



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 519 Peterson Street

Laurel School National Register Historic District

ISSUED: April 20, 2021

Rachel Lee
519 Peterson Street
Fort Collins, CO 80524

Dear Property Owner:

This report is to document proposed alterations to the Moon Residence at 519 Peterson Street, pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include:

- Demolition of the existing front porch and construction of a new porch across the full width of the east façade
- Construction of a new, large concrete window well on the rear/west of the building at the basement level.

Our staff review of the records related to this property have determined that the property no longer contributes to the Laurel School Historic District based on a significant addition to the property completed in 1994. A subsequent historic survey of the property in 1998 recommended that it no longer contributes to the historic district. Staff sees no reason to reconsider that determination.

Staff finds that the proposed work is of a small enough scale that it will not have a detrimental effect on the overall historic district, and therefore, meets the [SOI Standards for Treatment of Historic Properties](#) to a sufficient degree. It should be noted that this treatment would not meet the Standards if the property were a contributing building to the historic district.

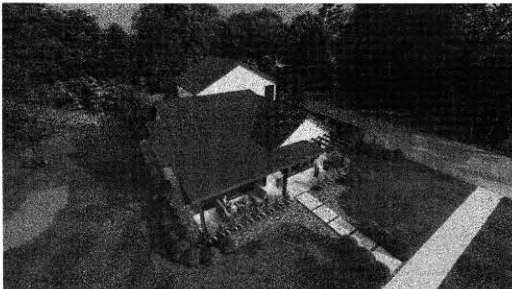
If you have any questions regarding this review, please contact me. I may be reached at jbertolini@fcgov.com, or at (970) 416-4250.

Sincerely,

Jim Bertolini
Historic Preservation Planner

Queen-Lee Residence,

519 Peterson Street
Fort Collins Colorado



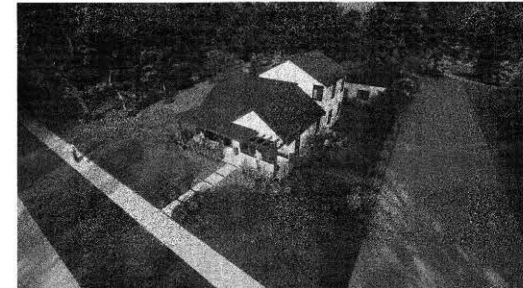
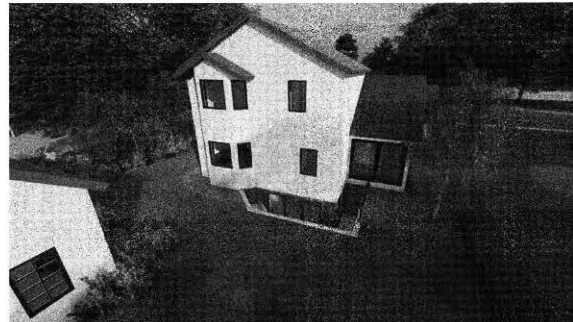
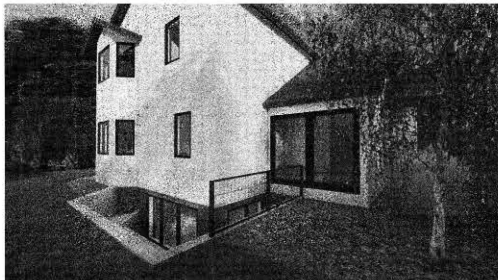
Structural Engineer:

CTL / THOMPSON
STRUCTURAL ENGINEERS
Wyatt Knutson
1103 Old Town Lane
Cheyenne, Wyoming 82009
307 426 4183

Designer:

David Hueter Design
5402 Roma Valley Court
Fort Collins, CO 80525
970 567 4805

Builder:



3-23-21
Permit
Set

Builder:
Fishback Builders, LLC
134 Fishback Avenue
Fort Collins, CO 80521
970.492.5566

Queen-Lee Remodel
519 Peterson Street
Fort Collins Colorado

DAVID HUETER DESIGN
ARCHITECTURE & INTERIOR DESIGN

Date: 03-23-21

Revisions:

A0

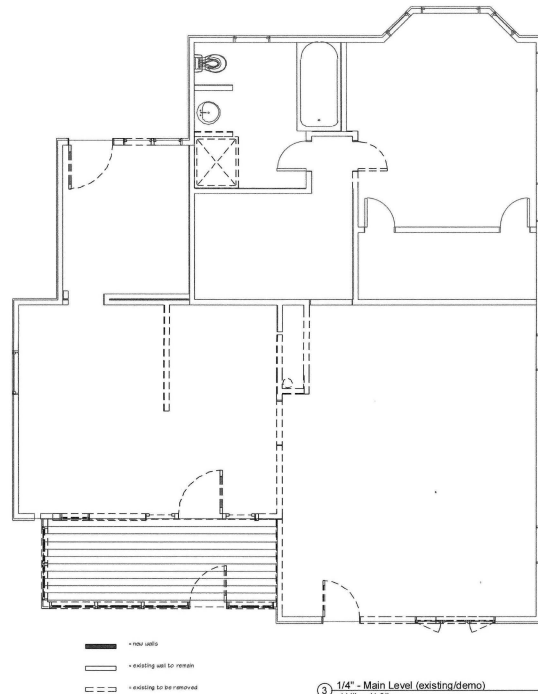
Sheet A0

General notes:

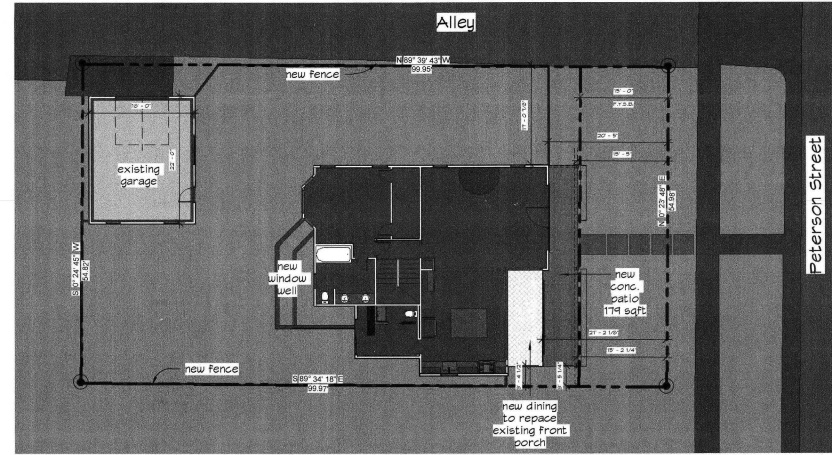
- General Contractor to review all drawings and site / existing conditions prior to construction
- Any discrepancy or concerns in the plans are to be brought to my attention prior to construction
- General Contractor to provide full sets of drawing to all sub-contractors
- Sub-Contractor are to ask questions to general contractor prior to calling David E. Hueter
- All dimensions are to rough framing (U.N.O.) unless noted otherwise, verify all existing conditions on site
- Sub-Contractors are to site verify all conditions on site
- Stamped structural drawing always supersede non-stamped drawings

Site Notes

1. Licensed Surveyor to stake lot & house, Owners and builder to approve layout before excavation
2. Solid contour lines indicates proposed grading, Dashed contour lines indicates existing grading, Final grading will be verify on site with owners
3. Grades on any portion of the lot shall have a minimum slope of 2%.
4. Runoff should Flow away from occupied structures, a minimum of 10% in the first five feet. There must be positive drainage away from all foundation openings (i.e windows, walk-outs).
5. Ground elevations shall be a minimum of 0.5' below the top of foundation as outlined in the current International Building Code.
6. Contractor to verify any discrepancies with top of foundation heights
7. Contractor shall be responsible for locating utilities prior to construction



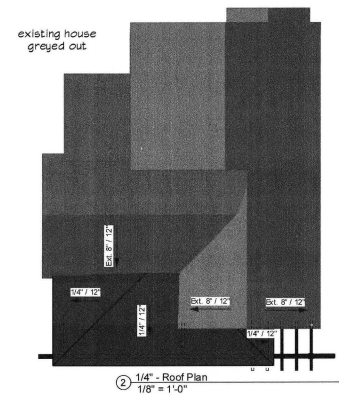
① 1/4" - Main Level (existing/demo)
1/4" = 1'-0"



① Site - 1"=10'
1" = 10'-0"

Area Schedule (Gross Building)		
Level	Name	Area
Main Level	Existing House	1212 SF
Main Level	New Front Porch	179 SF
Main Level	New Dining Addition	99 SF
Grand total: 3		1490 SF

Drawing List	
Sheet Number	Sheet Name
A0	Cover Sheet
A1.0	Site Plan / Roof
A1.1	Site I&P
A2	Main/Lower Level Plan
A3	Elevations
A4	Sections
A5	Sections
A6	Framing Plans
A7	Interior Elevations
A8	Main Level Electrical



② 1/4" - Roof Plan
1/4" = 1'-0"

3-23-21
Permit
Set

Builder:
Fishback Builders, LLC
134 Fishback Avenue
Fort Collins, CO 80521
970.492.5566

Queen-Lee Remodel
519 Peterson Street
Fort Collins Colorado



Date: 03-23-21

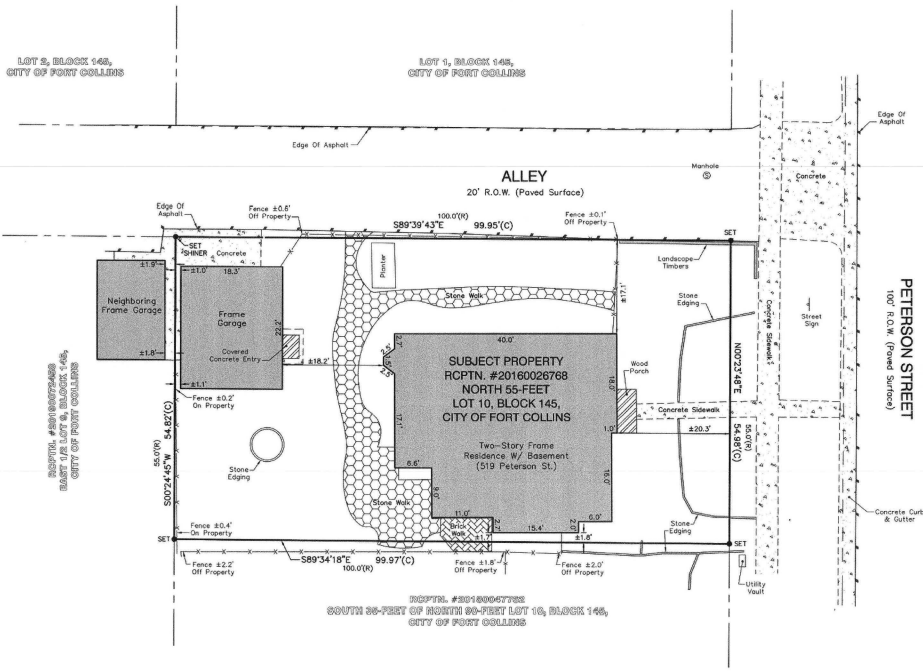
Revisions:

A1.0

Sheet A1.0

IMPROVEMENT SURVEY PLAT

THE NORTH 55-FEET OF LOT 10, BLOCK 145, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO



PROPERTY DESCRIPTION:
THE NORTH 55 FEET OF LOT 10, BLOCK 145, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.
NOTE: The above property description was obtained from the records of the Office of the Larimer County Clerk and Recorder, Warranty Deed recorded on May 2, 2015 at Reception No. 20160026768.

BASIS OF BEARINGS STATEMENT: Basis of Bearings for this survey are based on the assumed bearing of South 89°40'32" East on a portion of the South line of Block 145, City of Fort Collins, Colorado, County of Larimer, State of Colorado. Note: Monumentation of said line is shown on Map.

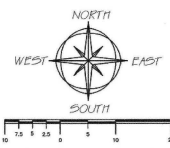
GENERAL NOTES:

- 1. This Improvement Survey Plat was prepared without the benefit of a Commitment For Title Insurance or Title Policy. No further assessment and/or right of way research, other than may be shown on this Map, was requested by the client or performed by InterMill Land Surveying, Inc. for the preparation of this survey. The property description, shown herein, was derived from the records of the Office of the Larimer County Clerk and Recorder, Warranty Deed recorded on May 2, 2015 at Reception No. 20160026768.
- 2. External Boundary Monumentation and Control Monumentation as shown.
SET = Set No. 4 rebar (1/2" long) with 1" diameter red plastic cap marked LS 30462.
SET SHNER = Set 1" long concrete nail & brass shner marked LS 30462 in concrete.
M1 = Found No. 4 rebar (length unknown) with no cap or visible markings.
M2 = Found No. 4 rebar (length unknown) with plastic cap marked LS 30385.
M3 = Found No. 4 rebar (length unknown) with plastic cap marked LS 7838.
M4 = Found No. 4 rebar (length unknown) with flagpole plastic cap.
(C) = Indicates calculated bearing and/or distance.
(M) = Indicates measured bearing and/or distance from field survey.
(B) = Indicates record bearing and/or distance per the recorded deed for that property and/or the record bearing and/or distance per the recorded plat of the City of Fort Collins, Colorado.
- 3. The fence locations, if shown on this survey, are approximate. Fences shown on this Map were located on June 5, 2020. Ownership of fences cannot be determined by InterMill Land Surveying, Inc.
- 4. Property Address: 519 Peterson Street, Fort Collins, Colorado 80524.
- 5. There are no buildings encroaching onto adjoining properties, known easements and/or rights-of-way, except as may be shown on this Map.
- 6. Any utilities and/or evidence of utilities, if shown herein, are based upon on-site observation and known information only.

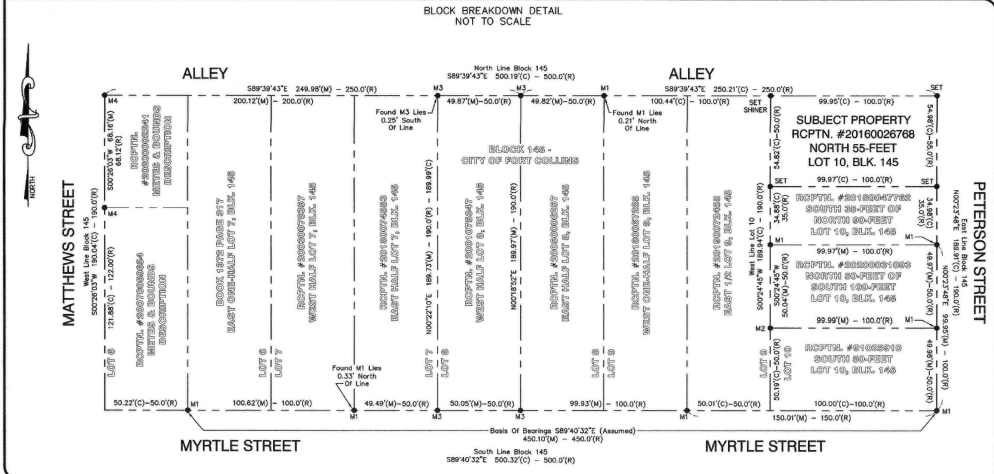
SURVEYOR'S CERTIFICATE:

I, Steven John Stencel, a duly Registered Professional Land Surveyor in the State of Colorado, do hereby certify that a survey of the above described premises was conducted by me or under my direct supervision, and that the attached Improvement Survey Plat shows that all improvements are accurately shown herein, and that the boundaries of the subject property are accurately shown, and that there are no encroachments of improvements, if any, onto adjoining property or any easement or right-of-way and no encroachment from adjoining property onto the subject property, unless shown otherwise; and that the boundary corners have been found or set, as shown; and that this Improvement Survey Plat is an accurate delineation of said survey, and that all information shown herein is true and correct to the best of my knowledge.

PREPARED BY AND ON BEHALF OF:
INTERMILL LAND SURVEYING, INC.
1301 North Cleveland Avenue
Loveland, Colorado 80537
P: (970) 669-9554
E: info@intermill.net
Steven John Stencel
Colorado PLS No. 30462
Date: June 30, 2020



ORIGINAL SCALE: 1" = 10'
U.S. SURVEY FEET
Initial Preparation Date: June 24, 2020



3-23-21
Permit
Set

Builder:
Fishback Builders, LLC
134 Fishback Avenue
Fort Collins, CO 80521
970.492.5566

Queen-Lee Remodel
519 Peterson Street
Fort Collins Colorado

DATE: _____
BY: _____
REVISIONS: _____

INTERMILL LAND SURVEYING, INC.
LOVELAND, COLORADO 80537
P: (970) 669-9554 / F: (970) 669-9770
CLIENT: SCOTT QUEEN
519 Peterson Street
Fort Collins, CO 80524
TITLE: IMPROVEMENT SURVEY PLAT
North 55-foot Lot 10, Blk. 145, Fort Collins, CO

DRAWN BY: _____
APPROVED BY: _____
DATE: 06/24/2020
SCALE: 1" = 10'
PROJECT NO.: P-20-6980
SHEET 1 OF 1

Date: 03-23-21

Revisions:

A1.1
Sheet A1.1

SCOTT QUEEN - IMPROVEMENT SURVEY PLAT - North 55-foot Lot 10, Block 145, Fort Collins, CO

System/Key Notes

Typical Nail System (new)
 - see elev. for siding mat. & locations
 - house wrap (builder specified)
 - 2x4 studs @ 16" o.c.
 - r-29, Optima Loose Fill insulation
 at all 2x6 exterior walls (garage walls as well)
 - vapor barrier
 - 1/2" gyp. Bd.

Typical Floor System (match existing)
 - 3/4" o.s.b. sub-floor
 - 2x10 @ 16" o.c. (I.N.O.)
 - 2x10 rim bd.
 - 2x6 p.t. sill plate
 - sill plate foam
 - r-14 batt. insulation

Asphalt Roof System (match existing)
 - P.E. Roof Trusses @ 24" o.c.
 - R-49 blown insulation
 - 1/2" o.s.b. roof sheathing
 - Shark skin roof underlayment
 - Asphalt Roof Shingles
 - Contours ridge vents

"A2" = Flat Roof System (new)
 - EPDM Roofing System
 - 3/4" cdx plywood
 - 2x12 @ 16" o.c. w/ 1/4" slope cut out, start @ soff. edge w/ 1/4" depth
 - Closed cell spray insulation, T" or R-49

"B" = Typical Soffit / Fascia (match existing)
 - 5/4x10 Hd. Bd. (textured)
 - 2x- sub-fascia
 - 3/8" Hd. Bd. soffit sheets, w/ 1x4 Hd. Bd. battens @ 48" o.c.

"C1" = Horizontal Siding (match existing)
 - 1x6 wood siding
 - 1x6 corner boards
 - building wrap
"C2" = Vertical Siding (new)
 - 1x4 Cedar Vertical Shiplap
 - verify w/ manu. for recommended installation procedures and back drain systems

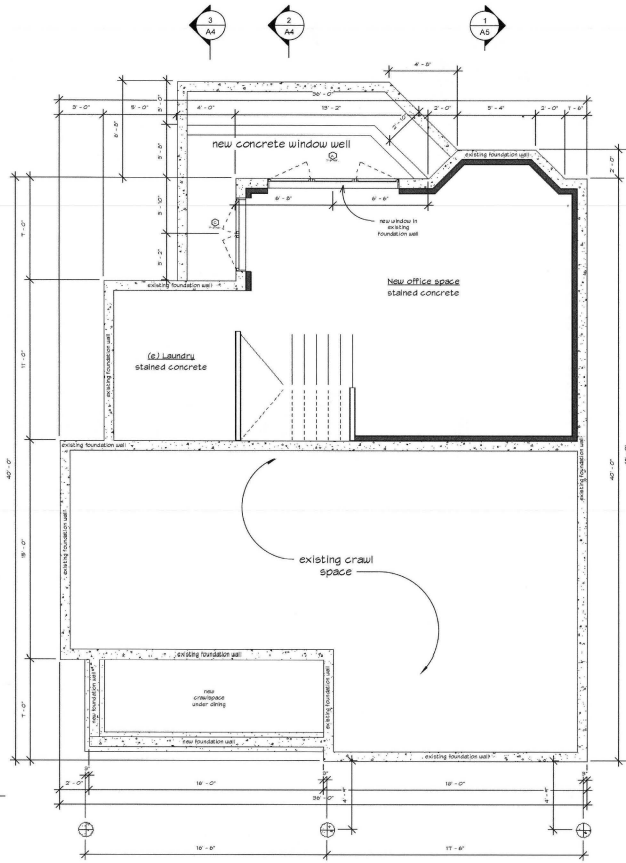
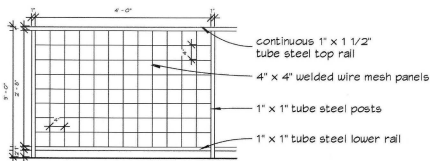
"E" = Windows (match existing)
 - Glad exterior, wood interior
 - Low "E"
 - tempered as per code
 - drip flashing
 - membrane wrap
 - 1/8" Laminated grids where shown
 - caulk as req'd. by manu.
 - verify w/ manu. for recommended installation procedures
 - egress to be verified by supplier
 - Decorative 2x5 C-Channel Header

"F" = Iron Planter Boxes
 - 3/4" th. iron
 - 12" wide
 - Verify length on floor plans
"G" = Railing (new)
 - 4x4 welded wire mesh
 - see detail

Window Notes:
 - Windows to be clad w/ wd. int.
 - Windows to have low-E glazing
 - Windows to have drip flashing
 - Verify rough openings with final window schedule by window supplier
 - Window supplier to verify egress and tempered glass requirements for all locations
 - 1/8" Laminated grids where shown
 - Membrane wrap as req'd.
 - see elevations for trim details

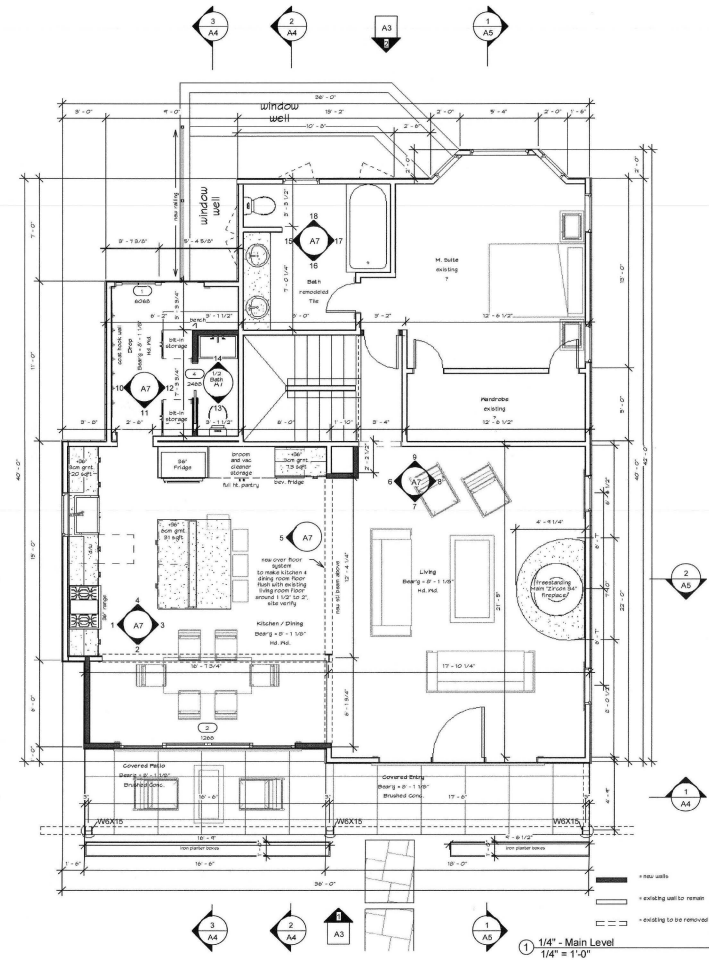
Insulation Notes:
 - r-49 blown insulation in all attic areas
 - 2x4 walls, 3.5" of open cell spray foam insulation shot between stud cavities - R15 - R15
 - r-11, vinyl drape wall insulation @ interior of crawl space foundation walls
 - 1" closed cell insul. from t.o. fnd. to sub-floor
 - 2" rigid insulation attached to exterior of foundation wall
 - extend from top of footing to grade (where there are no interior insulated walls)
 - NOTE: SEE SECTION DETAILS FOR OTHER SPECIFIC INSULATION REQUIREMENTS

Welded Wire Mesh Railing Detail



1/4" - Lower Level
 1/4" = 1'-0"

Door Schedule						
Type	Door	Unit No.		Description	Qty	
		Width	Height			
1	Doors_Exterior_Sliding_Full_Lite: 6068	6' - 0"	6' - 8"	exterior, sliding	1	
2	Sliding 4 Panel-xxxx: 1268	0' - 0"	0' - 0"	exterior, sliding	1	
3	Single Hinged - 1 Panel Flush: 2468	2' - 4"	6' - 8"	interior, solid core	1	
4	Pocket - 1 Panel Flush: 2468	2' - 4"	6' - 8"	interior, solid core	1	
5	Single Hinged - 3 Panel_Glass-Exterior: 3668	3' - 6"	6' - 8"	Exterior	1	
6	Doors_Single Hinged_3 Panel_Side Lite: 3668	3' - 6"	6' - 8"	interior, solid core	2	
Grand total					7	



1/4" - Main Level
 1/4" = 1'-0"

Window Schedule						
Sym	Type / Operation	Unit No.	Width	Height	Header Height	Qty
A	Casement-Triples-Fixed Center: 8046	9' - 0"	4' - 6"	7' - 6"	7' - 6"	1
B	Fixed-Single: 2646	2' - 6"	4' - 6"	7' - 0"	7' - 0"	2
C	Casement, Double: 5046	5' - 0"	4' - 6"	7' - 6"	7' - 6"	1
D	Awning-Single: 2614	2' - 6"	1' - 4"	2' - 6"	2' - 6"	2
Grand total						6

Area Schedule (Gross Building)		
Level	Name	Area
Main Level	Existing House	1212 SF
Main Level	New Front Porch	174 SF
Main Level	New Dining Addition	94 SF
Grand total: 3		1480 SF

3-23-21
 Permit
 Set

Builder:
 Fishback Builders, LLC
 134 Fishback Avenue
 Fort Collins, CO 80521
 970.492.5566

Queen-Lee Remodel
 519 Peterson Street
 Fort Collins Colorado

DAVID LEE DESIGN
 134 Fishback Avenue
 Fort Collins, CO 80521
 970.492.5566

Date: 03-23-21

Revisions:

A2

Sheet A2

Typical Wall System (new)
 - see elev. for siding mat. & locations
 - house wrap (builder specified)
 - 2x4 studs @ 16" o.c.
 - r-25 Optima Loose Fill insulation
 at all 2x6 exterior walls (garage walls
 as well)
 - vapor barrier
 - 1/2" gap Bd.

Typical Floor System (match existing)
 - 3/4" o.s.b. sub-floor
 - 2x10 @ 16" o.c. (U.N.O.)
 - 2x10 rim bd.
 - 2x6 p.t. sill plate
 - sill plate foam
 - r-19 batt. insulation

"A1" = Asphalt Roof System (match
 existing)
 - P.E. Roof Trusses @ 24" o.c.
 - R-49 blown insulation
 - 1/2" o.s.b. roof sheathing
 - Shark Skin roof underlayment
 - Asphalt Roof Shingles
 - Contours ridge vents

"A2" = Flat Roof System (new)
 - EPDM Roofing System
 - 3/4" cdx plywood
 - 2x12 @ 16" o.c. w/ 1/4" slope cut out,
 start @ soffit edge w/ 1/4" depth
 - Closed cell spray insulation, T or R-49

"B" = Typical Soffit / Fascia (match
 existing)
 - 5/4x10 Hd. Bd. (textured)
 - 2x- sub-fascia
 - 3/8" Hd. Bd. soffit sheets, w/ 1x4
 Hd. Bd. battens @ 48" o.c.

- match existing venting system
 - cont. gutter system, match existing

"C1" = Horizontal Siding (match
 existing)

- 1x6 wood siding
 - 1x6 corner boards

- building wrap

"C2" = Vertical Siding (new)

- 1x4 Cedar Vertical Shiplap

- verify w/ manu. for recommended
 installation procedures and back
 drain systems

"E" = Windows (match existing)

- Clad exterior, wood interior

- Low - "E"

- tempered as per code

- drip flashing

- membrane wrap

- 7/8" Laminated grids where shown

- caulk as req'd. by manu.

- verify w/ manu. for recommended
 installation procedures

- egress to be verified by supplier

- Decorative 2x5 G-Channel Header

"F" = Iron Planter Boxes

- 3/4" th. Iron

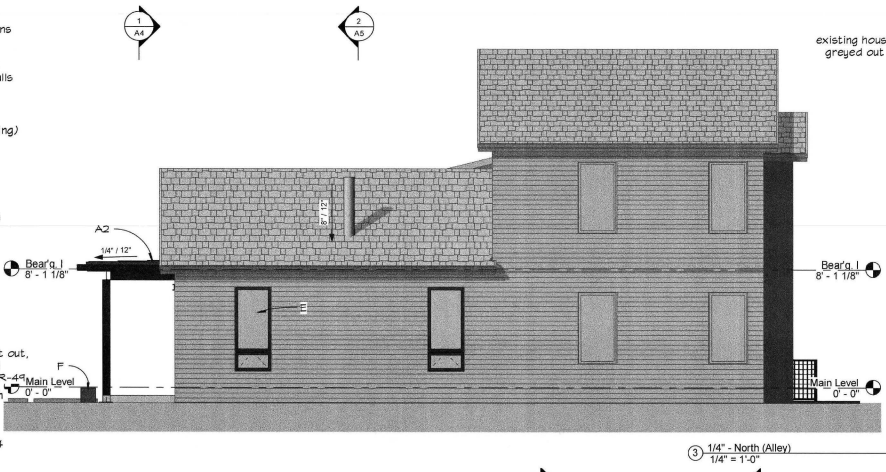
- 12" wide

- Verify length on floor plans

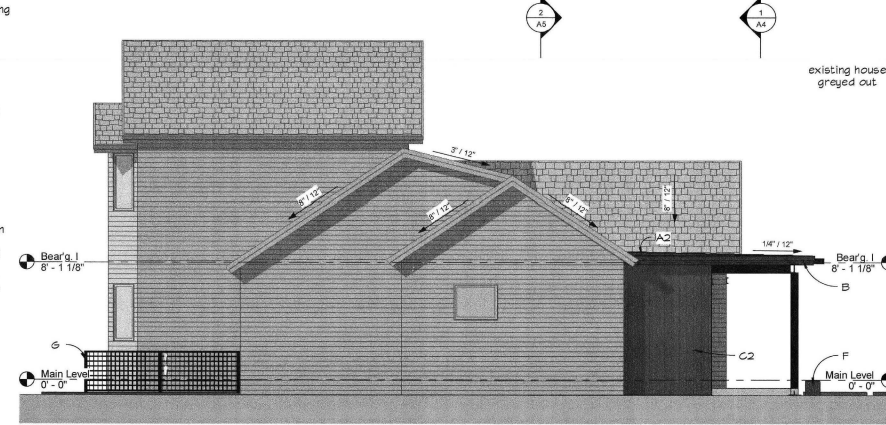
"G" = Railing (new)

- 4x4 welded wire mesh

- see detail



③ 1/4" - North (Alley)
 1/4" = 1'-0"



④ 1/4" - South (Side Yard)
 1/4" = 1'-0"

Window Notes:

- Windows to be clad w/ wd. int.
- Windows to have low-E glassing
- Windows to have drip flashing
- verify rough openings with final window schedule by window supplier
- Window supplier to verify egress and tempered glass requirements for all locations
- 7/8" Laminated grids where shown
- Membrane wrap as req'd.
- see elevations for trim details

Insulation Notes:

- r-44 blown insulation in all attic areas
- 2x4 walls, 3.5" of open cell spray foam insulation shot between stud cavities - R15 - R15
- r-11, vinyl drape wall insulation @ interior of crawl space foundation walls
- 1" closed cell insul. from t.o. fnd. to sub-floor
- 2" ridged insulation attached to exterior of foundation wall
- extend from top of footing to grade (where there are no interior insulated walls)
- NOTE: SEE SECTION DETAILS FOR OTHER SPECIFIC INSULATION REQUIREMENTS

existing house
 grayed out



① 1/4" - East (Front)
 1/4" = 1'-0"



② 1/4" - West (Back)
 1/4" = 1'-0"

Door Schedule

Type	Door	Unit No.	Width	Height	Description	Qty
1	Doors_Exterior_Sliding_Full Lite: 6068	6' - 0"	6' - 8"	6' - 8"	exterior, sliding	1
2	Sliding 4 Panel-xbox: 1268	0' - 0"	0' - 0"	0' - 0"	exterior, sliding	1
3	Single Hinged - 1 Panel Flush: 2468	2' - 4"	6' - 8"	6' - 8"	interior, solid core	1
4	Pocket - 1 Panel Flush: 2468	2' - 4"	6' - 8"	6' - 8"	interior, solid core	1
5	Single Hinged - 3 Panel_Glass_Exterior: 3668	3' - 6"	6' - 8"	6' - 8"	Exterior	1
6	Doors_Single Hinged_3 Panel_Slide Lite: 3668	3' - 6"	6' - 8"	6' - 8"	interior, solid core	2
Grand total						7

Window Schedule

Sym	Type / Operation	Unit No.	Width	Height	Header Height	Qty
A	Casement-Triple-Fixed Center: 9046	4' - 0"	4' - 6"	4' - 6"	T - 6"	1
B	Fixed-Single: 2646	2' - 6"	4' - 6"	4' - 6"	T - 0"	2
C	Casement, Double: 5046	5' - 0"	4' - 6"	4' - 6"	T - 6"	1
D	Awning-Single: 2614	2' - 6"	1' - 4"	4' - 6"	2 - 6"	2
Grand total						6

3-23-21
 Permit
 Set

Builder:
 Fishback Builders, LLC
 134 Fishback Avenue
 Fort Collins, CO 80521
 970.492.5566

Queen-Lee Remodel
 519 Peterson Street
 Fort Collins Colorado

DAVID WILKINS DESIGN
 1344 1/2 Street, Fort Collins, CO 80521

Date: 03-23-21

Revisions:

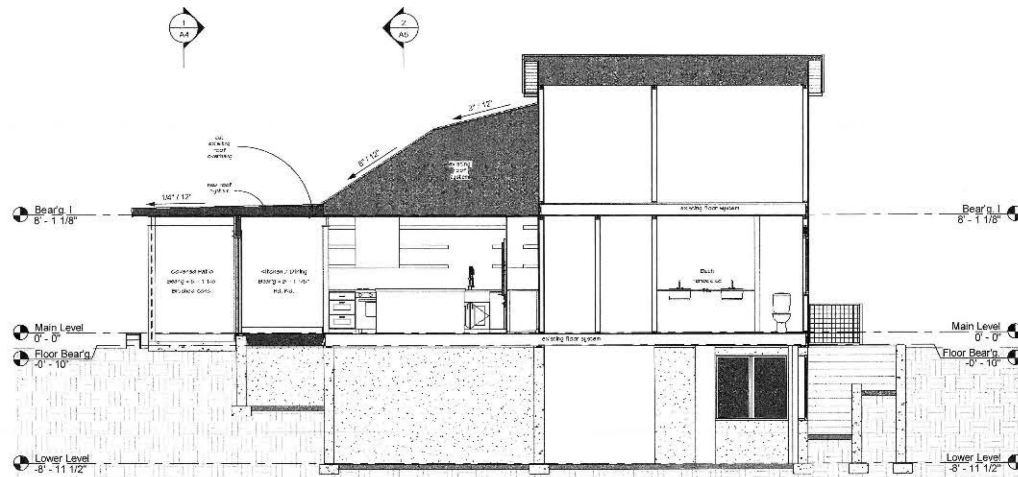
A3

Sheet A3

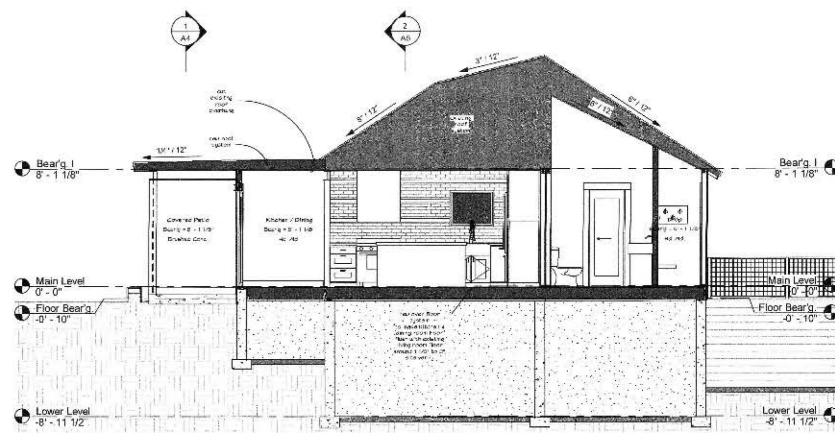


- System/Key Notes**
- Typical Wall System (new)
 - see elev. for siding mat. & locations
 - house wrap (builder specified)
 - 2x4 studs @ 16" o.c.
 - R-23, Optima Loose Fill insulation at all 2x6 exterior walls (garage walls as well)
 - vapor barrier
 - 1/2" gyp. Bd.
 - Typical Floor System (match existing)
 - 3/4" o.s.b. sub-floor
 - 2x10 @ 16" o.c. (U.N.O.)
 - 2x10 rim bd.
 - 2x6 p.t. sill plate
 - sill plate foam
 - R-19 batt. insulation
 - "A1" = Asphalt Roof System (match existing)
 - P.E. Roof Trusses @ 24" o.c.
 - R-48 blown insulation
 - 1/2" o.s.b. roof sheathing
 - Shark Skin roof underlayment
 - Asphalt Roof Shingles
 - Contours ridge vents
 - "A2" = Flat Roof System (new)
 - EPDM Roofing System
 - 3/4" cdx plywood
 - 2x12 @ 16" o.c. w/ 1/4" slope cut out, start @ soffit edge w/ 7 1/4" depth
 - Closed cell spray insulation, T or R-48
 - "B" = Typical Soffit / Fascia (match existing)
 - 5/4x10 Hd. Bd. (textured)
 - 2x sub-fascia
 - 3/8" Hd. Bd. soffit sheets, w/ 1x4 Hd. Bd. battens @ 48" o.c.
 - match existing venting system
 - cont. gutter system, match existing
 - "C1" = Horizontal Siding (match existing)
 - 1x6 wood siding
 - 1x6 corner boards
 - building wrap
 - "C2" = Vertical Siding (new)
 - 1x4 Cedar Vertical Shingles
 - verify w/ manu. for recommended installation procedures and back drain systems
 - "E" = Windows (match existing)
 - Clad exterior, wood interior
 - Low "E"
 - tempered as per code
 - drip flashing
 - membrane wrap
 - 1/8" Laminated grids where shown
 - caulk as req'd. by manu.
 - verify w/ manu. for recommended installation procedures
 - egress to be verified by supplier
 - Decorative 2x5 C-channel Header
 - "F" = Iron Planter Boxes
 - 3/4" th. Iron
 - 12" wide
 - Verify length on floor plans
 - "G" = Railing (new)
 - 4x4 welded wire mesh
 - see detail

1 Covered Patio / Covered Entry
1/4" = 1'-0"



2 Covered Patio / Kitchen/Dining / Bath
1/4" = 1'-0"



3 Covered Patio / Kitchen/Dining / Drop
1/4" = 1'-0"

3-23-21
Permit
Set

Builder:
Fishback Builders, LLC
134 Fishback Avenue
Fort Collins, CO 80521
970.492.5566

Queen-Lee Remodel
519 Peterson Street
Fort Collins Colorado

DAVID B. BENTLEY
ARCHITECT

Date: 03-23-21

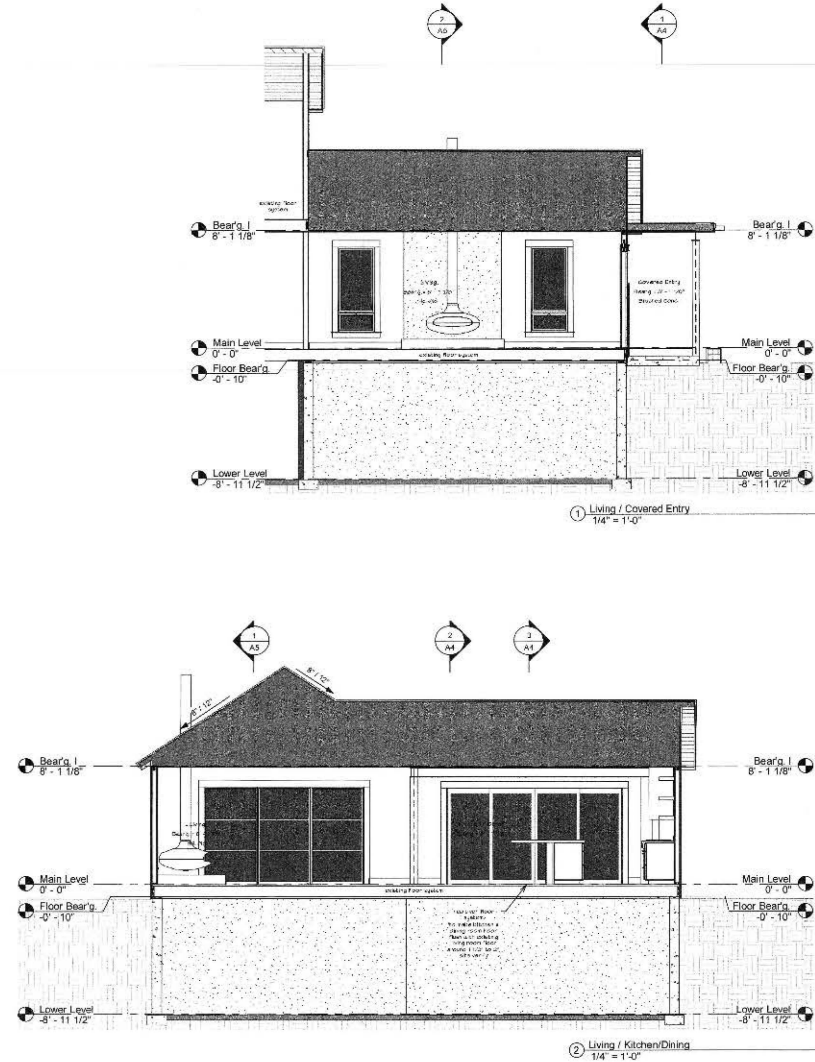
Revisions:

A4

Sheet A4

System/Key Notes

- Typical Wall System (new)
 - see elev. for siding mat. & locations
 - house wrap (builder specified)
 - 2x4 studs @ 16" o.c.
 - R-25 Optima Loose Fill insulation at all 2x6 exterior walls (garage walls as well)
 - vapor barrier
 - 1/2" gyp. Bd.
- Typical Floor System (match existing)
 - 3/4" o.s.b. sub-floor
 - 2x10 @ 16" o.c. (U.N.O.)
 - 2x10 rim bd.
 - 2x6 p.t. sill plate
 - sill plate foam
 - R-14 batt. insulation
- "A1" = Asphalt Roof System (match existing)
 - P.E. Roof Trusses @ 24" o.c.
 - R-48 blown insulation
 - 1/2" o.s.b. roof sheathing
 - Shark Skin roof underlayment
 - Asphalt Roof shingles
 - Contours ridge vents
- "A2" = Flat Roof System (new)
 - EPDM Roofing System
 - 3/4" Cdx plywood
 - 2x12 @ 16" o.c. w/ 1/4" slope cut out, start @ soffit edge w/ 1/4" depth
 - Closed cell spray insulation, T or R-49
- "B" = Typical Soffit / Fascia (match existing)
 - 5/4x10 Hd. Bd. (textured)
 - 2x- sub-fascia
 - 3/8" Hd. Bd. soffit sheers, w/ 1x4 Hd. Bd. battens @ 48" o.c.
 - match existing venting system
 - cont. gutter system, match existing
- "C1" = Horizontal Siding (match existing)
 - 1x6 wood siding
 - 1x6 corner boards
 - building wrap
- "C2" = Vertical Siding (new)
 - 1x4 Cedar Vertical Shiplap
 - verify w/ manu. for recommended installation procedures and back drain systems
- "E" = Windows (match existing)
 - Glad exterior, wood interior
 - Low "E"
 - tempered as per code
 - drip flashing
 - membrane wrap
 - 7/8" Laminated grids where shown
 - caulk as req'd. by manu.
 - verify w/ manu. for recommended installation procedures
 - gress to be verified by supplier
 - Decorative 2x5 C-Channel Header
- "F" = Iron Planter Boxes
 - 3/4" th. iron
 - 12" wide
 - Verify length on floor plans
- "G" = Railing (new)
 - 4x4 welded wire mesh
 - see detail



3-23-21
Permit
Set

Builder:
Fishback Builders, LLC
134 Fishback Avenue
Fort Collins, CO 80521
970.492.5566

Queen-Lee Remodel
519 Peterson Street
Fort Collins Colorado



Date: 03-23-21

Revisions:

A5

Sheet A5

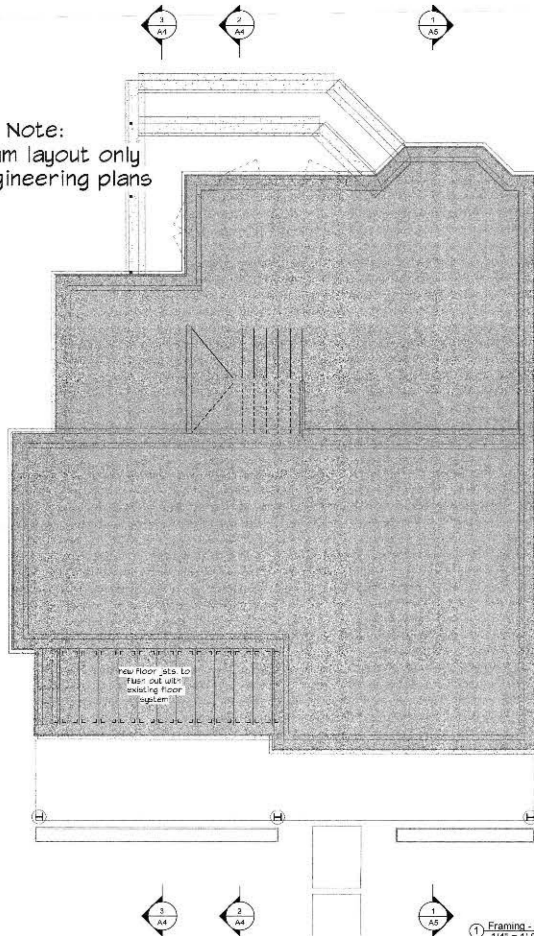
System/Key Notes

- Typical Wall System (new)**
- see elev. for siding mat. & locations
 - house wrap (builder specified)
 - 2x4 studs @ 16" o.c.
 - R-20, Optima Loose Fill insulation at all 2x6 exterior walls (garage walls as well)
 - vapor barrier
 - 1/2" gyp. Bd.
- Typical Floor System (match existing)**
- 3/4" o.s.b. sub-floor
 - 2x10 @ 16" o.c. (I.N.O.)
 - 2x10 "m" bd.
 - 2x6 p.t. sill plate
 - 9" plate foam
 - R-19 batt. insulation
- "A1" = Asphalt Roof System (match existing)**
- P.E. Roof Trusses @ 24" o.c.
 - R-48 blown insulation
 - 1/2" o.s.b. roof sheathing
 - Shark Skin roof Underlayment
 - Asphalt Roof Shingles
 - Contours ridge vents
- "A2" = Flat Roof System (new)**
- EPDM Roofing System
 - 3/4" cdx plywood
 - 2x12 @ 16" o.c. w/ 1/4" slope cut out, start @ soffit edge w/ 1/4" depth
 - Closed cell spray insulation, 1" on R-48
- "B" = Typical Soffit / Fascia (match existing)**
- 5/4x10 Hd. Bd. (textured)
 - 2x sub-fascia
 - 3/8" Hd. Bd. soffit sheets, w/ 1x4 Hd. Bd. battens @ 48" o.c.
 - match existing venting system
 - cont. gutter system, match existing
- "C1" = Horizontal Siding (match existing)**
- 1x6 wood siding
 - 1x6 corner boards
 - building wrap
- "C2" = Vertical Siding (new)**
- 1x4 Cedar Vertical Shipap
 - verify w/ manu. for recommended installation procedures and back drain systems
- "E" = Windows (match existing)**
- Clad exterior, wood interior
 - Low -E-
 - tempered as per code
 - drip flashing
 - membrane wrap
 - 7/8" Laminated grids where shown
 - caulk as req'd. by manu.
 - verify w/ manu. for recommended installation procedures
 - egress to be verified by supplier
 - Decorative 2x6 G-Channel Header
- "F" = Iron Planter Boxes**
- 3/4" th. Iron
 - 12" wide
 - Verify length on floor plans
- "G" = Railing (new)**
- 4x4 welded wire mesh
 - see detail

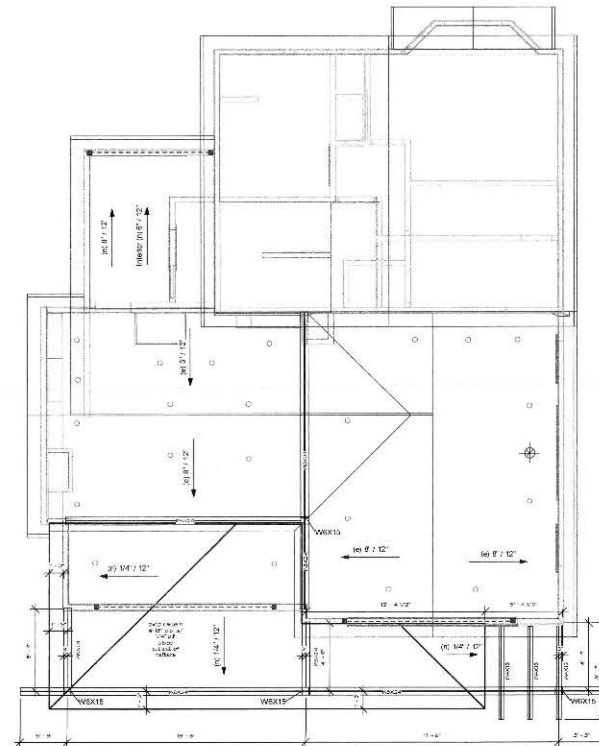
- Window Notes:**
- Windows to be clad w/ wd. int.
 - Windows to have low-E glassing
 - Windows to have drip flashing
 - Verify rough openings with final window schedule by window supplier
 - Window supplier to verify egress and tempered glass requirements for all locations
 - 7/8" Laminated grids where shown
 - Membrane wrap as req'd.
 - see elevations for trim details

- Insulation Notes:**
- R-48 blown insulation in all attic areas
 - 2x4 walls, 3.5" of open cell spray foam insulation shot between stud cavities = R19 = R15
 - R-11, vinyl drupe wall insulation @ interior of crawl space foundation walls
 - 1" closed cell insul. from t.o. fnd. to sub-floor
 - 2" rigid insulation attached to exterior of foundation wall
 - extend from top of footing to grade (where there are no interior insulated walls)
 - NOTE: SEE SECTION DETAILS FOR OTHER SPECIFIC INSULATION REQUIREMENTS

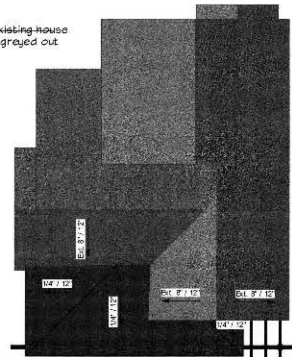
Note:
Diagram layout only
See Engineering plans



1 Framing - First Floor
1/4" = 1'-0"



2 Framing - Roof
1/4" = 1'-0"



1/8" - Roof Plan - 1
1/8" = 1'-0"

3-23-21
Permit
Set

Builder:
Fishback Builders, LLC
134 Fishback Avenue
Fort Collins, CO 80521
970.492.5566

Queen-Lee Remodel
519 Peterson Street
Fort Collins Colorado

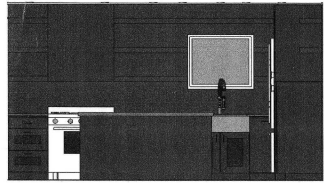
DAVID HULTEDESIGN

Date: 03-23-21

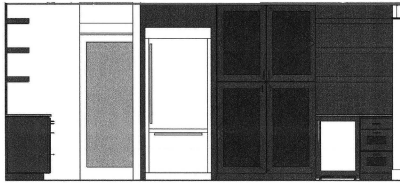
Revisions:

A6

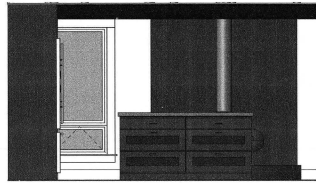
Sheet A6



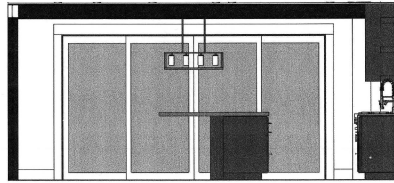
5 Kitchen Island (north)
3/8" = 1'-0"



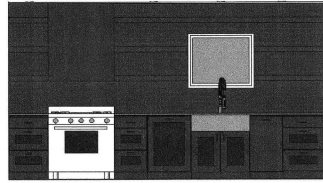
4 Kitchen (west)
3/8" = 1'-0"



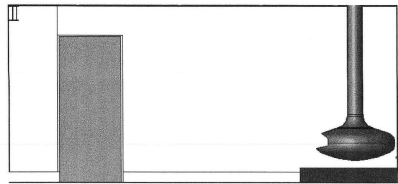
3 Kitchen (north)
3/8" = 1'-0"



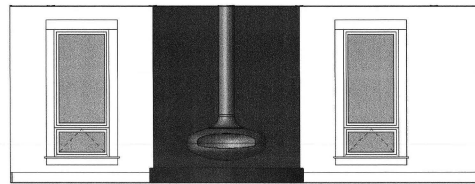
2 Kitchen (east)
3/8" = 1'-0"



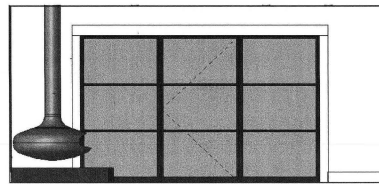
1 Kitchen (south)
3/8" = 1'-0"



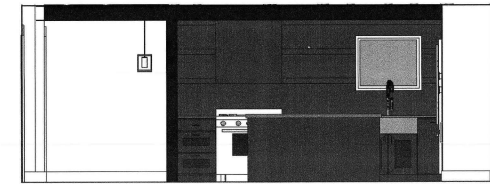
9 Living (west)
3/8" = 1'-0"



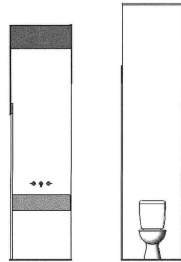
8 Living (north)
3/8" = 1'-0"



7 Living (east)
3/8" = 1'-0"



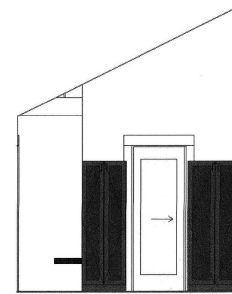
6 Living (south)
3/8" = 1'-0"



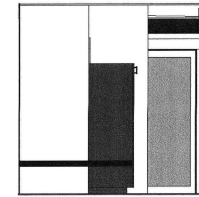
14 Powdr (west)
3/8" = 1'-0"



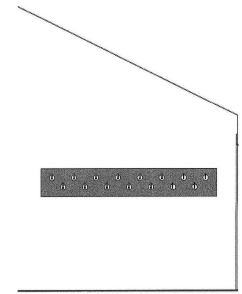
13 Powdr (east)
3/8" = 1'-0"



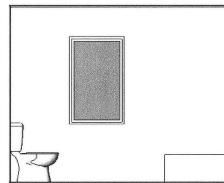
12 Drop (north)
3/8" = 1'-0"



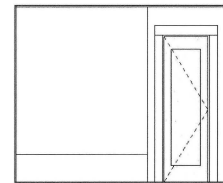
11 Drop (east)
3/8" = 1'-0"



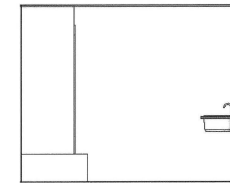
10 Drop (south)
3/8" = 1'-0"



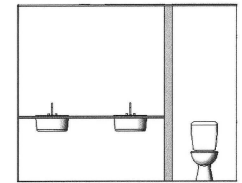
18 Bath (west)
3/8" = 1'-0"



17 Bath (north)
3/8" = 1'-0"



16 Bath (east)
3/8" = 1'-0"



15 Bath (south)
3/8" = 1'-0"

3-23-21 Permit Set

Builder:
Fishback Builders, LLC
134 Fishback Avenue
Fort Collins, CO 80521
970.492.5566

Queen-Lee Remodel 519 Peterson Street Fort Collins Colorado

DAVID HUIJTER DESIGN
CONCEPTS, ARCHITECTURE, INTERIORS

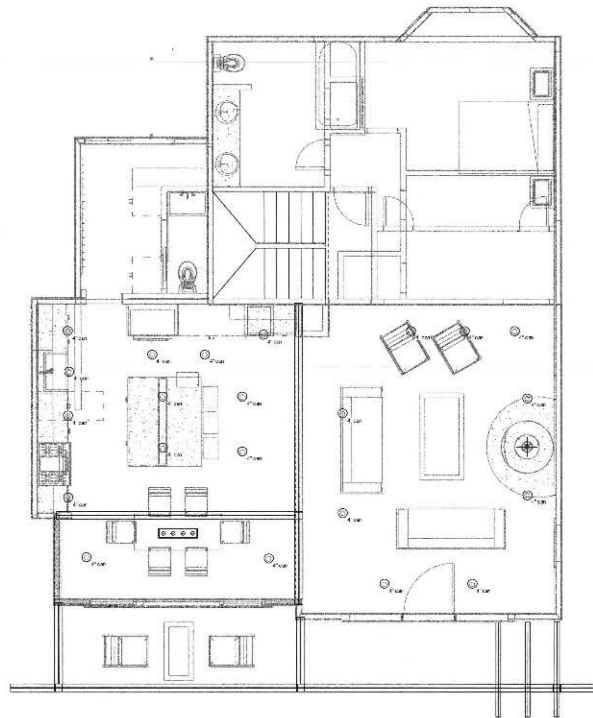


Date: 03-23-21

Revisions:

A7

Sheet A7



Lighting Fixture Schedule	
Family and Type	Count
Lighting_Downlight_Recessed Can; 4" 60 W (incandescent)	22
Lighting_Suspension_Chataqua Linear_Sea Gull Lighting	1
Lighting_Suspension_Chataqua Linear_Sea Gull Lighting	

Electrical Fixture Schedule	
Family and Type	Count

- Note:**
- ALL CAN LIGHTS TO BE 5" UNLESS NOTED OTHERWISE
 - DIMMERS ON ALL SWITCHES OTHER THAN: CLOSETS, PANTRY, STORAGE AREAS
 - This Electrical Plan / Schedule is to be used as a design guideline only. See plan for additional lighting that might not be on schedules
 - Electrical contractor is responsible for applying all codes applicable to National and local Codes.
 - Electrical walk-through with Owners, Builder and Electrical Contractor present before rough-in starts

① Main Level Electrical
1/4" = 1'-0"

3-23-21
Permit
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Builder:
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134 Fishback Avenue
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519 Peterson Street
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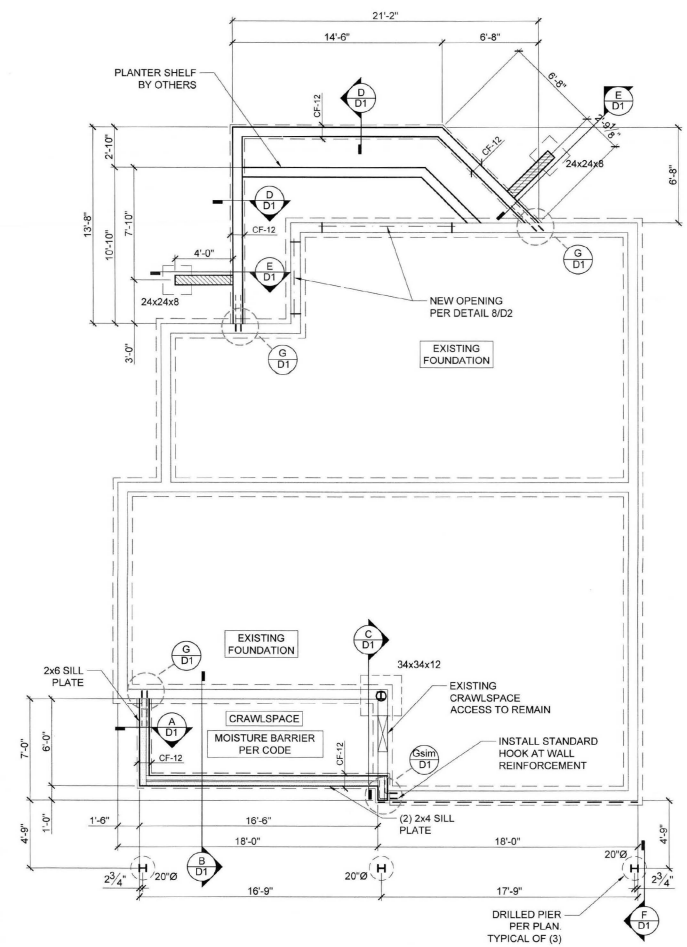


Date: 03-23-21

Revisions:

A8

Sheet A8



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

IGN CRITERIA	
Referenced Describes:	2015 IRC, ASCE 7-16 ACI 302, 2018 NDS Risk Category II
Roof Loads:	
Roof Dead Load	15 psf
Roof Live Load	20 psf
Ground Snow	30 psf
Flat Roof Snow	30 psf
Snow Exposure	1
Snow Importance	1
Snow Thermal	1
Floor Loads:	
Floor Dead Load	15 psf
Floor Live Load (residential)	40 psf
Floor Live Load (commercial)	N/A
Wind Loads:	
Design Wind Speed	140 mph
Wind Speed Ty	Var
Wind Exposure	B
Internal Pressure Coefficient	0.18 (Enclosed)

RECOMMENDED QUALITY ASSURANCE OBSERVATIONS		
RECOMMENDED OBSERVATIONS	OBSERVATION PERIOD BY:	NOTE:
OPEN-HOLE / SOIL VERIFICATION	CTL	OTHER OBSERVATIONS MAY BE REQUIRED BY THE CITY OR OTHER ENGINEERS WORKING ON THIS PROJECT
FOOTING FORMWORK & SUBGRADE	CTL	
FOUNDATION REINFORCEMENT	CTL	

Soils: Assumed per 2018 IRC TIR401 and to be verified at Open-hole by CTL I THOMPSON
Assumed allowable bearing capacity:
Max. 1,500 psf

FOUNDATION LEGEND

NUMBER RIES WIDTH OF 8" DEEPTINUOUS FOOTING

PIE 1" DOWELS TO MATCH WALL REINFORCEMENT ABOVE FOOTING AND WIDER ADD (3) #4 CONT. & (1) #4 TRANS. @ 24" O.C.

TOP OF EQUAL BOTTOM OF SLAB, UNLESS SHOWN OTHERWISE.

1/4" @ 12" ON CENTER EACH 3/4" FROM BOTTOM IN DEPTH OF PAD.

LENGTH WIDTH THICKNESS L-W-T

CTL I THOMPSON
INCORPORATED
134 FISHBACK AVENUE
FORT COLLINS, CO 80504
(970) 482-5598
www.ctl.com

PROJECT LOCATION:
QUEENLEE REMODEL
519 PETERSON STREET
FORT COLLINS, COLORADO

FOUNDATION PLAN

CLIENT:
FISHBACK BUILDERS
134 FISHBACK AVENUE
FORT COLLINS, COLORADO
80504
(970) 482-5598

DATE:
03/01/2021

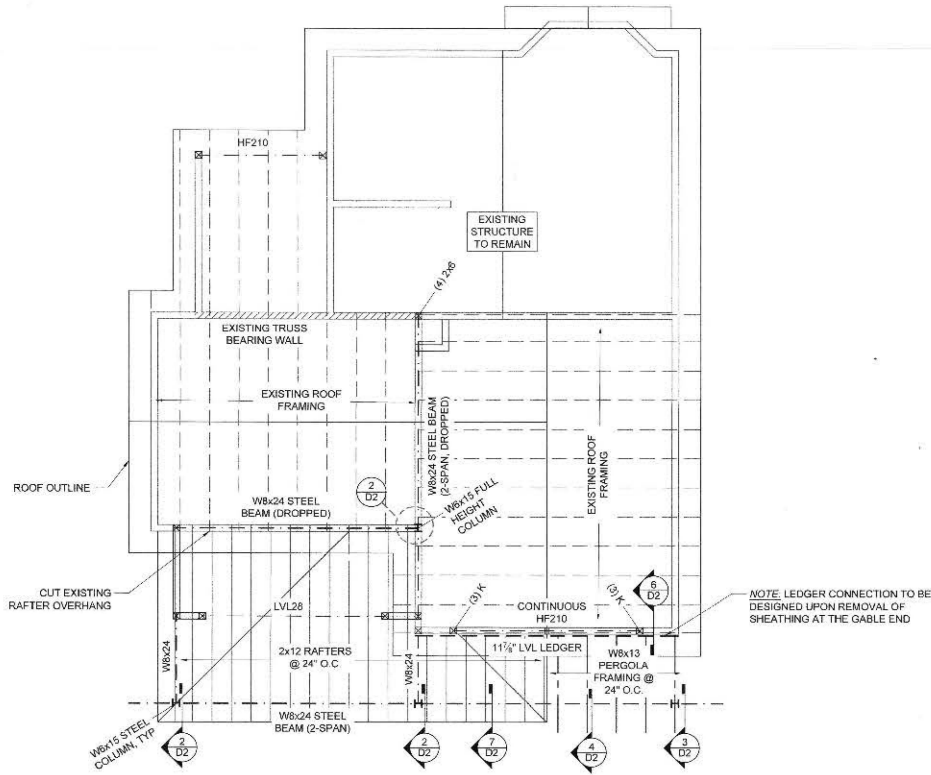
SCALE:
1/4" = 1'-0"

PROJECT:
S1.0

DESIGNER:
CTL

CHECKER:
CTL

APPROVER:
CTL



MAIN ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"

HANGER SCHEDULE	
CONNECTION LOCATION	CONNECTOR
(1) JOIST TO FLUSH WOOD BEAM	US-SERIES
(2) JOIST TO FLUSH WOOD BEAM	US-SERIES
SAW JOIST TO FLUSH WOOD BEAM	LUS-SERIES
SAW JOIST TOP MOUNT	JB-SERIES
(1) LVL TO FLUSH WOOD BEAM	HUS-SERIES
(2) LVL TO FLUSH WOOD BEAM	HUS-SERIES
(3) LVL TO FLUSH WOOD BEAM	HUS-SERIES
JOIST RAFTER TO ROOF BEAM	LUS-SERIES
SAW RAFTER TO ROOF BEAM	LUS-SERIES
WOOD POST TO BEAM ABOVE	MS-SERIES
WOOD POST TO FOUNDATION	MS-SERIES
WOOD POST TO BEAM ABOVE	MS-SERIES
(1) JOIST TO FLUSH STEEL BEAM	HS-SERIES
(2) JOIST TO FLUSH STEEL BEAM	HS-SERIES
(3) JOIST TO FLUSH STEEL BEAM	HS-SERIES
(4) LVL TO FLUSH STEEL BEAM	HS-SERIES
(5) LVL TO FLUSH STEEL BEAM	HS-SERIES
(6) LVL TO FLUSH STEEL BEAM	HS-SERIES
BEAM END TO WOOD COLUMN	HUS-SERIES

* - THIS HANGER MAY BE SPECIAL ORDER FOR THE APPLICATION LISTED ABOVE.

NOTE: FOR EXTERIOR APPLICATIONS WHERE ACG TREATED LUMBER WILL BE USED, ALL HANGERS MUST HAVE ZMAX CORROSION PROTECTION.

BRACED WALL PANEL SCHEDULE - STUDS @ 16"					
PANEL DESCRIPTION	WALL SECTING TYPE	SPACING	HORIZONTAL EDGES (COMMON)	CONNECTOR TYPE (OR EQUAL)	FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	OSB OR PLYWOOD EXTERIOR ONLY	7/16"	YES (NO 1/4")	IC COMMON	8" 12"
NOTES:					
1. ALL EXTERIOR SHEATHING VERTICAL JOISTS SHALL BE SPACED TO MATCH STUD SPACING (16" O.C.) WALL PANEL.					
2. HORIZONTAL JOIST SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUD SPACING (WHICH VARIES BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIALS) - OWN ABOVE.					
3. LATERAL WALL PANELS SHALL BE FASTENED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH THE TABLES (2) & (3).					
4. WALL JOISTS ARE PERPENDICULAR TO THE STUD BRACING WALLS ABOVE. BLOCKING SHALL BE PROVIDED UNDER AND IN LINE WITH THE BRACED WALL PANELS.					
5. WALL JOISTS ARE PARALLEL TO THE EXTERIOR BRACED WALLS ABOVE. DOUBLE JOISTS SHALL BE PROVIDED UNDER AND IN LINE WITH THE BRACED WALL LINE ABOVE.					
6. ATTACH BOTTOM PLATE OF INTERIOR AND SHEAR WALLS TO BLOCKING/BEAMS WITH (2) 16" COMMON NAILS AT 16" (4) O.C. FOR (1) 16" COMMON NAIL AT 16" (4) O.C.					

HEADER SCHEDULE				
HEADER	SIZE	MATERIAL	LVL OPTION	# OF TRANSFER STUDS PER JOIST UNLESS NOTED OTHERWISE ON PLANS
HF210	2-2X10	HF#2	2" X 9"	(2) 2x
LVL18	2-2" X 8" X 16'	LVL	NONE	(2) 2x
LVL12	2-2" X 6" X 16'	LVL	NONE	(2) 2x
LVL12	2" X 6" X 16'	LVL	NONE	(2) 2x
LVL14	2" X 6" X 16'	LVL	NONE	(2) 2x

KING STUD SCHEDULE		
OPENING WIDTH FROM	TO	# OF KING STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS
0' 0"	0' 0"	(1) 2x
0' 0"	0' 0"	(1) 2x
0' 0"	0' 0"	(1) 2x
0' 0"	0' 0"	(1) 2x

CTL THOMPSON
INCORPORATED

1400 30th Ave
Fort Collins, CO 80526
970-226-6441
www.cctl.com



PROJECT LOCATION:
QUEEN LEE REMODEL
519 PETERSON STREET
FORT COLLINS, COLORADO

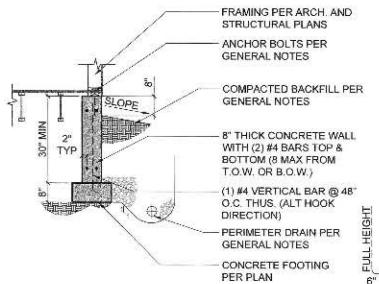
PROJECT LOCATION:
QUEEN LEE REMODEL
519 PETERSON STREET
FORT COLLINS, COLORADO

MAIN FRAMING PLAN

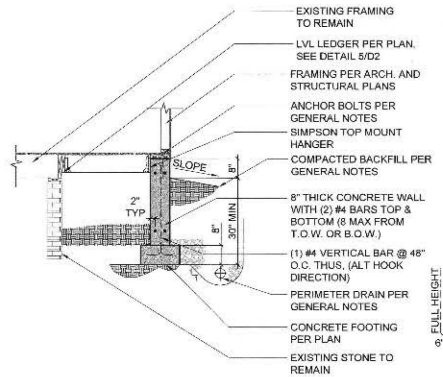
CLIENT:
FISHBACK BUILDERS
134 FISHBACK AVENUE
FORT COLLINS, COLORADO
CONTACT: DAN FRY
(970) 662-6566

DATE: 01/14/2021
DRAWN BY: S1.2
CHECKED BY: S1.2
DATE: 01/14/2021
SCALE: 1/4" = 1'-0"

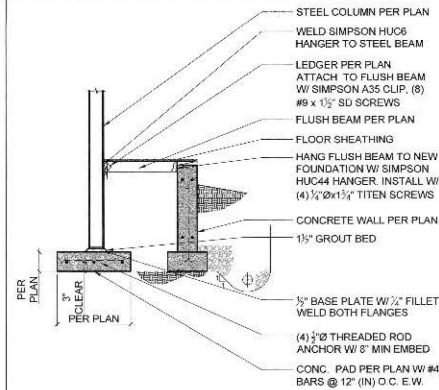




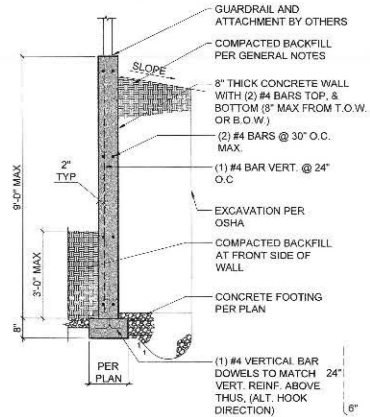
A - TYPICAL FOUNDATION WALL



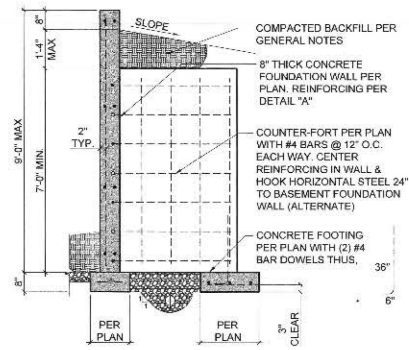
B - NEW FOUNDATION TO EXISTING FRAMING



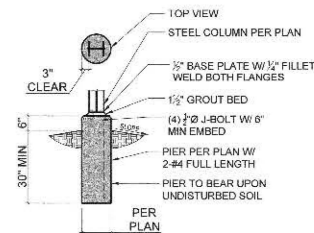
C - FRAMING AT NEW POST



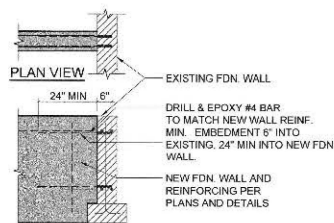
D - TYPICAL WINDOW WELL WALL



E - TYPICAL COUNTERFORT DETAIL



F - TYPICAL PIER



G - NEW TO EXISTING FOUNDATION TIE-IN DETAIL

CONCRETE & SOILS NOTES

1. Materials:

This plan is based upon the following material properties:

Concrete: Concrete shall contain Type II cement, 6% +/- 1.5% air entrainment, and a minimum 28 day compressive strength of 4000 psi for structural concrete. 3500 psi for interior slabs on grade, and 4500 psi exterior slabs on grade.

Reinforcing: Reinforcing shall be deformed grade 60 steel unless noted otherwise (U.N.O.) on the plan and shall conform to ASTM A615. Minimum concrete cover shall be 2\"/>

Anchor Bolts: Foundation anchor bolts shall conform to ASTM A307 and be 1/2\"/>

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G185 hot-dip galvanized, type 304 stainless steel or type 316 stainless steel.

2. Soils:

We require an open-hole observation to be performed by a representative of a qualified geotechnical engineer. Open-hole observations are to verify that the soil conditions are consistent with the assumed. Soils conditions inconsistent with the assumed soils may require additional evaluation or a foundation redesign, and should be brought to the attention of the foundation engineer. All footings, pads, or piers shall be a minimum of 30\"/>

3. Slabs-on-grade:

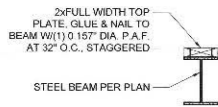
Provide control joints at 10'-0\"/>

4. Backfill:

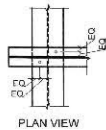
We recommend foundation walls not be backfilled for a minimum of eight days after placement of concrete. Prior to backfilling, damp-proofing all foundation walls that retain earth and enclose interior spaces, as required by local code. All floor systems should be in place before backfilling against any foundation wall, or as an alternative, adequately brace the foundation. We recommend imported granular (non-expansive) structural fill be used for backfilling around all foundation walls for sites where expansive soils are prevalent. Backfill should be adequately compacted and graded to provide adequate drainage away from the foundation. Backfill adjacent to the foundation may settle over time. The backfill must be monitored and maintained to provide adequate drainage away from the foundation.

5. Limitations:

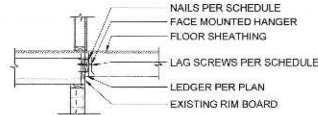
It is the contractors/owners responsibility to verify and coordinate all dimensions prior to construction. Brick ledges, foundation steps, insets, beam pockets, and basement windows, etc. may or may not be shown. These plans are based on the architects and/or contractor/owner furnished plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of the engineer.



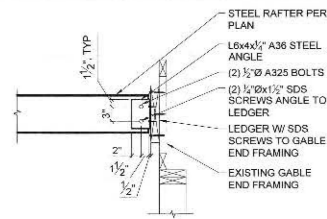
1 - NAILER TO BEAM ATTACHMENT



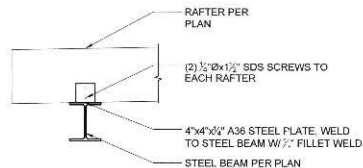
2 - STEEL BEAM TO STEEL BEAM



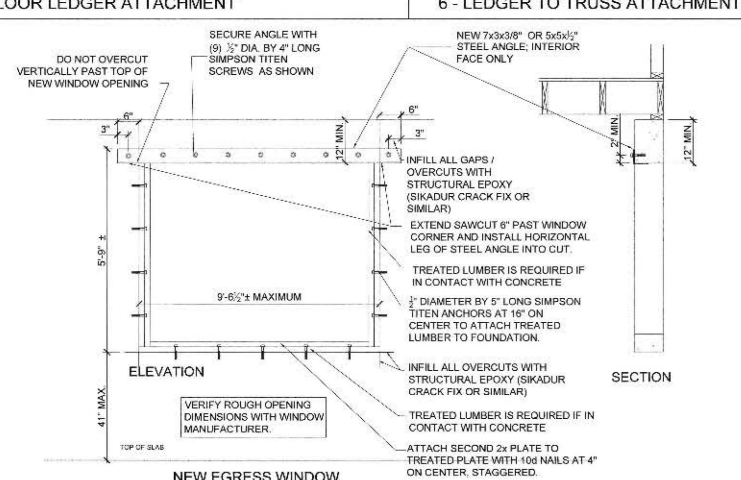
3 - STEEL BEAM TO STEEL COLUMN



4 - STEEL RAFTER TO STEEL BEAM



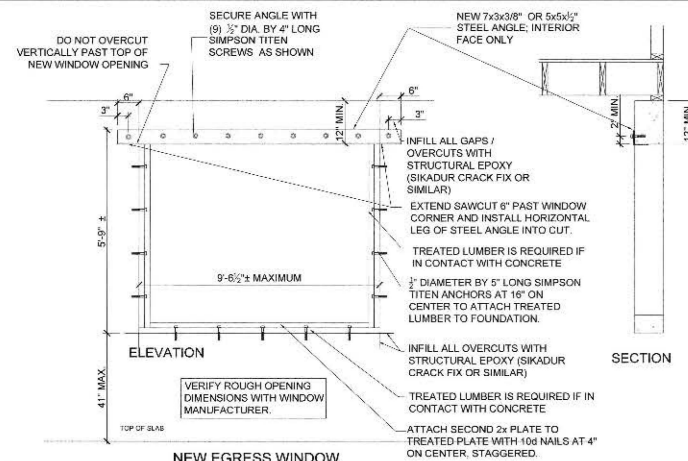
5 - FLOOR LEDGER ATTACHMENT



6 - LEDGER TO TRUSS ATTACHMENT

7 - RAFTER TO STEEL BEAM

8 - NEW EGRESS WINDOW



STRUCTURAL NOTES

1. Materials:

Steel: Structural Steel Wide Flanges beams/columns shall conform to ASTM A992 (fy=50 ksi).

Anchor Bolts: Foundation anchor bolts shall conform to ASTM A307 and be 1/2" (in) diameter by 10" (in) long spaced at 4'-0" maximum and 12" (in) from corners and splices. We recommend using engineered sill plate material.

Wood: All dimensional lumber shall be Hem Fir #2 or better unless noted on the plan. All Laminated Veneer Lumber is 1 1/2" thick x depth shown on plans and shall have an allowable Flexural stress Fb = 2600 psi and Modulus of Elasticity of E = 1.9x10E6 psi or better. All Laminated Strand Lumber is 1 1/2" thick by depth shown on plans and shall have an allowable Flexural stress Fb = 2325 psi and Modulus of Elasticity of E = 1.55x10E6 psi or better. Glued Laminated Lumber shall have an allowable Flexural stress Fb = 2400 psi and Modulus of Elasticity of E = 1.8x10E6 psi or better.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G185 hot-dip galvanized, type 304 stainless steel or type 316 stainless steel.

2. Framing: All framing shall be in accordance with the provisions of 2018 IRC. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturers specifications. Refer to the code for additional requirements.

Floors: Floor sheathing shall consist of 3/4" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports as required by code.

All hangers per schedule.

Walls: All exterior wall framing shall be 7/16" Structural rated OSB sheathing over 2x6 HF#2 @ 16" on-center unless noted otherwise. Sheathing shall be attached per the braced wall panel schedule.

Built up columns are 3-2xwall thickness HF#2 or better unless noted otherwise on the plans.

Roof: Roof sheathing shall be 15/32" (at span rating) O.S.B. or better with 8d @ 6" on-center edges, 12" on-center field, over rafters per plan. All rafters shall be attached with a Simpson HZ 5A clip.

Dimensional lumber rafters are hem-fir #2 unless noted otherwise.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

If there are 20 percent of overdriven nails in sheathing, then sheathing must be railed with proper gun pressure not to break surface of sheathing.

Wall sheathing must not break at wall top or bottom plates, instead break at middle of rim or 12" below wall top plate.

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Mar 1, 2021 5:24 PM

PROJECT LOCATION:
QUEEN LEE REMODEL
519 PETERSON STREET
FORT COLLINS, COLORADO

FRAMING DETAILS
AND NOTES

CLIENT:
FISBACK BUILDERS
134 FISBACK AVENUE
DENVER, CO 80202
(303) 733-8441

DATE: 07/16/21
BY: JCM
CHECKED: JCM
DATE: 07/16/21
SCALE: 1/8" = 1'-0"
SHEET: 6 OF 6
PROJECT: 20210201

D2