Historic Preservation Services

Community Development & Neighborhood Services
281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250
preservation@fcgov.com
fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE
Site Number/Address: 319 E. Magnolia Street
Laurel School National Register Historic District
ISSUED: August 11, 2020

Steve and Kelly Josephs
319 E. Magnolia St.
Fort Collins, CO 80524

Dear Mr. & Mrs. Josephs:

This report is to document the summary of effects from proposed alterations to the A.C. Kluver House at 319 E. Magnolia Street, pursuant to Fort Collins Municipal Code Chapter 14, Article IV made by staff of the City of Fort Collins Historic Preservation Services. This project had been slated for review by the Landmark Preservation Commission at their August 19 regular meeting. However, revised project drawings submitted on August 7 rendered the project generally consistent with the City's adopted Standards for historic buildings and it was re-classified as a staff-level review. A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include:

1. Partial demolition of the historic front porch on the building's northeast corner.
2. Construction of a new front porch.

Our staff review of the proposed work finds the alterations do not meet the SOI Standards for Treatment of Historic Properties. A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	*A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;* **The property will retain its use as a residential property.**	**Y**
SOI #2	*The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*	**Y**

	The Kluver house was constructed at some point after 1894 but prior to 1902, based on historic maps and city directories. A front porch in the same configuration appears on the 1906 Sanborn Fire Insurance Map (the first map to show this property). While the porch may have been modified since 1906, it is a character-defining feature of the property as a late-19th/early-20th century Queen Anne Cottage. While the level of demolition/replacement proposed is generally not advised, materials are mostly being replaced in-kind, presumably historic porch posts discovered in the carriage house attic will be restored, and the replacement of the half-wall with an open balustrade is a minimal alteration. The overall project appears to meet this Standard.	
SOI #3	*Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.* **This property, along with many throughout the historic district, appear to have added the porch sometime after the building's initial construction. These later additions often had poured concrete porches as opposed to stone, although stone was occasionally used. Generally, the level of replacement proposed for the front porch is not recommended under the Standards. However, most materials are being replaced in-kind or with substitutes matching in design and texture. Changing the closed wood half wall to an open balustrade is not recommended, but such features are common on historic buildings of this era, and coupled with the restoration of what are assumed to be the historic porch posts makes the project, on the whole, meet this Standard.**	**Y**
SOI #4	*Changes to a property that have acquired historic significance in their own right will be retained and preserved.* **The porch does appear to be a non-original, if early, addition to the property, likely added to the building around 1906. Because of the early age of the porch relative to the property's construction, the porch's apparent addition during the historic district's period of significance, and its status as a character-defining feature, it should be retained and preserved. While the project does involve a significant amount of demolition and replacement, most replacement is in-kind, or is restoring presumably historic features (the turned porch posts). Overall, the project appears to meet this Standard.**	**Y**

SOI #5	*Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.* **As noted above, the front porch is a character-defining feature. Its simple wood decking and wood half-wall, squared posts, concrete foundation, and enclosed rear section with wood windows, beadboard, and a distinctive fluted column are all distinctive features of this Queen Anne Cottage as part of the Laurel School Historic District. Porches are often prominent features of historic buildings, especially when designated for significance in the areas of Community Planning and Development and Architecture as the district is. These materials and features do not appear to be severely deteriorated, although some rotting and water damage can be observed in submitted photographs. The concrete foundation does have significant cracking through its center. As noted previously, while the level of demolition and replacement is typically not recommended, the replacement is generally in-kind. Overall, this project appears to meet this Standard.**	**Y**
SOI #6	*Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.* **Based on the photographs provided of the front porch, while there is some damage and rot to porch features, most appear to be repairable. The concrete foundation does have significant cracking through its center, which makes replacement a reasonable approach to correct long-term settling and potential water damage. The proposed new porch scores well as an in-kind replacement and is restoring what are presumably the historic turned porch posts. The project proposes to replace the closed half wall with an open balustrade. However, overall, the project appears to meet this Standard.**	**Y**
SOI #7	*Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*	**N/A**
SOI #8	*Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.* **Risk of archaeological discoveries in the field are low due to depth of excavation involved and past disturbance of soil under the porch foundation during construction of the house and porch.**	**N/A**

SOI #9	*New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.* **As noted above, the degree of demolition of features on the front porch is typically not recommended, as many of the wood features appear repairable. Assessed as an in-kind replacement, the design of the new porch appears to score well, aside from replacing the closed half wall with an open balustrade. Overall, the modifications to the front porch appear to meet this Standard.**	**Y**
SOI #10	*New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.* **Based on the location and nature of the porch demolition and replacement, it has not been evaluated as an addition under this Standard.**	**N/A**

City staff found that the overall proposed work does meet the criteria and standards in Chapter 14, Article IV of the Fort Collins Municipal Code, although the degree of demolition and replacement would generally be discouraged. The property is expected to remain contributing to the Laurel School Historic District following this project.

Notice of the completion of this report has been forwarded to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If you have any questions regarding this report, please contact Historic Preservation Services staff at preservation@fcgov.com or (970) 416-4250.

Sincerely,

Jim Bertolini
Historic Preservation Planner

Design Review Application
Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, Article IV of the Fort Collins Municipal Code.

Applicant Information

Steve and Kelly Josephs	970-218-6905	
Applicant's Name	Daytime Phone	Evening Phone
319 E. Magnolia St. Ft. Collins	CoSteve	80524
Mailing Address (for receiving application-related correspondence)	State	Zip Code
steve@craftsmenbuildersinc.com		
Email		

Property Information (put N/A if owner is applicant)

N/A		
Owner's Name	Daytime Phone	Evening Phone
Mailing Address (for receiving application-related correspondence)	State	Zip Code
Email		

Project Description

Provide an overview of your project. Summarize work elements, schedule of completion, and other information as necessary to explain your project.

Demolition and rebuild of front porch and enclosed entry.

Demolition and rebuild ofFront porch and entry rear addition

The following attachments are REQUIRED:

- ■ Complete Application for Design Review
- ■ Detailed Scope of Work (and project plans, if available)
- ■ Color photos of existing conditions

Reminders:
Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application will need to be approved.

Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).

Detail of Proposed Rehabilitation Work (*Required)
If your project includes multiple features (e.g. roof repair and foundation repair), you must describe each feature separately and provide photographs and other information on each feature.

Feature A Name: Front Porch and Entry	
Describe property feature and its condition: This porch and entry are not original to the house. Paint lines on the brick show the division between interior and exterior spaces have moved. Also this porch sits on a cracked concrete foundation. not of the same period as when the house was built. Currently the the foundation is sinking and pulling away from the house. The roof has some rotten spots and leaks. The interior entry has no	Describe proposed work on feature: We propose to rebuild the porch with a new insulated foundation for the entry and new support piers for the porch. We will reuse the existing front door, but install new Marvin wood windows in the entry. Decking will be traditional 3" t&g Douglas fir flooring. Skirt of entry and porch will be stucco or cut stone veneer.
Feature B Name: back addition	
Describe property feature and its condition: This back addition is not original to the house. We assume this because two original windows open up onto this addition from the main house. Also this addition sits on a shallow concrete foundation that is sinking. The addition has no insulation. It currently houses a bathroom, laundry, and sitting area.	Describe proposed work on feature: We plan to remove this addition and rebuild it in the same style.Its size will increase from 8' x 24' to 10'x24'. It will have new Marvin wood windows and doors Exterior finish will likely be t&g beadboard. Since the back addition is at grade we will be doing a slab on grade concrete floor.

Use Additional Worksheets as needed.

Required Additional information

The following items must be submitted with this completed application. Digital submittals preferred for photographs, and for other items where possible.

- ☒ At least one current photo for each side of the house. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled
- ☐ Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work". Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc.

Depending on the nature of the project, one or more of the following items shall be submitted. Your contractor should provide these items to you for attachment to this loan application.

- ☒ Drawing with dimensions.
- ☐ Product specification sheet(s).
- ☐ Description of materials included in the proposed work.
- ☐ Color sample(s) or chip(s) of all proposed paint colors.

■ **Partial or full demolition** is a part of this project.
Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.

Signature of Applicant

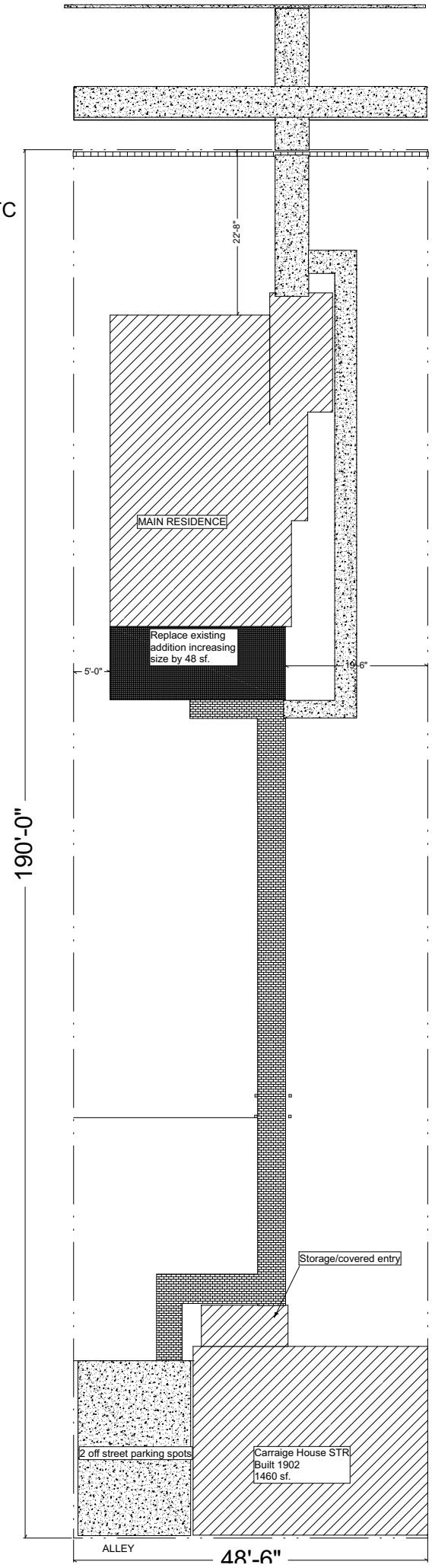
6/25/20
Date

319 E Magnoilia St.

Legal Description: W 48.5 FT OF LOT 3 BLOCK 144, FTC

Zoning NCM
Lot size 9215 sf.
Allowable F.A.R. 25% +1000+250 = 3553.75

Main residence with proposed remodel work	1810 sf.
Carraige house	1460 sf.
Proposed F.A.R.	3270 sf.



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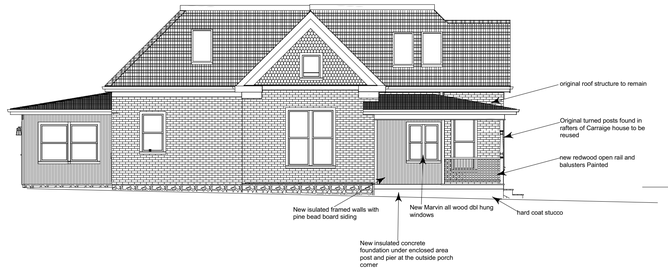
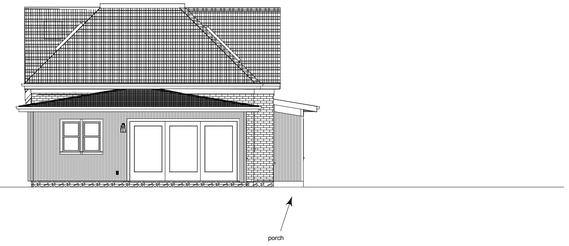
Scale: 1" = 20'



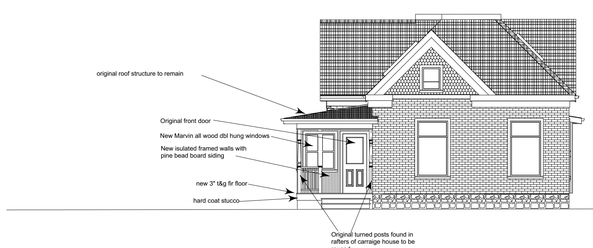
EAST ELEVATION



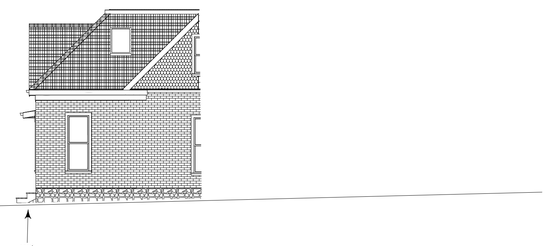
SOUTH ELEVATION

Note:

-Original footprint to remain.
-Original roof structure to remain.



NORTH ELEVATION



WEST ELEVATION

1

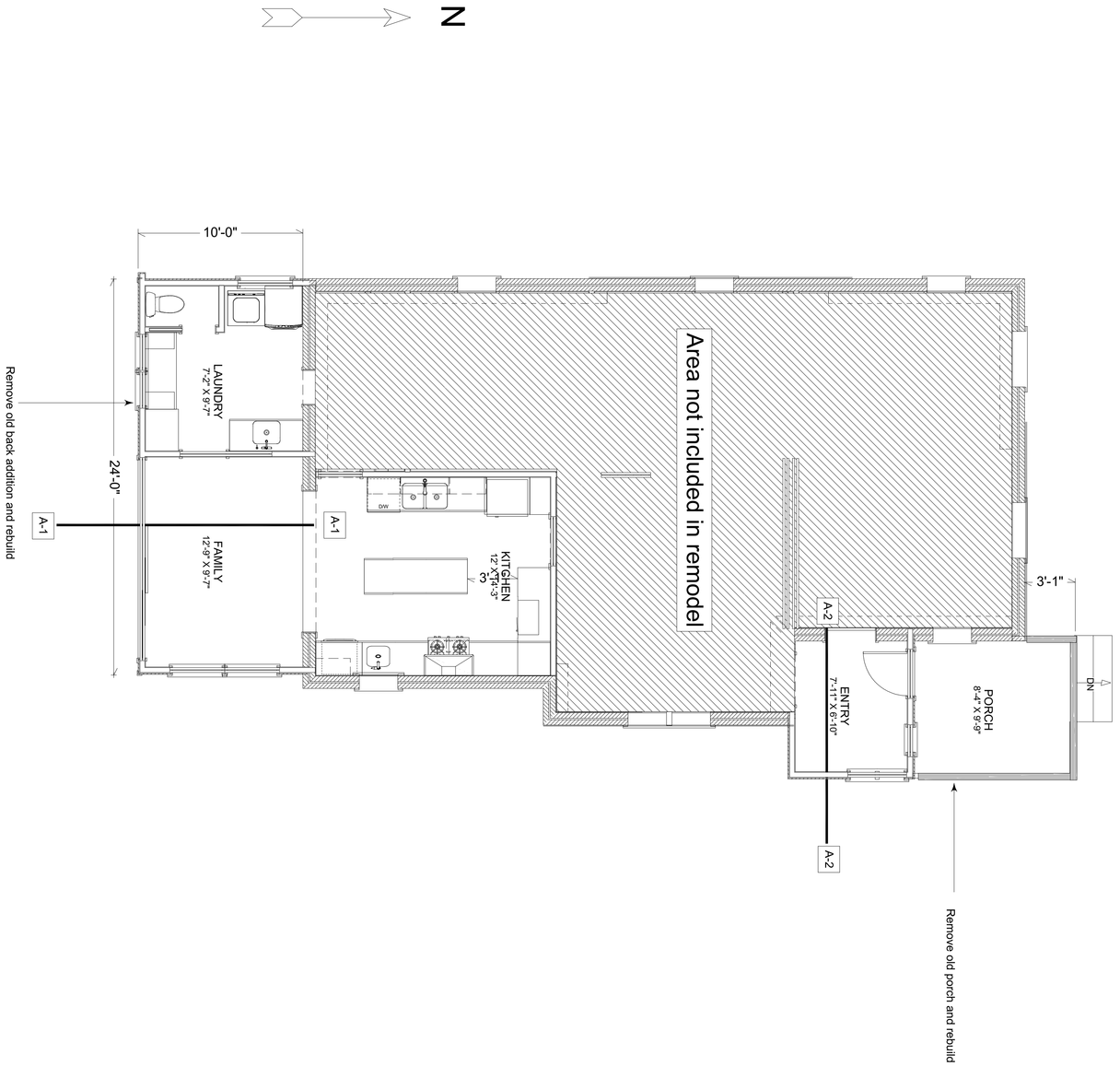
CRAFTSMEN BUILDERS

319 E. Magnolia St.

PORCH ELEVATIONS

SCALE: 1"= 4'

DESIGN BY:
CRAFTSMEN BUILDERS
8/7/20



DESIGN BY:
CRAFTSMEN BUILDERS

6/24/20

SCALE: 1"= 4'

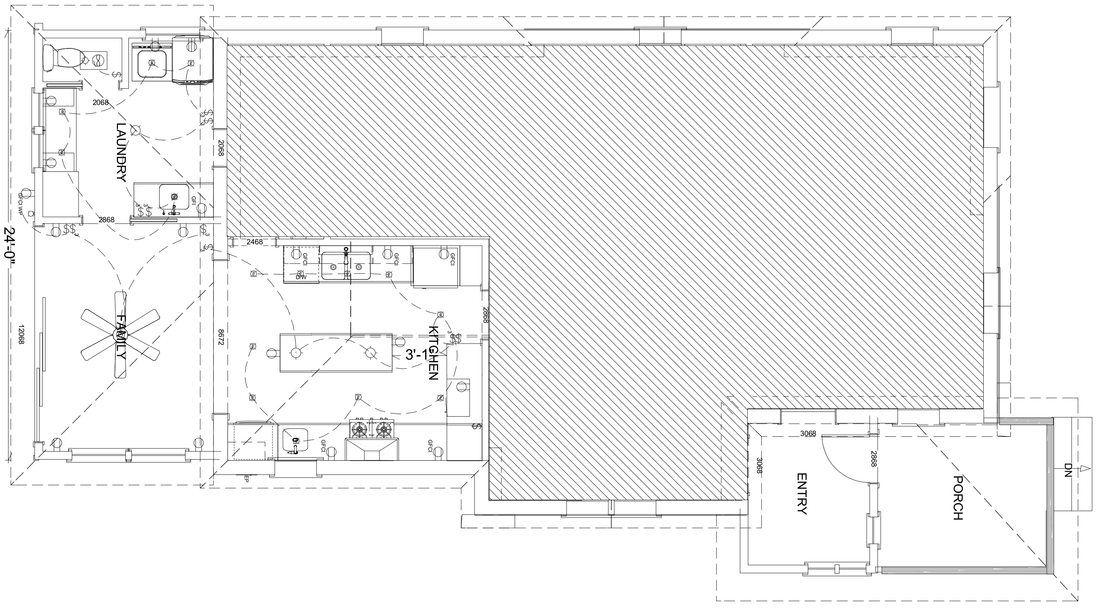
319 E. Magnolia St.

MAIN FLOOR PLAN

CRAFTSMEN

2

N



DESIGN BY:
CRAFTSMEN BUILDERS

6/24/20

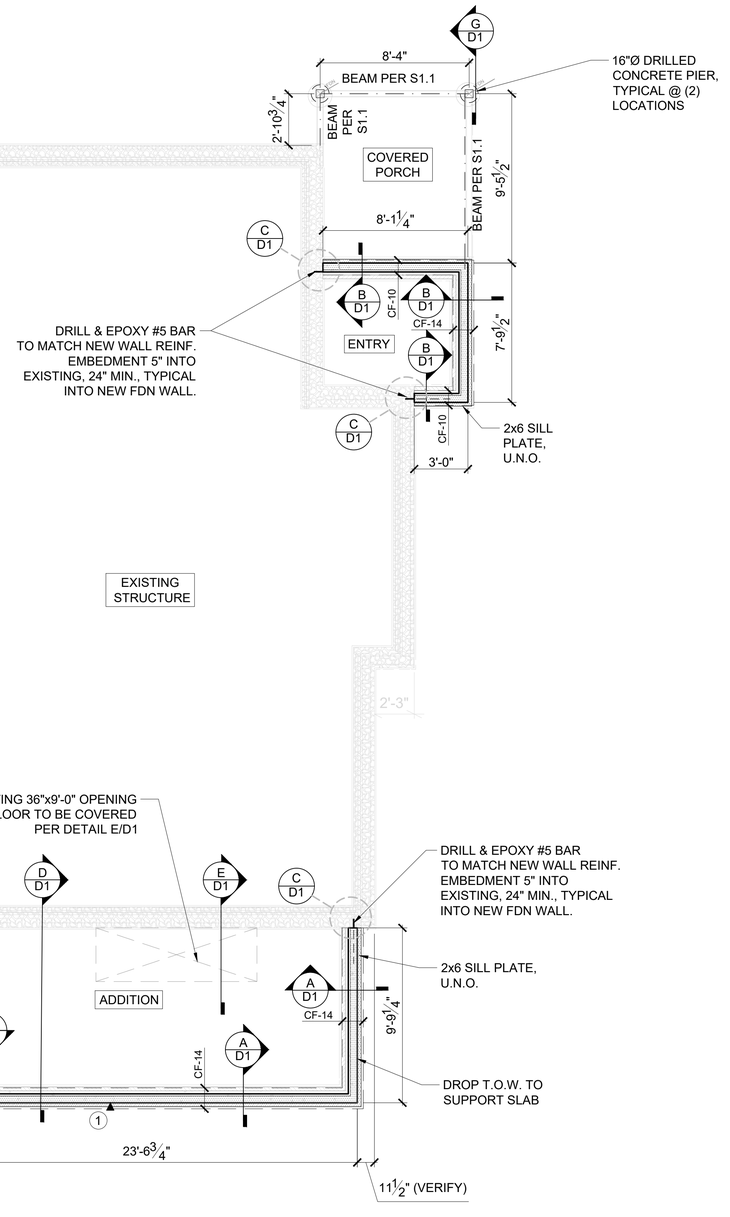
SCALE: 1"= 4'

319 E. Magnolia St.

Electrical plan

CRAFTSMEN

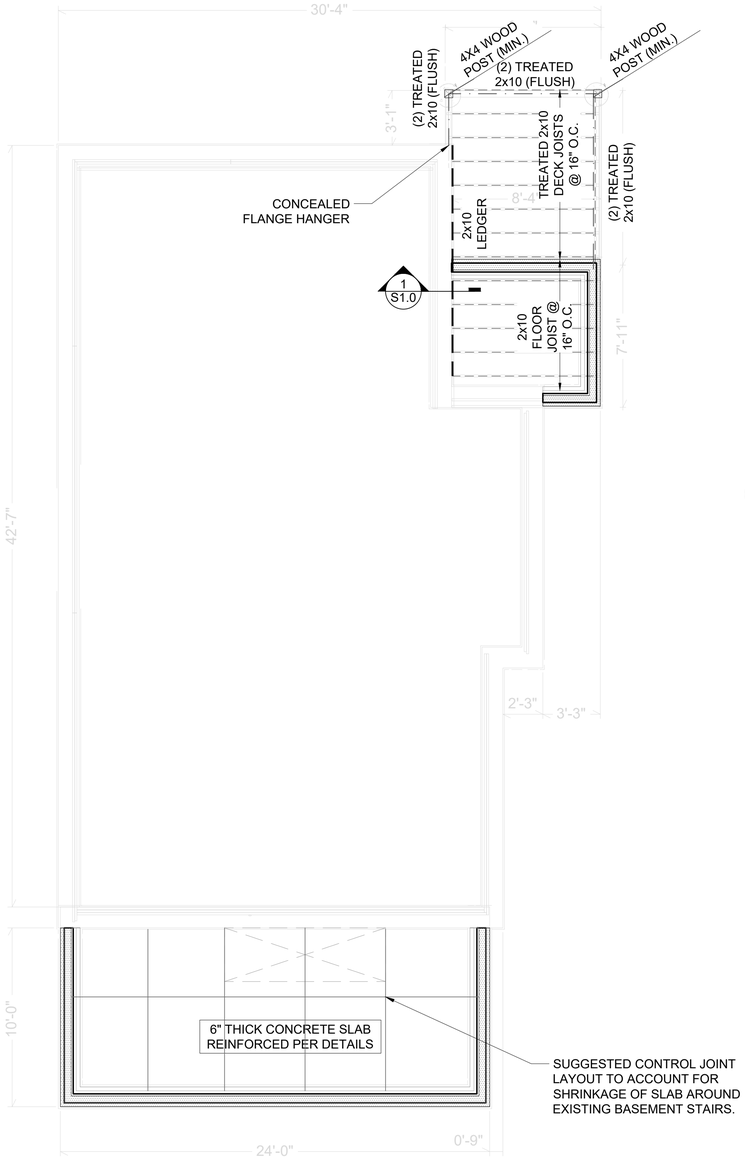
4



FOUNDATION PLAN

SCALE 1/4" = 1'-0"

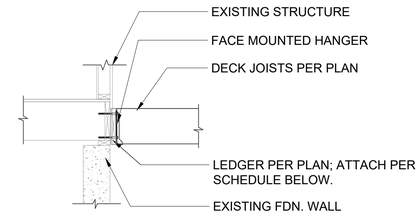
NOTE: FOUNDATION DIMENSIONS ARE INTENDED TO MATCH OUTLINE OF EXISTING AREAS THAT ARE BEING REPLACED. FIELD VERIFY ALL DIMENSIONS.



FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

DESIGN CRITERIA		
Referenced Design Codes:	2018 IRC, ASCE 7-16 ACI 332, 2018 NDS Risk Category	II
Roof Loads:		
Roof Dead Load	15	psf
Roof Live Load	20	psf
Ground Snow Load	30	psf
Flat Roof Snow Load	30	psf
Snow Exposure Factor	1	
Snow Importance Factor	1	
Snow Thermal Factor	1	
Floor Loads:		
Floor Dead Load	15	psf
Floor Live Load (Uniform)	40	psf
Floor Live Load (Conc.)	N/A	lb
Wind Loads:		
Design Wind Speed	140	mph
Wind Speed Type	Vult	
Wind Exposure	B	
Internal Pressure Coefficient	0.18	(Enclosed)



1 S1.0 LEDGER ATTACHMENT DETAIL

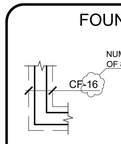
N.T.S.

DECK LEDGER ATTACHMENT SCHEDULE			
JOIST SPAN	6-10 (ft)	11-14 (ft)	15-18 (ft)
FASTENERS			
1/2"ø X 3 1/2" LAG SCREWS W/ WASHERS OR SIMPSON SDWS SCREWS	(1) @ 16"(in.) O.C. STAGGER T&B	(2) @ 16"(in.) O.C.	(3) @ 16"(in.) O.C.
16d COMMON NAILS	(2) @ 16" O.C. EVENLY SPACED IN JOIST BAY	(3) @ 16" O.C. EVENLY SPACED IN JOIST BAY	(4) @ 16" O.C. EVENLY SPACED IN JOIST BAY
NOTE: BOTH LAG SCREWS AND NAILS SHOWN ARE REQUIRED FOR ALL SPANS.			

HOLDDOWN (HD) SCHEDULE			
HD #	SYMBOL	MANUF. / MODEL	NOTES*
1	▲	REGULAR ¾" DIAMETER ANCHOR BOLT WITH 2X2X¼" THICK SQUARE WASHER AND NUT.	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)

RECOMMENDED QUALITY ASSURANCE OBSERVATIONS		
RECOMMENDED OBSERVATIONS:	OBSERVATION PERFORMED BY:	NOTE: OTHER OBSERVATIONS MAY BE REQUIRED BY THE CITY OR OTHER ENGINEERS WORKING ON THIS PROJECT.
OPEN-HOLE / SOIL VERIFICATION	CTL	
FOOTING FORMWORK & SUBGRADE	CTL	
FOUNDATION REINFORCEMENT	CTL	

FOUNDATION LEGEND



PROVIDE "J" DOWELS TO MATCH WALL REINFORCEMENT ABOVE

FOOTINGS 26" AND WIDER ADD (3) #4 CONT. & (1) #4 TRANS. @ 24" O.C.

SOILS INFORMATION

ASSUMED SOIL CONDITIONS OF 1500 PSF MAXIMUM, WITH NO MINIMUM DEAD LOAD.

FOUNDATION BALANCED AT 400 PSF DEAD LOAD.

VERIFY SOIL CONDITIONS WITH OPEN HOLE OBSERVATION PERFORMED BY CTL THOMPSON.

CTL | THOMPSON INCORPORATED
CTL | THOMPSON, INCORPORATED
400 North LaPorte Ave.
Fort Collins, CO 80524
P 970.206.9455
F 970.206.9441
www.ctlt.com

COLORADO REGISTERED PROFESSIONAL ENGINEER
Nigel S. Thompson
35177
Jun 24 2020 8:14 AM

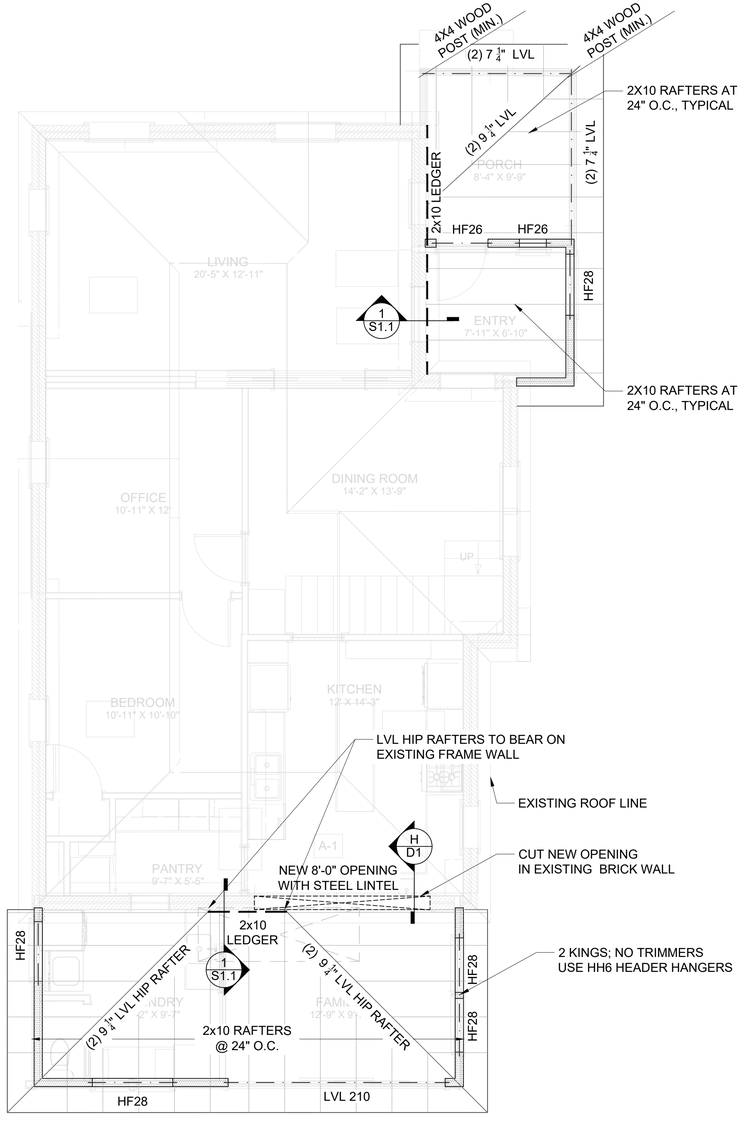
PROJECT LOCATION:
REMODEL
319 EAST MAGNOLIA
FORT COLLINS, COLORADO

FOUNDATION PLAN

NO.	DATE	REVISION/ISSUE
1		
2		
3		

CLIENT:
CRAFTSMAN BUILDERS, INC.
319 EAST MAGNOLIA STREET
FORT COLLINS, COLORADO
contact: STEVE JOSEPHS
(970) 443-0466

DESIGNER	WGT
DRAWN	DES
PROJECT #	FC09439.000
DATE	06/23/2020
SCALE	PER PLAN
SHEET NUMBER	S1.0
SHEETS	OF 3



ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"

BRACED WALL PANEL SCHEDULE - STUDS @ 16"

WALL DESIGNATION	RATED STRUC. SHEATHING TYPE	SHTH. THICKNESS MINIMUM	HORIZONTAL EDGES BLOCKED?	CONNECTOR TYPE (OR EQUAL)	EDGE SPACING	FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	OSB or PLYWOOD EXTERIOR ONLY	7/16"	YES (NOTE 2)	8d COMMON	6"	12"
				16 ga 1 3/4" STAPLES	3"	6"

▲ INDICATES SIMPSON HOLD-DOWN STRAP. ATTACH PER DETAILS.

◆ INDICATES SIMPSON FLAT STRAP. EXTEND TO BEAM OR WALL BELOW.

NOTES:
1. ALL EXTERIOR SHEATHING VERTICAL EDGES SHALL FALL UPON 2X6 STUDS SPACED 16" O/C TYP (SEE PLAN).
2. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIAL SHOWN ABOVE.
3. EXTERIOR WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH IRC TABLE 602.3 (1)

HEADER SCHEDULE

HEADER	SIZE	MATERIAL	LSL OPTION	# OF TRIMMER STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS
HF26	2-2x6	HF #2	3½" X 5½"	(1) 2x
HF28	2-2X8	HF #2	3½" X 5½"	(1) 2x
LVL210	2-1 3/4"x9 1/2"	LVL	N/A	(2) 2x

#T #K

T= NUMBER OF TRIMMER STUDS EACH SIDE

K= NUMBER OF KING STUDS EACH SIDE

KING STUD SCHEDULE

OPENING WIDTH		# OF KING STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS
FROM	TO	
12"	7'-0"	(1) 2x
7'-0"	14'-0"	(2) 2x

HANGER SCHEDULE

CONNECTION LOCATION	CONNECTOR
I-JOIST TO FLUSH WOOD BEAM	IUS-SERIES
(2) I-JOIST TO FLUSH WOOD BEAM	MIU-SERIES
SAWN JOIST TO FLUSH WOOD BEAM	LUS-SERIES
(1)-LVL TO FLUSH WOOD BEAM	HU-SERIES
(2)-LVL TO FLUSH WOOD BEAM	HU-SERIES
(3)-LVL TO FLUSH WOOD BEAM	HU-SERIES
I-JOIST RAFTER TO RIDGE BEAM	LSSR OR HU*-SERIES
SAWN RAFTER TO RIDGE BEAM	LSSR OR HU*-SERIES
SAWN RAFTER TO TOP OF WALL	H2.5
WOOD POST TO FOUNDATION	ABU-SERIES
WOOD POST TO BEAM ABOVE	BC-SERIES
I-JOIST TO FLUSH STEEL BEAM	ITS-SERIES
(2) I-JOIST TO FLUSH STEEL BEAM	ITS-SERIES
(1)-LVL TO FLUSH STEEL BEAM	ITS-SERIES
(2)-LVL TO FLUSH STEEL BEAM	ITS-SERIES
(3)-LVL TO FLUSH STEEL BEAM	HB-SERIES
DECK PSL TO WOOD COLUMN	HUCQ-SERIES

* - THIS HANGER MAY BE SPECIAL ORDER FOR THE APPLICATION LISTED ABOVE.

NOTE: FOR EXTERIOR APPLICATIONS WHERE ACQ TREATED LUMBER WILL BE USED, ALL HANGERS MUST HAVE ZMAX CORROSION PROTECTION.

STRUCTURAL NOTES

1. Materials:

Steel: Structural Steel angles shall conform to ASTM A36 (fy=36 ksi).

Anchor Bolts: Foundation anchor bolts shall conform to ASTM A307 and be 1/2" (in) diameter by 10" (in) long spaced at 4'-0" maximum and 12" (in) from corners and splices. We recommend using engineered sill plate material.

Wood: All dimensional lumber shall be Hem Fir #2 or better unless noted on the plan. All Laminated Veneer Lumber is 1¾" thick x depth shown on plans and shall have an allowable Flexural stress Fb = 2600 psi and Modulus of Elasticity of E = 1.9x10E6 psi or better. All Laminated Strand Lumber is 1¾" thick by depth shown on plans and shall have an allowable Flexural stress Fb = 2325 psi and Modulus of Elasticity of E = 1.55x10E6 psi or better. Glued Laminated Lumber shall have an allowable Flexural stress Fb = 2400 psi and Modulus of Elasticity of E = 1.8x10E6 psi or better.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G185 hot-dip galvanized, type 304 stainless steel or type 316 stainless steel.

2. Framing: All framing shall be in accordance with the provisions of 2018 IRC. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturers specifications. Refer to the code for additional requirements.

Floors: Floor sheathing shall consist of 3/4" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports as required by code. (Confirm that sheathing is adequate to span 24" where tile is used.

All hangers per schedule.

Walls: All exterior wall framing shall be 7/16" Structural rated OSB sheathing over 2x6 HF#2 @ 16" on-center unless noted otherwise. Sheathing shall be attached per the braced wall panel schedule.

Built up columns are 3-2xwall thickness HF#2 or better unless noted otherwise on the plans.

Roof: Roof sheathing shall be 15/32" (32/16 span rating) O.S.B. or better with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment and bracing refer to the truss manufacturers recommendations.

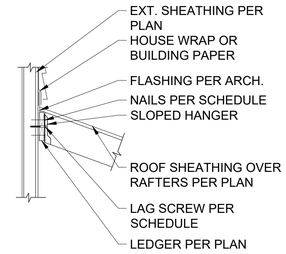
Dimensional lumber rafters are hem-fir #2 unless noted otherwise.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

If there are 20 percent of overdriven nails in sheathing, then sheathing must be renailed with proper gun pressure not to break surface of sheathing.

Wall sheathing must not break at wall top or bottom plates, instead break at middle of rim or 12" below wall top plate.



1 S1.1 RAFTER LEDGER ATTACHMENT DETAIL

RAFTER LEDGER ATTACHMENT SCHEDULE

RAFT SPAN	6-10 (ft)	11-14 (ft)	15-20(ft)
FASTENERS			
1/2" Ø X 3 1/2" LAG SCREWS W/ WASHERS OR ¼" DIA. SDWS SCREWS	(1) @ 16"(in.) O.C. STAGGER T&B	(2) @ 16"(in.) O.C.	(3) @ 16"(in.) O.C.
16d COMMON NAILS	(2) @ 16" O.C. EVENLY SPACED IN JOIST BAY	(3) @ 16" O.C. EVENLY SPACED IN JOIST BAY	(4) @ 16" O.C. EVENLY SPACED IN JOIST BAY
NOTE: BOTH LAG SCREWS AND NAILS SHOWN ARE REQUIRED FOR ALL SPANS.			

CTL | THOMPSON INCORPORATED
CTL | THOMPSON, INCORPORATED
400 North LaPorte Ave
Fort Collins, CO 80524
P: 970-206-9455
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www.ctlt.com

COLORADO REGISTERED Jane E. Thompson 35177 PROFESSIONAL ENGINEER

Jun 24 2020 8:14 AM

PROJECT LOCATION:
REMODEL
319 EAST MAGNOLIA
FORT COLLINS, COLORADO

ROOF FRAMING PLAN

NO.	DATE	REVISION/ISSUE
-1		
-2		
-3		

CLIENT:
CRAFTSMAN BUILDERS, INC.
319 EAST MAGNOLIA STREET
FORT COLLINS, COLORADO
contact: STEVE JOSEPHS
(970) 443-0466

DRAWN BY: WGT	SHEET NUMBER: S1.1
CHECKED: DES	
PROJECT #: FC09439.000	
DATE: 06/23/2020	
SCALE: PER PLAN	OF 3 SHEETS


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