



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS – Minor Alteration

ISSUED: May 10, 2022

EXPIRATION: May 10, 2023

Progressive Old Town Square, LLC
5 Old Town Square, Ste 216
Fort Collins, CO 80524

Dear Property Owner:

This letter provides you with certification that proposed work to your non-contributing property within the Old Town Landmark District, 17 Old Town Square has been approved by the City's Historic Preservation Division (HPD) because the proposed work appears to be routine in nature with minimal effects to the historic resource, and meets the requirements of Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

The alterations reviewed include:

- Modification of exterior, street-facing windows on the ground floor (kick plate will be increased in height and main glazing reduced in height)
- Installation of a patio enclosed by a metal fence along the northwest/Walnut Street facing.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please note that work beyond that indicated in your permit application/correspondence requires additional approval.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I may be reached at jbortolini@fcgov.com or 970-416-4250.

Sincerely,

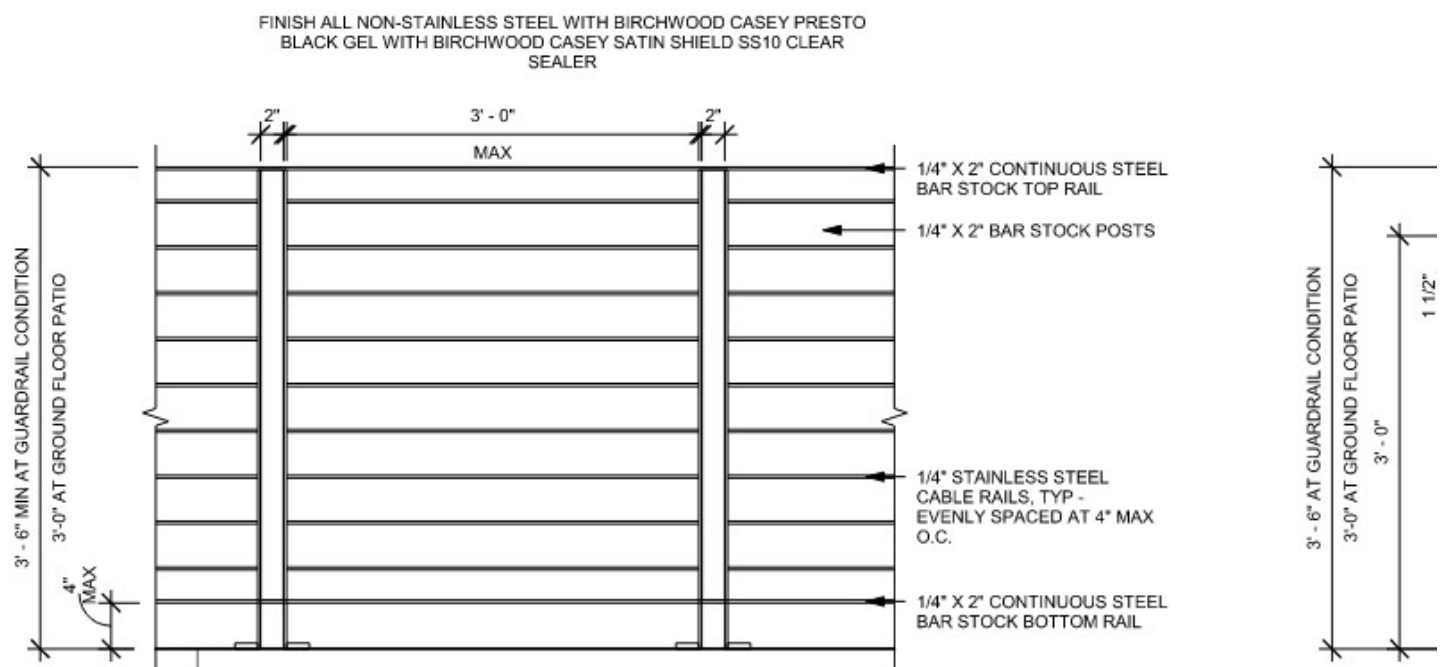
Jim Bertolini
Senior Historic Preservation Planner

Jim Bertolini

From: Christina Joyner <cjoyner@chord-ds.com>
Sent: Wednesday, May 4, 2022 4:43 PM
To: Jim Bertolini
Cc: Aubree Diebolt
Subject: [EXTERNAL] RE: B2201497 - Ft Collins Historic review - 17 Old Town Square

Hi Jim,

Thank you for this information. The outdoor railing is not intended to be particularly ornate, just a nice clean minimalist look as shown in the detail below:



4 ELEVATION DETAIL - RAILING
SCALE: 1" = 1'-0"

3 S

Please let me know if this information is sufficient or if there's any additional info I can provide.

Kind regards,

Christina Joyner
Project Designer
Chord Design Studio
O: 303.694.2445

From: Jim Bertolini <jbertolini@fcgov.com>
Sent: Tuesday, May 3, 2022 10:37 AM
To: Christina Joyner <cjoyner@chord-ds.com>
Subject: B2201497 - Ft Collins Historic review - 17 Old Town Square

Christina,

I'm connecting with you regarding your upcoming tenant finish for 17 Old Town Square in Fort Collins. This is a non-historic building built in 1984, but is subject to certain provisions of the [Old Town Design Standards](#) regarding new construction. I've reviewed your submitted building plan set and for the most part, exterior treatments appear to be consistent with the window/door treatments for new buildings (pp93-96 of the Standards). However, I didn't see any detail or specification regarding the patio fence proposed for the Walnut Street face. Could you either send me that detail, a sample photo, or direct me to the correct section of your plan set where that's specified? For your information, patio fences in the Old Town Landmark District need to meet the requirements in the Standards on page 75 linked above.

If you could send me that info, or let me know if I'm just missing it on your submitted plan set, I'd appreciate it. Thanks!

JIM BERTOLINI
Senior Historic Preservation Planner
Community Development & Neighborhood Services
281 North College Avenue
970-416-4250 office
jbertolini@fcgov.com
[Visit our website!](#)



"The City of Fort Collins is an organization that supports equity for all, leading with race. We acknowledge the role of local government in helping create systems of oppression and racism and are committed to dismantling those same systems in pursuit of racial justice. [Learn more.](#)"

OWNER
LAXMI PROPERTIES, LLC
2420 17TH STREET (3RD FLOOR)
DENVER, CO 80202

ARCHITECT
CHORD DESIGN STUDIO, P.C.
1425 MARKET STREET SUITE 220
DENVER, CO 80202
t: 303.694.2445

MEP ENGINEERS
PKMR ENGINEERS
1550 WEWATTA STREET SUITE 200
DENVER, CO 80202
t. 720.739.4500



SOUTH BROADWAY COUNTRY CLUB

FORT COLLINS, CO
Project Number: 210028

PERMIT SET
15 FEB 2022



GRID DESIGNATION		STRUCTURAL GRID
ELEVATION		LEVEL OR DATUM ELEVATION
		CEILING HEIGHT REFERENCE
DRAWING NUMBER		BUILDING SECTION REFERENCE
SHEET NUMBER		
DRAWING NUMBER		WALL SECTION REFERENCE
SHEET NUMBER		
DRAWING NUMBER		EXTERIOR ELEVATION REFERENCE
SHEET NUMBER		
DRAWING NUMBER		INTERIOR ELEVATION REFERENCE
SHEET NUMBER		
DRAWING NUMBER		DETAIL SECTION REFERENCE
SHEET NUMBER		
REFERENCE AREA		PLAN, SECTION OR ELEVATION DETAIL OR ENLARGEMENT
WALL LOCATION TAIL		WALL TYPE REFERENCE
WALL TYPE NUMBER		
DOOR TYPE NUMBER		DOOR IDENTIFICATION
EQUIPMENT NUMBER		EQUIPMENT IDENTIFICATION
WINDOW TYPE NUMBER		WINDOW IDENTIFICATION
ROOM NUMBER		ROOM IDENTIFICATION
REVISION NUMBER		REVISION NOTE REFERENCE
KEY NOTE NUMBER		KEY NOTE IDENTIFICATION
DRAWING NUMBER		MATCHLINE
SHEET NUMBER		
		GRID LINE

1. SITEWORK

EARTH

GRAVEL

2. CONCRETE

CONCRETE

SAND / GROUT

3. MASONRY

BRICK

CMU

STONE

4. METAL

ALUMINUM

STEEL

5. WOOD

WOOD BLOCKING

CONTINUOUS WOOD FRAMING

FINISH WOOD

PLYWOOD

6. THERMAL

BATT INSULATION

BOARD INSULATION

FIRE SAFING

FOAMED-IN-PLACE INSULATION

8. FINISHES

GYPSUM BOARD

CARPET

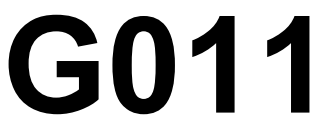
TILE

1 ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, LOCAL AND ADOPTED CODES, ORDINANCES, REGULATIONS, LAWS, STATUTES, GUIDELINES AND
2 REQUIREMENTS OF BUILDING AND FIRE AUTHORITIES HAVING JURISDICTION.
3 THE GENERAL CONTRACTOR (HEREAFTER "THE CONTRACTOR") AND SUBCONTRACTORS SHALL CAREFULLY STUDY ALL CONTRACT DOCUMENTS AND ACQUIRE A
4 THOROUGH UNDERSTANDING OF THE DESIGN INTENT OF THE PROJECT AND THE DETAILS REQUIRED TO ACHIEVE THE DESIGN INTENT.
5 THE CONTRACTOR SHALL FORWARD REQUESTS FOR CLARIFICATION OR ADDITIONAL INFORMATION WITH REGARD TO ACHIEVING THE DESIGN INTENT OF THE
6 PROJECT TO THE ARCHITECT IN WRITING FOR REVIEW AND WRITTEN RESPONSE.
7 THE CONTRACTOR SHALL CHECK AND VERIFY THE CONTRACT DOCUMENTS WITH FIELD CONDITIONS, CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN,
8 PRIOR TO PROCEEDING WITH THE WORK AND VERIFY ALL SPACE DIMENSIONS AS SHOWN WITH EXISTING JOB CONDITIONS BEFORE STARTING CONSTRUCTION. IF
9 DISCREPANCIES EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF WORK.
10 PRIOR TO THESE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO CONSTRUCT THE PROJECT IN
11 ACCORDANCE WITH THE DESIGN INTENT DESCRIBED THEREIN.
12 THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS AND SLEEVES THROUGH FLOORS, CEILINGS, ROOFS, WALLS, STRUCTURAL MEMBERS AND
13 ARCHITECTURAL ELEMENTS WITH CIVIL, LANDSCAPE, ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND OTHER
14 DISCIPLINES DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS.
15 THE CONTRACTOR SHALL PROTECT ALL IN-PLACE CONSTRUCTION, LANDSCAPING, PAVING, UTILITIES, ETC. FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGED
16 AREAS AND ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR OR SUBCONTRACTOR DAMAGING THE SAME.
17 THE CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTIONS OF SPECIFIED MATERIALS/ PRODUCTS TO THE ARCHITECT FOR REVIEW, IN ACCORDANCE WITH
18 PROCEDURES DESCRIBED IN THE SPECIFICATIONS.
19 THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, CUT-SHEETS, AND SAMPLES WHEN REQUIRED BY THE SPECIFICATIONS, FOR REVIEW BY THE ARCHITECT,
20 PRIOR TO COMMENCING WITH RELATED WORK.
21 ALL WORK SHALL BE ERECTED PLUMB, LEVEL AND TRUE-TO-LINE IN ACCORDANCE WITH BEST PRACTICES OF THE TRADE, MANUFACTURER'S INSTRUCTIONS FOR
22 THE PARTICULAR PRODUCT, AND IN ACCORDANCE WITH THE SPECIFICATIONS.
23 THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNMENTAL AGENCIES WHEN THERE IS A NEED FOR AN INSPECTION REQUIRED BY THE APPLICABLE
24 CODE, OR BY THE AUTHORITY HAVING JURISDICTION.
25 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ALL PERSONNEL AND OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR
26 COMPLIANCE WITH FEDERAL AND STATE OSHA REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED TO THE OWNER.
27 DO NOT SCALE DRAWINGS
28 INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF GYPSUM BOARD, UNLESS INDICATED OTHERWISE.
29 THE INSIDE FACE OF DOOR JAMBS SHALL BE 4" FROM ADJACENT WALL OR FINISHED COLUMN, UNLESS INDICATED OTHERWISE.
30 WHERE NEW WORK HAS DISTURBED PREVIOUSLY INSTALLED OR EXISTING WORK OR FINISHES, SUCH AREAS SHALL BE REWORKED AND/OR REFINISHED AS
31 REQUIRED TO MATCH THE ORIGINAL CONDITION OF THE AREA PRIOR TO THE DISTURBANCE.
32 EACH MISCELLANEOUS ITEM OF CUTTING, PATCHING OR FITTING IS NOT NECESSARILY INDIVIDUALLY DESCRIBED IN THE DOCUMENTS. THE ABSENCE OF SPECIFIC
33 DESCRIPTIONS OF CUTTING, PATCHING, OR FITTING REQUIRED TO PROPERLY ACCOMMODATE THE SCOPE OF WORK SHALL NOT RELIEVE THE CONTRACTOR OR
34 SUBCONTRACTOR FROM THE RESPONSIBILITY TO PERFORM SUCH WORK AS REQUIRED TO ACHIEVE THE DESIGN INTENT OF THE PROJECT.
35 NOTES APPEAR ON DIFFERENT SHEETS FOR DIFFERENT SYSTEMS AND CONSTRUCTION MATERIAL. ALL SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE
36 SHEET ARE TO BE APPLIED TO ALL RELATED DRAWINGS AND DETAILS.
37 DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER AND QUALITY TO THOSE DETAILED. WHERE SPECIFIED DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE
38 DETERMINED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK.
39 ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC ACTION.
40 A FINISH OR FIRE RATING ON A WALL SHALL MEAN THE ENTIRE LENGTH AND HEIGHT OF WALL TO BE FINISHED OR FIRE RATED, AS INDICATED.
41 THE HEAD AND BASE CONDITIONS OF ALL FIRE RATED WALLS SHALL BE TERMINATED WITH UL-APPROVED DESIGNS AND MATERIALS.
42 SCOPES OF WORK ON THE DRAWINGS NOTED AS "NIC" ARE NOT INCLUDED IN CONTRACT.
43 ALL FLOOR ELEVATIONS ARE TO TOP OF STRUCTURAL CONCRETE OR TOPPING SLAB UNLESS INDICATED OTHERWISE.
44 PROVIDE BLOCKING OR OTHER SUPPORT AS REQUIRED FOR ALL WALL, FLOOR, CEILING AND ROOF MOUNTED ITEMS. BLOCKING SHALL BE FIRE RESISTIVE
45 TREATED AS REQUIRED AND PERMITTED BY CODE.
46 SHOULD ANY CONFLICT OCCUR BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ARCHITECT'S CONSULTANT'S DRAWINGS, THE CONTRACTOR SHALL NOTIFY
47 THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
48 COORDINATE PLACEMENT OF CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, EQUIPMENT AND OTHER INSTALLERS. WHERE
49 DISCREPANCIES EXIST BETWEEN DRAWINGS AND FIELD CONDITIONS, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH INSTALLATION.
50 REFER TO PLUMBING DRAWINGS FOR LOCATIONS OF ALL FLOOR DRAINS, TRENCH DRAINS, SLUMPS AND SUBSOIL DRAINAGE, UNLESS INDICATED OTHERWISE. IF
51 LOCATIONS CONFLICT WITH ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
52 ALL PENETRATIONS OF DUCTWORK, CONDUIT, PIPING AND OTHER WORK THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED WITH UL-APPROVED DESIGNS AND
53 MATERIALS TO MAINTAIN THE RATING OF THE ASSEMBLY.
54 ALL EQUIPMENT INSTALLED IN RETURN AIR PLENUMS SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AGENCY FOR COMPLIANCE WITH CODE.
55 THE CONTRACTOR SHALL COORDINATE ALL EQUIPMENT BASE AND HOUSEKEEPING PADS WITH MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS.
56 EQUIPMENT BASES AND HOUSEKEEPING PADS SHALL BE INSTALLED AT LEAST 4" HIGH AND TO BE INSTALLED BENEATH THE PROJECTED AREA OF THE EQUIPMENT, AND IN
57 ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
58 ALL ROOF-TOP EQUIPMENT SHALL BE LOCATED SUCH THAT FALL PROTECTION SYSTEMS ARE NOT REQUIRED FOR EQUIPMENT MAINTENANCE. U.N.O.
59 GRAPHICS ARE NOT NECESSARILY AN INDICATOR OF DESIGN INTENT. IF DISCREPANCIES EXIST BETWEEN NOTES/SPECIFICATIONS AND GRAPHICS CONSULT
60 ARCHITECT PRIOR TO PROCEEDING.

[illegible]

(E)	EXISTING	CLG	CEILING	FEC	FIRE EXTINGUISHER CABINET	HPL	HIGH PRESSURE LAMINATE	MTL	METAL	RPD	REFLECTED CEILING PLAN	T.O.F.D.	TOP OF FLOOR DECK
(N)	NEW	CLR	CLEAR	FEN	FINISH FLOOR	HR	HOUR	MWP	METAL WALL PANEL	RO	ROOF DRAIN	T.O.F.F.	TOP OF FINISH FLOOR
<	CENTER LINE	CMU	CONCRETE MASONRY UNIT	FH	FINISH HEIGHT	HRA	HOT RUBBERIZED ASPHALT	NA	NOT APPLICABLE	RE:	REFER TO	T.O.P.	TOP OF PARAPET
>	PLATE	COL	COLUMN	FHC	FIRE HOSE CABINET	HT	HEIGHT	NIC	NOT IN CONTRACT	REQD	REQUIRED	T.O.R.	TOP OF RAIL
@	AT	CONC	CONCRETE	FIN	FINISHED)	HTR	HEATER	NO / #	NUMBER	ROW	RIGHT OF WAY	T.O.R.D.	TOP OF ROOF DECK
AC	AIR CONDITIONING	CONST	CONSTRUCTION	FLR	FLOOR	IAW	IN ACCORDANCE WITH	NOM	NOMINAL	RSW	ROUGH SAWN	T.O.S.	TOP OF STRUCTURE
ACT	ACOUSTICAL CEILING TILE	CONT	CONTINUOUS	FND	FOUNDATION	IC	INSIDE CLEAR	NTS	NOT TO SCALE	SAT	SUSPENDED ACOUSTICAL TILE	T.O.W.	TOP OF WALL
ADJ	ADJUSTABLE	CPT	CARPET	FR	FIRE RESISTANT	ID	INTERIOR DESIGN	O.C.	ON CENTER			TEL	TELEPHONE
AFF	ABOVE FINISH FLOOR	CT	CERAMIC TILE	FRP	FIBER REINFORCED PLASTIC	INSUL	INSULATION	OA	OVERALL	SC	SOLID CORE	TG	TEMPERED GLASS
AFR	ABOVE FINISH ROOF	DD	DESIGN DEVELOPMENT	FRT	FIRE RETARDANT TREATED	INT	INTERIOR	OD	OUTSIDE DIAMETER	SCHED	SCHEDULE	THK	THICKNESS
AL	ALUMINUM	DIA	DIAMETER	FTG	FOOTING	ISS	ISSUE	OD	OVERFLOW DRAIN	SECT	SECTION	TOPO	TOPOGRAPHY
ALT	ALTERNATE	DJ	DEFLECTION JOINT	FV	FIELD VERIFY	JAN	JANITOR	OH	OVERHEAD	SF	SQUARE FOOT OR FEET	TYP	TYPICAL
AN	ANODIZED	DS	DOWNSPOUT	FVC	FIRE VALVE CABINET	JST	JOIST	OPG	OPENING	SHT	SHEET	U.N.O.	UNLESS NOTED OTHERWISE
ARCH	ARCHITECT(URAL)	DTL	DETAIL	FXT	FIXTURE	JT	JOINT	OPP	OPPOSITE HAND	SIM	SIMILAR	VAR	VARIES
ASPH	ASPHALT	DWG	DRAWING	GA	GAUGE	L	ANGLE	ORD	OVERFLOW ROOF DRAIN	SM	SHEET METAL	VCT	VINYL COMPOSITION TILE
B.O.	BOTTOM OF	EA	EACH	GALV	GALVANIZED	LAM	LAMINATE	PART BRD	PARTICLE BOARD	SPEC	SPECIFICATION	VERT	VERTICAL
BD	BOARD	EJ	EXPANSION JOINT	GC	GENERAL CONTRACTOR	LAV	LAVATORY	PC	PRECAST CONCRETE	SQ	SQUIRE	VEST	VESTIBULE
BLDG	BUILDING	EL	ELEVATION	GEN	GENERAL	LP	LOW POINT	PERF	PERFORATION	SS	STAINLESS STEEL	VIF	VERIFY IN FIELD
BLK	BLOCK	ELEC	ELECTRICAL	GFRC	GLASS FIBER REINFORCED CONCRETE	LT	LIGHT	PL	PROPERTY LINE	ST	STAIN	VWC	VINYL WALLCOVERING
BM	BEAM	ELEV	ELEVATOR			MACH	MACHINED	PLAM	PLASTIC LAMINATE	STD	STANDARD	W/O	WHERE OCCURS
BOT	BOTTOM	EPS	EXPANDED POLYSTYRENE	GL	GLASS	MATL	MATERIAL	PLUMB	PLUMBING	STL	STEEL	W/	WITH
BRG	BEARING	EQ	EQUAL	GND	GROUND	MAX	MAXIMUM	PLWOD	PLYWOOD	STRUC	STRUCTURAL	W/O	WITHOUT
C.O.	CENTER OF	EQUIP	EQUIPMENT	GR	GRADE	MCM	METAL COMPOSITE MATERIAL	PN	PROJECT NORTH	SYM	SYMMETRICAL	WC	WATER CLOSET
C.O.F.	CENTER OF FLUE	ETR	EXISTING TO REMAIN	GWB	GYPSPUM WALL BOARD	MDF	MEDIUM DENSITY FIBERBOARD	PR	PAIR	T	TRANSFORMER	WD	WOOD
C.O.W.	CENTER OF WALL	EWC	ELECTRIC WATER COOLER	GYP	GYPSPUM			PT	PRESSURE TREATED	T.O.	TOP OF	WH	WATER HEATER
CG	CORNER GUARD	EXH	EXHAUST	HC	HANDICAPPED ACCESSIBLE	MECH	MECHANICAL	PT	PAINT	T.O.B.	TOP OF BEAM	WP	WATERPROOFING
CIP	CAST-IN-PLACE	F.B.O.	FURNISHED BY OWNER	HDWR	HARDWARE	MFR	MANUFACTURER	PTN	PARTITION	T.O.C.	TOP OF CONCRETE	WWF	WELDED WIRE FABRIC
CJ	CONTROL JOINT	F.O.F.	FACE OF	HM	HOLLOW METAL	MIN	MINIMAL	R.O.	ROUGH OPENING	T.O.D.	TOP OF DECK		
CL	CENTERLINE	F.O.W	FACE OF WALL	HORIZ	HORIZONTAL	MISC	MISCELLANEOUS	RAD	RADIUS	T.O.F.	TOP OF FOOTING		
		FD	FLOOR DRAIN	HP	HIGH POINT	MR	MOISTURE RESISTANT	RB	RUBBER BASE				

07 ELECTRICAL	
E101	LIGHTING PLAN
E201	POWER PLAN
E301	ELECTRICAL SCHEDULES / DETAILS
E401	ELECTRICAL COMCHECK



GENERAL CONDITIONS

The General Contractor and all Subcontractors shall read the following General Conditions, and project notes as responsibilities affecting all trades are described herein. The General Contractor is responsible for the overall quality and scheduling of the work and the coordination of the various trades.

1.0 The reference to 'Owner' throughout these documents shall refer to the Landlord's and/or Tenant's representatives. Reference to the 'Contractor' shall mean the General Contractor in charge of and supervising the work of the project. The reference to 'CDS' or 'Architect' throughout these documents shall refer to Chord Design Studio, P.C.

- 1.1 The Contractor shall coordinate all aspects of the project with the Owner and Building Manager. Areas of coordination include, but are not limited to:
- Insurance Requirements
 - Hours and Methods of Access
 - Project Safety
 - Building Security and Emergency Procedures
 - Materials Staging Areas
 - Hazardous Materials
 - Access to Trash Facilities
 - Use and Protection of Elevators and Common Areas
 - Parking for Supervision and Trades
 - Deliveries
 - Other Applicable Contract Provisions and Requirements

1.2 Before performing any work or ordering any materials, the Contractor shall be responsible for verifying all project conditions and his subcontractors, for verifying that actual field conditions are not in conflict with the dimensional relationships and design intent as shown on the drawings. The Contractor shall immediately advise the Architect of any discrepancies and/or conflicts between the existing conditions and the Construction Documents prior to proceeding with the work in question or related work.

1.3 As a minimum standard, all materials and workmanship shall be equal or superior to prevailing industry practices, and all work performed and materials installed shall be in strict accordance with all applicable codes, regulations and ordinances of the governing jurisdiction. Contractor shall obtain all permits required for construction and occupancy of the project.

1.4 Install all manufactured items, materials and equipment in strict accordance with the manufacturer's recommended specifications, unless otherwise specifically noted or approved by the Architect or interior designer in advance of the installation. Where applicable and available from Owner or building management, refer to Building Standard Information for details, assemblies, and typical finish specifications. Notify Architect of any conflicts between building standards and the Contract Documents prior to starting work.

1.5 The Contractor shall be responsible for familiarizing himself with the Owner's requirements for occupancy, and shall, prior to the start of work, submit a Project Schedule indicating milestone dates, and delivery dates for long lead time items. The schedule shall be updated as necessary throughout the duration of the project. All proposed changes are to be approved by the Owner and Architect.

1.6 All Contractor or Supplier requests for substitutions of specified items shall be submitted to the Architect in writing and be accompanied by proposed alternative product information. A substitution will be considered only if it does not sacrifice quality, appearance and function. Under no circumstances will the Architect be required to prove that a product proposed for substitution is or is not of equal quality to the product specified.

1.7 Installation of all selected materials and assemblies shall be complete and functioning in all respects prior to final acceptance. Any miscellaneous items or materials not specifically noted, but required for proper installation shall be furnished by the Contractor. The Contractor shall furnish to the Owner all warranties and guarantees required at the conclusion of the work. The Contractor is responsible for the inspection, acceptance, storage, installation and continuous protection of all new materials delivered to the project.

1.8 The Contractor shall submit shop drawings, schedules and cut sheets for items prior to order or fabrication. When submitting, the Contractor shall notify the Architect, in writing, of any proposed deviations from the Contract Documents, along with the reason for the proposed deviation. Any fabrication carried out prior to the review of the shop drawings by the Architect shall be at the Contractor's risk. CDS will review shop drawings and submittals within ten business days in most cases. Review of these items by the Architect and the Architect's consultants, shall be for general conformance to the design intent of the project and with the information within the contract documents. Review of a separate item shall not indicate a review of an assembly in which the item functions. Shop drawings that are incomplete or contain excessive errors will be returned unchecked with any resulting delay being the responsibility of the Contractor. The Contractor shall submit and resubmit the required number of copies of corrected shop drawings. Review of shop drawings, submittals and/or samples by the Architect or the Architect's consultants shall not relieve the Contractor of responsibility for errors and omissions in the items submitted.

1.9 The Contractor shall guarantee that the materials and workmanship shall be of the quality specified or referenced standards, and that any defect due to improper workmanship or defective material discovered and made known within one year from the date of substantial completion of the installation, shall be repaired or replaced with reasonable promptness without additional expense to the Owner. The Owner shall give notice of such observed defects with reasonable promptness.

1.10 Bid all materials as if being purchased new. Provide Owner credit for materials proposed to be reused or available from Owner's existing stock.

1.11 Contractor shall perform high quality professional work. Join materials to uniform accurate fits so they meet with neat, straight lines, free of seams or overlaps. Install exposed materials appropriately level, plumb and at accurate right angles, or flush with adjoining materials. Work of each trade shall meet all national standards published by the trade, except in the case where contract documents are more stringent.

1.12 The General Contractor shall at all times cooperate with others who may be performing work at the job site which is not in the general contractor's contract.

1.13 The General Contractor shall be responsible for the protection of existing and newly installed materials, millwork, built-ins and finishes.

1.14 The General Contractor shall provide blocking in partitions as required for all items attached to walls. All blocking shim materials shall be fire resistant in accordance with all applicable codes and requirements.

1.15 Provide necessary outlet boxes, conduit and plastic rings as needed (with pulls) for all telephone/cable/data outlets indicated unless noted otherwise.

1.16 When electrical work is specified in conjunction with millwork items, all raceways, pre-wiring, and fixtures shall be provided and installed by Electrical Contractor. Cut-outs for outlets, switches, etc., as required are by Millwork Contractor and shall be coordinated with Electrical Contractor.

1.17 Details are typical for a similar condition throughout, unless otherwise noted. Typical implies typical for all similar conditions, unless otherwise noted. Align implies align other similar components of construction, i.e., face of walls, millwork, etc.

1.18 The Contractor is responsible for continuous and final cleaning and debris removal. The Contractor shall protect and maintain areas outside the project area including paths of travel throughout the building. The Contractor shall construct dust proof partitions to protect common areas, building occupants, building systems, and building finishes.

Clean and/or polish surfaces as necessary and appropriate to the material or finish being cleaned. Items to be cleaned include but are not limited to:

- SAC Tile and Grid
- Switches, Outlets, Devices, Diffusers, Grilles, Louvers, etc.
- Light Fixtures (including lamps, lenses, diffusers and trim)
- Plumbing Fixtures & Trim
- Appliances and Accessories
- Sprinkler, Detection, and Life Safety System Components and Trims
- Painted or Stained Surfaces
- Wall Coverings
- Floor Coverings & Floor Base
- Glass and Glazing Systems (all sides)
- Laminates, Solid Surface Materials
- Stone and Ceramic Surfaces (including grout joints)
- Millwork, Casework & Cabinetry (including cabinet interiors)

Remove all labels, dirt, dust, debris, grease, adhesives, paint drips/overspray, and stains, etc. from all surfaces.

1.19 Contractor shall at all times, take necessary measures to minimize interruption to Owner or Tenant operations. Schedule any work involving excessive noise, fumes construction traffic or debris for off-hours, coordinate with Owner and building management. Avoid any disruption of utilities or services to occupied areas. Coordinate demolition and construction schedules with Owner and building management.

1.20 The presence of a representative of CDS on the job site does not imply concurrence or approval of the work. The Contractor shall call specific items to the attention of the CDS representative if he wishes to obtain CDS approval. The Contractor shall document all field approvals with a separate field report or in weekly project minutes.

1.21 If the Contractor, Owner or Tenant substitute a material, revise a construction detail, method of attachment or in any way alter the work so that it does not conform with these documents without CDS written approval, such action will relieve the Architect of any responsibility of liability as to the functionality, aesthetic effect, subsequent failure, property damage or personal liability.

1.22 Contractor shall provide to the Architect a set marked-up Contract Documents indicating the final "as-built" conditions of the project. All architectural, mechanical, electrical, plumbing, and fire protection changes and/or additions shall be legibly shown.

1.23 Verify existing fire extinguishers are updated, and provide new as required by drawings. All new fire extinguishers are to be installed in recessed or semi-recessed cabinets. Submit cut sheets.

DEMOLITION NOTES

1.0 Salvageable items to be removed are the property of the Owner and shall be protected and stored at a location determined by the Owner or Property Manager. Typical salvageable materials include doors, frames, hardware, glazing, HVAC components, plumbing fixtures, electrical/lighting/life safety components, ceiling tile and other ceiling components. Salvageable implies that the component is refurbishable, so as to be reasonably indistinguishable from new items. Existing materials approved to be reused shall be refurbished so as to be comparable, matching, and reasonably indistinguishable to similar to new materials. Recycle removed carpeting.

1.1 Remove and store, or protect in place, all building standard window coverings and re-install after completion of construction. Protect all millwork, doors, frames, glazing, fixtures, devices, & accessories, etc., during demolition & construction.

1.2 All switches, outlets, etc. to be removed or relocated shall be completely removed, with abandoned conduit and wiring stripped back to the source. Patch and finish as indicated on drawings.

1.3 The General Contractor and Sub-contractors are required to refer to the Engineer's plans for additional demolition, relocation and final design requirements, and field verify all reasonably accessible conditions to assess the work required for conformance to the final construction documents and design intents. While not necessarily indicated by the drawings, existing conditions may require additional mechanical, electrical, plumbing, sprinkler, and architectural demolition in areas of the project work. The Contractor is responsible for this additional demolition.

1.4 For demolition in areas with or adjacent to wall covering to remain, consult with wall covering contractor regarding preservation of materials to remain and extent of materials to be removed. For floor covering demolition, completely remove all materials, tack strips, leveling materials, grout and/or adhesives, patch surfaces as necessary, and prepare for new floor covering installation per manufacturer's specifications.

CONSTRUCTION AND MILLWORK NOTES

1.0 Do not scale drawings. Dimensions govern; enlarged plans and details govern over smaller scale. New drywall partitions are dimensioned from face of wall to face of wall unless otherwise noted. Existing partitions are dimensioned from finish to finish. Window walls are dimensioned from centerline of mullion or joint to centerline of mullion or joint. Glazing sizes are shown as nominal, actual sizes shall be field verified after glazing system or finished opening is constructed. Electrical and communications outlets or devices are dimensioned from centerline of single outlet or device or group of outlets or devices. Where two or more devices are indicated, each device in a group is to be located immediately adjacent to the next device.

1.1 Furnishings, fixtures and equipment may be shown for reference purposes, and are not a part of the construction contract unless otherwise noted.

1.2 Replace any freestanding altered in the course of performing the work of the project. For new installation of freestanding, provide product data and certificates certifying compliance with UL and ASTM E 84 and ASTM E 814 requirements. Installation of freestanding to comply with manufacturer's specifications and with testing agency's specifications for the required fire-resistance rating.

1.3 Replace any building thermal or acoustical insulation altered in the course of performing the work of the project. For new installation of insulation, provide product data and certificates certifying compliance with UL and ASTM E 84 and ASTM C 865 requirements. Materials and installation of insulation materials to comply with manufacturer's specifications and with testing agency's requirements for performance (R-value, STC rating, etc.) and flame spread (maximum 25) and smoke-developed (max 50) surface burning characteristics.

1.4 Do not proceed with gypsum drywall installation over inadequately spaced or poorly aligned framing. It is the General Contractor's responsibility to coordinate the work of sub-contractors in order to ensure that one sub-contractor does not perform work or install materials over inappropriately finished, damaged, or otherwise poorly prepared work. Notify the architect or designer immediately regarding any concerns or conflicts regarding the compatibility of any finish specified and the preparation or condition of the related substrate.

Unless otherwise specified, all gypsum drywall shall receive a Level 4 (GA-214-96) or higher finish. All joints and interior angles have tape embedded in joint compound and two separate coats of joint compound applied over all flat joints and one separate coat of joint compound applied over interior angles. Fastener heads and accessories are covered with three separate coats of joint compound. All joint compound to be smooth and free of tool marks and ridges. Finished surfaces shall be coated with a drywall primer prior to the application of final finishes. Wallboard edges and inside and outside corners shall be crisp and straight or plumb. Reveals, when present, shall be uniform (parallel) and aligned vertically or horizontally unless otherwise specified. Flat surfaces will be free of gouges, trowel marks, and pitting. No corner or edge material, joints or joint tape or tape edges, mud, or screws or screw locations shall be visible or telegraph through applied finish materials. Joints shall be taped and joint compound applied to within 3/4" above floor, and finished smooth for installation of final finishes and floor base.

All partitions extending to the bottom of suspended acoustical ceiling systems shall receive compressible neoprene tape (1/4"x 1- 1/4") between ceiling and runner track. Provide non-combustible blocking equal to the depth of the acoustic tile reveal when working with tegular edge tiles.

1.5 Within the project area, including the outside faces of perimeter and exterior limits, the Contractor shall seal all penetrations in structure to structure partitions or other existing rated assemblies (floors, chases, etc.), whether caused by the work of the Contractor or existing. All penetrations shall be sealed in a manner that maintains requirements for rated separations between areas.

1.6 The Contractor shall provide slip joints at all wall connections to building envelope or structure, and bracing for all walls below structure. Slip joint construction shall maintain fire rated separation, where applicable.

1.7 Contractor shall provide sufficient framing of all openings for duct work return air grill openings above and below ceiling; these are to be coordinated with the air conditioning engineer's and mechanical contractor's shop drawings. All openings shall be properly sealed for soundproofing and vibration control.

1.8 Walls shown aligned with base building structure, shall be flush and smooth with the base building structure, unless otherwise indicated. All existing corner beads shall be removed, taped and spackled properly.

1.9 The Contractor shall provide and install all plumbing rough-ins, fixture accessories and equipment required to complete the installation as shown and noted.

1.10 The Contractor shall coordinate the drywall rough openings and dimensions with the requirements of any millwork.

1.11 Where STC rated assemblies are specified, provide materials and assemblies identical to UL or ASTM tested assemblies of the specified rating. Submit testing agency rating for assemblies utilized.

1.12 Unless otherwise dimensioned doors shall be set 4" from clear opening of frame to immediate adjacent partition.

1.13 All hardware required but not specified in these drawings is to be selected by the Contractor and submitted to the Architect for review before orders are placed.

1.14 Furnish and install all architectural woodwork (counters, tops, casework, paneling, panel-work, and closet/storage shelving) shown on drawings and specified herein. Provide and coordinate complete installation of items, where the work of other trades is necessary for intended function. Architectural woodwork includes all interior woodwork exposed to view in finished building and includes wood, wood veneers, plywood, laminates, liners, and vinyl surfaces or edgings.

1.15 The "Quality Standards" of the Architectural Woodwork Institute shall apply and by reference are hereby made a part of this specification. Any reference to Premium, Custom or Economy in this specification shall be as defined in the latest edition of the AWI "Quality Standards". Any item not given a specific quality grade shall be provided as "Custom" grade as defined in the latest edition of the AWI "Quality Standards". Submit shop drawings on all items of architectural woodwork. Submit manufacturer's descriptive literature of specialty items not manufactured by the architectural woodworker, as requested by the Architect. Submit samples of each wood species which is to receive transparent finish at job site, as requested by the Architect. Submit finish samples of each painted or laminated finish to be applied at factory.

All new millwork to use FSC Certified & formaldehyde free wood products including blocking, plywood, particle board, MDF, & laminate.

The woodwork manufacturer is responsible for details and dimensions not controlled by job conditions and shall show on his shop drawings all required field measurements beyond his control. The General Contractor and the woodwork manufacturer shall cooperate to establish and maintain these field dimensions. The woodwork manufacturer and the Contractor shall be jointly responsible to make certain that woodwork is not delivered until the building and storage areas are sufficiently clean, dry and prepared so that the woodwork will not be damaged. Contractor shall provide blocking in partitions as required for all millwork items attached to walls.

Unless otherwise noted, work shall conform to flush overlay design standards. All exposed components to match specified finish. Semi-exposed surfaces per AWI grade standards. Unless otherwise noted, interiors of all cabinets shall be covered with liner grade. Finished and panels shall apply when millwork is not abutting a partition. Filler strips shall be installed as required and shall be installed as required and shall match adjoining millwork.

For all casework, paneling, frames, and running trim, adjust all joints and miters for tight, aligned fit. Fill openings at joints and at nail sets. Touch-up stain at cuts (joints, end pieces, etc.) and where color does not match.

All plumbing/lighting fixtures shall be supplied and installed by plumbing/electrical contractor, who shall supply all necessary information for cut-outs to be performed by cabinet contractor. The General Contractor is responsible for the complete installation and coordination between trades.

Unless otherwise noted, tops to be AWI Quality Grade 'Custom' high pressure laminate. Where not specified by the Contract Documents, finish and color selections shall be made by the Owner.

All cabinet hardware shall be furnished and installed by casework manufacturer. Submit samples of all exposed hardware. Unless otherwise noted, hardware to be as follows:

- A: Drawer slides: "Accuride" full extensions; self closing.
- B: Shelf standards and brackets: K.V. heavy duty.
- C: Hinges: Blum or equal.
- D: Catches: Optional with supplier.
- E: Pulls: Varies, see millwork drawings for locations & types

1.16 Door/Frame System to match building standard unless otherwise noted. Submit product data, finish samples, and door schedule.

Doors and Frames shall be rated in accordance with A.S.T.M. procedure for use in fire rated wall assemblies. Comply with ANSI/SOI 100 and NFPA 80 for fire rated door assemblies. All new or modified components shall be labeled by UL or acceptable rating agency.

Frames shall encompass the specified finished wall thickness and attach to the wall with all fasteners concealed. Frames shall accommodate 1-1/2" minimum glass thickness and surface mounted closers. Jams shall be over-length to permit custom fitting to the floor. Jamb design shall permit jamb removal and replacement without disturbing the stud fasteners and without damage to the wall finish. Fixed throat jambs shall be adaptable to receive standard flush glazing snap-in sections where sidelites are used. All frame and sidelite units shall be furnished with steel attachment clips for extrusion intersections so as to facilitate fast, precise installation. Assembled glass frames shall provide 5/16" minimum glass coverage at head, sill and jambs, or 5/8" total coverage. All glazing extrusions shall accommodate 1/4" thick glass as specified.

Finished doors shall be trimmed and beveled to fit frame opening with standard clearances as follows: 1/8" at hinge edge, 1/8" at lock edge, 1/8" at top, 1/4" at bottom, stiles beveled 1/8" in 2". In order to ensure proper fit to uneven floors, doors shall be ordered with sufficient over-length to permit custom fitting to floor by the door installer. Doors shall be completely prefinished and machined for all hardware as specified. Match veneer species, stain, and grain patterns of existing doors in project area. Door edge finishes shall match face finishes.

1.17 All 'hard' ceilings will be installed and finished such that seams and edge/corner bead materials do not telegraph. All devices, grille frames, fixture trim pieces, etc. are flush and caulked. Devices will align as shown or specified on architect's or engineer's drawings. It is the General Contractors responsibility to coordinate the work of sub-contractors in order to preserve the ability to align or otherwise locate devices as specified by the architect of engineers. Bring any conflicts to the immediate attention of the architect or engineer. Ceiling and drywall soffit finishes shall receive a Level 4 (GA-214-96) or higher finish. Meet all finish standards for wall finishes.

FINISH NOTES

1.0 Do not install or apply finishes over poorly constructed or prepared substrates. Immediately notify the Contractor of conditions affecting the quality or appearance of a specified finish. Advise the Architect if there are unforeseen conditions or other concerns or circumstances preventing any specified material from fulfilling the intent of the design for safe and proper function and a pleasing appearance, compatible with other existing and new materials. Repair and touch up any items when damaged during demolition or construction when item intended to remain.

1.1 All drywall finishes shall be Level 4 or higher unless otherwise noted. High color accent walls and lighted walls (wall washers, spot lights, etc.) and writable walls shall be finished to Level 5 standards. Provide overlay or skim coat if required to meet appearance standards of specified finish. Extend preparation and finish in project area to nearest surface break. Finish drywall to within on half inch of floor. Completely remove wall coverings and provide overlay or new skim coat where new painted surfaces are indicated.

1.2 All surfaces shall be properly cleaned and prepared prior to installation of all paint, wall coverings, and base. Paint shall be roller-applied to non-metallic surfaces using short-nap (1/2" or less), lint-free roller covers or as recommended by the paint manufacturer. Utilize a three coat system (primer plus two finish coats) on all newly painted surfaces unless otherwise noted. Provide stain killers and additional coatings where required for even, non-transparent coverage over substrate and/or existing colors.

1.3 Unless otherwise noted, all paints shall be premium commercial grade, low v.o.c. acrylic latex, low-sheen eggshell finish (other than flat) not susceptible to burnishing under normal office and commercial wear. All metal components (access panels, door frames, metal doors, grilles, diffusers, etc.) to be painted shall be semi-gloss latex enamel. All new items shall be shop finished. Unless otherwise noted, contractor shall patch, prepare and repaint all existing partitions shown to remain. Remove all existing device covers, fixtures, furnishings, signage, etc., prior to installing new finishes. Clean and replace/reinstall all items removed prior to painting.

1.4 All HVAC ceiling diffusers and registers shall be prefinished to match building standard devices, unless otherwise noted. Caulk around all door frames, glazing systems, running trim (base and crown mold), millwork (built-ins, cabinets & countertops), grilles, registers, louvers, access panels, and other ceiling and/or wall mounted devices. Caulk color to match device finish.

1.5 All flooring is to be installed over properly prepared surfaces. Perform moisture test to confirm proper moisture content per manufacturers recommendation. Installed stone or ceramic tile shall be clean and free from grout, adhesives, paint drips/overspray, etc. Sub-floors shall be clean, leveled and otherwise prepared to receive finish flooring without noticeable unevenness. Grout shall be sealed. Verify if tile is to be polished or to receive sealer. No tripping hazards from raised edges or corners will be acceptable. Where resilient flooring is specified, no telegraphing of unfinished, irregular, substrate will be accepted. All materials will be fully adhered to sub-floor, free of gaps, bubbles, and bulges. Seams shall be per manufacturer's method and tolerances.

1.6 Where countertop abuts a partition and adjoins back splash, a sealant caulk shall be applied which matches the color of laminate or solid surface as specified.

1.7 Where rubber or vinyl wall base materials are specified, Contractor shall use continuous rolled stock (not 4" sections) to minimize joints. The Contractor shall utilize preformed inside and outside corners where offered by the manufacturer. Base material shall be level and uniformly adhered along walls and corners, with joints tightly butted and aligning. All walls shall be finished as specified or as otherwise necessary to receive the specified base material(s). Wood, tile or other rigid materials are to be installed over smooth, even walls. Caulk gaps and fill (or grout) joints as required and appropriate to material. No obvious bows, gaps, or misalignments will be accepted. Do not install over poorly prepared substrate (floors or walls). 'Telegraphing' of substrate irregularities or adhesives will not be accepted.

1.8 Patch, repair and finish (paint or stain) all existing doors and frames to remain for reasonably comparable finish to new doors and frames. Remove paint or stains from hardware to be reused and polish for reasonably comparable finish of new hardware. Unless otherwise noted, all doors shall receive the same finish both sides. Unless otherwise noted, stain wood items (doors, moulding, base, etc.) shall match existing to remain in project area or building standard finish.

1.9 All window coverings to match building standard materials and installation unless otherwise noted. Protect all window coverings to remain. Repair or replace missing or damaged window coverings. All window coverings shall be installed, properly functioning and clean. Where new and reused items are used, separate new from reused by area/room.

1.10 Provide 8" x 8" (min) samples of all finishes and colors specified to Architect for approval prior to commencement of work. Painting Contractor to paint a single 24" x 60" sample of each paint specified (coordinate walls to receive paint samples with Architect) for Owner approval prior to final purchase of paint materials. Submit manufacturer's flame spread ratings with samples of finish materials. Flame spread ratings for wall coverings shall be 25 or less, smoke-developed rating to be 450 or less per ASTM E 84.

1.11 Provide cement board on walls behind all tile and FRP.

MECHANICAL, PLUMBING, ELECTRICAL, DATA/COMMUNICATIONS & LIFE SAFETY (M/PE/C/LS) SYSTEMS NOTES

1.0 The Mechanical, Plumbing, Electrical, Data/Communications and Fire Protection contractors shall field verify all existing conditions and shall familiarize themselves with all work and dimensions. The Contractor shall notify the Architect of any conditions or discrepancies adversely affecting the design and installation prior to proceeding with the work. This shall include conflicts with mechanical ducts, piping and structure. Immediately notify Architect if existing M/PE/C/LS systems are in conflict with the intents of the architectural or engineering design.

1.1 Locations of M/PE/C/LS and life safety components, fixtures, devices, etc., shall be as shown on architectural plans. Refer to Engineering drawings and specifications for system or component integration and performance requirements. If discrepancies between the engineering and architectural drawings occur, notify Architect prior to bidding or installation for clarification. The Contractor shall be responsible for costs of reinstallation of wiring and components when no clarification of discrepancies is requested. The contractor shall be responsible for engineered and code conforming installation of systems provided as 'Design-Build'

1.2 No component, fixture or device substitutions shall be permitted without written confirmation from the Architect. Devices include switches, power/data outlets, thermostats, wall stops, Life Safety components, access panels, grilles, diffusers, light fixtures, speakers, etc. If a new component, fixture, or device is not specified, use building standard components, or exactly match components existing within the project area. Seek clarifications where specifications conflict with existing conditions. Verify that all M/PE/C/LS components to be reused in the project area are functioning and adjusted properly. Clean all new and reused components. Remove all labels unless required to remain by code or manufacturer. All new devices shall be consistent with respect to finish or color and mounting heights. All trim shall be secure, flush to wall and attached with matching hardware.

1.3 Provide fire dampers in all ducts penetrating fire rated or demising partitions.

1.4 The Contractor and Subcontractors shall provide for uninterrupted building utilities and life safety systems operation, unless coordinated with the Owner.

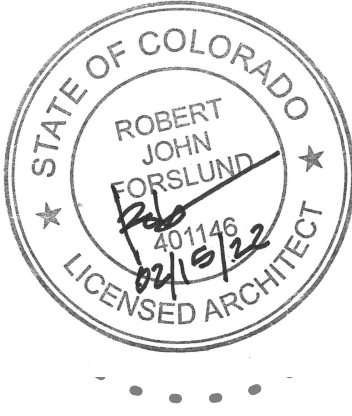
1.5 All dimensions to the centerline of an outlet or pair of outlets, unless otherwise noted. All outlets shown back-to-back shall be offset 6" minimum. Provide necessary studwork supports needed for installation. All cover plates to be building standard, unless otherwise noted. Where more than one switch occurs in the same location, they shall be installed in a gang-like box under one cover plate, unless otherwise noted. All existing outlets not utilized by a tenant for electrical, telephone or CRT shall be capped with a blank cover plate - see finish. All thermostats shall be at building standard height unless otherwise noted, and located as shown on mechanical drawings. When thermostats and light switches occur together, install thermostat at 1'-6" above the same witch on centerline, with switch and thermostat aligned vertically on the same partition.

1.6 Mechanical, Plumbing, Electrical, Data/Communications and Life Safety subcontractors shall provide as-built drawings of final circuiting, switching, lighting and HVAC/plumbing diagram.

1.7 Electrical Contractor shall clearly and accurately label all new panel boxes, circuits, and outlet covers associated with the project area.

1.8 Verify telephone /T-data requirements and telephone equipment board location with the Owner before proceeding with the work.

chord.



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#	DESCRIPTION	DATE
	PERMIT SET	15 FEB 2022

**SOUTH BROADWAY
COUNTRY CLUB**

**17 OLD TOWN SQUARE #135
FORT COLLINS, CO 80524**

Project Number: 210028

SPECIFICATIONS

G012

**PERMIT SET IS FOR BUILDING DEPARTMENT REVIEW. FINAL
PRICING SHOULD INCLUDE ALL DRAWINGS ISSUED AS ADDENDA
FOR PERMIT APPROVAL.**

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NOTES:
SEE CODE SUMMARY FOR ADDITIONAL EGRESS INFORMATION

CODE ANALYSIS

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G201

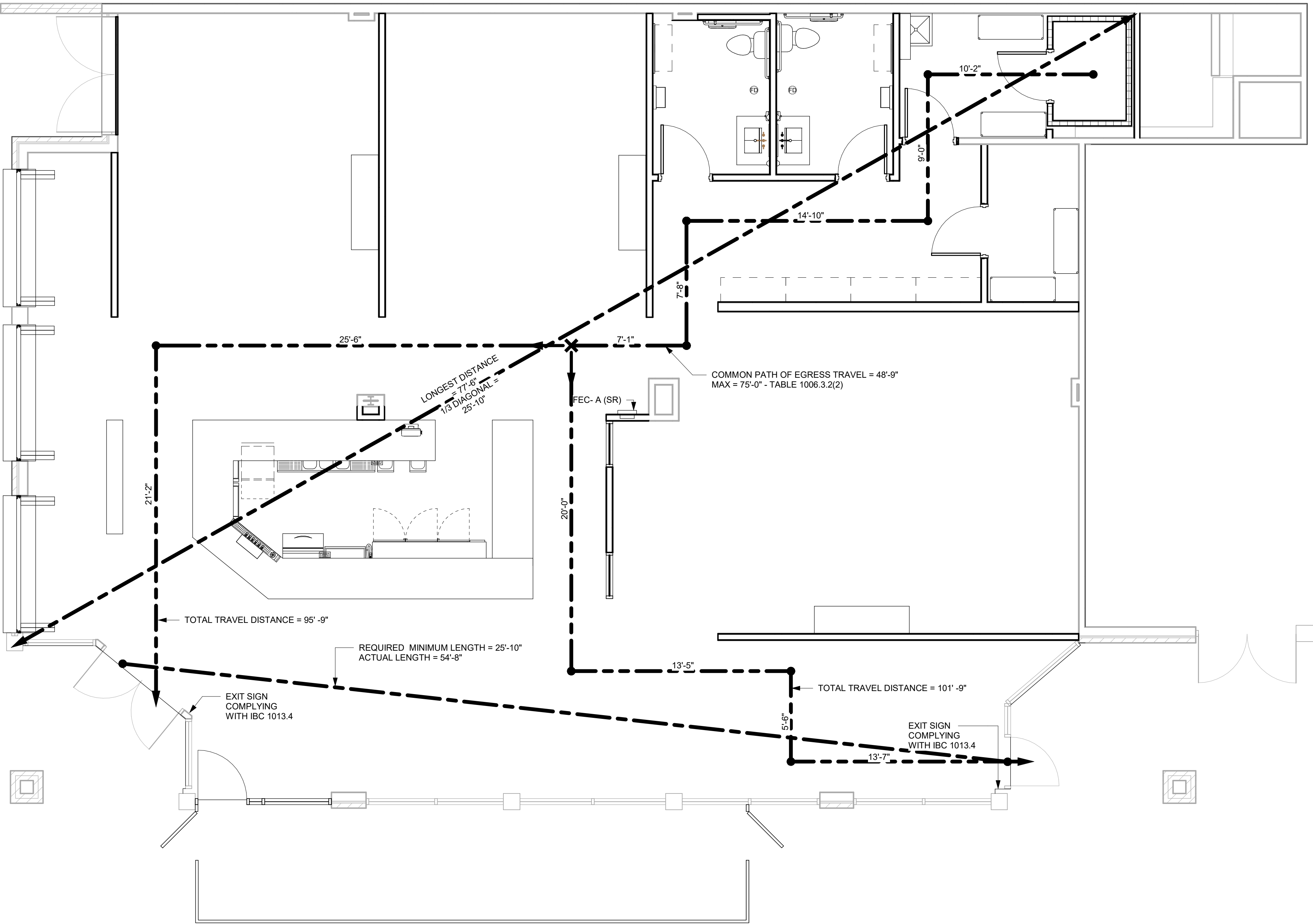
 **1 OCCUPANT LOAD PLAN**
SCALE: 1/4" = 1'-0"

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G202

OCCUPANT LOAD & EXITING LEGEND	
	OCCUPANT LOAD



 **1** EGRESS PLAN
SCALE: 1/4" = 1'-0"

 **1** LEVEL 01
SCALE: 1/4" = 1'-0"

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A102



1. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FIXTURES AND EQUIPMENT NOT SHOWN HERE.
2. THE CONTRACTOR SHALL CENTER ALL FIRE SPRINKLER HEADS IN THE CEILING TILES UNLESS NOTED OTHERWISE.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.
4. LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, FIRE ALARM SPEAKERS/STROBES, AND ALL OTHER DEVICES SHALL BE ALIGNED WITH EACH OTHER AND CENTERED IN THE CEILING TILES IN WHICH THEY OCCUR UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL CENTER CEILING GRID WITHIN EACH SPACE UNLESS NOTED OTHERWISE.
6. FIRE SPRINKLER CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE NEW FIRE SPRINKLER SYSTEM TO BE IN ACCORDANCE WITH THE CURRENT CODES, AND THE SUBMITTAL OF THE FIRE SPRINKLER DESIGN TO THE AUTHORITIES HAVING JURISDICTION. DESIGN AND LAYOUTS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE ARCHITECT AND OWNER.
7. SPRINKLER PIPING WHICH IS INSTALLED IN EXPOSED LOCATIONS SHALL BE MOUNTED TO STRUCTURE AND RUN TIGHT TO THE CEILING. PAINT PIPING TO MATCH ADJACENT SURFACES.



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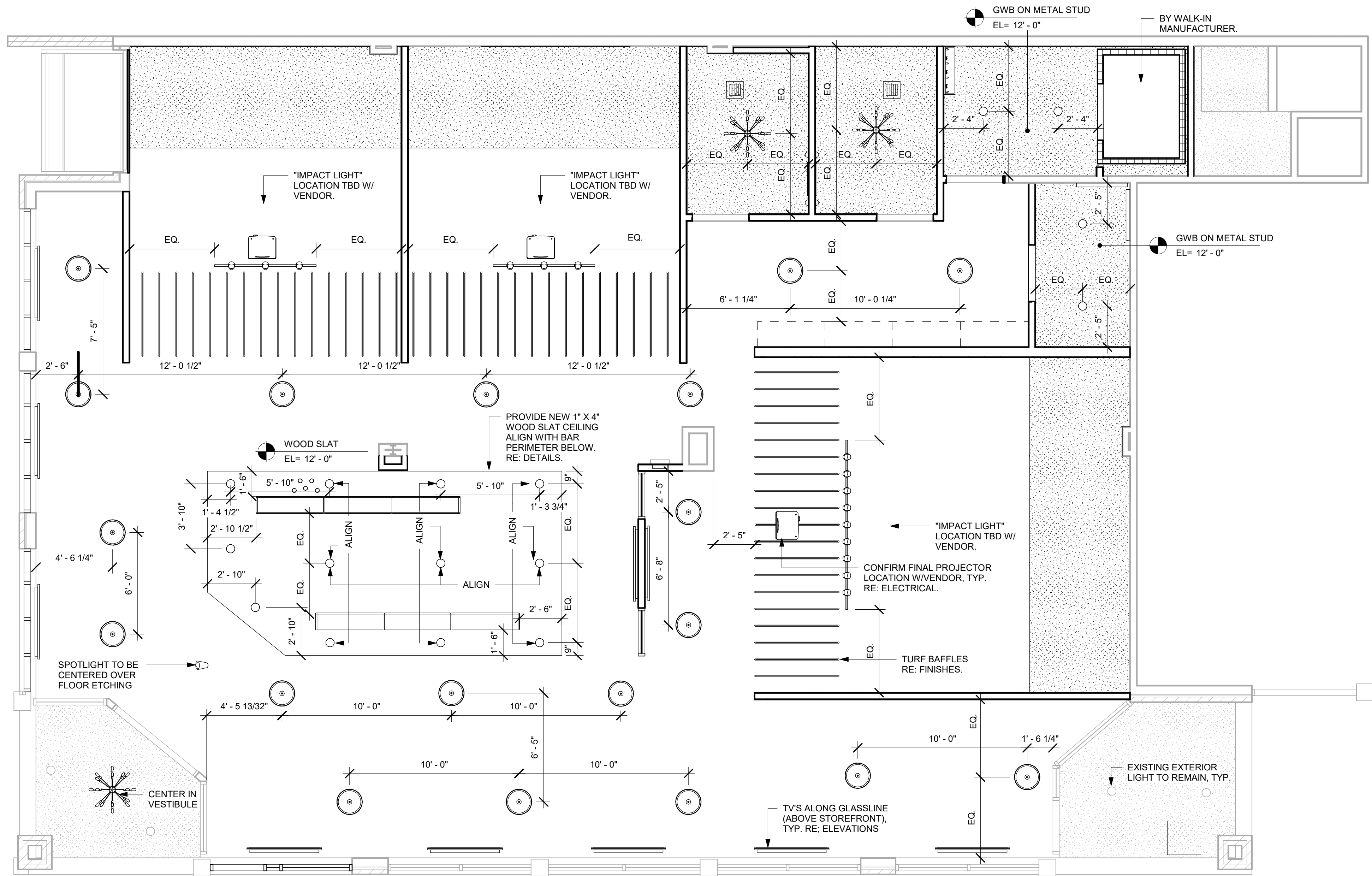
SOUTH BROADWAY COUNTRY CLUB

17 OLD TOWN SQUARE #135
FORT COLLINS, CO 80524

Project Number: 210028

REFLECTED CEILING PLAN

A151



 1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

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A601

