



Historic Preservation Services

Community Development & Neighborhood Services

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Fort Collins, CO 80522.0580

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fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 421 E. Laurel St.

Laurel School National Register Historic District

ISSUED: October 28, 2021

Nicholas & Patricia Quinn
421 E. Laurel St
Fort Collins, CO 80524

Dear Property Owner:

This report is to document proposed alterations to the Jackson Norris House at 421 E. Laurel Street, pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include:

1. Demolition of existing (mostly non-historic) addition down to brick portion of historic house
2. Construction of a new addition on to the rear (south) elevation of the property
 - a. *Note - Paint: Staff recommends that any painting avoid painting the historic brick as both surface preparation methods and the paint itself will damage the masonry. Painting of historic wood trim should use gentle surface preparation methods to avoid damaging the wood features, and staff recommends an oil-based primer with oil- or latex-based paint overtop to avoid trapping moisture in the carpentry. Please see Preservation Brief #10 for more information:*
<https://www.nps.gov/tps/how-to-preserve/briefs/10-paint-problems.htm>

Our staff review of the proposed work finds the alterations do not meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<p><i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i></p> <p>The property will remain in residential use.</p>	Y

SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>The Norris Property at 421 E. Laurel Street is a Free Classic Queen Anne cottage built in c.1908. The building appears in the 1908 city directory as vacant, with the Norris family moving in by 1909. The first occupants were Edward J. & Maude Norris – Edward was the manager of the Fort Collins Wholesale Grocery Co. at 121-135 Lincoln Avenue (building remains and is a City Landmark). The Norris family lived there with Harvey Norris, who was a bookkeeper; Harvey H. Weekley, a bookkeeper at the grocery Edward managed, and Arthur H. Harmon, a student at the Colorado Agricultural College (CAC, now CSU).</p> <p>Surviving character-defining features of the property include the 1.5-story size and massing, the front-gabled roof form with side gables and a project bay on the east, brick exterior walls, distinctive Classically-styled wrapping front porch, variable decorative shingling in the gable-ends, cross-gabled dormers on the east and west elevations, a canted brick bay window on the east elevation, and wood one-over-one sash windows of varying sizes with stone lintels and sills.</p> <p>The project is removing a non-historic set of additions (c.1987?) and adding a new addition. The primary attachment to the historic building will be flush, extending the gable southward from the rear of the historic home, and demolishing brick elements of the rear (south) wall that currently frame two existing passageways. An additional single-story gable will project farther to the south. Cladding includes a combination of stucco, and both vertical and horizontal wood siding. An existing historic window near the southeast corner is being removed and replaced with</p> <p>The defining features and overall character of the property are being preserved and so overall, this Standard is met. The plan could improve performance under the Standard by retaining/salvaging the rear shingled gable end, retaining rather than demolishing portions of the south/rear brick wall, and inseting the east wall from the historic wall plane and/or dropping the roof height of the addition below the historic.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p>	Y

	The new addition uses simplified features of the historic building, as well as some contemporary door and window features, to distinguish the addition appropriately from the historic building.	
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p>Building permit records indicate the following history of exterior alterations:</p> <ul style="list-style-type: none"> - 1923 – Sleeping porch (10x12) added to rear of brick house w/ concrete foundation and shingle roof - 1938 – remodel front porch - 1944 – repairs on house & garage - 1946 – resingled house - 1948 – house insulated - 1951 – 12x22 frame garage built attached to rear of house; rear doors in dining room removed to make arch - 1954 – roof resingled (asphalt composition) - 1974 – reroof - 1983 – construction of 2-car garage - 1987 – attic remodel for additional bedroom space (due to number of rooms added, this is likely also the point where the historic sleeping porch was removed and the new addition constructed). - 2009 – reroof <p>Had the historic sleeping porch been retained on the rear, that may have been considered a character-defining feature. However, based on the historic district’s period of significance, roughly 1870-1940, based on the removal of rear-facing historic features likely in 1987, and based on the design of the new addition on the rear of the building, this Standard appears to be met.</p>	Y
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>The character-defining features of the historic building will be retained and will remain visible. Some historic material will be removed on the rear elevation, namely the decorative shingles, the rear/south brick wall, and an historic window near the southeast corner. While some demolition is expected in a rehabilitation project, this Standard does not appear to be met by the proposed project.</p>	N
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of</i></p>	N/A

	<i>missing features will be substantiated by documentary and physical evidence.</i>	
SOI #7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>Excavation appears limited to a few feet to establish a crawlspace under the addition. This soil is already disturbed due to the construction and removal of two sets of additions, soon to be replaced by a third.</p>	Y
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The project has mixed performance under this Standard. The new addition is compatible with the massing, size, scale, and architectural features of the property. Furthermore, it is differentiated from the historic through the use of different cladding materials and a modern glazing pattern. The addition generally strikes a good balance under this Standard between compatibility with the historic building, and distinguishability as new construction.</p> <p>The main deviation from this Standard is the demolition of elements of character-defining features, namely portions of the rear brick wall on the main section of the house, and removal of the window near the southeast which is being partially infilled and replaced with a smaller window to accommodate kitchen modifications. While much of the project meets this standard, this degree of removal of historic materials is not recommended and does not meet this Standard.</p>	N
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>Related to the findings above, the removal of half of the rear/south brick wall does not meet this Standard. Technically, the window near the southeast corner can be salvaged and retained on site for use elsewhere or if this window is ever returned to its historic condition. However, the removal of half of a brick wall to accommodate the addition attachment does not meet this Standard. Typically, this Standard would call for</p>	N

	shifting the floorplan of an addition to adapt to existing openings in the historic building to minimize demolition. While some demolition to widen passageways for modern Code requirements is understandable, wholesale demolition of an exterior wall section is not recommended and does not meet this Standard.	
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While the overall project does not meet the *Standards for Rehabilitation* due to extensive demolition of historic material along the south/rear wall of the historic house, modifications are clustered on the rear or on elevations with limited visibility from Laurel Street. The property is expected to remain contributing to the Laurel School Historic District after the project is complete.

If you have any questions regarding this review, please contact me. I may be reached at jbortolini@fcgov.com, or at 970-416-4250.

Sincerely,

Jim Bertolini
Historic Preservation Planner



E Laurel Residence

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10/08/2021 PERMIT SET

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E Laurel Residence

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PERMIT SET

PERMIT SET 10.08.2021

TITLE PAGE

G0.1

3. The "General Conditions" of the Contract for Construction, AIA Document A201 is part of the contract for construction. In addition, these General Notes shall be considered to be supplemental to the AIA "General Conditions".
2. The scope of the work shall include all items described in these drawings in both graphic form and in text. In addition, any and all items required for the completion of the work - for the proper functioning and operation of all parts of the work shown - shall be included in the scope of the contract whether such parts, materials or components are specifically shown or called out.
3. The Contractor shall bring any discrepancies or conflicts in the documents to the attention of the Architect.
4. The Contractor shall visit and examine the work site and become familiar with the nature of the area, the scope of the work and the potential difficulties that may attend to the execution of the work. The submission of a proposal or bid by the Contractor will be construed as evidence that a site examination and a thorough examination of the Contract Documents has been made. Later claims for labor, equipment or materials required to overcome difficulties encountered which could have been foreseen, had such an examination been made, will not be recognized.
5. All material called out in the drawings and specifications are intended to indicate the level of quality required. If the Contractor wishes to substitute another material which is equal or superior in quality - but more readily available or less expensive than the material called out - such material and its specifications shall be submitted to the Architect along with related extras or credits, for the approval of the Architect.
6. No material which is NOT called out in the drawings or in the specifications shall be used unless it is first approved by the Architect. Any such material put in place without first being approved shall be removed by the Contractor and replaced by the proper material to the satisfaction of the Architect and at no extra charge to the Owner.
7. All floor and roof framing - joists, rafters, trusses, etc., - shall be installed in strict conformance to the manufacturer's specifications and recommendations including the type and location of attachments, blocking and web stiffeners.
8. The Contractor shall provide proper, substantial blocking, backing and supports within stud walls for the firm support of all cabinets, shelving, handrails, light fixtures, plumbing fixtures, etc.
9. All lumber in contact with masonry - concrete, stone, brick, etc., - or with surfaces where the presence of moisture is anticipated, shall be Osmos Pressure Treated Wood.
10. Seismic / earthquake engineering requirements dictate special construction procedures and connections. All work related to construction details, materials, supports and fasteners shown or required, shall be performed in strict accordance with the requirements. Any proposed modification to a structural connection or detail must be approved in advance by the Structural Engineer and/or the Architect.
11. The Contractor shall take such precautions as are necessary to protect and safeguard the work and the Owner's property during the progress of the work. Any damage caused to the work or to the Owner's property during the course of the construction through the fault or negligence of the Contractor, shall be completely repaired by the Contractor to the satisfaction of the Owner and the Architect at no additional expense.
12. All work must be performed and constructed in accordance with all applicable codes, regulations and ordinances. Should any information on the drawings or in the specifications not be in compliance, the Contractor shall bring the matter to the attention of the Architect and resolve it before any affected construction begins. Should the Contractor knowingly construct any part of the work in non-compliance with any code, the Contractor shall bear full responsibility for correcting the work and for making it comply.
13. The Contractor shall arrange for and schedule all required inspections and shall secure or cause the securing of all required permits and approvals.
14. Contractors and their subcontractors and all others working for the Owner shall have insurance policies in force with limits of \$100,000 for Personal Injury and \$300,000 for property damage. All such insurance shall be at the Contractor's expense.
15. Contractors shall provide and submit Lien Waivers for his work and for the work of all subcontractors at appropriate times during the progress of the work and at the completion of the work.
16. Do not scale the drawings for dimensions. Use the dimensions indicated or obtain additional required dimensions from the Architect. Unsatisfactory work resulting from scaling the drawings or assuming incorrect dimensions shall be corrected by the Contractor at no additional expense.
17. Since changes can occur during the course of construction, the Contractor shall verify all dimensions with field measurements and shall bring issues arising from such measurements to the attention of the Architect. All construction made or materials ordered from dimensions called out on the drawings but not checked with field dimensions shall be corrected by the Contractor at no additional expense.
18. The Contractor shall maintain a complete current set of all Construction Documents - drawings, sketches, specifications and related materials - available on the construction site at all times. When revised drawings are issued to the Contractor, he shall replace the affected drawings with the revised drawings. Any work wrongly constructed or materials ordered from obsolete drawings shall be corrected by the Contractor at no additional expense.
19. The contractor shall submit samples of all materials and equipment - whether or not such materials or equipment are specifically called out on the drawings - for the approval of the Architect before the item is purchased.
20. The Contractor shall assure that there is adequate accessibility for the delivery, installation, removal and maintenance of all items of the work as installed in the building in their proper locations and configuration. Where constrictions occur - i.e. a narrow doorway, etc., - the Contractor shall notify the Architect in time to make adequate corrections.
21. The Contractor shall maintain the construction site in an orderly state; materials and equipment shall be organized so that they do not inhibit the natural process and progress of the work. The Contractor shall periodically clean the built areas of the work during the progress of the construction and remove all rubbish and debris as soon as is practical so that the progress of the work is not hampered.
22. All debris and associated materials and trash shall be removed from the site and disposed of legally. The complete cleaning of the finished work including the cleaning of the glass and the removal of finger marks, etc., shall be performed at the time of completion and to the satisfaction of the Architect and Owner.
23. The Contractor shall keep the Architect and Owner informed as to the schedule and progress of the work and shall perform the work in accordance with a full time schedule which shall be submitted and accepted before the work begins. Appropriate adjustments to the schedule can be made - preferably if the Contractor brings scheduling issues to the attention of the Architect beforehand.

AF	ABOVE FINISHED FLOOR
ASF	ABOVE SUBFLOOR
BD	BOARD
BO	BOTTOM OF
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
(E)	EXISTING
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
EXT	EXTERIOR
FD	FLOOR DRAIN
FF	FINISH FLOOR
FIN	FINISH
FOS	FACE OF STUDS
FT	FOOT/FEET
GA	GAUGE
GYP	GYPSUM
GWB	GYPSUM WALL BOARD
HB	HOSE BIB
HR	HOUR
INSUL	INSULATION
INT	INTERIOR
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MTL	METAL
(N)	NEW
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OFD	OVERFLOW DRAIN
OFCI	OWNER-FURNISHED, CONTRACTOR-INSTALLED
OFI	OWNER-FURNISHED, OWNER-INSTALLED
OPG	OPENING
OH	OVERHEAD
PLYWD	PLYWOOD
PNT	PAINT/PAINTED
R	RISER
RD	ROOF DRAIN
REF	REFERENCE
REQ(D)	REQUIREMENT/REQUIRED
SIM	SIMILAR
SLD	SEE LANDSCAPE DRAWINGS
SPEC	SPECIFICATION
SSD	SEE STRUCTURAL DRAWINGS
STD	STANDARD
STL	STEEL
TO	TOP OF
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
W/	WITH
W/O	WITHOUT
WD	WOOD
WP	WATERPROOF
WRB	WEATHER RESISTANT BARRIER

[illegible]

EXISTING ALLOWABLE AREA			
Name	Area	% Counted	Allowable Area
(E) L0 ALLOWABLE	1297 SF	0.00%	0 SF
(E) L1 ALLOWABLE	1797 SF	100.00%	1797 SF
(E) L2 ALLOWABLE	1431 SF	100.00%	1431 SF
GARAGE	493 SF	100.00%	493 SF
Total Area:			3,721 SF

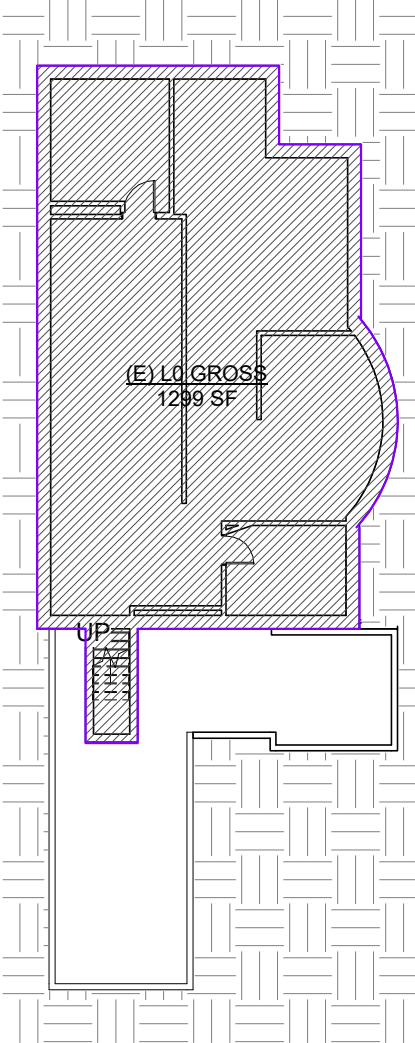
EXISTING CONDITIONED AREA	
Name	Area
(E) L0 CONDITIONED	1122 S
(E) L1 CONDITIONED	1652 S
(E) L2 CONDITIONED	903 S
Total Area:	3678 S

PROPOSED CONDITIONED AREA	
Name	Area
(N) L0 CONDITIONED	1122 SF
(N) L1 CONDITIONED	1795 SF
(N) L2 CONDITIONED	1007 SF
Total Area:	3925 SF

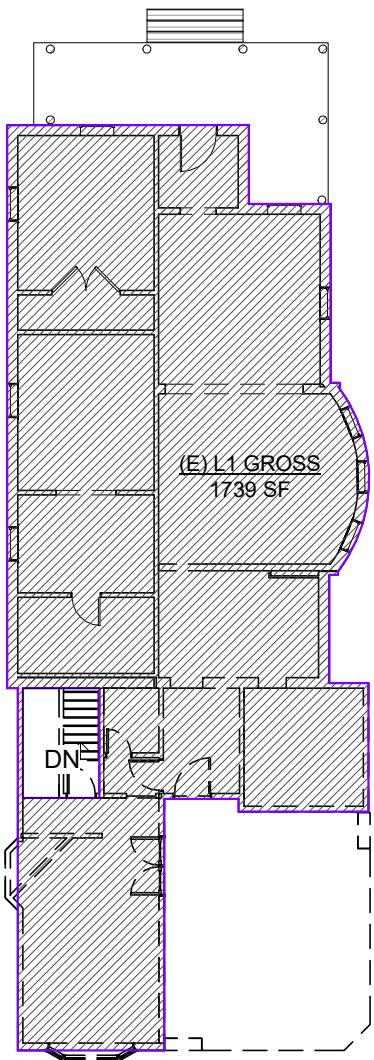
EXISTING BUILDING SQUARE FOOTAGE	3,721 SF
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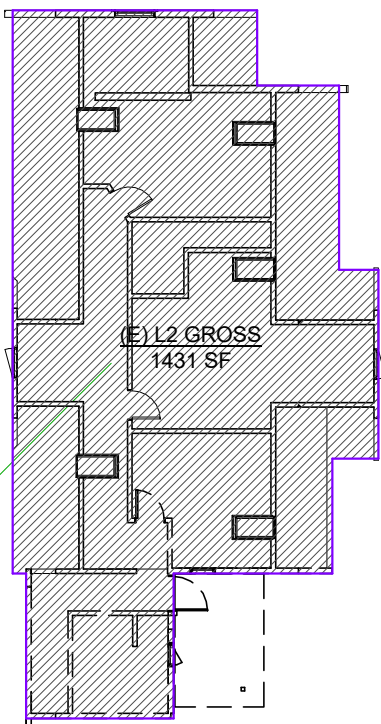
G0.2



GROSS BUILDING AREA - (E) LEVEL 0
1/16" = 1'-0"



GROSS BUILDING AREA- (E) LEVEL 1
1/16" = 1'-0"



GROSS BUILDING AREA-(E)LEVEL 2
1/16" = 1'-0"

EXISTING GROSS BUILDING AREA		
Name		Area
(E) L0 GROSS		1299 SF
(E) L1 GROSS		1739 SF
(E) L2 GROSS		1431 SF
GARAGE		493 SF
Total Area:		4962 SF

ALLOWABLE FLOOR AREA CALCULATIONS

ZONE: MED. DENSITY DISTRICT
LOT SIZE: 8,987 SQ. FT. (ISP SURVEY)

MAX. FLOOR AREA: 3,246 SQ. FT.
DETACHED ACCESSORY BLDG. +250 SQ. FT.

TOTAL ALLOWABLE FLOOR AREA: 3,496 SQ. FT.

EXISTING FLOOR AREA CALCULATIONS

BASEMENT (EXCLUDED): 1,299 SQ. FT.
LEVEL 1 : 1,797 SQ. FT.
LEVEL 2: 1,431 SQ. FT.
GARAGE: 493 SQ. FT.

TOTAL: 3,721 SQ. FT.

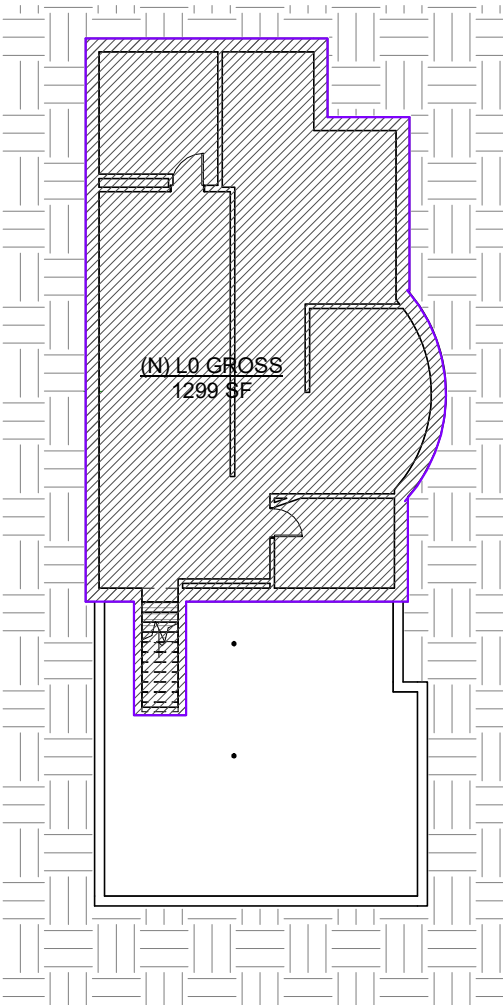
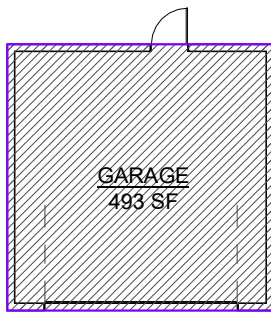
PROPOSED FLOOR AREA CALCULATIONS

BASEMENT (EXCLUDED): 1,299 SQ. FT.
LEVEL 1 : 1,902 SQ. FT.
LEVEL 2: 1,595 SQ. FT.
PROPOSED LEVEL 1 (OVER 14' CLG. HEIGHT): 141 SQ. FT.
GARAGE: 493 SQ. FT.

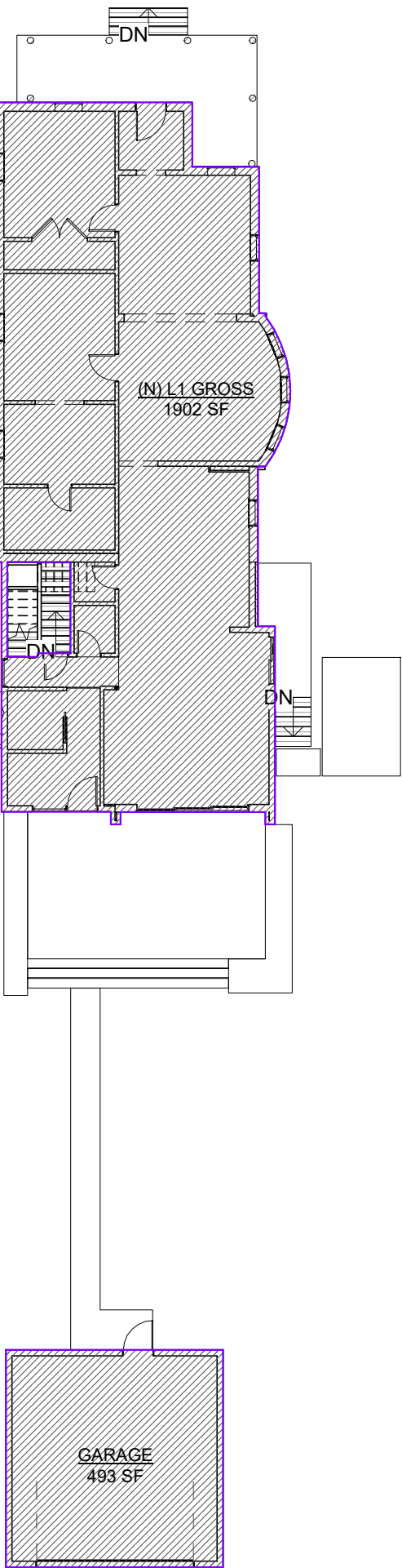
TOTAL PROPOSED AREA: 4,131 SQ. FT.

ALLOWABLE FLOOR AREA: 3,246 SQ. FT.
DETACHED ACCESSORY BLDG.: +250 SQ. FT.
ZONING REQUEST APPROVAL 04/08/2021: +295 SQ. FT.
ZONING REQUEST APPROVAL 07/08/2021: +141 SQ. FT.
ZONING REQUEST APPROVAL 07/08/2021: +199 SQ. FT.

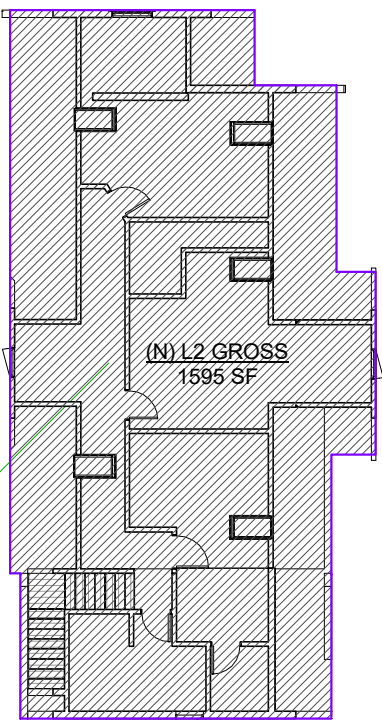
TOTAL ALLOWABLE FLOOR AREA: 4,131 SQ. FT.



GROSS BUILDING AREA - (N) LEVEL 0
1/16" = 1'-0"

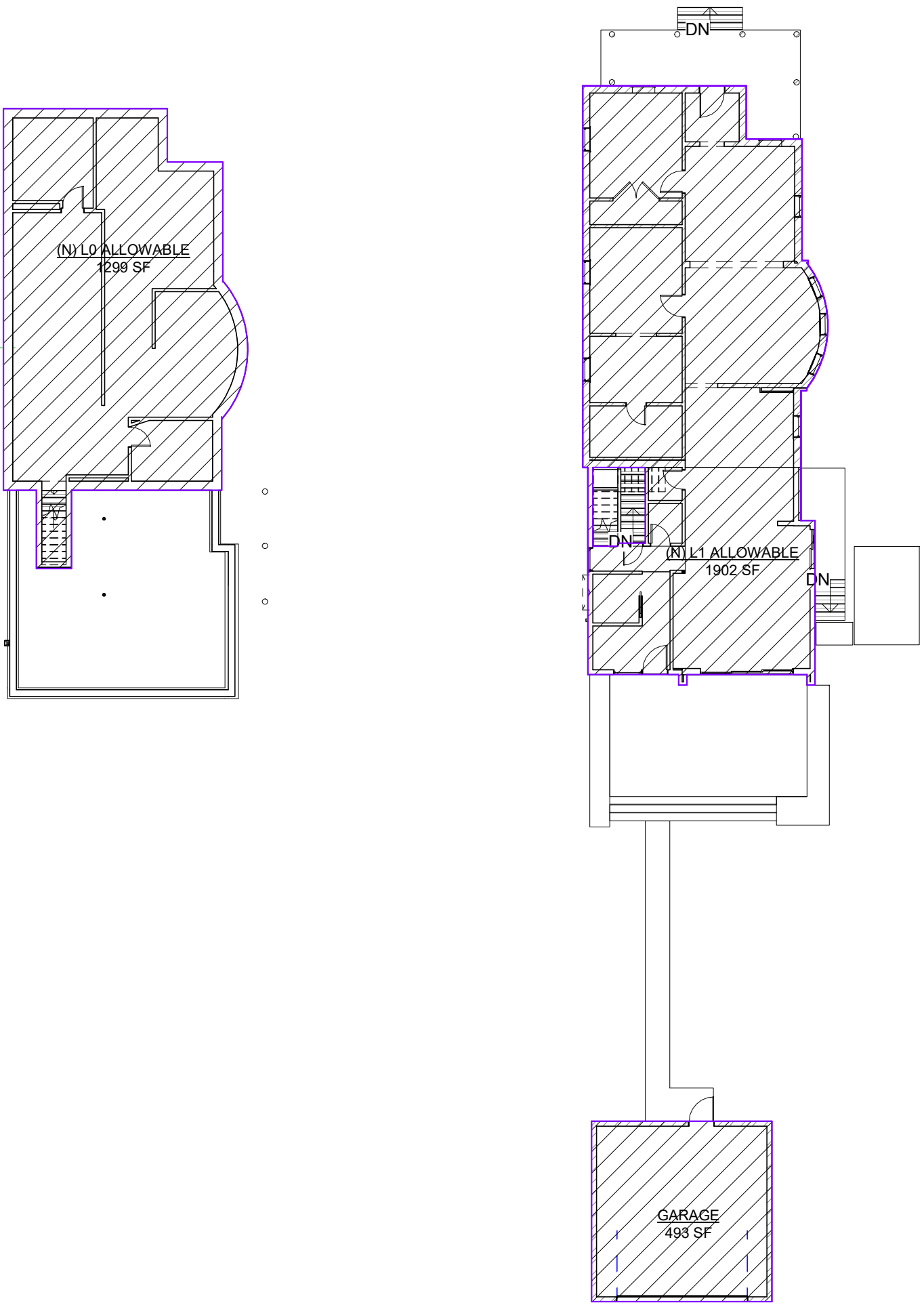


GROSS BUILDING AREA - (N) LEVEL 1
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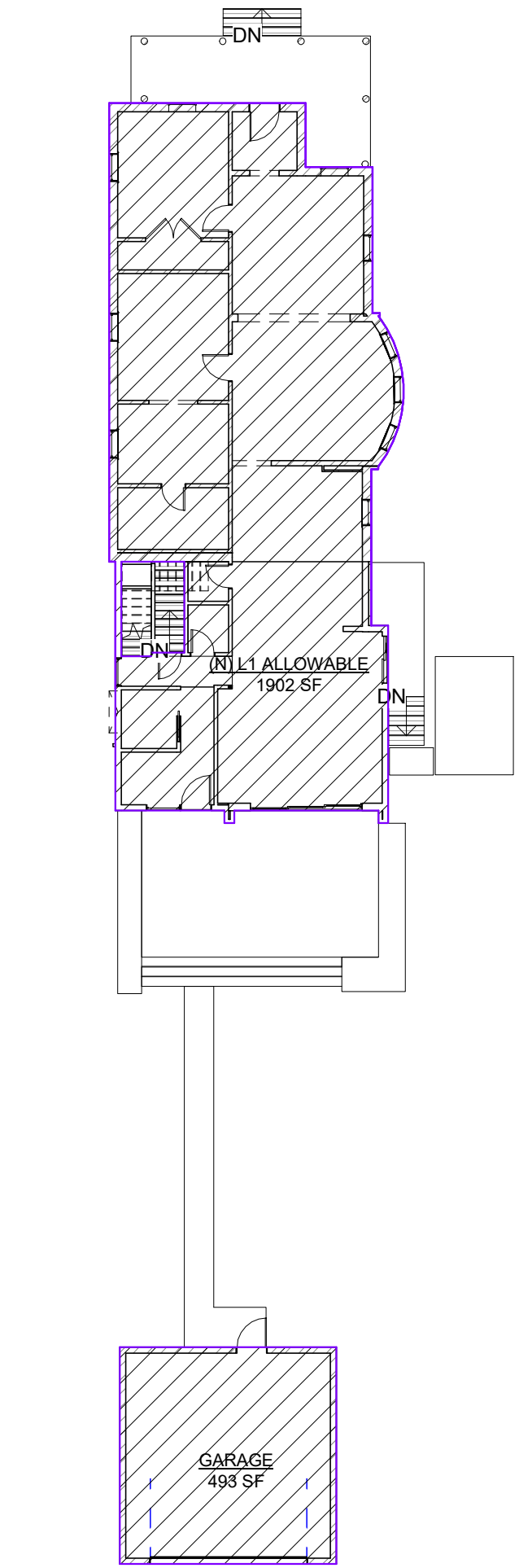


GROSS BUILDING AREA -(N) LEVEL 2
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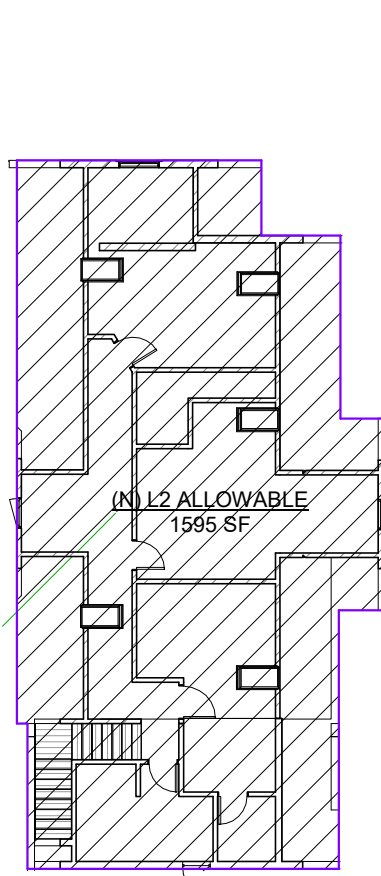
PROPOSED GROSS BUILDING AREA		
Name		Area
(N) L0 GROSS		1299 SF
(N) L1 GROSS		1902 SF
(N) L2 GROSS		1595 SF
GARAGE		493 SF
Total Area:		5289 SF



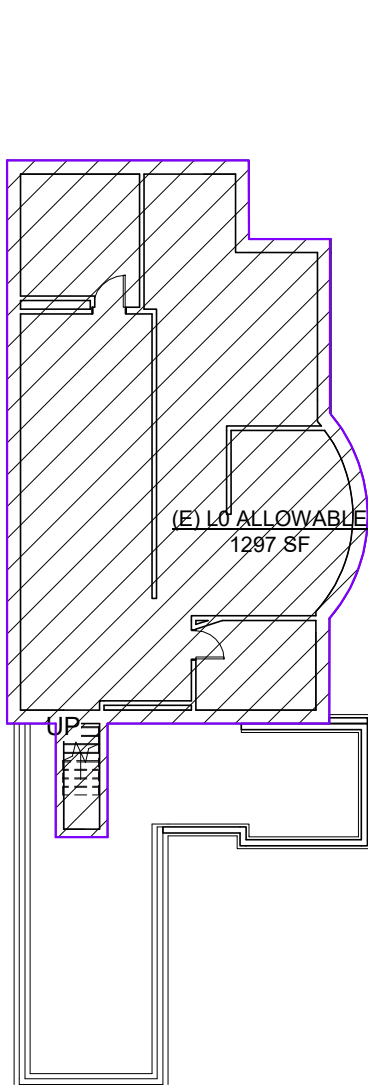
ALLOWABLE AREA - (N) LEVEL 0
1/16" = 1'-0"



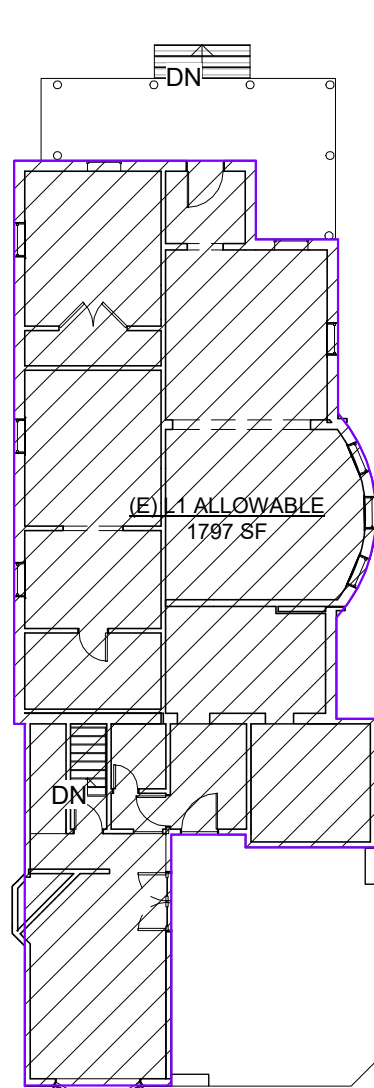
ALLOWABLE AREA - (N) LEVEL 1
1/16" = 1'-0"



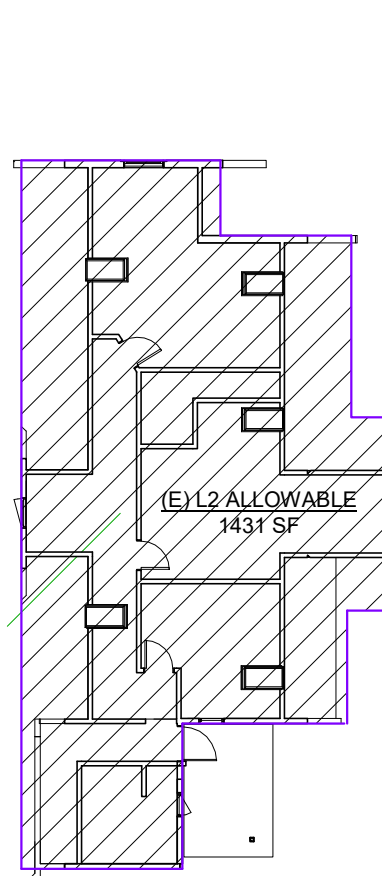
ALLOWABLE AREA- (N) LEVEL 2
1/16" = 1'-0"



ALLOWABLE AREA- (E) LEVEL 0
1/16" = 1'-0"



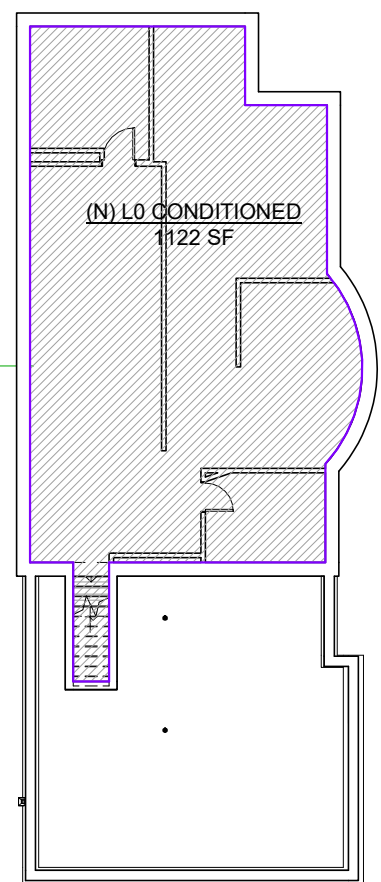
ALLOWABLE AREA - (E) LEVEL 1
1/16" = 1'-0"



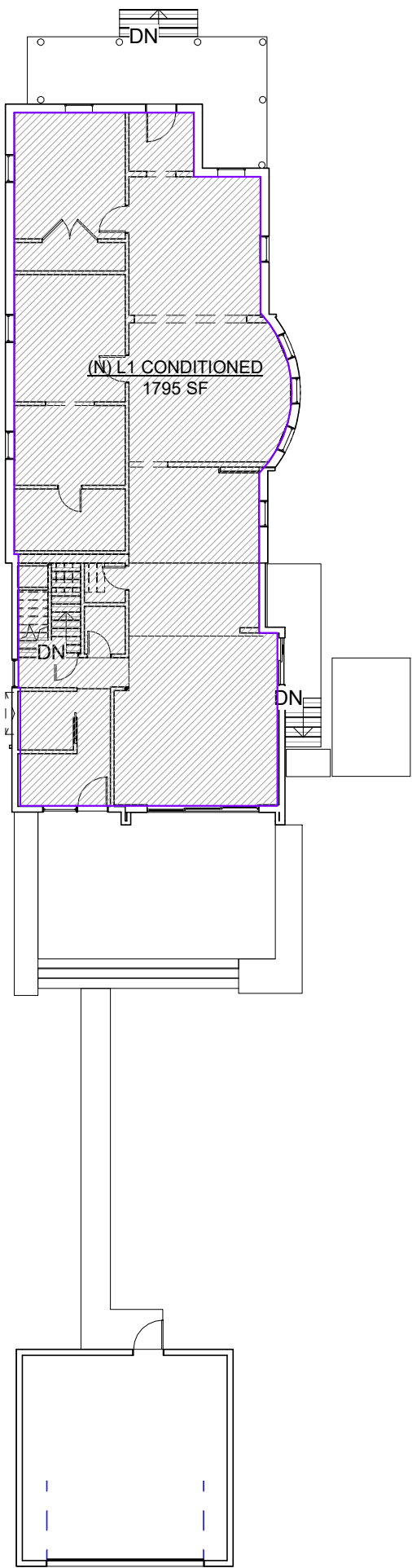
ALLOWABLE AREA- (E) LEVEL 2
1/16" = 1'-0"

EXISTING ALLOWABLE AREA			
Name	Area	% Counted	Allowable Area
(E) L0 ALLOWABLE	1297 SF	0.00%	0 SF
(E) L1 ALLOWABLE	1797 SF	100.00%	1797 SF
(E) L2 ALLOWABLE	1431 SF	100.00%	1431 SF
GARAGE	493 SF	100.00%	493 SF
Total Area:			3,690 SF

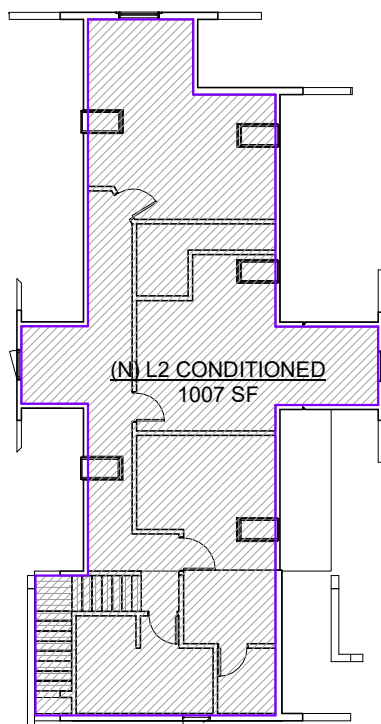
PROPOSED ALLOWABLE AREA			
Name	Area	% Counted	Allowable Area
(N) L0 ALLOWABLE	1299 SF	0.00%	0 SF
(N) L1 ALLOWABLE	1902 SF	100.00%	1902 SF
(N) L2 ALLOWABLE	1595 SF	100.00%	1595 SF
GARAGE	493 SF	100.00%	493 SF
Total Area:			3,997 SF



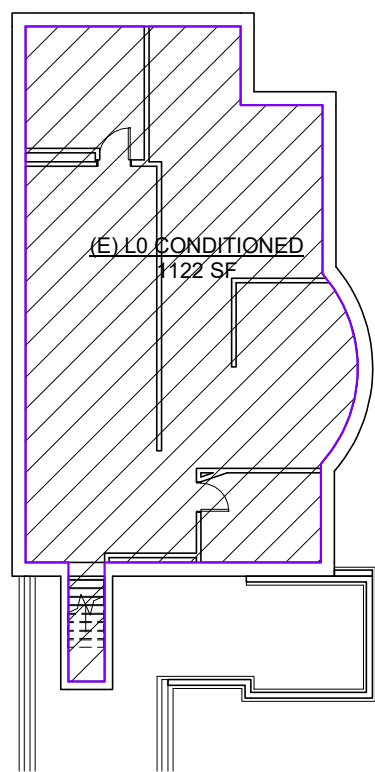
CONDITIONED AREA - (N) LEVEL 0
1/16" = 1'-0"



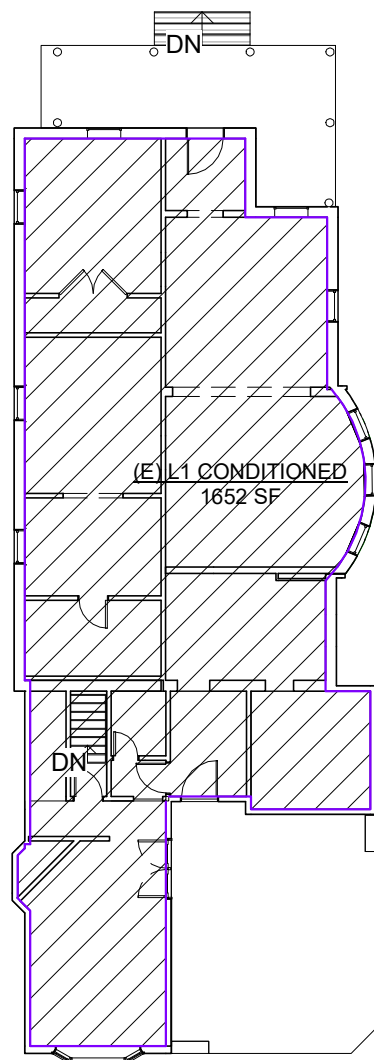
CONDITIONED AREA - (N) LEVEL 1
1/16" = 1'-0"



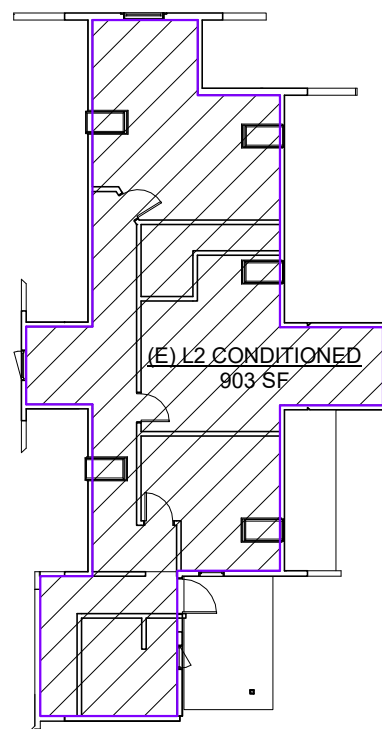
CONDITIONED AREA- (N) LEVEL 2
1/16" = 1'-0"



CONDITIONED AREA - (E) LEVEL 0
1/16" = 1'-0"



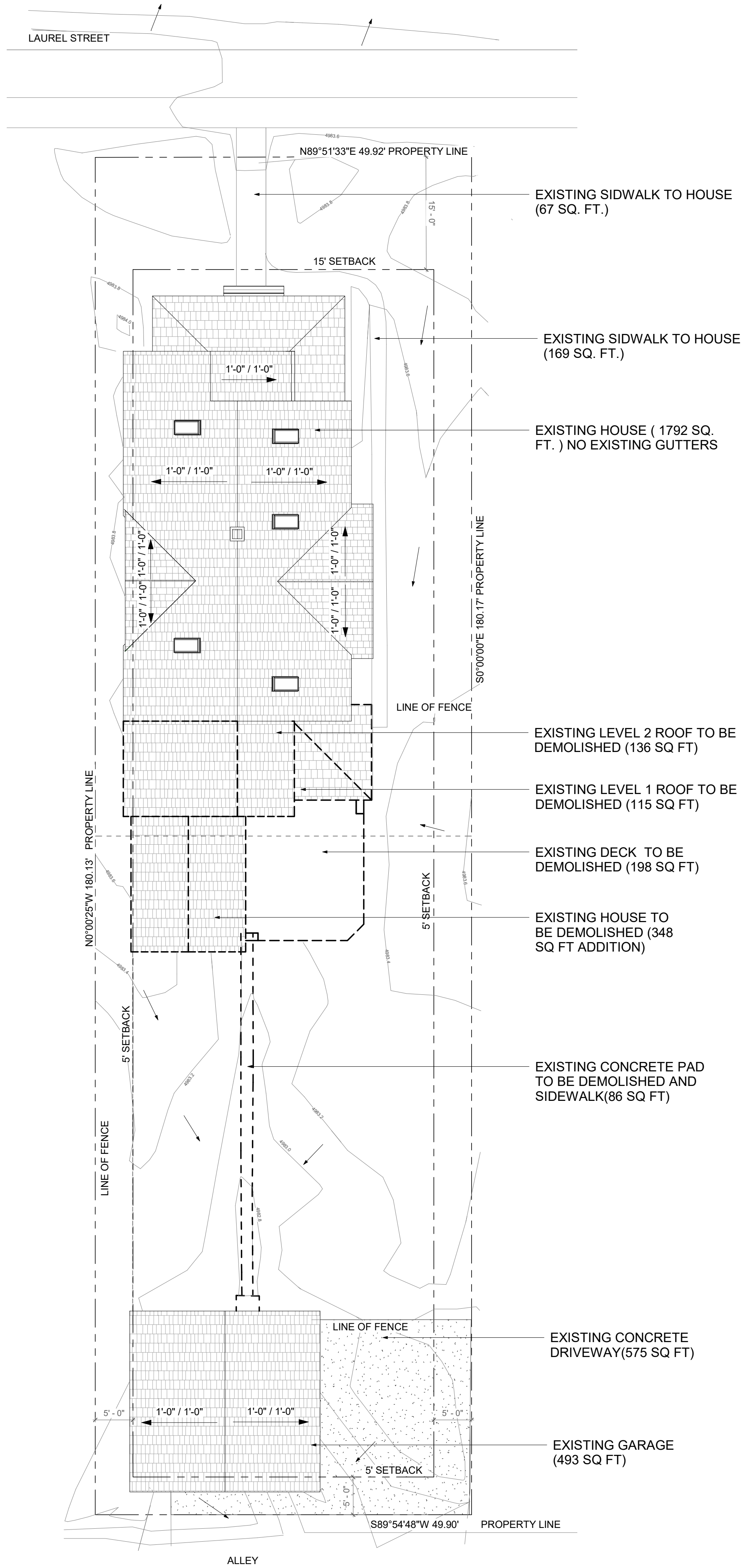
CONDITIONED AREA - (E) LEVEL 1
1/16" = 1'-0"



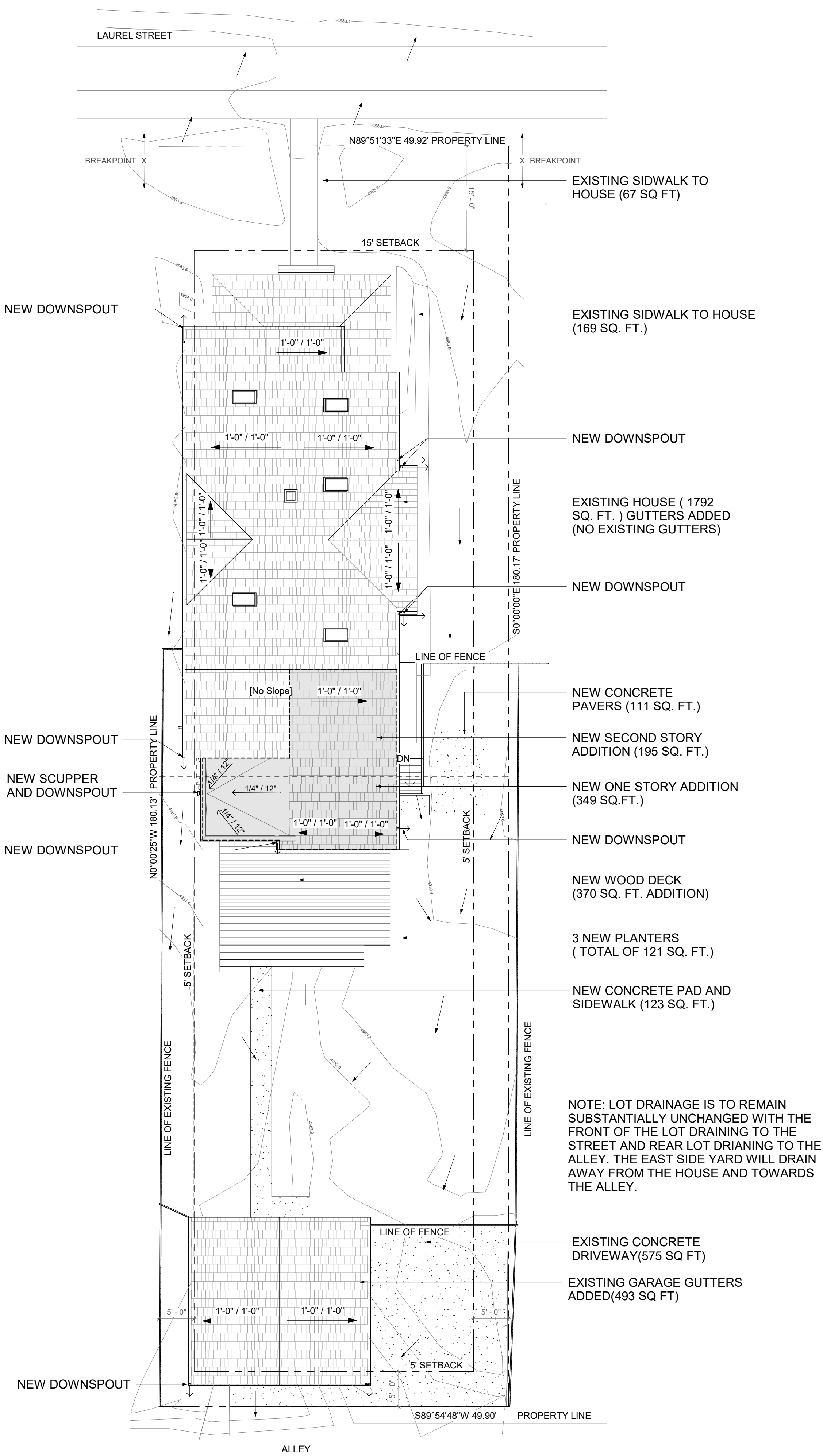
CONDITIONED AREA- (E) LEVEL 2
1/16" = 1'-0"

EXISTING CONDITIONED AREA	
Name	Area
(E) L0 CONDITIONED	1122 SF
(E) L1 CONDITIONED	1652 SF
(E) L2 CONDITIONED	903 SF
Total Area:	3678 SF

PROPOSED CONDITIONED AREA	
Name	Area
(N) L0 CONDITIONED	1122 SF
(N) L1 CONDITIONED	1795 SF
(N) L2 CONDITIONED	1007 SF
Total Area:	3925 SF



↑ 1 EXISTING IMPERVIOUS COVERAGE
1" = 10'-0"



↑ 2 PROPOSED IMPERVIOUS COVERAGE
1" = 10'-0"

EXISTING IMPERVIOUS SITE CALCULATIONS

ZONE: MED. DENSITY DISTRICT
LOT SIZE: 8,987 SQ. FT. (ISP SURVEY)

EXISTING IMPERVIOUS AREA TO REMAIN:

EXISTING HOUSE: 1,792 SQ. FT.
EXISTING SIDEWALK: 67 SQ. FT.
EXISTING SIDEWALK: 169 SQ. FT.
EXISTING DRIVEWAY PAD: 575 SQ. FT.
EXISTING GARAGE: 493 SQ. FT.

TOTAL: 3,096 SQ. FT.

EXISTING IMPERVIOUS AREA TO BE DEMOLISHED:

EXISTING LEVEL 2 ROOF: 136 SQ. FT.
EXISTING LEVEL 1 ROOF: 115 SQ. FT.
EXISTING LEVEL 1 ROOF: 348 SQ. FT.
EXISTING SIDEWALK FROM GARAGE: 86 SQ. FT.

TOTAL: 685 SQ. FT.

TOTAL EXISTING IMPERVIOUS AREA: 3,781 SQ. FT.

PROPOSED IMPERVIOUS SITE CALCULATIONS

EXISTING IMPERVIOUS AREA TO REMAIN:

EXISTING HOUSE: 1,792 SQ. FT.
EXISTING SIDEWALK: 67 SQ. FT.
EXISTING SIDEWALK: 169 SQ. FT.
EXISTING DRIVEWAY PAD: 575 SQ. FT.
EXISTING GARAGE: 493 SQ. FT.

TOTAL: 3,096 SQ. FT.

PROPOSED IMPERVIOUS AREA:

PROPOSED LEVEL 2 ROOF: 195 SQ. FT.
PROPOSED LEVEL 1 ROOF: 349 SQ. FT.
PROPOSED SIDEWALK FROM GARAGE: 123 SQ. FT.
PROPOSED CONCRETE PAVERS: 111 SQ. FT.

TOTAL: 778 SQ. FT.

EXISTING IMPERVIOUS AREA: 3,096 SQ. FT.
PROPOSED IMPERVIOUS AREA: 778 SQ. FT.

TOTAL : 3,874 SQ.FT.

EXISTING IMPERVIOUS : 3,781 SQ. FT.
PROPOSED IMPERVIOUS: 3,874 SQ. FT.

TOTAL NEW IMPERVIOUS: 93 SQ. FT.

PROPOSED FLOOR AREA CALCULATIONS

BASEMENT (EXCLUDED)	1299 SQ. FT.
PROPOSED LEVEL 1:	1902 SQ. FT.
PROPOSED LEVEL 2 :	1595 SQ. FT.
PROPOSED LEVEL 1 (OVER 14' CLG. HEIGHT):	141 SQ. FT.
GARAGE:	493 SQ. FT.

TOTAL PROPOSED AREA: 4,131 SQ. FT.

ALLOWABLE FLOOR AREA:	3,246 SQ. FT.
DETACHED ACCESSORY BLDG.	+250 SQ. FT.
ZONING REQUEST APPROVAL 04/08/2021:	+295 SQ. FT.
ZONING REQUEST APPROVAL 07/08/2021:	+141 SQ. FT.
ZONING REQUEST APPROVAL 07/08/2021:	+199 SQ. FT.

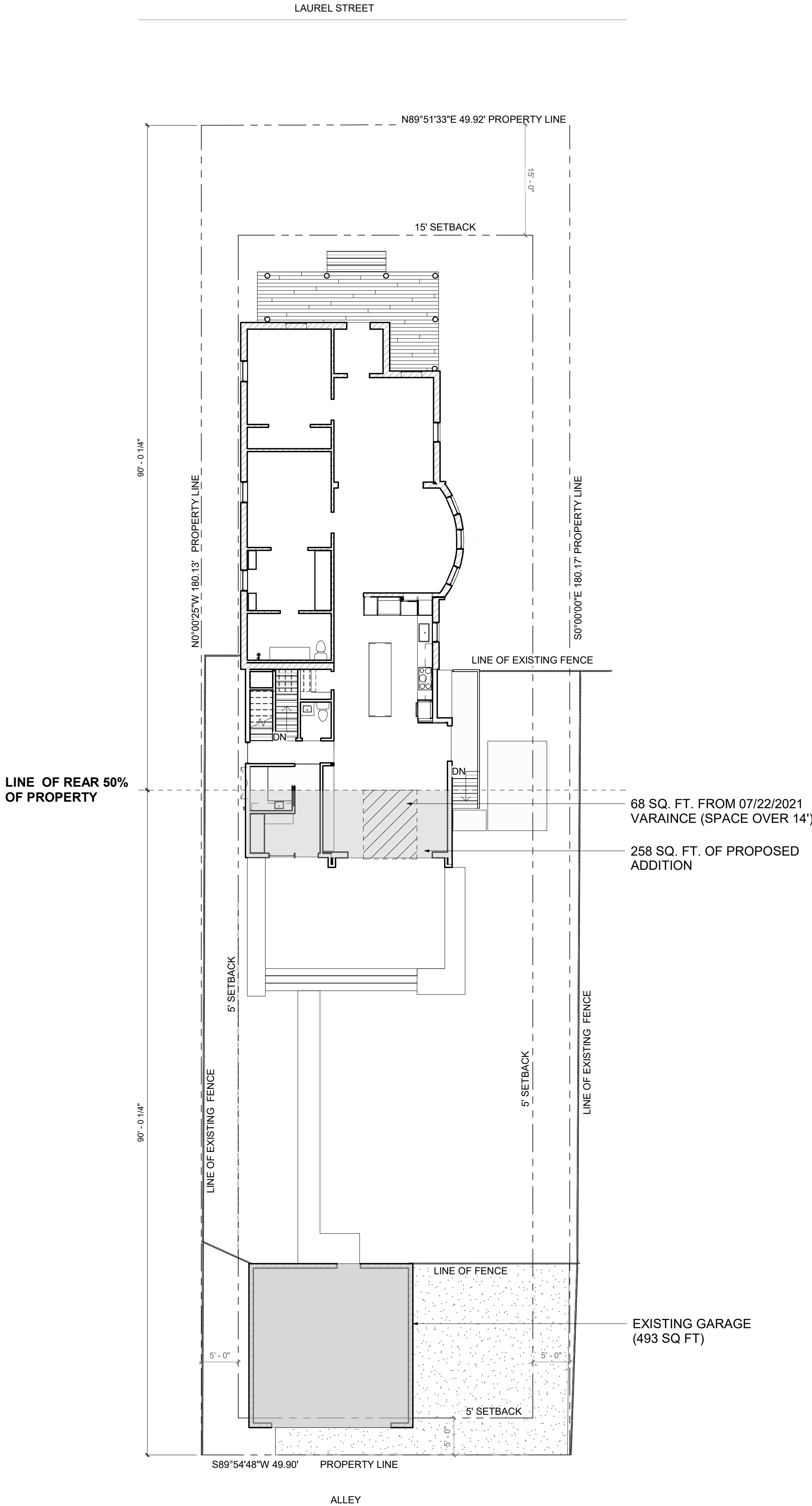
TOTAL ALLOWABLE FLOOR AREA: 4,131 SQ. FT.

ALLOWABLE FLOOR AREA ON REAR HALF OF LOT

TOTAL PROPOSED AREA: 4,131 SQ. FT.
33% OF 4,131 SQ. FT. 1,363 SQ. FT.

BASEMENT (EXCLUDED)	0 SQ. FT.
PROPOSED LEVEL 1:	258 SQ. FT.
PROPOSED LEVEL 1 (OVER 14' CLG. HEIGHT):	68 SQ. FT.
GARAGE:	493 SQ. FT.

TOTAL REAR HALF FLOOR AREA: 719 SQ. FT.



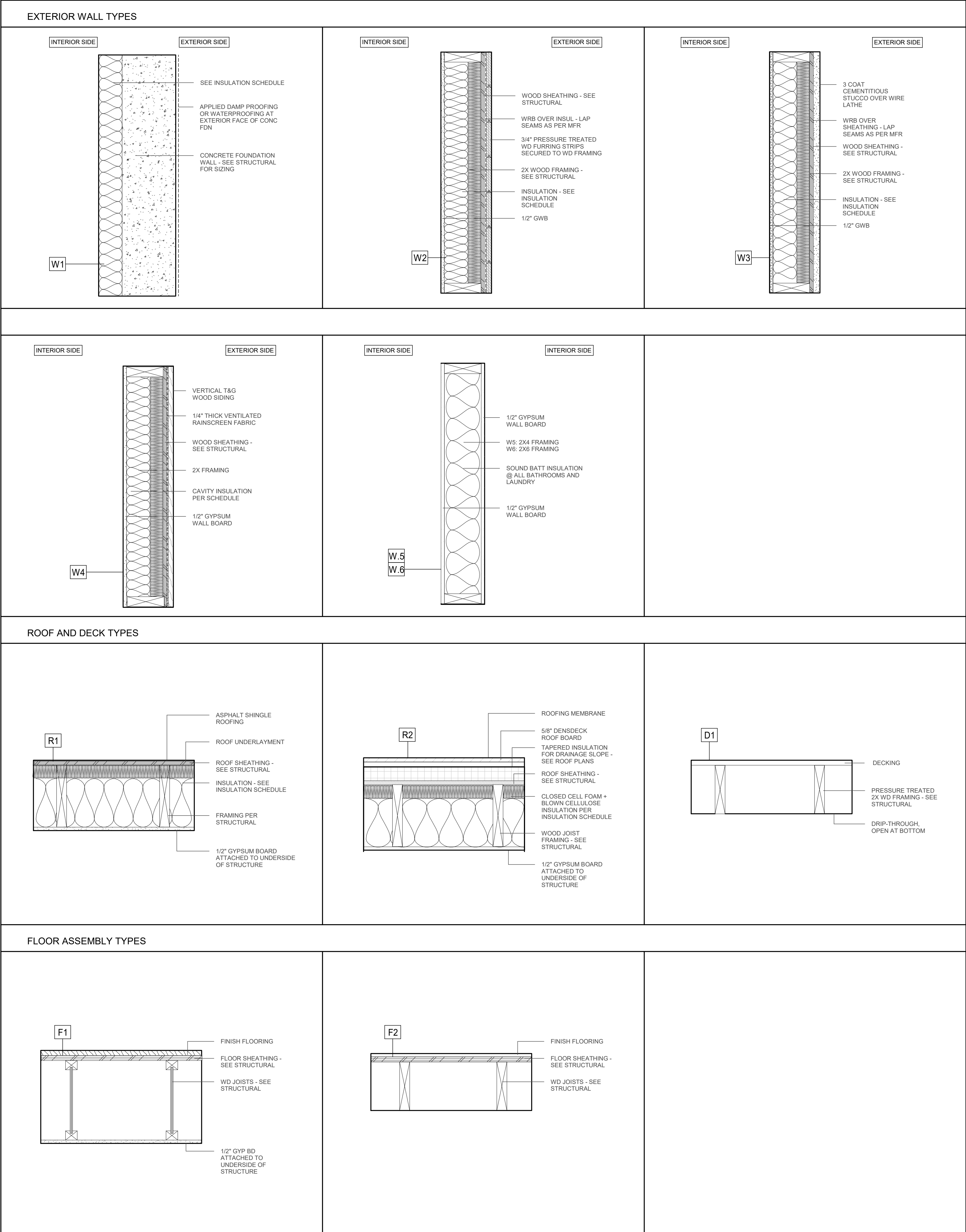
1 REAR 50% OF PROPERTY AREA
1" = 10'-0"

PERMIT SET

1 PERMIT SET 10.08.2021

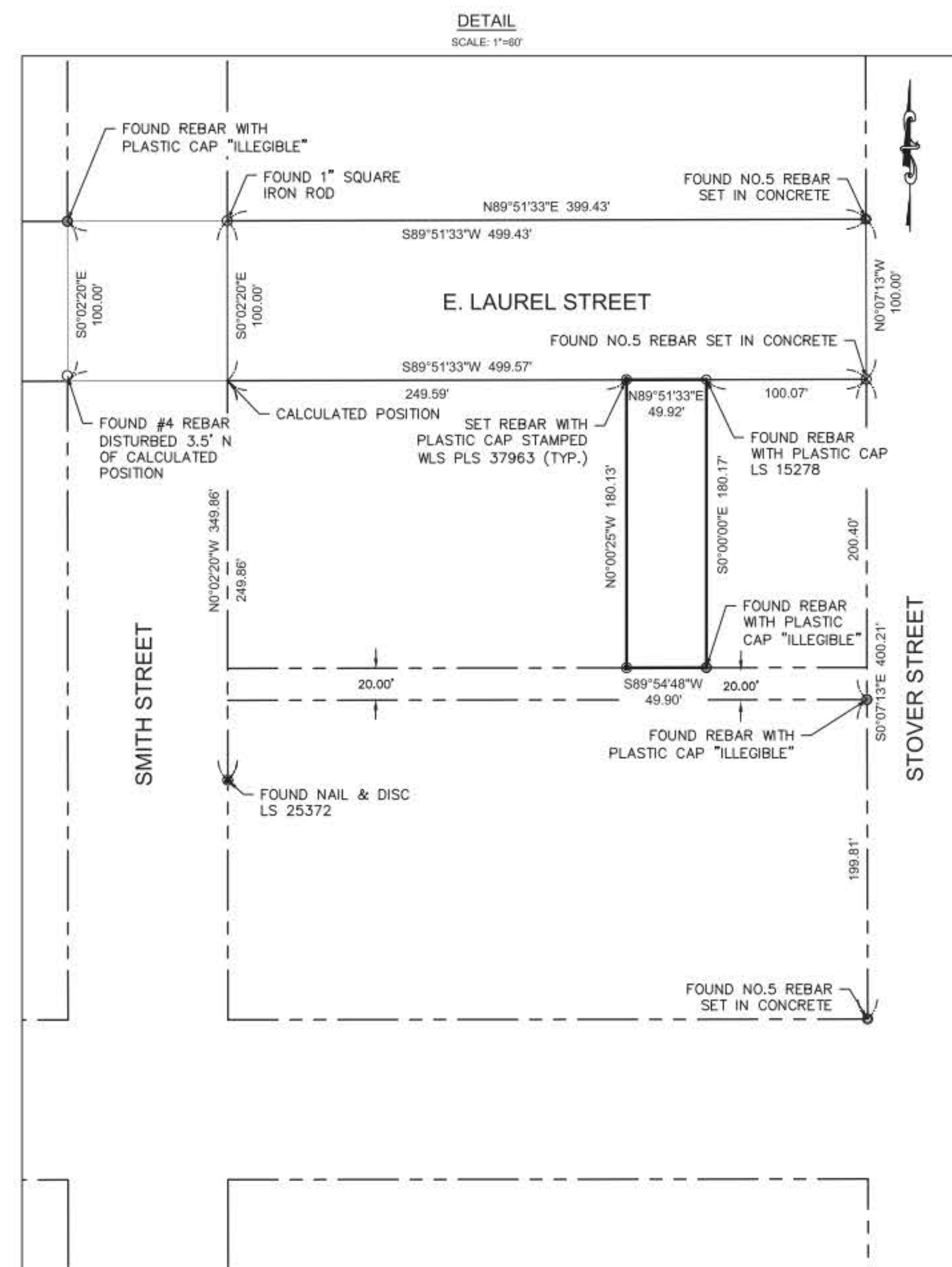
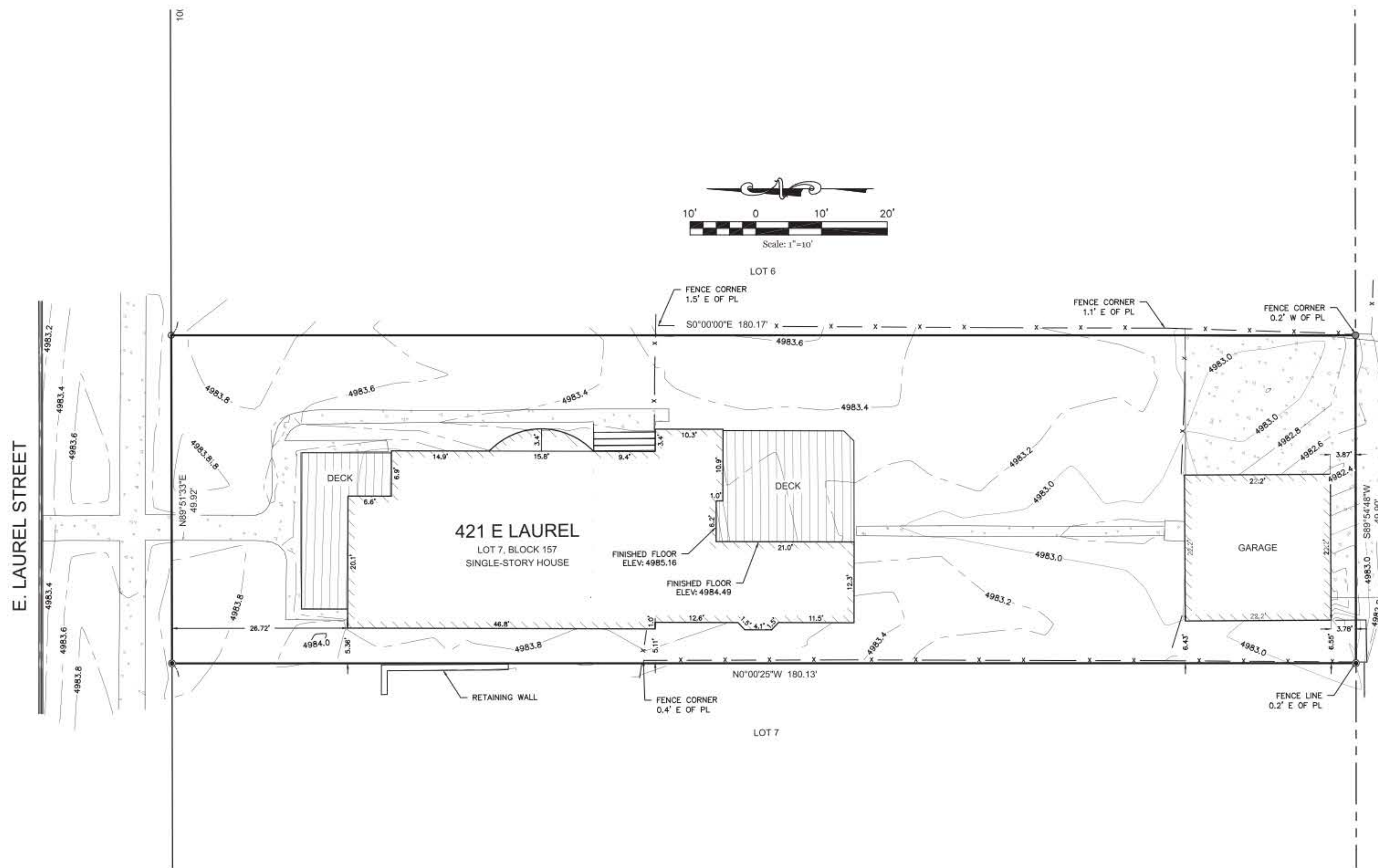
SITE
DIAGRAMS

G0.6



IMPROVEMENT SURVEY PLAT

LOT 7, BLOCK 157, GALLIGAN'S SUBDIVISION, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO



DESCRIPTION:

LOT 7, BLOCK 157, CITY OF FORT COLLINS, ACCORDING TO GALLIGAN'S SUBDIVISION PLAT FILED JANUARY 16, 1905, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

GENERAL NOTES:

1. DEFINITION: CERTIFY, CERTIFICATION - A PROFESSIONAL'S OPINION BASED ON HIS OR HER OBSERVATION OF CONDITIONS, KNOWLEDGE, INFORMATION AND BELIEFS. IT IS EXPRESSLY UNDERSTOOD THAT THE PROFESSIONAL'S CERTIFICATION OF A CONDITIONS EXISTENCE RELIEVES NO OTHER PARTY OF ANY RESPONSIBILITY OR OBLIGATION HE OR SHE HAS ACCEPTED BY CONTRACT OR CUSTOM.
2. PER C.R.S. 18-04-508, ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR.
3. ALL REFERENCES HEREON TO BOOKS, PAGES, MAPS AND RECEPTION NUMBERS ARE PUBLIC DOCUMENTS FILED IN THE RECORDS OF LARIMER COUNTY, COLORADO.
4. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
5. THE BASIS OF BEARINGS IS THE EAST LINE OF BLOCK 157, CITY OF FORT COLLINS AND IS MONUMENTED AS SHOWN HEREON.
6. THE LAST FIELD INSPECTION OF THIS SITE WAS ON JANUARY 26, 2021.
7. PER C.R.S. 38-51-106, "ALL LINEAL UNITS DEPICTED ON THIS LAND SURVEY PLAT ARE U.S. SURVEY FEET. ONE METER EQUALS 39.37/12 U.S. SURVEY FEET, EXACTLY ACCORDING TO THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY."
8. VERTICAL DATUM: NAVD 88 BASED ON GPS OBSERVATION OF CITY OF FORT COLLINS BENCHMARK 28-97. ELEVATION = 4978.01
9. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY WASHBURN LAND SURVEYING, LLC. EASEMENTS AND OR RIGHTS-OF-WAYS ARE SHOWN PER THE PLAT OF GALLIGAN'S SUBDIVISION. NO OTHER EASEMENTS OR RIGHT-OF-WAYS WERE RESEARCHED OR SHOWN BY THE CLIENTS REQUEST.

LEGEND

- FOUND MONUMENT AS NOTED
- FOUND REBAR WITH PLASTIC CAP 'ILLEGIBLE'
- FOUND REBAR 2INCH ALUM CAP
- FOUND REBAR WITH CAP AS NOTED
- FOUND NAIL AND DISC AS NOTED
- SET REBAR WITH PLASTIC CAP STAMPED WLS PLS 37963

LINE-TYPES AND HATCHING

- EASEMENT
- RIGHT-OF-WAY
- RIGHT-OF-WAY CENTERLINE
- LOT LINE
- PARCEL LINE
- CONCRETE

SURVEYOR'S STATEMENT

I, CHAD R. WASHBURN, A PROFESSIONAL LAND SURVEYOR, IN THE STATE OF COLORADO, HEREBY STATE THAT THIS IMPROVEMENT SURVEY PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IS BASED MY KNOWLEDGE, INFORMATION AND BELIEF. THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.



CHAD R. WASHBURN, PROFESSIONAL LAND SURVEYOR
COLORADO PLS 37963
FOR AND ON BEHALF OF
WASHBURN LAND SURVEYING, LLC.



www.WashburnSurveying.com
4025 Automation Way, Suite C4
Fort Collins, CO 80525
970-232-9645

Sheet 1 of 1 Project #: 2021-0004 Date: February 24, 2021 Scale: 1"=10' Drawn: CDB

NOTICE

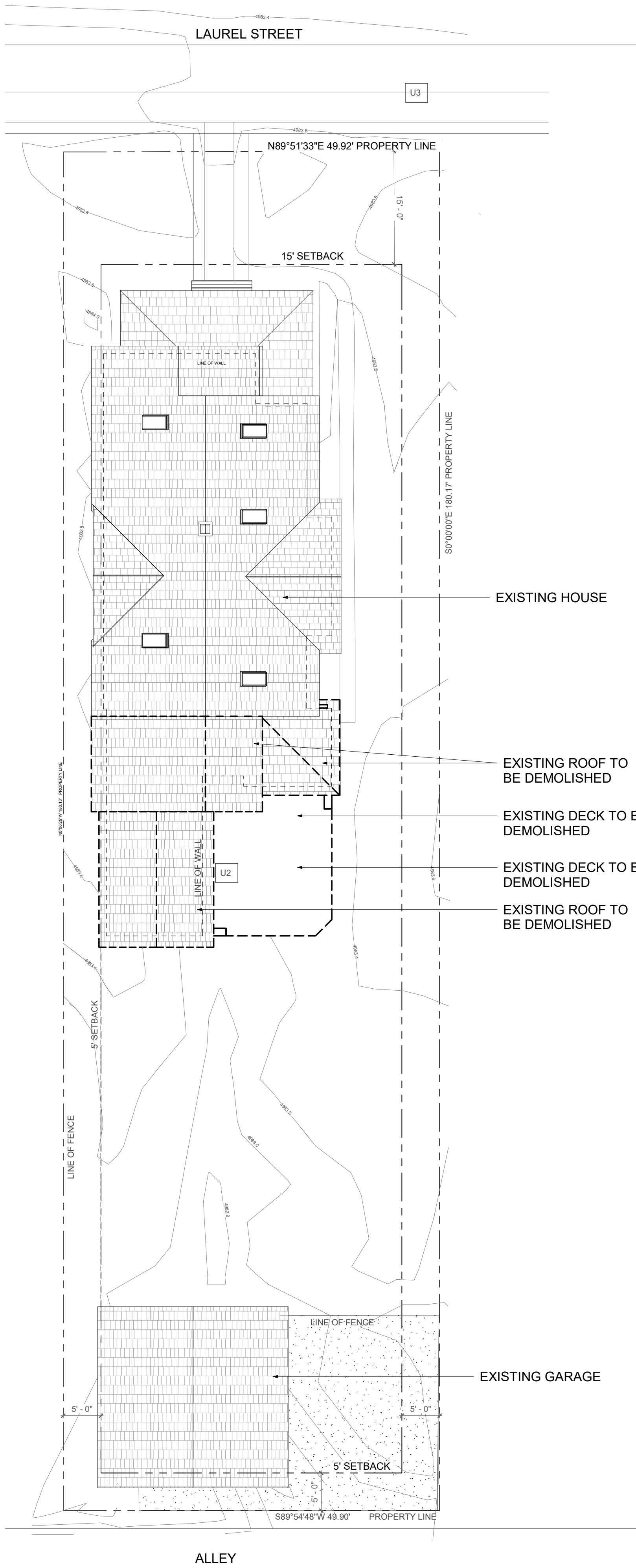
ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS AFTER THE DATE OF CERTIFICATION.

PERMIT SET

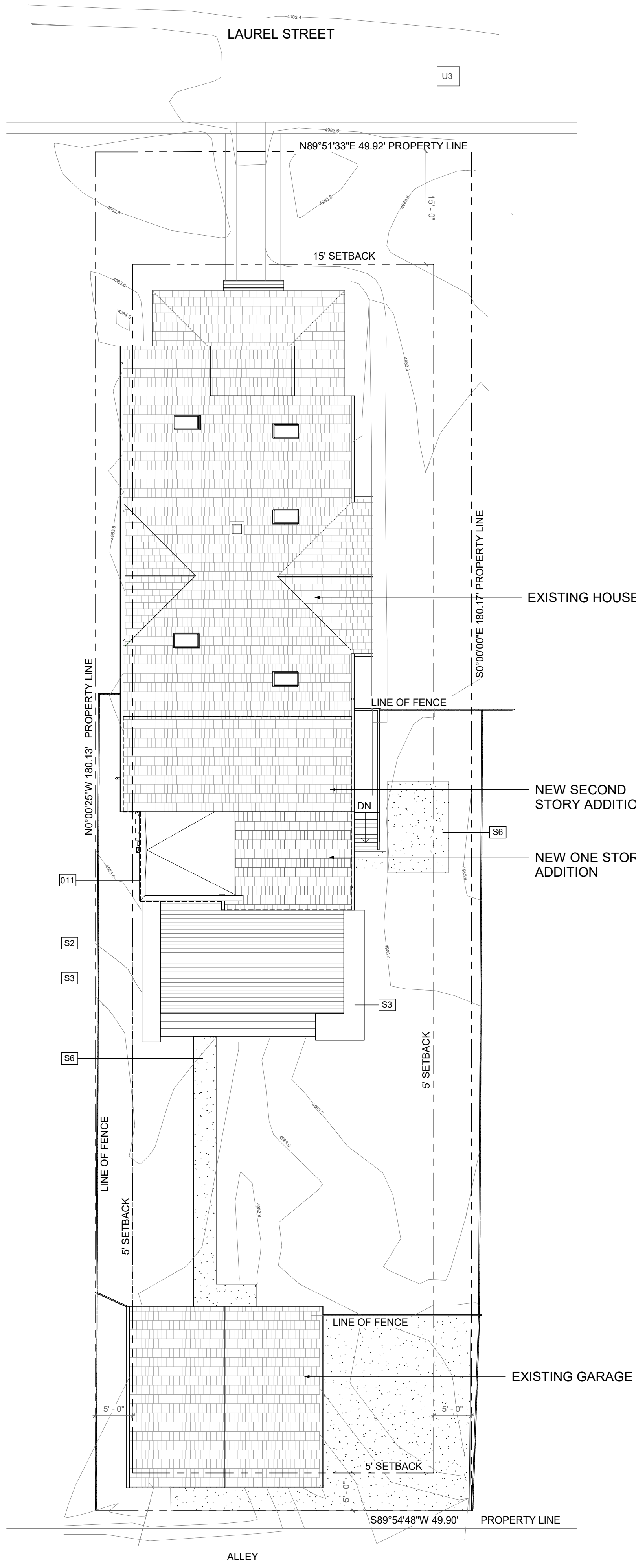
1 PERMIT SET 10.08.2021

SITE SURVEY

V1.0



↑2 EXISTING SITE PLAN
1" = 10'-0"



↑1 SITE PLAN W/ PROPOSED ADDITION
1" = 10'-0"

SITE PLAN NOTES

- 1 SEE SITE DRAINAGE ON G.05
- 2 REFER TO ROOF PLAN FOR ROOF DRAINAGE & DOWNSPOUT LOCATIONS.
- S1 NEW GRADE-LEVEL PAVERS PATIO
- S2 NEW DRIP-THROUGH DECK. SEE STRUCTURAL
- S3 NEW PLANTERS
- S4 NE CONCRETE PAVERS
- S5 NEW WOOD STEPS TO GRADE
- S6 NEW CONCRETE SIDEWALK TO GARAGE
- S7 EXISTING PRIVACY FENCE- WOOD
- U1 EXISTING GAS METER
- U2 TO BE REPLACED AND RELOCATED. NEW PANEL TO BE LOCATED ON WEST ELEVATION. UPGRADE TO 200 AMPS. ELECTRIC LINES ARE BURIED
- U3 EXISTING WATER METER

DEMO NOTES

- 1 PROTECT ALL ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- 2 EXISTING EXTERIOR DOORS & WINDOWS TO BE REMOVED AND REPLACED AS INDICATED.
- 3 EXISTING EXTERIOR WALLS AND STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE
- 4 EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED
- 5 EXISTING CASEWORK, PLUMBING FIXTURES, AND APPLIANCES TO BE REMOVE AS NOTED

E Laurel Residence

421 E Laurel Street
Fort Collins, CO 80524

NOT FOR
CONSTRUCTION

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PERMIT SET

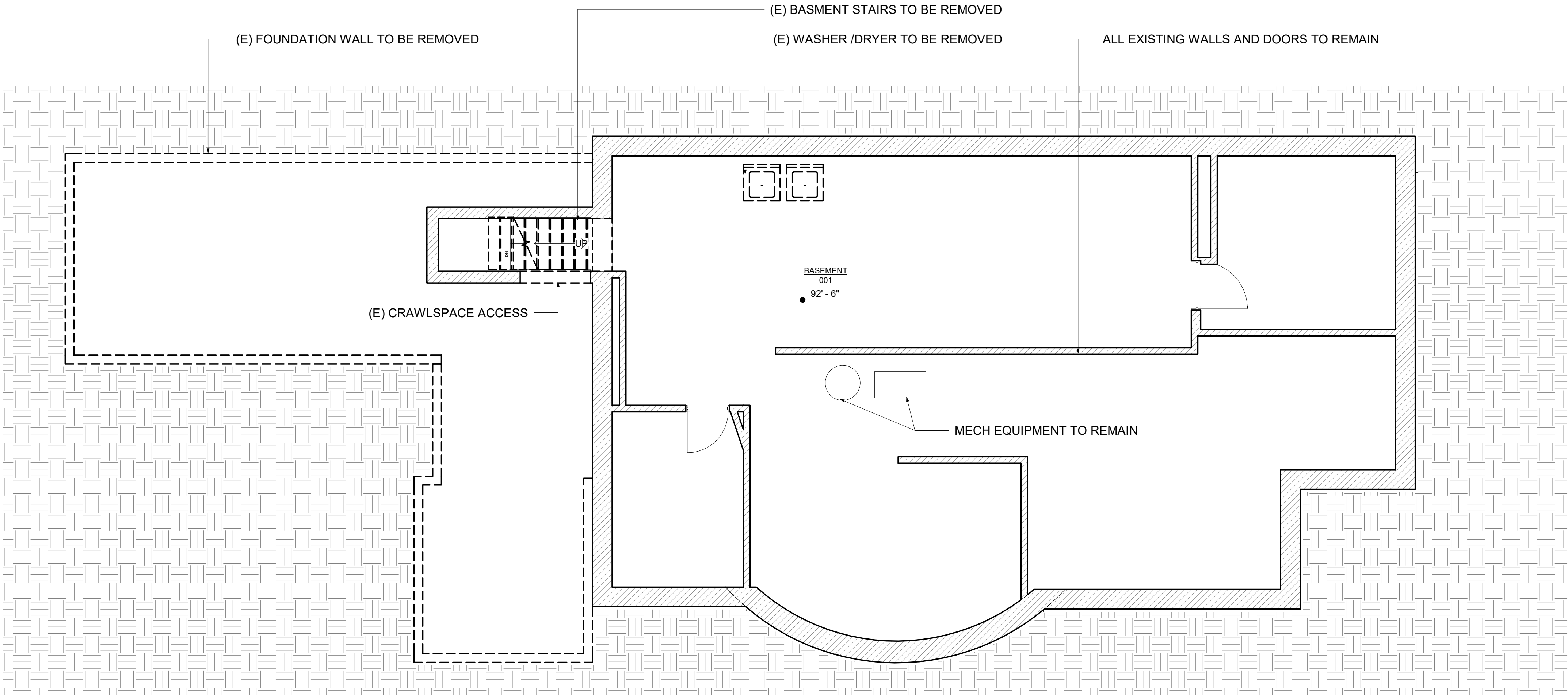
1 PERMIT SET 10.08.2021

SITE PLAN

A1.0

DEMO NOTES

1. PROTECT ALL ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
2. EXISTING EXTERIOR DOORS & WINDOWS TO BE REMOVED AND REPLACED AS INDICATED.
3. EXISTING EXTERIOR WALLS AND STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE.
4. EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED
5. EXISTING CASEWORK, PLUMBING FIXTURES, AND APPLIANCES TO BE REMOVE AS NOTED



1 (D) LEVEL 0 PLAN
1/4" = 1'-0"

PERMIT SET

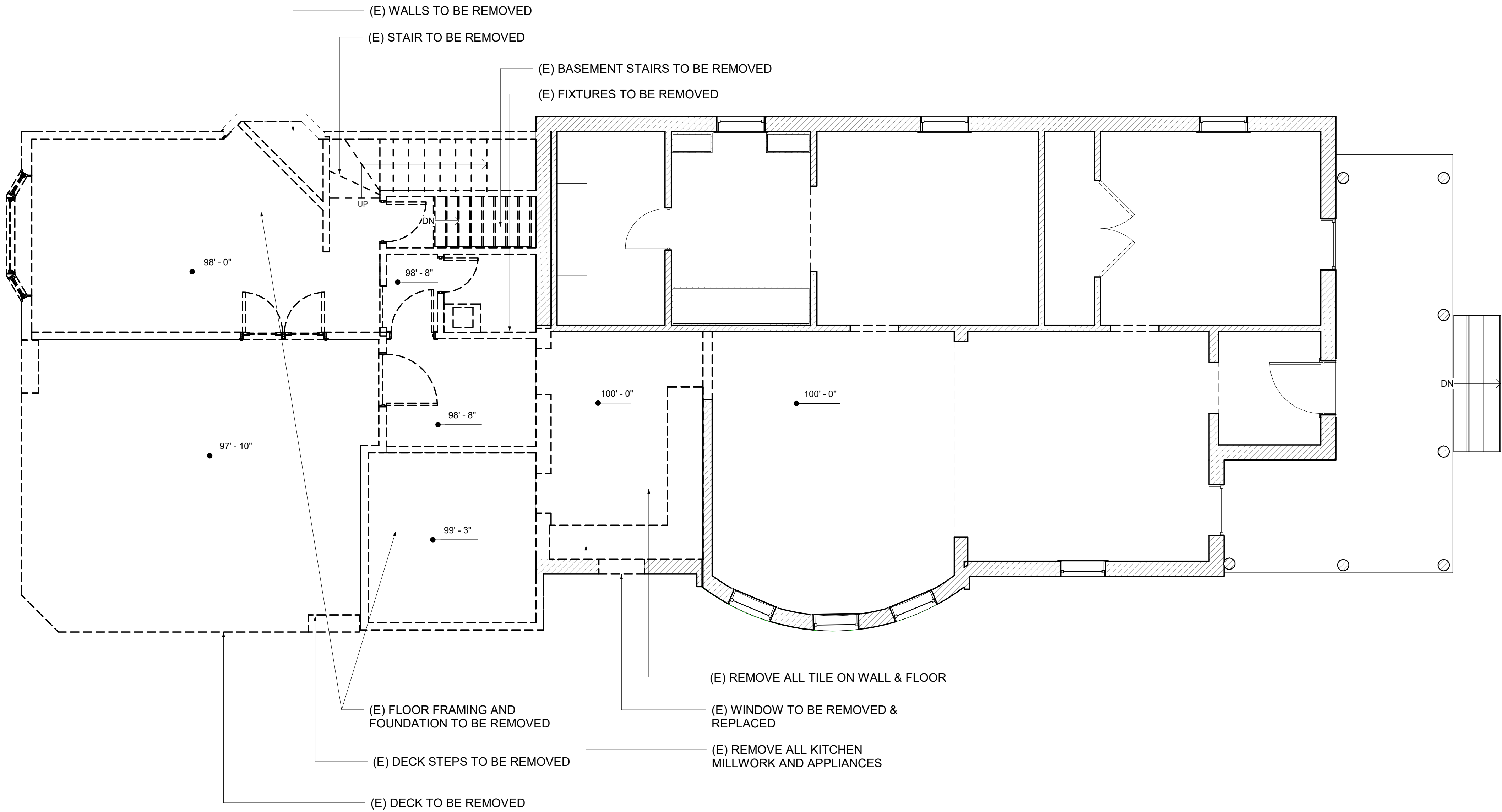
1 PERMIT SET 10.08.2021

(D) LEVEL 0
FLOOR PLAN

A2.0

DEMO NOTES

1. PROTECT ALL ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
2. EXISTING EXTERIOR DOORS & WINDOWS TO BE REMOVED AND REPLACED AS INDICATED.
3. EXISTING EXTERIOR WALLS AND STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE.
4. EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED
5. EXISTING CASEWORK, PLUMBING FIXTURES, AND APPLIANCES TO BE REMOVE AS NOTED



1 (D) LEVEL 1 PLAN
1/4" = 1'-0"

PERMIT SET

1 PERMIT SET 10.08.2021

(D) LEVEL 1
FLOOR PLAN

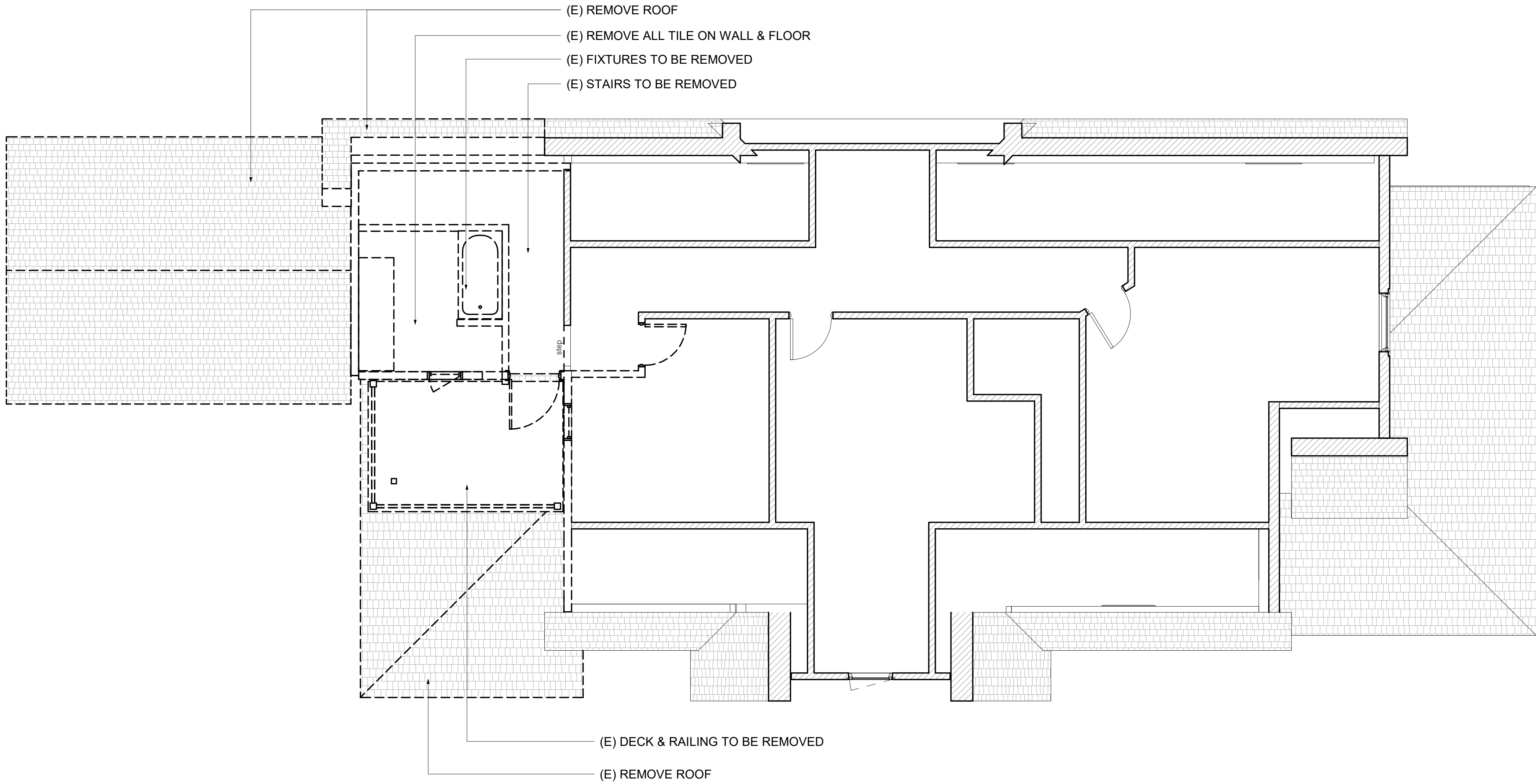
A2.1

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CONSTRUCTION

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DEMO NOTES

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- 2 EXISTING EXTERIOR DOORS & WINDOWS TO BE REMOVED AND REPLACED AS INDICATED.
- 3 EXISTING EXTERIOR WALLS AND STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE.
- 4 EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED
- 5 EXISTING CASEWORK, PLUMBING FIXTURES, AND APPLIANCES TO BE REMOVE AS NOTED



1 (D) LEVEL 2 PLAN
1/4" = 1'-0"

PERMIT SET

1 PERMIT SET 10.08.2021

(D) LEVEL 2
FLOOR PLAN

A2.2

MECHANICAL, VENTILATION, & UTILITIES

- M3.1 VENT HOODS; PROVIDE POWER & MAKE UP AIR FOR VENT HOODS OVER 300 CFM.
- M3.2 EXHAUST VENTING: INSTALL LOCAL EXHAUST SYSTEMS PER R303.3 AS INDICATED IN REFLECTED CEILING PLANS AND AT ALL BATHS WITHOUT OPERABLE WINDOWS, TYP. SYSTEMS TO PROVIDE 50cfm CONTINUOUS OR 20cfm INTERMITTENT VENTILATION. TERMINATE ALL EXHAUST VENTS A MINIMUM OF 36" FROM ALL OPERABLE WINDOWS & DOORS, TYPICAL.
- M5.0 ELECTRICAL PANEL
- U4.0 EXISTING GAS METER
- U4.1 EXISTING WATER LINE
- U5.0 NATURAL GAS LINE FOR EXT. BBQ.

BATHROOM NOTES

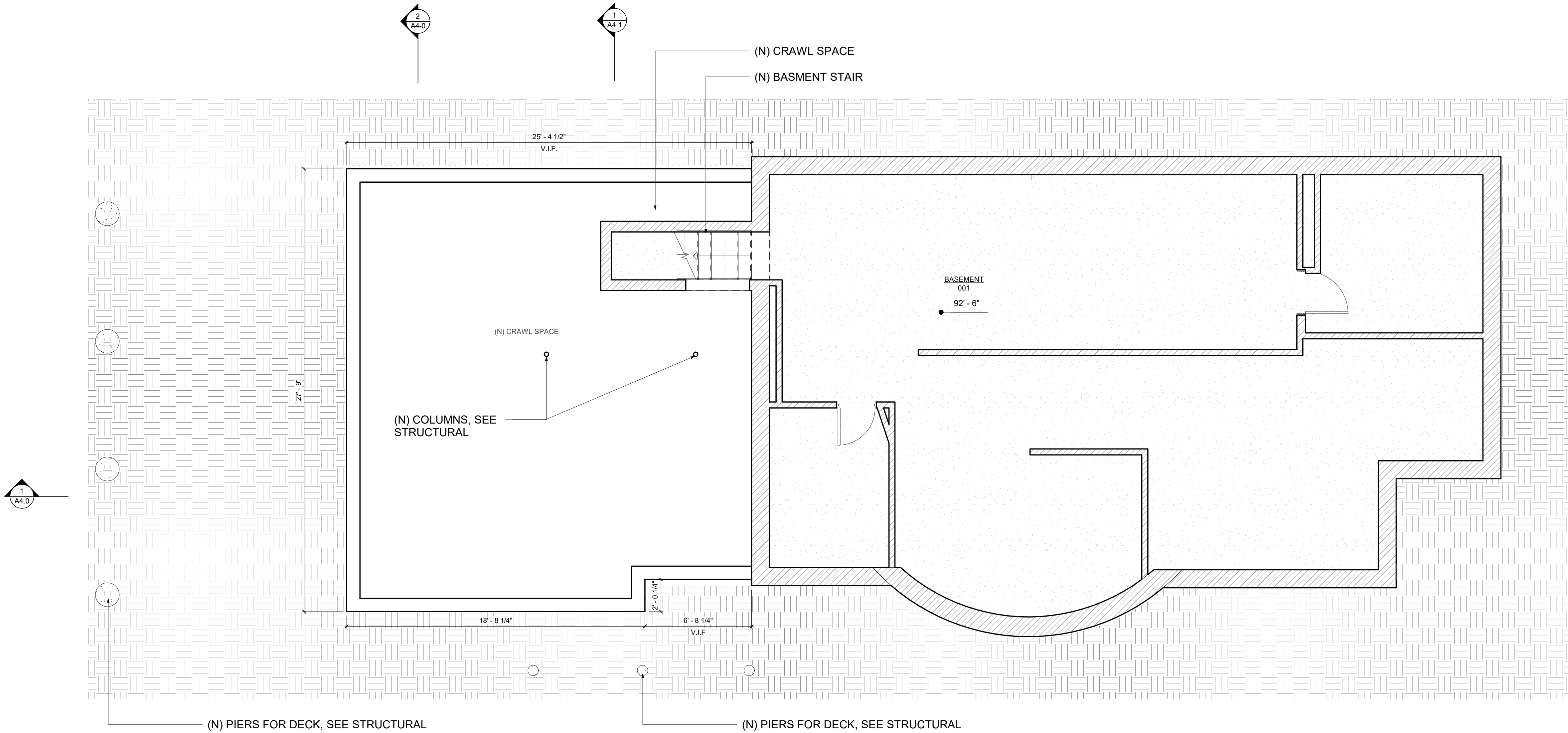
- B01 FAUCET / SHOWER HEAD MAX. FLOW 2.0 GPM. *PROVIDE ACCESS PANEL PER CODE.
- B02 TOILET: LOW FLOW - MAX. 1.28 G.P. FLUSH.
- B05 PROVIDE MOISTURE-RESISTANT GYPSUM WALL BOARD AT BATHS AND ALL OTHER AREAS SUBJECT TO MOISTURE.

CABINETY & MILLWORK

- C00 SEE INTERIOR ELEVATIONS FOR LAYOUT, DIMENSIONS, AND MATERIALS OF CABINETS, SHELVING, WARDROBES, BENCHES, DESKS, ETC; BUILT-IN CABINETS TO BE STAIN-GRADE WOOD UNLESS NOTED OTHERWISE.
- C01 FULL HEIGHT BUILT IN CABINETS W/ HANGING ROD AND STORAGE
- C02 TV MEDIA CABINET
- C03 BUILT-IN APPLIANCE WALL W/ PANEL READY FRIDGE AND APPLIANCE GARAGE

GENERAL PLAN NOTES

- G01 ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE. REFER TO SHEET G0.7 FOR WALL, FLOOR, AND ROOF ASSEMBLY DETAILS.
- G02 REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING SIZES, LAYOUTS, AND CONNECTION DETAILS.
- G03 REFER TO INTERIOR ELEVATIONS & FINISH PLANS FOR FINISH LAYOUTS, TRANSITIONS, DIMENSIONS, AND DETAILS.
- G04 REFER TO REFLECTED CEILING PLANS FOR LIGHTING, ELECTRICAL SWITCHING, AND VENTING INFORMATION.
- G05 REFER TO SCHEDULES/A8.0 FOR ALL WINDOW, DOOR, AND SKYLIGHT SIZING AND SPECIFICATIONS.
- G06 PROVIDE INSULATION PER INSULATION SCHEDULE. ADDITIONAL ENERGY CODE REQUIREMENTS ARE OUTLINED ON SHEETS G0.2.
- G07 PROVIDE MOISTURE-RESISTANT GYPSUM WALL BOARD AT BATHS, KITCHENS, UNCONDITIONED SPACES, AND ALL OTHER AREAS SUBJECT TO MOISTURE.
- G08 NEW RAILINGS: RAILING TO COMPLY WITH THE PROVISIONS OF IRC SECTION R311.7.8 AND SECTION R312.1. REFER TO A7 SERIES SHEETS FOR DETAILS AND DIMENSIONS.
- G09 STAIRWAY: STAIRS TO COMPLY WITH IRC R311.7. REFER TO A7 SERIES SHEETS FOR DETAILS AND DIMENSIONS.
- G10 STAIR ILLUMINATION: PROVIDE INTERIOR AND EXTERIOR STAIRWAYS WITH ILLUMINATION AT LANDINGS PER IRC R303.7



1 (N) LEVEL 0 PLAN
1/4" = 1'-0"

PERMIT SET

1 PERMIT SET 10.08.2021

(N) LEVEL 0
FLOOR PLAN

A2.3

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE TYPE	MFR	MODEL	QTY	NOTES
P1	TANK TOILET	Kohler		2	
P2	UNDERMOUNT VANITY SINK			1	
P3	LAUNDRY/UTILITY SINK			2	
P4	SINGLE BOWL KITCHEN SINK	KOHLER Co.		1	
P5	UNDERMOUNT VANITY SINK - ROUND			2	
P6	Arc Spout Bar	Brio		1	
P7	PREP SINK FAUCET, PULL-DOWN	CALIFORNIA FAUCETS		1	
P8	SINGLE-HANDLE VANITY SINK FAUCET			3	
P10	BATHTUB	TBS		1	
TOTAL FIXTURES				14	

APPLIANCE & EQUIPMENT SCHEDULE

MARK	APPLIANCE	MFR	MODEL	QTY	NOTES
A.1	36-INCH INDUCTION COOKTOP	Thermador	CIT36XWB8	1	PANEL READY
A.2	24" DISHWASHER DRAWERS	Fisher & Paykel	DD24ST19_N	1	
A.3	30" DOUBLE BUILT-IN OVEN WITH STEAM CONVECTION	Thermador	MEDS302WS	1	TOP STEAM OVEN
A.4	French Door Refrigerator			1	
A.5	36" BUILT-IN GAS GRILL	Alfresco Grills	ALXE-36	1	

MECHANICAL, VENTILATION, & UTILITIES

M3.1	VENT HOODS: PROVIDE POWER & MAKE UP AIR FOR VENT HOODS OVER 300 CFM.
M3.2	EXHAUST VENTING: INSTALL LOCAL EXHAUST SYSTEMS PER R303.3 AS INDICATED IN REFLECTED CEILING PLANS AND AT ALL BATHS WITHOUT OPERABLE WINDOWS, TYP. SYSTEMS TO PROVIDE 50cfm CONTINUOUS OR 20cfm INTERMITTENT VENTILATION. TERMINATE ALL EXHAUST VENTS A MINIMUM OF 36" FROM ALL OPERABLE WINDOWS & DOORS, TYPICAL.
M5.0	ELECTRICAL PANEL
U4.0	EXISTING GAS METER
U4.1	EXISTING WATER LINE
U5.0	NATURAL GAS LINE FOR EXT. BBQ.

BATHROOM NOTES

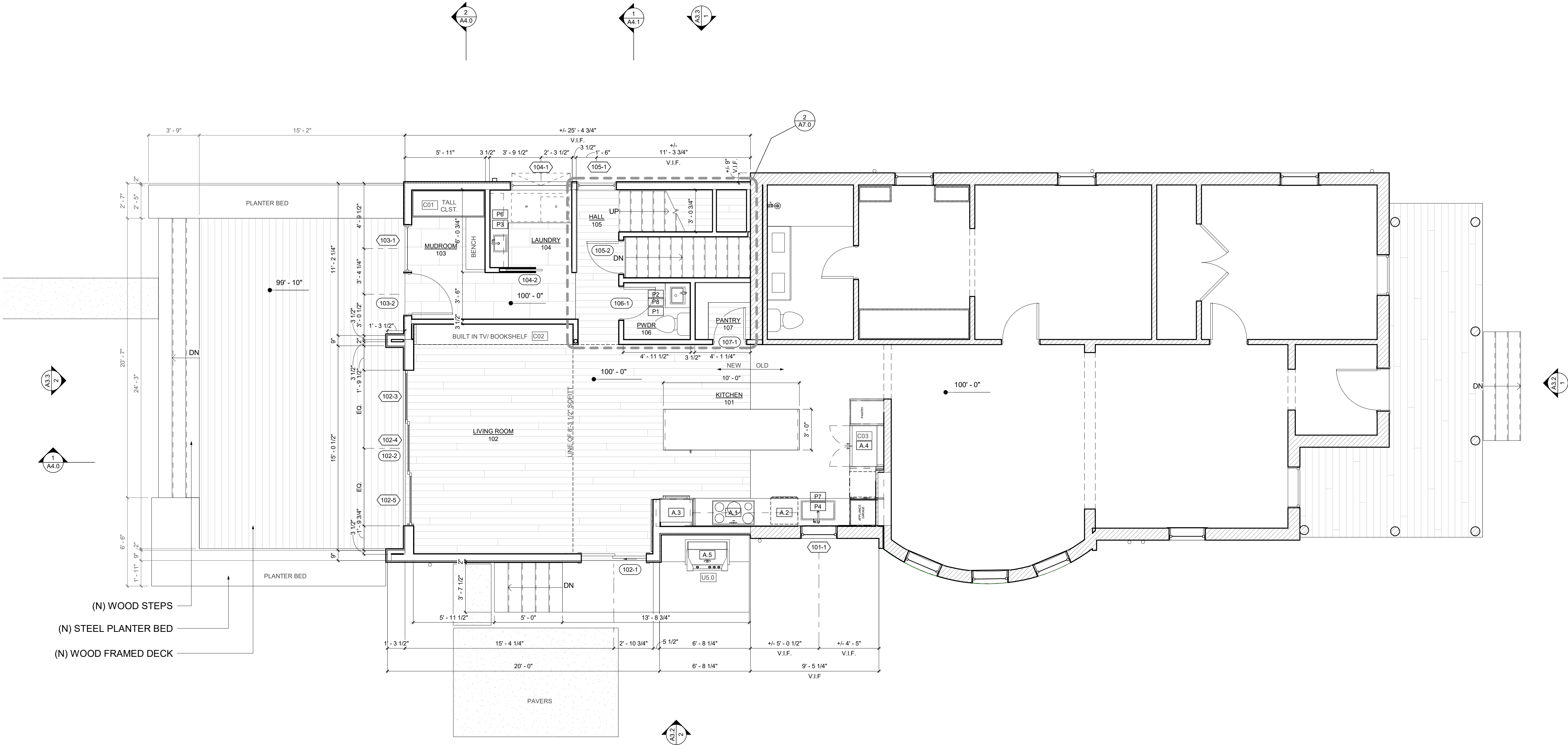
B01	FAUCET / SHOWER HEAD MAX. FLOW 2.0 GPM. *PROVIDE ACCESS PANEL PER CODE.
B02	TOILET: LOW FLOW - MAX. 1.28 G.P. FLUSH.
B05	PROVIDE MOISTURE-RESISTANT GYPSUM WALL BOARD AT BATHS AND ALL OTHER AREAS SUBJECT TO MOISTURE.

CABINETY & MILLWORK

C00	SEE INTERIOR ELEVATIONS FOR LAYOUT, DIMENSIONS, AND MATERIALS OF CABINETS, SHELVING, WARDROBES, BENCHES, DESKS, ETC; BUILT-IN CABINETS TO BE STAIN-GRADE WOOD UNLESS NOTED OTHERWISE.
C01	FULL HEIGHT BUILT IN CABINETS W/ HANGING ROD AND STORAGE
C02	TV MEDIA CABINET
C03	BUILT-IN APPLIANCE WALL W/ PANEL READY FRIDGE AND APPLIANCE GARAGE

GENERAL PLAN NOTES

G01	ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE. REFER TO SHEET G0.7 FOR WALL, FLOOR, AND ROOF ASSEMBLY DETAILS.
G02	REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING SIZES, LAYOUTS, AND CONNECTION DETAILS.
G03	REFER TO INTERIOR ELEVATIONS & FINISH PLANS FOR FINISH LAYOUTS, TRANSITIONS, DIMENSIONS, AND DETAILS.
G04	REFER TO REFLECTED CEILING PLANS FOR LIGHTING, ELECTRICAL, SWITCHING, AND VENTING INFORMATION.
G05	REFER TO SCHEDULES A8.0 FOR ALL WINDOW, DOOR, AND SKYLIGHT SIZING AND SPECIFICATIONS.
G06	PROVIDE INSULATION PER INSULATION SCHEDULE. ADDITIONAL ENERGY CODE REQUIREMENTS ARE OUTLINED ON SHEETS G0.2.
G07	PROVIDE MOISTURE-RESISTANT GYPSUM WALL BOARD AT BATHS, KITCHENS, UNCONDITIONED SPACES, AND ALL OTHER AREAS SUBJECT TO MOISTURE.
G08	NEW RAILINGS: RAILING TO COMPLY WITH THE PROVISIONS OF IRC SECTION R311.7.8 AND SECTION R312.1. REFER TO A7 SERIES SHEETS FOR DETAILS AND DIMENSIONS.
G09	STAIRWAY: STAIRS TO COMPLY WITH IRC R311.7. REFER TO A7 SERIES SHEETS FOR DETAILS AND DIMENSIONS.
G10	STAIR ILLUMINATION: PROVIDE INTERIOR AND EXTERIOR STAIRWAYS WITH ILLUMINATION AT LANDINGS PER IRC R303.7.



PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE TYPE	MFR	MODEL	QTY	NOTES
P1	TANK TOILET	Kohler		2	
P2	UNDERMOUNT VANITY SINK			1	
P3	LAUNDRY/UTILITY SINK			2	
P4	SINGLE BOWL KITCHEN SINK	KOHLER Co.		1	
P5	UNDERMOUNT VANITY SINK - ROUND			2	
P6	Arc Spout Bar	Brio		1	
P7	PREP SINK FAUCET, PULL-DOWN	CALIFORNIA FAUCETS		1	
P8	SINGLE-HANDLE VANITY SINK FAUCET	TBS		3	
P10	BATHTUB			1	
TOTAL FIXTURES				14	

APPLIANCE & EQUIPMENT SCHEDULE

MARK	APPLIANCE	MFR	MODEL	QTY	NOTES
A.1	36-INCH INDUCTION COOKTOP	Thermador	CIT36XWBB	1	PANEL READY TOP STEAM OVEN
A.2	24" DISHWASHER DRAWERS	Fisher & Paykel	DD24ST19_N	1	
A.3	30" DOUBLE BUILT-IN OVEN WITH STEAM CONVECTION	Thermador	MEDS302WS	1	
A.4	French Door Refrigerator			1	
A.5	36" BUILT-IN GAS GRILL	Alfresco Grills	ALXE-36	1	

MECHANICAL, VENTILATION, & UTILITIES

M3.1	VENT HOODS; PROVIDE POWER & MAKE UP AIR FOR VENT HOODS OVER 300 CFM.
M3.2	EXHAUST VENTING; INSTALL LOCAL EXHAUST SYSTEMS PER R303.3 AS INDICATED IN REFLECTED CEILING PLANS AND AT ALL BATHS WITHOUT OPERABLE WINDOWS, TYP. SYSTEMS TO PROVIDE 50cfm CONTINUOUS OR 20cfm INTERMITTENT VENTILATION. TERMINATE ALL EXHAUST VENTS A MINIMUM OF 36" FROM ALL OPERABLE WINDOWS & DOORS, TYPICAL.
M5.0	ELECTRICAL PANEL
U4.0	EXISTING GAS METER
U4.1	EXISTING WATER LINE
U5.0	NATURAL GAS LINE FOR EXT. BBQ.

BATHROOM NOTES

B01	FAUCET / SHOWER HEAD MAX. FLOW 2.0 GPM. *PROVIDE ACCESS PANEL PER CODE.
B02	TOILET: LOW FLOW - MAX. 1.28 G.P. FLUSH.
B05	PROVIDE MOISTURE-RESISTANT GYPSUM WALL BOARD AT BATHS AND ALL OTHER AREAS SUBJECT TO MOISTURE.

CABINETY & MILLWORK

C00	SEE INTERIOR ELEVATIONS FOR LAYOUT, DIMENSIONS, AND MATERIALS OF CABINETS, SHELVING, WARDROBES, BENCHES, DESKS, ETC; BUILT-IN CABINETS TO BE STAIN-GRADE WOOD UNLESS NOTED OTHERWISE.
C01	FULL HEIGHT BUILT IN CABINETS W/ HANGING ROD AND STORAGE
C02	TV MEDIA CABINET
C03	BUILT-IN APPLIANCE WALL W/ PANEL READY FRIDGE AND APPLIANCE GARAGE

GENERAL PLAN NOTES

G01	ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE. REFER TO SHEET G0.7 FOR WALL, FLOOR, AND ROOF ASSEMBLY DETAILS.
G02	REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING SIZES, LAYOUTS, AND CONNECTION DETAILS.
G03	REFER TO INTERIOR ELEVATIONS & FINISH PLANS FOR FINISH LAYOUTS, TRANSITIONS, DIMENSIONS, AND DETAILS.
G04	REFER TO REFLECTED CEILING PLANS FOR LIGHTING, ELECTRICAL SWITCHING, AND VENTING INFORMATION.
G05	REFER TO SCHEDULES A8.0 FOR ALL WINDOW, DOOR, AND SKYLIGHT SIZING AND SPECIFICATIONS.
G06	PROVIDE INSULATION PER INSULATION SCHEDULE. ADDITIONAL ENERGY CODE REQUIREMENTS ARE OUTLINED ON SHEETS G0.2.
G07	PROVIDE MOISTURE-RESISTANT GYPSUM WALL BOARD AT BATHS, KITCHENS, UNCONDITIONED SPACES, AND ALL OTHER AREAS SUBJECT TO MOISTURE.
G08	NEW RAILINGS: RAILING TO COMPLY WITH THE PROVISIONS OF IRC SECTION R311.7.8 AND SECTION R312.1. REFER TO A7 SERIES SHEETS FOR DETAILS AND DIMENSIONS.
G09	STAIRWAY: STAIRS TO COMPLY WITH IRC R311.7. REFER TO A7 SERIES SHEETS FOR DETAILS AND DIMENSIONS.
G10	STAIR ILLUMINATION: PROVIDE INTERIOR AND EXTERIOR STAIRWAYS WITH ILLUMINATION AT LANDINGS PER IRC R303.7

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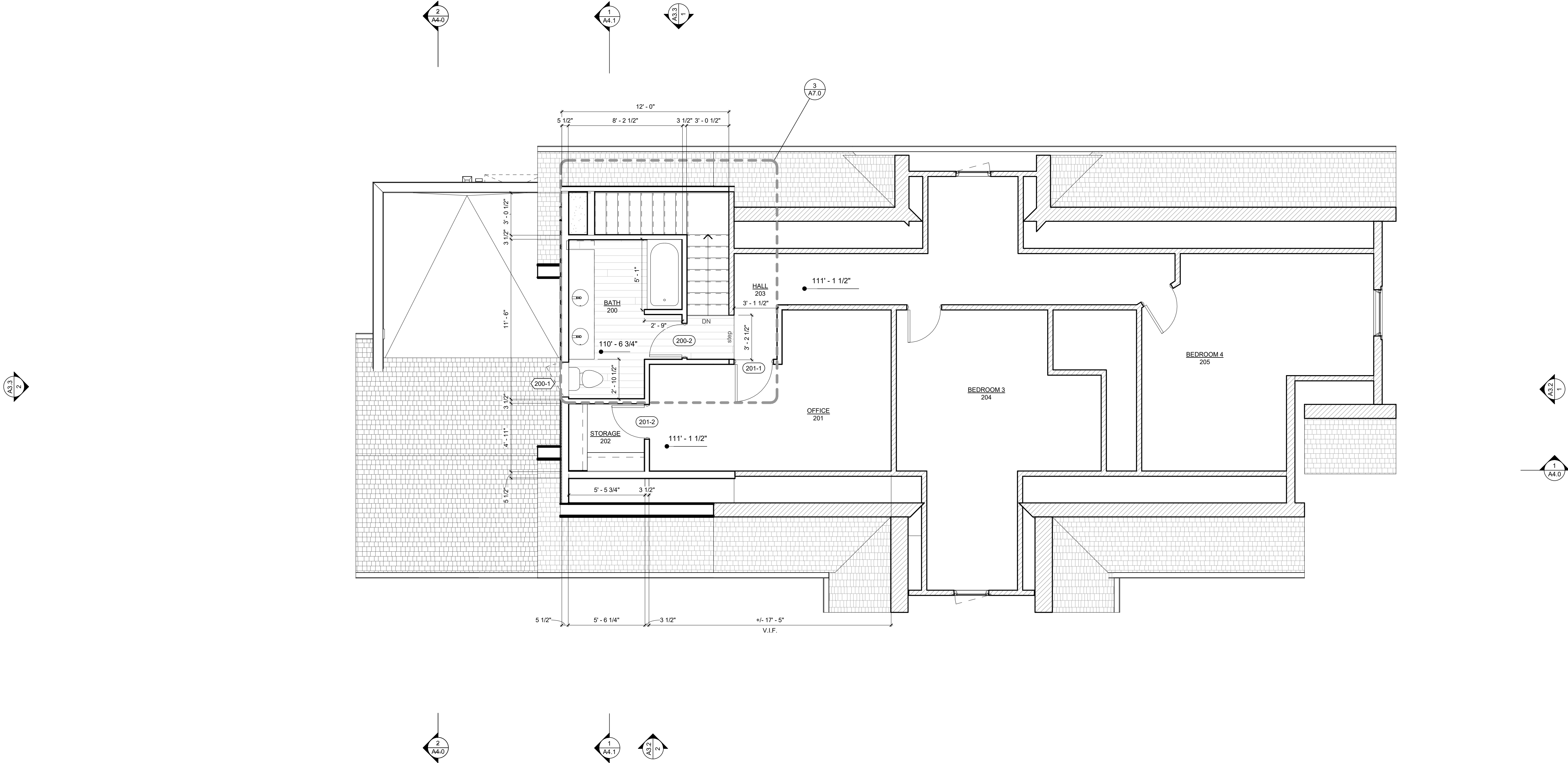
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E Laurel Residence

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1 (N) LEVEL 2- PLAN
1/4" = 1'-0"

PERMIT SET

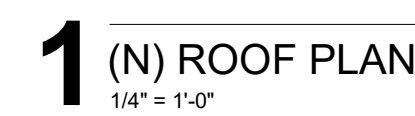
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(N) LEVEL 2
FLOOR PLAN

A2.5

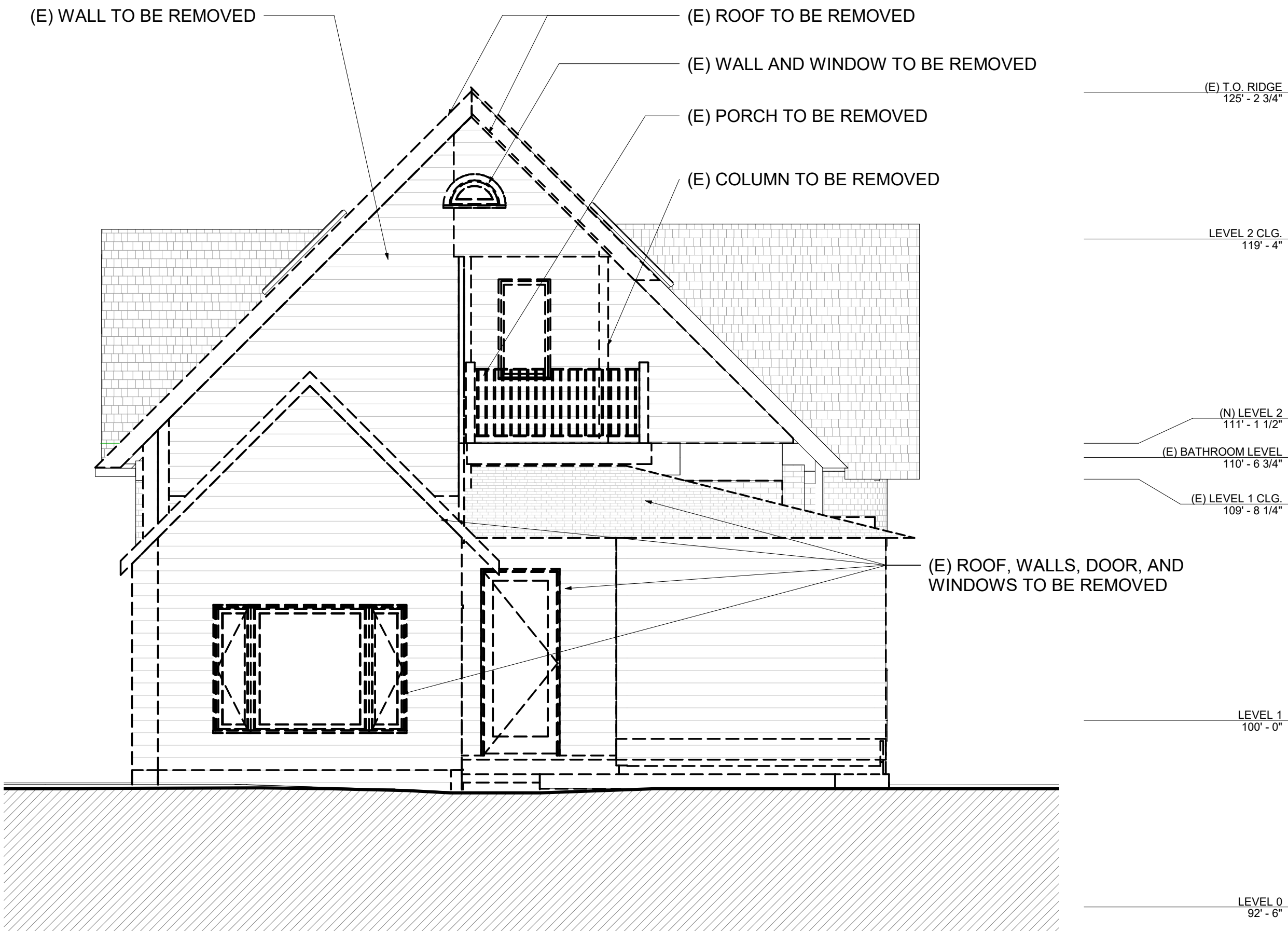
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1 SEE ASSEMBLY INFORMATION ON SHEET G0.7 FOR ROOF TYPES +
CONSTRUCTION INFORMATION
2 NEW EXTRUDED METAL GUTTERS; SIZING PER ROOF PLAN.
3 OVERFLOW SCUPPER THRU-WALL SCUPPER; 4" MIN HIGH AND 6"
WIDE. SET ABOVE TOP OF DRAIN INLET



DEMO NOTES

- 1 PROTECT ALL ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- 2 EXISTING EXTERIOR DOORS & WINDOWS TO BE REMOVED AND REPLACED AS INDICATED.
- 3 EXISTING EXTERIOR WALLS AND STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE.
- 4 EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED
- 5 EXISTING CASEWORK, PLUMBING FIXTURES, AND APPLIANCES TO BE REMOVE AS NOTED

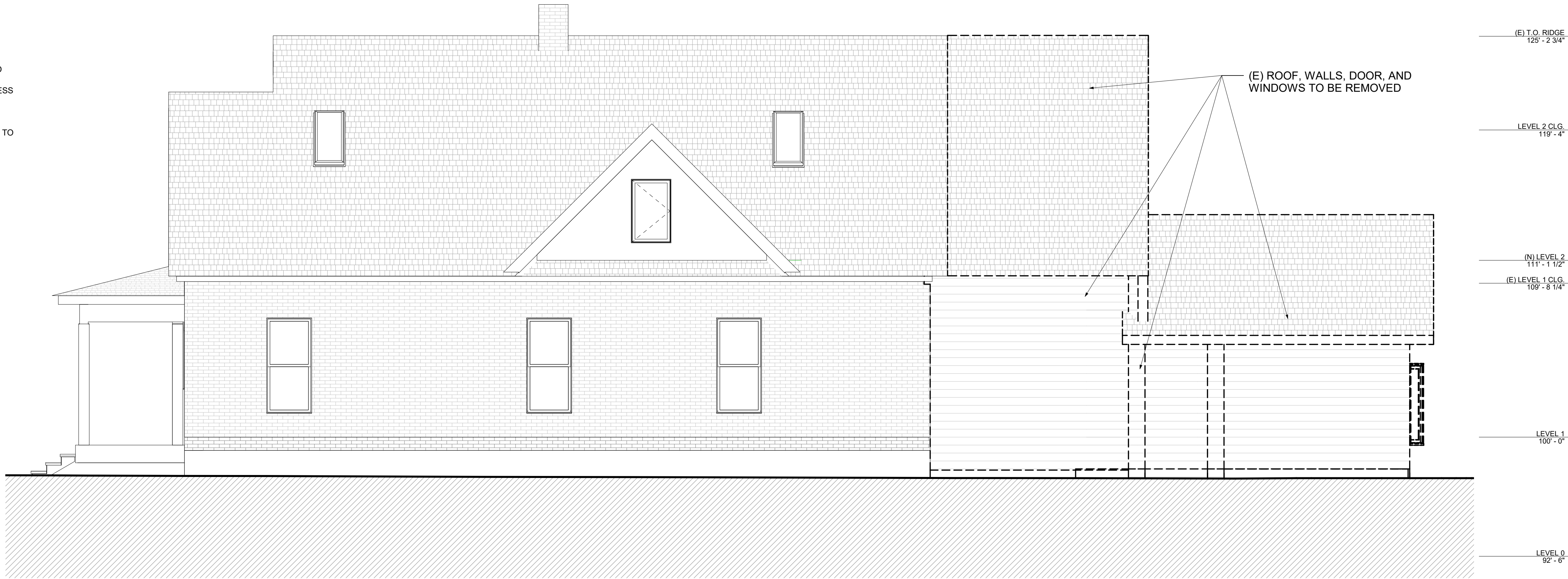


1 (E) North Elevation
1/4" = 1'-0"

2 (E) South Elevation
1/4" = 1'-0"

DEMO NOTES

- 1 PROTECT ALL ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- 2 EXISTING EXTERIOR DOORS & WINDOWS TO BE REMOVED AND REPLACED AS INDICATED.
- 3 EXISTING EXTERIOR WALLS AND STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE.
- 4 EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED
- 5 EXISTING CASEWORK, PLUMBING FIXTURES, AND APPLIANCES TO BE REMOVE AS NOTED



2 (E) West Elevation
1/4" = 1'-0"



1 (E) East Elevation
1/4" = 1'-0"



2 (N) EAST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHES + MATERIAL

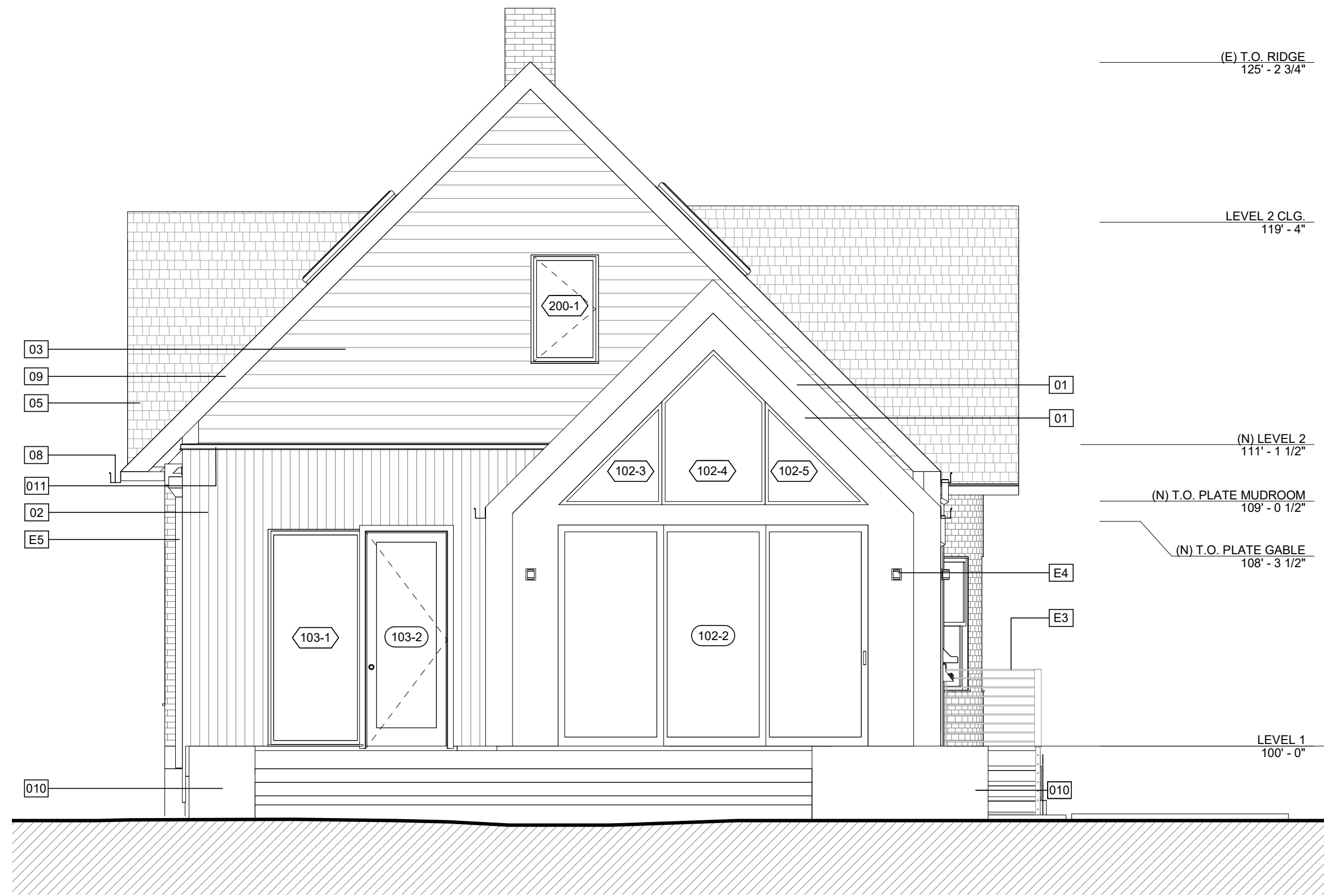
MARK	FINISH MATERIAL	NOTES
01	3 COAT CEMENTITIOUS STUCCO OVER WIRE LATHE	
02	VERTICAL WOOD SIDING	STAIN GRADE
03	HORIZONTAL WOOD SIDING	TO BE PAINTED WHITE
04	BREAK METAL	COLOR TO MATCH WINDOWS
05	ASPHALT SHINGLE ROOFING	
07	WOOD DECKING	
08	GUTTER	PAINTED TO MATCH ASPHALT ROOFING
09	CEMENT BOARD FASCIA	
010	CORTEN STEEL	PAINTED TO MATCH HORIZONTAL WOOD SIDING
011	METAL PARAPET CAP	PAINTED

EXTERIOR NOTES

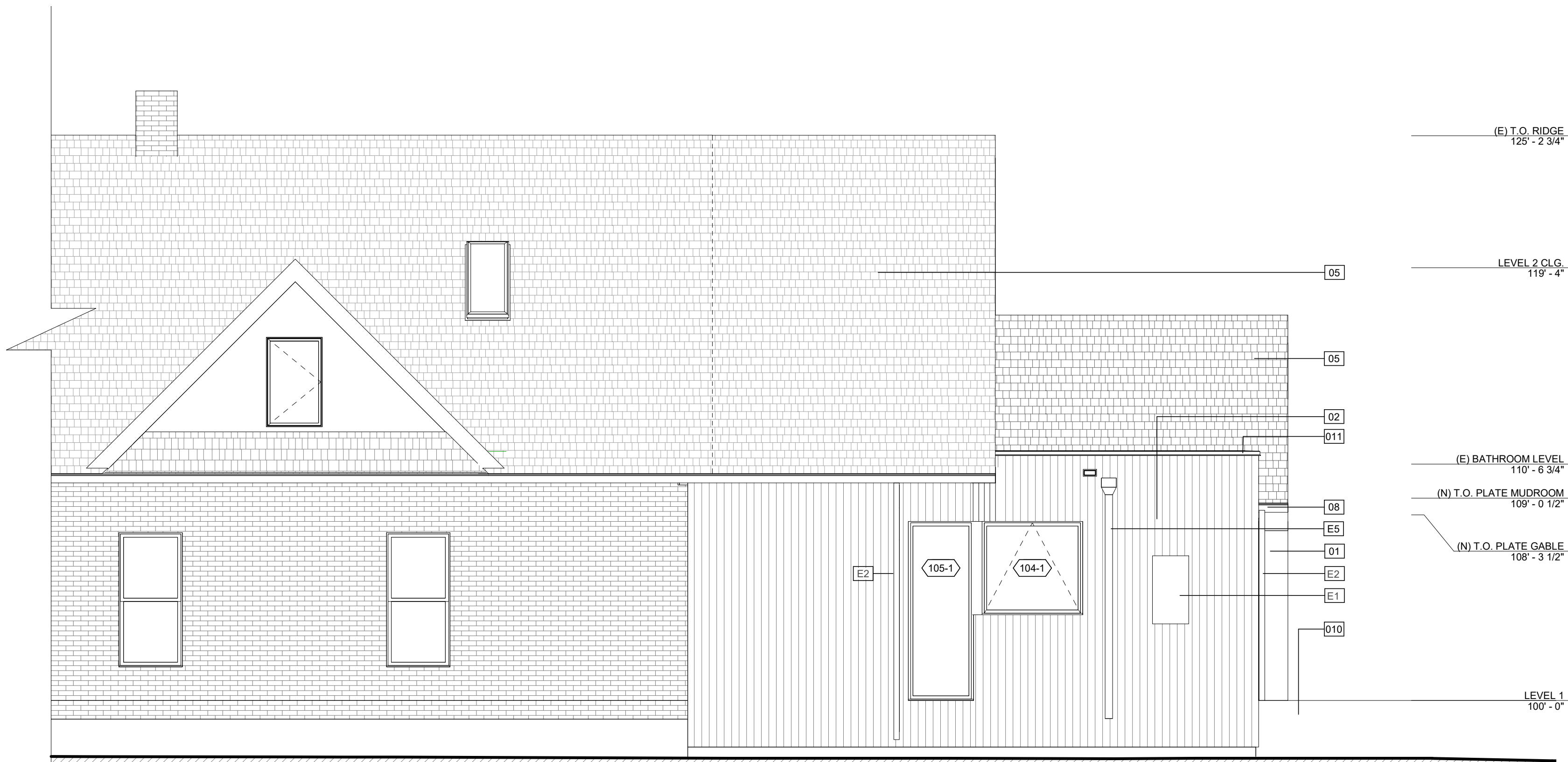
- E1 NEW ELECTRICAL BOX LOCATION
- E2 NEW METAL GUTTER +DOWNSPOUT; ROUTE UNDERGROUND AND DAYLIGHT PER GRADING AND DRAINAGE PLANS. SIZING PER ROOF PLANS
- E3 NEW 38" HIGH STEEL RAILINGS; SECURE RAILINGS TO FRAMING OR CONCRETE WITH CONNECTIONS DESIGNED TO WITHSTAND LIVE LOADS PER R 301.5, TYPICAL
- E4 EXTERIOR WALL SCONCE; DARK SKY COMPLIANT
- E5 OVERFLOW THRU-WALL SCUPPER; SEE ROOF PLAN FOR MORE INFORMATION



1 (N) NORTH ELEVATION
1/4" = 1'-0"



2 (N) SOUTH ELEVATION
1/4" = 1'-0"



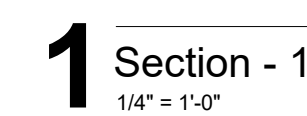
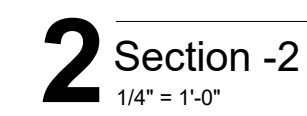
1 (N) WEST ELEVATION
1/4" = 1'-0"

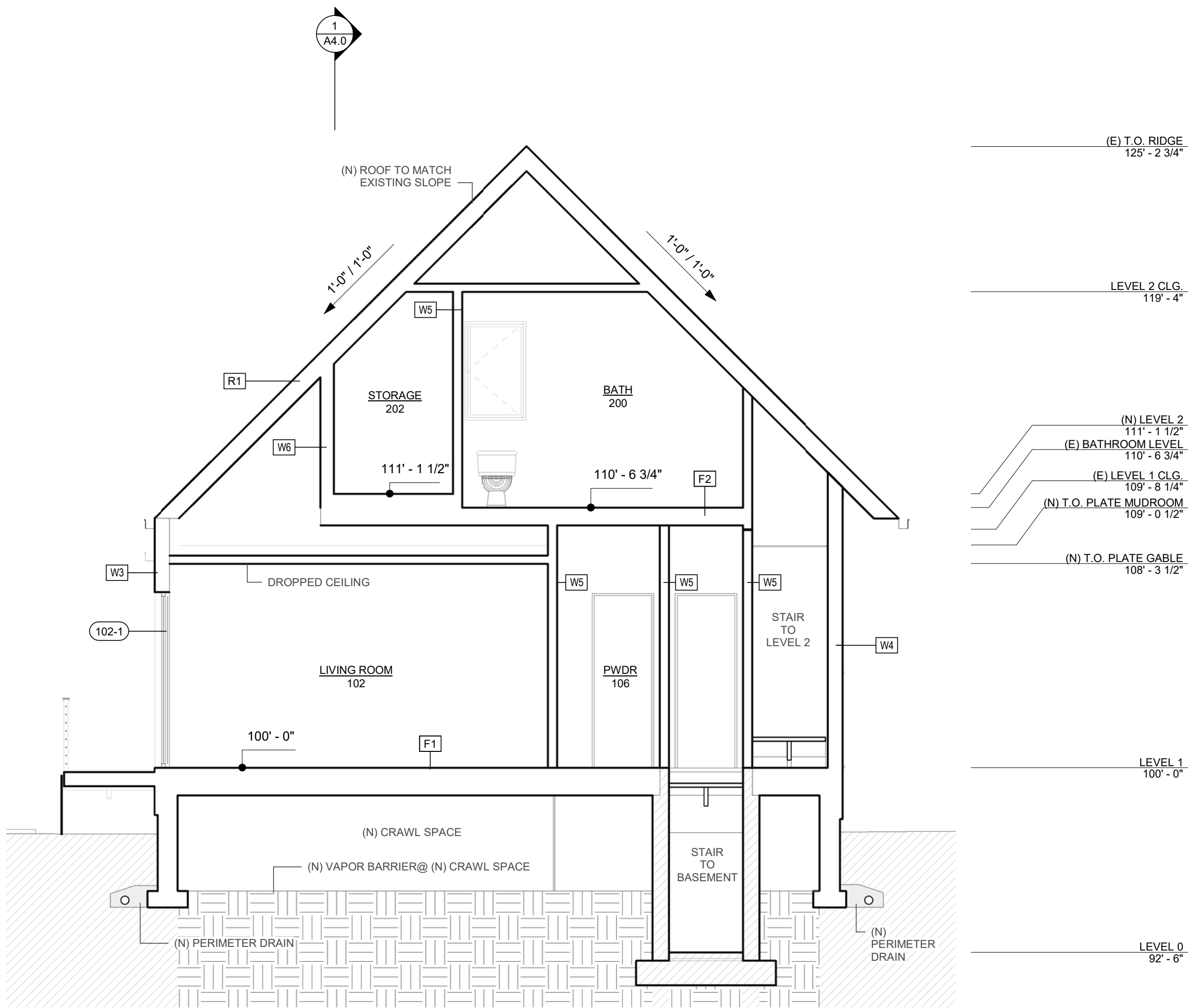
EXTERIOR FINISHES + MATERIAL

MARK	FINISH MATERIAL	NOTES
01	3 COAT CEMENTITIOUS STUCCO OVER WIRE LATHE	STAIN GRADE
02	VERTICAL WOOD SIDING	TO BE PAINTED WHITE
03	HORIZONTAL WOOD SIDING	COLOR TO MATCH WINDOWS
04	BREAK METAL	
05	ASPHALT SHINGLE ROOFING	
07	WOOD DECKING	
08	GUTTER	PAINTED TO MATCH ASPHALT ROOFING
09	CEMENT BOARD FASCIA	PAINTED TO MATCH HORIZONTAL WOOD SIDING
10	CORTEN STEEL	
11	METAL PARAPET CAP	PAINTED

EXTERIOR NOTES

- E1 NEW ELECTRICAL BOX LOCATION
E2 NEW METAL GUTTER +DOWNSPOUT; ROUTE UNDERGROUND AND DAYLIGHT PER GRADING AND DRAINAGE PLANS. SIZING PER ROOF PLANS
E3 NEW 36" HIGH STEEL RAILINGS; SECURE RAILINGS TO FRAMING OR CONCRETE WITH CONNECTIONS DESIGNED TO WITHSTAND LIVE LOADS PER R 301.5, TYPICAL.
E4 EXTERIOR WALL SCONCE; DARK SKY COMPLIANT
E5 OVERFLOW THRU-WALL SCUPPER; SEE ROOF PLAN FOR MORE INFORMATION





1 Section - 3
1/4" = 1'-0"

PERMIT SET

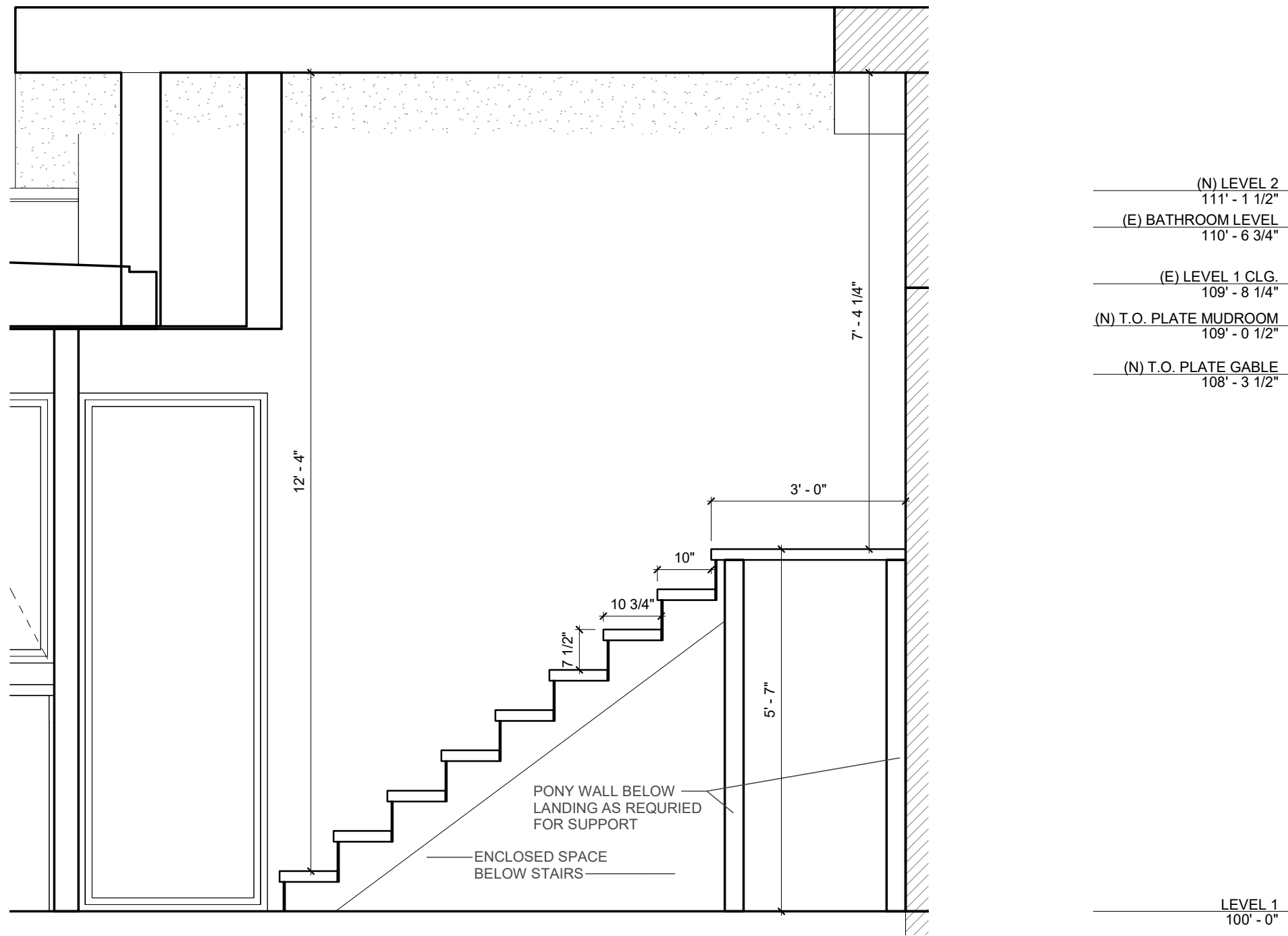
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BUILDING
SECTIONS

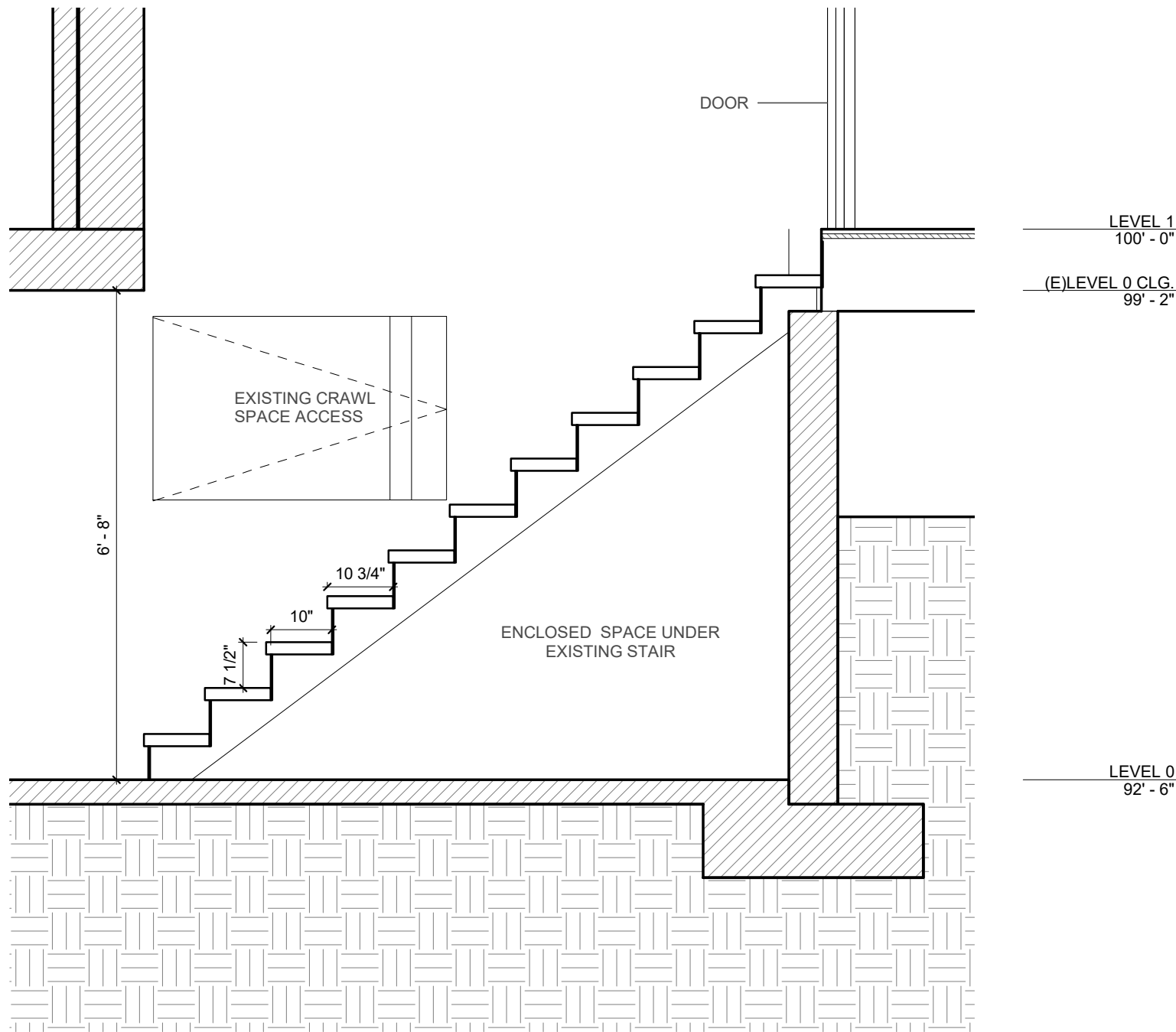
A4.1

STAIR NOTES

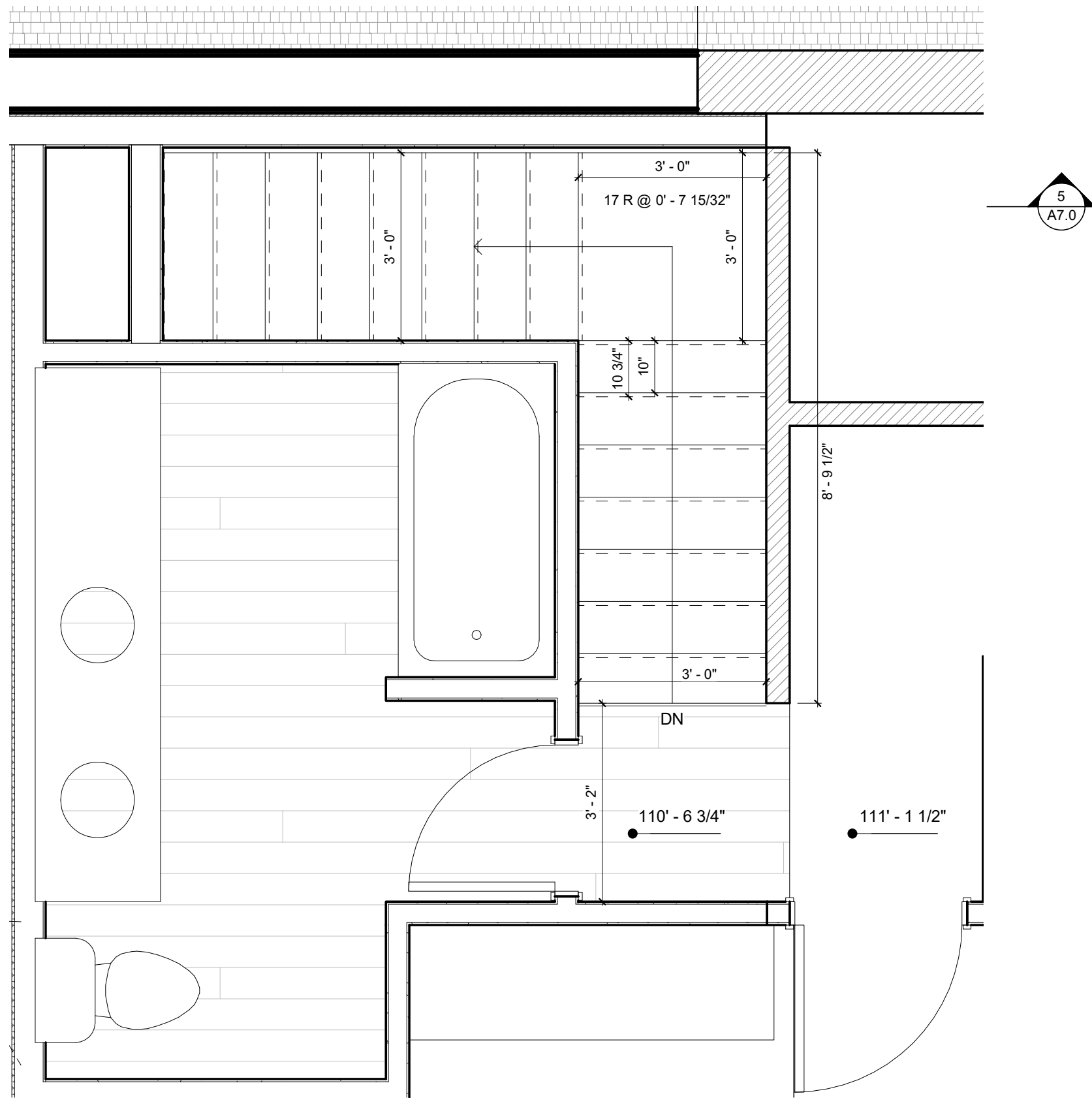
- 1 STAIR ILLUMINATION : PROVIDE INTERIOR AND EXTERIOR STAIRWAYS WITH ILLUMINATION AT LANDINGS PER IRC R303.7.
- 2 NEW RAILINGS: RAILING TO COMPLY WITH THE PROVISIONS OF IRC SECTION R311.7.6 AND SECTION R312.1.
- 3 RAILING ATTACHMENT: SECURE RAILING TO FLOOR FRAMING WITH CONNECTIONS DESIGNED TO WITHSTAND LIVE LOADS PER R301.5 TYPICAL



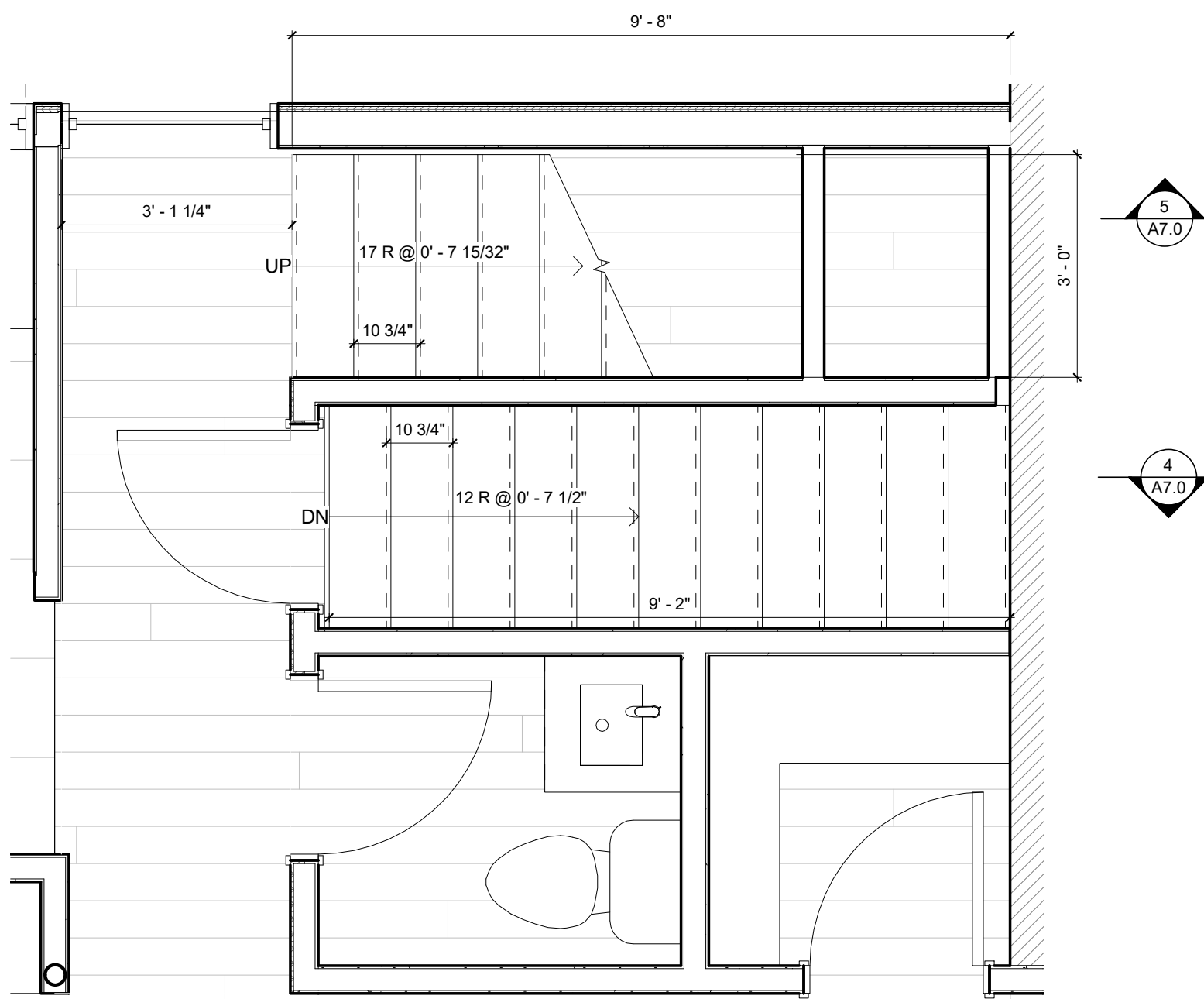
5 LEVEL 1 TO LEVEL 2- STAIR SECTION
1/2" = 1'-0"



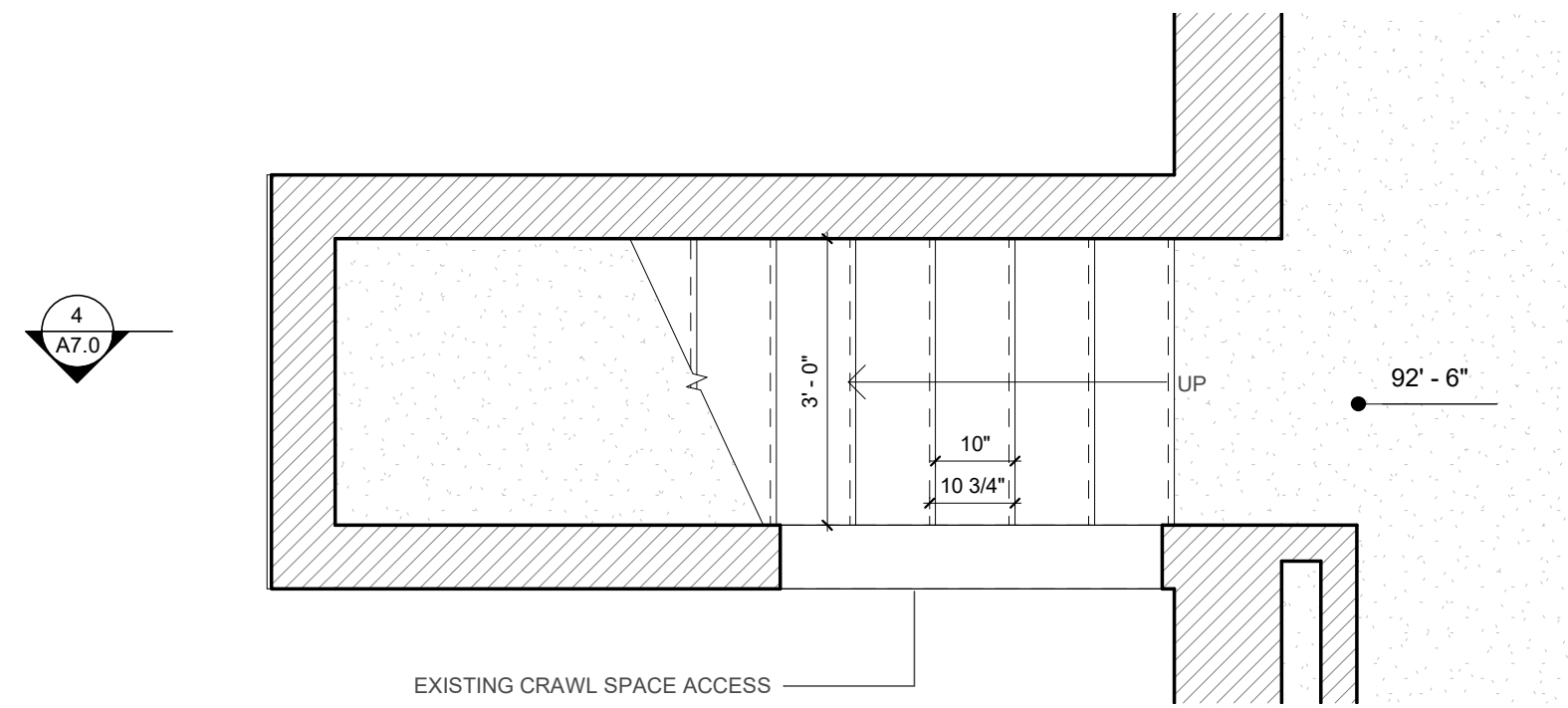
4 LEVEL 0- STAIR SECTION
1/2" = 1'-0"



3 LEVEL 2 - STAIR ENLARGED PLAN
1/2" = 1'-0"



2 LEVEL1- STAIR ENLARGED PLAN
1/2" = 1'-0"



1 LEVEL 0 -STAIR ENLARGED PLAN
1/2" = 1'-0"

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WINDOW SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	SILL HT	HEAD HT	AREA	OPERATION	CONSTRUCTION TYPE	HEAD DETAIL	SILL DETAIL	JAMB DETAIL	EGRESS	TEMPERED	LIMITER	COMMENTS
101-1	KITCHEN	2' - 6"	3' - 10"	3' - 2"	7' - 0"	10 SF	Double Hung								
102-3	LIVING ROOM	3' - 9 21/32"	3' - 9 21/32"	8' - 10 7/8"	12' - 8 17/32"	14 SF	Fixed	MI Clad Wood							
102-4	LIVING ROOM	3' - 9 21/32"	6' - 2 1/4"	8' - 10 7/8"	15' - 1 1/8"	24 SF	Fixed	MI Clad Wood							
102-5	LIVING ROOM	3' - 9 21/32"	3' - 9 21/32"	8' - 10 7/8"	12' - 8 17/32"	14 SF	Fixed	MI Clad Wood							
103-1	MUDROOM	3' - 6"	8' - 0"	0' - 0"	8' - 0"	28 SF	Fixed	MI Clad Wood				o	•		o
104-1	LAUNDRY	4' - 6"	4' - 2"	3' - 10"	8' - 0"	19 SF	Awning	MI Clad Wood				o	o		o
105-1	HALL	2' - 11"	8' - 0"	0' - 0"	8' - 0"	23 SF	Fixed	MI Clad Wood				o	o		o
200-1	BATH	2' - 6"	4' - 0"	3' - 0"	7' - 0"	10 SF	Casement RH	MI Clad Wood				o	o		o
TOTAL WINDOWS: 8															

EXTERIOR GLAZING NOTES

- 1 SEAL ALL SPACES BETWEEN WINDOW/DOOR JAMBS AND WALL FRAMING. SEAL ALL SPACES BETWEEN SKYLIGHTS AND ROOF FRAMING.
- 2 INDICATED U-FACTORS AND SHGC ARE CALCULATED ACCORDING TO THE REQUIREMENTS OF 2018 IRC N1102.1, CLIMATE ZONE 5
- 3 PROVIDE TEMPERED GLAZING AT HAZARDOUS LOCATIONS AS INDICATED IN SCHEDULES AND AS REQ'D BY IRC R308.4. 1. TEMPERED GLAZING TO BE LABELED W/ MANUFACTURER'S DESIGNATION PER IRC R308.1.
- 4 ALL UNIT SKYLIGHTS INSTALLED IN ROOFS WITH A PITCH OF LESS THAN 25% SLOPE SHALL BE CURB-MOUNTED NOT LESS THAN 4" ABOVE THE PLANE OF THE ROOF PER IRC R308.6.6.
- 5 INSTALL SHIMS, INSULATION, AIR BARRIER MASTIC AND SELF-ADHERED FLEXIBLE FLASHING AT EACH RO AS AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 6 INTEGRATE SELF-ADHERED FLEXIBLE FLASHING AND CONTINUOUS/DISCONTINUOUS SEALANTS INTO BUILDING'S WRB ENVELOPE AT EACH RO AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 7 INSTALL HEAD/SILL FLASHING W/ HEMMED DRIP EDGES AT EACH WINDOW FRAME HEAD AND SILL.
- 8 USE SEALANT AND BACKER RODS WHERE INDICATED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 9 IN SHOWER LOCATIONS SLOPE ALL TILE/SOLID SURFACE SILL RETURNS AWAY FROM WINDOW FRAME TO ALLOW FOR PROPER DRAINAGE.

EXTERIOR DOOR SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	THICKNESS	OPERATION	CONSTRUCTION TYPE	FINISH	HW TYPE	COMMENTS
102-1	LIVING ROOM	4' - 9 3/8"	7' - 1 5/8"	0' - 2"	2-PANEL SLIDER	METAL CLAD WOOD			
102-2	LIVING ROOM	11' - 5 1/4"	8' - 1 7/8"	0' - 2"	3-PANEL SLIDER	METAL CLAD WOOD			
103-2	MUDROOM	3' - 0"	8' - 0"	0' - 1 1/2"	SINGLE SWING	METAL CLAD WOOD			

INTERIOR DOOR SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	THICKNESS	OPERATION	CONSTRUCTION TYPE	FINISH	HW TYPE	COMMENTS
104-2	LAUNDRY	2' - 8"	8' - 0"	0' - 1 1/2"	POCKET	SOLID CORE WOOD			
105-2	HALL	2' - 4"	7' - 0"	0' - 1 3/4"	SWING - SINGLE	SOLID CORE WOOD			
106-1	PWDR	2' - 4"	7' - 0"	0' - 1 3/4"	SWING - SINGLE	SOLID CORE WOOD			
107-1	PANTRY	2' - 4"	7' - 0"	0' - 1 3/4"	SWING - SINGLE	SOLID CORE WOOD			
200-3	KITCHEN	0' - 0"	0' - 0"	0' - 0"					
200-2	BATH	2' - 4"	7' - 0"	0' - 1 3/4"	SWING - SINGLE	SOLID CORE WOOD			
201-1	OFFICE	2' - 8"	7' - 0"	0' - 1 3/4"	SWING - SINGLE	SOLID CORE WOOD			
201-2	STORAGE	2' - 4"	7' - 0"	0' - 1 3/4"	SWING - SINGLE	SOLID CORE WOOD			

DOOR NOTES

- 1 SEE PLANS FOR DOOR HANDING AND HINGE LOCATIONS - ALL DOOR HARDWARE IS TO BE SELECTED.
- 2 PROVIDE TEMPERED GLAZING AT HAZARDOUS LOCATIONS AS INDICATED IN SCHEDULES AND AS REQ'D BY IRC R308.4. 1. TEMPERED GLAZING TO BE LABELED W/ MANUFACTURER'S DESIGNATION PER IRC R308.1.
- 3 INSTALL SHIMS, INSULATION, AIR BARRIER MASTIC AND SELF-ADHERED FLEXIBLE FLASHING AT EACH RO AS AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 4 INTEGRATE SELF-ADHERED FLEXIBLE FLASHING AND CONTINUOUS/DISCONTINUOUS SEALANTS INTO BUILDING'S WRB ENVELOPE AT EACH RO AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 5 INSTALL HEAD/SILL FLASHING W/ HEMMED DRIP EDGES AT EACH EXTERIOR DOOR FRAME HEAD AND SILL.
- 6 INSTALL SILL PANS AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AT EACH EXTERIOR DOOR FRAME SILL.
- 7 USE SEALANT AND BACKER RODS WHERE INDICATED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

APPLIANCE & EQUIPMENT SCHEDULE

MARK	APPLIANCE	MFR	MODEL	QTY	NOTES
A.1	36-INCH INDUCTION COOKTOP	Thermador	CIT36XXVBB	1	
A.2	24" DISHWASHER DRAWERS	Fisher & Paykel	DD24ST19_N	1	PANEL READY
A.3	30" DOUBLE BUILT-IN OVEN WITH STEAM CONVECTION	Thermador	MEDS302WS	1	TOP STEAM OVEN
A.4	French Door Refrigerator			1	
A.5	36" BUILT-IN GAS GRILL	Alfresco Grills	ALXE-36	1	

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE TYPE	MFR	MODEL	QTY	NOTES
P1	TANK TOILET			2	
P2	UNDERMOUNT VANITY SINK	Kohler		1	
P3	LAUNDRY/UTILITY SINK			2	
P4	SINGLE BOWL KITCHEN SINK			1	
P5	UNDERMOUNT VANITY SINK - ROUND	KOHLER Co.		2	
P6	Arc Spout Bar	Brizo		1	
P7	PREP SINK FAUCET, PULL-DOWN	CALIFORNIA FAUCETS		1	
P8	SINGLE-HANDLE VANITY SINK FAUCET	TBS		3	
P10	BATHTUB			1	
TOTAL FIXTURES				14	

PERMIT SET

CODE: THE 2018 INTERNATIONAL RESIDENTIAL CODE. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CODE.
RISK CATEGORY: II STRUCTURE

MINIMUM FROST DEPTH = 30 INCHES

MATERIALS:
CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI (FOUNDATION ELEMENTS), 3000 PSI (SLABS), PROVIDE A (12-18) AIR ENTRAINMENT (EXTERIOR) AND 1-3 AIR ENTRAINMENT (INTERIOR). CEMENT TO BE TYPE III.
CONCRETE REINFORCEMENT SHALL BE A615, GRADE 60. ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE 2013 ACI RECOMMENDATIONS REGARDING SIZES, SPACING, AND MINIMUM LAP SPLICES.
SLABS ON GRADE SHALL BE PLACED ON APPROVED MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. ALL JOINTS SHALL BE LOCATED IN ACCORDANCE WITH ACI RECOMMENDATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE OWNER OF THE POTENTIAL FOR DAMAGE DUE TO SLAB MOVEMENTS AND THE PRECAUTIONS TO BE TAKEN TO MINIMIZE THE POTENTIAL DAMAGE WHEN CONSTRUCTION OCCURS CLOSE TO OR ON GRADE CONSTRUCTION. THE OWNER SHALL ASSUME ALL RISK AND MAINTENANCE ASSOCIATED WITH SLAB ON GRADE CONSTRUCTION. ALL NON-BEARING FRAME WALLS PLACED ON SLABS ON GRADE SHOULD BE PROVIDED WITH A 2" VOIDED SPACE BETWEEN THE WALL AND SLAB.

ALL WELDING SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE AMERICAN WELDING SOCIETY. ELECTRODES SHALL MEET E70XX REQUIREMENTS.

ALL BOLTED STEEL CONNECTIONS SHALL USE A325 BOLTS, SNUG TIGHTENED. BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS" LATEST EDITION.

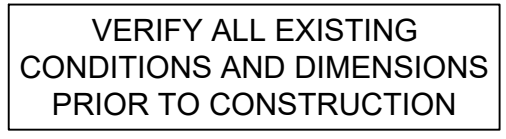
WALL SHEATHING SHALL BE 7/16" APA RATED SHEATHING ATTACHED AS NOTED ON PLANS.
ROOF, WALL & FLOOR SHEATHING SHALL BE APA TRADEMARKED EXPOSURE 1 WHEN EXPOSED ONLY
DURING CONSTRUCTION AND SHALL CONFORM TO THE AMERICAN PLYWOOD ASSOCIATION STANDARD.

NOTES:

THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND SITE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THIS DRAWING PRIOR TO CONCRETE PLACEMENT. CONFLICTS IN DIMENSION, INTERFERENCE OR OMISSIONS DISCOVERED IN THE COURSE OF WORK SHALL BE DIRECTED TO THE ARCHITECT PRIOR TO CONTINUATION OF CONSTRUCTION. THE EXISTING CONDITIONS DEPICED ON THESE DRAWINGS ARE NOT TO BE TAKEN AS AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

THE STRUCTURAL DRAWINGS REPRESENT THE FINAL STRUCTURE. THE DRAWINGS DO NOT INDICATE THE CONTRACTOR'S METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW PLANS, SPECIFICATIONS, AND/OR ENGINEERING RECOMMENDATIONS. NOR IS THE ENGINEER OF RECORD RESPONSIBLE FOR ECONOMIC LOSS AND/OR DELAYS ON THE CONTRACTOR OR SUBCONTRACTOR.

ALL CONSTRUCTION SHALL BE ADEQUATELY BRACED TO PREVENT DISTORTION AND DAMAGE DUE TO CONSTRUCTION LOADS AND NATURAL FORCES. THE CONTRACTOR SHALL MAKE ALLOWANCES FOR DIFFERENCE BETWEEN TEMPERATURE DURING ERECTION AND MEAN TEMPERATURE WHEN STRUCTURE IS COMPLETED AND IN SERVICE.



FOOTING SCHEDULE			
MARK	FOOTING SIZE (WIDTH x HEIGHT)	LONGITUDINAL REINFORCING	TRANSVERSE REINFORCING
F12	12" x 8"	(2) #4 CONT.	NOT REQ'D
F16	16" x 8"	(2) #4 CONT.	NOT REQ'D
F20	20" x 8"	(2) #4 CONT.	NOT REQ'D

$$1/4" = 1'-0"$$

FLOOR SHEATHING: 23/32" APA RATED STURD-I-FLOOR
GLUE AND NAIL w/ 8d COMMONS @ 6"O.C. AT PANEL
EDGES, 12"O.C. IN FIELD, OR 2" 16 GAGE STAPLES @
4"O.C. AT PANEL EDGES, 8"O.C. IN THE FIELD.

▽ DENOTES SIMPSON HOLDDOWN @ BOTTOM OF WALL (RE: 1/S2.1)



E Laurel Residence

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PERMIT SET

1 PERMIT SET

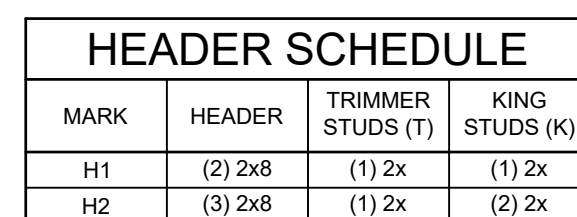
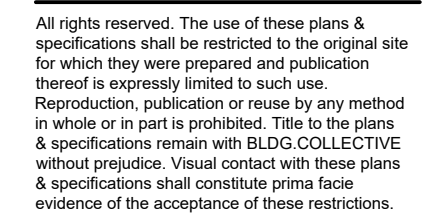
10.07.2021

FOUNDATION &
MAIN FLOOR
FRAMING PLAN

S1.1



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421 E Laurel Street
Fort Collins, CO 80524



2ND FLOOR & LOWER ROOF FRAMING PLAN

VERIFY ALL EXISTING
CONDITIONS AND DIMENSIONS
PRIOR TO CONSTRUCTION

▽ DENOTES SIMPSON HOLDOWN @ BOTTOM OF WALL (RE: 1/S2.1)

2ND FLOOR & LOWER ROOF FRAMING PLAN

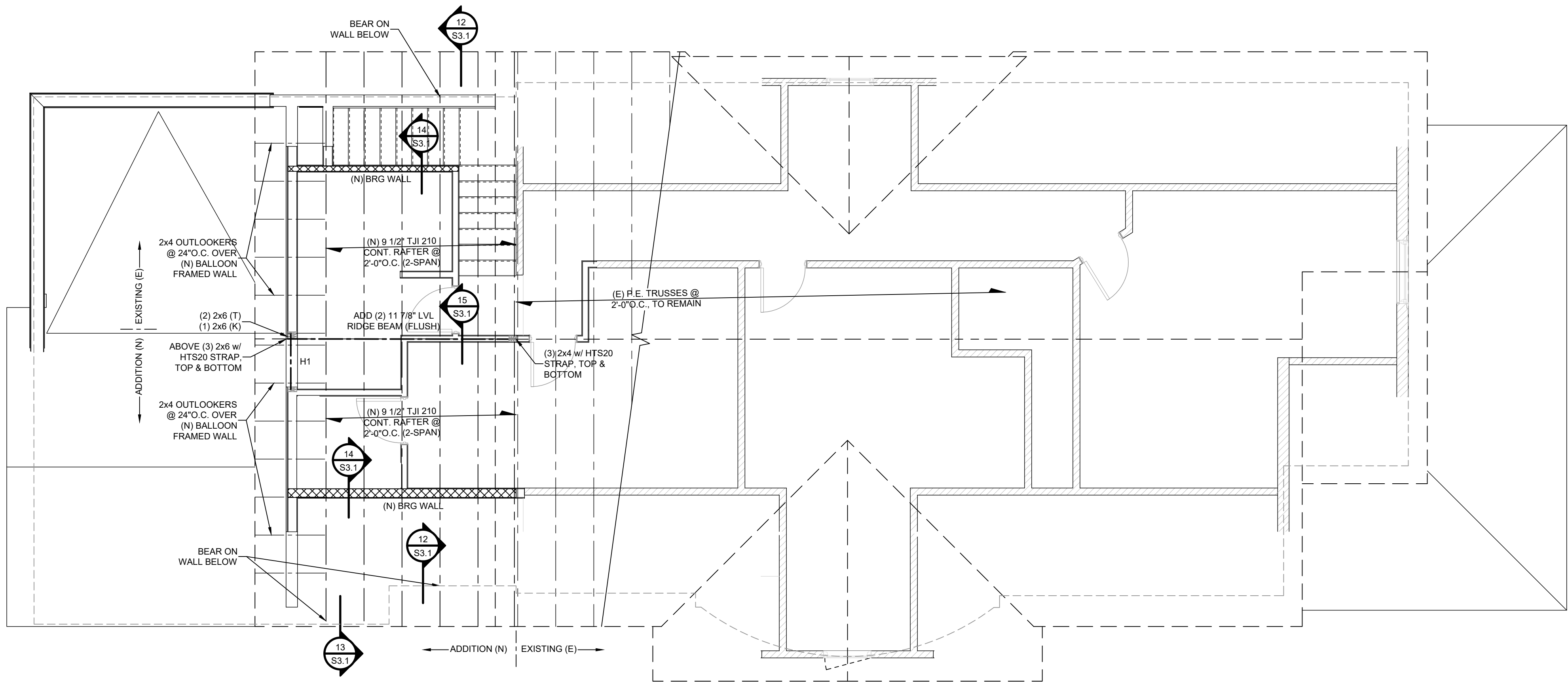
S2.1

E Laurel Residence

421 E Laurel Street
Fort Collins, CO 80524



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HEADER SCHEDULE			
MARK	HEADER	TRIMMER STUDS (T)	KING STUDS (K)
H1	(2) 2x8	(1) 2x	(1) 2x
H2	(3) 2x8	(1) 2x	(2) 2x

- ABOVE SCHEDULE APPLIES TO ALL HEADERS ON THIS PLAN, UNLESS NOTED OTHERWISE ON THE PLAN.
- REFER TO GENERAL NOTES FOR GRADES & SPECIES OF WOOD.
- VERIFY LOCATIONS OF HEADERS WITH ARCHITECTURAL PLANS.
- TRIMMER (T) AND KING (K) STUDS ARE THE NUMBER OF EACH TYPE OF STUD ON EACH END OF THE HEADER.

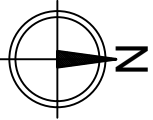
PLAN NOTES:
(N) DENOTES NEW FRAMING/STRUCTURE
(E) DENOTES EXISTING FRAMING/STRUCTURE

(N) EXTERIOR WALL STUDS: 2x6's @ 16" O.C.

OVERFRAMING: 2x6's @ 24" O.C. POSTED DOWN EVERY OTHER TRUSS/RAFTER.

ROOF SHEATHING: 15/32" APA RATED SHEATHING 32/16 SPAN RATING w/ 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN THE FIELD, OR 1 1/2" 16 GAGE STAPLES @ 3" O.C. AT PANEL EDGES, 6" O.C. IN THE FIELD. WITHIN 4FT OF ROOF EDGES & RIDGES, ATTACH w/ 8d NAILS @ 6" O.C. IN THE FIELD, OR 1 1/2" 16 GAGE STAPLES @ 3" O.C. IN THE FIELD.

WIND BRACING:
ALL EXTERIOR WALLS TO BE FULLY SHEATHED w/ 7/16" OSB OR PLYWOOD. NAIL w/ 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN FIELD, OR 1 1/2" 16 GAGE STAPLES @ 3" O.C. AT PANEL EDGES, 6" O.C. IN THE FIELD. BLOCKING NOT LESS THAN 2" NOMINAL IN THICKNESS SHALL BE PROVIDED AT ALL HORIZONTAL PANEL JOINTS.



UPPER ROOF FRAMING PLAN

1/4" = 1'-0"

VERIFY ALL EXISTING
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PRIOR TO CONSTRUCTION

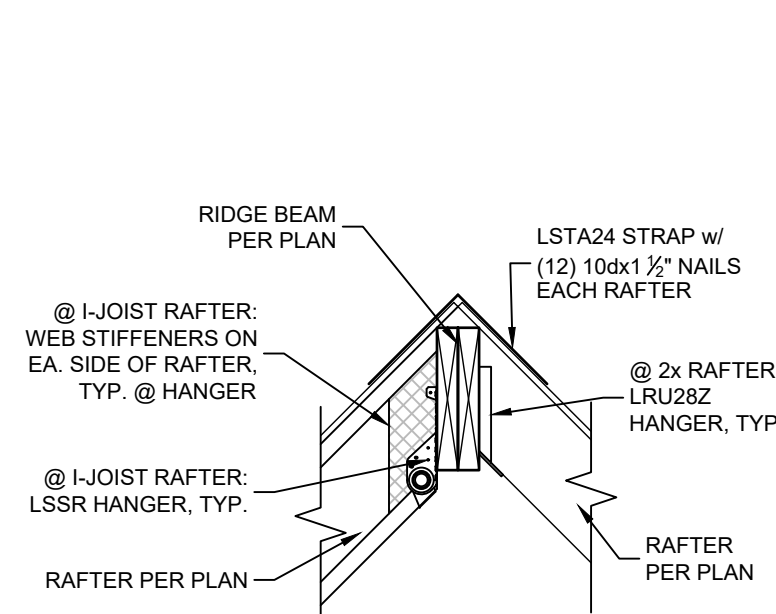
PERMIT SET

1 PERMIT SET 10.07.2021

**UPPER ROOF
FRAMING PLAN**

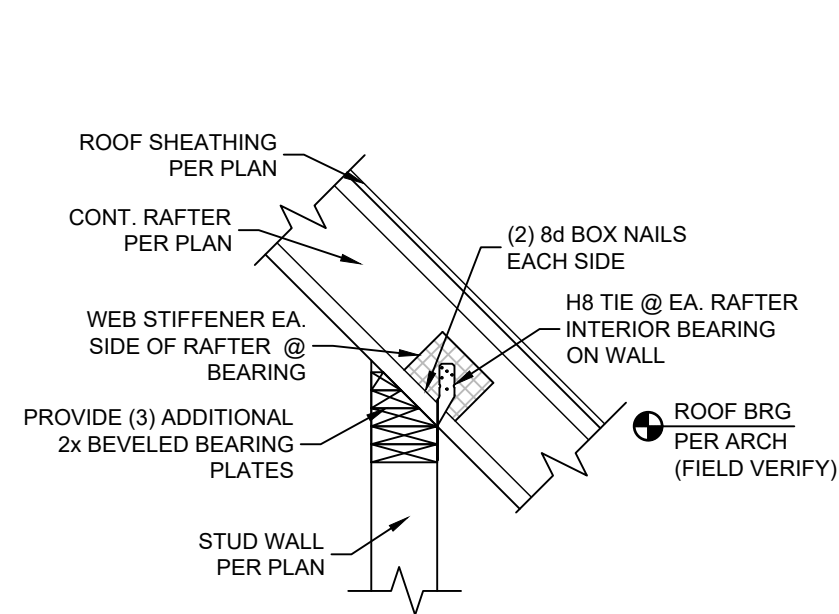


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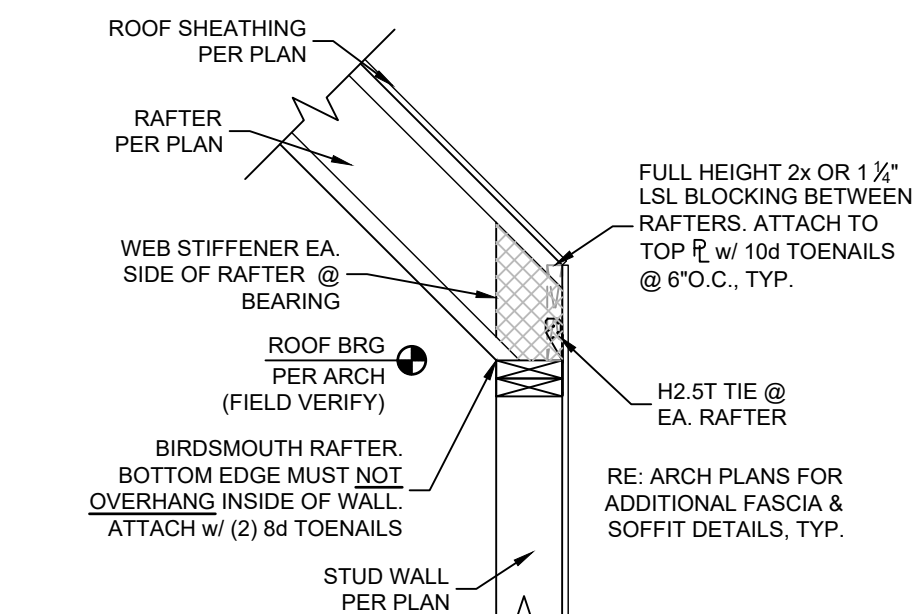
15 RAFTER TO RIDGE BEAM DETAIL

S3.1 3/4" = 1'-0"



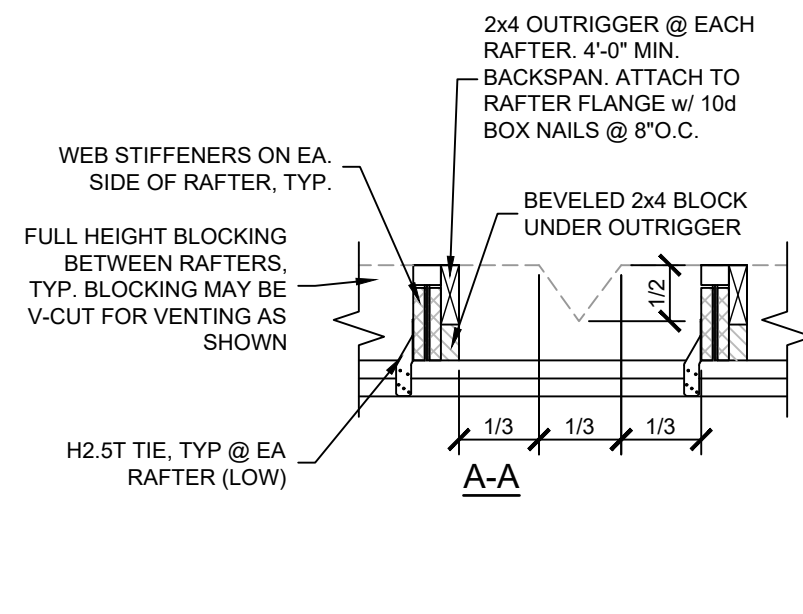
14 I-JOIST RAFTER BEARING DETAIL (INTERIOR)

S3.1 3/4" = 1'-0"



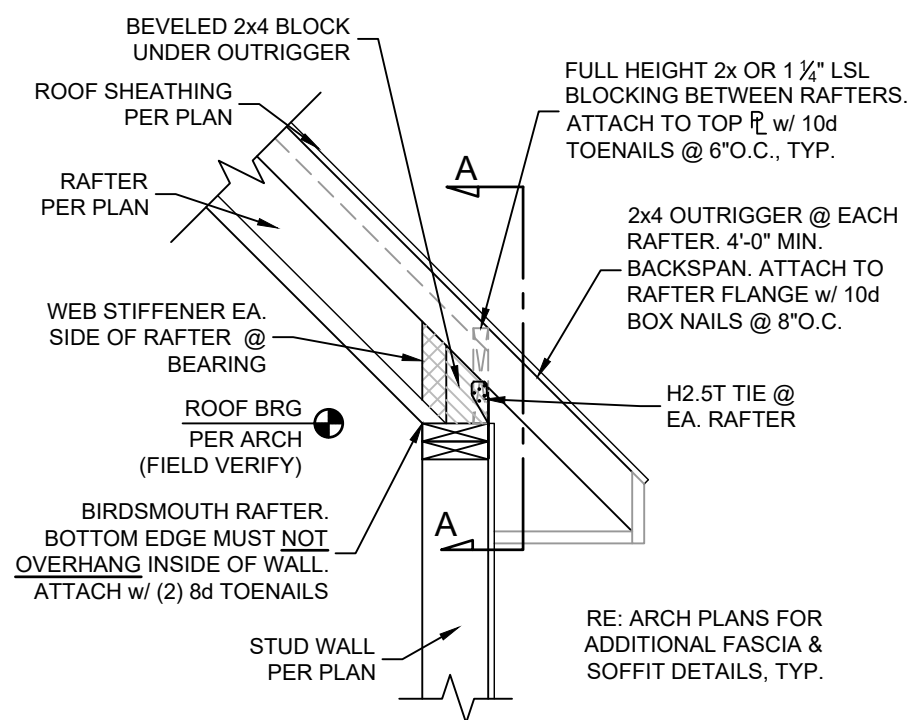
13 I-JOIST RAFTER BEARING DETAIL (LOW, NO O.H.)

S3.1 3/4" = 1'-0"



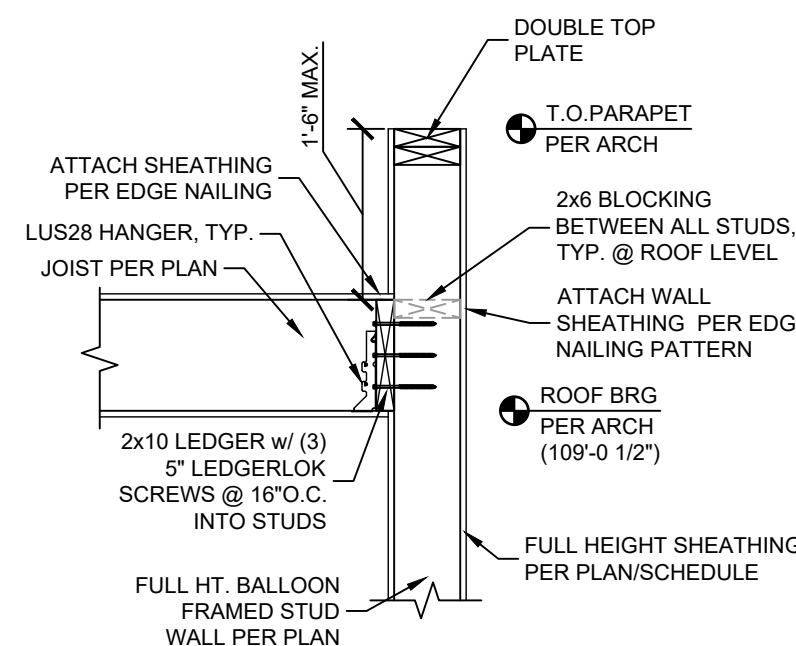
12 I-JOIST RAFTER BEARING DETAIL (LOW)

S3.1 3/4" = 1'-0"



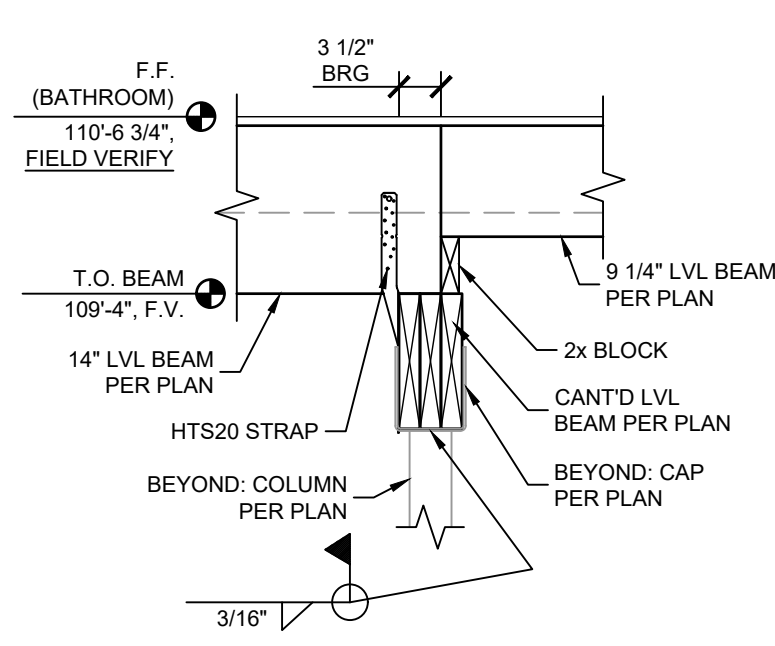
6 HSS BEAM - RIDGE DETAIL

S3.1 3/4" = 1'-0"



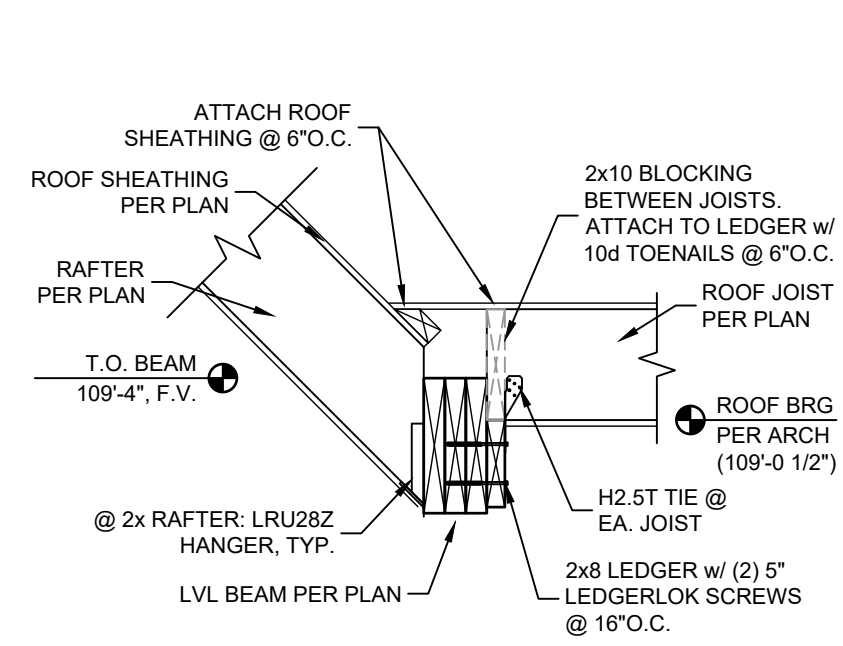
11 FRAMING DETAIL (PARAPET)

S3.1 3/4" = 1'-0"



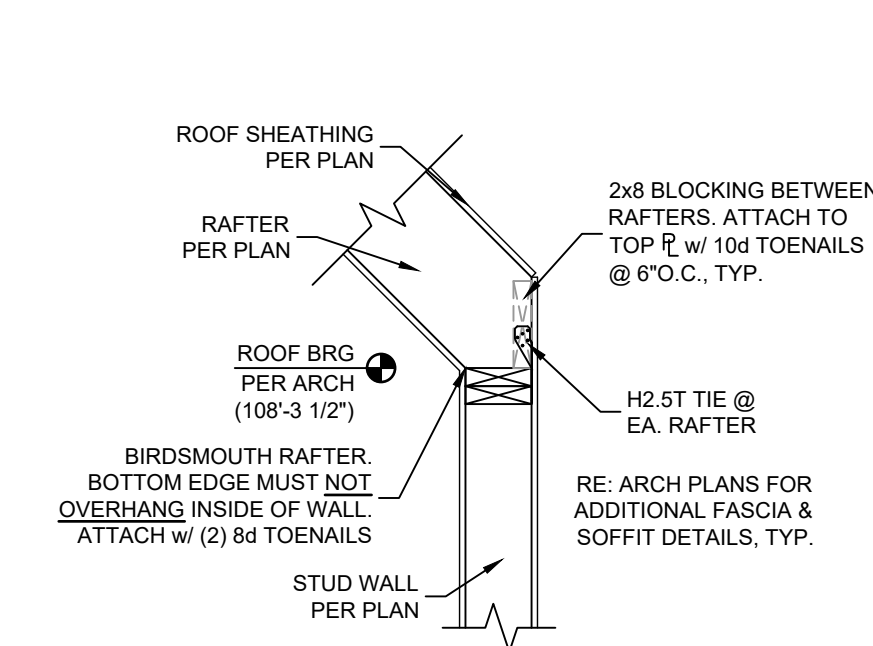
10 FRAMING DETAIL

S3.1 3/4" = 1'-0"



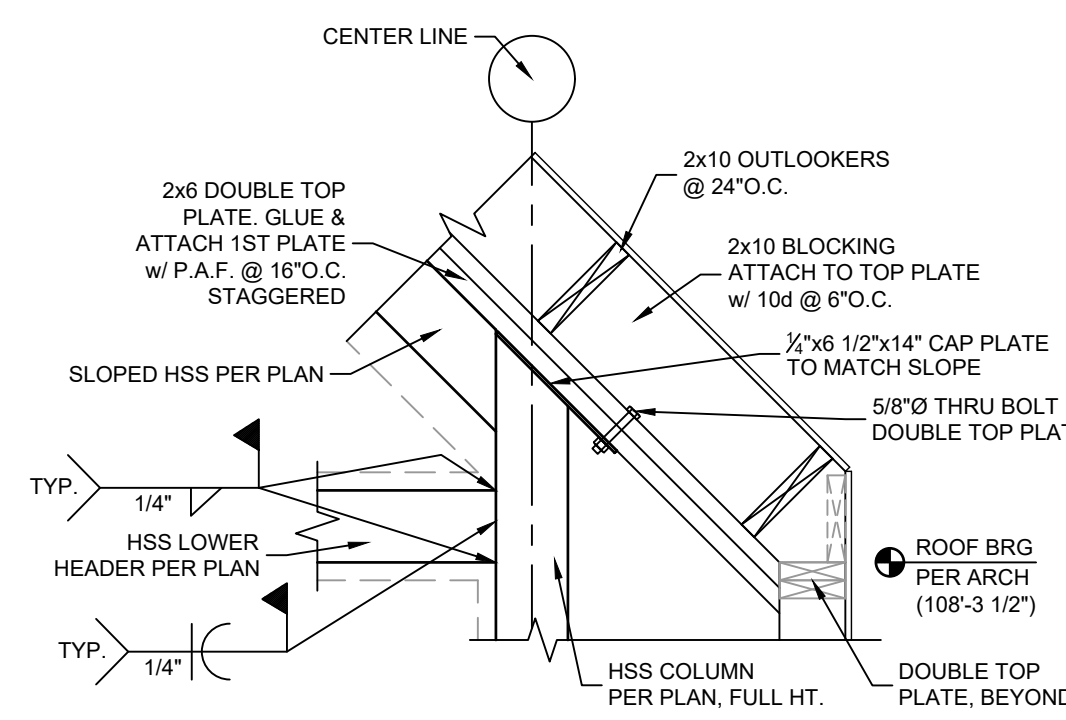
9 FRAMING DETAIL

S3.1 3/4" = 1'-0"



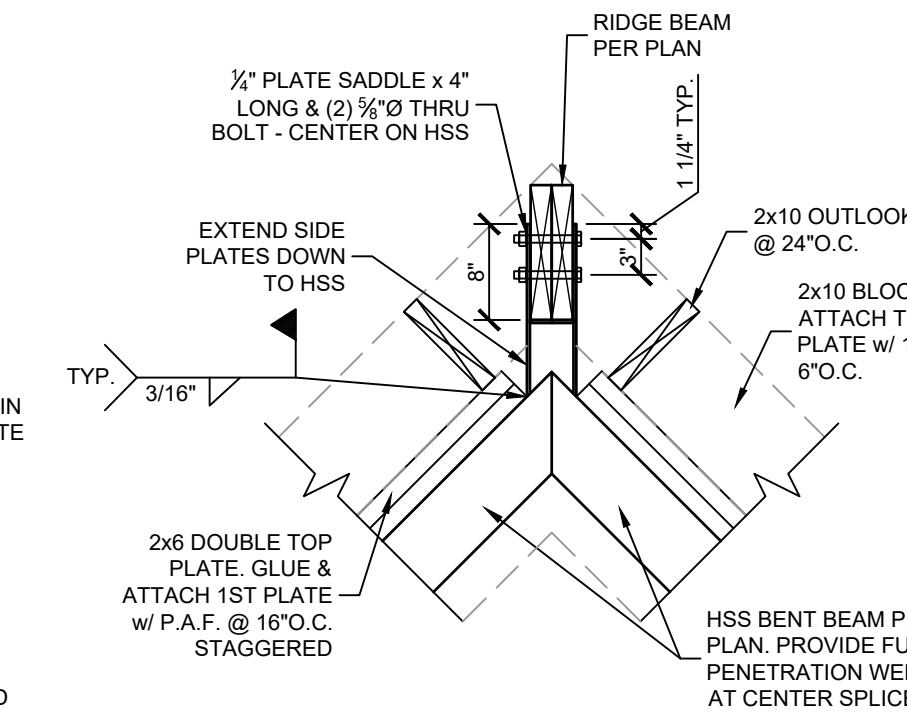
8 2x RAFTER BEARING DETAIL (LOW, NO O.H.)

S3.1 3/4" = 1'-0"



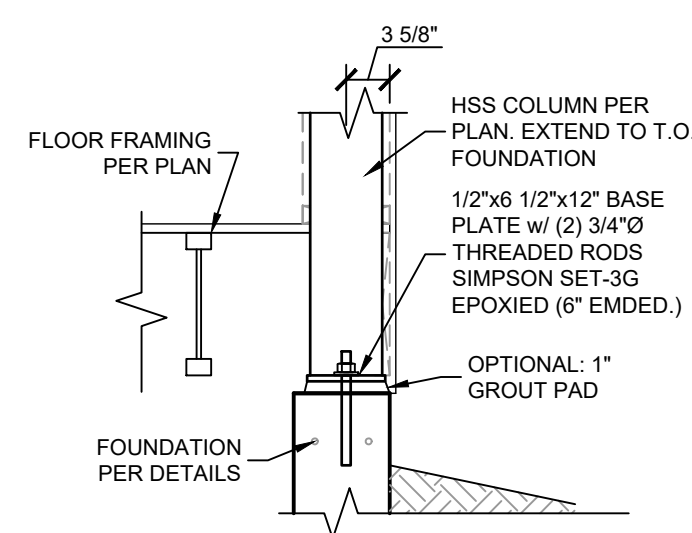
7 HSS BEAM - FRAME DETAIL

S3.1 3/4" = 1'-0"



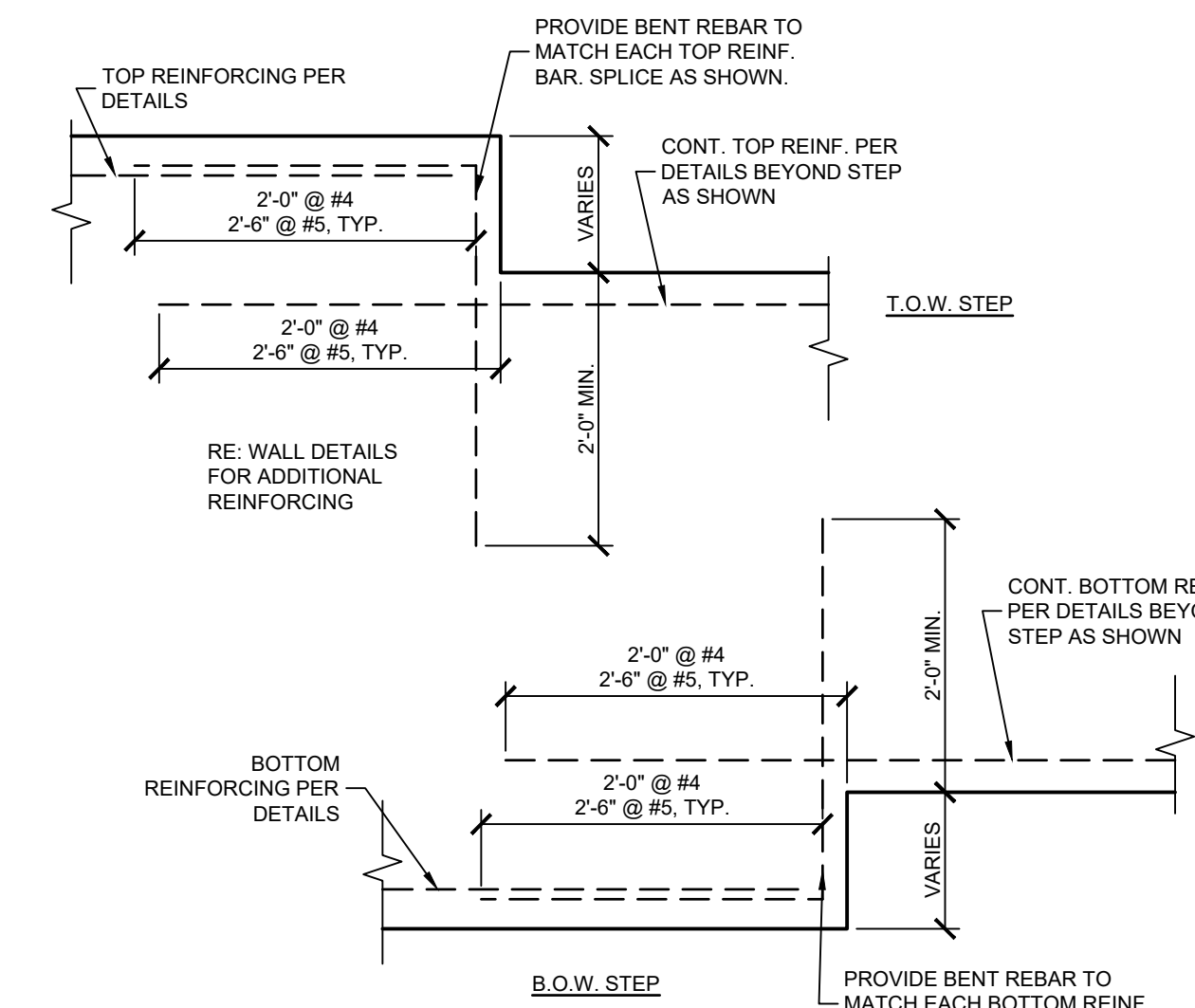
6 HSS BEAM - RIDGE DETAIL

S3.1 3/4" = 1'-0"



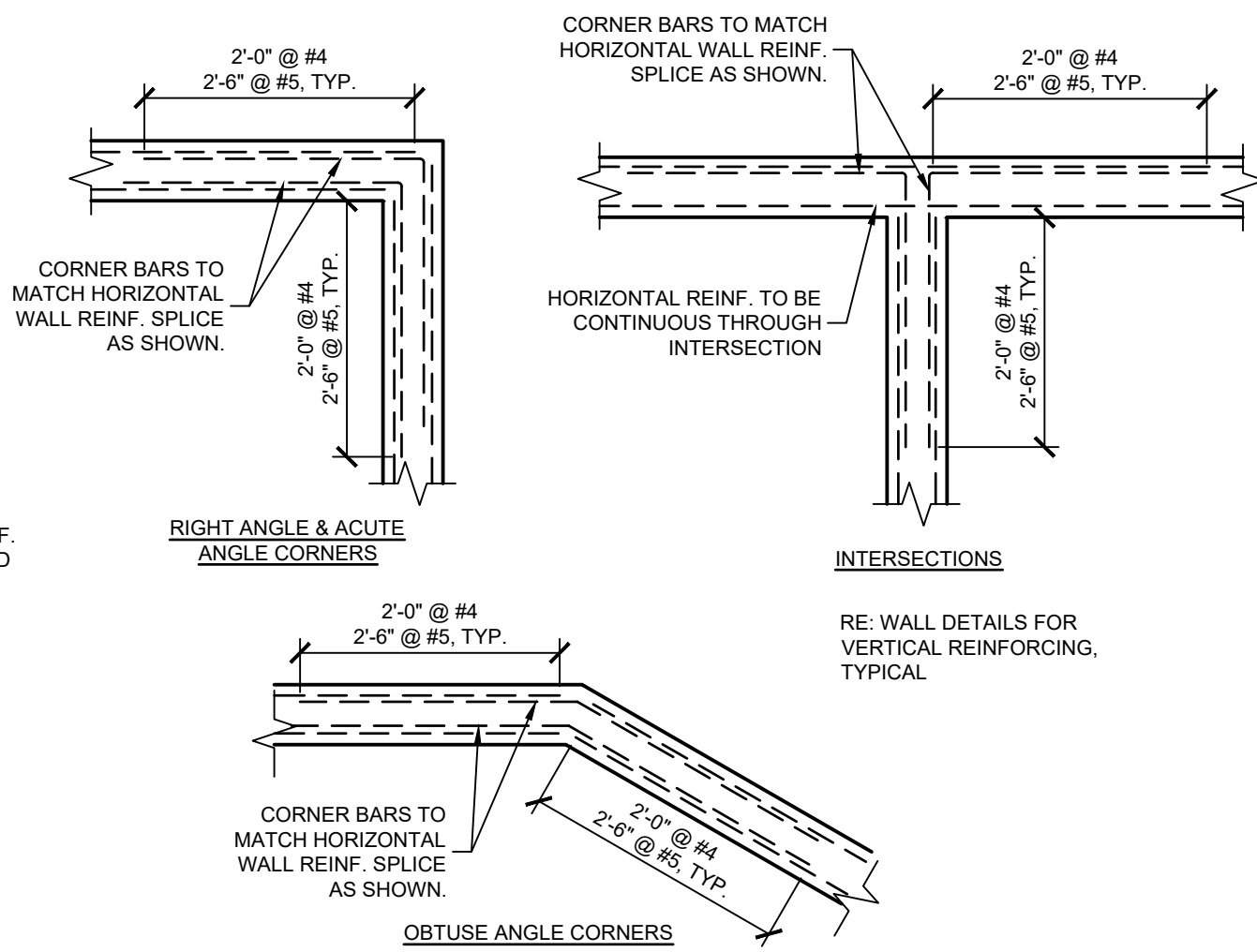
5 COLUMN BEARING DETAIL

S3.1 3/4" = 1'-0"



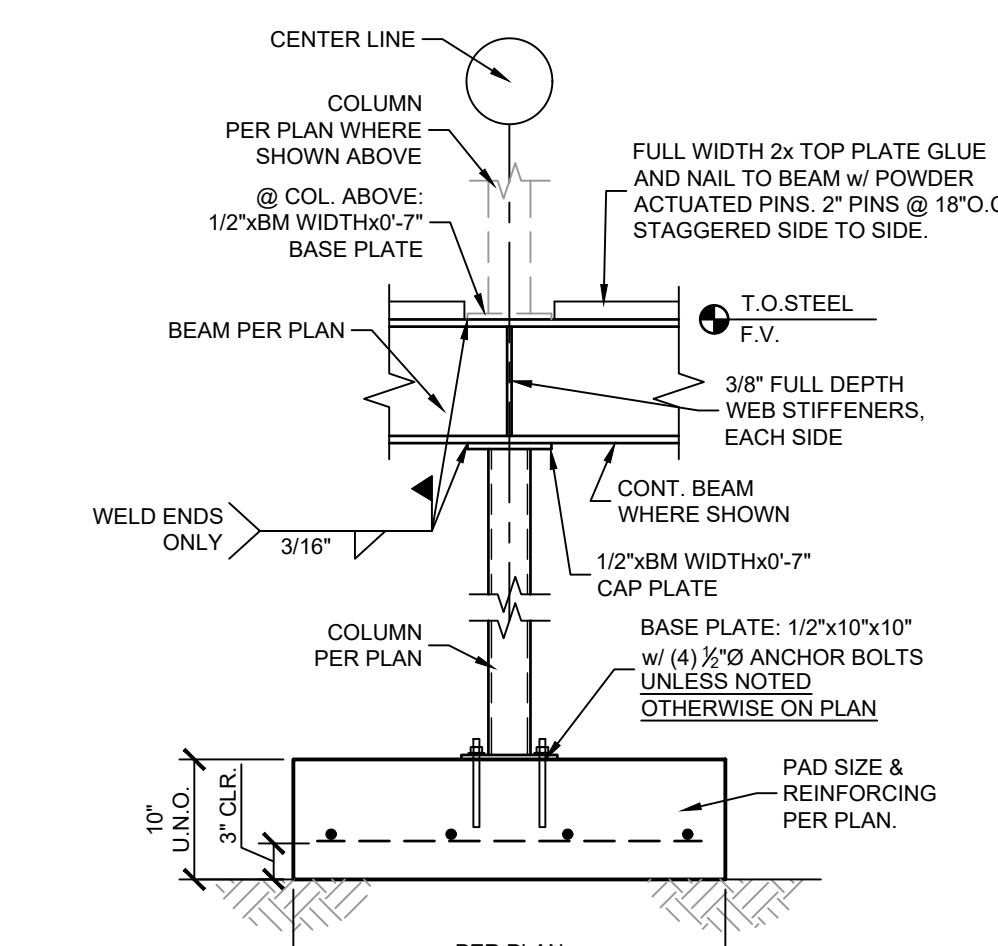
4 STEP REINFORCING DETAIL

S3.1 3/4" = 1'-0"



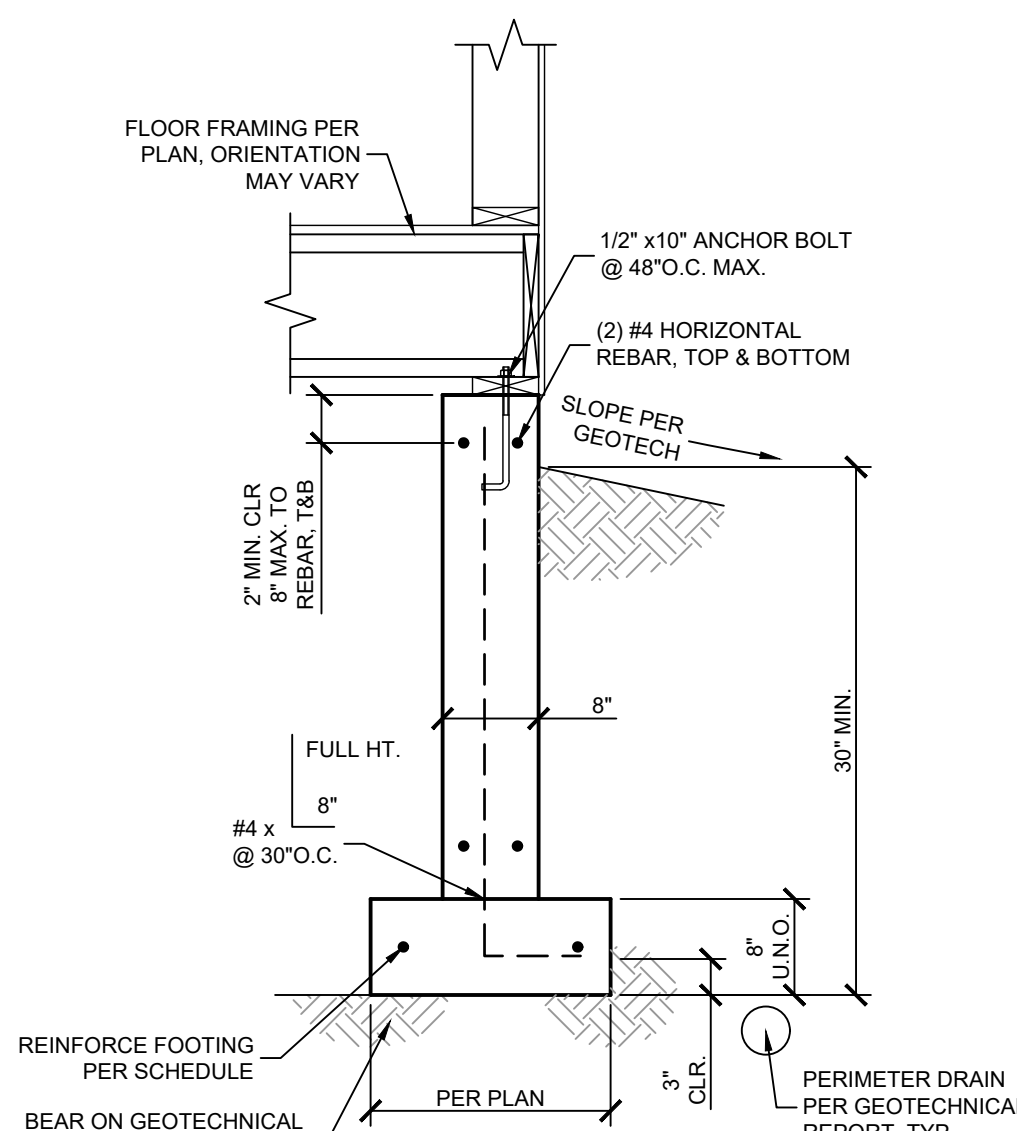
3 TYPICAL CORNER REINFORCING DETAIL

S3.1 3/4" = 1'-0"



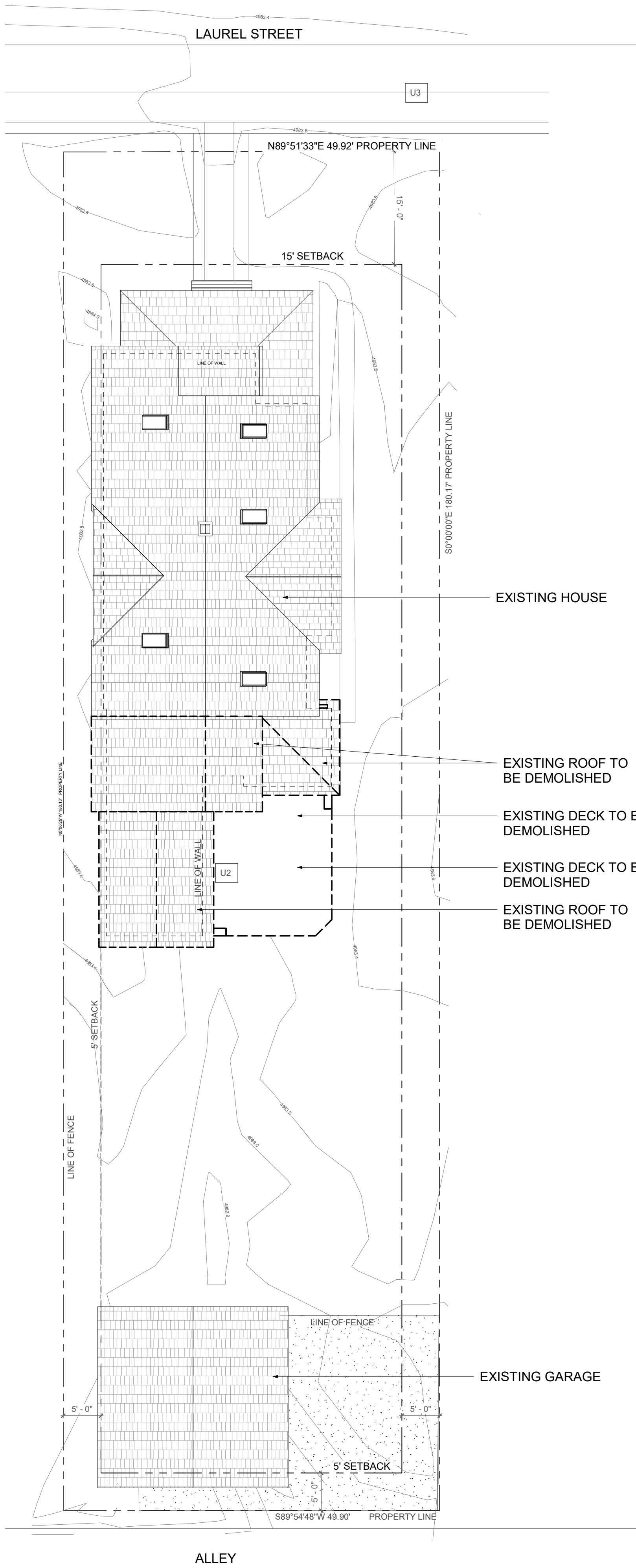
2 PAD DETAIL (CRAWL SPACE)

S3.1 3/4" = 1'-0"

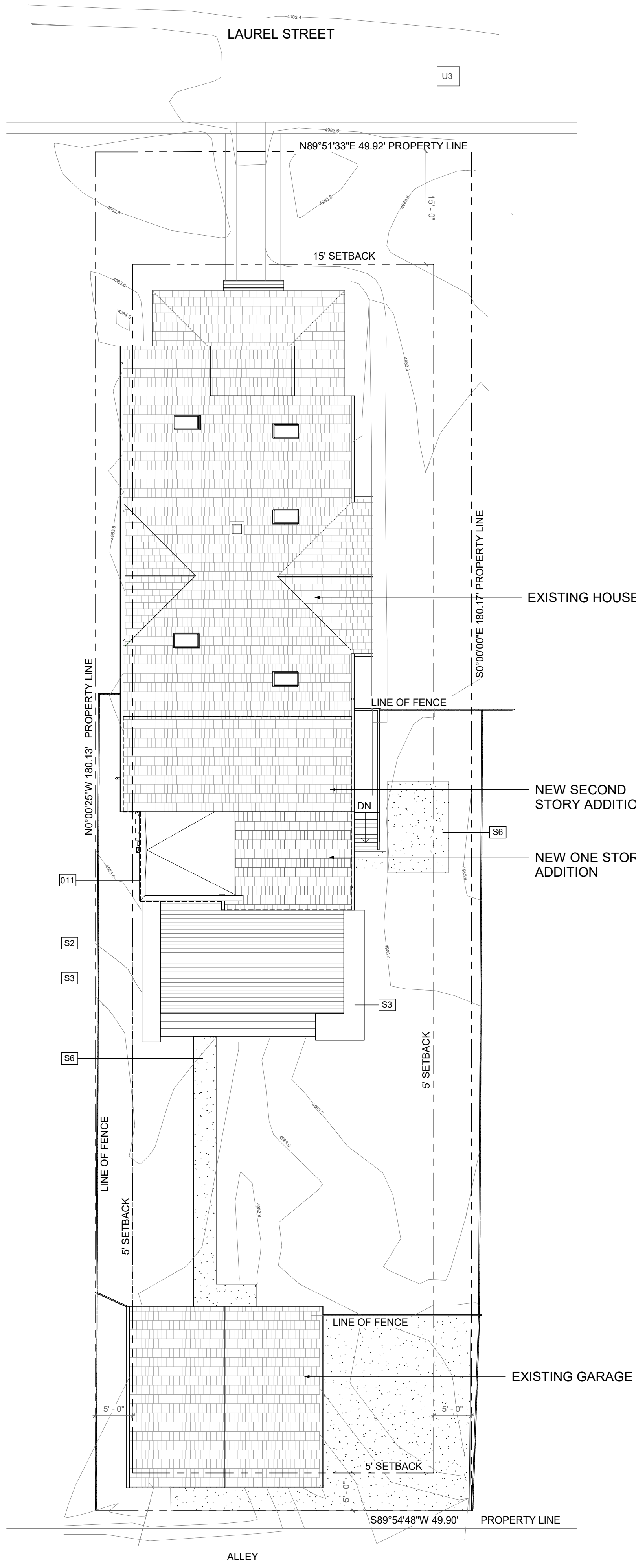


1 CRAWL SPACE FOUNDATION DETAIL

S3.1 3/4" = 1'-0"



↑2 EXISTING SITE PLAN
1" = 10'-0"



↑1 SITE PLAN W/ PROPOSED ADDITION
1" = 10'-0"

SITE PLAN NOTES

- 1 SEE SITE DRAINAGE ON G.05
- 2 REFER TO ROOF PLAN FOR ROOF DRAINAGE & DOWNSPOUT LOCATIONS.
- S1 NEW GRADE-LEVEL PAVERS PATIO
- S2 NEW DRIP-THROUGH DECK. SEE STRUCTURAL
- S3 NEW PLANTERS
- S4 NE CONCRETE PAVERS
- S5 NEW WOOD STEPS TO GRADE
- S6 NEW CONCRETE SIDEWALK TO GARAGE
- S7 EXISTING PRIVACY FENCE- WOOD
- U1 EXISTING GAS METER
- U2 TO BE REPLACED AND RELOCATED. NEW PANEL TO BE LOCATED ON WEST ELEVATION. UPGRADE TO 200 AMPS. ELECTRIC LINES ARE BURIED
- U3 EXISTING WATER METER

DEMO NOTES

- 1 PROTECT ALL ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- 2 EXISTING EXTERIOR DOORS & WINDOWS TO BE REMOVED AND REPLACED AS INDICATED.
- 3 EXISTING EXTERIOR WALLS AND STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE
- 4 EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED
- 5 EXISTING CASEWORK, PLUMBING FIXTURES, AND APPLIANCES TO BE REMOVE AS NOTED

E Laurel Residence

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NOT FOR
CONSTRUCTION

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PERMIT SET

1 PERMIT SET 10.08.2021

SITE PLAN

A1.0

**Conceptual Drawings Reviewed by Staff,
April 28, 2021**

Jim Bertolini

From: Jim Bertolini
Sent: Wednesday, April 28, 2021 12:38 PM
To: Kristin Zuro
Cc: Chris Gray
Subject: RE: [EXTERNAL] 421 E Laurel Street

Kristin,

Thanks again for calling today and sorry my response got lost in the shuffle over the weekend. Some summary notes from our staff meeting last week and phone call just now:

- Overall, the design looks very good. The replacement addition is much more compatible with the property in terms of being compatible, distinguishable (as new construction), and subordinate to the historic house. Stepping down the gable roof on the addition is a handy tactic to help with that.
- The main note we'd offer is to minimize alteration of the rear/south gable end. Our top recommendation would just be to retain the existing fish-scale shingles and window. The next best thing would be to replace the siding with something similar and at least keep the window in its current location.
- On cladding the new addition, we'd generally steer you toward a frame dropboard or lapboard option rather than masonry to help distinguish the addition from the historic brick house.
- On color, no preferences. Victorian-era buildings like this were usually quite bright and flashy. Our only painting note would be regarding materials conservation, which includes not painting the brick, and using an oil primer with an oil or latex top coat for wood features to maintain a degree of breathability.
- On process, since this is not a City Landmark and the property is very likely to remain a contributing resource in the historic district with the project executed as designed, this will be a staff review. You can just finalize plans and submit for a building permit and Preservation can just review and issue the necessary report at that time, usually within a week of your application coming in.

If other questions come up, let us know. Cheers!

JIM BERTOLINI

Pronouns: he/him/his
Historic Preservation Planner
Community Development & Neighborhood Services
281 North College Avenue
970-416-4250 office
jbortolini@fcgov.com

From: Kristin Zuro <kristin@bldgcollective.com>
Sent: Thursday, April 22, 2021 2:19 PM
To: Jim Bertolini <jbortolini@fcgov.com>; Karen McWilliams <KMCWILLIAMS@fcgov.com>
Cc: Chris Gray <chris@bldgcollective.com>
Subject: [EXTERNAL] 421 E Laurel Street

Hi Karen and Jim,

We are excited to start the conversation regarding the property at 421 E Laurel St! The existing home was revised in the 1980's. During that time, a second story and addition was added. We are planning to demo the existing addition and create a new one that is more livable. Two weeks ago, the project was approved by the

Zoning Board of Appeals. We have been approved to build an additional 295 sq. ft above the allowable square footage.

We have designed the new one-story addition to be congruent with the existing residence by using a 12/12 pitch gable roof, that is similar in scale to the dormers and to the front of the house. Also, the gable of the addition extrudes to match the eaves of the existing house. Furthermore, we have designed the addition to have low visual impact – it is not visible from the street and is minimally visible from the alley due to the presence of an existing detached garage.

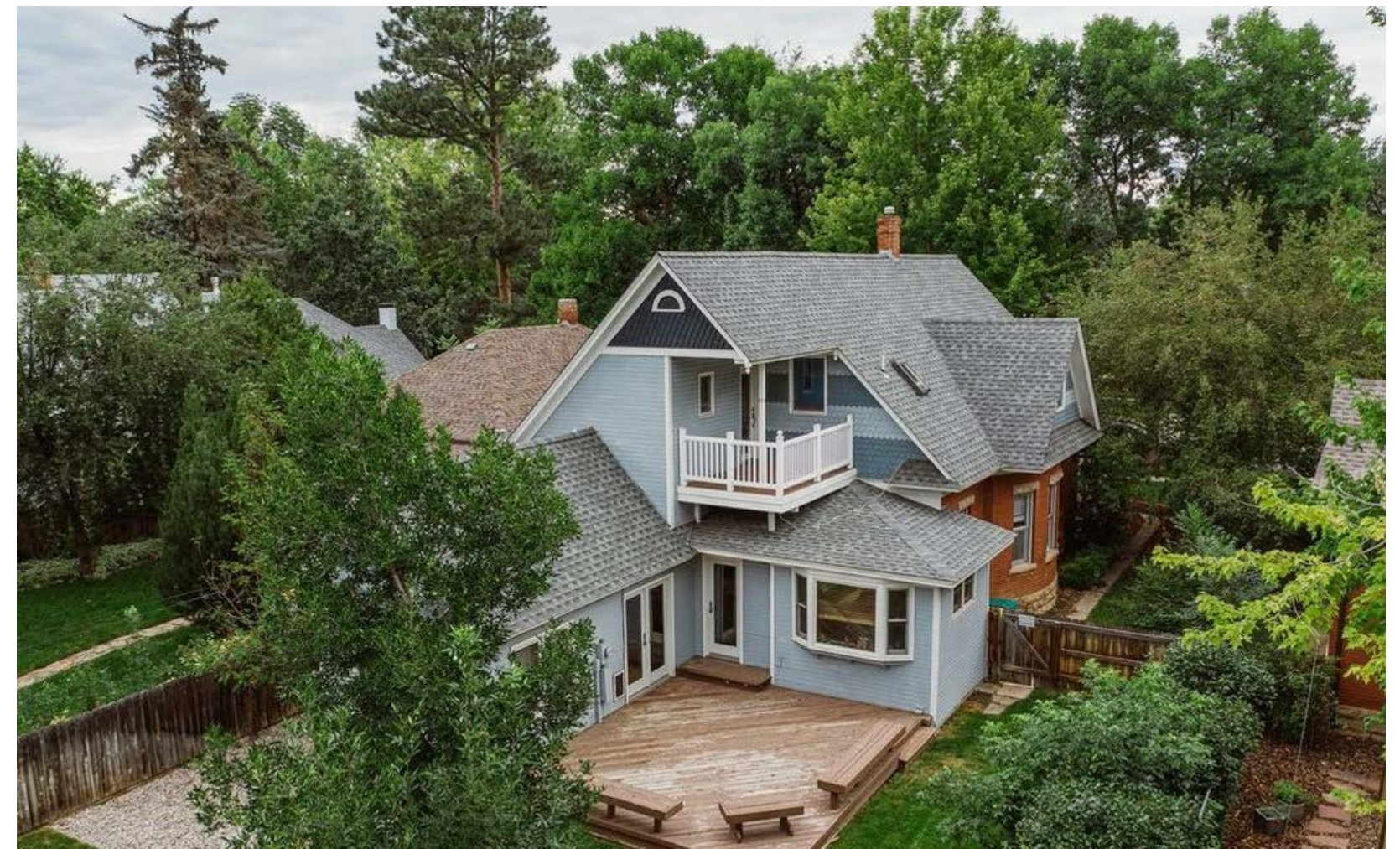
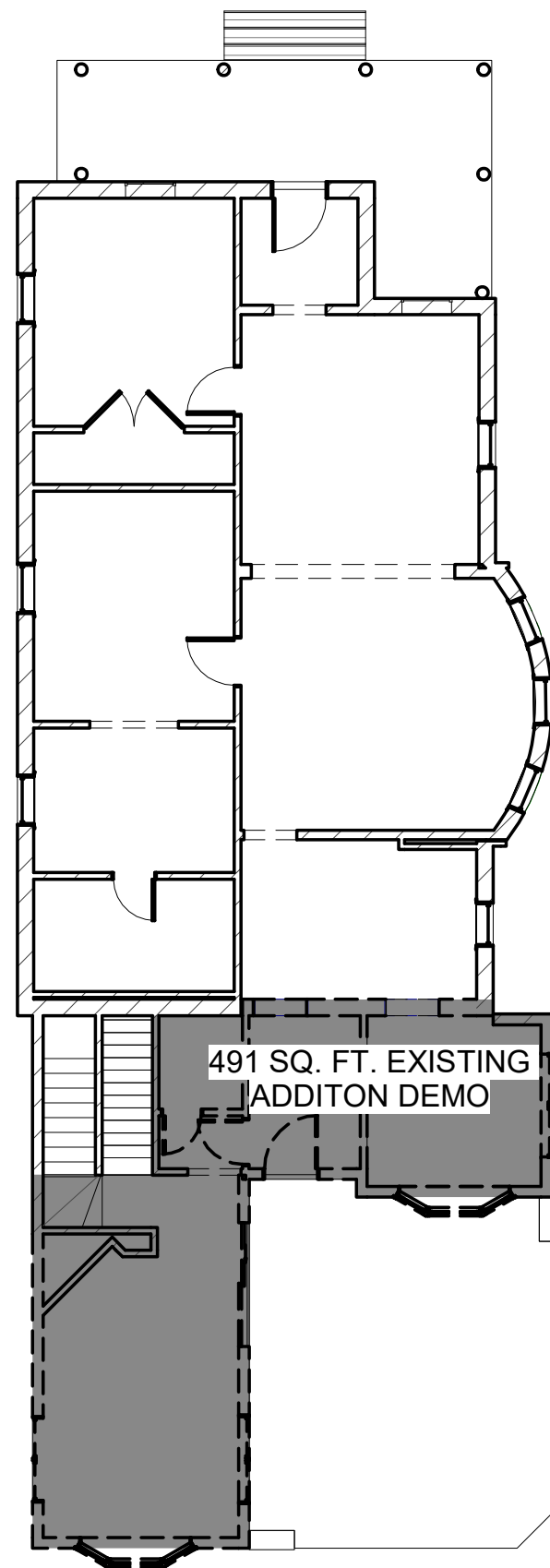
We appreciate your time and feedback. Attached are the drawings you have requested. Please let me know if you have any questions.

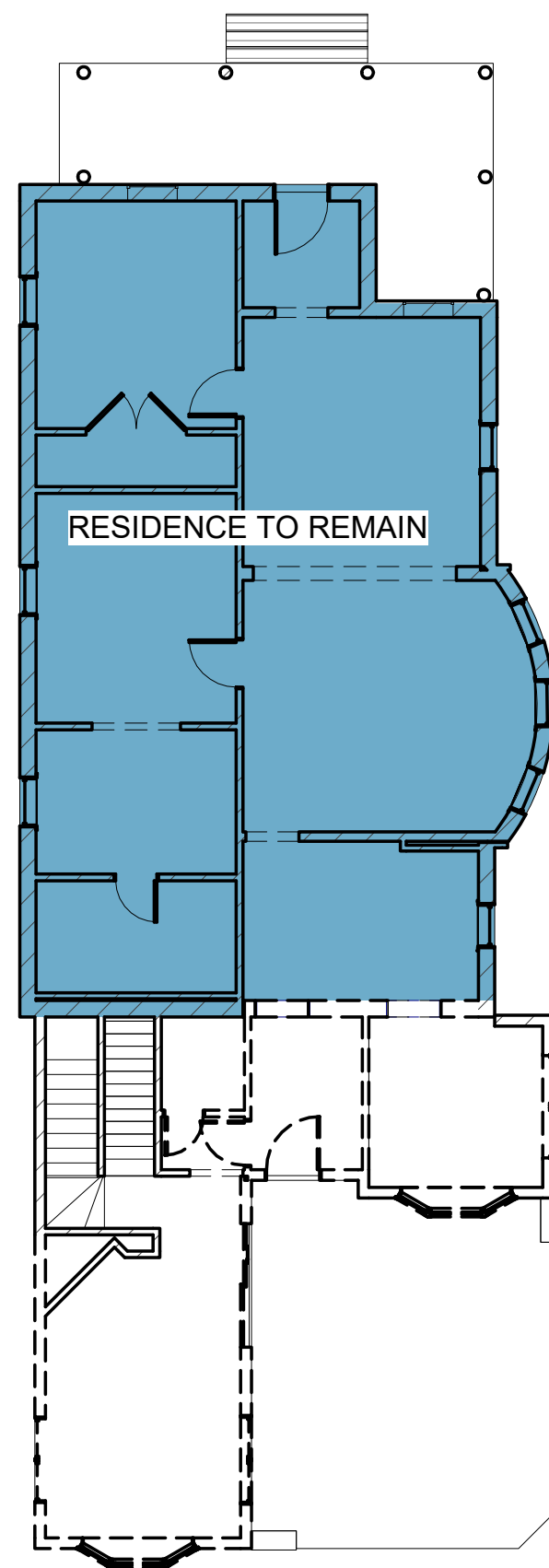
Best Regards,

Kristin Zuro

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Kristin Zuro
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303.357.1364
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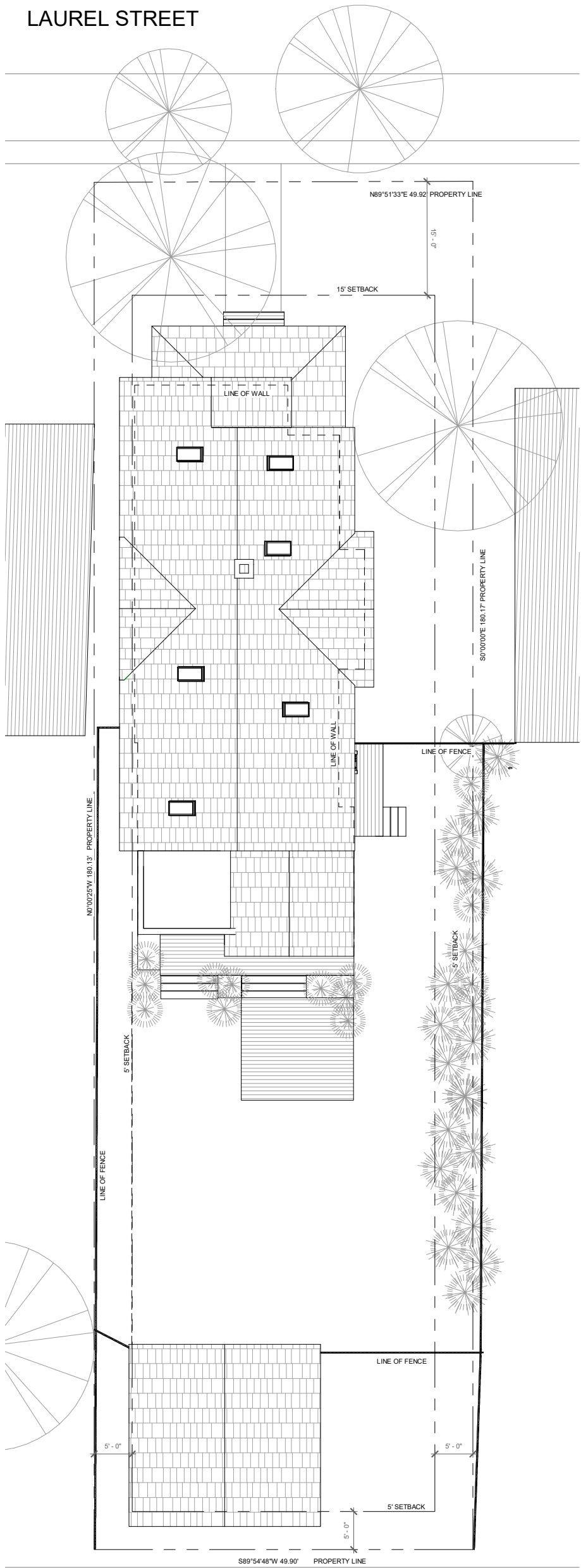




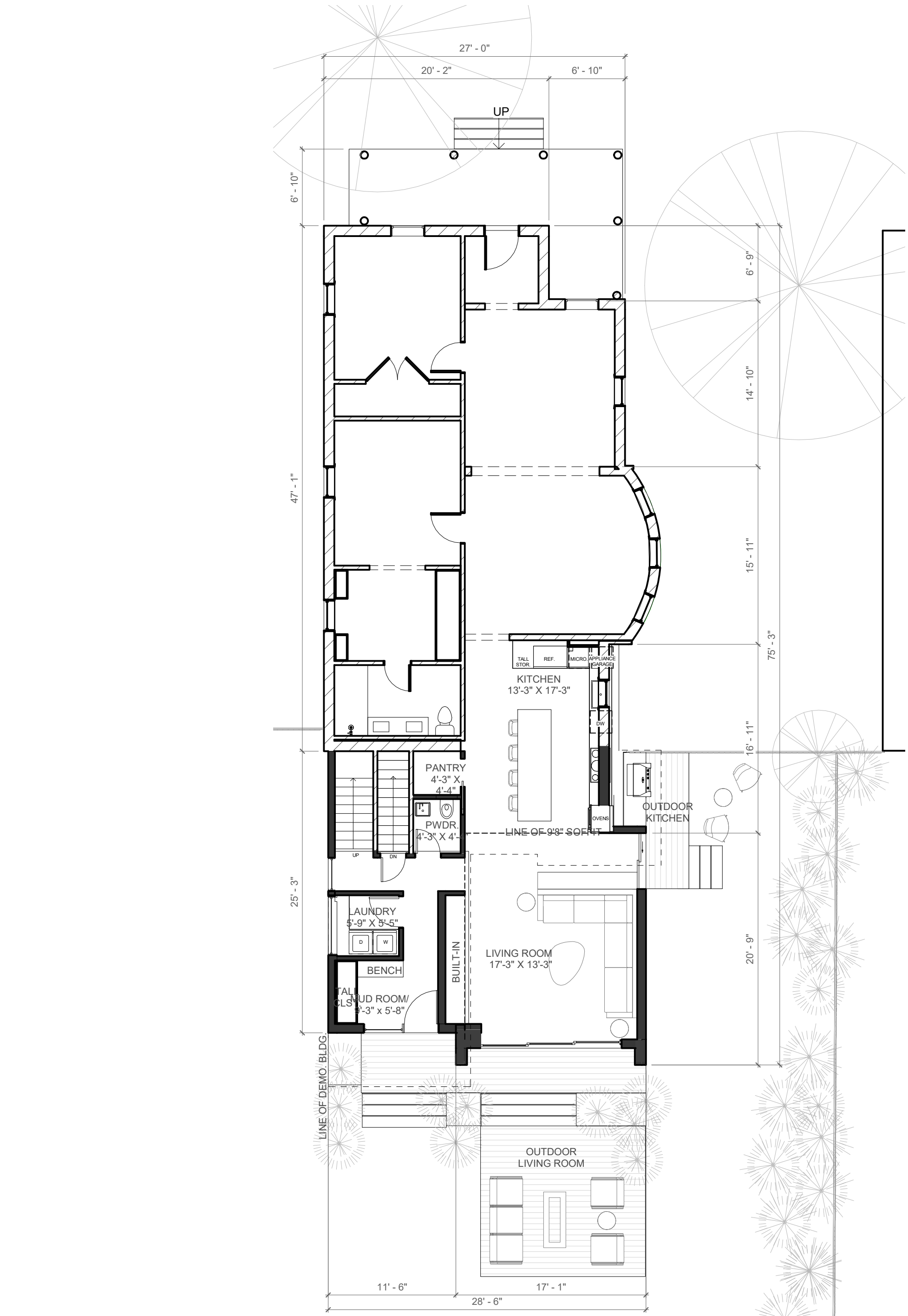
① LEVEL 1 -EXISTING HISTORIC RESIDENCE
1" = 10'-0"

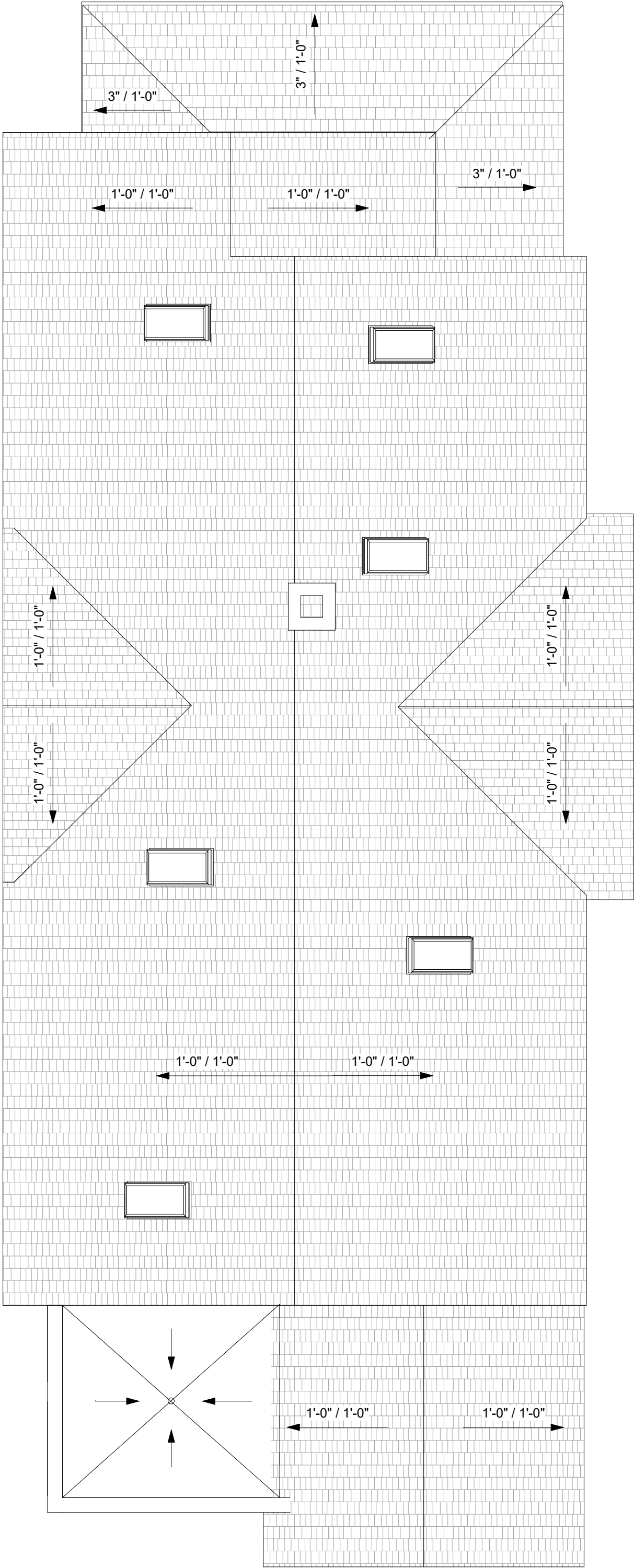


LAUREL STREET



ALLEY









POTENTIAL MATERIALS

