



Historic Preservation Services

Community Development & Neighborhood Services

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REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 729 Mathews St.

Laurel School National Register Historic District

ISSUED: August 3, 2020

Joseph D. Nugent
729 Mathews St.
Fort Collins, CO 80524

Dear Mr. Nugent:

This report is to document proposed alterations to the W.H. Kerrick Residence at 729 Mathews Street, pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include:

- Construction of a new patio cover onto the rear (west) elevation of the main house.

Our staff review of the proposed work finds the alterations do meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i> Property will remain in residential use.	Y
SOI #2	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i> The patio addition is being added to the rear of the property. It will be visible from public rights-of-way due to the property being a corner lot but is similar in overall form to historic kitchen and “mud-room” additions on other homes in the historic district. The fascia that will be removed to anchor in the supports are not character-defining.	Y

SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>The new patio is simple in design and being placed on modern, rounded caissons at the edge of a modern concrete patio. It should remain recognizable as new construction.</p>	Y
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p>	N/A
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>The rear of the property does not appear to contain any character-defining features, other than the lapboard siding. The covered patio addition will be removing the fascia to allow for anchoring the patio roof, but this feature is not character-defining on the rear elevation.</p>	Y
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p>	N/A
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>The excavation for the concrete caissons should be about 30 inches in depth, which is not expected to result in archaeological discoveries for a disturbed site such as this.</p>	N/A
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p>The new patio is consistent in overall form and size with other rear additions in the historic district. Its modern construction as a patio will allow it to be differentiated clearly as new construction while being generally compatible with the overall character of the neighborhood.</p>	Y

SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p>The patio addition includes minimal structural anchors onto the existing home that can be easily reversed and removed in the future.</p>	Y
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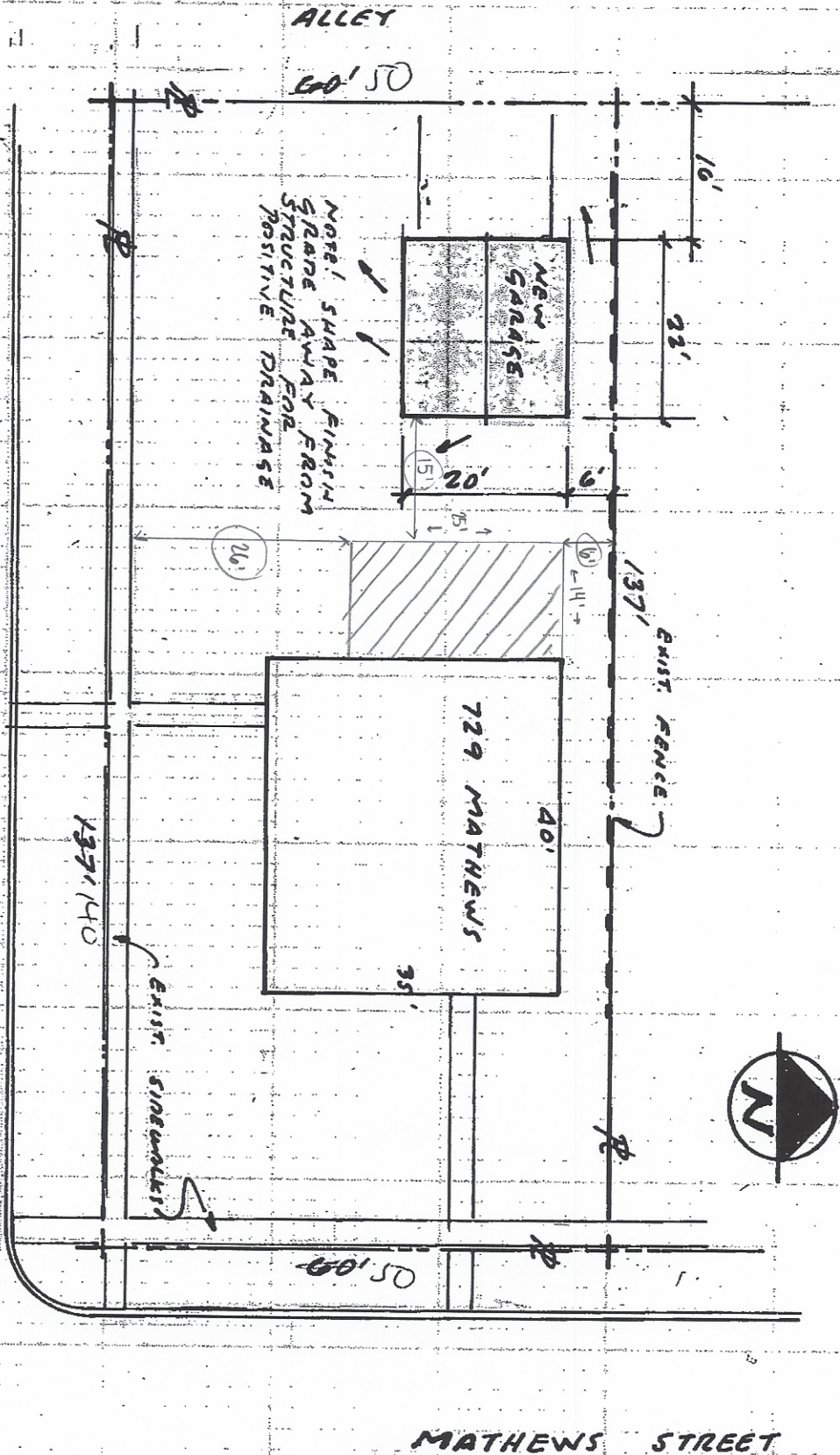
The property is expected to remain a contributing building in the historic district and should retain access to financial incentives available for historic buildings listed in the national Register.

If you have any questions regarding this review, please contact me. I may be reached at jbertolini@fcgov.com, or at (970) 416-4250.

Sincerely,

Jim Bertolini
Historic Preservation Planner

NEW GARAGE FOR: 729 MATHIEWS STREET FORT COLLINS, CO.

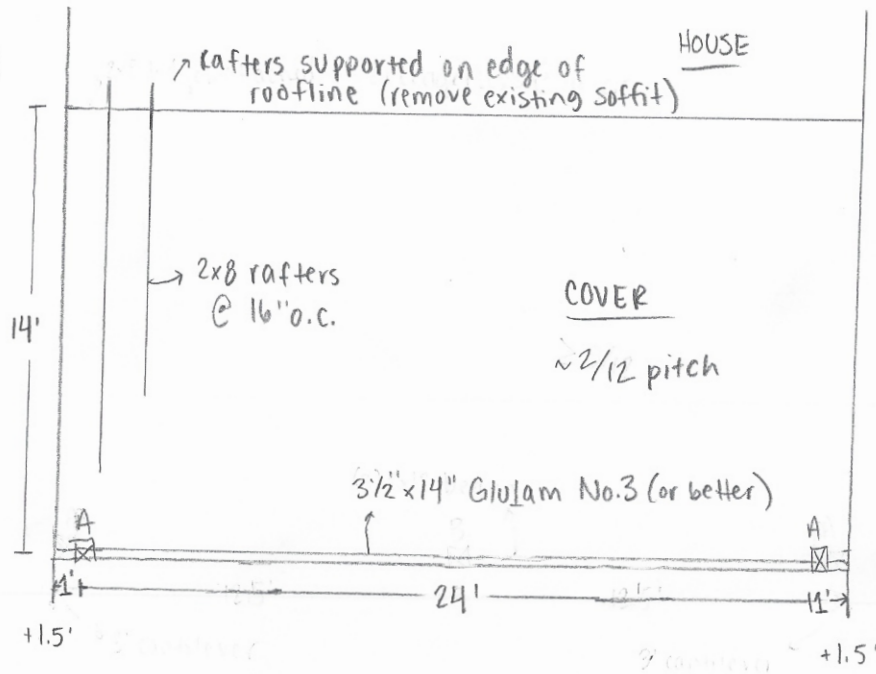


SITE DEVELOPMENT PLAN
1" = 20'

PLUM STREET

MATHIEWS STREET

B1207291



Nugent
 729 Mathews St
 Fort Collins, CO 80524

1/6" = 1'

LEAN-TO COVER

- 6x6 posts on 25" x 30" caissons (see trib area)
- Shingles/gutters/exterior soffit to match home
- Frame upper walls
- Vaulted cedar tongue-and-groove interior soffit
- ~2 1/2 pitch - install ice/water barrier

TRIB AREA

A: 12.5' x 7' = 84' → 25" x 30"

★ Glulam Span ★

- pg 19 (21/42)
- 30 psf
- 24' clear opening
- No. 3
- 16' rafter span (ours → 14')

POST-TO-BEAM ATTACHMENT

