



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

CERTIFICATE OF APPROPRIATENESS

ISSUED: January 7, 2021

EXPIRATION: January 7, 2022

Simon Kalinga
St. Joseph's Catholic School
127 N Howes Street

Dear Father Kalinga:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, St. Joseph's Catholic School at 127 N Howes, have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) West courtyard entry stairs – deconstruction, material salvage, reconstruction with salvaged materials and supplemental in-kind replacement following details from 2020.11.13 project description summary, submitted by Arnett Design Studio, LLC.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I may be reached at mbzdek@fcgov.com.

Sincerely,

Maren Bzdek
Senior Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p>Salvage of existing brick and red sandstone to reuse in the reconstruction of the stairs is a critical component for approval of this project, and should proceed according to the parameters discussed with Stan Arnett.</p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>Any new, supplemental materials needed to finalize the new stair dimensions should be used for the extension portion of the wall design.</p>	Y
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p>The courtyard entrance and staircase has been modified in the mid twentieth century. The approved plans will maintain the design and materials of the stairs and entrance to the maximum extent feasible.</p>	Y
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>The material salvage component of the project, combined with the overall effort to minimize design and material changes, will ensure this standard is satisfied.</p>	Y

SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>The contractor assigned to rebuild the stair walls using a small quantity of in-kind, matching brick and sandstone will consult with City of Fort Collins Historic Preservation Staff in order to ensure that the new materials are an appropriate match for the project.</p>	Y
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p> <p>This standard is most relevant for the deconstruction of the brick and sandstone stair walls, to maximize the quantity of salvageable materials and ensure that no damage is done to the main building wall and entrance area.</p>	Y
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p>	N/A
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>As noted above, please consult with Historic Preservation staff to finalize the placement and use of salvaged versus new materials for the reconstruction of the walls and stairs, to ensure proper placement of new versus old materials and visual differentiation of old from new to avoid creating a false sense of history, i.e. to indicate visually that the wall was rebuilt in 2021.</p>	Y
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p>	N/A

Proposed Design
for:
**St. Joseph
Catholic
School Stair
Replacement**

127 N. Howes Street
Fort Collins, CO 80521
Project Number: ADS20.8
Issued Drawings

No.	Description	Date
1	Proposed Design	11/13/2020

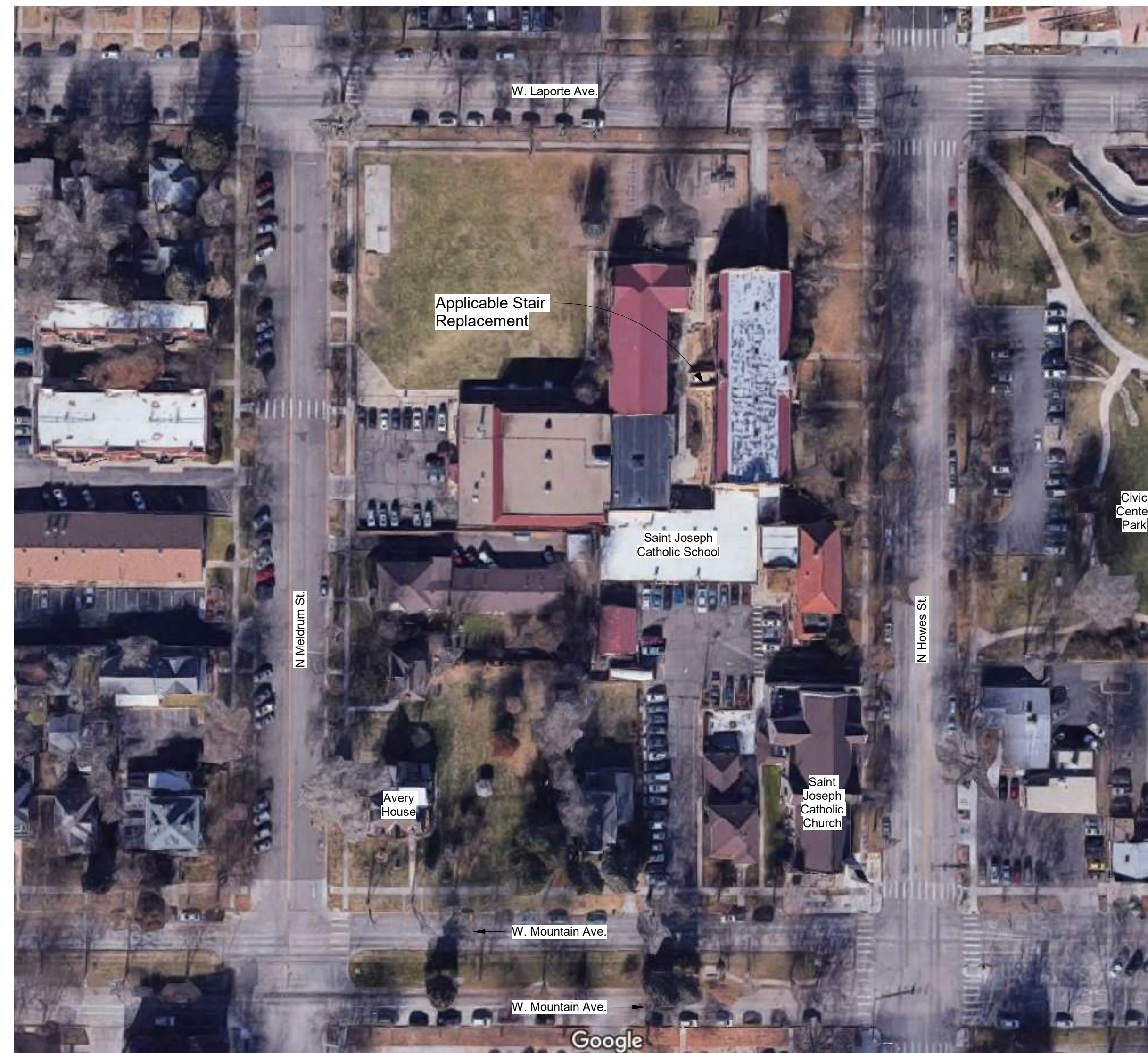
Project Team:

Archdiocese of Denver Saint Joseph's Parish	Owner
1300 S. Steele Street Denver, CO 80210 Phone: (970) 218-2024 Contact: Justin Montgomery Email: jmontgomery@designpointengineering.com	
Larsen Structural Design	Structural Engineer
320 Maple St., Suite 120 Fort Collins, CO 80521 Phone: (970) 568-3355 Contact: Blake Larsen Email: blake@larsensd.com	

Sheet:
**Vicinity Map &
Existing Site
Photos**

ARC-1

Scale Accordingly if Reduced

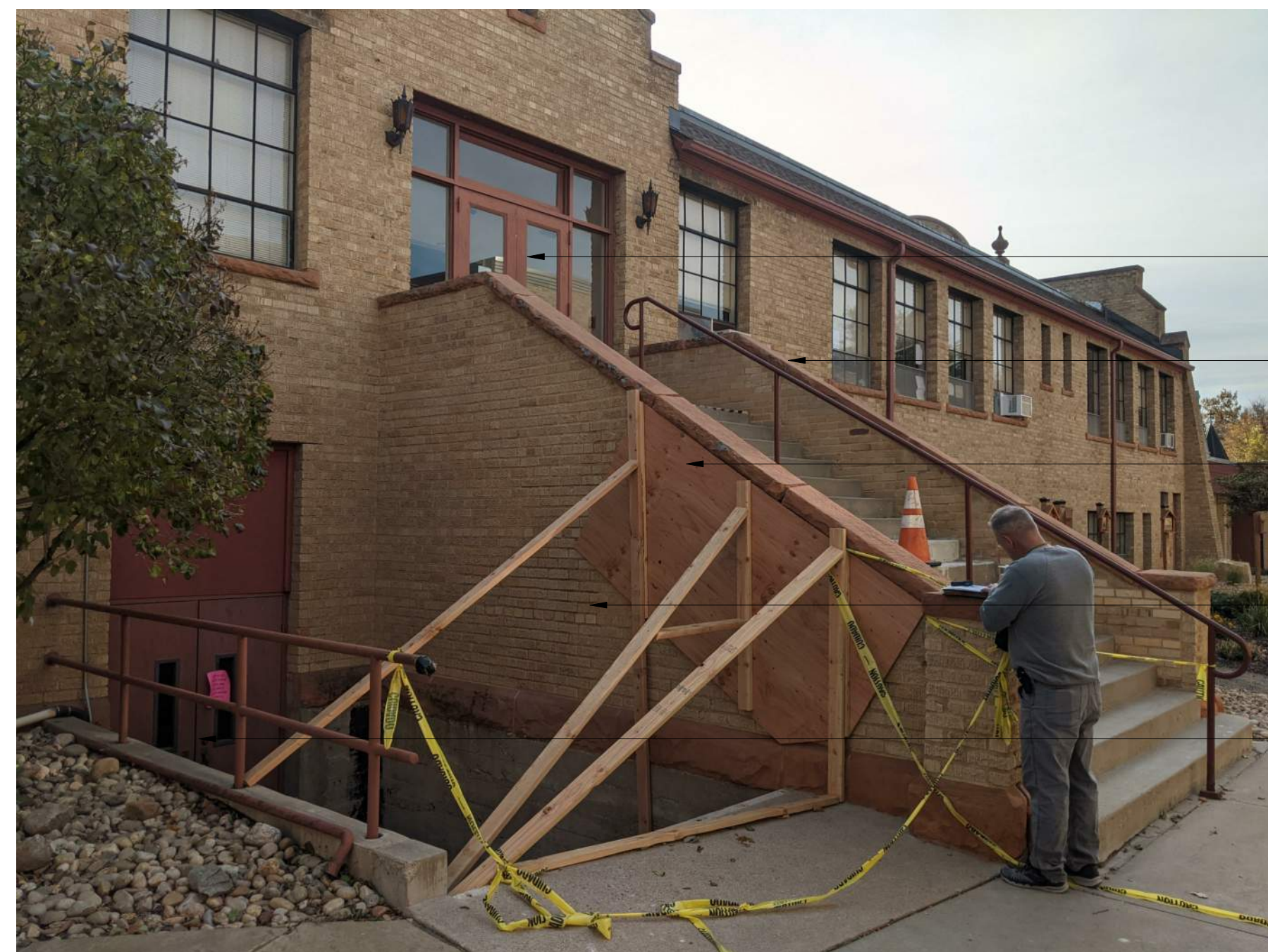


5 Vicinity Map
ARC-1 Not to Scale



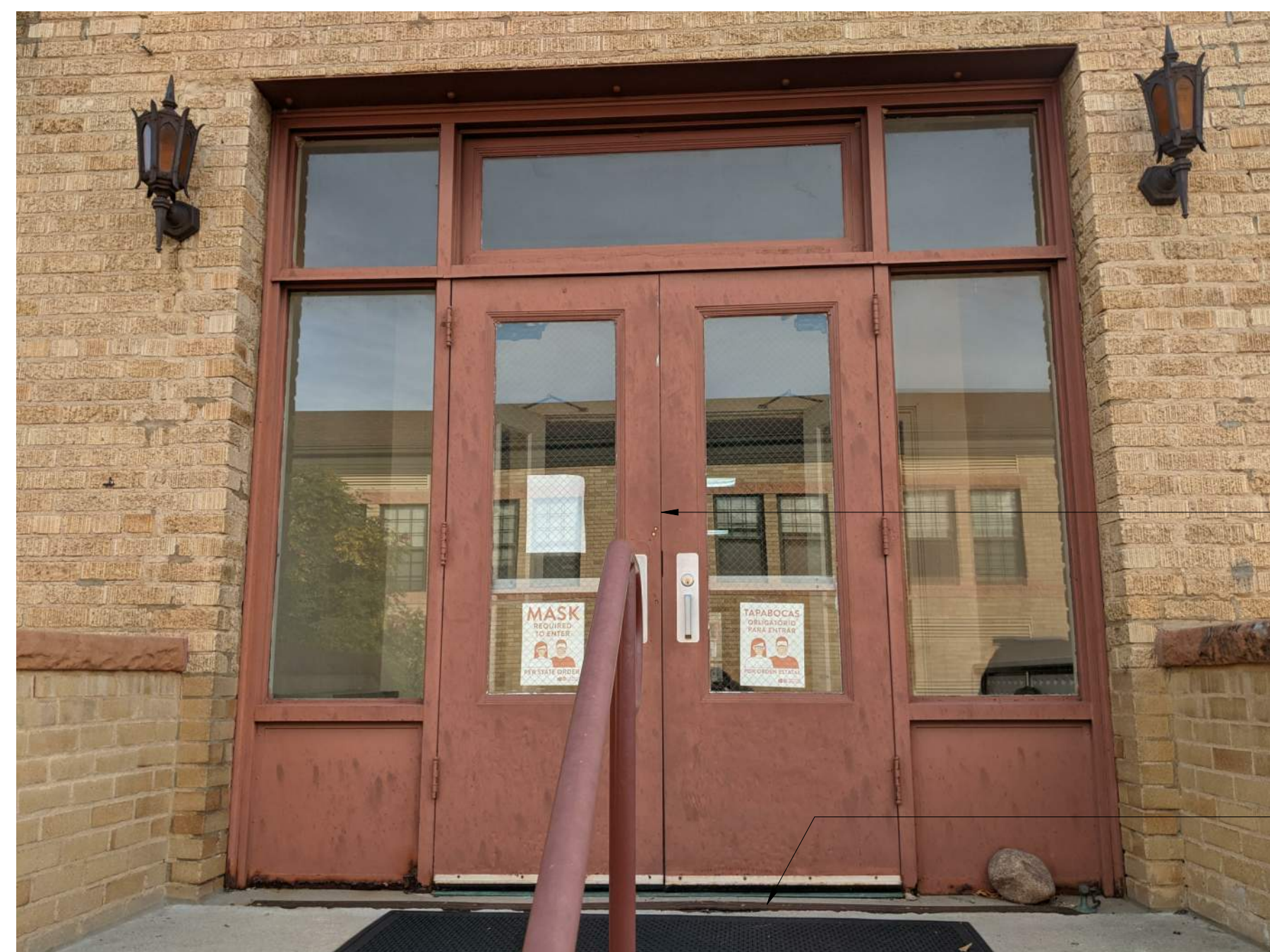
6 Existing Photo from Southwest
ARC-1 Not to Scale

- Existing 2nd floor egress door. Hollow metal doors and frame.
- Existing brick wall 2'-8" high, doesn't comply with building code as proper guardrail.
- Deconstruct existing brick wall to salvage as much brick and stone as possible. Salvaged materials to be reused in new stair construction.
- Existing brick joints failing grout material, point of water infiltration.



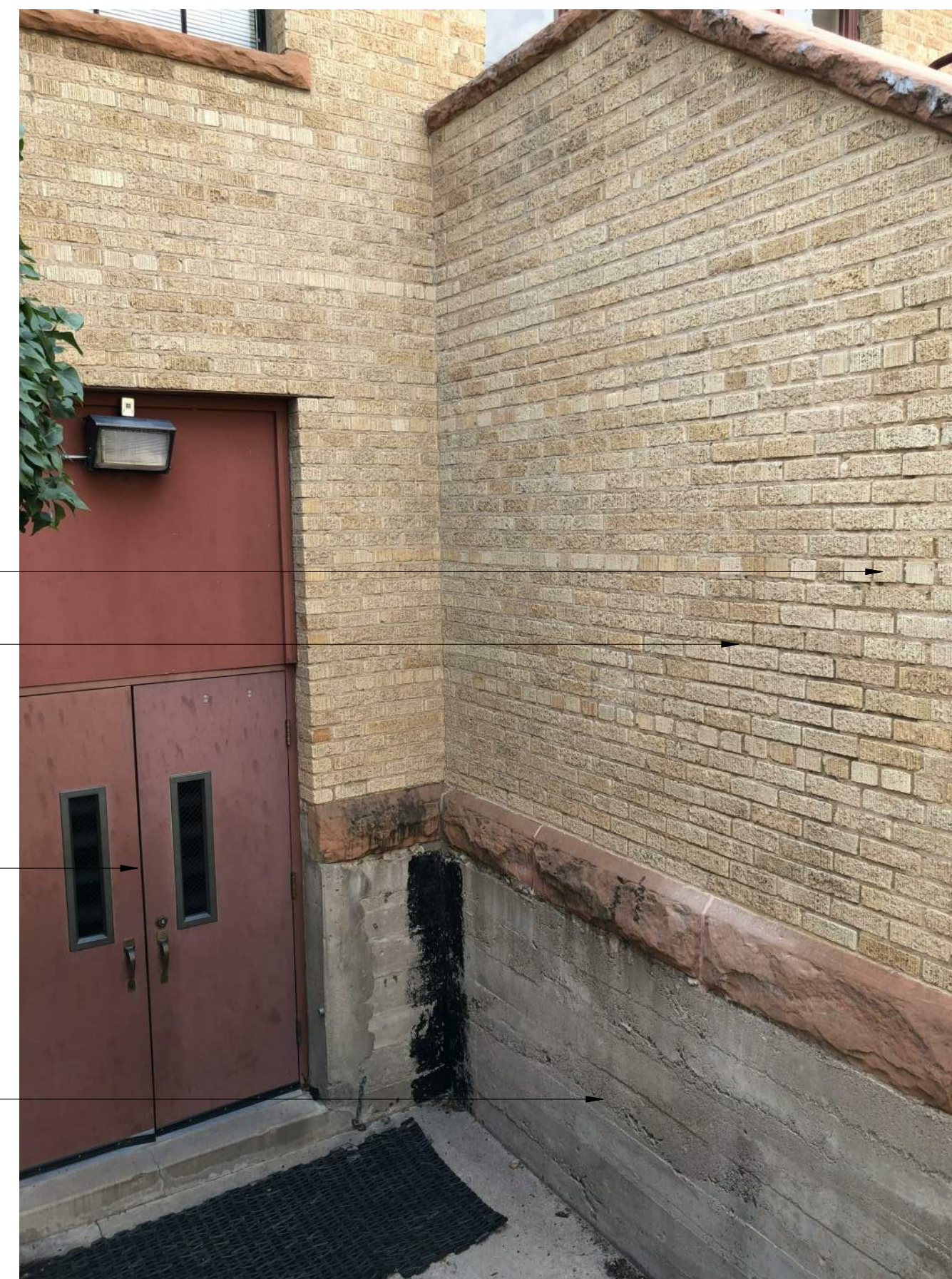
4 Existing Photo from Northwest
ARC-1 Not to Scale

- Deconstruct existing brick wall to salvage as much brick and stone as possible. Salvaged materials to be reused in new stair construction.
- Existing 2nd floor egress door. Hollow metal doors and frame.
- Existing brick wall 2'-8" high, doesn't comply with building code as proper guardrail.
- Brick wall collapsing, structurally compromised. Temporary shoring to help prevent collapse.
- Existing brick joints failing grout material, point of water infiltration.
- Existing basement egress doors. Hollow metal door and frame.

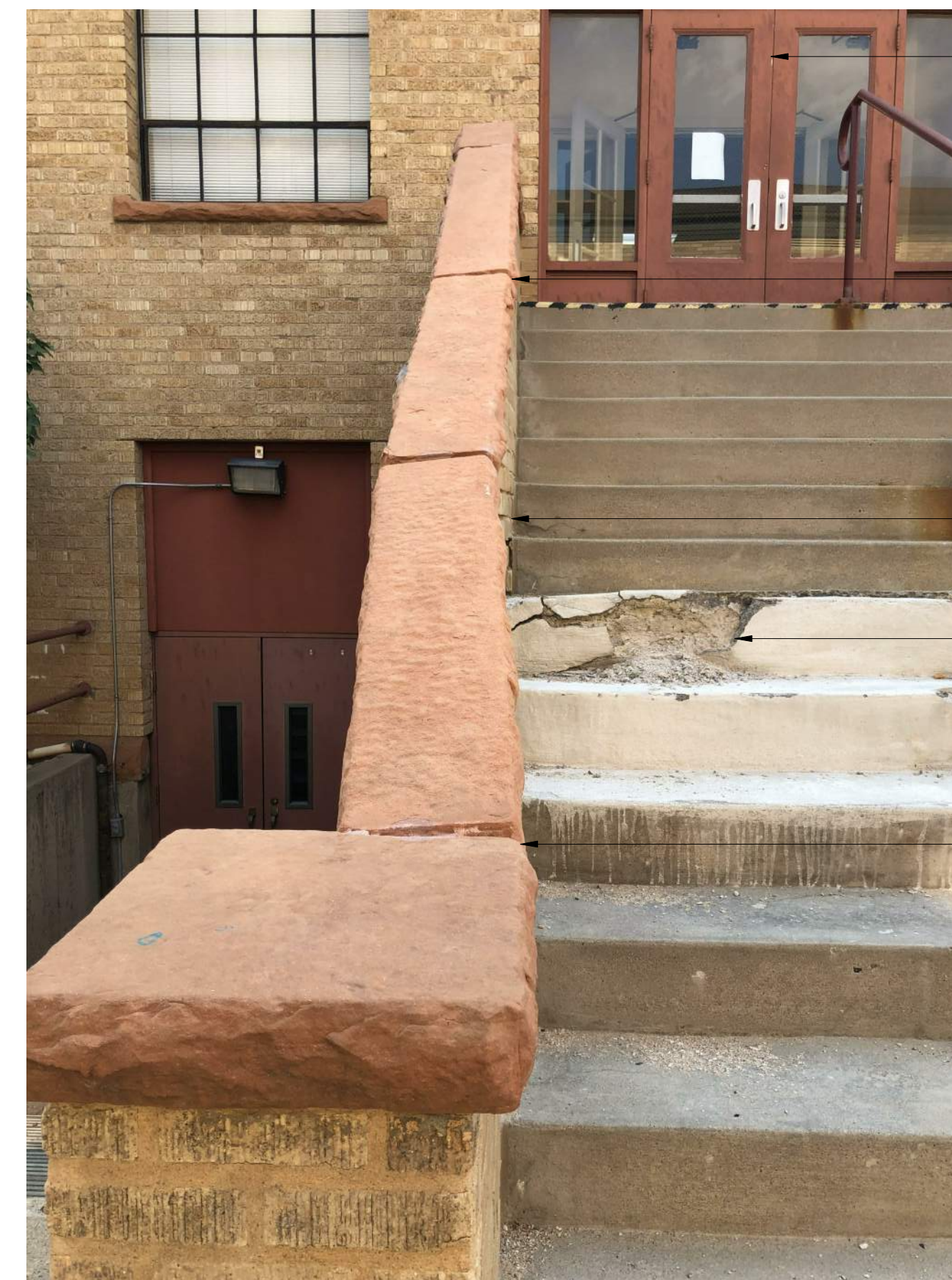


3 Existing Photo of 2nd Floor Doorway
ARC-1 Not to Scale

- Deconstruct existing brick wall to salvage as much brick and stone as possible. Salvaged materials to be reused in new stair construction.
- Brick wall collapsing, structurally compromised.
- Existing brick joints with failing grout material, point of water infiltration.
- Existing 2nd floor egress door. Hollow metal doors and frame.
- Existing brick wall 2'-8" high, doesn't comply with building code as proper guardrail.
- Existing basement egress doors. Hollow metal door and frame.
- Existing exposed concrete foundation wall.
- Existing steel pour stop rusted and concrete failure bulging won't allow doors to open for egress.



2 Existing Photo of Basement Doorway
ARC-1 Not to Scale



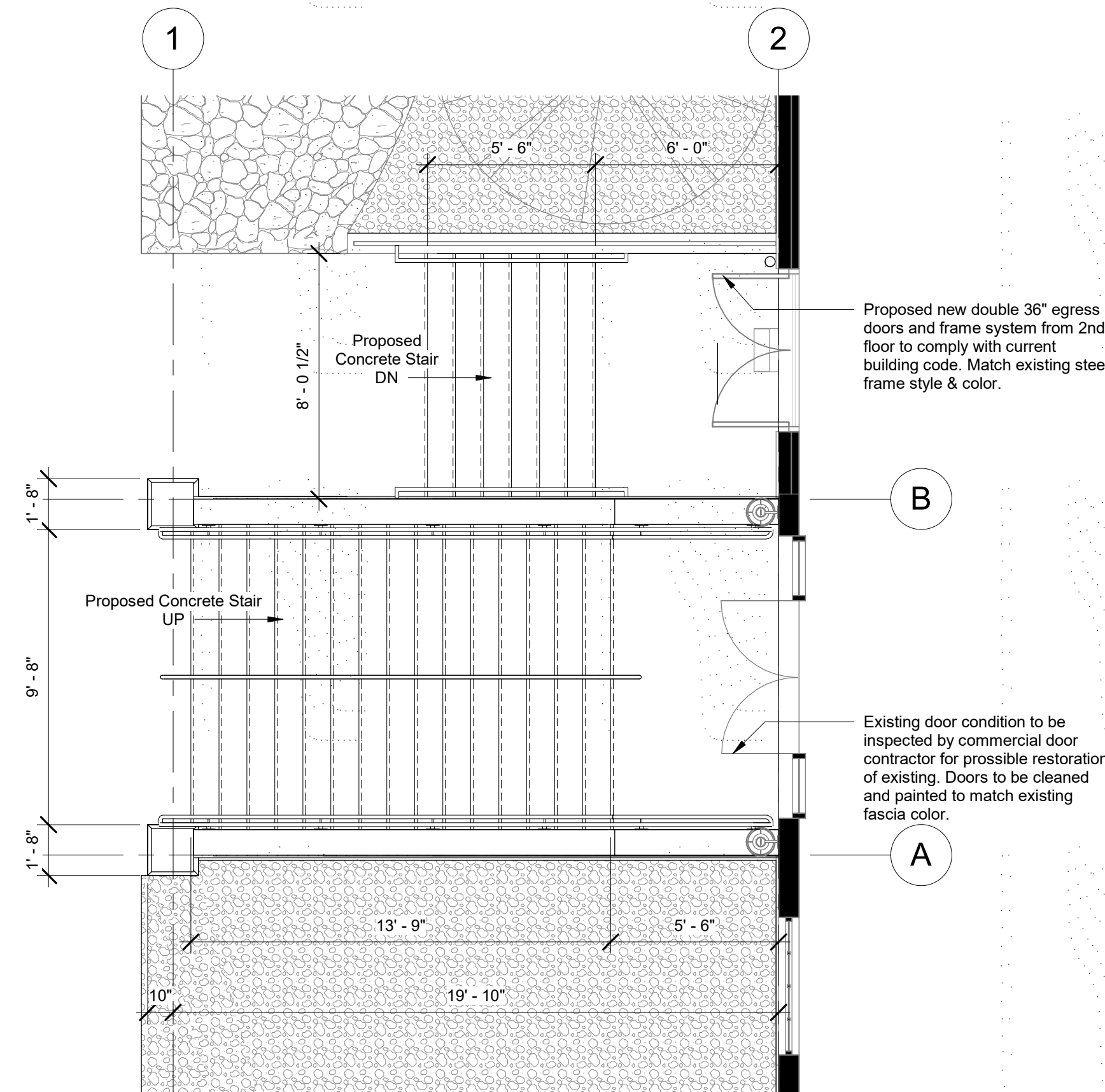
1 Existing Photo of Stair Damage
ARC-1 Not to Scale

- Existing 2nd floor egress door. Hollow metal doors and frame.
- Stone cap joints void of proper grout material, point of water infiltration.
- Brick wall collapsing, structurally compromised.
- Concrete stair damage, structurally compromised.
- Stone cap joints void of proper grout material, point of water infiltration.

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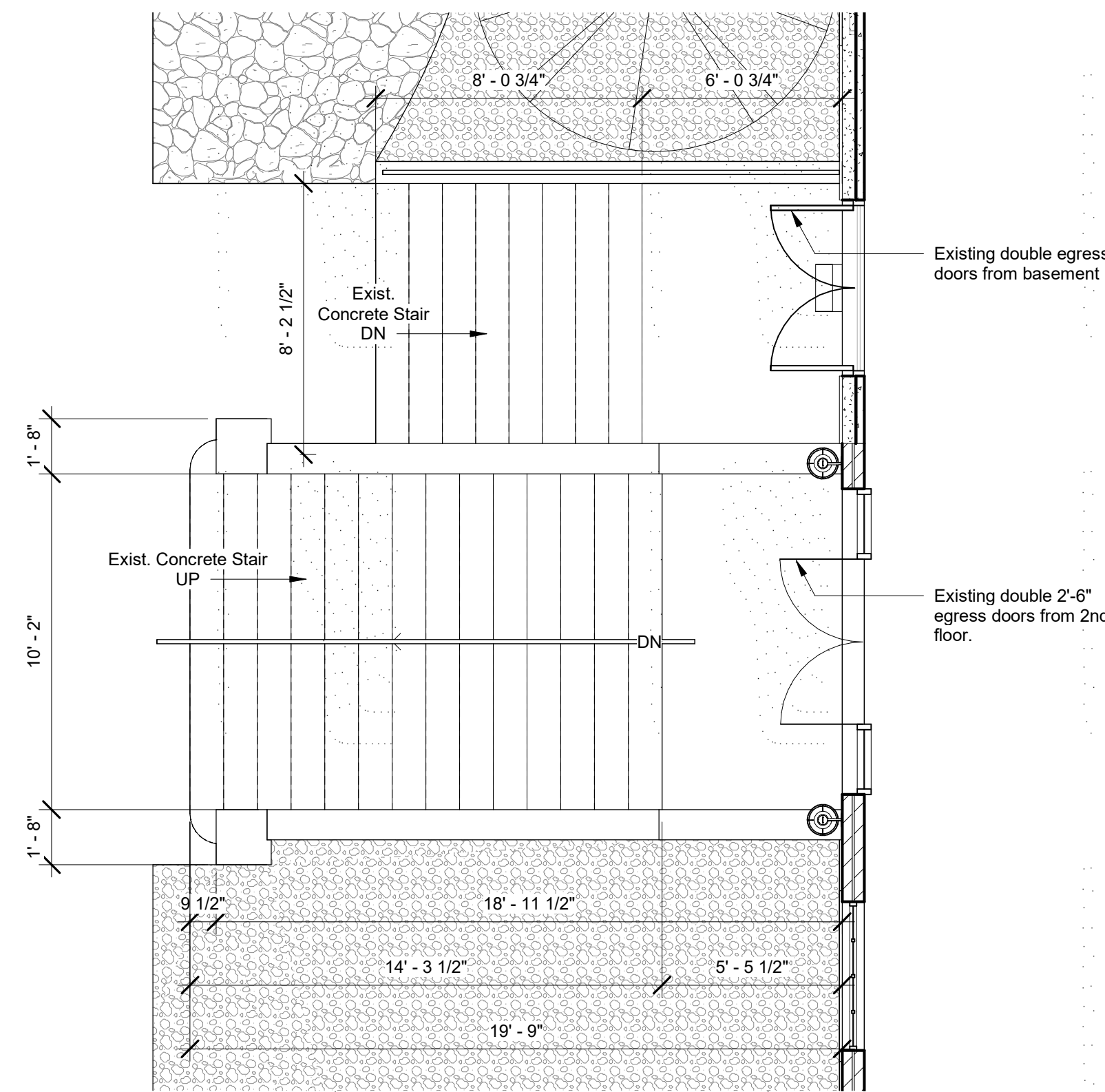


4 Proposed Floor Plan
1/4" = 1'-0"

- Reuse existing red sandstone caps everywhere possible.
- Reuse existing brick salvaged from existing stair over new concrete foundation/retaining wall, 3'-6" high to comply with current building code requirements for proper guardrail.
- Concrete foundation wall with integral buff color & sack finish
- Reuse existing red sandstone caps everywhere possible.
- Proposed new steel guardrail at 3'-6" and handrail at 3'-0" anchored to concrete wall on each side, painted. To comply with current building code requirements.
- Proposed new steel handrail centered on stair, 3'-0" high, painted. To comply with current building code requirements.
- Reuse existing brick salvaged from existing stair over new concrete foundation.
- Reuse existing red sandstone bands everywhere possible.



3 Proposed 3D View
ARC-2



2 Existing Floor Plan
1/4" = 1'-0"



1 Existing Photo from Southwest of Stair
3/8" = 1'-0"

Project Team:

Archdiocese of Denver Saint Joseph's Parish 1300 S. Steele Street Denver, CO 80210 Phone: (970)218-2024 Contact: Justin Montgomery Email: jmontgomery@designpointengineering.com	Owner
Larsen Structural Design 320 Maple St., Suite 120 Fort Collins, CO 80521 Phone: (970) 568-3355 Contact: Blake Larsen Email: blake@larsensd.com	Structural Engineer

Sheet:
**Proposed Stair
Replacement**