



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 330 E. Myrtle St.

Laurel School National Register Historic District

ISSUED: July 15, 2020

Douglas Bennett
521 N. Whitcomb St.
Fort Collins, CO 80521

Dear Mr. Bennett

This report is to document the summary of effects from proposed demolition of the J.A. Leiby Residence at 330 E. Myrtle Street, and proposed new single-family construction, pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#), made by the Landmark Preservation Commission at their July 15 meeting. A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

More specifically, the Commission commented on the following work items:

1. Demolition of the c.1920-1921 historic building
2. Construction of a new single-family dwelling.

Note Regarding Demolition of Historic Structures: Generally, the demolition of properties that contribute to designated historic districts such as the Laurel School Historic District, do not meet the Secretary of the Interior's Standards for the Treatment of Historic Properties. However, because the historic property is not a City Landmark and not protected under City Code, the analysis below does not address Standards 1-7 and 10 as those pertain to preservation of the historic structure. The analysis focuses only on Standards 8 and 9 as they relate to new construction in the Laurel School Historic District.

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>	N
SOI #2	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i>	N
SOI #3	<i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical</i>	N

	<i>development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i>	
SOI #4	<i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i>	N
SOI #5	<i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i>	N
SOI #6	<i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i>	N
SOI #7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p>At this time, it is unlikely that the basement excavation would reveal significant information regarding the life, habits, and customs of early Fort Collins residents. However, due to the depth of the excavation for the basement, and the potentially undisturbed nature of the site in comparison to other lots in Fort Collins, it is encouraged that if discoveries occur during excavation, that work be halted to allow for assessment and potential collection by a professional archaeologist.</p>	Y
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <ol style="list-style-type: none"> 1. <u>Demolition of Historic Building</u> - The demolition of the primary historic building does not meet this Standard. Although the historic garage is being retained at this time, without the primary historic residence, the garage will subsequently be out of context. 2. <u>New Construction in Historic District</u> – <ol style="list-style-type: none"> a. <u>Compatibility</u> – Overall, the property appears compatible with surrounding historic buildings and the larger district, although there are specific project elements that could be improved under this category. <p>In larger site context, the building will be somewhat compatible. Its setback of 23 feet from the sidewalk</p> 	1) N 2) Y

is comparable to the Myrtle Street setbacks for the neighboring properties at 326 E. Myrtle Street (25 feet) to the west and 525 Peterson Street (18 feet). Side setbacks of 5.5 feet are similar to other historic buildings in the district. The new building will have larger massing than most surrounding buildings as it will extend to a full second story, compared to a largely single or 1.5 story context in the surrounding area. The new building would be one of only two full two story buildings on the 300-block of Myrtle Street. The other two-story is at 312 E. Myrtle, a Foursquare built in 1905 that has been significantly modified, including altering the hipped roof to a gable roof. All other buildings on the block are 1 or 1.5 stories.

In specific design compatibility with nearby buildings, the new building generally reflects nearby styles. The new residence reflects design characteristics of both the Foursquare house type common around Old Town Fort Collins, and the more rare Prairie-style. The somewhat boxy, partially symmetrical façade with large central dormer reflects both the Foursquare and Prairie design features. The asymmetrical, low-slung overall design with a horizontal emphasis emulates the Prairie style. Window patterns as currently presented are generally compatible with surrounding historic patterns, although most windows present as single-light windows, where a sash configuration might be more appropriate. While the design does not appear overly cohesive, it does provide a visual connection with neighboring buildings.

In terms of materials, the building largely reflects modern versions of historic materials, including asphalt shingle roofing and wood hardyboard siding. Exceptions to this include cement fiber material to convey a board-and-batten siding on the upper story of the west elevation, as well as what appears to be an EIFS-type coating along the foundation for much of the side and rear elevations. Replacing the board-and-batten components with hardyboard or other lapsiding is encouraged as board-and-batten materials on primary residences in the district is extremely rare.

	b. <u>Distinguishability</u> – The use of modern materials, and streamlined versions of multiple historic styles renders the property distinguishable from its historic neighboring buildings.	
SOI #10	<i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i> Demolition of the historic building constitutes a permanent alteration that destroys historic fabric.	N

The Commission found that the proposed work does not meet the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code. However, absent the demolition of a contributing property in the Laurel School Historic District, the new construction somewhat meets Standards 9 regarding new construction. The primary aspect that appears troublesome under this Standard is the large massing in relation to other homes on the block. Based on the demolition, it is expected that the property will no longer contribute to the district. This will prohibit current and future owners from leveraging financial incentives for historic preservation.

Notice of the completion of this report has been forwarded to building and zoning staff to facilitate the processing of any permits that are needed for the work. Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If you have any questions regarding the Commission's report, or if we may be of any assistance, please do not hesitate to contact our office at preservation@fcgov.com or 970-416-4250.

Sincerely,



Meg Dunn
Chair, Landmark Preservation Commission

Design Review Application Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, Article IV of the Fort Collins Municipal Code.

Applicant Information

Applicant's Name DOUGLAS BENNETT Daytime Phone 970-556-4217 Evening Phone _____
 Mailing Address (for receiving application-related correspondence) 521 N. WHITCOMB ST. FORT COLLINS CO 80521 State _____ Zip Code _____
 Email dougbenett73@gmail.com dougbenett73@gmail.com

Property Information (put N/A if owner is applicant)

Owner's Name N/A Daytime Phone _____ Evening Phone _____
 Mailing Address (for receiving application-related correspondence) _____ State _____ Zip Code _____
 Email _____

Project Description

Please provide an overview of your project. (Details about the work will be added on the next page.)

Remove existing 480+ single family dwelling.

The following attachments are REQUIRED:

- ☐ Complete Application for Design Review
- ☐ Detailed Scope of Work (and project plans, if available)
- ☐ Color photos of existing conditions

Reminders:

Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application will need to be approved.

Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).

Required Additional information

The following items must be submitted with this completed application. Digital submittals are preferred.

- ☐ At least one current photo for each side of each building and structure. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled
- ☐ Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work". Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc.

Depending on the nature of the project, one or more of the following items may need to be submitted.

- ☐ Drawing(s) with dimensions.
- ☐ Product specification sheet(s).
- ☐ Descriptions of all materials included in the proposed work.
- ☐ Color sample(s) or chip(s) of all materials.

☒ **Check if partial or full demolition** is a part of this project. Partial demolition could include taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing building or structure, you are likely undergoing some partial demolition.



Signature of Applicant

1-21-2020

Date





330 E. Myrtle

Street Elevation

14 July 2020

Attachment 4 – Responses to LPC Questions (Work Session July 8)
Responses provided 7-14-2020 in bold

1. Requested a rendering of project showing abutting or block context and massing of new building in relation to neighboring buildings.

Provided by applicant

2. Provide general height and width for neighboring buildings to allow Commission to analyze massing/scale of new building.

Neighboring buildings along the 300 block of E. Myrtle range from 16' - 23' in height and 22' - 40' in width.

3. How will house match up with setbacks and eave lines of neighboring properties;

The new home will have a conforming setback whereby all eave and building heights meet the requirements for the zone. The house will be set in such a way that its front will generally align with the fronts of the other homes on the block. The existing house sits quite far back on the lot, not in line with neighboring homes, and it encroaches the rear West setback line by 3'.

4. Will new home's base/foundation top be higher than neighboring houses?

No, it will be lower than most of the homes around.

5. What is the width of new house in relation to existing houses?

The new house is 39', opting to not use a front driveway.

6. Provide an explanation on why the stylistic treatment was selected as it appears complex.

I like how it captures the elements of historical styling. I don't find it complex.

7. Provide information on concept for materials and massing; How do materials relate to neighborhood and nearby buildings; also explain how massing/scale relates to nearby context.

The surrounding homes are primarily siding, brick, and/or stucco. The new home will be a combination of siding and stucco. We took into consideration the eave and building height restrictions making it a subtle 2 story home, in turn reducing visual "over" massing.

8. Provide an overlay site plan showing existing and proposed house as a useful comparison

Provided

9. Provide information regarding whether old home could be saved/incorporated along with new construction.

The existing house sits much too far back on the lot to incorporate it into the new home. The building has structural issues.

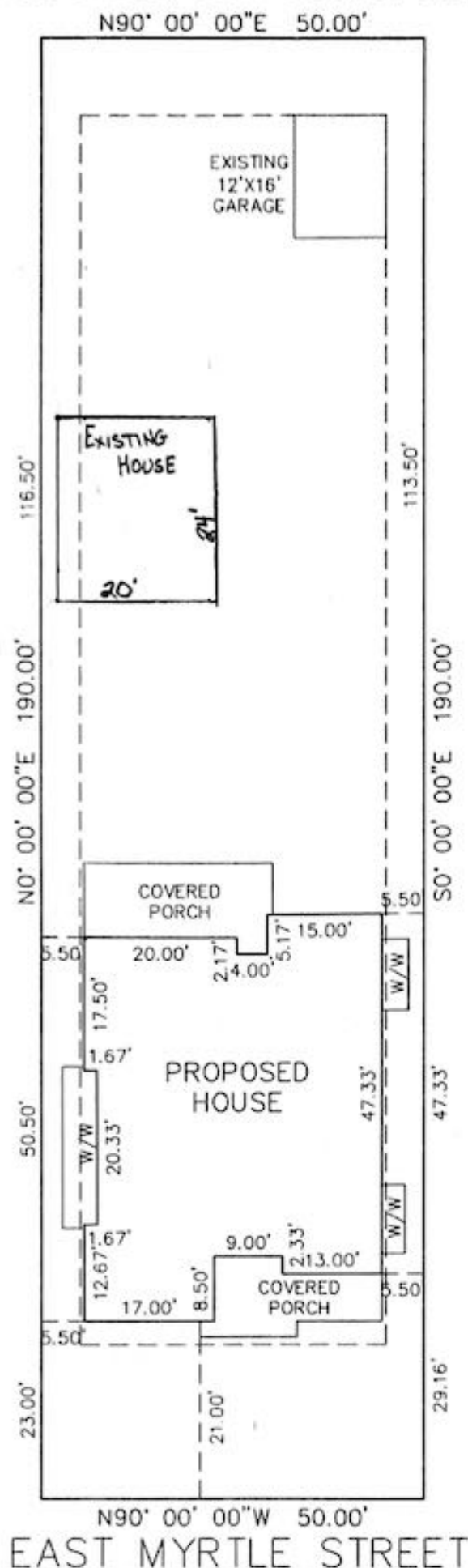
10. Provide additional information about landscape treatment; are you removing trees? What other changes to landscape should be expected?

Our only plan at this time is to clean up the trees in the rear NE corner of the property. Comcast and Centurylink have a cluster of cables entangled in the trees.

PLOT PLAN

EAST 1/2 OF LOT 9, BLOCK 145, FORT COLLINS
330 EAST MYRTLE STREET, FORT COLLINS, COLORADO

9,500 SQ FT



- NOTES:
1. THIS PLOT PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER/CONTRACTOR. THE OWNER/CONTRACTOR SHALL VERIFY ALL LOT DIMENSIONS, SETBACK INFORMATION, EASEMENT WIDTHS, GRADING ELEVATIONS AND THE PROXIMITY TO EXISTING STRUCTURES WITH THE GOVERNING AUTHORITY AND OR COVENANTS.
 2. DIMENSIONS SHOWN AROUND THE PERIMETER OF THE STRUCTURE ARE TO EXTERIOR FOUNDATION CORNERS.
 3. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY VARIATION TO THIS PLAN SHALL BE REPORTED TO SNYDER LAND SURVEYING INC. IMMEDIATELY.
 4. ANY QUESTIONS OR CONCERNS CONCERNING THIS PLOT PLAN PLEASE CONTACT SNYDER LAND SURVEYING INC. IMMEDIATELY.
 5. DS = PROPOSED DOWN SPOUT FOR NEW ADDITION AND GARAGE. DOWN SPOUTS SHOULD DRAIN TO ALLEY TO PROTECT THE NEIGHBORS DRAINAGE. MINIMUM 5' EXTENSIONS TO PROTECT NEW FOUNDATION.
 6. HAVE 1 SQUARE INCH OF VENTING PER 1 SQUARE FOOT OF ENCLOSURE. MINIMUM OF 2 VENTS ON DIFFERENT SIDES OF STRUCTURE. AT MINIMUM 1 VENT ON UPSTREAM SIDE OF STRUCTURE. BOTTOM OF VENTS NO LOWER THAN 1 FOOT ABOUT FINISH GRADE. UTILITIES MUST BE AT OR ABOVE THE ELEVATION OF 5005.5'.



Snyder Land Surveying Inc.
Professional Land Surveyor
Erin Jay Snyder, PLS 35355
O: 970-699-5157
C: 724-882-8754
E: snyder.erin@snysurvey.com
W: SnyderLandSurveying.com

CLIENT:

STRATTON CUSTOM HOMES

TITLE:

SITE PLAN

DATE:

6/25/2020

SCALE:

1"=20'

JOB NO:

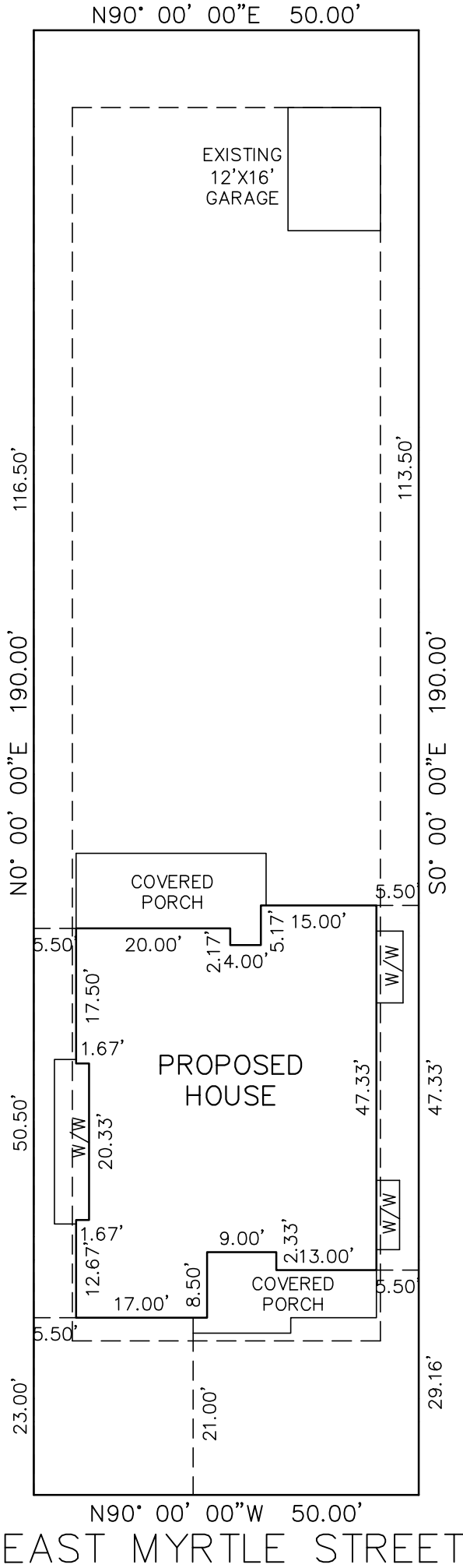
STRA-20-06-017

PLOT PLAN

EAST 1/2 OF LOT 9, BLOCK 145, FORT COLLINS
330 EAST MYRTLE STREET, FORT COLLINS, COLORADO

9,500 SQ FT

ALLEY



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W: SnyderLandSurveying.com

CLIENT: STRATTON CUSTOM HOMES	
TITLE: SITE PLAN	
DATE: 6/25/2020	SCALE: 1"=20'
JOB NO: STRA-20-06-017	

330
EAST
MYRTLE

FORT COLLINS, CO.

inform design studio
loveland, colorado

12jfleisch12@gmail.com

In association with:

Issued

No.	Description	Date

Revisions

No.	Description	Date

Seal

Project No.: 001 Drawn by: jaf
Reviewed by: jaf

SCHEMATIC
DESIGN

Scale Accordingly if Reduced

Drawing Number

A1.0

SYSTEM NOTES

ROOFS

- [R1] ASPHALT SHINGLES
COLOR SELECTION FROM
MFG'S. STANDARD COLOR RANGE BY ARCHITECT, OVER
. 30# ROOFING FELT W/ 36" WIDE ICE & WATER SHIELD U.N.O.
AT ALL EAVES AND VALLEYS, OVER
. ROOF SHEATHING PER STRUCTURAL, OVER
. PRE-ENGINEERED WOOD ROOF STRUCTURE
. R-38 INSULATION
. 6 MIL POLY V.B. AT BOTTOM OF ROOF STRUCTURE
NOTE: PROVIDE CONTINUOUS SOFFIT VENTING AND
AND ADEQUATE GABLE VENTS

WALLS

- [W1] JAMES HARDIE
HORIZONTAL ARTISAN SIDING WITH 4" EXPOSURE
COLOR - TBD.
. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
. 2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
. R-19 MIN. UNFACED F.G. BATT INSULATION
. 6 MIL POLYTHELENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
. 1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
. PROVIDE SLOPED TOP TO HORIZ. BATTEN BOARDS FOR POSITIVE DRAINAGE
- [W2] JAMES HARDIE
FIBER CEMENT SMOOTH PANEL W/ 2 1/2" WIDE SMOOTH BATTEN BORADS
COLOR - TBD.
. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
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. PROVIDE SLOPED TOP TO HORIZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- [W3] EXTERIOR INSULATION FINISH SYSTEM COAT
COLOR SELECTION FROM MFG'S
STANDARD COLOR RANGE BY ARCHITECT, OVER
MFG'S MESH, OVER
RIGID INSULATION, OVER
MFG'S ADHESIVE, OVER
MFG'S WATERPROOFING/AIRBARRIER - TAPE ALL SEAMS, OVER
EXTERIOR SHEATHING, OVER
REMAINDER OF WALL W2
. LAP ALL CORNERS AND EDGES PER MANUFACTURER'S RECOMMENDATIONS
. TERMINATE ALL EDGES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS

FLOORS

- [F1] . T & G WOOD FLOOR, OVER
. WOOD SHEATHING (SEE STRUCTURAL), OVER
. WOOD FLOOR FRAMING SYSTEM (SEE STRUCTURAL)
- [F2] . 4" CONC. SLAB ON GRADE DIRECTLY OVER
. VAPOR BARRIER (15 MIL STEGO WRAP - TAPE ALL SEAMS
& PENETRATIONS. TERMINATE EDGES PER MFG., OVER
4" GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
. REINFORCE W/ REBAR PER STRUCTURAL
. C.J.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE
- [F3] . 4" CONC. SLAB ON GRADE DIRECTLY OVER
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- [S1] . PAINTED EXTERIOR GRADE SOFFIT, OVER
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. CONT. PREFINISHED SOFFIT VENT

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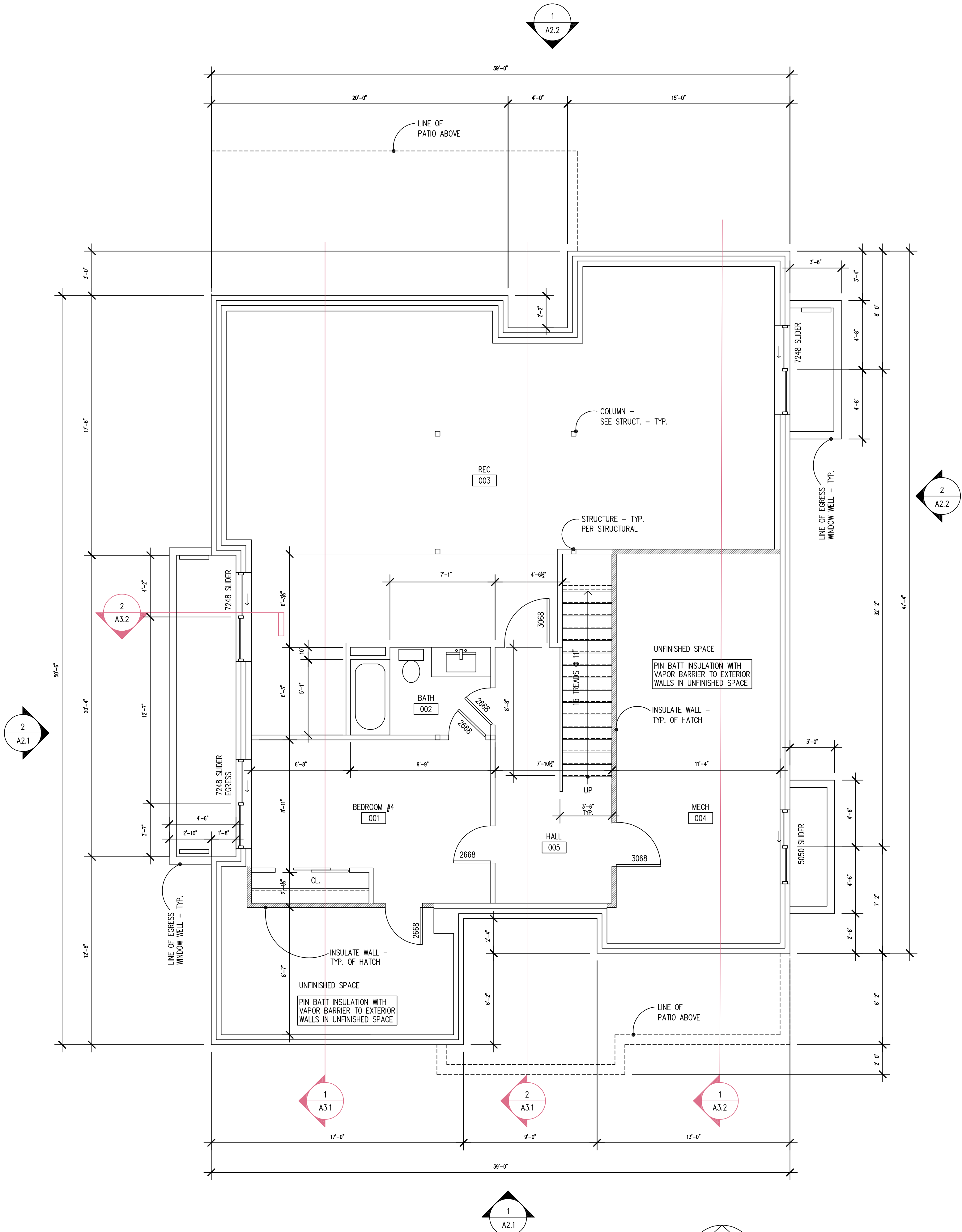
1/2" GYPSUM BOARD ATTACHED DIRECTLY TO UNDERSIDE OF
WOOD FRAMING MEMBERS

WINDOWS

BASED ON MARVIN INTEGRITY WINDOWS WITH FRAME SIZES GIVEN IN FEET AND INCHES

DOORS

SIZES GIVEN IN FEET AND INCHES



1 BASEMENT PLAN

SCALE: 1/4" = 1'-0"

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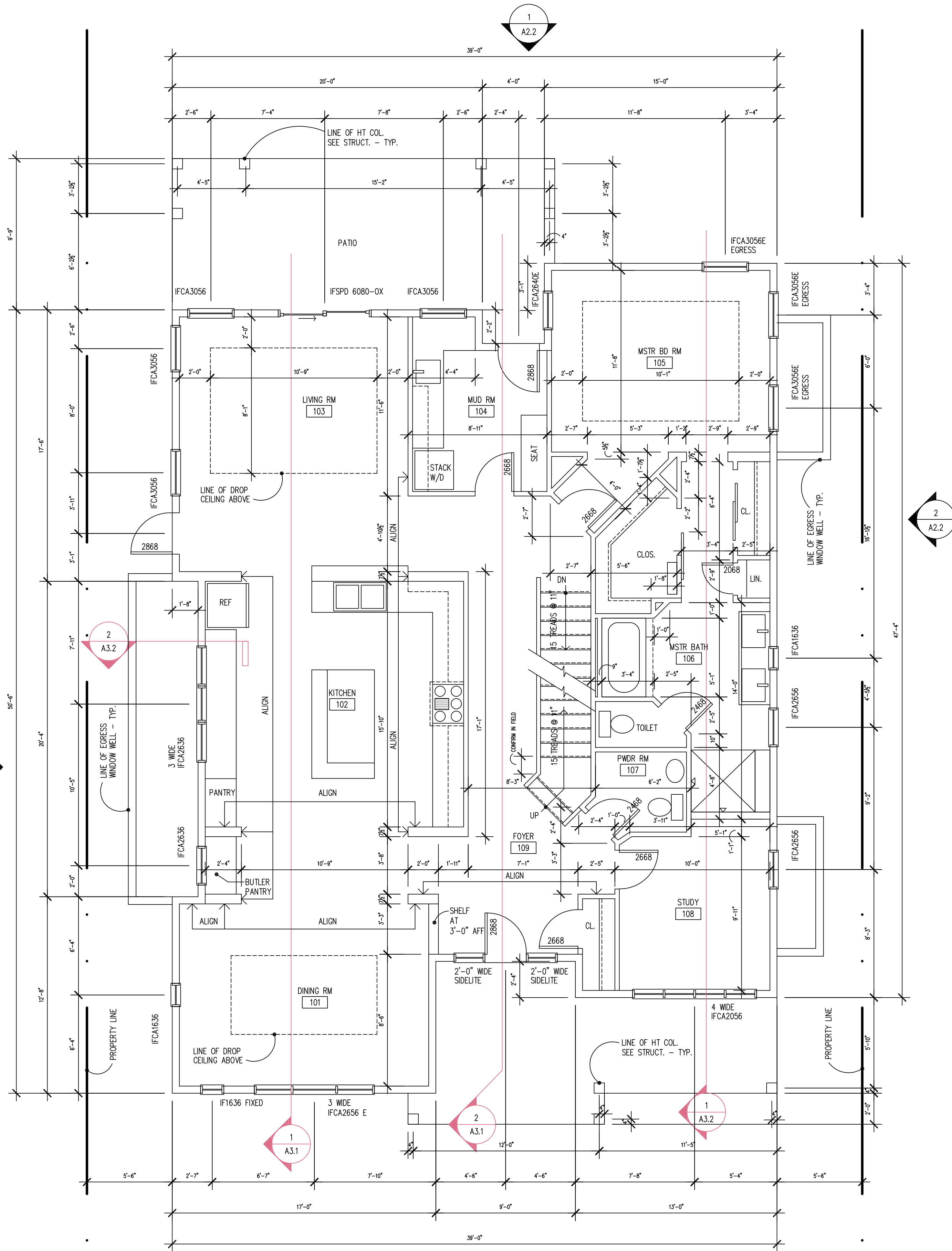
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SIZES GIVEN IN FEET AND INCHES



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

330
EAST
MYRTLE

FORT COLLINS, CO.

inform design studio
loveland, colorado

12jfleisch12@gmail.com

In association with:

Issued

No.	Description	Date
-----	-------------	------

Revisions

No.	Description	Date
-----	-------------	------

Seal

Project No.: 001

Drawn by: jaf

Reviewed by: jaf

SCHEMATIC
DESIGN

Scale Accordingly if Reduced

Drawing Number

A1.1

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. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
. 2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
. R-19 MIN. UNFACED F.G. BATT INSULATION
. 6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
. 1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
. PROVIDE SLOPED TOP TO HORIZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- W3** EXTERIOR INSULATION FINISH SYSTEM COAT
COLOR SELECTION FROM MFG'S
STANDARD COLOR RANGE BY ARCHITECT, OVER
. MFG'S MESH, OVER
. RIGID INSULATION, OVER
. MFG'S ADHESIVE, OVER
. MFG'S WATERPROOFING/AIRBARRIER - TAPE ALL SEAMS, OVER
EXTERIOR SHEATHING, OVER
REMAINDER OF WALL W2
. LAP ALL CORNERS AND EDGES PER MANUFACTURER'S RECOMMENDATIONS
. TERMINATE ALL EDGES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS

FLOORS

- F1** . T & G WOOD FLOOR, OVER
. WOOD SHEATHING (SEE STRUCTURAL), OVER
. WOOD FLOOR FRAMING SYSTEM (SEE STRUCTURAL)
- F2** . 4" CONC. SLAB ON GRADE DIRECTLY OVER
VAPOR BARRIER (15 MIL STEGO WRAP - TAPE ALL SEAMS
& PENETRATIONS. TERMINATE EDGES PER MFG., OVER
. 4" GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
. REINFORCE W/ REBAR PER STRUCTURAL
C.I.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE
- F3** . 4" CONC. SLAB ON GRADE DIRECTLY OVER
GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
. REINFORCE W/ REBAR PER STRUCTURAL
C.I.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE

SOFFITS

- S** . PAINTED EXTERIOR GRADE SOFFIT, OVER
. CDX PLYWOOD
. CONT. PREFINISHED SOFFIT VENT

GENERAL NOTES

CEILINGS

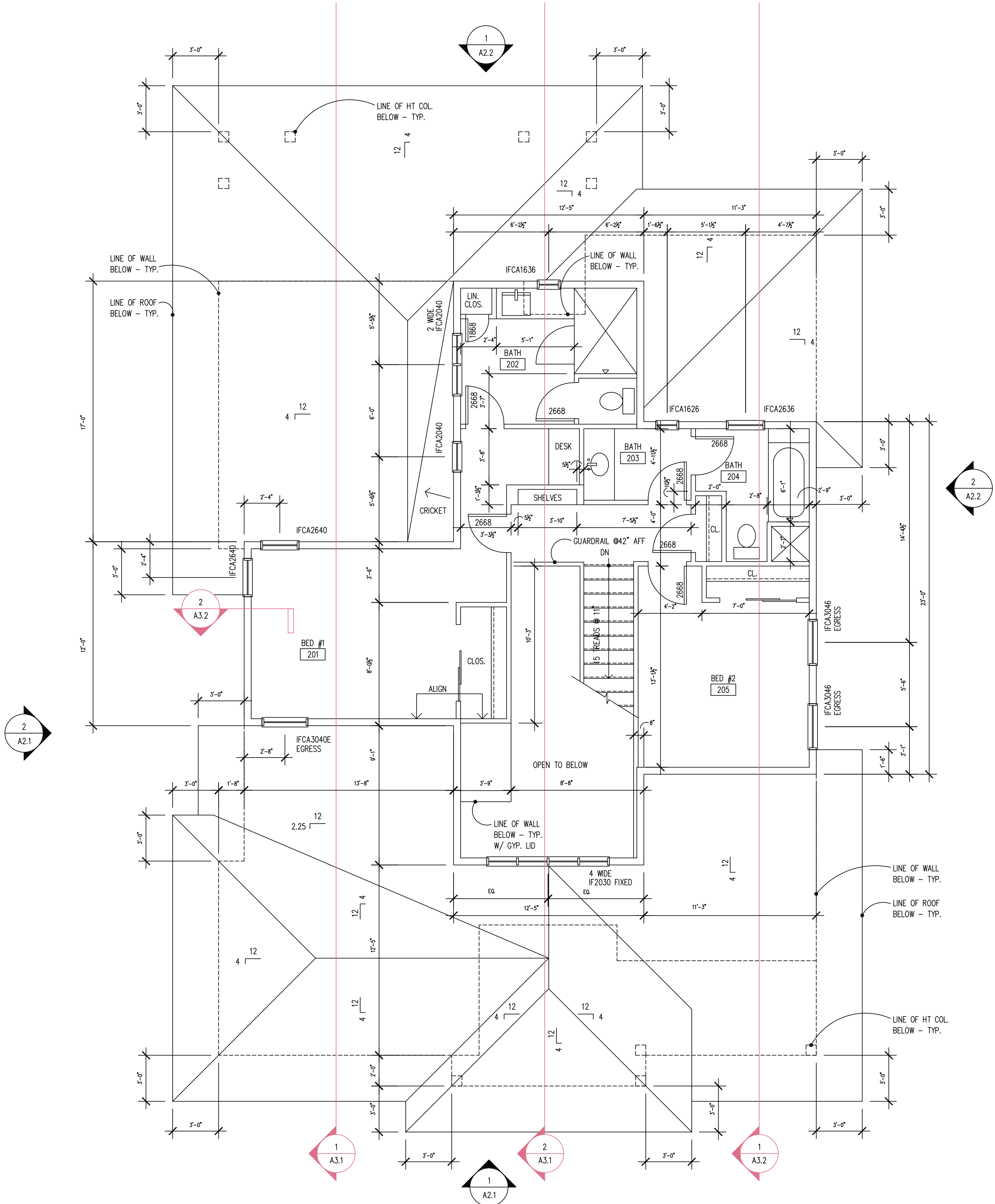
1/2" GYPSUM BOARD ATTACHED DIRECTLY TO UNDERSIDE OF
WOOD FRAMING MEMBERS

WINDOWS

BASED ON MARVIN INTEGRITY WINDOWS WITH FRAME SIZES GIVEN IN FEET AND INCHES

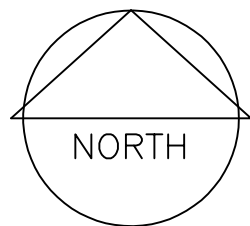
DOORS

SIZES GIVEN IN FEET AND INCHES



1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



330
EAST
MYRTLE

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12jfleisch12@gmail.com

In association with:

Issued

No.	Description	Date

Revisions

No.	Description	Date

Seal

Project No.: 001 Drawn by: jaf
Reviewed by: jaf

SCHEMATIC
DESIGN

Scale Accordingly if Reduced

Drawing Number

A1.2

SYSTEM NOTES

ROOFS

- R1** ASPHALT SHINGLES
COLOR SELECTION FROM
MFG'S. STANDARD COLOR RANGE BY ARCHITECT, OVER
30# ROOFING FELT W/ 36" WIDE ICE & WATER SHIELD U.N.O.
AT ALL EAVES AND VALLEYS, OVER
. ROOF SHEATHING PER STRUCTURAL, OVER
. PRE-ENGINEERED WOOD ROOF STRUCTURE
. R-38 INSULATION
. 6 MIL POLY V.B. AT BOTTOM OF ROOF STRUCTURE
NOTE: PROVIDE CONTINUOUS SOFFIT VENTING AND
AND ADEQUATE GABLE VENTS

WALLS

- W1** JAMES HARDIE
HORIZONTAL ARTISAN SIDING WITH 4" EXPOSURE
COLOR - TBD.
. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
. 2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
. R-19 MIN. UNFACED F.G. BATT INSULATION
. 6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
. 1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
. PROVIDE SLOPED TOP TO HORIZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- W2** JAMES HARDIE
FIBER CEMENT SMOOTH PANEL W/ 2 1/2" WIDE SMOOTH BATTEN BORADS
COLOR - TBD.
. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
. 2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
. R-19 MIN. UNFACED F.G. BATT INSULATION
. 6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
. 1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
. PROVIDE SLOPED TOP TO HORIZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- W3** EXTERIOR INSULATION FINISH SYSTEM COAT
COLOR SELECTION FROM MFG'S
STANDARD COLOR RANGE BY ARCHITECT, OVER
. MFG'S MESH, OVER
. RIGID INSULATION, OVER
. MFG'S ADHESIVE, OVER
. MFG'S WATERPROOFING/AIRBARRIER - TAPE ALL SEAMS, OVER
. EXTERIOR SHEATHING, OVER
. REMAINDER OF WALL W2
. LAP ALL CORNERS AND EDGES PER MANUFACTURER'S RECOMMENDATIONS
. TERMINATE ALL EDGES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS

FLOORS

- F1** . T & G WOOD FLOOR, OVER
. WOOD SHEATHING (SEE STRUCTURAL), OVER
. WOOD FLOOR FRAMING SYSTEM (SEE STRUCTURAL)
- F2** . 4" CONC. SLAB ON GRADE DIRECTLY OVER
. VAPOR BARRIER (15 MIL STEGO WRAP - TAPE ALL SEAMS
& PENETRATIONS. TERMINATE EDGES PER MFG., OVER
. 4" GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
. REINFORCE W/ REBAR PER STRUCTURAL
. C.I.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE
- F3** . 4" CONC. SLAB ON GRADE DIRECTLY OVER
. GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
. REINFORCE W/ REBAR PER STRUCTURAL
. C.I.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE

SOFFITS

- SI** . PAINTED EXTERIOR GRADE SOFFIT, OVER
. CDX PLYWOOD
. CONT. PREFINISHED SOFFIT VENT

GENERAL NOTES

CEILINGS

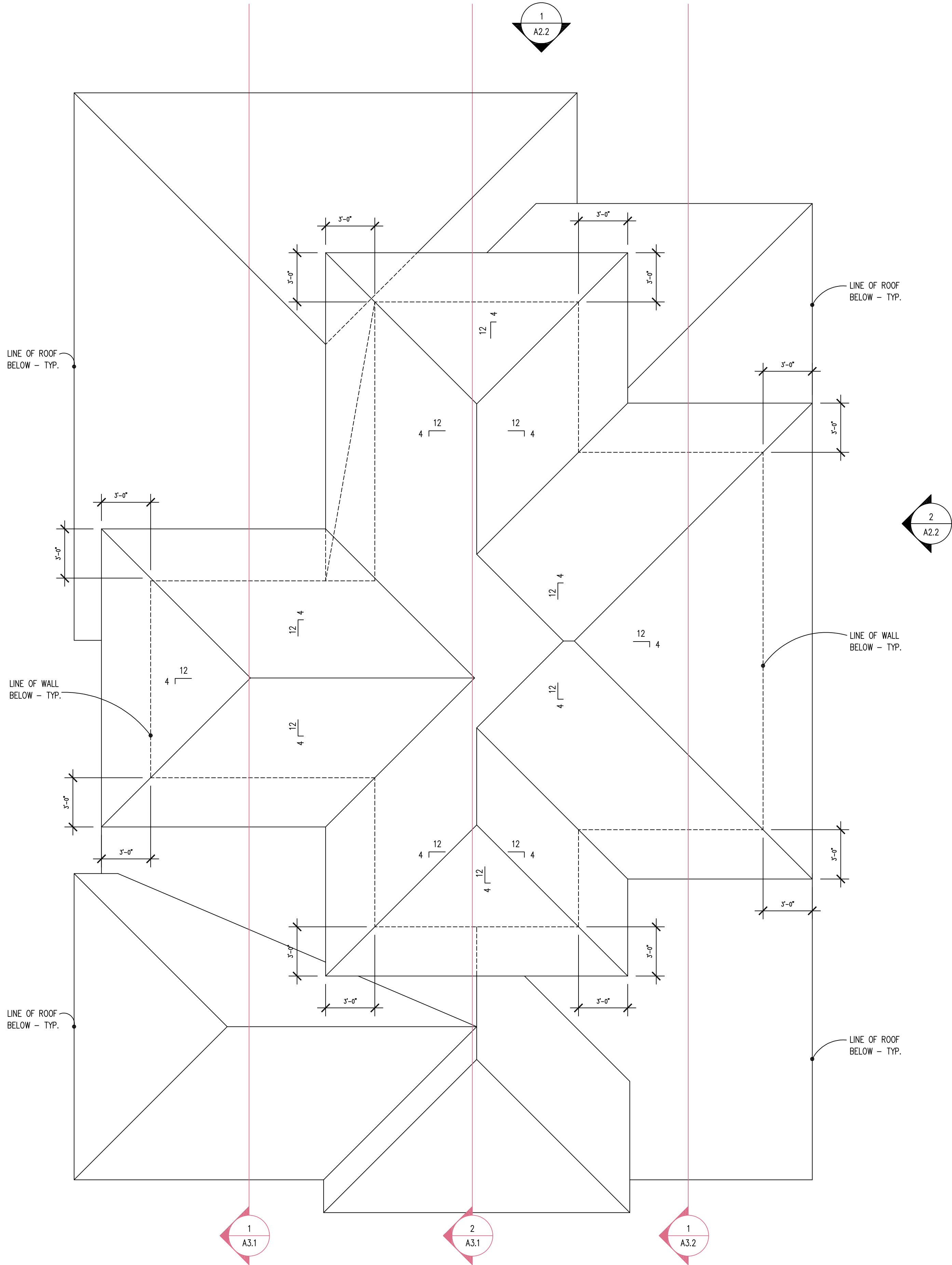
1/2" GYPSUM BOARD ATTACHED DIRECTLY TO UNDERSIDE OF
WOOD FRAMING MEMBERS

WINDOWS

BASED ON MARVIN INTEGRITY WINDOWS WITH FRAME SIZES GIVEN IN FEET AND INCHES

DOORS

SIZES GIVEN IN FEET AND INCHES



1 ROOF PLAN

SCALE: 1/4" = 1'-0"

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EAST
MYRTLE

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loveland, colorado

12jfleisch12@gmail.com

In association with:

Issued

No.	Description	Date

Revisions

No.	Description	Date

Seal

Project No.: 001 Drawn by: jaf
Reviewed by: jaf

SCHEMATIC
DESIGN

Scale Accordingly if Reduced

Drawing Number

A1.3

NOTE: PROVIDE CONTINUOUS SOFFIT VENTING AND ADEQUATE GABLE VENTS

WALLS

- W1** JAMES HARDIE
HORIZONTAL ARTISAN SIDING WITH 4" EXPOSURE
COLOR - TBD.
1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
CDX PLYWOOD SHEATHING PER STRUCTURAL, OVER
2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
R-19 MIN. UNFACED F.G. BATT INSULATION
6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
PROVIDE SLOPED TOP TO HORZ. BATTEN BOARDS FOR POSITIVE DRAINAGE
- W2** JAMES HARDIE
FIBER CEMENT SMOOTH PANEL W/ 2 1/2" WIDE SMOOTH BATTEN BORADS
COLOR - TBD.
1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
CDX PLYWOOD SHEATHING PER STRUCTURAL, OVER
2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
R-19 MIN. UNFACED F.G. BATT INSULATION
6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
PROVIDE SLOPED TOP TO HORZ. BATTEN BOARDS FOR POSITIVE DRAINAGE
- W3** EXTERIOR INSULATION FINISH SYSTEM COAT
COLOR SELECTION FROM MFG'S
STANDARD COLOR RANGE BY ARCHITECT, OVER
MFG'S MESH, OVER
RIGID INSULATION, OVER
MFG'S ADHESIVE, OVER
MFG'S WATERPROOFING/AIRBARRIER - TAPE ALL SEAMS, OVER
EXTERIOR SHEATHING, OVER
REMAINDER OF WALL W2
LAP ALL CORNERS AND EDGES PER MANUFACTURER'S RECOMMENDATIONS
TERMINATE ALL EDGES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS

FLOORS

- F1** T & G WOOD FLOOR, OVER
WOOD SHEATHING (SEE STRUCTURAL), OVER
WOOD FLOOR FRAMING SYSTEM (SEE STRUCTURAL)
- F2** 4" CONC. SLAB ON GRADE DIRECTLY OVER
VAPOR BARRIER (15 MIL STEGO WRAP - TAPE ALL SEAMS & PENETRATIONS. TERMINATE EDGES PER MFG, OVER
4" GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
REINFORCE W/ REBAR PER STRUCTURAL
C.J.'S SPACED PER STRUCT.
CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
WATER CURE OR COVER CURE
- F3** 4" CONC. SLAB ON GRADE DIRECTLY OVER
GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
REINFORCE W/ REBAR PER STRUCTURAL
C.J.'S SPACED PER STRUCT.
CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
WATER CURE OR COVER CURE

SOFFITS

- SI** PAINTED EXTERIOR GRADE SOFFIT, OVER
CDX PLYWOOD
CONT. PREFINISHED SOFFIT VENT

GENERAL NOTES

CEILINGS

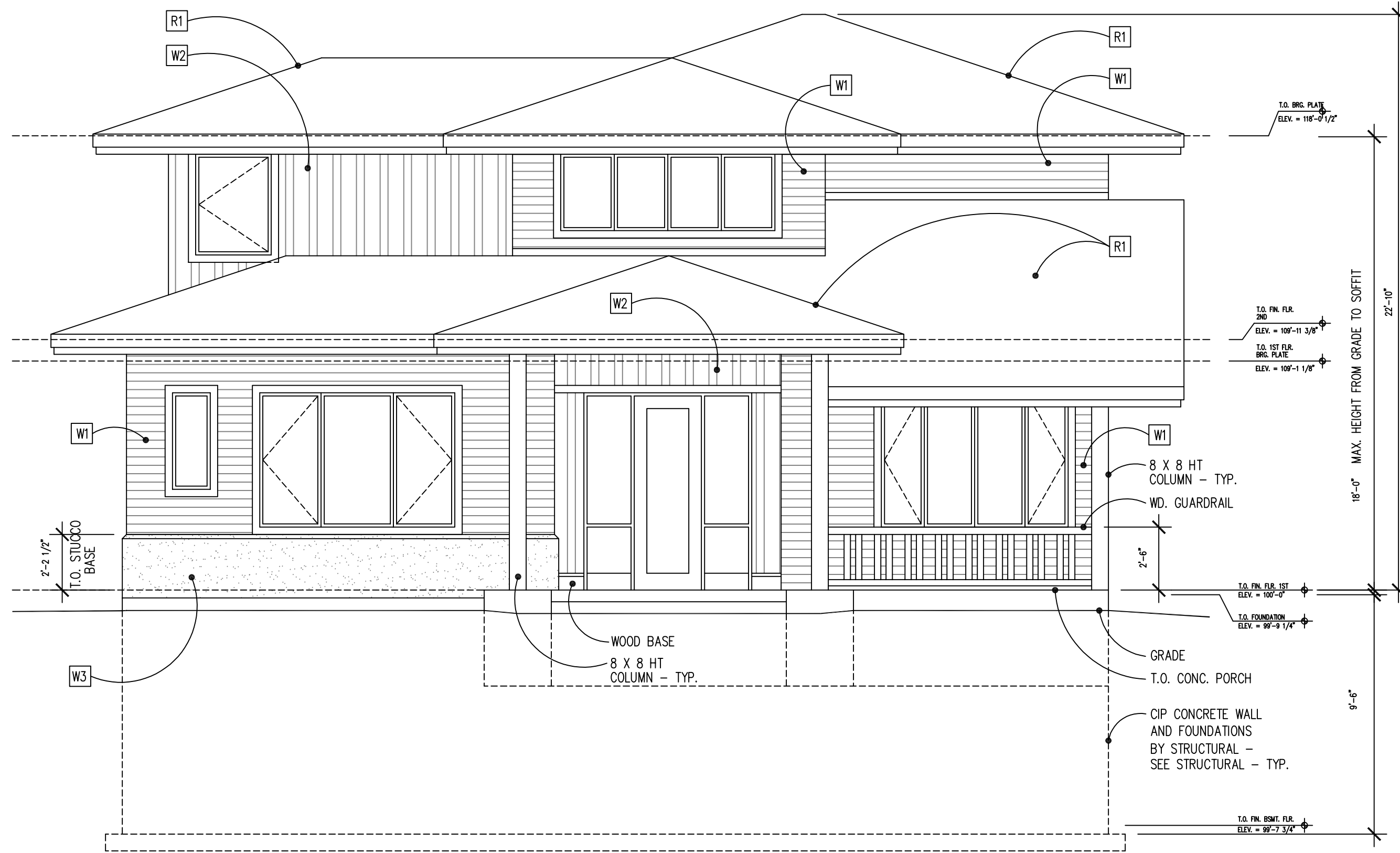
1/2" GYPSUM BOARD ATTACHED DIRECTLY TO UNDERSIDE OF WOOD FRAMING MEMBERS

WINDOWS

BASED ON MARVIN INTEGRITY WINDOWS WITH FRAME SIZES GIVEN IN FEET AND INCHES

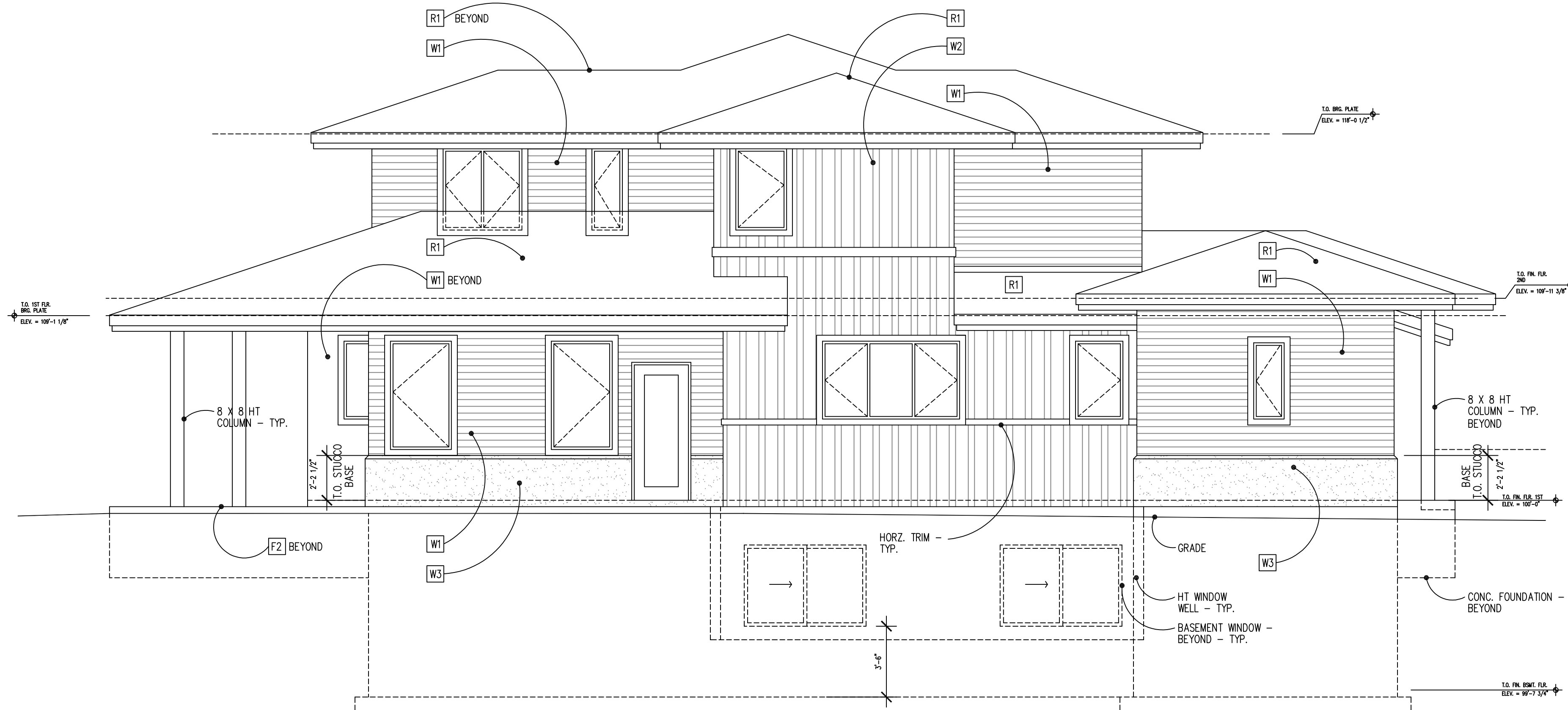
DOORS

SIZES GIVEN IN FEET AND INCHES



1 ENTRY ELEVATION

SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION

SCALE: 1/4" = 1'-0"

330
EAST
MYRTLE

FORT COLLINS, CO.

inform design studio
loveland, colorado

12jfleisch12@gmail.com

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Issued

No.	Description	Date
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Revisions

No.	Description	Date
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Seal

Project No.: 001 Drawn by: jaf
Reviewed by: jaf

SCHEMATIC
DESIGN

Scale Accordingly if Reduced

Drawing Number

A2.1

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MYRTLE

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In association with:

Issued

No.	Description	Date

Revisions

No.	Description	Date

Seal

Project No.: 001 Drawn by: jaf
Reviewed by: jaf

SCHEMATIC
DESIGN

Scale Accordingly if Reduced

Drawing Number

A2.2

SYSTEM NOTES

ROOFS

- R1 ASPHALT SHINGLES
COLOR SELECTION FROM
MFG'S. STANDARD COLOR RANGE BY ARCHITECT, OVER
. 30# ROOFING FELT W/ 36" WIDE ICE & WATER SHIELD U.N.O.
AT ALL EAVES AND VALLEYS, OVER
. ROOF SHEATHING PER STRUCTURAL, OVER
. PRE-ENGINEERED WOOD ROOF STRUCTURE
. R-38 INSULATION
. 6 MIL POLY V.B. AT BOTTOM OF ROOF STRUCTURE
NOTE: PROVIDE CONTINUOUS SOFFIT VENTING AND
AND ADEQUATE GABLE VENTS

WALLS

- W1 JAMES HARDIE
HORIZONTAL ARTISAN SIDING WITH 4" EXPOSURE
COLOR - TBD.
. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
. 2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
. R-19 MIN. UNFACED F.G. BATT INSULATION
. 6 MIL POLYTHELENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
. 1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
. PROVIDE SLOPED TOP TO HORZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- W2 JAMES HARDIE
FIBER CEMENT SMOOTH PANEL W/ 2 1/2" WIDE SMOOTH BATTEN BORADS
COLOR - TBD.
. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
. 2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
. R-19 MIN. UNFACED F.G. BATT INSULATION
. 6 MIL POLYTHELENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
. 1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
. PROVIDE SLOPED TOP TO HORZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- W3 EXTERIOR INSULATION FINISH SYSTEM COAT
COLOR SELECTION FROM MFG'S
STANDARD COLOR RANGE BY ARCHITECT, OVER
. MFG'S MESH, OVER
. RIGID INSULATION, OVER
. MFG'S ADHESIVE, OVER
. MFG'S WATERPROOFING/AIRBARRIER - TAPE ALL SEAMS, OVER
. EXTERIOR SHEATHING, OVER
. REMAINDER OF WALL W2
. LAP ALL CORNERS AND EDGES PER MANUFACTURER'S RECOMMENDATIONS
. TERMINATE ALL EDGES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS

FLOORS

- F1 . T & G WOOD FLOOR, OVER
. WOOD SHEATHING (SEE STRUCTURAL), OVER
. WOOD FLOOR FRAMING SYSTEM (SEE STRUCTURAL)
- F2 . 4" CONC. SLAB ON GRADE DIRECTLY OVER
. VAPOR BARRIER (15 MIL STEGO WRAP - TAPE ALL SEAMS
& PENETRATIONS. TERMINATE EDGES PER MFG., OVER
. 4" GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
REINFORCE W/ REBAR PER STRUCTURAL
. C.J.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE

- F3 . 4" CONC. SLAB ON GRADE DIRECTLY OVER
. GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
REINFORCE W/ REBAR PER STRUCTURAL
. C.J.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE

SOFFITS

- SI . PAINTED EXTERIOR GRADE SOFFIT, OVER
. CDX PLYWOOD
. CONT. PREFINISHED SOFFIT VENT

GENERAL NOTES

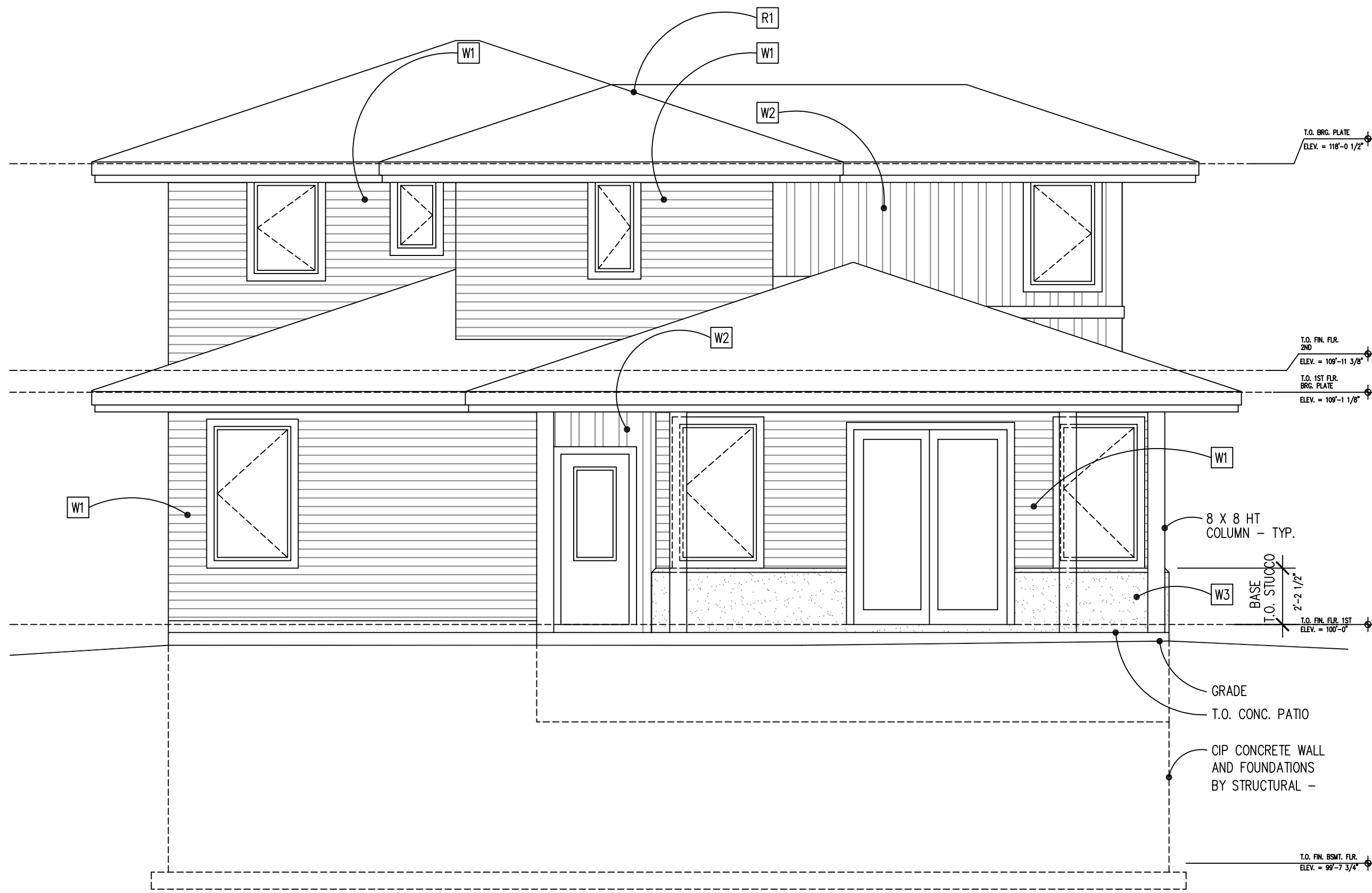
CEILINGS
1/2" GYPSUM BOARD ATTACHED DIRECTLY TO UNDERSIDE OF
WOOD FRAMING MEMBERS

WINDOWS

BASED ON MARVIN INTEGRITY WINDOWS WITH FRAME SIZES GIVEN IN FEET AND INCHES

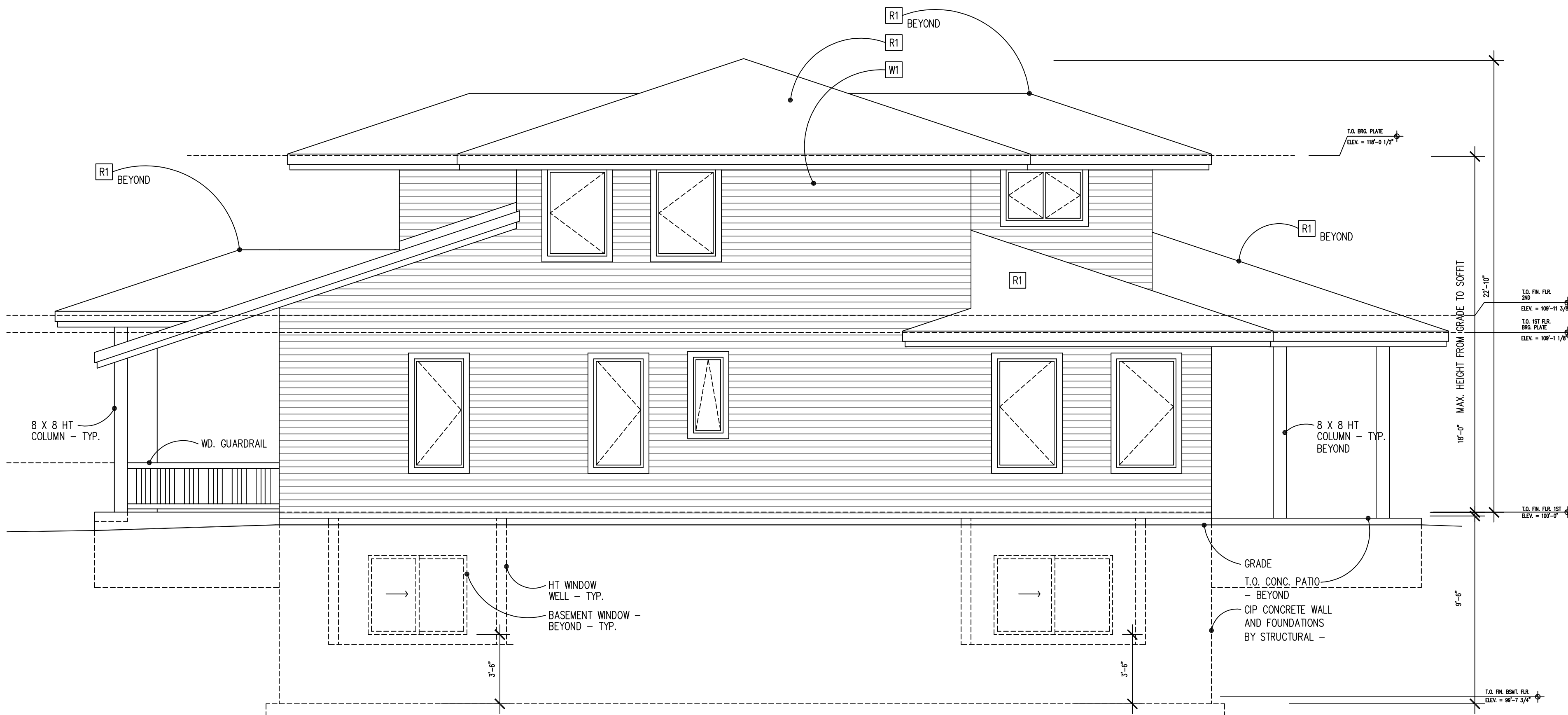
DOORS

SIZES GIVEN IN FEET AND INCHES



1 REAR ELEVATION

SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION

SCALE: 1/4" = 1'-0"

SYSTEM NOTES

ROOFS

- [R1] ASPHALT SHINGLES
COLOR SELECTION FROM
MFG'S. STANDARD COLOR RANGE BY ARCHITECT, OVER
. 30# ROOFING FELT W/ 36" WIDE ICE & WATER SHIELD U.N.O.
AT ALL EAVES AND VALLEYS, OVER
. ROOF SHEATHING PER STRUCTURAL, OVER
. PRE-ENGINEERED WOOD ROOF STRUCTURE
. R-38 INSULATION
. 6 MIL POLY V.B. AT BOTTOM OF ROOF STRUCTURE
NOTE: PROVIDE CONTINUOUS SOFFIT VENTING AND
AND ADEQUATE GABLE VENTS

WALLS

- [W1] JAMES HARDIE
HORIZONTAL ARTISAN SIDING WITH 4" EXPOSURE
COLOR - TBD
. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
. 2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
. R-19 MIN. UNFACED F.G. BATT INSULATION
. 6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
. 1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
. PROVIDE SLOPED TOP TO HORIZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- [W2] JAMES HARDIE
FIBER CEMENT SMOOTH PANEL W/ 2 1/2" WIDE SMOOTH BATTEN BORADS
COLOR - TBD
. 1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
. CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
. 2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
. R-19 MIN. UNFACED F.G. BATT INSULATION
. 6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
. 1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
. PROVIDE SLOPED TOP TO HORIZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- [W3] EXTERIOR INSULATION FINISH SYSTEM COAT
COLOR SELECTION FROM MFG'S
STANDARD COLOR RANGE BY ARCHITECT, OVER
. MFG'S MESH, OVER
. RIGID INSULATION, OVER
. MFG'S ADHESIVE, OVER
MFG'S WATERPROOFING/AIRBARRIER - TAPE ALL SEAMS, OVER
EXTERIOR SHEATHING, OVER
REMAINDER OF WALL W2
. LAP ALL CORNERS AND EDGES PER MANUFACTURER'S RECOMMENDATIONS
. TERMINATE ALL EDGES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS

FLOORS

- [F1] . T & G WOOD FLOOR, OVER
. WOOD SHEATHING (SEE STRUCTURAL), OVER
. WOOD FLOOR FRAMING SYSTEM (SEE STRUCTURAL)
- [F2] . 4" CONC. SLAB ON GRADE DIRECTLY OVER
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& PENETRATIONS. TERMINATE EDGES PER MFG, OVER
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NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
. REINFORCE W/ REBAR PER STRUCTURAL
. C.I.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE
- [F3] . 4" CONC. SLAB ON GRADE DIRECTLY OVER
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NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
. REINFORCE W/ REBAR PER STRUCTURAL
. C.I.'S SPACED PER STRUCT.
. CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
. WATER CURE OR COVER CURE

SOFFITS

- [S1] . PAINTED EXTERIOR GRADE SOFFIT, OVER
. CDX PLYWOOD
. CONT. PREFINISHED SOFFIT VENT

GENERAL NOTES

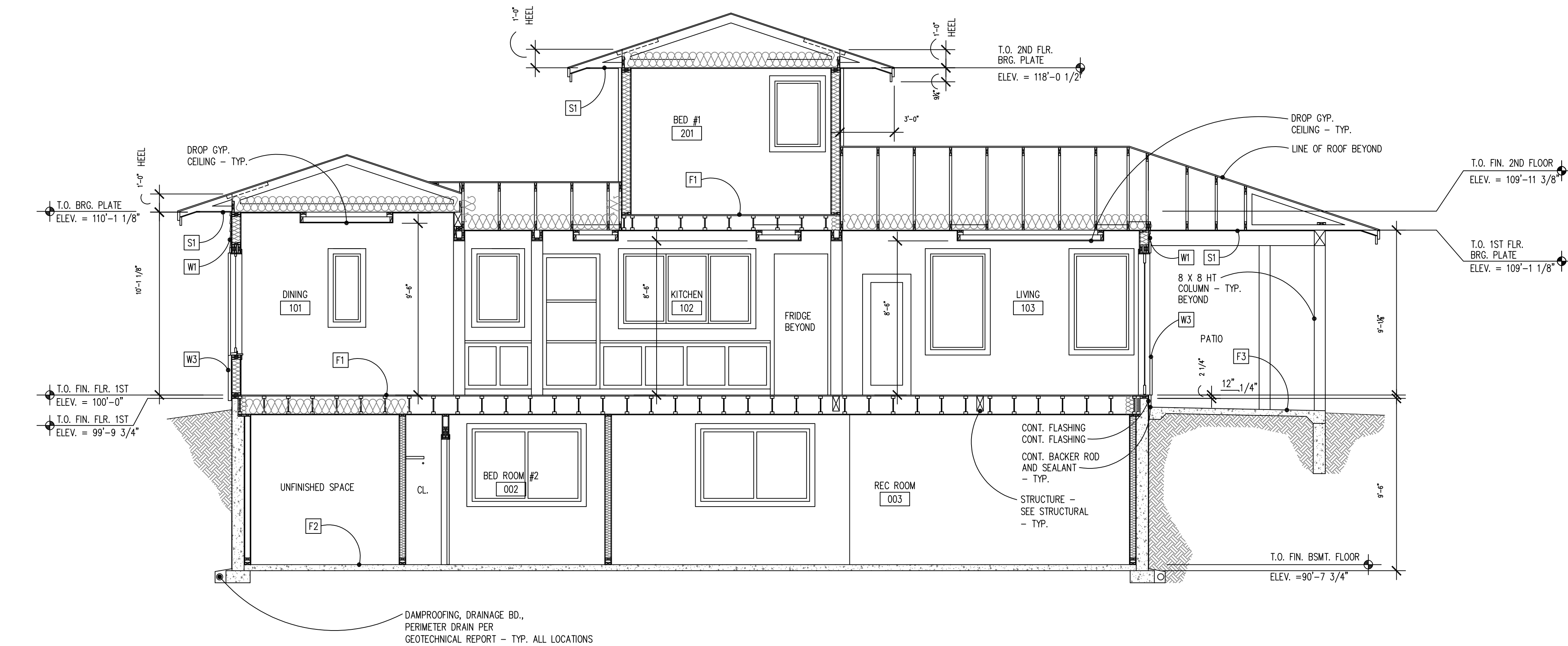
CEILINGS
1/2" GYPSUM BOARD ATTACHED DIRECTLY TO UNDERSIDE OF
WOOD FRAMING MEMBERS

WINDOWS

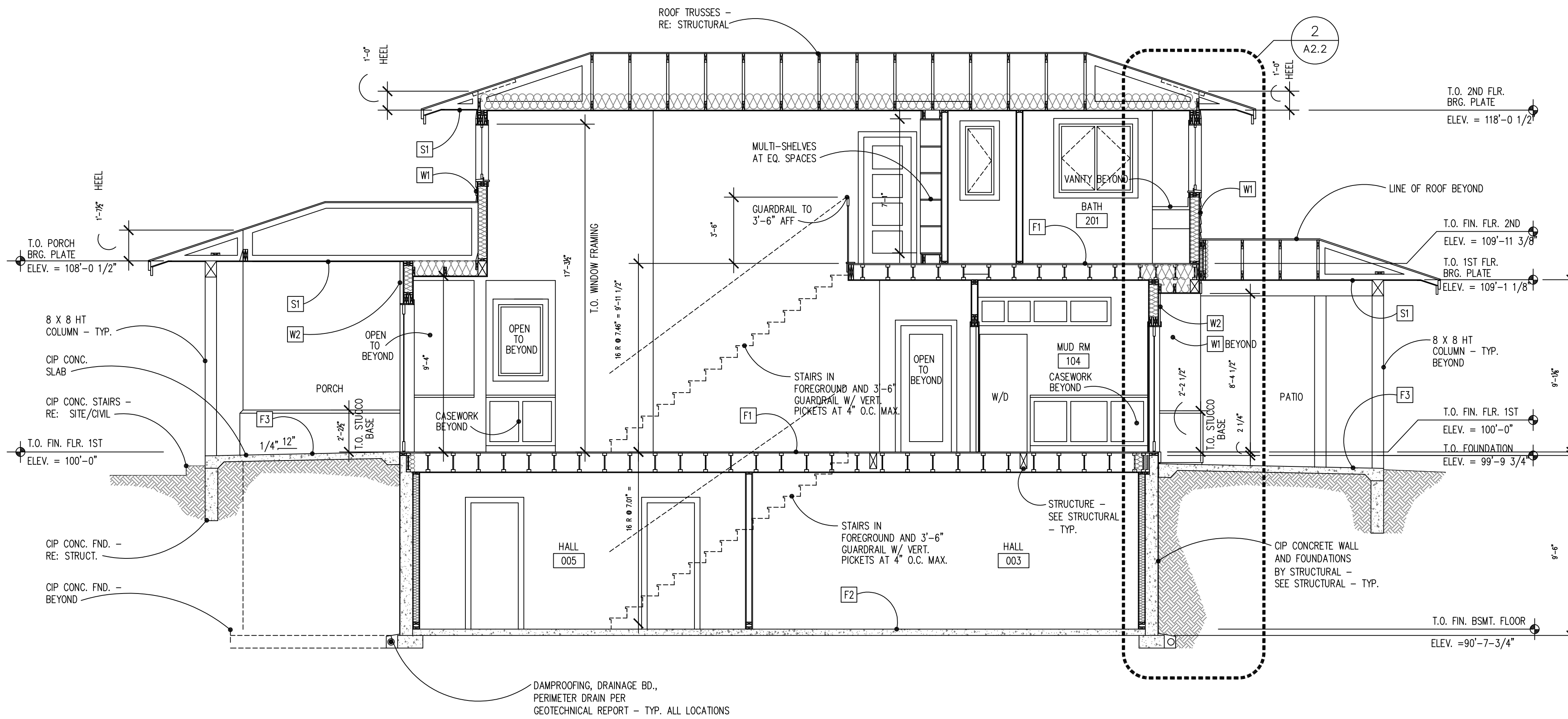
BASED ON MARVIN INTEGRITY WINDOWS WITH FRAME SIZES GIVEN IN FEET AND INCHES

DOORS

SIZES GIVEN IN FEET AND INCHES



1 SECTION
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"

330
EAST
MYRTLE

FORT COLLINS, CO.

inform design studio
loveland, colorado

12jfleisch12@gmail.com

In association with:

Issued

No.	Description	Date
-----	-------------	------

Revisions

No.	Description	Date
-----	-------------	------

Seal

Project No.: 001

Drawn by: jaf

Reviewed by: jaf

SCHEMATIC
DESIGN

Scale Accordingly if Reduced

Drawing Number

A3.1

330
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loveland, colorado

12jfleisch12@gmail.com

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Revisions		
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Seal

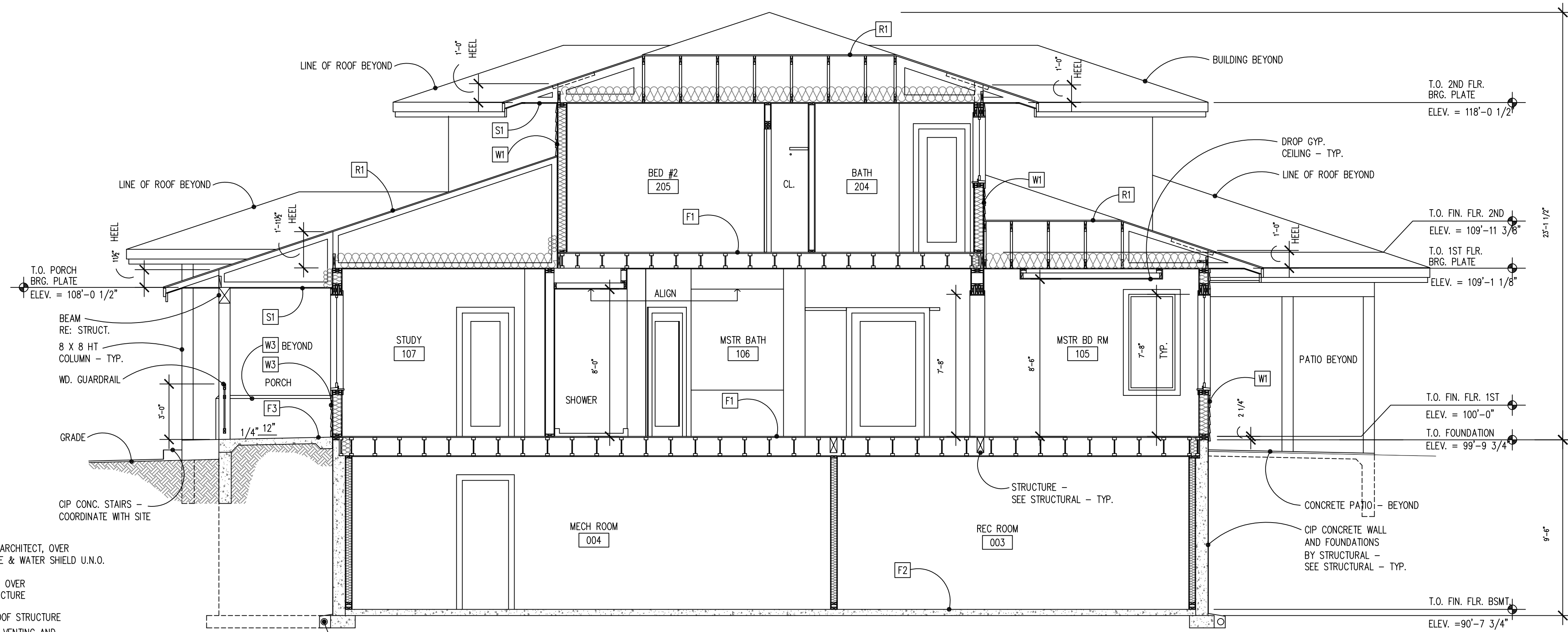
Project No.: 001 Drawn by: jaf
Reviewed by: jaf

SCHEMATIC
DESIGN

Scale Accordingly if Reduced

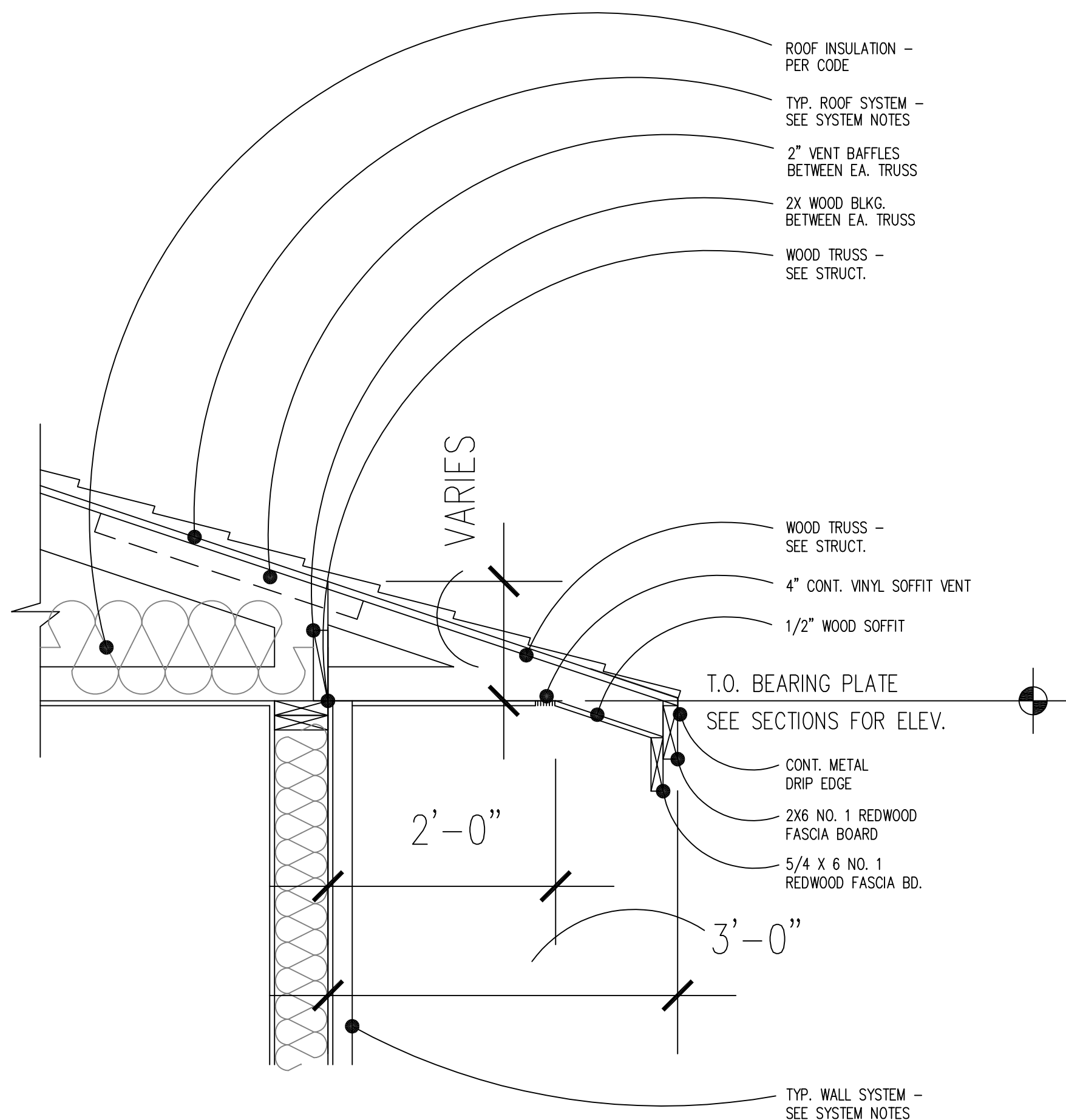
Drawing Number

A3.2



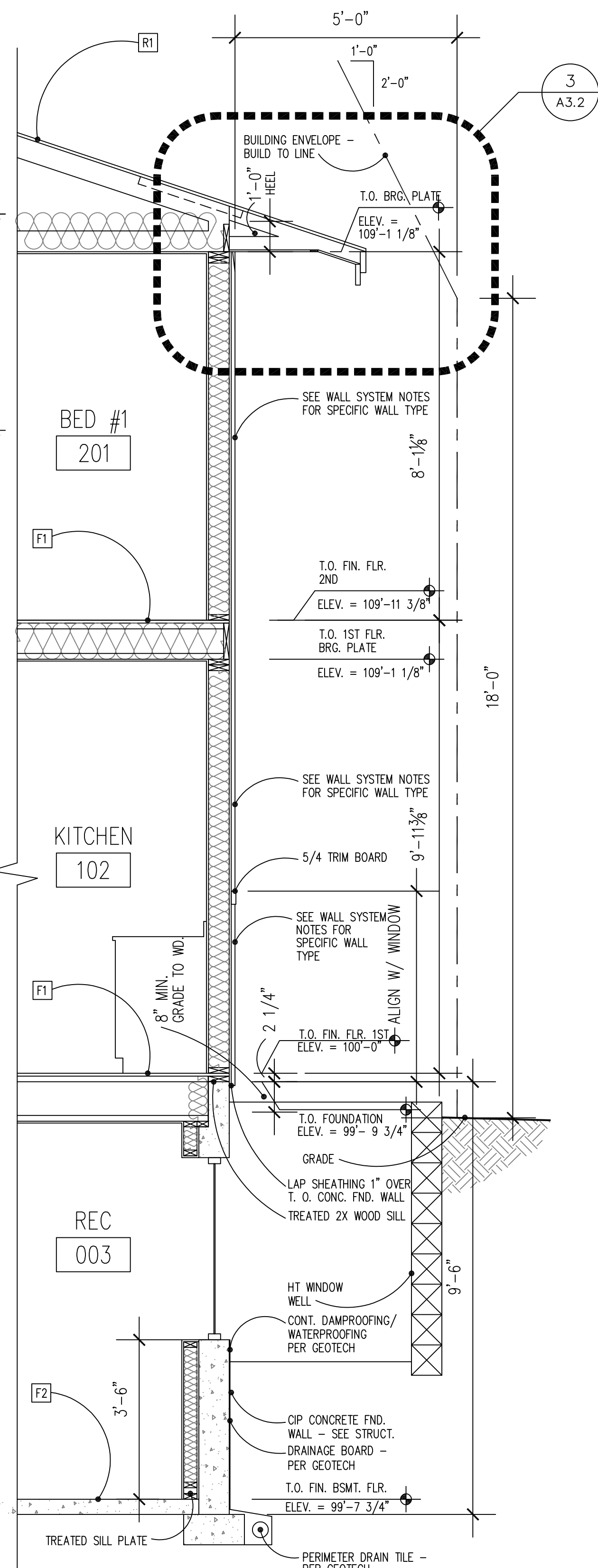
SECTION

SCALE: 1/4" = 1'-0"



DETAIL

SCALE: 1" = 1'-0"



WALL SECTION

SCALE: 1/2" = 1'-0"

SYSTEM NOTES

ROOFS

- R1 ASPHALT SHINGLES
COLOR SELECTION FROM
MFG'S STANDARD COLOR RANGE BY ARCHITECT, OVER
30# ROOFING FELT W/ 36" WIDE ICE & WATER SHIELD U.N.O.
AT ALL EAVES AND VALLEYS, OVER
ROOF SHEATHING PER STRUCTURAL, OVER
PRE-ENGINEERED WOOD ROOF STRUCTURE
R-30 INSULATION
6 MIL POLY V.B. AT BOTTOM OF ROOF STRUCTURE
NOTE: PROVIDE CONTINUOUS SOFFIT VENTING AND
ADEQUATE GABLE VENTS

WALLS

- W1 JAMES HARDIE
HORIZONTAL ARTISAN SIDING WITH 4" EXPOSURE
COLOR - TBD.
1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
R-19 MIN. UNFACED F.G. BATT INSULATION
6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
PROVIDE SLOPED TOP TO HORZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- W2 JAMES HARDIE
FIBER CEMENT SMOOTH PANEL W/ 2 1/2" WIDE SMOOTH BATTEN BORADS
COLOR - TBD.
1 LAYER COMMERCIAL BUILDING WRAP - TAPE ALL SEAMS
CDX PLWOOD SHEATHING PER STRUCTURAL, OVER
2 X 6 WOOD FRAMING MEMBERS AT 16" O.C. U.N.O.
R-19 MIN. UNFACED F.G. BATT INSULATION
6 MIL POLYETHYLENE VAPOR BARRIER AT
INTERIOR FACE OF STUDS - TAPE ALL SEAMS
1 LAYER 1/2" GYPSUM BOARD INTERIOR FINISH
PROVIDE SLOPED TOP TO HORZ. BATTEN BOARDS FOR POSITIVE DRAINAGE

- W3 EXTERIOR INSULATION FINISH SYSTEM COAT
COLOR SELECTION FROM MFG'S
STANDARD COLOR RANGE BY ARCHITECT, OVER
MFG'S MESH, OVER
RIGID INSULATION, OVER
MFG'S ADHESIVE, OVER
MFG'S WATERPROOFING/AIRBARRIER - TAPE ALL SEAMS, OVER
EXTERIOR SHEATHING, OVER
REMAINDER OF WALL W2
LAP ALL CORNERS AND EDGES PER MANUFACTURER'S RECOMMENDATIONS
TERMINATE ALL EDGES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS

FLOORS

- F1 T & G WOOD FLOOR, OVER
WOOD SHEATHING (SEE STRUCTURAL), OVER
WOOD FLOOR FRAMING SYSTEM (SEE STRUCTURAL)

- F2 4" CONC. SLAB ON GRADE DIRECTLY OVER
VAPOR BARRIER (15 MIL STEGO WRAP - TAPE ALL SEAMS
& PENETRATIONS. TERMINATE EDGES PER MFG., OVER
4" GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
REINFORCE W/ REBAR PER STRUCTURAL
C.J.'S SPACED PER STRUCT.
CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
WATER CURE OR COVER CURE

- F3 4" CONC. SLAB ON GRADE DIRECTLY OVER
GRAVEL FILL
NOTE: PREPARE SUBGRADE PER GEOTECHNICAL REPORT
REINFORCE W/ REBAR PER STRUCTURAL
C.J.'S SPACED PER STRUCT.
CONC. WATER/CEMENT RATIO NOT TO EXCEED 0.45
WATER CURE OR COVER CURE

SOFFITS

- S1 PAINTED EXTERIOR GRADE SOFFIT, OVER
CDX PLYWOOD
CONT. PREFINISHED SOFFIT VENT

GENERAL NOTES

CEILINGS

1/2" GYPSUM BOARD ATTACHED DIRECTLY TO UNDERSIDE OF
WOOD FRAMING MEMBERS

WINDOWS

BASED ON MARVIN INTEGRITY WINDOWS WITH FRAME SIZES GIVEN IN FEET AND INCHES

DOORS

SIZES GIVEN IN FEET AND INCHES











