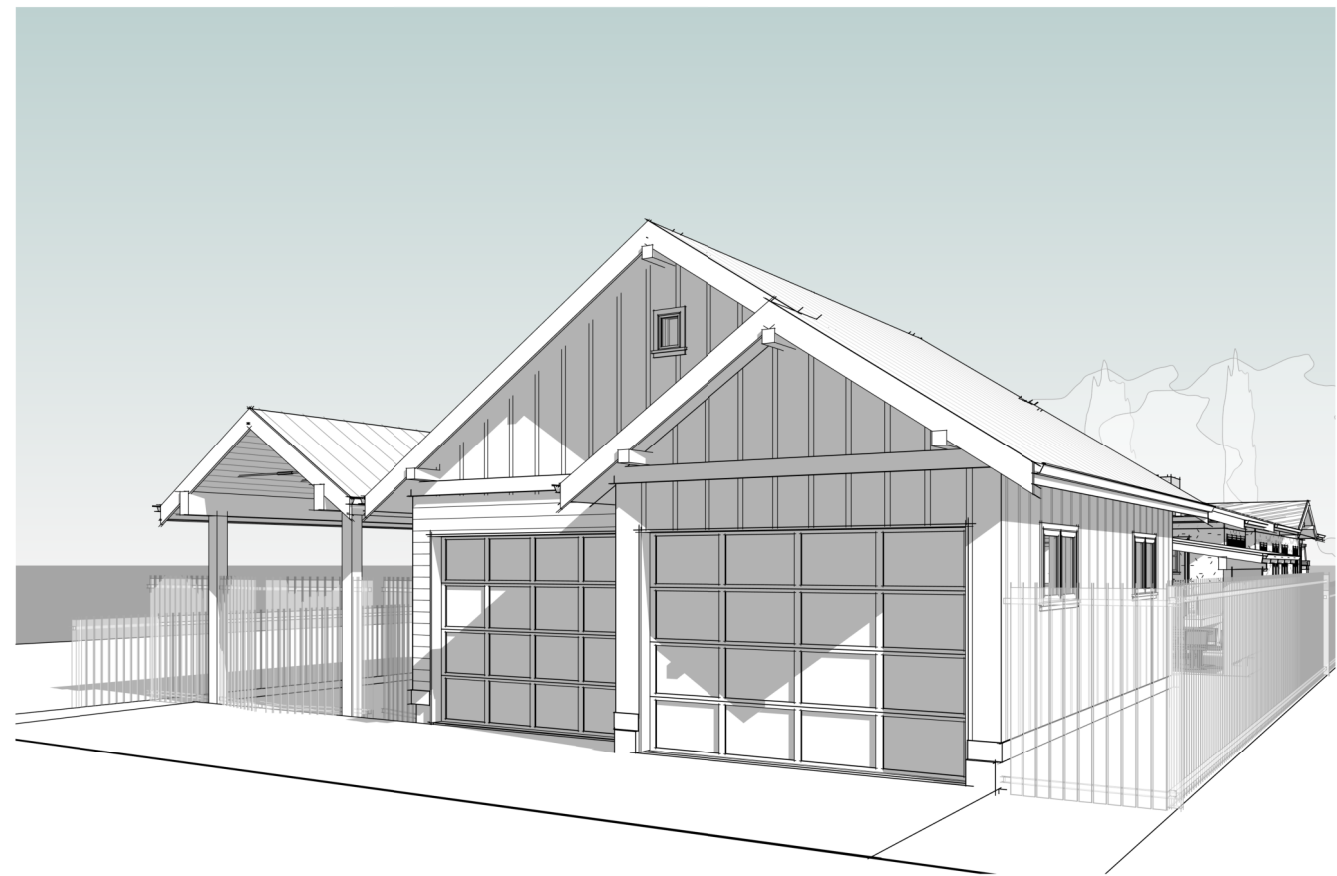
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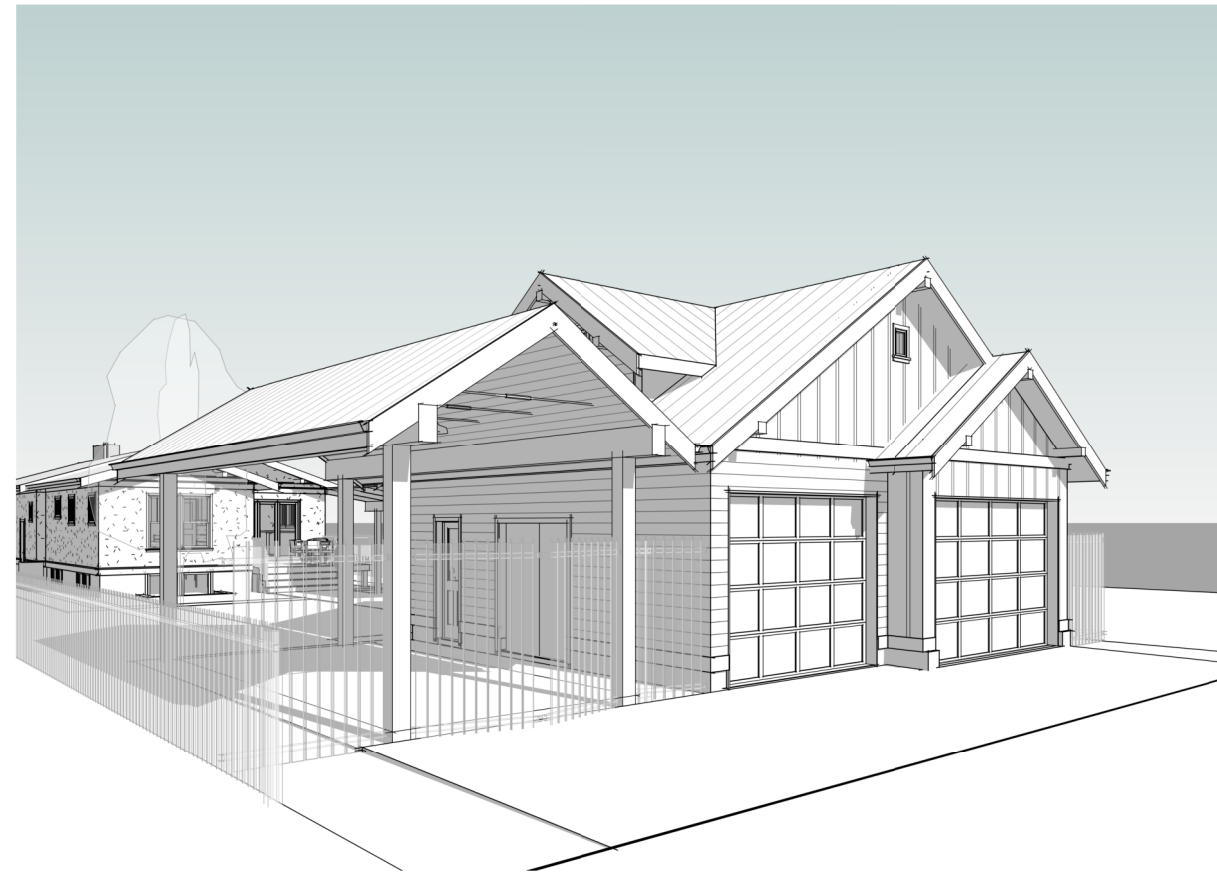




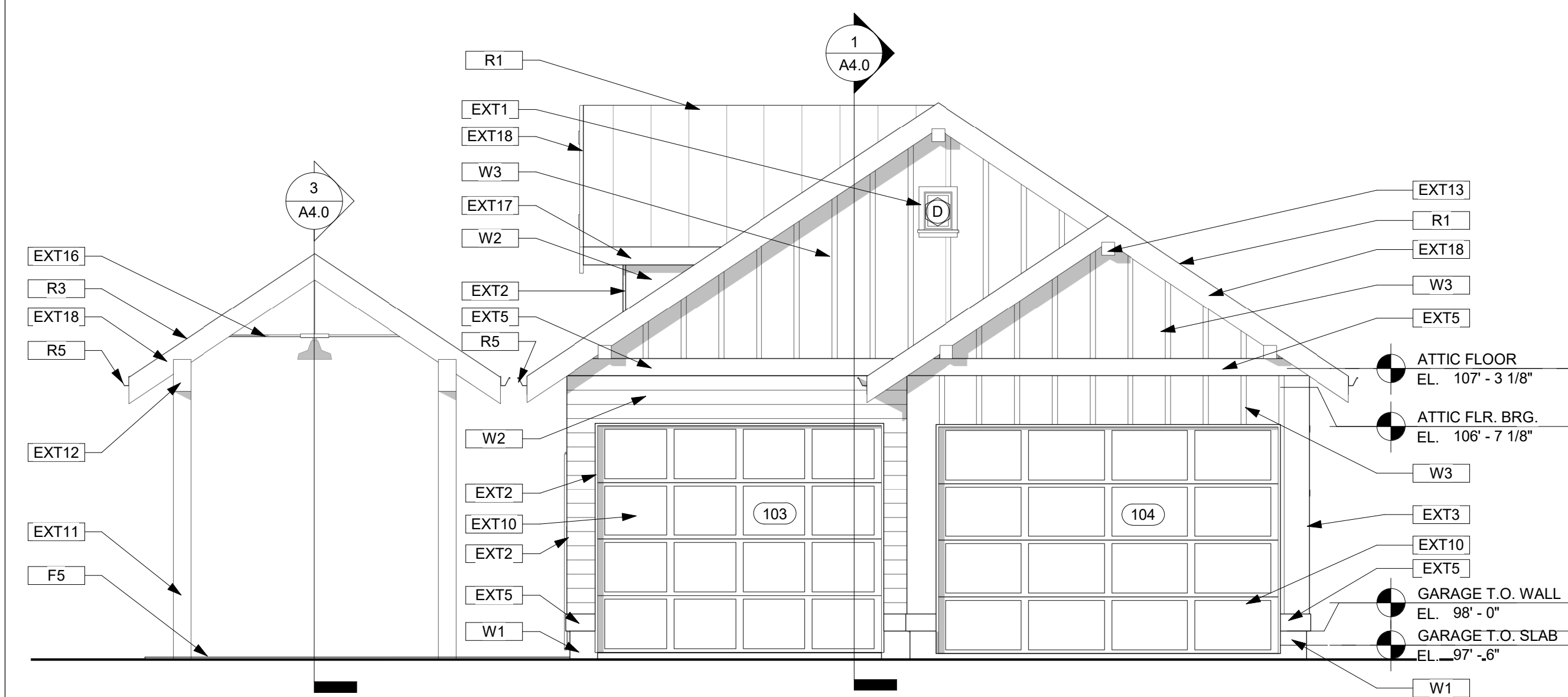
5 CARPORT SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



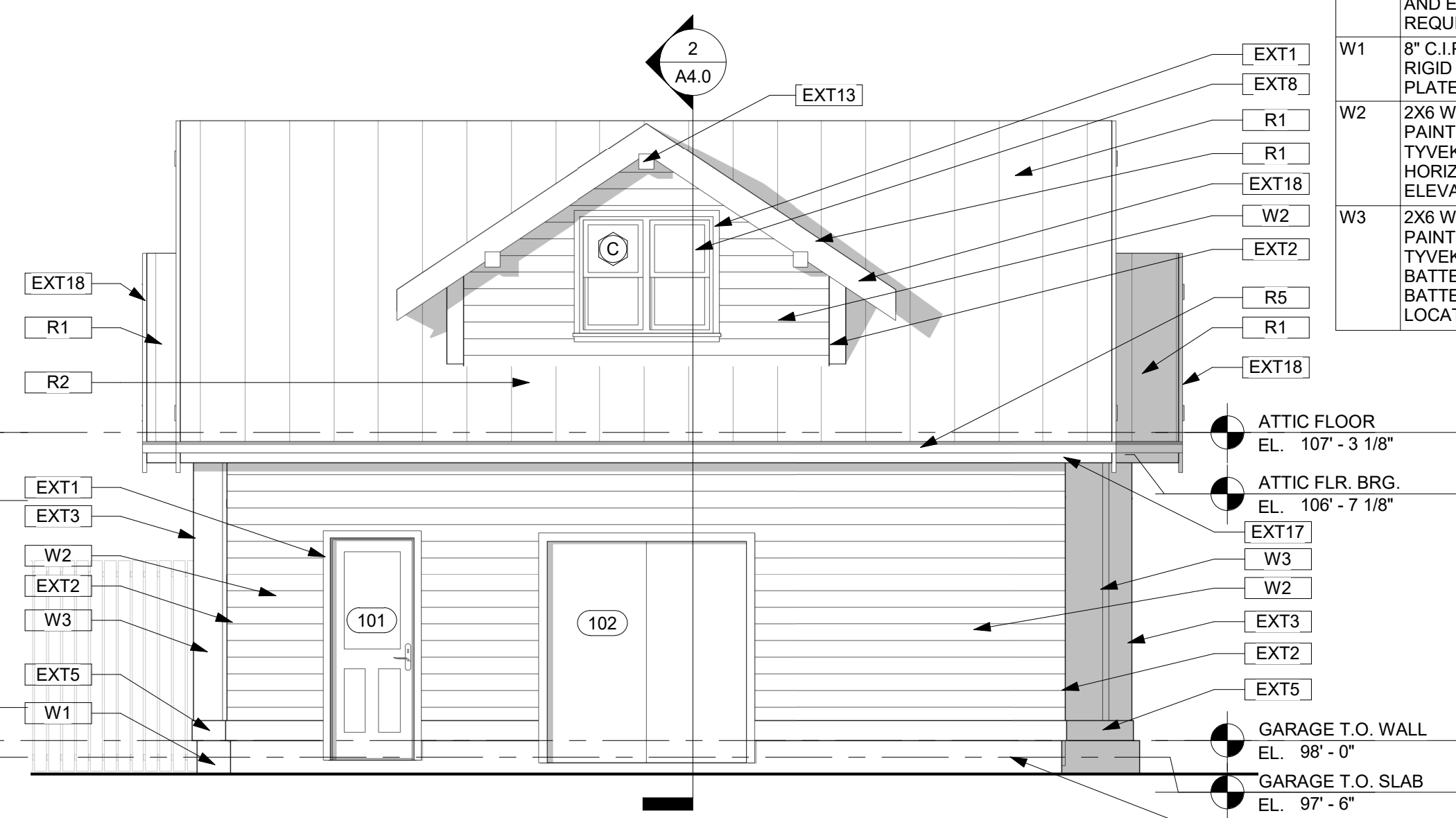
6 3D VIEW- GARAGE NORTHEAST  
SCALE:



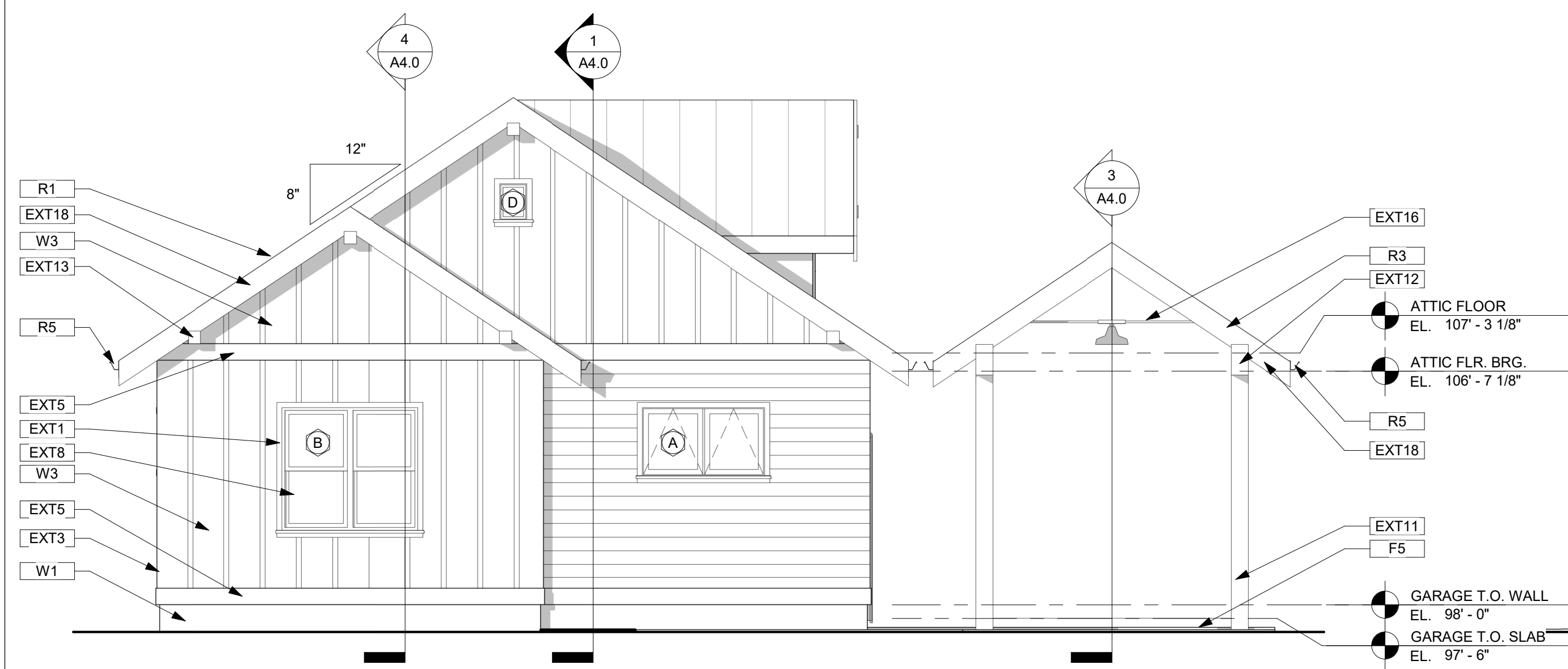
7 3D VIEW- GARAGE SOUTHEAST  
SCALE:



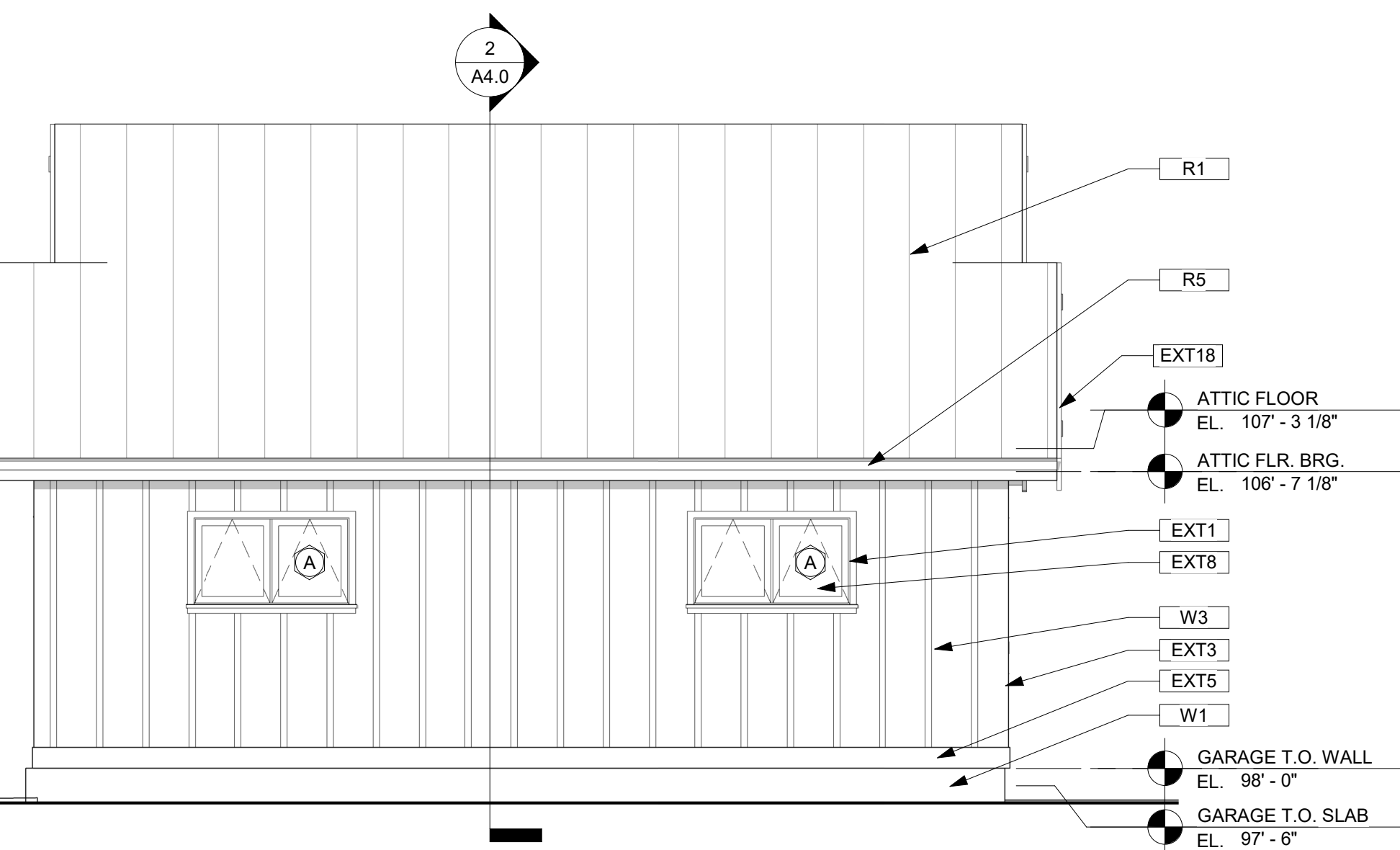
1 GARAGE EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 GARAGE SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 GARAGE WEST ELEVATION  
SCALE: 1/4" = 1'-0"



4 GARAGE NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

GARAGE SYSTEM NOTES	
EXT1	SMOOTH FINISH ENGINEERED WOOD TRIM BOARDS- PNT. PROVIDE 5/4" X 3 1/2" TRIM BOARD AT ALL WINDOW AND DOOR HEAD & JAMBS. ALL WINDOW SILLS TO RECEIVE A RIPPED/SLOPED NO. 1 REDWOOD OR CEDAR SILL W/ PRIMER AND 2 COATS OF EXTERIOR PAINT.
EXT2	5/4" X 3 1/2" SMOOTH FINISH ENGINEERED WOOD CORNER TRIM- PNT.
EXT3	5/4" X 2 1/2" SMOOTH FINISH ENGINEERED WOOD CORNER TRIM- PNT.
EXT5	5/4" X 8 SMOOTH FINISH ENGINEERED WOOD BELT BOARD- PNT.
EXT6	1X10 CONT. SMOOTH FINISH ENGINEERED WOOD FASCIA- PNT.
EXT8	FIBERGLASS WINDOW W/ DOUBLE INSULATED GLAZING (REFER TO WINDOW SCHEDULE FOR WINDOW TYPE, DESIGN AND CONFIGURATION). PROVIDE FACTORY FORMED SILL PANS AND 9" WIDE MEMBRANE FLASHING AT ALL JAMBS AND HEADS PRIOR TO INSTALLING ALL WINDOWS IN ROUGH OPENINGS.
EXT10	DECORATIVE PRE-FINISHED MTL. INSUL. OVERHEAD DOOR W/ UPPER LITES
EXT11	SMOOTH FINISH WOOD COLUMN- STN. & FIN., RE: STRUCT.
EXT12	SMOOTH FINISH WOOD BEAM- STN. & FIN., RE: STRUCT.
EXT13	SMOOTH FINISH 6X6 DECORATIVE TIMBER ACCENT- PNT.
EXT16	STEEL COLLAR TIE & TURN BUCKLE, RE: STRUCT.
EXT17	EXPOSED 2X6 RAFTER TAILS W/ CLIPPED BOTTOM TO MATCH EXISTING HOUSE- PNT.
EXT18	2X10 CONT. WOOD BARGE RAFTER TO MATCH EXST. HOUSE- PNT.
F5	4" CONCRETE SLAB ON GRADE- SLOPE AWAY FROM BUILDING @ 1/8" FOOT MIN.
R1	PRE-FINISHED STANDING SEAM METAL ROOF (COLOR: TBD) OVER 30 LBS. ASPHALT IMPREGNATED BUILDING PAPER OVER 3/4" PLYWOOD SHEATHING ON 11 7/8" TJ'S @ 24" O.C., RE: STRUCT. W/ R-30 BATT INSULATION BETWEEN RAFTERS
R2	PRE-FINISHED STANDING SEAM METAL ROOF (COLOR: TBD) OVER 30 LBS. ASPHALT IMPREGNATED BUILDING PAPER OVER 3/4" PLYWOOD SHEATHING ON 2X6 WOOD RAFTERS @ 24" O.C., RE: STRUCT. W/ R-30 BATT INSULATION BETWEEN RAFTERS
R3	PRE-FINISHED STANDING SEAM METAL ROOF (COLOR: TBD) OVER 30 LBS. ASPHALT IMPREGNATED BUILDING PAPER OVER 15/32" O.S.B. SHEATHING ON 2X6 WOOD RAFTERS @ 24" O.C. W/ DOUBLE RAFTER & STEEL COLLAR TIES @ 48" O.C. RE: STRUCT. & 1X T&G WOOD CEILING/ SOFFIT AT UNDERSIDE (STN. & FIN.).
R5	PREFINISHED METAL HALF ROUND GUTTERS WITH MTL. HANGERS. PROVIDE PREFINISHED METAL ROUND DOWNSPOUT WITH OFFSETS AND ELBOWS OR DECORATIVE RAIN CHAINS (COLOR: TBD) AS REQUIRED TO INSTALL AT ROOF EAVES AND DISCHARGE LOCATIONS.
W1	8" C.I.P. CONC. W/ DAMPPROOFING BELOW GRADE ON EXTERIOR & 2" RIGID INSUL. ON INTERIOR- PROVIDE PRESSURE TREATED SILL PLATE.
W2	2X6 WALL FRMG @ 16" O.C. W/ R-19 BATT INSUL., VAPOR BARRIER & PAINTED 1/2" GYP. BD. @ INTERIOR SIDE, 7/16" O.S.B. SHEATHING, TYVEK AIR BARRIER & SMOOTH FINISH ENGINEERED WOOD HORIZONTAL LAP SIDING W/ 8" EXPOSURE MAX.- PNT. SEE BUILDING ELEVATIONS FOR LOCATIONS.
W3	2X6 WALL FRMG @ 16" O.C. W/ R-19 BATT INSUL., VAPOR BARRIER & PAINTED 1/2" GYP. BD. @ INTERIOR SIDE, 7/16" O.S.B. SHEATHING, TYVEK AIR BARRIER & SMOOTH FINISH ENGINEERED WOOD BOARD & BATTEN SIDING W/ 1X2 SMOOTH FINISH ENGINEERED WOOD BATTENS @ 16" O.C.- PNT. SEE BUILDING ELEVATIONS FOR LOCATIONS.

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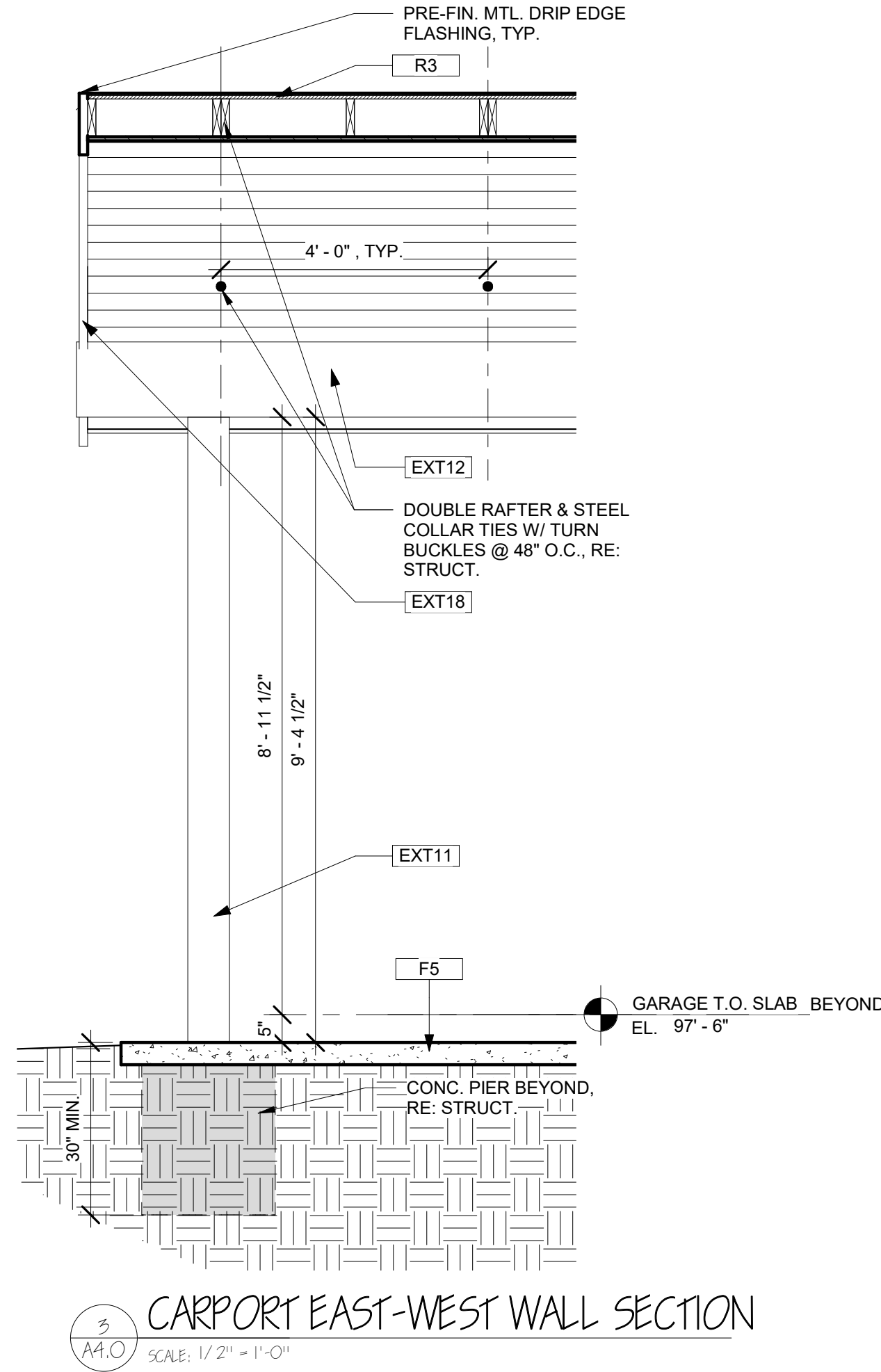
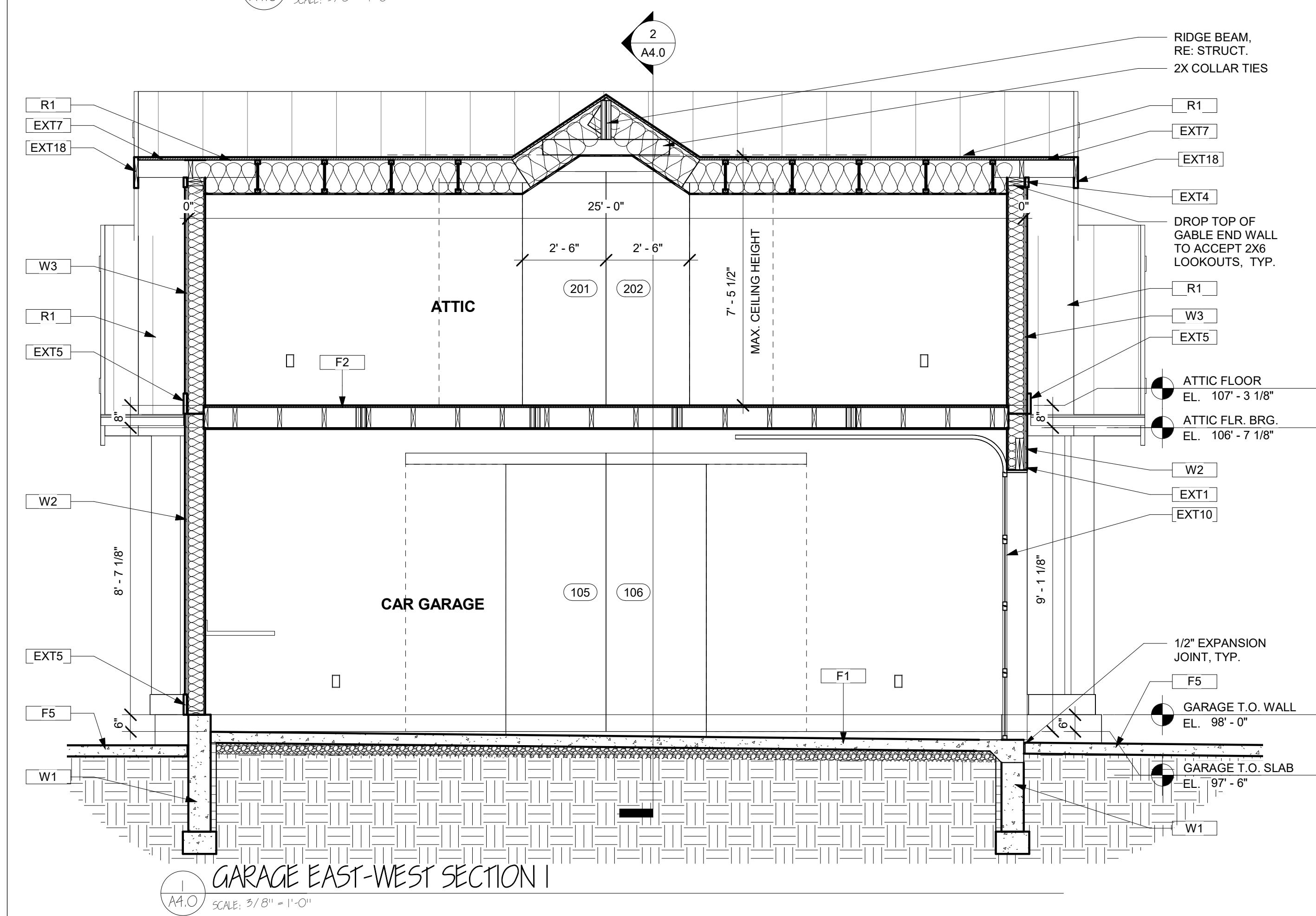
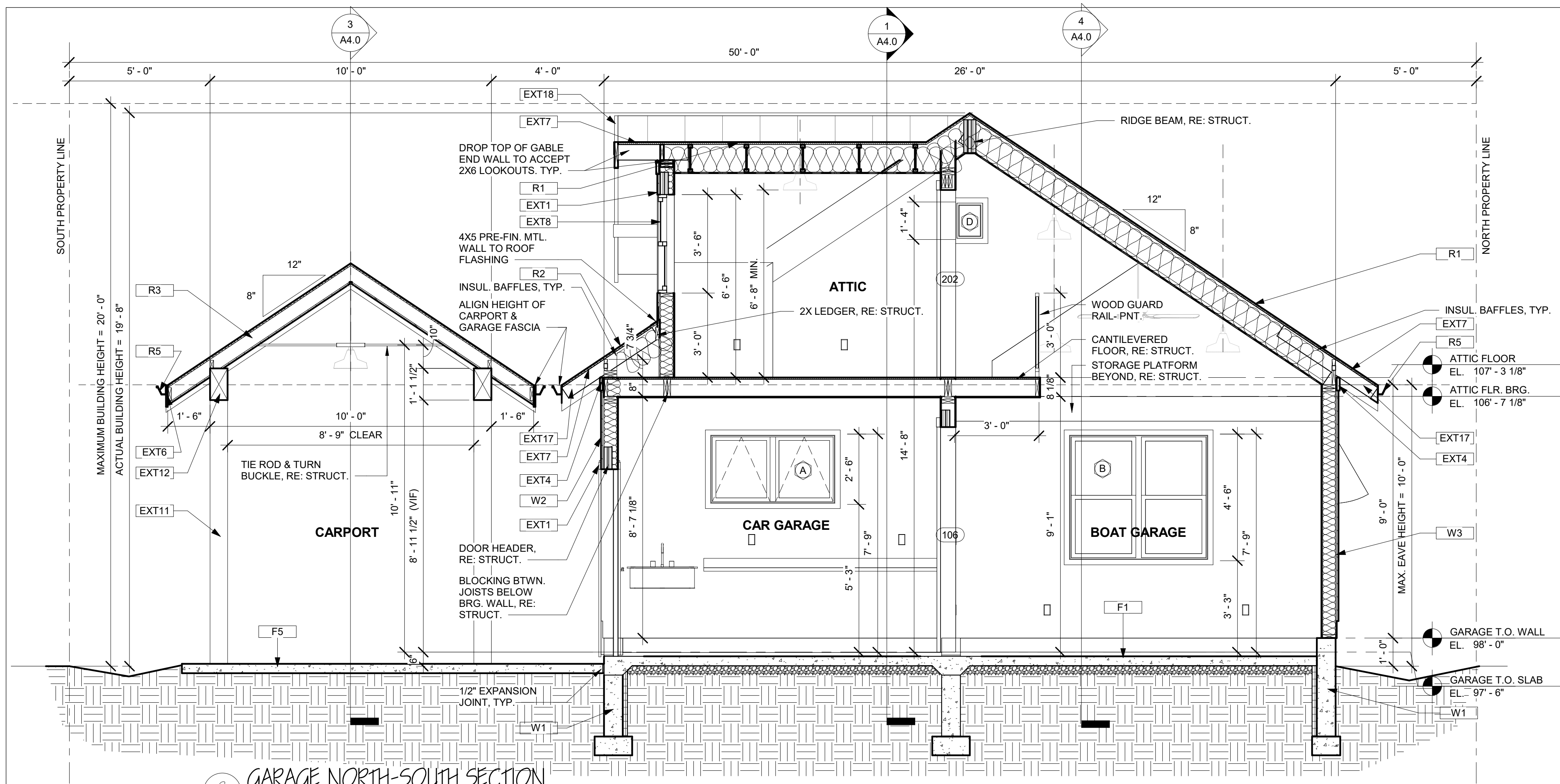
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EXTERIOR ELEVATIONS  
AND 3-D VIEWS

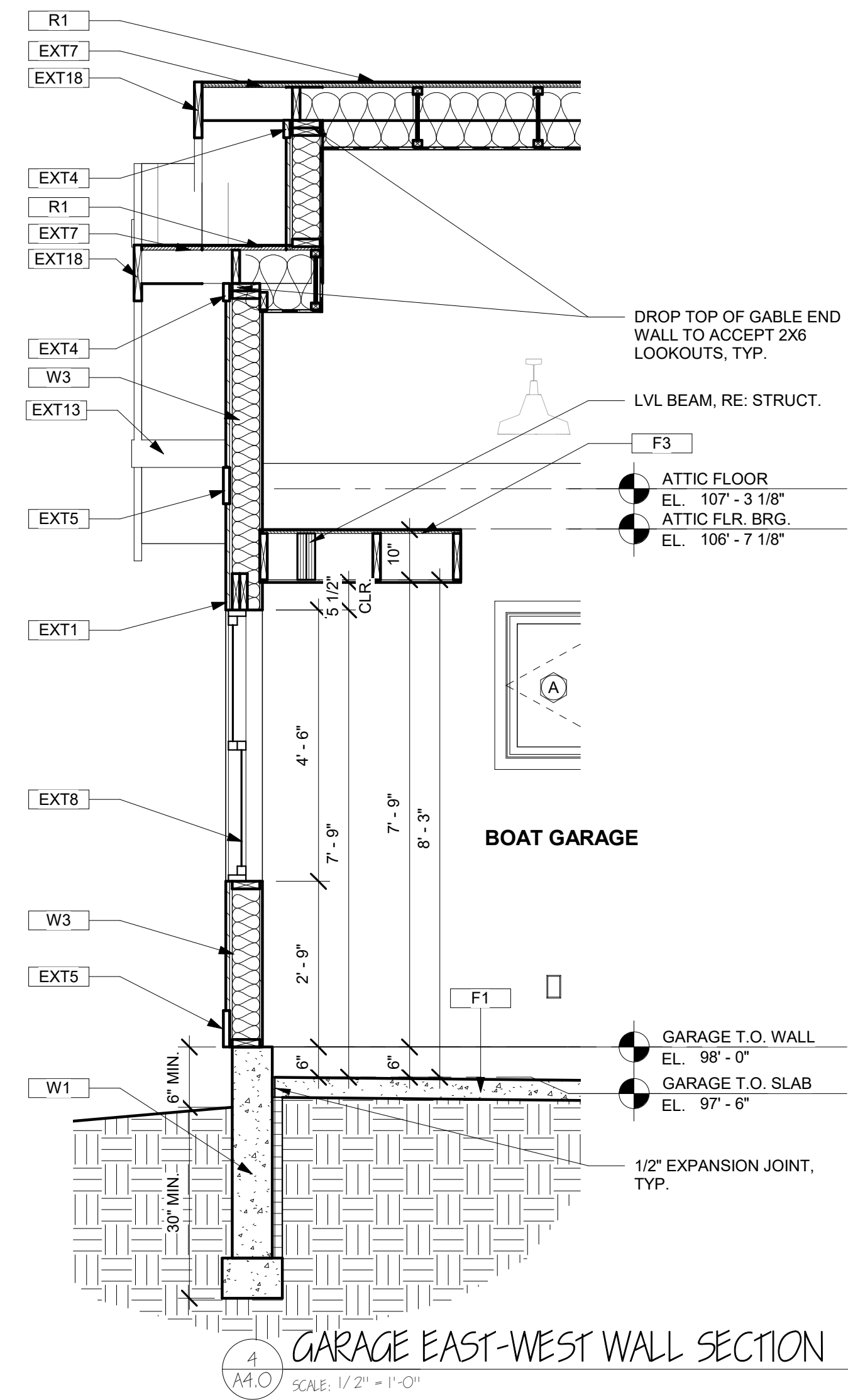
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EXT4	5/4" X 3 1/2" SMOOTH FINISH ENGINEERED WOOD FRIEZE BOARD- PNT.
EXT5	5/4" X 8 SMOOTH FINISH ENGINEERED WOOD BELT BOARD- PNT.
EXT6	1X10 CONT. SMOOTH FINISH ENGINEERED WOOD FASCIA- PNT.
EXT7	EXPOSED 3/4" PLYWOOD SHEATHING W/ GROOVES CUT TO EMULATE EXST. HOUSE T&G SHEATHING AT ALL SOFFIT CONDITIONS- PNT. PROVIDE 2" ROUND PRE-FINISHED METAL SOFFIT VENTS AT ALL EAVE CONDITIONS (2 PER RAFTER BAY SPACED EQUALLY). PROVIDE 2 COATS OF EXTERIOR PAINT.
EXT8	FIBERGLASS WINDOW W/ DOUBLE INSULATED GLAZING (REFER TO WINDOW SCHEDULE FOR WINDOW TYPE, DESIGN AND CONFIGURATION). PROVIDE FACTORY FORMED SILL PANS AND 9" WIDE MEMBRANE FLASHING AT ALL JAMBS AND HEADS PRIOR TO INSTALLING ALL WINDOWS IN ROUGH OPENINGS.
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F1	4" CONCRETE SLAB ON GRADE OVER VAPOR BARRIER OVER 4" WASHED GRAVEL, RE: STRUCT.
F2	23/32" STURDI-FLOOR SUBFLR. OVER 2X8 WOOD JOISTS @ 16" O.C., RE: STRUCT. W/ 1/2" GYP. BD. @ UNDERSIDE.
F3	23/32" STURDI-FLOOR SUBFLR. OVER 2X10 WOOD JOISTS @ 16" O.C., RE: STRUCT. W/ 1/2" GYP. BD. @ UNDERSIDE.
F5	4" CONCRETE SLAB ON GRADE- SLOPE AWAY FROM BUILDING @ 1/8" FOOT MIN.
R1	PRE-FINISHED STANDING SEAM METAL ROOF (COLOR: TBD) OVER 30 LBS. ASPHALT IMPREGNATED BUILDING PAPER OVER 3/4" PLYWOOD SHEATHING ON 11 7/8" TJS @ 24" O.C. RE: STRUCT. W/ R-30 BATT INSULATION BETWEEN RAFTERS
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W1	8" C.I.P. CONC. W/ DAMPPROOFING BELOW GRADE ON EXTERIOR & 2" RIGID INSUL. ON INTERIOR- PROVIDE PRESSURE TREATED SILL PLATE.
W2	2X6 WALL FRMG @ 16" O.C. W/ R-19 BATT INSUL., VAPOR BARRIER & PAINTED 1/2" GYP. BD. @ INTERIOR SIDE, 7/16" O.S.B. SHEATHING, TYVEK AIR BARRIER & SMOOTH FINISH ENGINEERED WOOD HORIZONTAL LAP SIDING W/ 6" EXPOSURE MAX.- PNT. SEE BUILDING ELEVATIONS FOR LOCATIONS.
W3	2X6 WALL FRMG @ 16" O.C. W/ R-19 BATT INSUL., VAPOR BARRIER & PAINTED 1/2" GYP. BD. @ INTERIOR SIDE, 7/16" O.S.B. SHEATHING, TYVEK AIR BARRIER & SMOOTH FINISH ENGINEERED WOOD BOARD & BATTEN SIDING W/ 1X2 SMOOTH FINISH ENGINEERED WOOD BATTENS @ 16" O.C.- PNT. SEE BUILDING ELEVATIONS FOR LOCATIONS.



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 fort collins, colorado 80521

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MELIA RESIDENCE  
 610 Whedbee Street  
 Fort Collins, Colorado

No.	Description	Date
	ISSUED FOR CONSTRUCTION	5.23.22

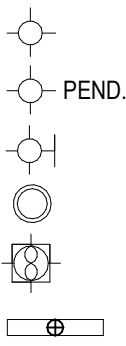
## SECTIONS AND DETAILS

Project number	000
Date	5.23.22
Drawn by	HMS
Checked by	HMS

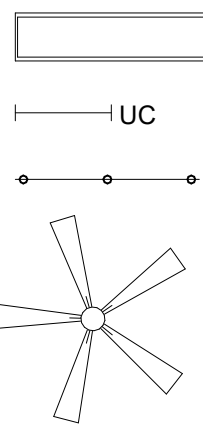
A4.0



ELECTRICAL LEGEND



CEILING-MTD. SURFACE  
CEILING-MTD. PENDANT  
WALL-MTD. SURFACE  
RECESSED DOWNLIGHT  
RECESSED EXHAUST FAN  
WALL-MTD. LIGHT FIXTURE



SURFACE-MTD. LED W/ WRAP-AROUND LENS  
UNDER CABINET LIGHT FIXTURE  
TRACK LIGHT FIXTURE  
PENDANT-MTD. CEILING FAN, (5) BLADE, REVERSIBLE W/ VARIABLE SPEEDS

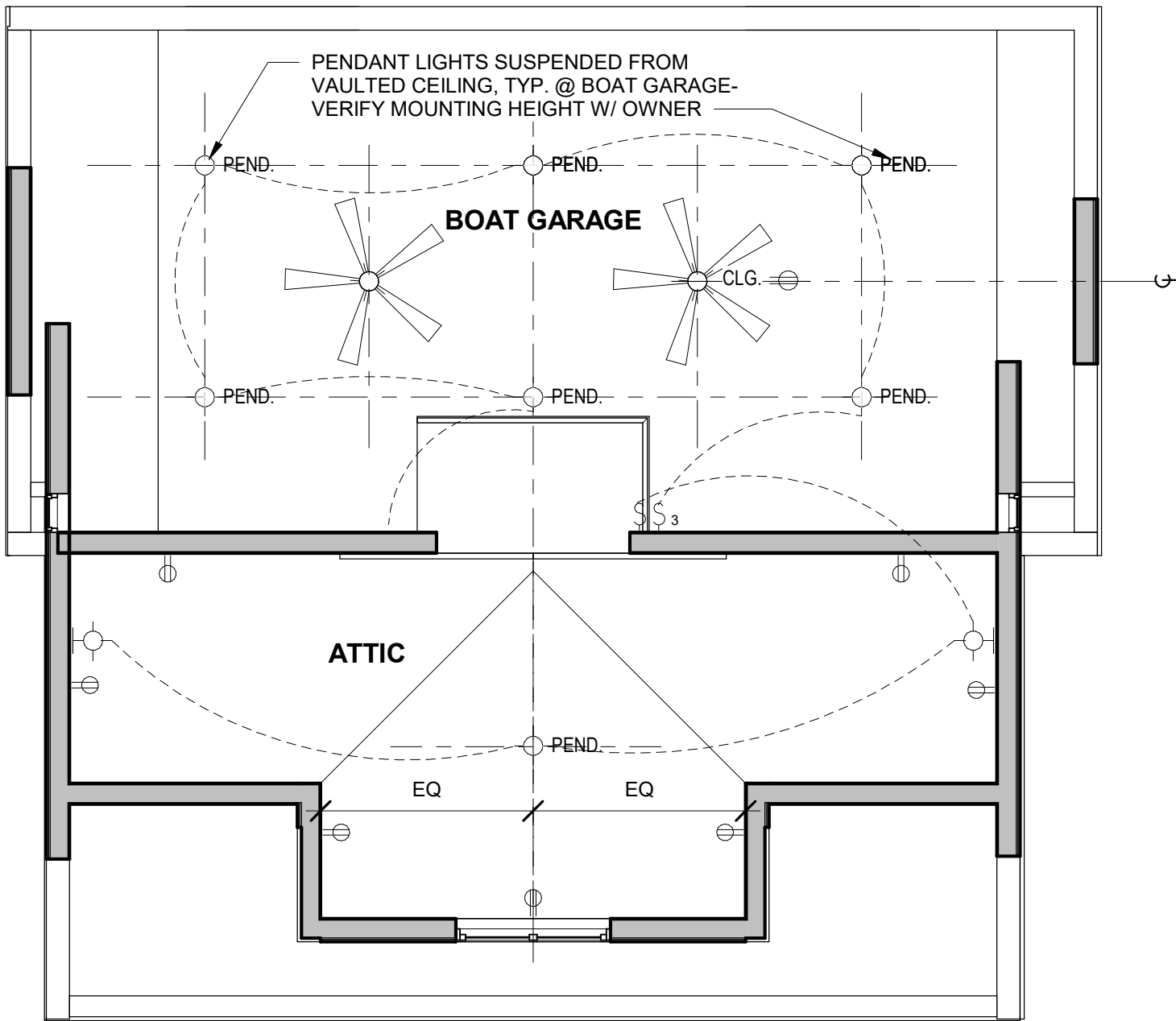
FLR. SINGLE POWER OUTLET IN FLOOR, W/ CAP  
CLG. DUPLEX POWER OUTLET IN CEILING  
110V DUPLEX POWER OUTLET, 110V  
U.C. DUPLEX POWER OUTLET, UNDER COUNTER  
GFI DUPLEX POWER OUTLET, GFI  
220V DUPLEX POWER OUTLET, 220V  
A.C. DUPLEX POWER OUTLET, ABOVE COUNTER  
DOUBLE DUPLEX POWER OUTLET

WP DUPLEX POWER OUTLET, SPLIT WIRED  
WP DUPLEX POWER OUTLET, WEATHER-PROOF  
CAT6 CABLE  
TV JACK, COAXIAL FOR CABLE TV  
THERMOSTAT  
SMOKE DETECTOR  
SPEAKER  
GARBAGE DISPOSAL

SWITCH  
3-WAY SWITCH  
DOOR JAMB PRESSURE SWITCH  
ELECTRICAL CIRCUIT PANEL BOX, RECESSED  
DOOR BELL  
PHOTOCELL  
HOSE BIB

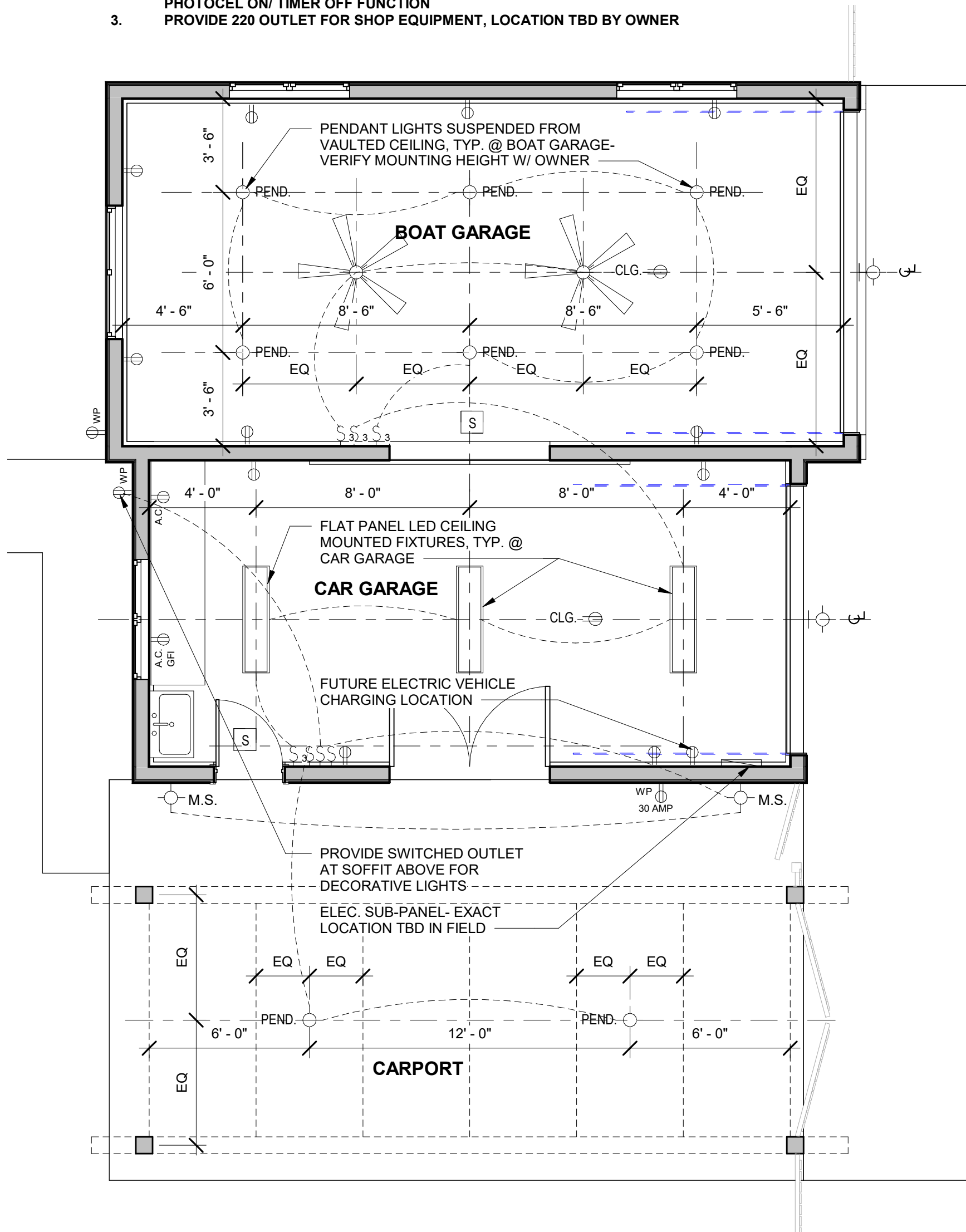
ELECTRICAL GENERAL NOTES:

1. PROVIDE CONVENIENCE OUTLETS AS SHOWN AND AS REQUIRED BY CODE.
2. PROVIDE INFRASTRUCTURE (EMPTY CONDUITS) FOR FUTURE ELECTRIC VEHICLE CHARGING AT GARAGE. EXTERIOR LIGHT FIXTURES TO BE DOWN DIRECTIONAL AND FULLY SHIELDED (PER FORT COLLINS AMMENDMENT R331.2)
- 3.



ATTIC SCHEMATIC ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

- NOTES:
1. A.C. OUTLETS IN GARAGE TO BE LOCATED 48" AFF
  2. EXTERIOR LIGHTS AT OVERHEAD DOORS TO BE CONTROLLED BY PHOTOCEL ON/ TIMER OFF FUNCTION
  3. PROVIDE 220 OUTLET FOR SHOP EQUIPMENT, LOCATION TBD BY OWNER



GARAGE SCHEMATIC ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

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MELIA RESIDENCE  
610 Whedbee Street  
Fort Collins, Colorado

No.	Description	Date
	ISSUED FOR CONSTRUCTION	5.23.22

SCHEMATIC ELECTRICAL PLANS

Project number	000
Date	5.23.22
Drawn by	HMS
Checked by	HMS

A7.0

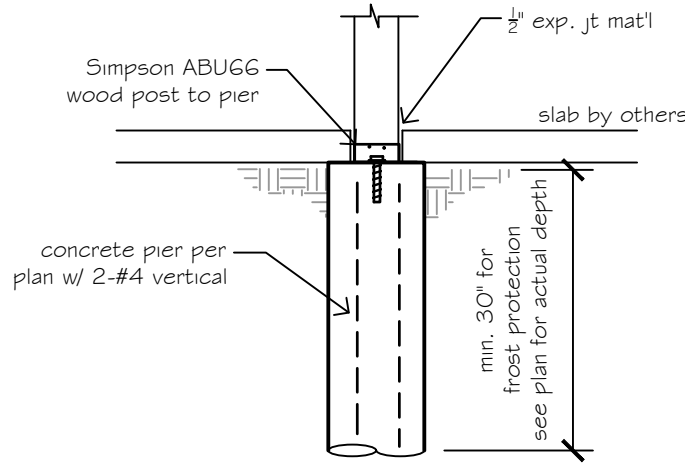
- a. general:
  1. all construction shall be in accordance with the international residential code (2021 edition) and in accordance with all applicable osha regulations.
  2. the contractor shall check and verify all dimensions shown on this plan prior to concrete placement and shall reference architectural plans for blockouts, etc.
  3. all exterior walls, interior shear walls and interior bearing walls as noted on the plan shall be constructed as outlined in Table IRC602.10.4 method WSP: 7/16" osb or plywood one side with min. 1/2" gypsum wall board (GB) on the opposite side.

1. foundation design is based on assumed bearing values.  
maximum bearing capacity = 1500 psf  
minimum dead load = n/a

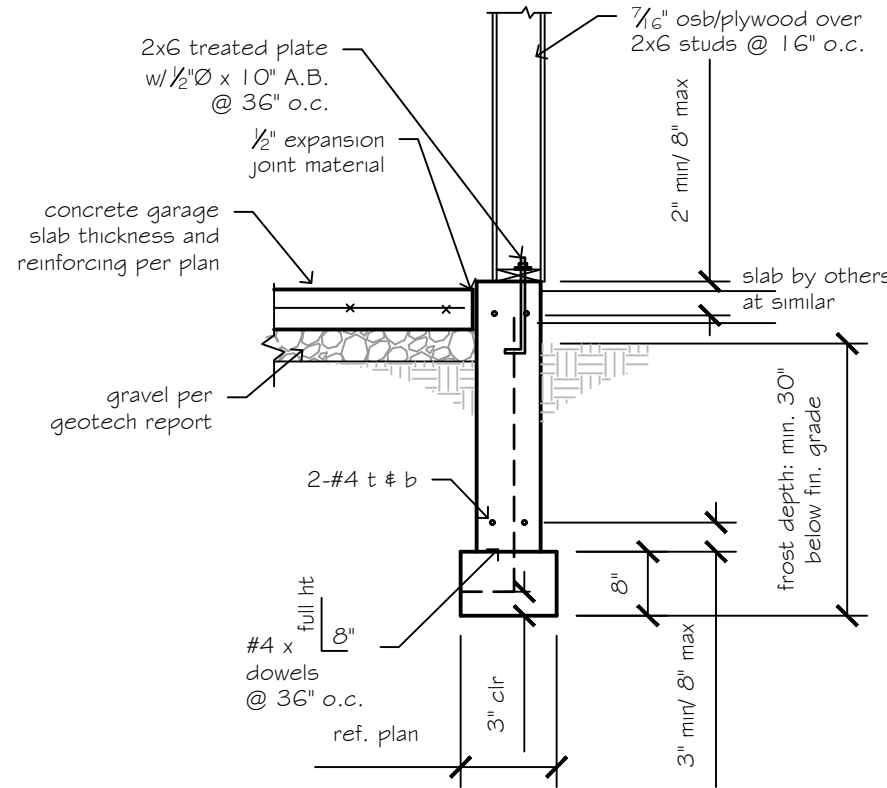
2. design live loads: roof snow load  $P_f = 30$  psf; floor load = 40 psf; wind Vult = 140 mph (nominal 3s); exp. b;  
seismic design category b.

1. all footings to bear on native undisturbed soil.
2. slab control joints shall be provided in accordance with aci recommendations

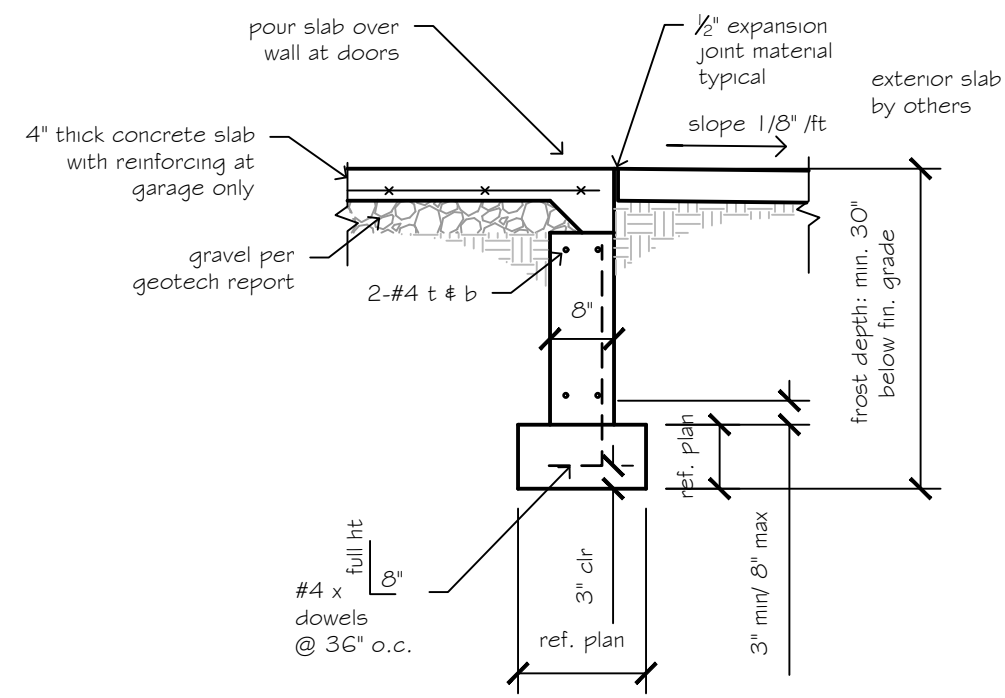
1. foundation concrete: fc = 3000 psi foundation, fc = 4000psi garage slab on grade; minimum of 5-1/4 sacks of type 1 m portland cement per cubic yard; air entrained with 6% ± 1% air.
2. reinforcing steel: fy = 60 ksi (60 grade), all reinforcing shall be placed in accordance with aci recommendations including minimum gaps, spacings and corner bars.
3. wood shall be stress graded Hem-Fir no. 2 or better.
4. laminated veneer lumber (LVL) shall be stress graded as follows: bending - 2600psi; tension parallel to grain - 1850psi; compression parallel to grain - 2700psi; horizontal shear - 285psi; compression perpendicular to grain - 500psi; modulus of elasticity - 1900ksi.
5. LVL member sizes are net; lumber sizes are nominal.
6. I-joists shall be as manufactured by Trus Joist or an approved substitute. I-joists shall be detailed by the joist supplier including bridging, blocking and web filler details and shall be installed in accordance with the manufacturers recommendations.
7. timber connectors called for on the drawings are as manufactured by Simpson company. connectors by other manufacturers may be used if the load capacity is equal to or greater than the connector specified. use manufacturer's furnished nails and bolts.
8. fast all wood members with concrete nails according to the building code unless otherwise noted.
9. roof sheathing shall be 1/2" sheathing rated for exterior use with an APA span rating of 32/16. nail roof sheathing with 8d nails at 4" on center at panel edges and 12" on center in the field u.o.
10. floor sheathing shall be 23/32" plywood with an APA rating of 48/24, glue and nail to framing with 8d nails at 6" on center at panel edges, 8" on center in the field u.o.
11. exterior wall sheathing shall be 7/16" osb or plywood nailed to framing with 8d nails spaced at 6" on center at panel edges, 12" on center in the field minimum u.o.



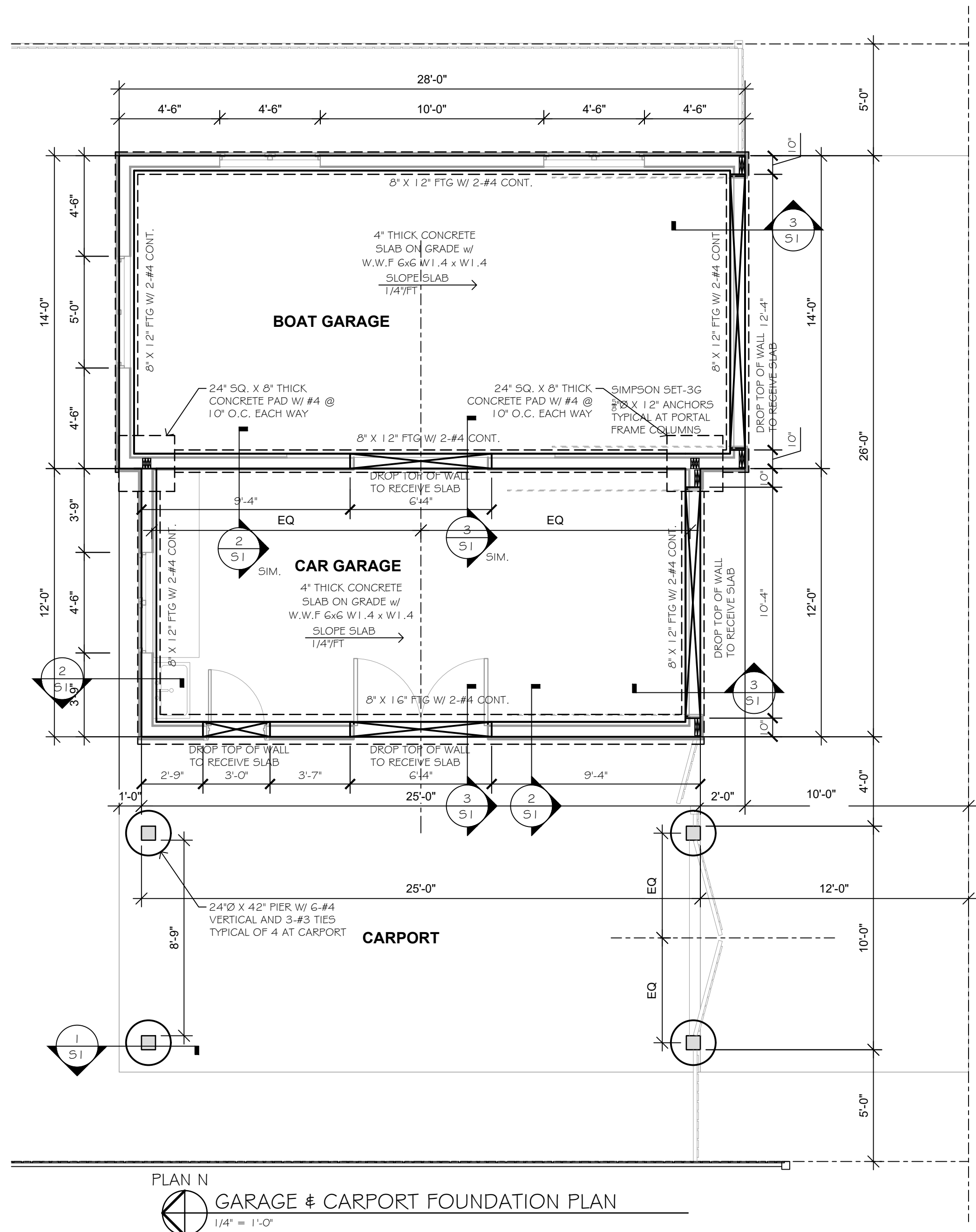
1  
S1 pier foundation detail  
1/2" = 1'-0"



2 garage foundation wall detail  
S1 1/2" = 1'-0"



3 door foundation detail  
S1 1/2" = 1'-0"





MELIA RESIDENCE  
610 WHEDBEE STREET  
FORT COLLINS, COLORADO

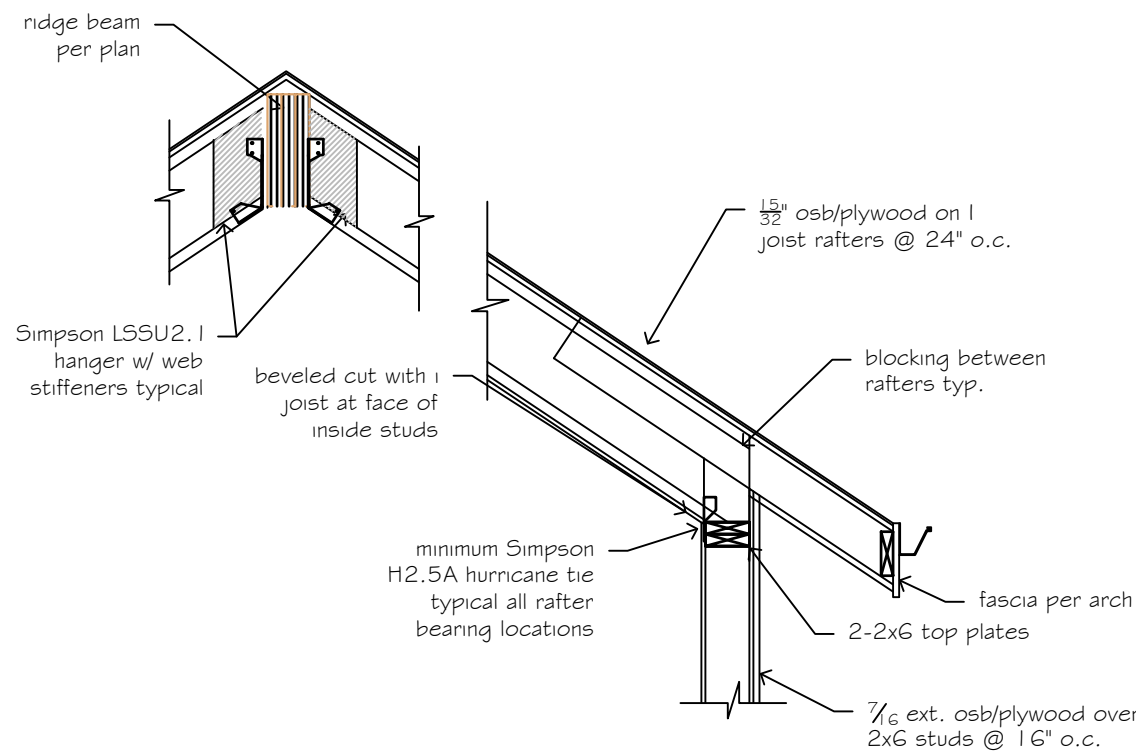
PROJECT NUMBER: 22-022  
DESIGNED BY: WTD  
REVIEWED BY: WTD

DATE FOR ISSUE: 4 30 2022

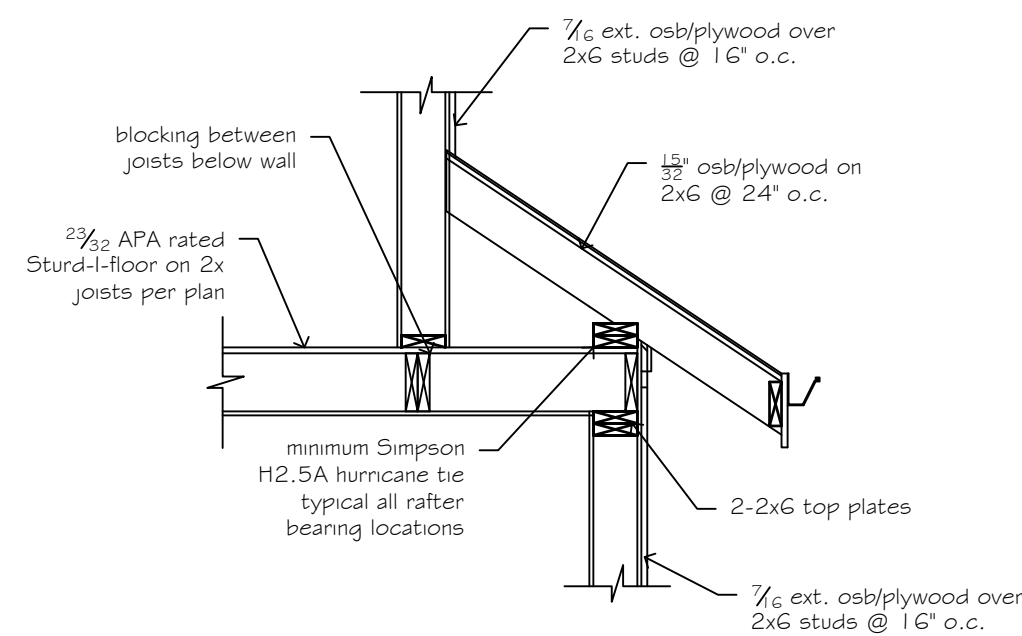
REVISION:

FLOOR & ROOF  
FRAMING PLANS

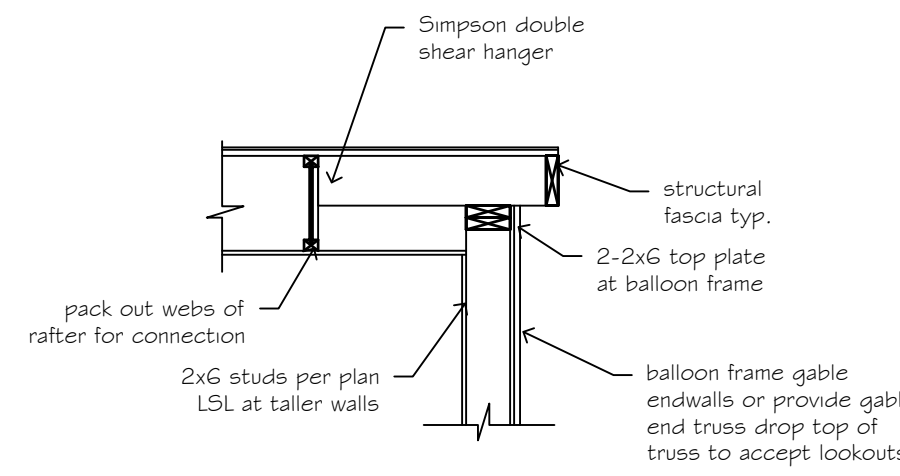
S2



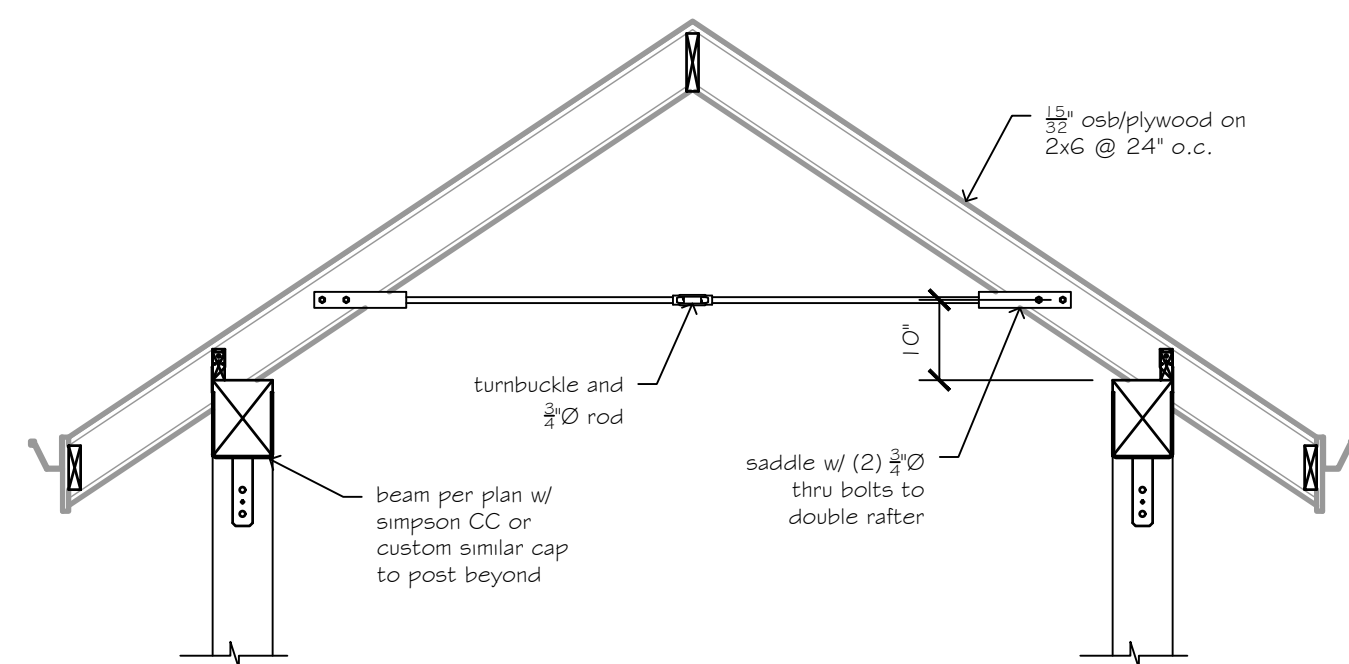
1 rafter bearing  
1/2" = 1'-0"



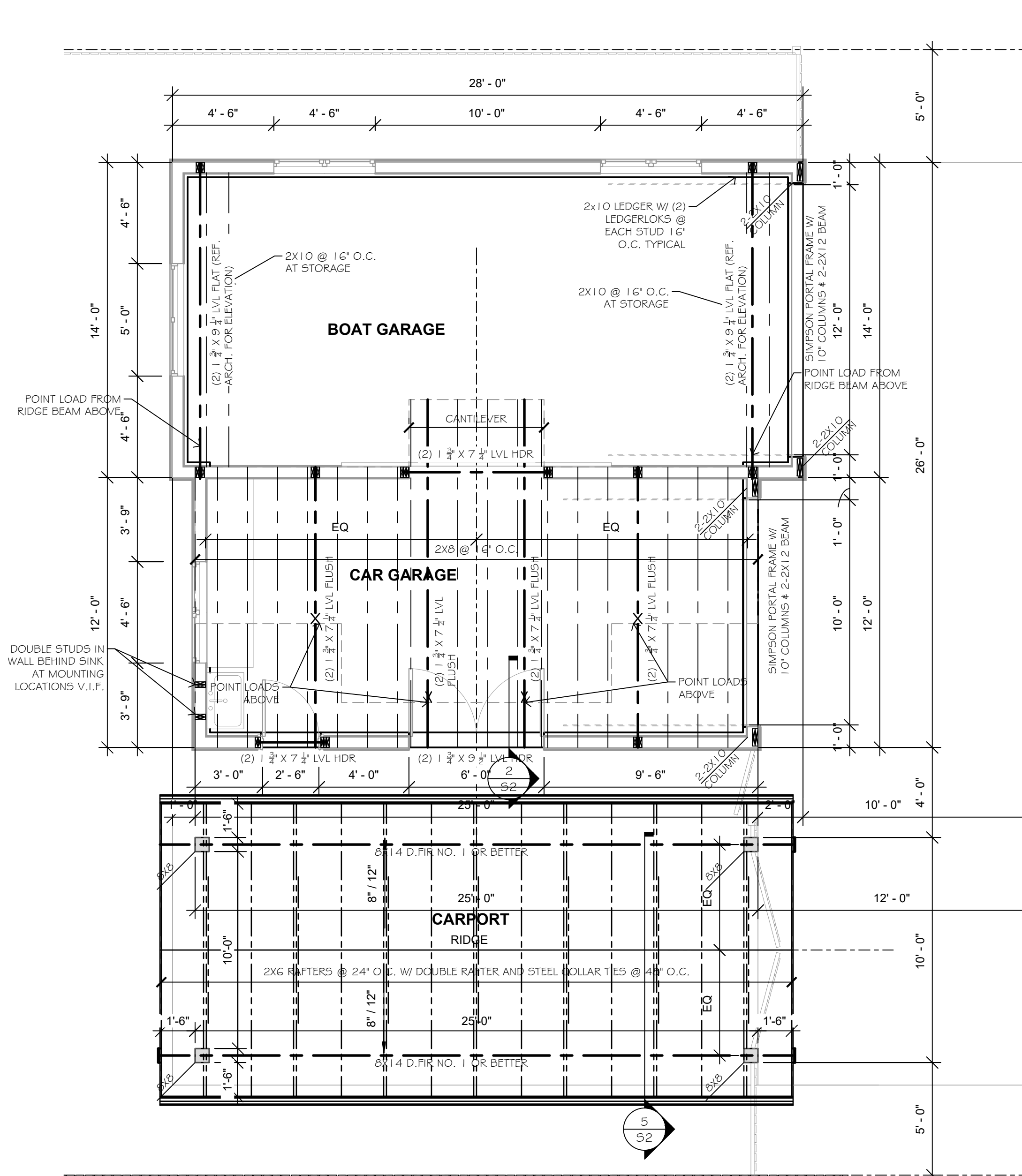
2 roof and floor bearing  
1/2" = 1'-0"



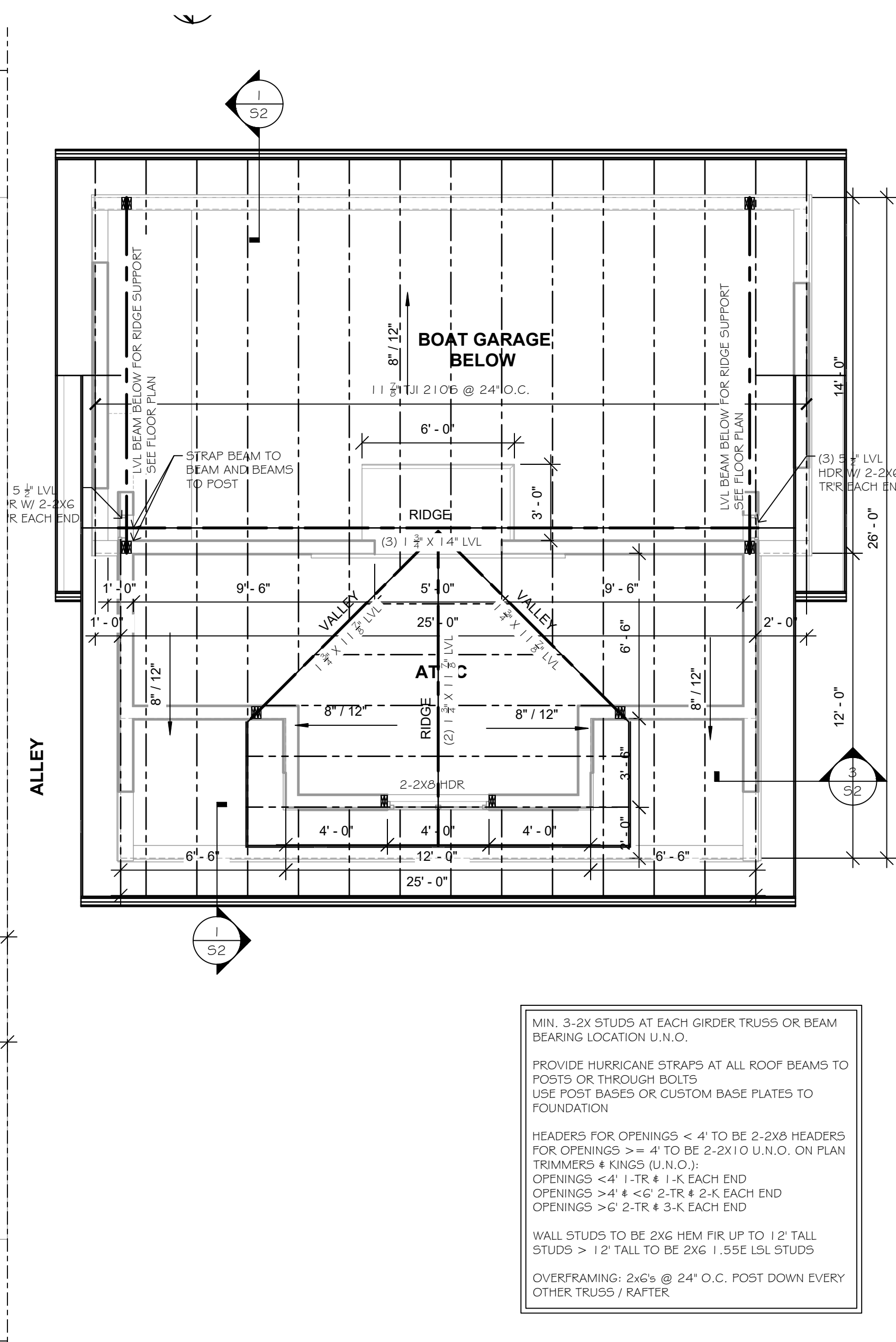
3 gable end lookouts  
1/2" = 1'-0"



5 carport roof  
1/2" = 1'-0"



PLAN N GARAGE UPPER FLOOR AND CARPORT ROOF  
FRAMING PLAN  
1/4" = 1'-0"



PLAN N GARAGE ROOF FRAMING PLAN  
1/4" = 1'-0"

**From:** [Valerie](#)  
**To:** [Historic Preservation](#)  
**Cc:** [bill rogers](#)  
**Subject:** [EXTERNAL] 610 Whedbee St  
**Date:** Wednesday, August 10, 2022 1:10:48 PM

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Begin forwarded message:

**From:** John Melia <[meliaj715@gmail.com](mailto:meliaj715@gmail.com)>  
**Date:** August 10, 2022 at 12:46:51 PM MDT  
**To:** [vmelia50@gmail.com](mailto:vmelia50@gmail.com)

Several months ago during the design process with Heidi Shuff for our garage project I spoke with Jim Bertolini about preservation considerations. Now that our contractor is submitting the architectural and structural drawings the included attachments are the photos that Mr. Bertolini requested.

Thank you  
John Melia  
610 Whedbee St  
702-499-5216  
[meliaj715@gmail.com](mailto:meliaj715@gmail.com)







