



Historic Preservation Services

Community Development & Neighborhood Services
281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 336 E. Magnolia Street
Laurel School National Register Historic District
ISSUED: April 21, 2021

Ian Danielson
336 E. Magnolia Street
Fort Collins, CO 80524

Dear Mr. Danielson:

This report is to document the summary of effects from proposed alterations to the Chris Horst House at 336 East Magnolia Street, pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#), made by the Landmark Preservation Commission at their April 21, 2021 meeting. A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

More specifically, the Commission commented on the following work items:

1. Two-story addition onto the building's north/rear elevation, including necessary demolition. Addition includes the modification of the historic front-gable into a gable-on-hip configuration, the addition of decorative shingling in the gable ends, and a rear second-story deck with a spiral stair.
2. Demolition of the existing front-gabled porch and replacement with a full-width, partially covered porch with a hipped roof.

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i> The property will remain in residential use.	Y
SOI #2	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i> The building currently on the site at 336 E. Magnolia is the second residence to be constructed on the site. A similar, small, one-story dwelling was on the site as late as 1917, known in records as the Brown Thompson House. This is in reference to	N

Brown and Jessie Thompson, the couple who appears in the 1902 city directory as the first occupants of the house (Brown was listed as a laborer). However, by 1925, the lot was vacant with only a shed at the rear of the lot.

The existing structure was built in 1938 for owner Chris Horst and his wife Mary by builder H.A. Deiner. Horst was a shoe repairman. By 1948, Ella/Amy L. Lamb, a widow, lived on the property by herself and remained there into the 1950s

The property is a Minimal Traditional type home typical of the small number of homes constructed in Fort Collins during the Great Depression. It has a simple front-gabled configuration with a small, front-gabled porch cover over the entry. Ornamental details are few, and siding is a simple lapboard with basic one-over-one wood windows.

1. Two-story addition onto the building's north/rear elevation, including necessary demolition. Addition includes the modification of the historic front-gable into a gable-on-hip configuration, the addition of decorative shingling in the gable ends, and a rear second-story deck with a spiral stair.
 - **Like most Minimal Traditional dwellings, the property is defined by its simple, one-story configuration and lack of ornamentation. The two-story addition is not compatible with the overall character of the property due to its incompatible size and massing, the introduction of the gable-on-hip configuration on the historic front gable, and the addition of decorative features like shingling in the gable ends that were rare on Minimal Traditional homes and not used on this property. The Standards would call for a single-story addition compatible with the historic massing and scale of the house, the use of basement-level excavation to capture more space if needed, and avoiding conjectural decorative features not characteristic of this type of home such as the decorative shingling or exterior spiral stair. This item does not meet this Standard.**
2. Demolition of the existing front-gabled porch and replacement with a full-width, partially covered porch with a hipped roof.
 - **Where they were built on Minimal Traditional homes, porches like that existing on this property were typically designed in the manner present, simple and front-gabled. While the proposed expansion of the porch deck beyond the porch cover is likely acceptable under the Standards, the demolition of the**

	<p>existing porch framing and replacement with a hipped roof cover does not meet this Standard.</p> <ul style="list-style-type: none"> • 	
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <ol style="list-style-type: none"> 1. Two-story addition onto the building's north/rear elevation, including necessary demolition. Addition includes the modification of the historic front-gable into a gable-on-hip configuration, the addition of decorative shingling in the gable ends, and a rear second-story deck with a spiral stair. <ul style="list-style-type: none"> • The addition of features such as the decorative gabling create a false sense of history, suggesting this property was built during the late Victorian era as opposed to its 1938 Depression-era construction. The addition of an exterior spiral staircase on a residential property is not only highly irregular for historic properties in the United States, but is inappropriate considering that Minimal Traditional homes lacked ornamentation. This item does not meet this Standard. 2. Demolition of the existing front-gabled porch and replacement with a full-width, partially covered porch with a hipped roof. <ul style="list-style-type: none"> • Although demolition of historic features does not meet other Standards, the design of the new porch does not appear to create a false sense of history, although it should be noted that hipped roofs were rare on porches built onto Minimal Traditional homes in the 1930s and 1940s, and modification of this feature appears unnecessary considering the scope of the project. 	N
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p>Permit records indicate the following history of alterations:</p> <ul style="list-style-type: none"> • 1938 – construction of the existing home as a four bedroom house, including the following details: <ul style="list-style-type: none"> ○ <i>“Four room residence of frame, 24x32, cement foundation, full basement, front porch, paint exterior, wood shingle roof, fir floors: floor joist 2x8 oc 16, rafters 2x, studding 2x4 oc 16, roof sheathing 1x8, paper and lath, ceiling joists 2x4, double plates and headers.”</i> • 1992 – rear addition to building • 2011 – roof replacement (asphalt shingle) 	N/A

	<p>The property appears to have undergone very few changes since construction in 1938, until the construction of an addition onto the rear of the property in 1992. The addition is not historic, but is sensitively designed in relation to the property's historic character. This Standard does not appear to apply.</p>	
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <ol style="list-style-type: none"> Two-story addition onto the building's north/rear elevation, including necessary demolition. Addition includes the modification of the historic front-gable into a gable-on-hip configuration, the addition of decorative shingling in the gable ends, and a rear second-story deck with a spiral stair. <ul style="list-style-type: none"> While this Standard generally does not apply to this work item, the simple-front gabled nature of the property is arguably a distinctive feature and is being disrupted by the addition of two-stories onto the rear of the one-story home. Demolition of the existing front-gabled porch and replacement with a full-width, partially covered porch with a hipped roof. <ul style="list-style-type: none"> The demolition of the small historic, gable front porch and its replacement with a hipped-roof feature is not appropriate for this type of historic residence. Historic porches, simple or ornate, typically are character-defining features and should be retained rather than replaced. This item does not meet this Standard. 	N
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <ol style="list-style-type: none"> Two-story addition onto the building's north/rear elevation, including necessary demolition. Addition includes the modification of the historic front-gable into a gable-on-hip configuration, the addition of decorative shingling in the gable ends, and a rear second-story deck with a spiral stair. <ul style="list-style-type: none"> This Standard does not appear to apply to this work item. Demolition of the existing front-gabled porch and replacement with a full-width, partially covered porch with a hipped roof. <ul style="list-style-type: none"> The front porch does not appear to be in a state of disrepair to warrant replacement, and even if its 	N

	<p>condition had deteriorated, the replacement does not match it in design or texture. The existing porch would need to be retained with its current roof configuration. This item does not meet this Standard.</p>	
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>Based on the already-disturbed nature of the property, the likelihood of significant archaeological discoveries being made during the project is low.</p>	N/A
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <ol style="list-style-type: none"> Two-story addition onto the building's north/rear elevation, including necessary demolition. Addition includes the modification of the historic front-gable into a gable-on-hip configuration, the addition of decorative shingling in the gable ends, and a rear second-story deck with a spiral stair. <ul style="list-style-type: none"> The construction of the rear addition will result in a significant amount of demolition of historic material, in particular the rear two-thirds of the roof framing and an undetermined amount of historic siding and trim features. The addition is not differentiated from the old and is not compatible with the one-story massing, size, and scale of the historic property. This Standard would call for a single-story addition and/or a basement level project in order to be compatible, distinguishable, reversible, and subordinate to the historic property. This would also allow for a differentiation in the cladding materials between the historic and non-historic portions of the house. The 1992 addition provides a good example of a compatible, distinguishable, and subordinate addition to the property. This item does not meet this Standard. Demolition of the existing front-gabled porch and replacement with a full-width, partially covered porch with a hipped roof. <ul style="list-style-type: none"> This alteration disrupts the primary elevation of the historic home and alters the roof configuration of the residence. To meet this Standard, the existing porch 	N

	<p>should be retained as constructed. This item does not meet this Standard.</p> <ul style="list-style-type: none"> • 	
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <ol style="list-style-type: none"> 1. Two-story addition onto the building's north/rear elevation, including necessary demolition. Addition includes the modification of the historic front-gable into a gable-on-hip configuration, the addition of decorative shingling in the gable ends, and a rear second-story deck with a spiral stair. <ul style="list-style-type: none"> • Due to the level of demolition necessary to construct the addition, this project is not reversible and will result in permanent damage to the historic integrity of this property. For this reason, additions onto, rather than overtop of, side or rear elevations are recommended under the Standards, similar to the existing 1992 addition on this property. This item does not meet this Standard. 2. Demolition of the existing front-gabled porch and replacement with a full-width, partially covered porch with a hipped roof. <ul style="list-style-type: none"> • While demolition of historic features is not recommended, the porch could be reconstructed to return the feature to its historic, front-gabled form. 	N

The Commission found that the proposed work, overall, does not meet the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code. Notice of the completion of this report has been forwarded to building and zoning staff to facilitate the processing of any permits that are needed for the work.

The Commission also finds that as a result of the project, the building will likely no longer qualify as an historic resource due to significant disruption of the property's character-defining features as a Minimal Traditional residence and a late, Great Depression-era addition to the residential neighborhood south and east of downtown Fort Collins. The loss of contributing status will directly result in the loss of access to State and Federal Historic Tax Credits.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

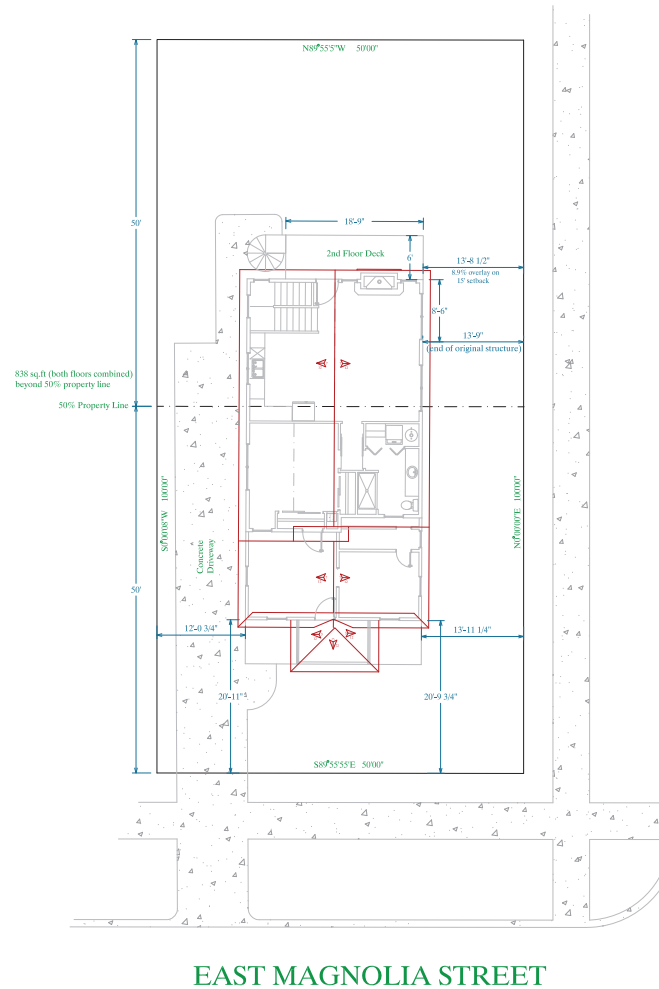
If you have any questions regarding this report, or if we may be of any assistance, please do not hesitate to contact staff at (970) 416-4250 or preservation@fcgov.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Meg Dunn', is positioned above the printed name.

Meg Dunn, Chair
Landmark Preservation Commission

A Portion of Lot 15
Block 143
336 East Magnolia Street
Fort Collins, CO 80524
Larimer County



EAST MAGNOLIA STREET

PETERSON STREET

SITE PLAN
Scale: 1/8" = 1'0"

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONSTRUCTION ELEMENTS, AS WELL AS MAKE JUDGEMENTS TO COMPLETE THE PROJECT TO SATISFY ALL APPROPRIATE BUILDING CODES.

Designed/Drawn by: Scott Egan
37724 Spring Eagle Circle
Windsor, CO 80550
Kodiak564@gmail.com



Builder

Danielson Addition
Gustave & Deb Danielson
236 E. Colorado Street
Fort Collins, CO 80524

Site Plan

SCALE: 1/8" = 1'0"	DATE: 03/06/21
SHEET: 1 OF 1	DRAWING NO: K20025sp - rev. 1.0



WOODHARTE
ASSOCIATES, INC.
STRUCTURAL ENGINEERS

4730 SOUTH COLLEGE #201
FORT COLLINS, CO 80525
PHONE (970) 225-2422
FAX (970) 225-2622



PROJECT NUMBER: 220189
DESIGNED BY: JLD
CHECKED BY: GCM

ISSUE
01-25-2021

REVISIONS

FILE
2020 - #220189

DRAWING TITLE
FOUNDATION PLAN & GENERAL NOTES

DRAWING NUMBER

S1.1

GENERAL NOTES AND SPECIFICATIONS

- PROJECT SCOPE: THESE STRUCTURAL DRAWINGS MAY BE USED TO CONSTRUCT ONLY 336 EAST MAGNOLIA STREET, FORT COLLINS, COLORADO.
- BUILDING CODE: THIS DESIGN IS BASED ON THE INTERNATIONAL RESIDENTIAL CODE (2018 EDITION). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CODE AND IN ACCORDANCE WITH ALL APPLICABLE OSHA REGULATIONS.
- DESIGN LOADS:
 - GROUND SNOW LOAD = 30 PSF
 - ROOF SNOW LOAD = 30 PSF
 - DEAD LOAD = 20 PSF
 - FLOOR: LIVE LOAD = 40 PSF
 - DEAD LOAD = 12 PSFWIND = 140 MPH; EXP. B; SEISMIC DESIGN CATEGORY B.
FROST DEPTH SHALL BE 30"
- COORDINATION: THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND SITE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN PRIOR TO CONCRETE PLACEMENT. CONFLICTS IN DIMENSION AND INTERFERENCE SHALL BE DIRECTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- FOUNDATIONS:
 - A. THIS FOUNDATION DESIGN IS BASED ON ASSUMED CONDITIONS:
 - MAXIMUM BEARING CAPACITY = 1500 PSF; DL + LL
 - ACTIVE EQUIVALENT FLUID PRESSURE = 45 PCF
 - B. THE FOUNDATION EXCAVATION SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
 - C. FOUNDATION WALLS TO BE BACKFILLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
 - D. BELOW GRADE FOUNDATION WALLS BACKFILLED ON ONE SIDE ONLY (BASEMENTS, CRAWL SPACES, GARDEN LEVELS) SHALL BE DAMPROOFED ON THE EXTERIOR OF THE WALL.
 - E. A PERIMETER DRAIN SHALL BE INSTALLED AROUND THE BASEMENT AS RECOMMENDED IN THE GEOTECHNICAL REPORT.

6. STRUCTURAL MATERIALS:

CONCRETE:

- A. 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE AS FOLLOWS:
 - SLAB-ON-GROUND 3500 PSI
 - FOUNDATION 3000 PSI
- B. MAXIMUM CONCRETE SLUMP SHALL BE AS FOLLOWS:
 - FOUNDATION WALLS AND FOOTINGS 4" MAX
 - SLABS 6" MAX
 - PIERS 6" MAX
- C. AIR ENTRAINMENT SHALL BE AS FOLLOWS:
 - ALL CONCRETE EXPOSED TO THE EXTERIOR 5-7%
 - CEMENT TO BE TYPE I/II
- D. CEMENT TO BE TYPE I/II
- E. REINFORCING STEEL: F_y = 60 KSI (ASTM A615 GRADE 60). ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH ACI RECOMMENDATIONS INCLUDING MINIMUM LAPS, SPACINGS AND CORNER BARS.

WOOD:

- DIMENSIONAL LUMBER: NEM-FIR NO. 2 OR BETTER: FB=850 PSF; FV=150 PSF; E=1300 KSI.
- P.T. LUMBER: SOUTHERN PINE NO. 2 OR BETTER: FB=750 PSF; FV=175 PSF; E=1400 KSI.
- LAMINATED VENEER LUMBER (LVL): FB=2600 PSF; FV=750 PSF; E=1900 KSI.
- I-JOISTS SHALL BE AS MANUFACTURED BY TREX JOIST OR AN APPROVED SUBSTITUTE. I-JOISTS SHALL BE DETAIL BY THE JOIST SUPPLIER INCLUDING BRIDGING, BLOCKING AND WEB FILLER DETAILS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- MULTIPLE-MEMBER CONNECTIONS FOR SIDE-LOADED AND TOP-LOADED BEAMS SHALL BE INSTALLED PER MANUFACTURER ASSEMBLY REQUIREMENTS.
- ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED (P.T.) IN ACCORDANCE WITH IRC SECTION R317. ALL PRESERVATIVE TREATED LUMBER SHALL CONFORM TO APA STANDARD 111 AND THE APPROPRIATE USE CATEGORY.
- CONNECTORS USED IN CONTACT WITH P.T. WOOD SHALL BE COATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. FASTENERS USED IN P.T. WOOD SHALL CONFORM WITH IRC SECTION R317.3.1.

8. EXISTING CONDITIONS:

- THE EXISTING CONDITIONS DEPICTED ON THESE DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

9. EXTERIOR GRADE: SLOPE PERIMETER GRADE AWAY FROM BUILDINGS AS RECOMMENDED IN THE GEOTECHNICAL REPORT.

EXTERIOR WALL STUDS: 2x6's @ 16" O.C.

ROOF, WALL, & FLOOR SHEATHING SHALL BE APA TRADEMARKED EXPOSURE 1 WHEN EXPOSED ONLY DURING CONSTRUCTION AND SHALL CONFORM TO THE APA STANDARD.

ROOF SHEATHING: 15/32 APA RATED SHEATHING 32/16 SPAN RATING w/ #8 NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN THE FIELD, OR 1 3/4" 16 GAGE STAPLES @ 3" O.C. AT PANEL EDGES, 8" O.C. IN THE FIELD.

FLOOR SHEATHING: 23/32 APA RATED STURDI-FLOOR GLUE AND NAIL w/ #8 COMMONS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN THE FIELD, OR 2" 16 GAGE STAPLES @ 4" O.C. AT PANEL EDGES, 8" O.C. IN THE FIELD.

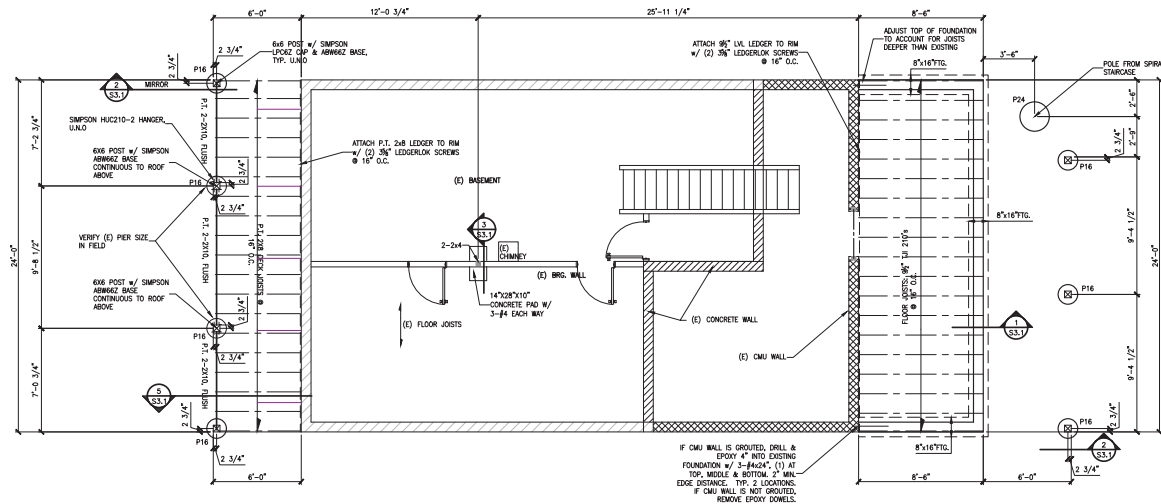
ALL EXTERIOR HEADERS TO BE (2) 2x10 w/ 1-2x TRIMMER (T) EACH END UNLESS NOTED OTHERWISE. PROVIDE 1-2x KING STUD (KS) EA. SIDE OF 4'-0" MAX OPENINGS, 2-2x KING STUDS EA. SIDE OF 8'-0" MAX. OPENINGS AND 3-2x KING STUDS EA. SIDE OF 14'-0" MAX. OPENINGS. U.A.C.D. SEE PLAN FOR KING STUDS FOR OPENINGS GREATER THAN 14'-0".

WIND BRACING:

ALL EXTERIOR WALLS TO BE FULLY SHEATHED w/ 7/16" OSB OR PLYWOOD. NAIL w/ #8 NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN THE FIELD, OR 1 3/4" 16 GAGE STAPLES @ 3" O.C. AT PANEL EDGES, 8" O.C. IN THE FIELD. BRACING NOT LESS THAN 2" NOMINAL IN THICKNESS SHALL BE PROVIDED AT ALL HORIZONTAL PANEL JOINTS.

9/8" T&T 210'S:
SINGLE JOIST HANGER: SIMPSON HU2.1/9 FACE MOUNT.
DOUBLE JOIST HANGER: SIMPSON MU4.28/9 FACE MOUNT.

P.T. 2X8 DECK JOISTS: SIMPSON LUC282 FACE MOUNT.



PIER SCHEDULE

PIER	SIZE	REINFORCING
P16	16"6 x 36" MIN.	(3) - #4 FULL HGT.
P24	24"6 x 36" MIN.	(6) - #4 FULL HGT.

*EXTEND ALL PIERS TO UNDISTURBED SOIL

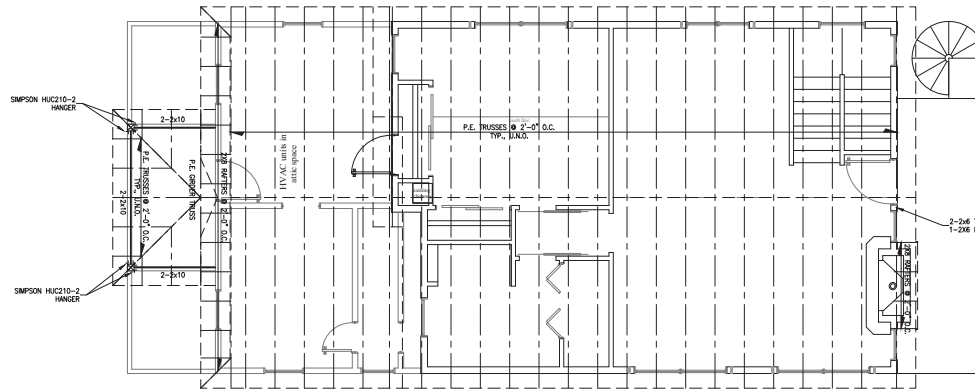
FOUNDATION PLAN

1/4" = 1'-0"

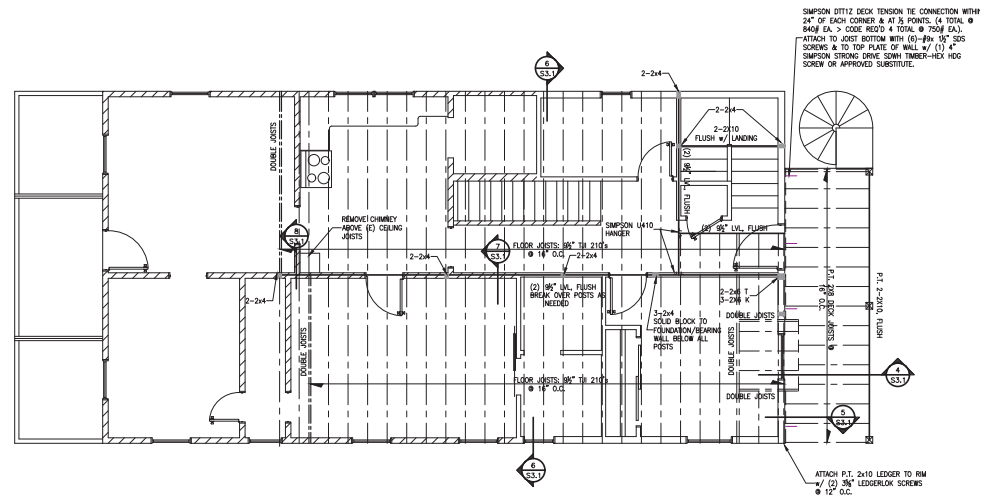
FOOTING REINFORCING

2-#4 CONC. 8"X12" TO 8"X20"
3-#4 CONC. 8"X24" TO 8"X36"
4-#4 CONC. 8"X36" & WIDER
#4 TRANSVERSE BARS @ 18"
O.C. FOR 30" & WIDER

S1.1



ROOF FRAMING PLAN
1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

DANIELSON RESIDENCE
336 EAST MAGNOLIA STREET
FORT COLLINS, COLORADO



WORKS & ASSOCIATES
STRUCTURAL ENGINEERS

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CHECKED BY: CCM

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FILE _____
2020 - #220189

DRAWING TITLE
ROOF & SECOND
FLOOR FRAMING
PLAN

DRAWING NUMBER _____

S2.1

DANIELSON RESIDENCE
336 EAST MAGNOLIA STREET
FORT COLLINS, COLORADO



W & B ASSOCIATES
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CHECKED BY: GGM

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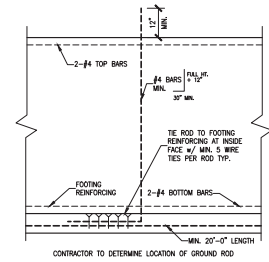
FILE
2020 - #220189

DRAWING TITLE

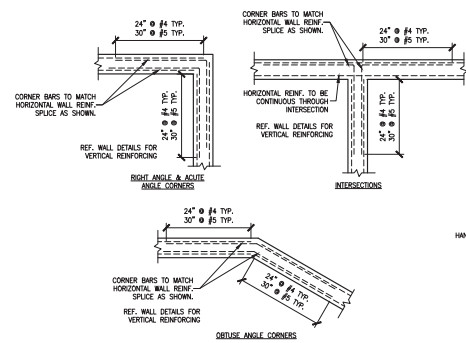
DETAILS

DRAWING NUMBER

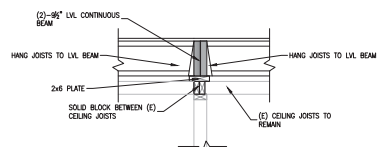
S3.1



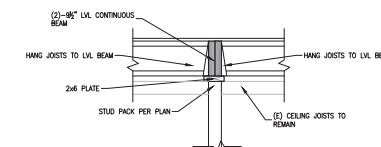
10 U-FER GROUND DETAIL (AS NEEDED)
S3.1 1/2" = 1'-0"



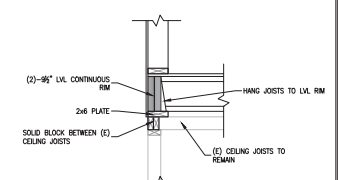
9 TYPICAL CORNER REINFORCING - CONCRETE
S3.1 N.T.S.



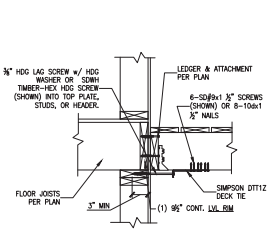
7 DETAIL
S3.1 3/4" = 1'-0"



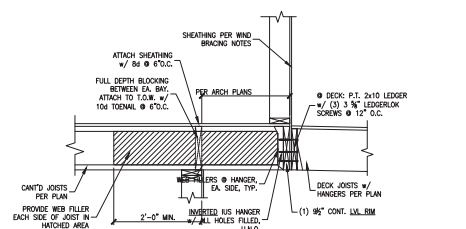
8 DETAIL
S3.1 3/4" = 1'-0"



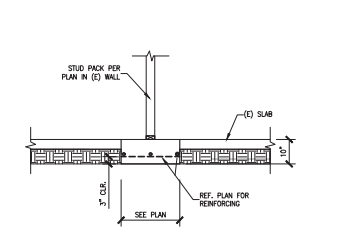
6 DETAIL
S3.1 3/4" = 1'-0"



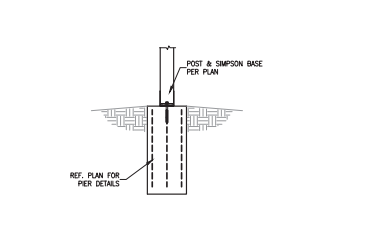
5 DECK TENSION TIE
S3.1 1" = 1'-0"



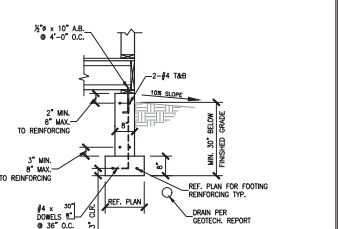
4 LEDGER @ CANT. FRAMING DETAIL
S3.1 3/4" = 1'-0"



3 CONCRETE PAD DETAIL
S3.1 1/2" = 1'-0"



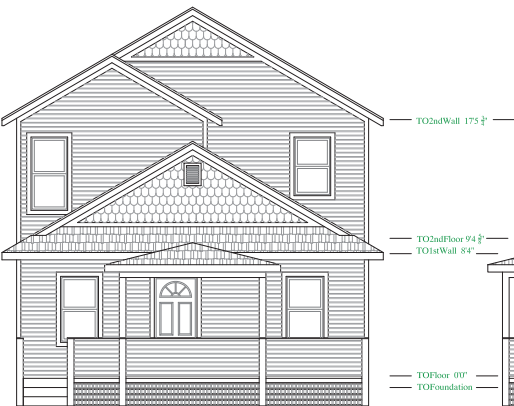
2 DECK DETAIL
S3.1 1/2" = 1'-0"



1 CRAWL SPACE FOUNDATION WALL DETAIL
S3.1 1/2" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. ALL DIMENSIONS ARE FROM ROUGH STUD FACE. 3 $\frac{1}{2}$ " FOR 2X4 WALLS AND 5 $\frac{1}{2}$ " FOR 2X6 WALLS UNLESS NOTED OTHERWISE.
2. GROUND CIRCUIT INTERUPTER (GFCI) PROTECTION IS TO BE PROVIDED TO ALL BATH, KITCHEN, GARAGE, AND EXTERIOR OUTLETS.
3. AN INTERCONNECTOR FIRE ALARM SYSTEM WITH INDIVIDUAL BATTERY BACKUP TO BE INSTALLED IN FIRST FLOOR, BEDROOM AREAS, AND BASEMENT PER 2012 I.R.C. / 2006 I.E.C.C.
4. VENT REQUIRED FOR LAUNDRY ROOM DRYER, NOT TO EXCEED 14". AND BATHS THAT CONFORM TO 2012 I.R.C. PROVIDE (2) 6" DIAM EXTERNAL COMBUSTION AIR DUCTS TO THE FURNACE AREA. ONE AT 1' BELOW THE CEILING AND ONE AT 1' ABOVE THE FLOOR.
5. ONE HOUR TYPE "X" DRYWALL SHALL BE PROVIDED ON ALL GARAGE WALLS AND CEILINGS THAT ARE ADJACENT TO OR UNDER LIVING AREAS AND ON ALL BEARING WALLS, BEAMS, AND POST PER I.R.C. PROVIDE CODE COMPLIANT INTERIOR WALL SHEETING, INSTALLED IN ACCORDANCE WITH MANUFACTURE RECOMMENDATIONS FOR WALL TILE IN TUB AND SHOWER AREAS.
6. FIREPLACES ARE TO BE U.L. APPROVED AND TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS AND RECOMMENDATIONS.
7. MINIMUM HEADROOM CLEARANCE THROUGHOUT ALL STAIRWAYS IS 6'8". TOP OF HANDRAILS IS TO BE 34-36" ABOVE THE NOSE OF THE TREADS. THE HANDGRIP PORTION OF THE HANDRAIL IS TO BE 1 1/2" DIAM. OPEN HANDRAILS AND GUARDRAILS ARE TO HAVE RAILING SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
8. WATER AND WASTE WATER PIPING LOCATED IN EXTERIOR WALLS MUST BE PROTECTED FROM FREEZING.
9. PROVIDE AT LEAST ONE EMERGENCY ESCAPE "EGRESS" WINDOW/DOOR IN ALL SLEEPING ROOMS TO COMPLY TO THE FOLLOWING:
 - 57 SQ. FT. MINIMAL OPENABLE AREA
 - 24" MINIMUM CLEAR OPENABLE HEIGHT
 - 20" MINIMUM CLEAR OPENABLE WIDTH
 - 44" MAXIMUM SILL HEIGHT



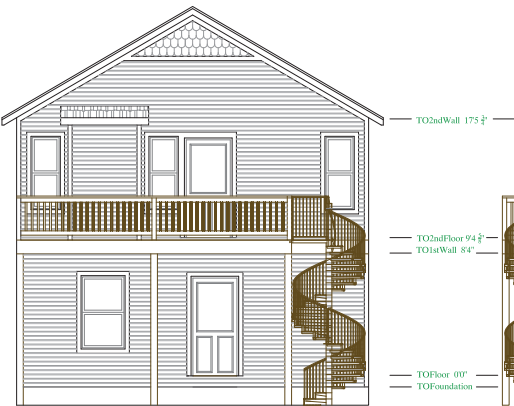
FRONT ELEVATION



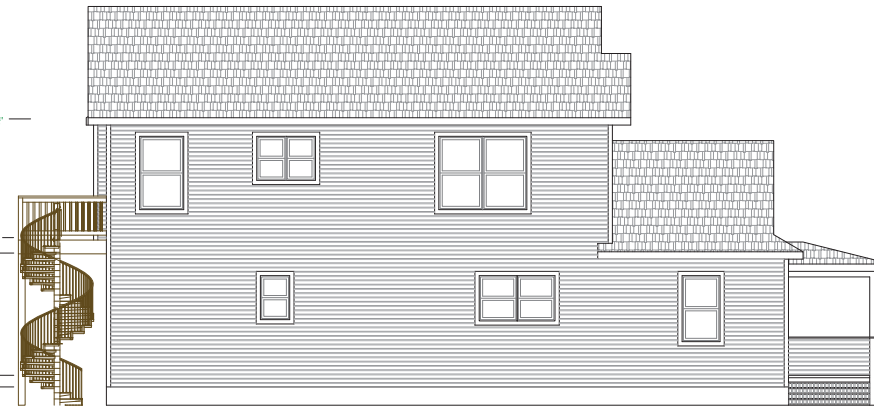
RIGHT ELEVATION

EXTERIOR FINISH NOTES

- MAIN MATERIALS: LAP SIDING THAT MATCHES EXISTING AS CLOSE AS POSSIBLE
- GABLE MATERIALS: SCALLOP LAP SIDING W/ 1X6 (5/8) FRIEZE BOARD
- WINDOW & DOOR TRIM: 1X4 (5/8) TEXTURED TRIM BOARD
- HORIZONTAL TRIM: 1X4 (5/8) TEXTURED TRIM BOARD AT GABLES
- VERTICAL TRIM: 1X4 (5/8) TEXTURED TRIM BOARD
- SOFFIT & FASCIA: FASCIA - 1X6 (5/8) TEXTURED TRIM BOARDS W/ 1 1/4" SHINGLE MOLDING
SOFFIT - 3/4" BEADBOARD SOFFIT W/ VENTS
- ROOFING MATERIAL: 30 YEAR ASPHALT COMP. SHINGLE ON 30# FELT OR EQUIVALENT PER IRC
- GUTTERS: 5" PRIMED GUTTERS AT ALL HORIZONTAL FASIA WITH AT LEAST 1 DOWNSPOUT EVERY 25' OF GUTTER



REAR ELEVATION



LEFT ELEVATION

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONSTRUCTION ELEMENTS, AS WELL AS MAKE JUDGEMENTS TO COMPLETE THE PROJECT TO SATISFY ALL APPROPRIATE BUILDING CODES.

Designed/Drawn by:
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KODIAK
Architectural Design
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Builder

Danielson Addition
Gustave & Deb Danielson
336 E. Colorado Street
Fort Collins, CO 80524

Elevations

SCALE: 1/8" = 1'-0"
DATE: 03 / 06 / 21
DRAWING NO: K20025 - rev. 3.2
SHEET: 1 OF 5

3. FLOOR JOISTS TO BE AN ENGINEERED WOOD JOIST SYSTEM. INSTALL FLOOR SYSTEM IN ACCORDANCE WITH MANUFACTURERS LAYOUT AND SPECIFICATIONS.
4. SURF JOIST SHALL BE GILLED AND FASTENED WITH KINGSHAM NAIL OR SCREWS TO ALL JOISTS. ALL LATERAL SEAMS TO BE A TONGUE AND GROOVE CONNECTION.
5. PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS AND POSTS CONTINUOUS TO THE FOUNDATION OR BEARING STEEL BEAM BELOW.
6. ALL FRAMING LUMBER SHALL BE HEM FIR #2 OR BETTER. WALL STUDS SHALL BE HEM FIR "STD GRADE" OR BETTER.
7. ALL HEADERS TO BE (2) 2X12 UNLESS NOTED OTHERWISE. HEADERS TO BE NAILLED TOGETHER WITH (3) 10D NAILS EVERY 16" ON EACH SIDE.
8. ALL HEADERS AND BEAMS TO HAVE TRIMMERS AND KING STUDS IN ACCORDANCE WITH BUILDING CODE. INSTALL ADDITIONAL BRACING IN ACCORDANCE WITH THE PROJECT ENGINEER PLAN.
9. ALL MULTIPLE MICROLAM LVL BEAMS TO BE FASTENED TOGETHER PER THE PROJECT ENGINEER PLAN.
10. ALL METAL CONNECTORS ARE TO SIMPSON "STRONG-TIE" OR BETTER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
11. MAIN LEVEL WINDOW HEADERS ARE 7"1" A.F.F. UNLESS NOTED OTHERWISE ON THE FLOOR PLAN. SECOND LEVEL WINDOWS ARE 6"1" A.F.F. UNLESS NOTED OTHERWISE ON THE FLOOR PLAN.



806 Sq. Ft.

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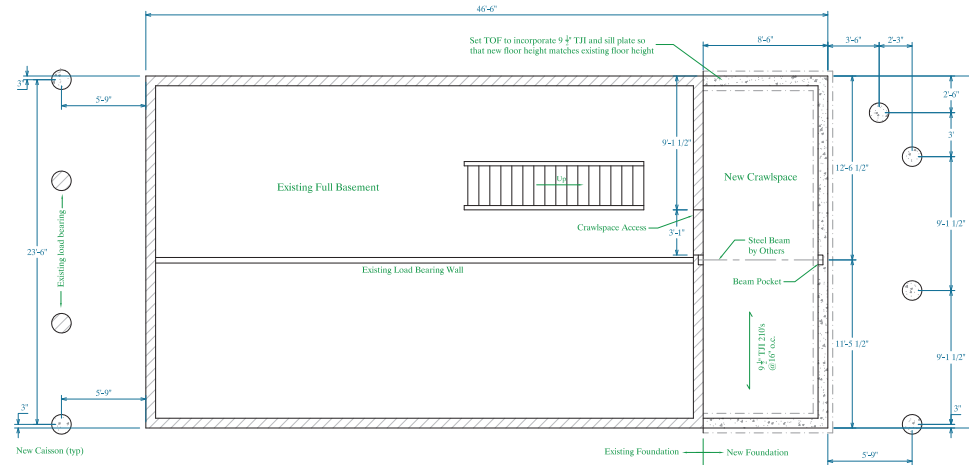
Danielson Addition
Gustave & Deb Danielson
336 E. Magnolia Street
Fort Collins, CO 80524

Main Floor Plan
Second Floor Plan

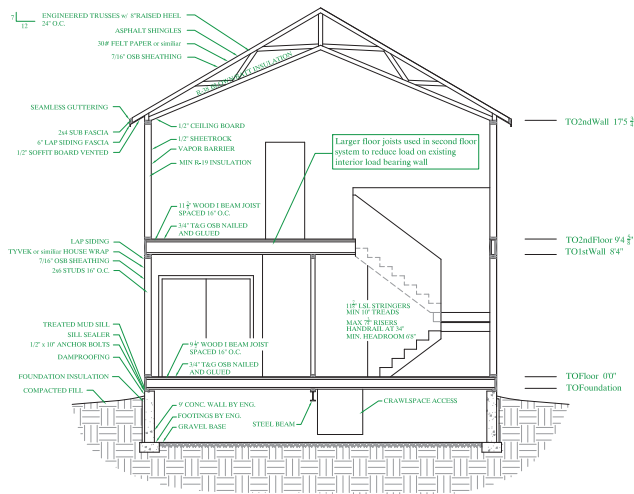
SCALE: 1" = 10'	DATE: 03/06/21
SHEET: 2 OF 5	DRAWING NO: K20025 - rev. 3.2

FOUNDATION NOTES

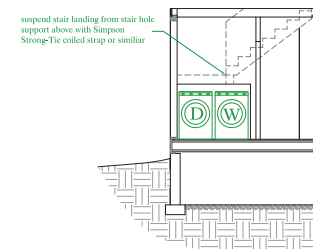
1. ALL DIMENSIONS ARE TO CENTERLINE OF BEAM/BEAMPOCKET OR FACE OF CONCRETE WALL.
2. OWNERS/CONTRACTORS/STRUCTURAL ENGINEER SHALL SIZE ALL FOOTINGS AND FOUNDATION SYSTEMS AND PROVIDE SPECIFICATIONS FOR SLABS, FLIRS, REINFORCING, AND DRAINAGE. ALL SPECIFICATIONS ARE TO BE DESIGNED WITH REGARDS TO THIS SPECIFIC SITE.
3. INSTALL BACKFLOW DEVICE AS REQUIRED BY CURRENT BUILDING CODE.
4. PROVIDE COMBUSTION AIR FOR FURNACE AND HOT WATER HEATER.
5. SLOPE FINISH GRADE AWAY FROM STRUCTURAL ON ALL SIDES.
6. TYPICAL FOUNDATION: 8" CONTINUOUS WALLS WITH DAMPROOFING AND INSULATION APPLIED.



FOUNDATION PLAN



CROSS SECTION A-A



CROSS SECTION B-B

Washer/Dryer alcove under stair landing

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Kodiak564@gmail.com



Designed/Drawn by:
KODIAK
Architectural Design

building

Danielson Addition
Gustave & Deb Danielson
336 E. Magnolia Street
Fort Collins, CO 80524

Foundation Plan

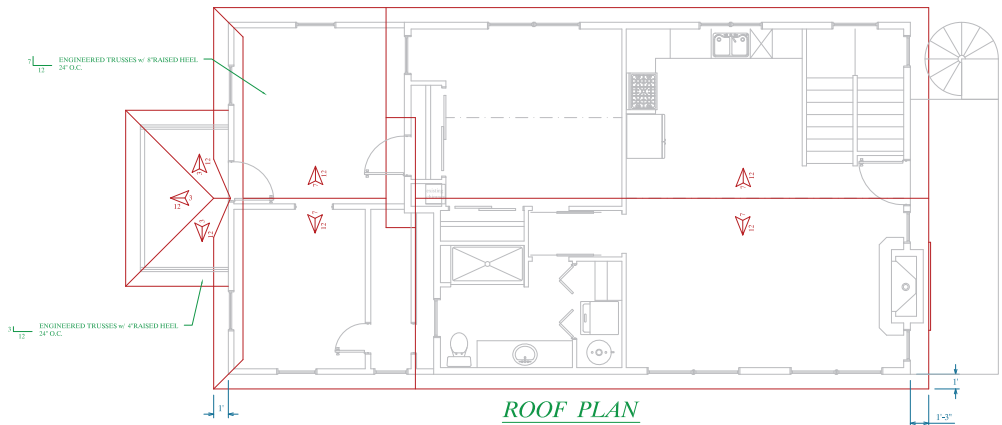
Cross Sections

DATE: 03 / 06 / 21	DRAWING NO: K20025 - rev. 3.2
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SCALE:
 $\frac{1}{4}" = 1'0"$
 SHEET:
 3 OF 5

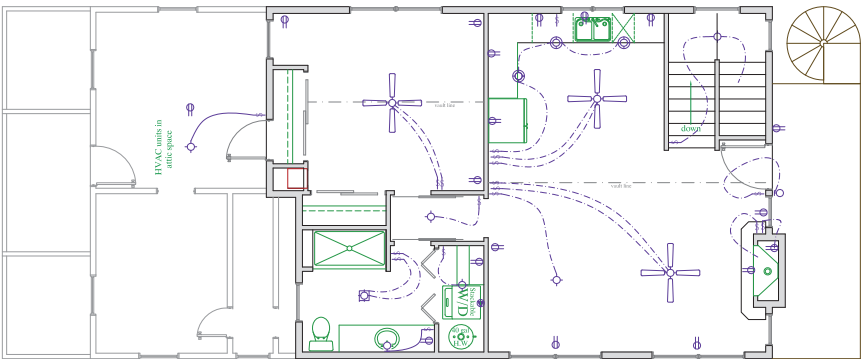
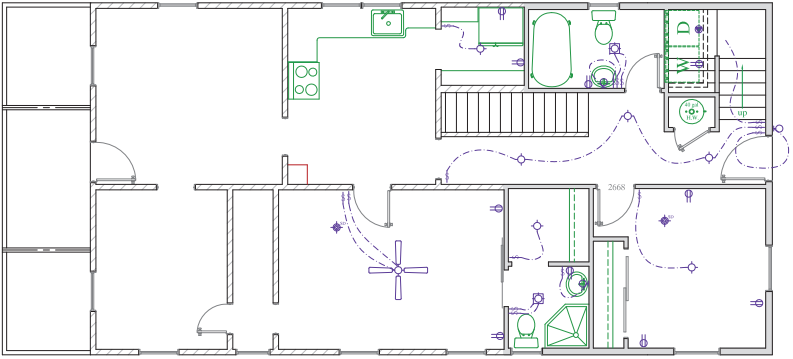
ROOF FRAMING NOTES

1. MAIN ROOF FRAMING TO BE AN ENGINEERED WOOD TRUSS SYSTEM. INSTALL TRUSS SYSTEM IN ACCORDANCE WITH THE MANUFACTURERS LAYOUT AND SPECIFICATIONS. OVERFRAME AREAS TO BE BUILT WITH HEM FIR #2 OR BETTER UNLESS SPECIFIED BY THE PROJECT ENGINEERED PLAN.
2. PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS AND POSTS CONTINUOUS TO THE FOUNDATION OR BEARING STEEL BEAM BELOW.
3. ALL MULTIPLE MICROLAM/LVL BEAMS TO BE FASTENED TOGETHER PER THE PROJECT ENGINEERED PLAN.
4. ALL METAL CONNECTORS ARE TO SIMPSON 'STRONG-TIE' OR BETTER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
5. TRUSS DRAWINGS ARE GENERAL REPRESENTATIONS OF TRUSS SHAPES ONLY. ALL STRUCTURAL TRUSSES ARE TO BE DESIGNED AND BUILT BY THE TRUSS MANUFACTURER.



ELECTRICAL SYMBOLS

- CEILING LIGHT
- RECESSED CAN LIGHT
- EXHAUST FAN
- EXHAUST FAN W/ LIGHT
- WALL SCONCE LIGHT
- PENDANT LIGHT
- FLUORESCENT LIGHT
- SMOKE DETECTOR (PER CODE)
- CARBON MONOXIDE DETECTOR (PER CODE)
- 110V OUTLET
- 230V OUTLET
- SWITCH
- TV OUTLET
- PHONE OUTLET
- CEILING PADDLE FAN W/ LIGHT



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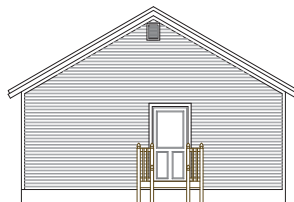
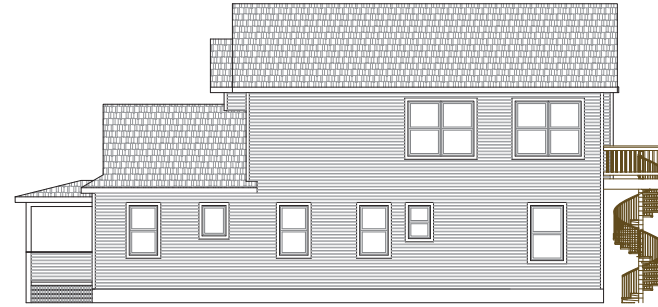
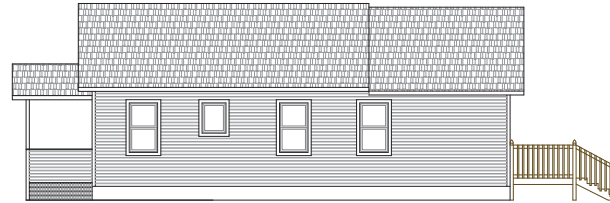
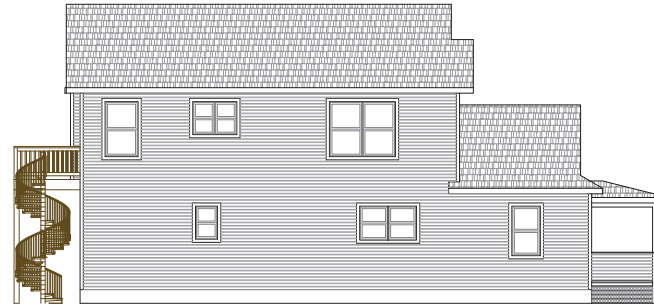
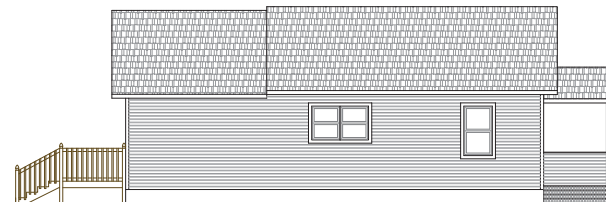
Designed/Drawn by:
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KODIAK
Architectural Design
Kodiak54@gmail.com

Builder

Danielson Addition
Gustave & Deb Danielson
330 E. Colorado Street
Fort Collins, CO 80524

Roof Plan
Main Floor Plan Electrical
Second Floor Plan Electrical

SCALE:
1" = 10'
SHEET:
4 OF 5
DATE:
03 / 06 / 21
DRAWING NO:
K20025 - rev. 3.2

FUTURE FRONT ELEVATIONEXISTING FRONT ELEVATIONFUTURE REAR ELEVATIONEXISTING REAR ELEVATIONFUTURE RIGHT ELEVATIONEXISTING RIGHT ELEVATIONFUTURE LEFT ELEVATIONEXISTING LEFT ELEVATION

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Designed/Drawn by: Stewart Rigg
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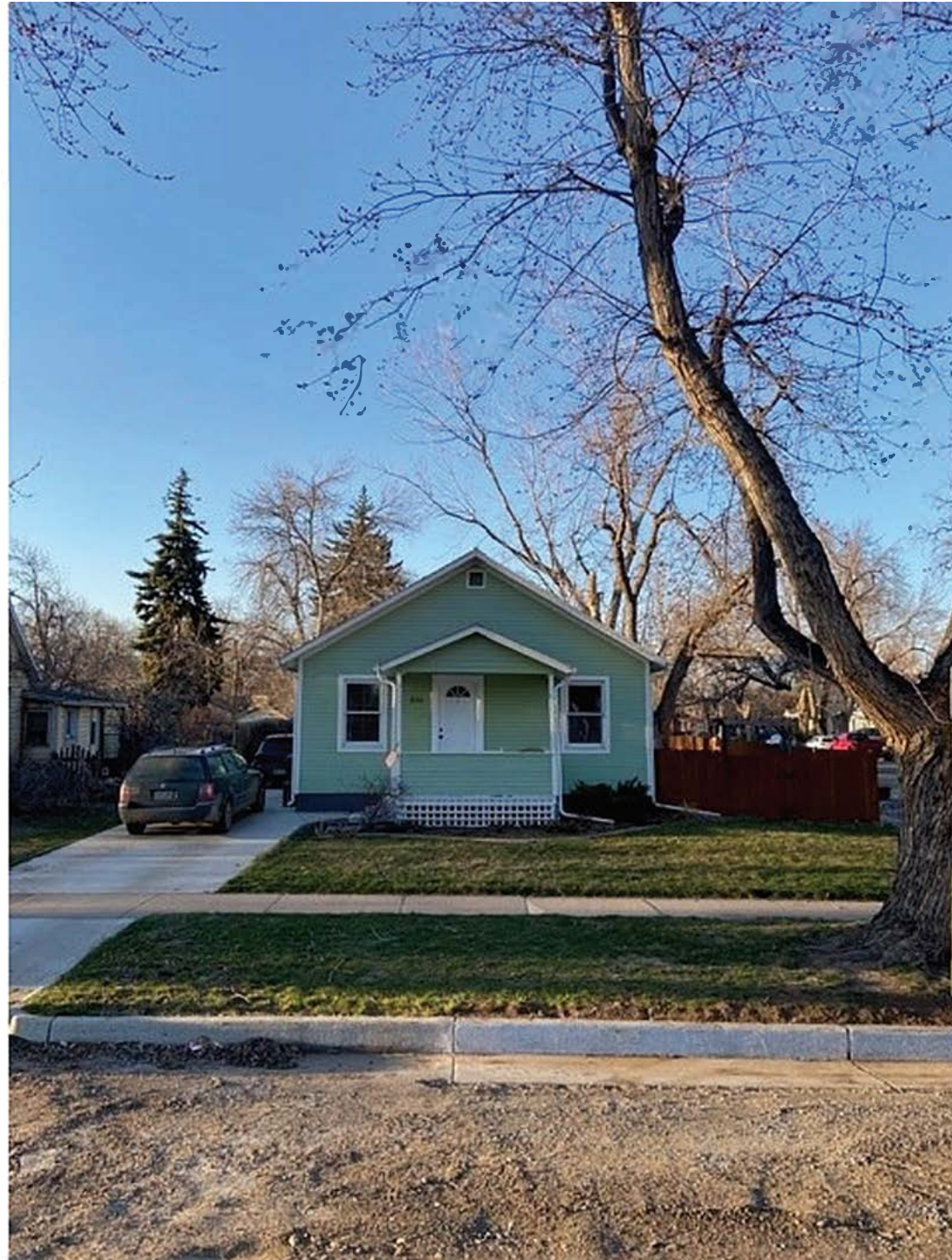


Builder

Danielson Addition
Gustave & Deb Danielson
336 E. Sigurd Street
Fort Collins, CO 80524

Future vs. Existing Elevations

SCALE:	DATE:
1/4" = 1'-0"	03 / 06 / 21
SHEET:	DRAWING NO:
3 OF 5	K20025 - rev. 3.2













Jim Bertolini

From: Danielson <bud.danielson@comcast.net>
Sent: Thursday, April 1, 2021 7:28 PM
To: Jim Bertolini
Cc: Deb Danielson; Ian Danielson; Stewart King
Subject: [EXTERNAL] Re: B2101308 - Addition to 336 E Magnolia - historic review required

Dear Mr. Bertolini;

We appreciate your thought review of our project.

We have discussed your information request between Ian Danielson, Owner, and Stewart King, Architect of Record, and myself. Please find the responses and photos below. If your email rejects to photos due to file sizes, I will send them in several emails.

Please notify us Friday morning confirming that you have received this email.

We believe the design is in keeping with the neighborhood norms and remains true to the humble nature of the original house.

Your requests more info (*blue italics*) and the responses (black):

- *"Clarification on treatment of the siding – will you be retaining the historic dropboard siding on the remaining portions of the historic building? What type of wall cladding will be added to the new portions of the building and/or the historic portions if proposed for replacement?"*
 - The design calls for the addition siding to match the existing siding.
- *"Clarification on window and door treatments – will you be retaining/upgrading the existing windows or replacing them? If replacing, please provide information and photographs of existing windows and details on proposed replacements."*
 - The design calls for the existing windows and doors to remain.
- *"Photographs of the property exterior – this should include all four elevations, the landscape, and the garage at the NW corner of the lot."*
 - Please note that there is no garage on the property. The survey does indicate a storage shed.
 - Photographs are attached. Note: the West & East Elevations are partially obstructed by fencing.