



Historic Preservation Services

Community Development & Neighborhood Services

281 North College Avenue
P.O. Box 580
Fort Collins, CO 80522.0580

970.416.4250

preservation@fcgov.com

fcgov.com/historicpreservation

REPORT OF ALTERATIONS TO DESIGNATED RESOURCE

Site Number/Address: 641 Whedbee St.

Laurel School National Register Historic District

ISSUED: March 23, 2020

Kyle Meyer
Black Timber Builders/owner
641 Whedbee St.
Fort Collins, CO 80524

Dear Mr. Meyer:

This report is to inform you of proposed alterations to the W. Tarr House at 641 Whedbee Street, pursuant to Fort Collins Municipal Code Chapter 14, [Article IV](#). A copy of this report may be forwarded to the Colorado Office of Archaeology and Historic Preservation.

The alterations include: Replacement in-kind of non-historic front porch based on 2016 drawings.

Our staff review of the proposed work finds the alterations do meet the [SOI Standards for Treatment of Historic Properties](#). A summary is provided below:

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i> The property will retain its residential use.	Y
SOI #2	<i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i> Porch is a non-historic feature and not based on original (post-1948) porch. Historic (c.1948) porch is Craftsman-style with three battered masonry piers and an upward arch. Existing porch has squared porch posts and flat beams.	N/A

SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p>Existing porch already in place (not consistent with historic character of property). In-kind replacement will not have further detrimental effects.</p>	N/A
SOI #4	<p><i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i></p> <p>Porch is not historic; built in 2016 and is not historically-significant.</p>	Y
SOI #5	<p><i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i></p> <p>The non-historic porch is distinctive but does not characterize the construction history of the property.</p>	N/A
SOI #6	<p><i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i></p> <p>Porch replacement is in-kind, limiting negative effects to historic building.</p>	Y
SOI #7	<p><i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i></p>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p>	N/A
SOI #9	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p>	N/A
SOI #10	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p>	N/A

The porch addition and extended side dormers added to the property in 2016 likely rendered the building a non-contributing property to the Laurel School Historic District at that time.

Replacement in-kind of the non-historic porch will not have any further detrimental effect on the property or surrounding contributing properties in the district.

If you have any questions regarding this review, please contact me. I may be reached at jbertolini@fcgov.com, or at (970) 416-4250. Please note that due to coronavirus protocols in place, email is the best mode of contact for our division at the moment.

Sincerely,

Jim Bertolini
Historic Preservation Planner



Design Review Application Historic Preservation Division

Fill this form out for all applications regarding designated historic buildings within the city limits of the City of Fort Collins. Review is required for these properties under Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

Applicant Information

Applicant's Name	Daytime Phone	Evening Phone
------------------	---------------	---------------

Mailing Address (for receiving application-related correspondence)	State	Zip Code
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Email

Property Information (put N/A if owner is applicant)

Owner's Name	Daytime Phone	Evening Phone
--------------	---------------	---------------

Mailing Address (for receiving application-related correspondence)	State	Zip Code
--	-------	----------

Email

Project Description

Provide an overview of your project. Summarize work elements, schedule of completion, and other information as necessary to explain your project.

<hr/> <hr/> <hr/> <hr/> <hr/> <hr/>

The following attachments are REQUIRED:

- ☐ Complete Application for Design Review
- ☐ Detailed Scope of Work (and project plans, if available)
- ☐ Color photos of existing conditions

Reminders:

Complete application would need all of checklist items as well as both pages of this document.

Detailed scope of work should include measurements of existing and proposed.

Please note: if the proposal includes partial or full demolition of an existing building or structure, a separate demolition application will need to be approved.

Additional documentation may be required to adequately depict the project, such as plans, elevations, window study, or mortar analysis. If there is insufficient documentation on the property, the applicant may be required to submit an intensive-level survey form (at the applicant's expense).

Detail of Proposed Rehabilitation Work (*Required)

If your project includes multiple features (e.g. roof repair and foundation repair), you must describe each feature separately and provide photographs and other information on each feature.

Feature A Name:	
Describe property feature and its condition:	Describe proposed work on feature:

Feature B Name:	
Describe property feature and its condition:	Describe proposed work on feature:

Use Additional Worksheets as needed.

Required Additional information

The following items must be submitted with this completed application. Digital submittals preferred for photographs, and for other items where possible.

- ☐ At least one current photo for each side of the house. Photo files or prints shall be named/labeled with applicant name and elevation. For example, smitheast.jpg, smithwest.jpg, etc. If submitted as prints, photos shall be labeled
- ☐ Photos for each feature as described in the section "Detail of Proposed Rehabilitation Work". Photo files or prints shall be named or labeled with applicant name and feature letter. For example, smitha1.jpg, smitha2.jpg, smithb.jpg, smithc.jpg, etc.

Depending on the nature of the project, one or more of the following items shall be submitted. Your contractor should provide these items to you for attachment to this loan application.

- ☐ Drawing with dimensions.
- ☐ Product specification sheet(s).
- ☐ Description of materials included in the proposed work.
- ☐ Color sample(s) or chip(s) of all proposed paint colors.

☐ **Partial or full demolition** is a part of this project.

Partial demolition could include scopes such as taking off existing rear porches to create space for a new addition or removing an existing wall or demolishing a roof. If you are taking away pieces of the existing residence, you are likely undergoing some partial demolition.

Signature of Applicant

Date





1. ALL DIMENSIONS ARE TO FACE OF CONCRETE, WOOD FRAMING OR CENTERLINE OF STRUCTURAL LINES, UNLESS NOTED OTHERWISE.
2. ALL EXTERIOR AND INTERIOR MATERIALS AND FINISHES SHALL BE AS SHOWN IN THE ARCHITECTURAL DRAWINGS OR PER INTERIOR DESIGNER OR OWNER'S SPECIFICATIONS FOR ITEMS NOT DETAILED.
3. THE EXISTING CONDITIONS DEPICTED ON THESE DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
4. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
5. PLUMBING SYSTEM SHALL BE DESIGN/BUILD BY THE SELECTED SUBCONTRACTOR. ALL STACK VENT ROOF PENETRATIONS TO BE ON THE ROOF FACING AWAY FROM THE STREET SIDES OF THE PROPERTY, IF POSSIBLE, AND PAINTED TO MATCH COLOR OF ROOFING MATERIAL.
6. EXPOSED METAL FIREPLACE CHIMNEYS SHALL BE PAINTED TO MATCH COLOR OF ROOFING MATERIAL.
7. MECHANICAL SYSTEMS SHALL BE DESIGN/BUILD BY THE SELECTED SUBCONTRACTOR.
8. ELECTRICAL SYSTEMS SHALL BE DESIGN/BUILD BY THE SELECTED SUBCONTRACTOR. PROPOSED LOCATIONS OF LIGHTING FIXTURES, OUTLETS, SWITCHES, AND OTHER EQUIPMENT ARE SCHEMATIC IN NATURE AND SHOWN ONLY FOR DESIGN INTENT.
9. PROVIDE SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED BY THE INTERNATIONAL RESIDENTIAL CODE.
10. INSTALL RADON MITIGATION SYSTEM IF REQUIRED.
11. DESIGN & IMPLEMENT EROSION CONTROL MEASURES DURING CONSTRUCTION & MINIMIZE DISTURBANCE TO SITE.

1. MECHANICAL EQUIPMENT TO BE LOCATED IN BASEMENT.
2. PROVIDE ENHANCED OUTDOOR AIR VENTILATION.
3. PROVIDE ENHANCED LOCAL EXHAUST SYSTEMS.

5. PROVIDE ENERGY EFFICIENT LIGHT FIXTURES. A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS.

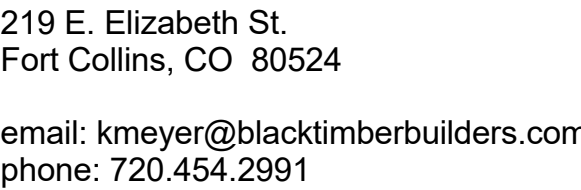
PROPERTY OWNERS:	KATIE & KYLE MEYER		
OWNER'S PHONE:	720-454-2991		
CONTRACTOR:	BLACK TIMBER BUILDERS		
CONTRACTOR'S PHONE:	(720) 454-2991		
SUBDIVISION NUMBER:	//10156 - FTC BLK 156		
LEGAL DESCRIPTION:	N 37 FT OF LOT 1 & S 13 FT OF LOT 2, BLK 156, FTC		
ZONING DISTRICT:	MEDIUM DENSITY DISTRICT (N-C-M)		
SQUARE FOOTAGE:			
FINISHED:	FIRST FLOOR:		1,735 SF
	SECOND FLOOR:		862 SF
	<u>BASEMENT:</u>		<u>635 SF</u>
	TOTAL:	-	3,232 SF
UNFINISHED:	BASEMENT:		99 SF
EXTERIOR:	COVERED PORCH:		231 SF
DETACHED GARAGE :			576 SF

SHEET INDEX	
SHEET NUMBER	SHEET NAME
A0.1	GENERAL
A1.1	SITE PLANS
A1.2	1ST FLOOR PLAN - EXISTING
A1.3	1ST FLOOR PLAN - DEMOLITION
A1.4	1ST FLOOR PLAN - NEW
A1.5	BASEMENT FLOOR PLAN - EXISTING
A1.6	BASEMENT FLOOR PLAN - DEMOLITION
A1.7	BASEMENT FLOOR PLAN - NEW
A1.8	2ND FLOOR PLAN - NEW
A1.9	ROOF PLAN - EXISTING
A1.10	ROOF PLAN - NEW
A2.1	ELEVATIONS - NORTH
A2.2	ELEVATIONS - EAST
A2.3	ELEVATIONS - SOUTH
A2.4	ELEVATIONS - WEST
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
A3.3	BUILDING SECTIONS
A3.4	BUILDING SECTIONS
A5.1	DETAILS
A6.1	WINDOW & DOOR SCHEDULES
A7.1	GARAGE PLANS & SCHEDULES
A7.2	GARAGE ELEVATIONS
A7.3	GARAGE SECTIONS
E1.1	ELECTRICAL & LIGHTING PLANS



THE MEYER RESIDENCE

Fort Collins, Colorado



THE MEYER RESIDENCE
641 WHEDBEE STREET
FORT COLLINS, COLORADO 80524

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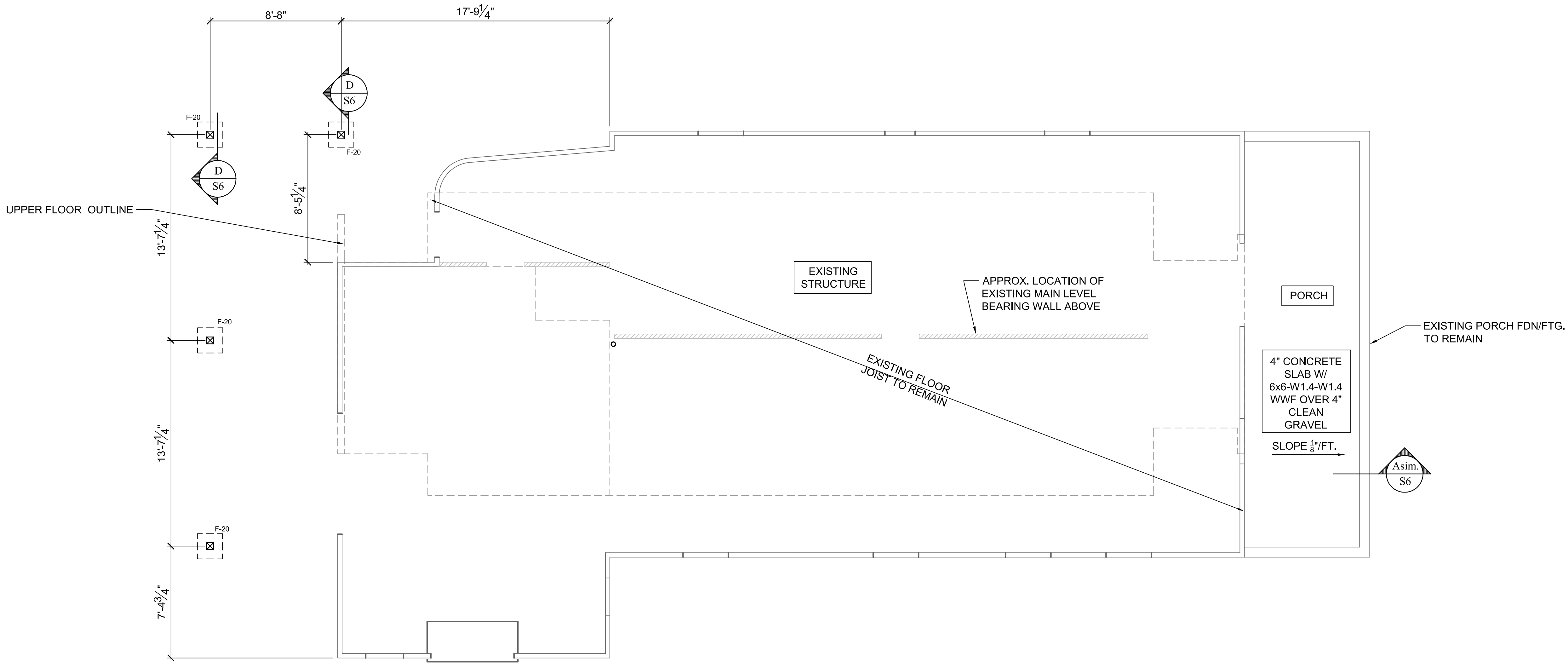
[illegible]

A0.1

PRINT DATE: 12/29/2016 8:44:27 AM

PRINT DATE: 12/29/2016 8:45:56 AM

2 WEST ELEVATION - NEW
1/4" = 1'-0"



NOTE: ORIGINAL FOUNDATION WHERE NEW COLUMNS LAND MUST BE OBSERVED BY CTL PRIOR TO LOADING OF COLUMNS

CONCRETE PAD FOOTING SCHEDULE			
PAD	SIZE	REBAR	NOTES
F-20	20"SQ.x8"D	#4 BARS @ 12" ON-CENTER EACH WAY, CENTERED IN DEPTH OF PADS.	ALL PADS TO BEAR UPON UNDISTURBED NATIVE SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.
F-34	34"SQ.x10"D		
F-34x54	34"x54"x10"D		
		DOWELS PER DETAILS	TOP OF PAD EQUAL BOTTOM OF SLAB.

FOUNDATION LEGEND

NUMBER SIGNIFIES WIDTH OF 8" DEEP CONTINUOUS FOOTING

ALL FOOTINGS TO BEAR UPON NATIVE UNDISTURBED SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.

BOTTOM OF FOOTINGS TO BE A MINIMUM 30" (N) BELOW FINISH GRADE.

PROVIDE "J" DOWELS TO MATCH WALL REINFORCEMENT ABOVE

FOOTINGS 26" AND WIDER ADD (3) #4 CONT. & (1) #4 TRANS. @ 24" O.C.

NUMBER SIGNIFIES DIMENSION OF 8" DEEP SQUARE CONCRETE PAD FOOTING

ALL PADS TO BEAR UPON UNDISTURBED NATIVE SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.

TOP OF PAD EQUAL BOTTOM OF SLAB.

#4 BARS @ 12" ON-CENTER EACH WAY, 3/4" FROM BOTTOM OF PADS.

PADS 32" AND LARGER SHALL BE 10" THICK.

SOILS INFORMATION

REPORT NO. FC07563-120

DATE 10/11/2016

SOILS REPORT BY CTL THOMPSON, INC.

RECOMMENDED SOIL BEARING PRESSURES:

MAX. 2,000 PSF

MIN. NONE

BALANCED 600 PSF

SPECIAL NOTES:

NORTH

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

CTL | THOMPSON

INCORPORATED

P:970-206-9455
F:970-206-9441
www.ctl.com

CTL | THOMPSON INCORPORATED

400 North Link Lane
Fort Collins, CO 80524

PROJECT LOCATION:
MEYER RESIDENCE ADDITION/REMODELING
641 WHEDBEE STREET
FORT COLLINS, COLORADO

FOUNDATION PLAN

CLIENT:

BLACK TIMBER BUILDERS
219 ELIZABETH ST.
FORT COLLINS, CO.
contact: KYLE MEYER
(720)-454-2991

NO. DATE REVISION/ISSUE

1 2 3

SBH DES

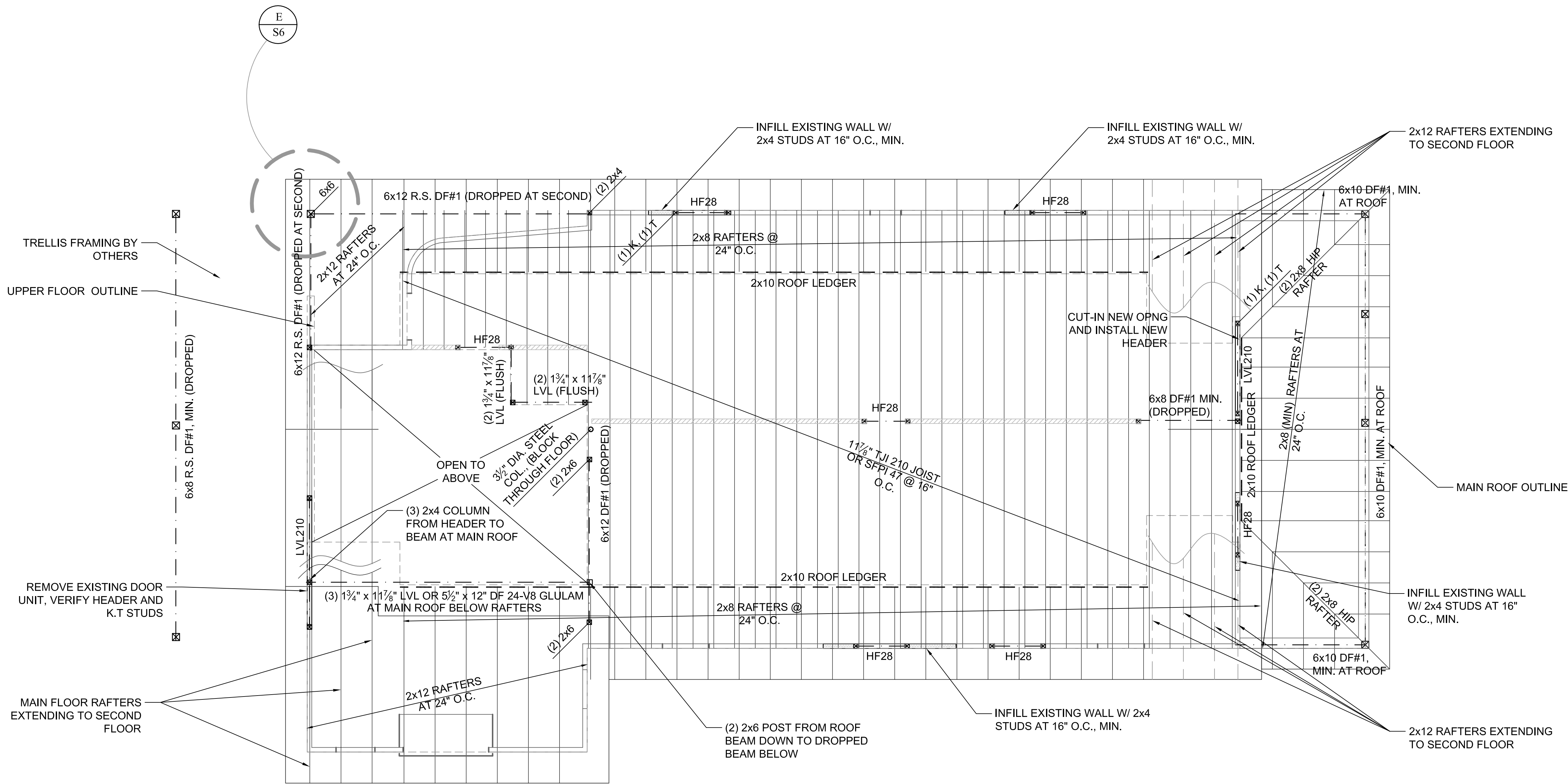
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10/13/2016

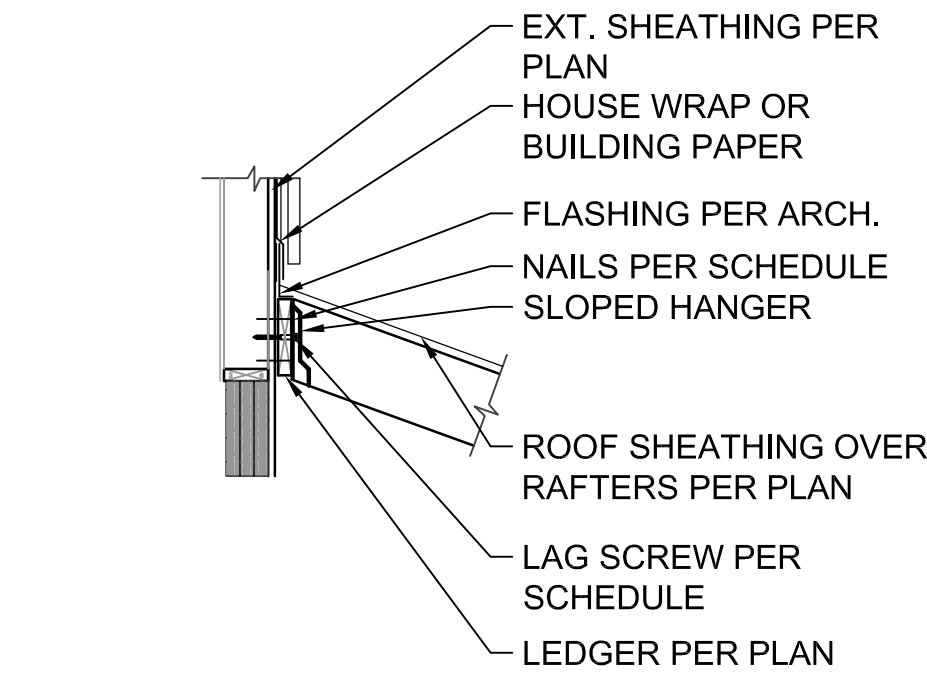
PER PLAN

S1

S6



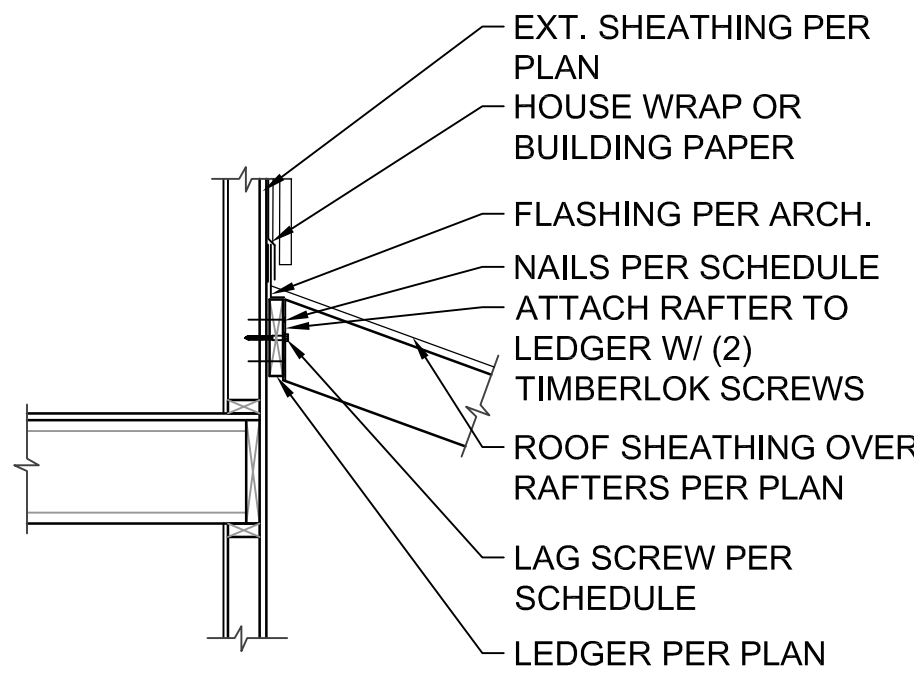
NOTE: ALL EXISTING
HEADERS TO BE
HF28 MINIMUM.



RAFTER LEDGER
ATTACHMENT DETAIL

RAFTER LEDGER ATTACHMENT SCHEDULE			
RAFT SPAN	6-10 (ft)	11-14 (ft)	15-20 (ft)
FASTENERS			
1/2" Ø X 3 1/2" LAG SCREWS W/ WASHERS OR 1/2" DIA. SDWS SCREWS	(1) @ 16"(in.) O.C. STAGGER T&B	(2) @ 16"(in.) O.C.	(3) @ 16"(in.) O.C.
16d COMMON NAILS	(2) @ 16" O.C. EVENLY SPACED IN JOIST BAY	(3) @ 16" O.C. EVENLY SPACED IN JOIST BAY	(4) @ 16" O.C. EVENLY SPACED IN JOIST BAY

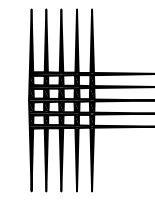
NOTE: BOTH LAG SCREWS AND NAILS SHOWN ARE REQUIRED FOR ALL SPANS.



RAFTER LEDGER
ATTACHMENT DETAIL

CTL | THOMPSON
INCORPORATED

P:970-206-9455
F:970-206-9441
www.cctl.com



CTL THOMPSON INCORPORATED
400 North Link Lane
Fort Collins, CO 80524

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PROJECT LOCATION:
MEYER RESIDENCE ADDITION/REMODELING
641 WHEDBEE STREET
FORT COLLINS, COLORADO

LOWER ROOF/UPPER
FLOOR FRAMING PLAN

NO.	DATE	REVISION/ISSUE
1		
2		
3		

CLIENT:
BLACK TIMBER BUILDERS
219 ELIZABETH ST.
FORT COLLINS, CO.
contact: KYLE MEYER
(720)-454-2991

SBH	S2
DES	
FC07563.000	
10/13/2016	
PER PLAN	S6



LOWER ROOF/ UPPER
FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

HEADER SCHEDULE				
HEADER	SIZE	MATERIAL	LSL OPTION	TRIMMERS
HF28	2-2x8	HEM-FIR #2	3 1/2" X 5 1/2"	(1) 2x
LVL28	2-1 3/4"x7 1/4"	LVL	N/A	(2) 2x
LVL210	2-1 3/4"x9 1/2"	LVL	N/A	(3) 2x
LVL214	2-1 3/4"x14"	LVL	N/A	(4) 2x

KING STUD SCHEDULE		
OPENING WIDTH	# OF KING STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS	
FROM TO		
12" 2'-11"	(1) 2x	
3'-0" 5'-0"	(2) 2x	
5'-1" 8'-0"	(3) 2x	
8'-1" 11'-11"	(4) 2x	
12'-0" 16'-4"	(5) 2x	

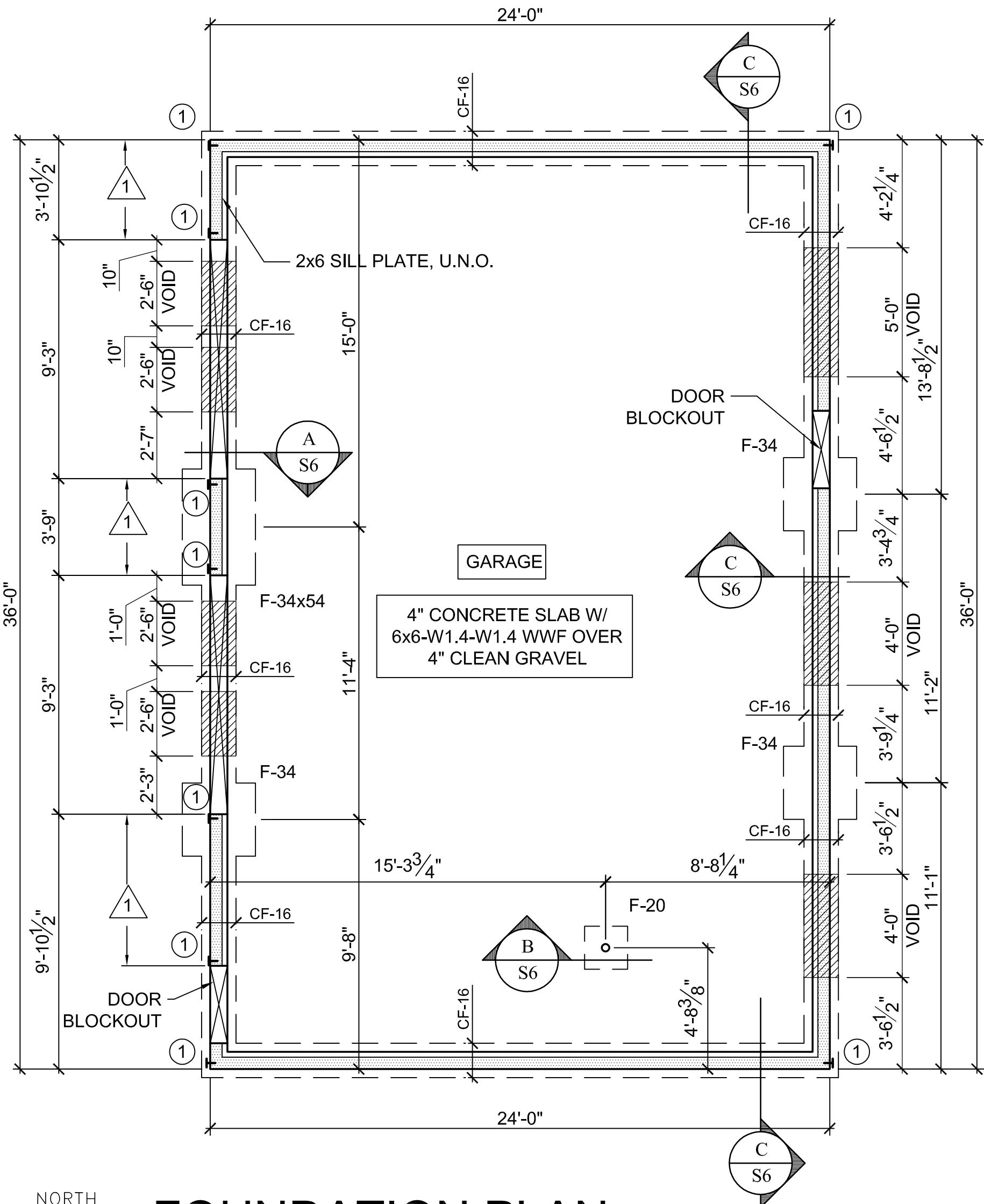
#T #K	T= NUMBER OF TRIMMER STUDS EACH SIDE K= NUMBER OF KIND STUDS EACH SIDE
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HEADER SCHEDULE				
HEADER	SIZE	MATERIAL	LSL OPTION	TRIMMERS
HF28	2-2x8	HEM-FIR #2	3 1/2" X 5 1/2"	(1) 2x
LVL28	2-1 3/4"x7 1/4"	LVL	N/A	(2) 2x
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KING STUD SCHEDULE		
OPENING WIDTH	# OF KING STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS	
12"	2'-11"	(1) 2x
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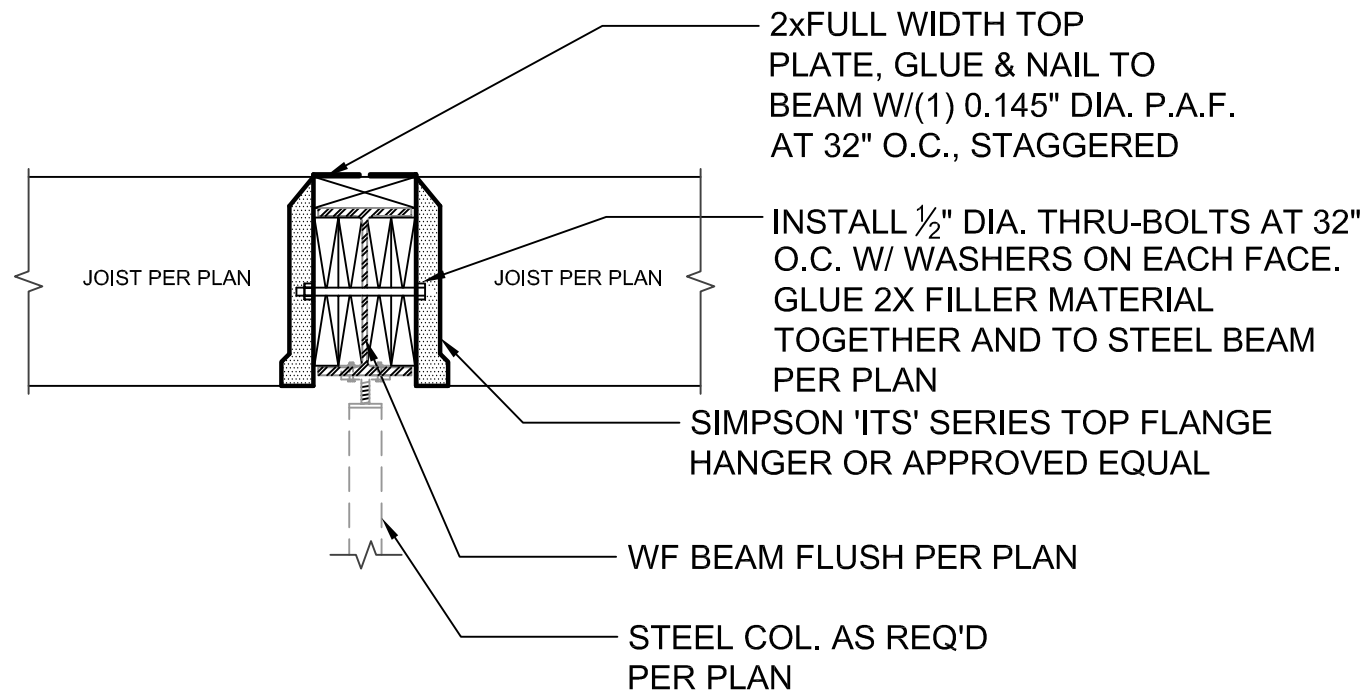
#T #K	T = NUMBER OF TRIMMER STUDS EACH SIDE K = NUMBER OF KING STUDS EACH SIDE
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HOLDDOWN (HD) SCHEDULE			
HD #	SYMBOL	MANUF. / MODEL	NOTES*
①	T	SIMPSON STHD14RJ	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)
②	—	SIMPSON MSTC40	EQUAL LENGTH OF STRAP TOP AND BOTTOM OVER RIM. STRAP EACH SIDE 3" WALL TO BEAM BELOW

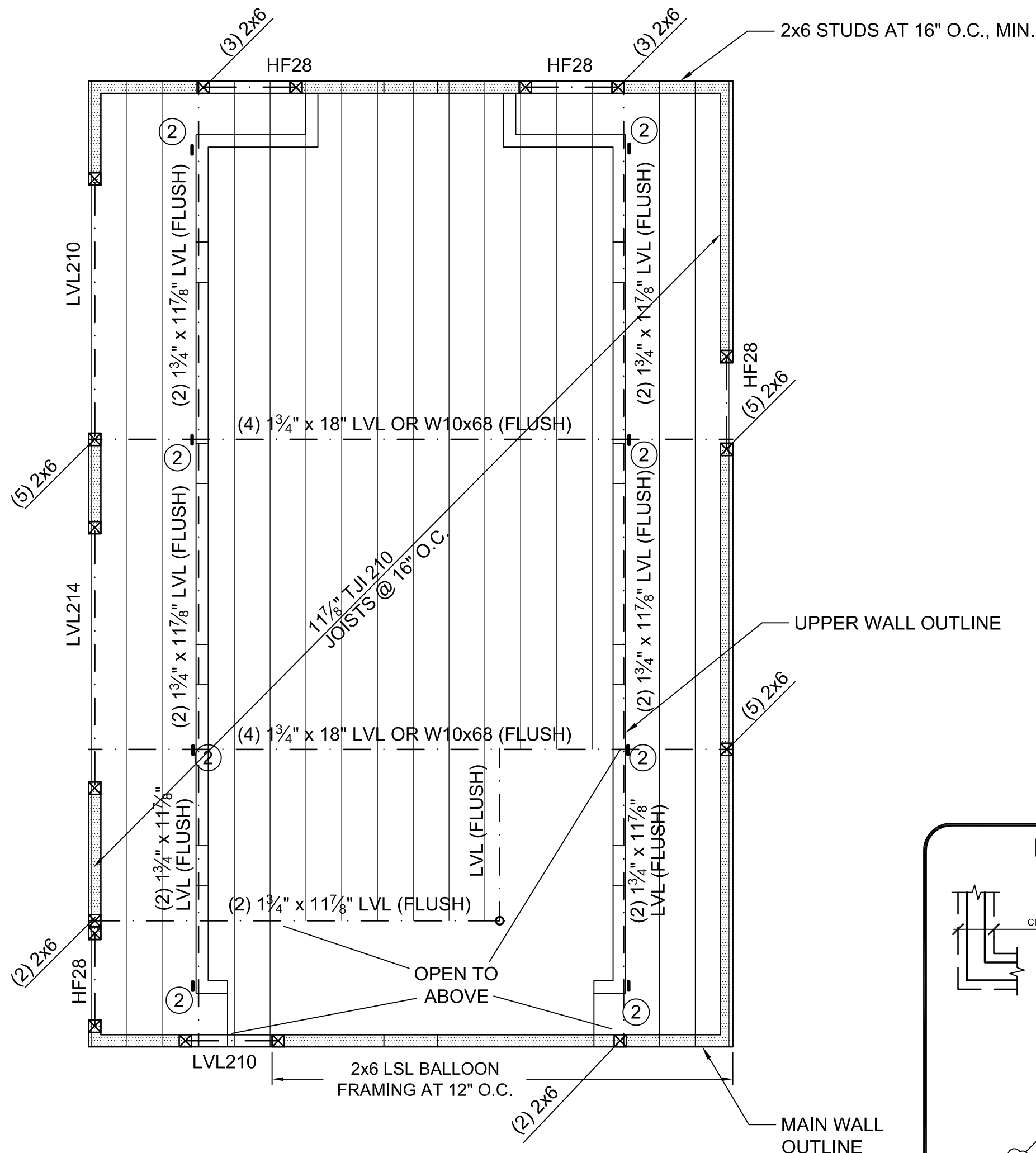


FOUNDATION PLAN

SCALE 1/4" = 1'-0"

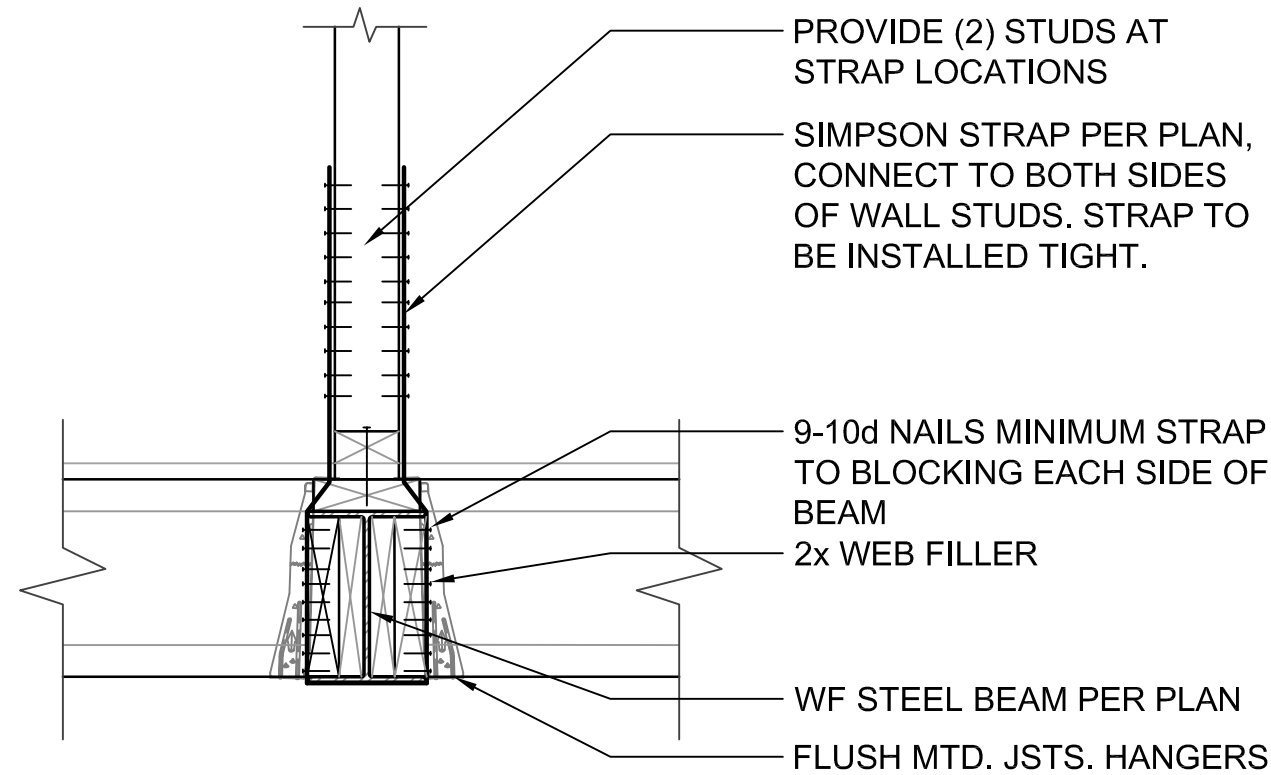


OPTION: FLUSH BEAM DETAIL

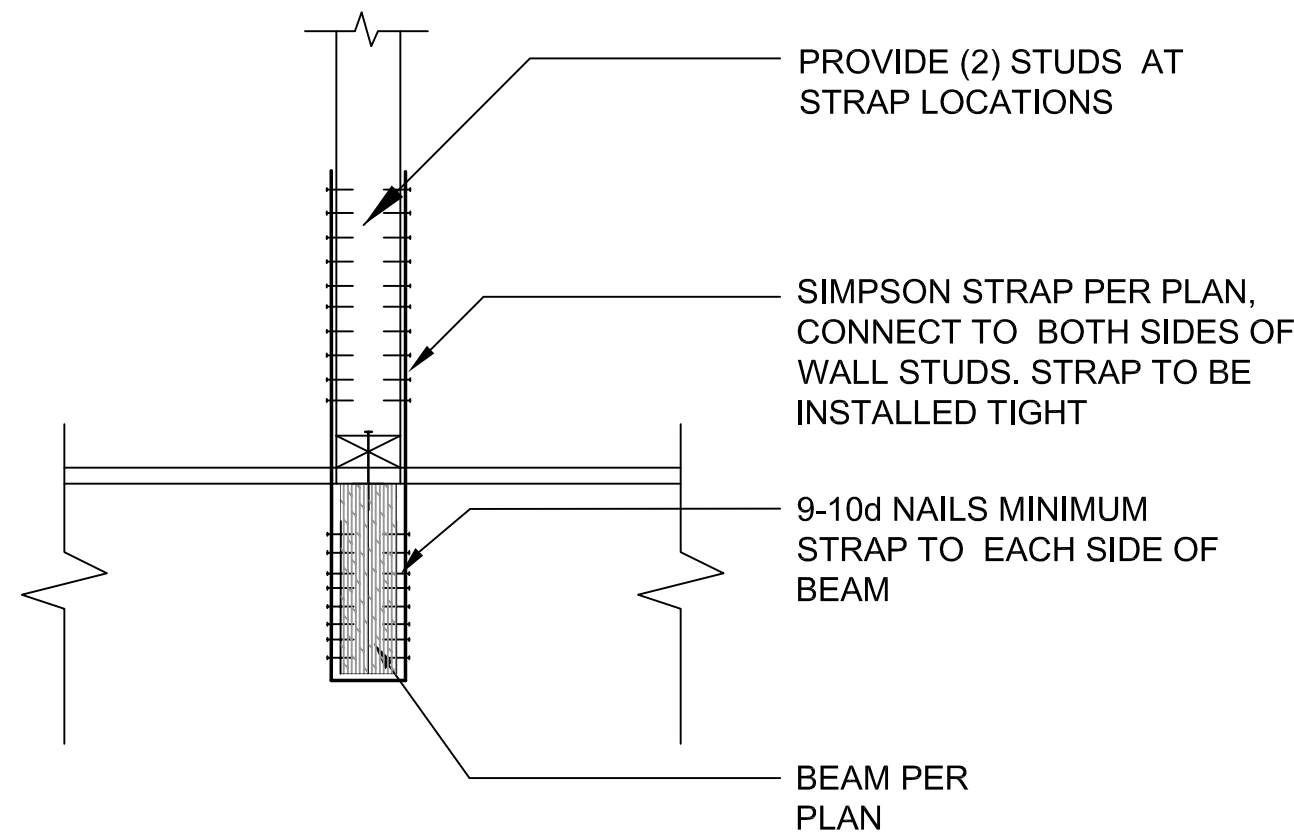


UPPER FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"



WALL TO WF BEAM CONNECTION



WALL TO LVL BEAM CONNECTION

CONCRETE PAD FOOTING SCHEDULE			
PAD	SIZE	REBAR	NOTES
F-20	20"SQ.x8"D	#4 BARS @ 12" ON-CENTER EACH WAY, CENTERED IN DEPTH OF PADS.	ALL PADS TO BEAR UPON UNDISTURBED NATIVE SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.
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F-34x54	34"x54"x10"D	DOWELS PER DETAILS	

FOUNDATION LEGEND

	NUMBER SIGNIFIES WIDTH OF 8' DEEP CONTINUOUS FOOTING
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	ALL FOOTINGS TO BEAR UPON NATIVE UNDISTURBED SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.
	BOTTOM OF FOOTINGS TO BE A MINIMUM 30" (N) BELOW FINISH GRADE.
	PROVIDE "J" DOWELS TO MATCH WALL REINFORCEMENT ABOVE
	FOOTINGS 26" AND WIDER ADD (3) #4 CONT. & (1) #4 TRANS. @ 24" O.C.
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	PADS 32" AND LARGER SHALL BE 10" THICK.

SOILS INFORMATION

REPORT NO. FC07563-120

DATE 10/11/2016

SOILS REPORT BY CTL THOMPSON, INC.

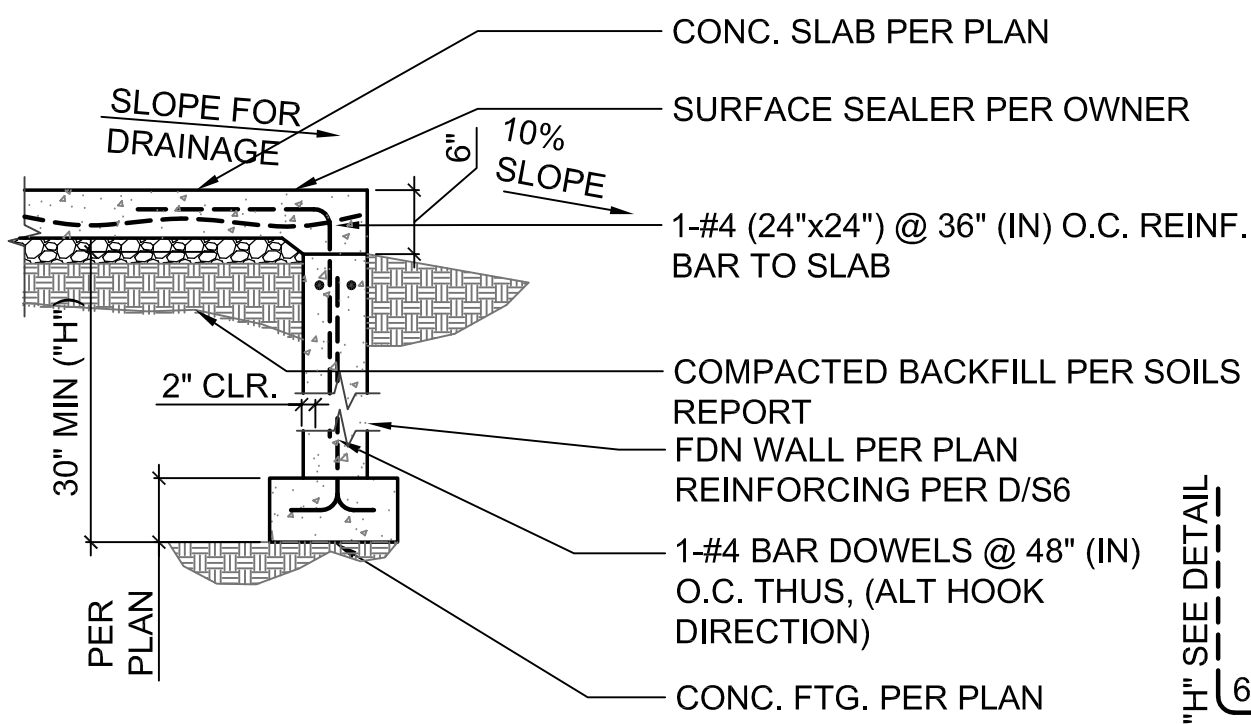
RECOMMENDED SOIL BEARING PRESSURES:

MAX. 2,000 PSF

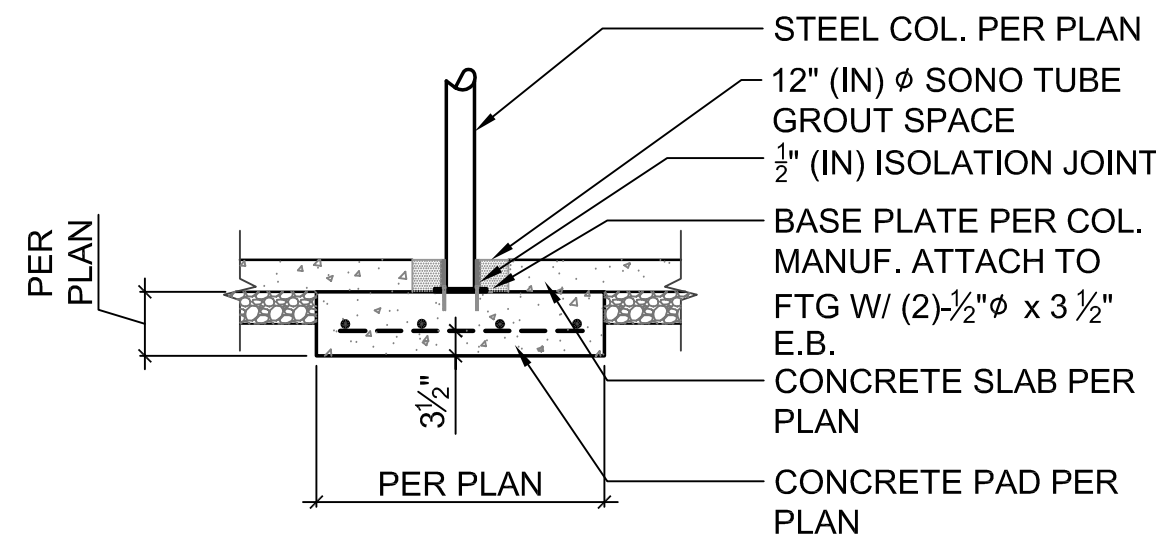
MIN. NONE

BALANCED 600 PSF

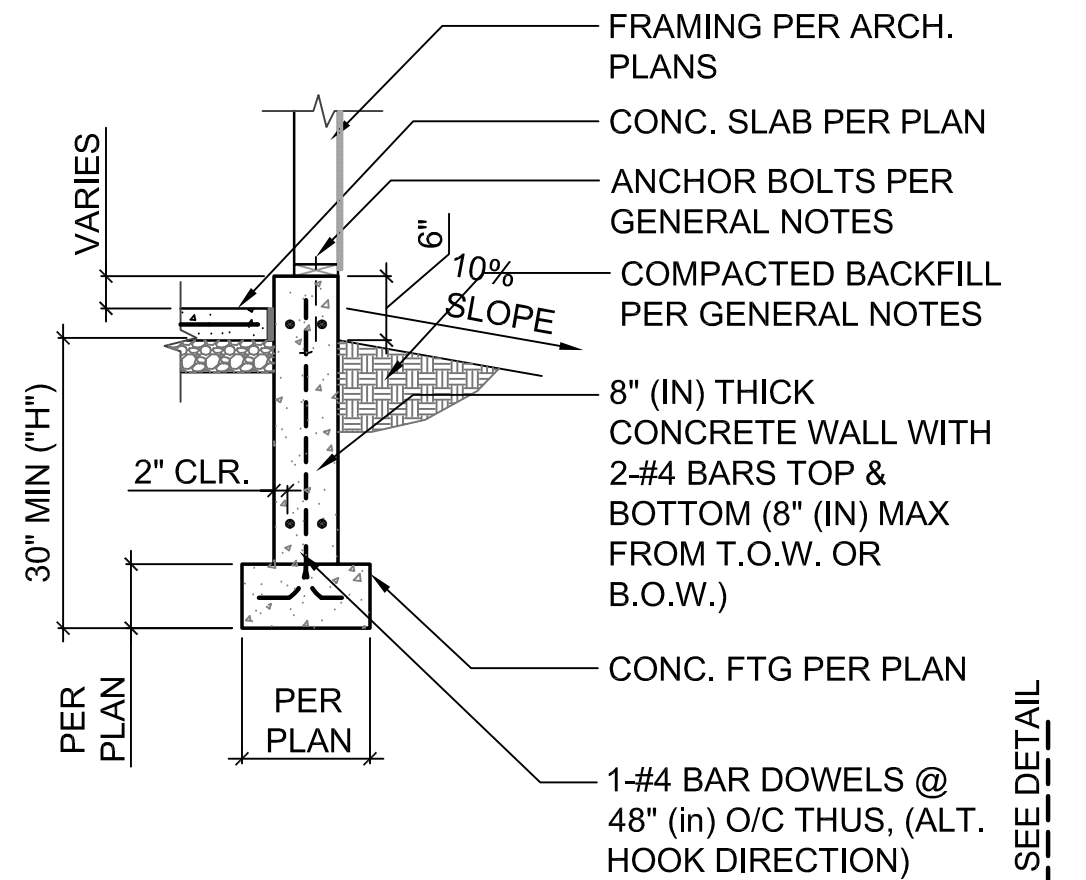
SPECIAL NOTES:



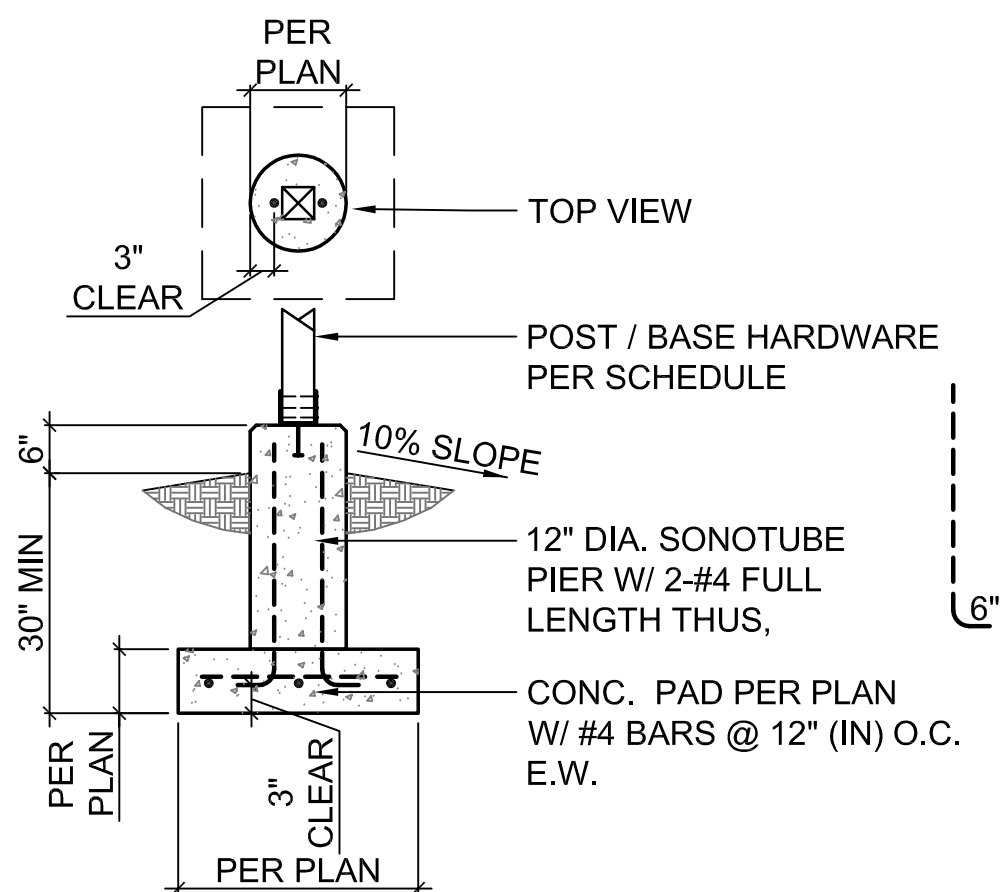
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S6



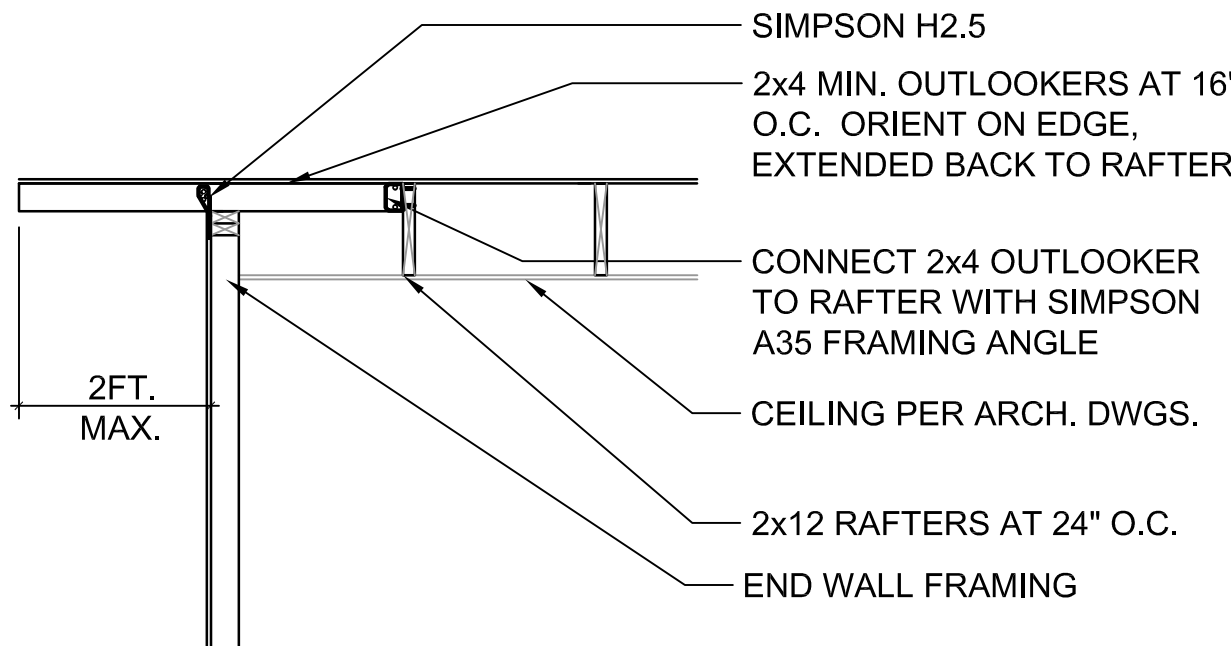
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S6



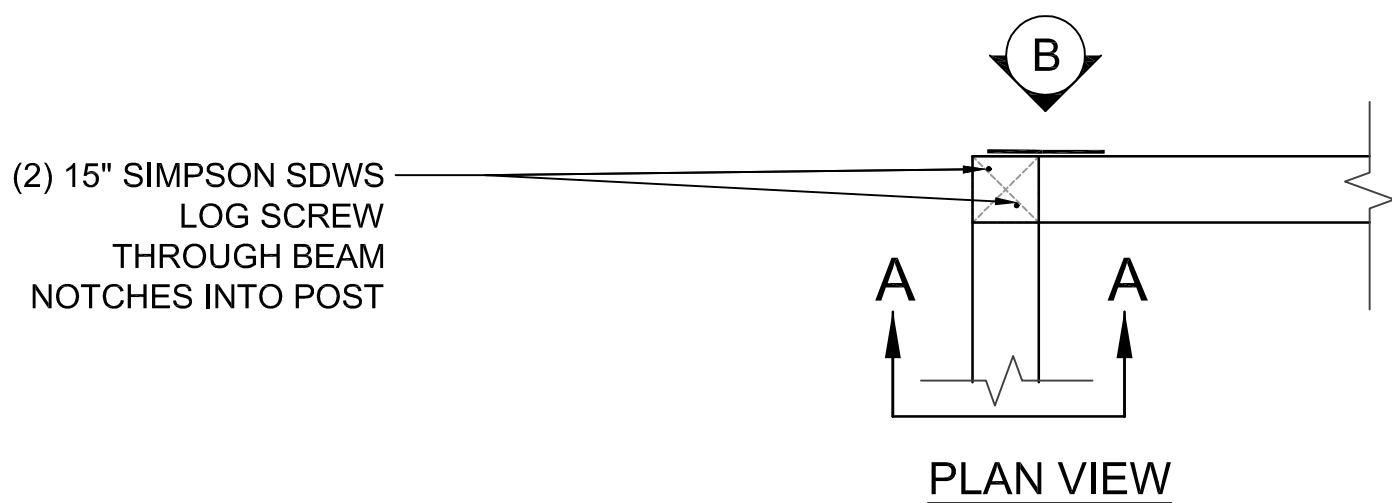
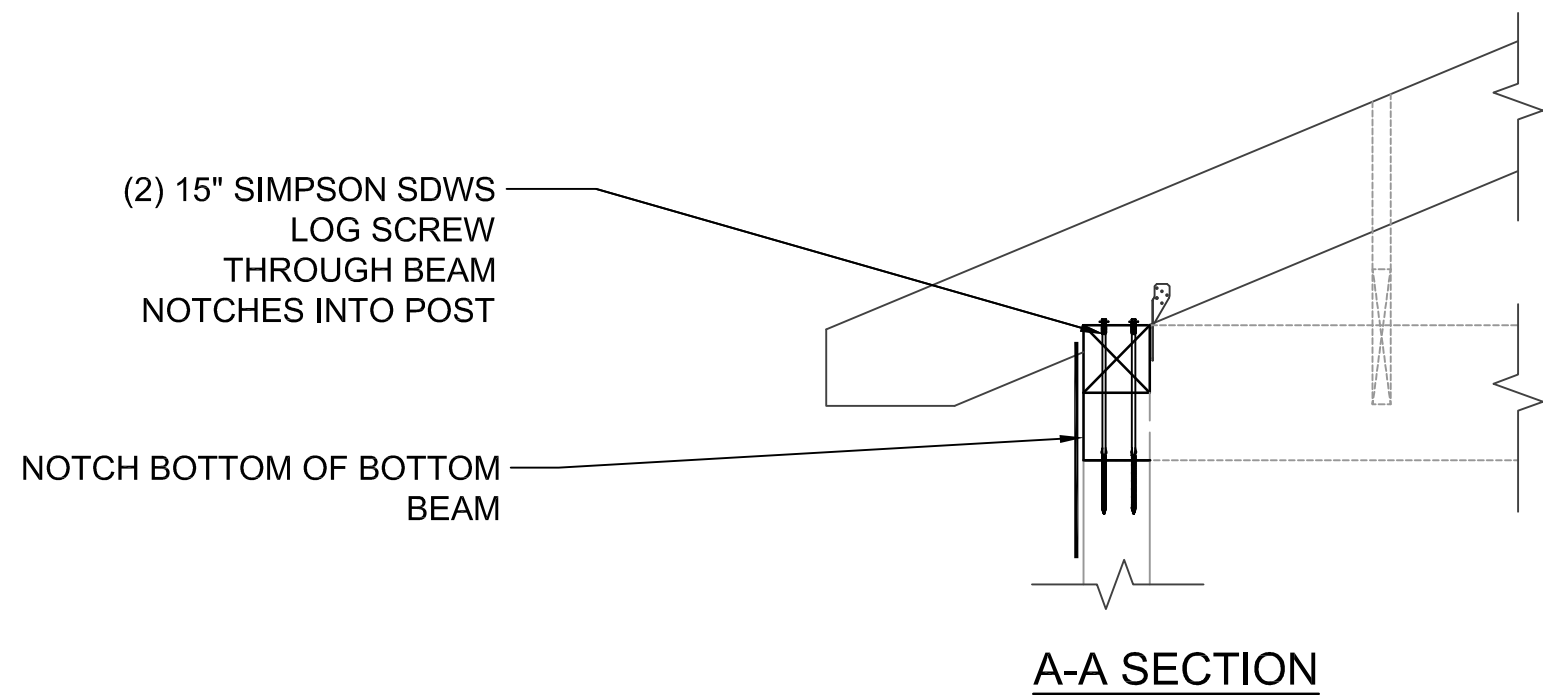
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S6



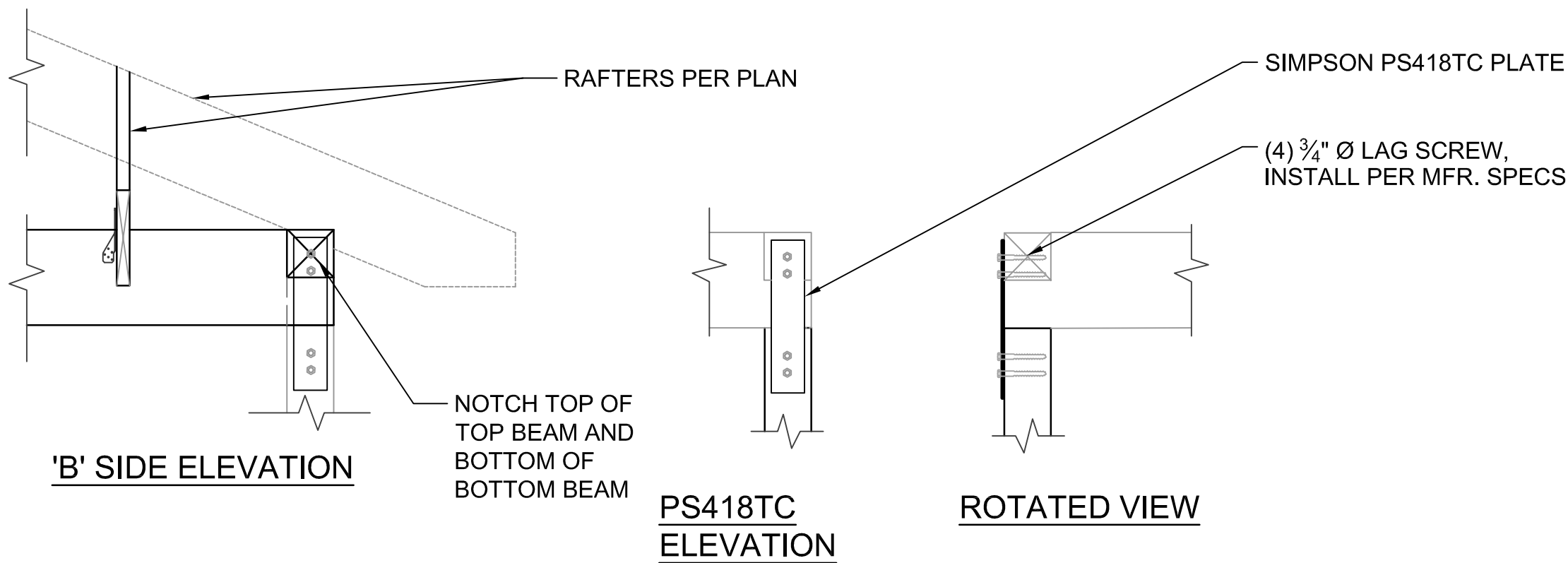
D
S6



OUTLOOKER DETAIL



E
S6 REAR PORCH BEAM DETAILS



POST TO BEAM DETAIL

General Notes:

1. Codes:

This plan was prepared based on the 2012 I-Codes with local amendments and portions of the most recent versions of ACI 318, ACI 332R, AISC Allowable Stress Design thirteenth edition, and the NDS for wood construction.

2. Loads:

This plan is based upon the following load parameters:

Roof: Live Load = 30 PSF

Floor: Live Load = 40 PSF

Wind: Speed = 100MPH (3-sec) Exposure 'B'

Seismic: B

Soils report by: CTL THOMPSON, INC. FC07563-120 , Date: 10/11/2016

Recommended allowable bearing pressures:

Max. 2,000 PSF

Min. NONE

Balanced at 600 PSF

3. Materials:

This plan is based upon the following material properties:

Steel: Structural Steel beams shall conform to ASTM A992 (fy=50 ksi), 3"(in) I.D. adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 30 kips for columns up to 9'-0" in height, 3 1/2" (in) I.D. adjustable steel columns shall be schedule 40 and rated for a safe allowable load of not less than 40 kips for columns up to 9'-0" in height. All adjustable steel columns shall have 1"-3" (in) of thread exposed.

Wood: All dimensional lumber shall be Hem Fir #2 or better unless noted on the plan. All Laminated Veneer Lumber shall have an allowable Flexural stress Fb = 2600 psi and Modulus of Elasticity of E = 1.8x10E6 psi or better. All Laminated Strand Lumber shall have an allowable Flexural stress Fb = 2325 psi and Modulus of Elasticity of E = 1.55x10E6 psi or better. Glued Laminated Lumber shall have an allowable Flexural stress Fb = 2400 psi and Modulus of Elasticity of E = 1.8x10E6 psi or better. All wood in contact with concrete shall be pressure treated or redwood.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G185 hot-dip galvanized, type 304 stainless steel or type 316 stainless steel.

7. Framing:

All framing shall be in accordance with the provisions of 2012 IBC/IRC. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturers specifications. Framing plans shown do not constitute complete gravity or lateral force restraining systems. Refer to the code for additional requirements.

Floors: Floor sheathing shall consist of 3/4" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports as required by code.

All hangers per schedule.

Walls: All exterior wall framing shall be 7/16" Structural rated OSB sheathing over 2x6 HF#2 @ 16" on-center unless noted otherwise. Sheathing shall be attached per the braced wall panel schedule.

Built up columns are 3-2xwall thickness HF#2 or better unless noted otherwise on the plans.

Roof: Roof shall be 7/16" (3/8" span rating) O.S.B. or better with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment and bracing refer to the truss manufacturers recommendations.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

It is the contractors/owners responsibility to verify and coordinate all dimensions prior to construction. These plans are based on the architects plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of the engineer.

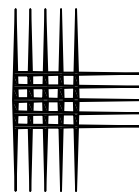
If there are 20 percent of overdriven nails in sheathing, then sheathing must be renailed with proper gun pressure not to break surface of sheathing.

Lap wall sheathing min. 12" below sill plates main and second floors to combat hinge point and run full sheet over top of plate / top of wall.

9. Limitations:

It is the contractors/owners responsibility to verify and coordinate all dimensions prior to construction. Brick ledges, foundation steps, insets, beam pockets, and basement windows, etc. may or may not be shown. This foundation plan is based on the contractor/owner furnished plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of the engineer. We recommend a copy of "A Guide to Swelling Soils for Colorado Home Buyers and Home Owners, Colorado Geological Survey Special Publication #43 be provided to any new or future owners of this property.

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PROJECT LOCATION:

MEYER RESIDENCE ADDITION/REMODELING

641 WHEDBEE STREET
FORT COLLINS, COLORADO

DETAILS AND GENERAL NOTES

REVISION/ISSUE

NO.	DATE	REVISION/ISSUE
1		
2		
3		

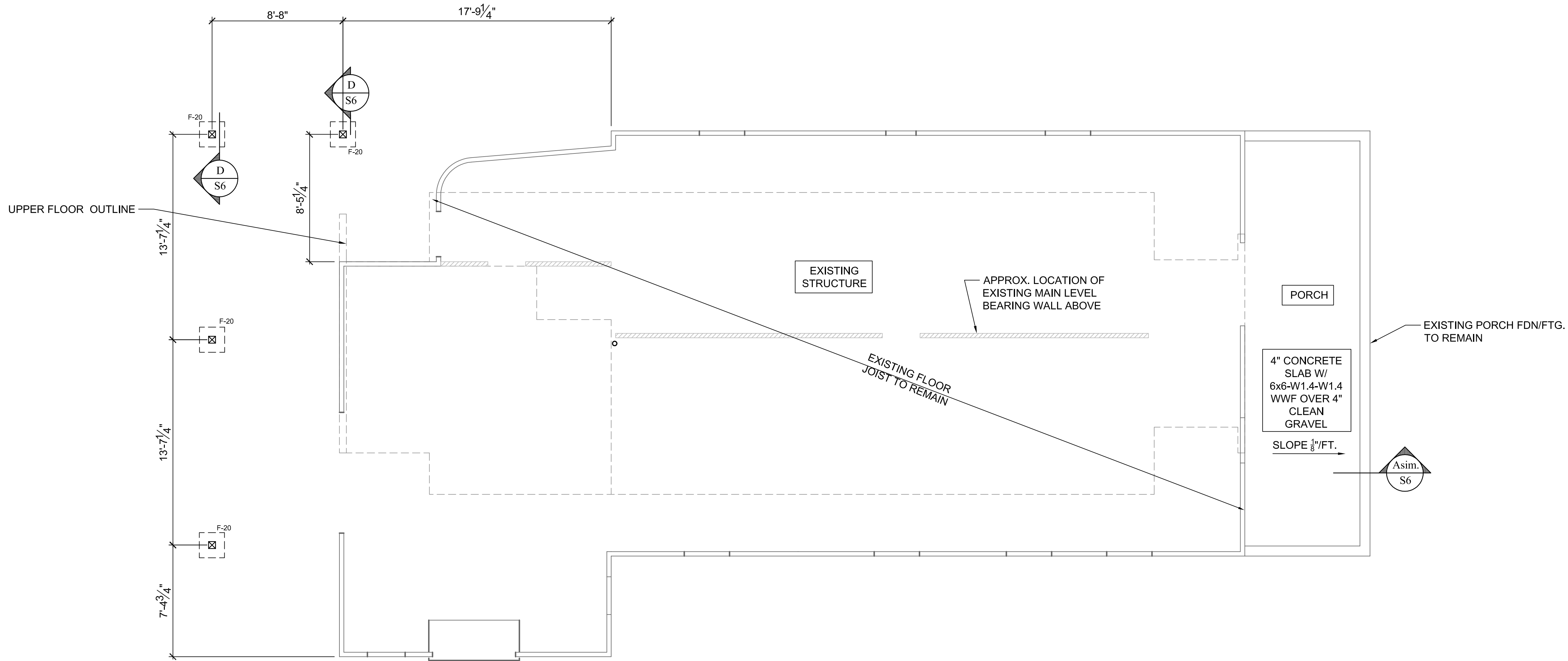
CLIENT:

BLACK TIMBER BUILDERS
219 ELIZABETH ST.
FORT COLLINS, CO.
contact: KYLE MEYER
(720)-454-2991

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PER PLAN	

HANGER SCHEDULE	
CONNECTION LOCATION	CONNECTOR
I-JOIST TO FLUSH WOOD BEAM	IUS-SERIES
(2) I-JOIST TO FLUSH WOOD BEAM	MIU-SERIES
SAWN JOIST TO FLUSH WOOD BEAM	LUS-SERIES
(1) LVL TO FLUSH WOOD BEAM	HU-SERIES
(2) LVL TO FLUSH WOOD BEAM	HU-SERIES
(3) LVL TO FLUSH WOOD BEAM	HU-SERIES
I-JOIST RAFTER TO RIDGE BEAM	LSSU OR LSSU OR HU-SERIES
SAWN RAFTER TO RIDGE BEAM	LSSU OR HU-SERIES
WOOD POST TO FOUNDATION	ABU-SERIES
WOOD POST TO BEAM ABOVE	BC-SERIES
I-JOIST TO FLUSH STEEL BEAM	ITS-SERIES
(2) I-JOIST TO FLUSH STEEL BEAM	ITS-SERIES
(1) LVL TO FLUSH STEEL BEAM	ITS-SERIES
(2) LVL TO FLUSH STEEL BEAM	ITS-SERIES
(3) LVL TO FLUSH STEEL BEAM	HB-SERIES
DECK PSL TO WOOD COLUMN	HUCQ-SERIES

* - THIS HANGER MAY BE SPECIAL ORDER FOR THE APPLICATION LISTED ABOVE.
NOTE: FOR EXTERIOR APPLICATIONS WHERE ACQ TREATED LUMBER WILL BE USED, ALL HANGERS MUST HAVE ZMAX CORROSION PROTECTION.



NOTE: ORIGINAL FOUNDATION WHERE NEW COLUMNS LAND MUST BE OBSERVED BY CTL PRIOR TO LOADING OF COLUMNS

CONCRETE PAD FOOTING SCHEDULE			
PAD	SIZE	REBAR	NOTES
F-20	20"SQ.x8"D	#4 BARS @ 12" ON-CENTER EACH WAY, CENTERED IN DEPTH OF PADS.	ALL PADS TO BEAR UPON UNDISTURBED NATIVE SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.
F-34	34"SQ.x10"D		
F-34x54	34"x54"x10"D		
		DOWELS PER DETAILS	TOP OF PAD EQUAL BOTTOM OF SLAB.

FOUNDATION LEGEND

NUMBER SIGNIFIES WIDTH OF 8" DEEP CONTINUOUS FOOTING

ALL FOOTINGS TO BEAR UPON NATIVE UNDISTURBED SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.

BOTTOM OF FOOTINGS TO BE A MINIMUM 30" (N) BELOW FINISH GRADE.

PROVIDE "J" DOWELS TO MATCH WALL REINFORCEMENT ABOVE

FOOTINGS 26" AND WIDER ADD (3) #4 CONT. & (1) #4 TRANS. @ 24" O.C.

NUMBER SIGNIFIES DIMENSION OF 8" DEEP SQUARE CONCRETE PAD FOOTING

ALL PADS TO BEAR UPON UNDISTURBED NATIVE SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.

TOP OF PAD EQUAL BOTTOM OF SLAB.

#4 BARS @ 12" ON-CENTER EACH WAY, 3/4" FROM BOTTOM OF PADS.

PADS 32" AND LARGER SHALL BE 10" THICK.

SOILS INFORMATION

REPORT NO. FC07563-120

DATE 10/11/2016

SOILS REPORT BY CTL THOMPSON, INC.

RECOMMENDED SOIL BEARING PRESSURES:

MAX. 2,000 PSF

MIN. NONE

BALANCED 600 PSF

SPECIAL NOTES:



FOUNDATION PLAN

SCALE 1/4" = 1'-0"

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PROJECT LOCATION:

MEYER RESIDENCE ADDITION/REMODELING

641 WHEDBEE STREET
FORT COLLINS, COLORADO

FOUNDATION PLAN

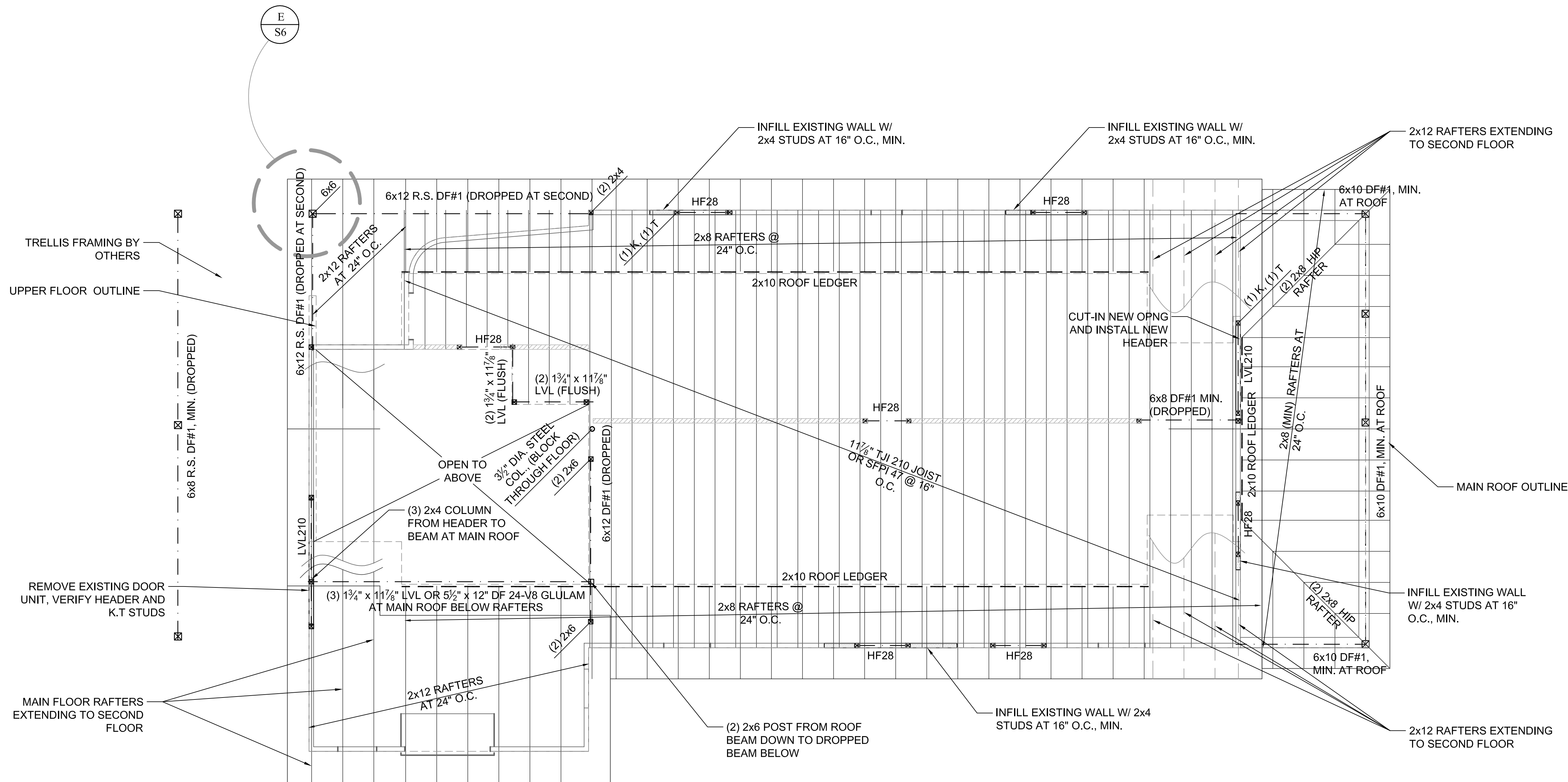
NO.	DATE	REVISION/ISSUE
1		
2		
3		

CLIENT:

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SBH DES FC07563.000 10/13/2016 PER PLAN

S1
S6

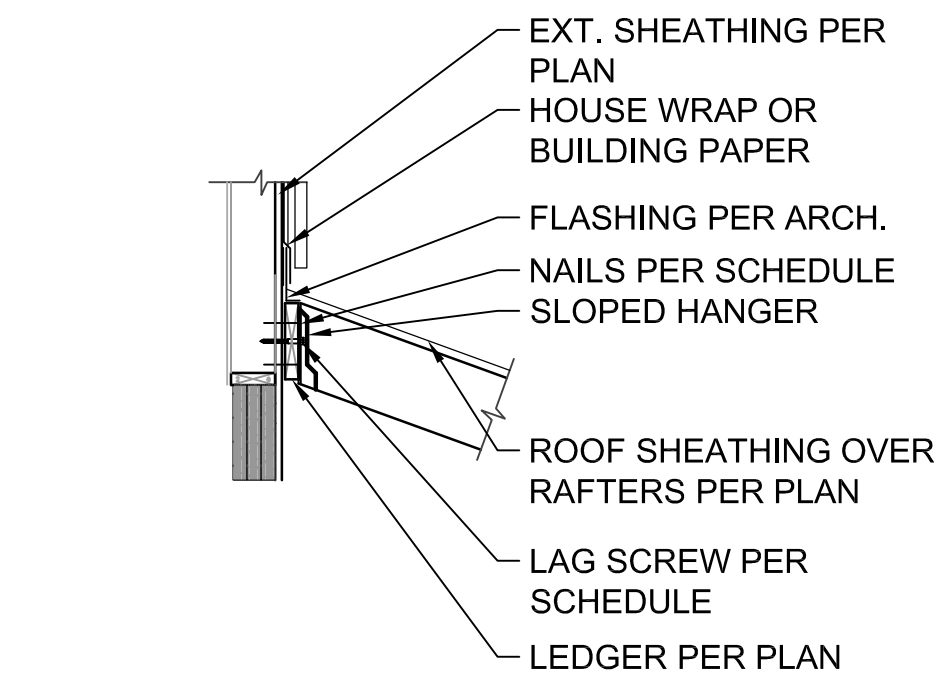


NOTE: ALL EXISTING
HEADERS TO BE
HF28 MINIMUM.



LOWER ROOF/ UPPER FLOOR FRAMING PLAN

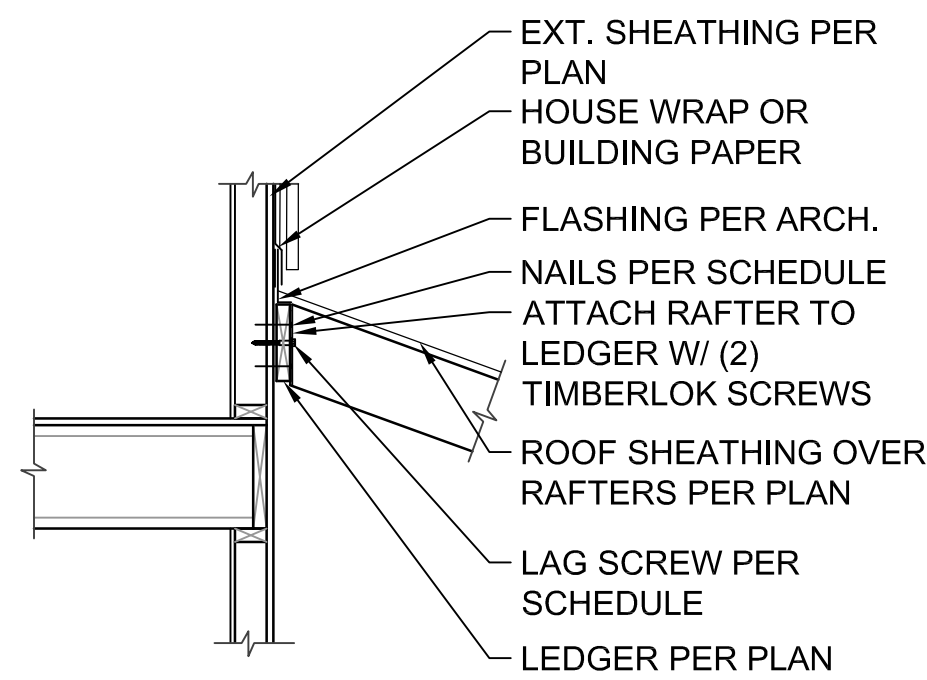
SCALE 1/4" = 1'-0"



RAFTER LEDGER
ATTACHMENT DETAIL

RAFTER LEDGER ATTACHMENT SCHEDULE			
RAFT SPAN	6-10 (ft)	11-14 (ft)	15-20 (ft)
FASTENERS			
1/2" Ø X 3 1/2" LAG SCREWS W/ WASHERS OR 1/2" DIA. SDWS SCREWS	(1) @ 16"(in.) O.C. STAGGER T&B	(2) @ 16"(in.) O.C.	(3) @ 16"(in.) O.C.
16d COMMON NAILS	(2) @ 16" O.C. EVENLY SPACED IN JOIST BAY	(3) @ 16" O.C. EVENLY SPACED IN JOIST BAY	(4) @ 16" O.C. EVENLY SPACED IN JOIST BAY

NOTE: BOTH LAG SCREWS AND NAILS SHOWN ARE REQUIRED FOR ALL SPANS.



RAFTER LEDGER
ATTACHMENT DETAIL

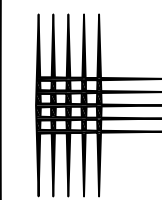
HEADER SCHEDULE				
HEADER	SIZE	MATERIAL	LSL OPTION	TRIMMERS
HF28	2-2x8	HEM-FIR #2	3 1/2" X 5 1/2"	(1) 2x
LVL28	2-1 3/4"x7 1/4"	LVL	N/A	(2) 2x
LVL210	2-1 3/4"x9 1/2"	LVL	N/A	(3) 2x
LVL214	2-1 3/4"x14"	LVL	N/A	(4) 2x

KING STUD SCHEDULE		
OPENING WIDTH	# OF KING STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS	
FROM TO		
12" 2'-11"	(1) 2x	
3'-0" 5'-0"	(2) 2x	
5'-1" 8'-0"	(3) 2x	
8'-1" 11'-11"	(4) 2x	
12'-0" 16'-4"	(5) 2x	

#T #K	T= NUMBER OF TRIMMER STUDS EACH SIDE K= NUMBER OF KIND STUDS EACH SIDE
-------	---

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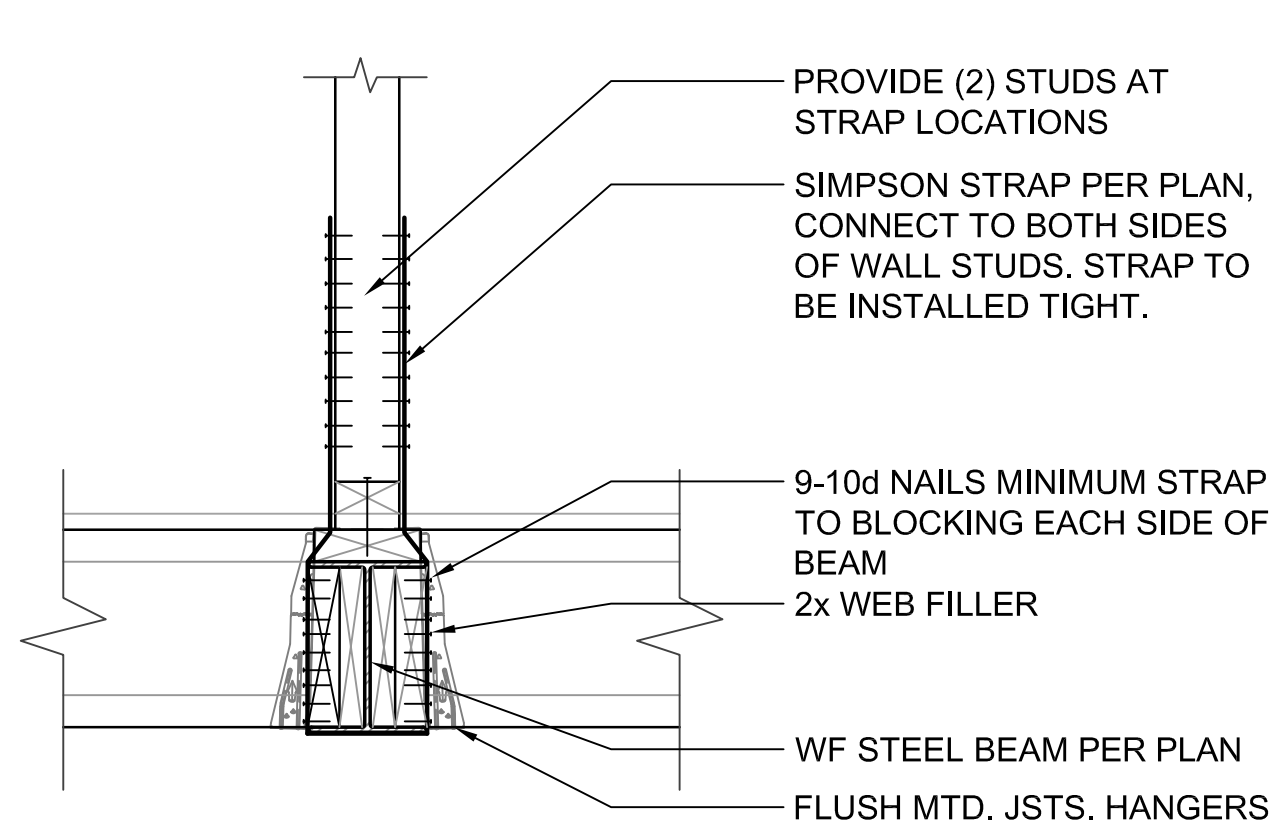
PROJECT LOCATION:
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641 WHEDBEE STREET
FORT COLLINS, COLORADO

LOWER ROOF/UPPER
FLOOR FRAMING PLAN

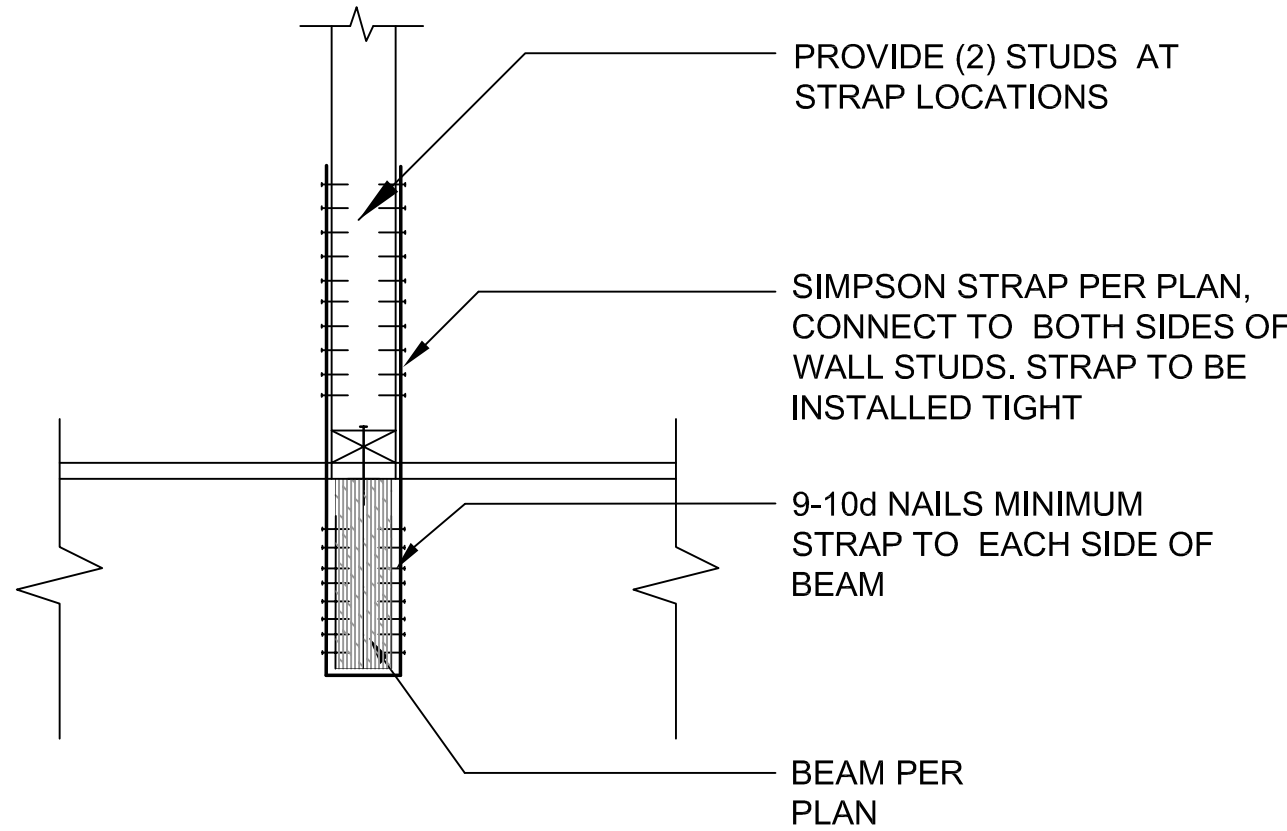
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S2
S6



WALL TO WF BEAM CONNECTION



WALL TO LVL BEAM CONNECTION

BRACED WALL PANEL SCHEDULE - STUDS @ 16"						
WALL DESIGNATION	RATED STRUC. SHEATHING TYPE	SHTH. THICKNESS MINIMUM	HORIZONTAL EDGES BLOCKED?	CONNECTOR TYPE (OR EQUAL)	EDGE SPACING	FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	OSB or PLYWOOD EXTERIOR ONLY	7/16"	YES (NOTE 2)	8d COMMON	6"	12"
				16 ga 1 3/4" STAPLES	3"	6"
1	OSB or PLYWOOD EXTERIOR ONLY	7/16"	YES (NOTE 2)	8d COMMON	4"	12"

⌞ INDICATES SIMPSON HOLD-DOWN STRAP. ATTACH PER DETAILS. | INDICATES SIMPSON FLAT STRAP. EXTEND TO BEAM OR WALL BELOW.

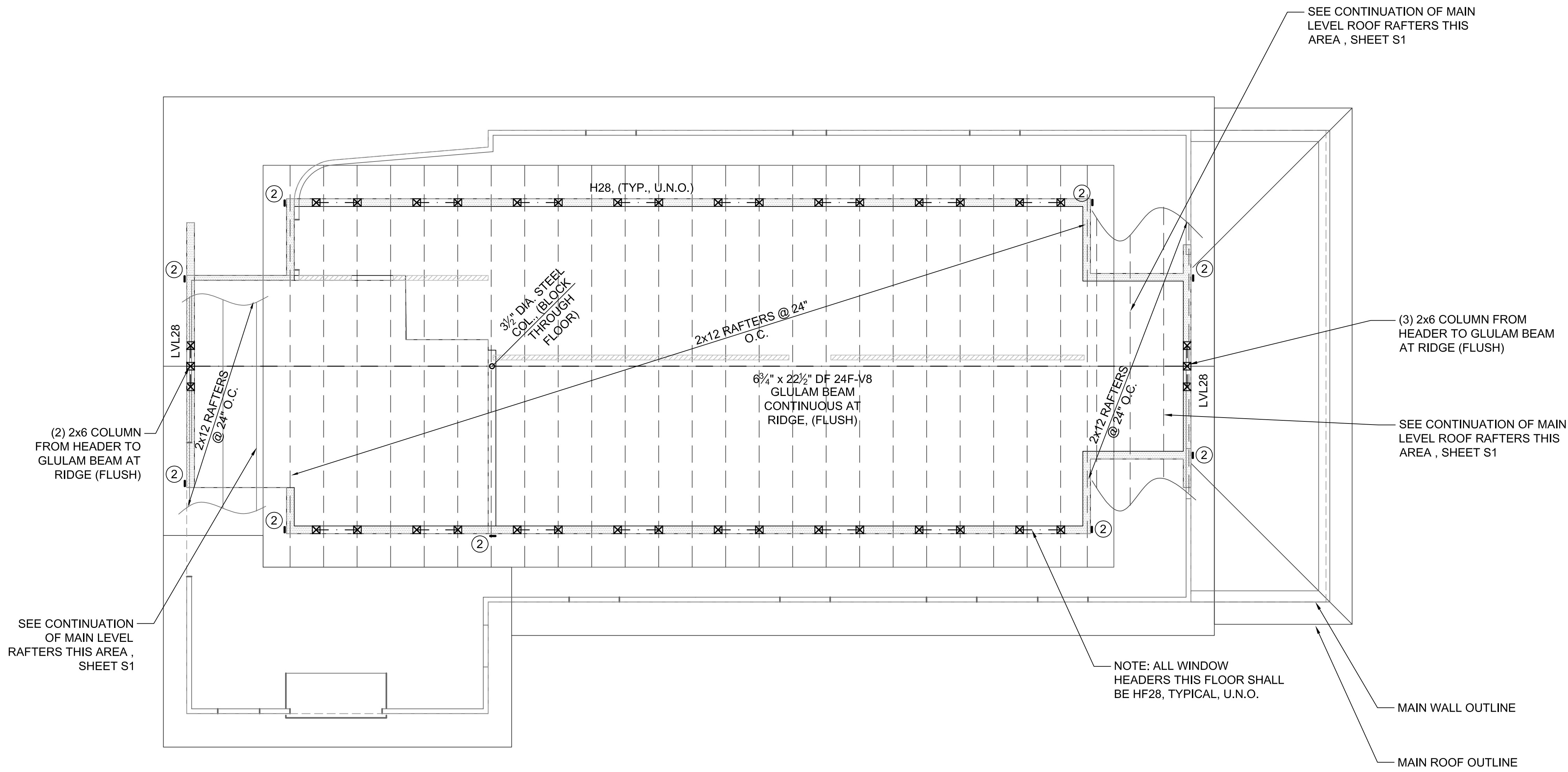
NOTES:
1. ALL EXTERIOR SHEATHING VERTICAL EDGES SHALL FALL UPON 2X4 OR 2X6 STUDS SPACED 16" O/C TYP (SEE PLAN).
2. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIAL SHOWN ABOVE.
3. EXTERIOR WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH IRC TABLE 602.3 (1).
4. WHERE JOISTS ARE PERPENDICULAR TO INTERIOR BRACED WALL LINES ABOVE, BLOCKING SHALL BE PROVIDED UNDER AND IN-LINE WITH THE BRACED WALL PANELS.
5. WHERE JOISTS ARE PARALLEL TO THE INTERIOR BRACED WALL LINES ABOVE DOUBLE JOISTS SHALL BE INSTALLED UNDER AND IN-LINE WITH THE BRACED WALL LINE ABOVE.
6. ATTACH BOTTOM PLATE OF INTERIOR WIND SHEAR WALLS TO BLOCKING/BEAMS WITH (3) 16d COMMON NAILS AT 16" (in.) O.C. (OR (1) 16d COMMON NAIL AT 5" (in.) O.C.)
7. WIND SHEAR WALLS DESIGNED USING CODE-PRESCRIPTIVE CONTINUOUS SHEATHING (CS), WOOD STRUCTURAL PANEL (WSP), GYPSUM BOARD (GB) METHODS, AND/OR ACCEPTED ENGINEERING PRACTICE

HOLDDOWN (HD) SCHEDULE			
HD #	SYMBOL	MANUF. / MODEL	NOTES*
1	T	SIMPSON STHD14RJ	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)
2	—	SIMPSON MSTC40	EQUAL LENGTH OF STRAP TOP AND BOTTOM OVER RIM. STRAP EACH SIDE OF WALL TO BEAM BELOW.

HEADER SCHEDULE				
HEADER	SIZE	MATERIAL	LSL OPTION	TRIMMERS
HF28	2-2x8	HEM-FIR #2	3 1/2" X 5 1/2"	(1) 2x
LVL28	2-1 3/4"x7 1/4"	LVL	N/A	(2) 2x
LVL210	2-1 3/4"x9 1/2"	LVL	N/A	(3) 2x
LVL214	2-1 3/4"x14"	LVL	N/A	(4) 2x

KING STUD SCHEDULE		
OPENING WIDTH	# OF KING STUDS PER SIDE UNLESS NOTED OTHERWISE ON PLANS	
FROM	TO	
12"	2'-11"	(1) 2x
3'-0"	5'-0"	(2) 2x
5'-1"	8'-0"	(3) 2x
8'-1"	11'-11"	(4) 2x
12'-0"	16'-4"	(5) 2x

#T #K	T=NUMBER OF TRIMMER STUDS EACH SIDE	K=NUMBER OF KING STUDS EACH SIDE
-------	-------------------------------------	----------------------------------



UPPER ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"

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PROJECT LOCATION:
MEYER RESIDENCE ADDITION/REMODELING
641 WHEBEE STREET
FORT COLLINS, COLORADO

UPPER ROOF FRAMING PLAN	
NO.	DATE
1	
2	
3	

CLIENT:
BLACK TIMBER BUILDERS
219 ELIZABETH ST.
FORT COLLINS, CO.
contact: KYLE MEYER
(720)-454-2991

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