

Jim Bertolini

From: Jim Bertolini
Sent: Friday, December 6, 2019 11:38 AM
To: Ryan Haro
Cc: Nathaniel Shea
Subject: RE: B1915484 - 147 S. College - Fort Collins

Thanks Ryan! I've reviewed the materials and found them consistent with 3.4.7 of the Land Use Code. I've cleared the Historic Preservation hold on this project. Please let me know if you have any questions. Cheers!

JIM BERTOLINI

Pronouns: he/him/his
Historic Preservation Planner
Community Development & Neighborhood Services
281 North College Avenue
970-416-4250 office
jbortolini@fcgov.com

From: Ryan Haro <RHaro@tanek.com>
Sent: Tuesday, December 3, 2019 7:52 AM
To: Rachel Besel <rbesel@fcgov.com>
Cc: Jim Bertolini <jbortolini@fcgov.com>; Nathaniel Shea <NShea@tanek.com>
Subject: RE: B1915484 - 147 S. College - Fort Collins

Rachel,

Per Jim Bertolini, we are providing the updated plan sheets related to historic review comments for the project: Brothers Bar & Grill at 147 S. College Avenue. We have revised the back of building to retain the existing masonry rough openings in lieu of creating a larger opening.

The version 2 PDF set includes the five revised sheets.

A100:

Edited the first floor demo plan 1/a100 to reflect the existing wall opening is retained.

A111:

Edited keynote 22 and the affected area of first floor on 1/a111.

A121:

Edited the first floor reflected ceiling 1/a121 to show the existing rough opening is maintained.

A200:

Edited elevation 1/a200 to show the existing rough opening is maintained.

A310:

Edited 1/a310 to confirm the existing rough opening is maintained. Edited 2/a310 to show the existing rough opening is maintained.

Ryan Haro
Project Director
612-879-8225 x16

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DEMO NOTES BASEMENT:

- A REVIEW CONDITION OF EXISTING STAIR TREADS AND RISERS. PREP FOR NEW VINYL FINISH. REMOVE OLD HANDRAILS FOR NEW.
- B AREA OF EXISTING STAIR TO BE REMOVED AND FLOOR INFILLED.
- C REMOVE ANY EXISTING FLOOR FINISH AND PREP FOR NEW VINYL FLOOR. VERIFY THE OFFICE FLOOR FINISH WITH TENANT.
- D REMOVE EXISTING CEILING FINISHES AND PREP FOR NEW ACT. CEILING. EXISTING LIGHTING TO BE REMOVED AND REPLACED.
- E PATCH OR RE-FACE WALLS AND ANY EXISTING WALL. BASE. PREP FOR NEW PAINT OR FRP. (VERIFY AGAINST FINISH PLAN).
- F DEMO OPENING FOR 4'-0"X10'-0" FINISHED OPENING PASS THROUGH.

GENERAL DEMO NOTES:

THE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE BEING SUBSTANTIALLY RE-DESIGNED AND REPLACED SO EXTENSIVE DEMO IS ANTICIPATED AS ALL SYSTEMS AND KITCHEN EQUIPMENT IS BEING REPLACED.

NOTE THAT THE RESTROOM, KITCHEN AND BAR FUNCTIONS ON FIRST FLOOR ARE IN REVISED LOCATIONS IN COMPARISON TO THOSE BEING DEMO'D.

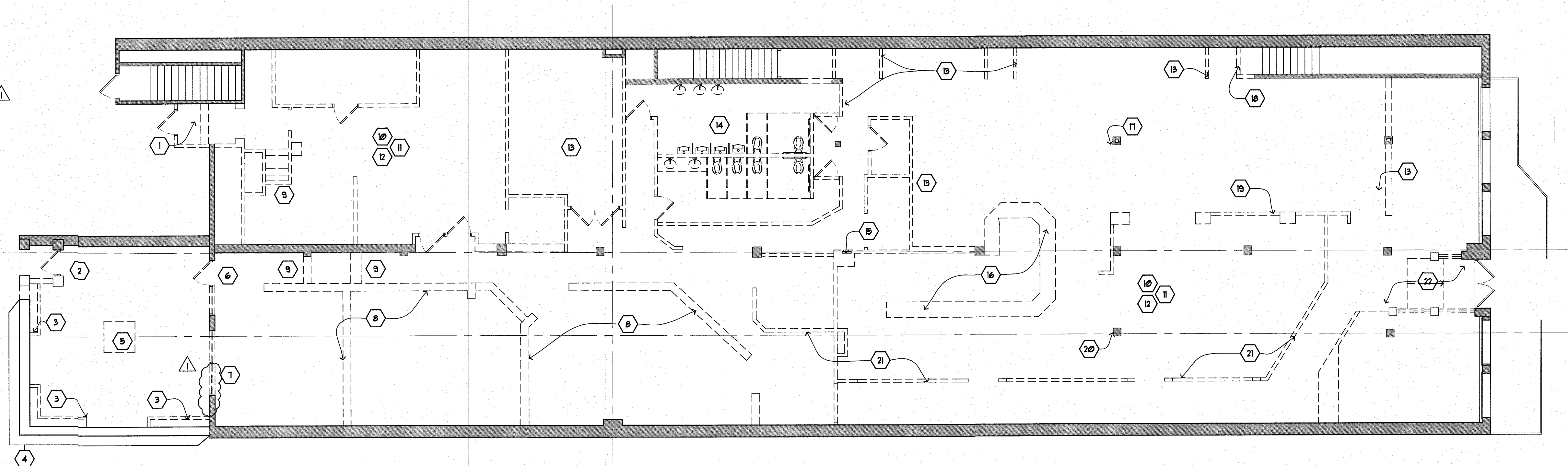
FIELD VERIFICATION IS REQUIRED TO ACCESS THE MEMBRANE CEILING IN THE BASEMENT AND FIRST FLOOR TO PATCH REPAIR TO MAINTAIN A IHR SEPARATION.

INCORPORATE FOR EXTENSION OF SPRINKLER SYSTEM INTO FIRST FLOOR TENANT SPACE.

DEMO NOTES FIRST FLOOR:

- 1 DEMO INTERIOR STAIR AND VESTIBULE/LANDING. PREP AND RE-GRADE FOR PATCH PAVING.
- 2 DEMO EXISTING GATE AND SOUTH BRICK ALCOVE PILASTERS AND WALL SEGMENT. EXCAVATE TO PROFILE OF NEW EXIT DESIGN FOR FOOTINGS EXTENSION.
- 3 DEMO BRICK PLANTERS.
- 4 PARTIAL REMOVAL OF WEST AND SOUTH BRICK WALLS. SALVAGE BRICK FOR RE-USE.
- 5 REMOVE FIRE PIT. FIELD VERIFY EXISTING GAS LINE FOR REUSE.
- 6 DEMO EXISTING DOOR AND WINDOW. PREP OPENING FOR NEW EXIT DOORS. MAINTAIN EXISTING ROUGH OPENING.
- 7 DEMO WINDOW. DEMO SILL. BRICK FOR NEW OH. DOOR AND FLUSH THRESHOLD. MAINTAIN EXISTING ROUGH OPENING.
- 8 DEMO RAISED FLOORS, PARTIAL HEIGHT WALLS AND ALL FINISHES.
- 9 REMOVE EXISTING STEPS AND PLATFORMS.
- 10 DEMO EXISTING PARTITION WALLS AND FINISHES FROM ANY REMAINING WALLS.
- 11 DEMO EXISTING FLOOR FINISHES INCLUDING WOODS FLOORS DOWN TO THE SUB-FLOOR, TYPICAL.
- 12 DEMO FINISH CEILING, LIGHTING, HVAC UP TO THE PLASTER DECK, TYPICAL.
- 13 DEMO PARTITION WALLS SHOWN DASHED.
- 14 DEMO EXISTING RESTROOMS ENTIRELY.
- 15 VERIFY NATURE OF ANY COLUMN STRUCTURE IN THIS WALL.
- 16 DEMO EXISTING BAR AREA.
- 17 VERIFY IF COLUMN EXISTS WITHIN THIS PILASTER.
- 18 SEE CONSTRUCTION PLAN - DEMO BRICK WALL FOR REVISED STAIR LANDING.
- 19 DEMO FAUX PILASTERS AND ARCHES.
- 20 FIELD VERIFY COLUMN TYPE IN THIS AREA.
- 21 DEMO PARTITION WALLS.
- 22 DEMO EXISTING INTERIOR VESTIBULE AND ALL HVAC OVERHEAD. DO NOT DISTURB HISTORIC STOREFRONT ASSEMBLY.
- 23 ...

2 DEMO PLAN BASEMENT
1/8" = 1'-0"



1 DEMO PLAN FIRST FLOOR
1/8" = 1'-0"

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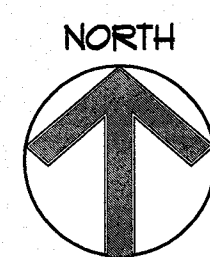
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Fort Collins, CO 80524

FF&F of
Highlands Ranch,
LLC
308 3rd Street South
La Crosse, WI 54601

SEAL
NATHANIEL J. SNEA
No. 306216
STATE OF COLORADO
10.16.2019
signature

scale as noted
name nws/rh

revision 11.25.2019
permit issue 10.16.2019
D.D. review 8.01.2019
demo plans



a100
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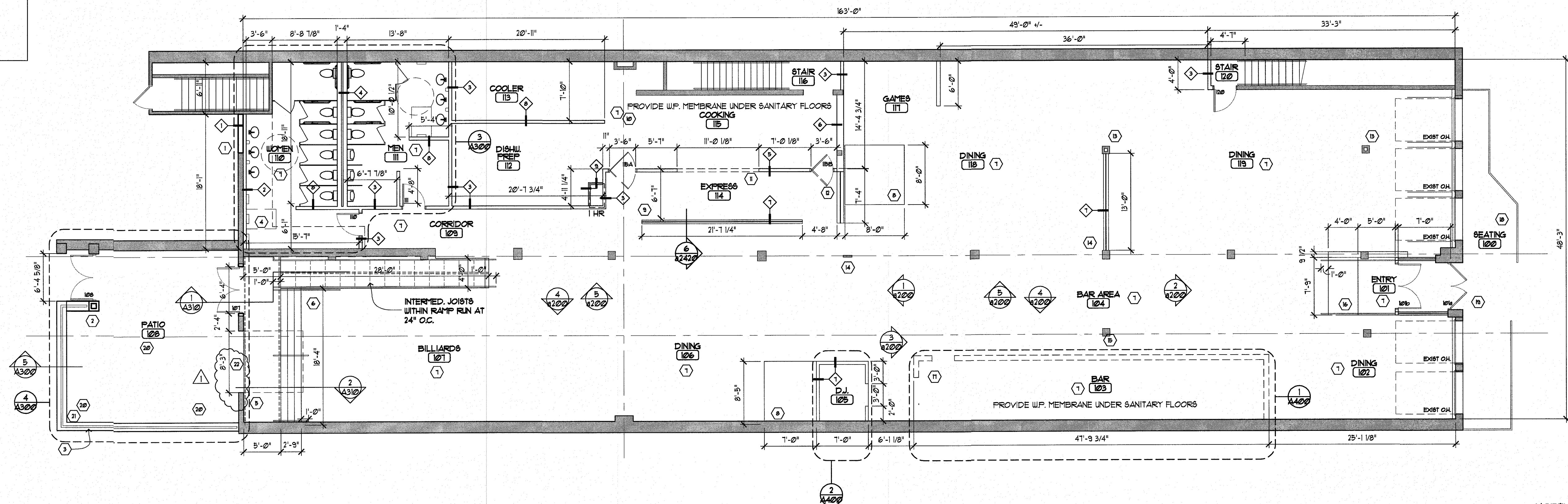
- (1) REMOVE EXISTING STAIR VESTIBULE. PROVIDE INFILL AND GROUNDING WITH PATCH RAIL BUTTERFLY SLOPED FOR DRAINAGE AWAY FROM BUILDING. VERIFY EXTENT OF PAINTING TO MATCH EXISTING COLOR WITH THE TENANT.
- (2) NEW BRICK PILASTER TO MATCH STYLE OF EXISTING FROM SALVAGED BRICK. PROVIDE LEVEL LANDING AT EXIT GATE.
- (3) REDUCED HEIGHT BRICK WALL WITH CONIC CAP AND ORN. METAL FENCE TO 6'-0" ELEV. TOTAL.
- (4) FLOOR FRAMING INFILL AND SUBFLOOR ASSEMBLY. FIELD VERIFY EXISTING STAIR OPENING FRAMING. REPORT TO ARCHITECT TO ENABLE NEW INFILL DESIGN.
- (5) NEW RAISED WOOD FLOOR AND STEPS.
- (6) NEW ADA RAMP & RAILINGS WITH CONT. DETECTION RAIL AT 4' EL.
- (7) TYPICAL: NEW FINISH FLOOR OVER SUBFLOOR. SEE FINISH PLAN FOR FLOOR TYPES. FIELD VERIFY CONDITION OF THE SUBFLOOR.
- (8) REMOVABLE RAISED FLOOR PLATFORM.
- (9) COORD. WALL WITH MILLWORK FINISH.
- (10) COORD. AREA WITH KITCHEN EQUIPMENT.
- (11) COORDINATE WALL OPENING PASS-THRU DIMENSIONS WITH KITCHEN SERVICE LINE.
- (12) COORD. PARTIAL HGT WALL WITH MILLWORK.
- (13) FIELD VERIFY IF STRUCTURAL COLUMN EXISTS.
- (14) FIELD VERIFY FOR EXTENTS OF ANYTHING CONCEALED IN WALL AND REPORT TO ARCHITECT.
- (15) FIELD VERIFY AND REPORT COLUMN TYPE TO ARCHITECT.
- (16) ADA RAMP. 4" ELEVATION CHANGE, 1:12 SLOPE MAX. FIELD VERIFY AND REPORT EXISTING FLOOR FRAMING CONDITION.
- (17) COORD. BAR CURB WITH KITCHEN EQUIP AND MILLWORK.
- (18) EXISTING FENCED SEATING AREA.
- (19) EXISTING HISTORIC STOREFRONT.
- (20) FIELD VERIFY FOR ANY SLAB INFILL REQUIRED, AND VFY EXISTING GAS LINE TO NEW FIRE PIT.
- (21) FENCE POST TO EXTEND TO 8'-0" H. OVERALL IN THE CORNER. UPSIZE TO SUPPORT STRAIN LIGHTING.
- (22) UTILIZE EXISTING R.O. FOR TRANSOM WINDOW AND MANUALLY OPERATED ON DOOR.

1. PROVIDE CONCEALED BLOCKING FOR ALL WALL-MOUNTED, OWNER PROVIDED EQUIPMENT. COORD W/ KITCHEN CONSULTANT.
2. PROVIDE FLOOR DRAINS IN KITCHEN AS REQ'D BY THE KIT. CONSULT. SEE PLUMBING PLANS.

1	CML INLL MATCH EXISTING EXTERIOR WALL ASSEMBLY MAINTAIN ANY INSULATION, VAPOR BARRIERS, FLASHINGS AND GYPSUM BOARD. TAPE AND SAND FINISH.	1	LOW WALL - HGT DICTATED BY MILLWORK 5/8" GYPSUM BD TYPE "X" BOTH SIDES (MR. AT BAR) TAPED AND Sanded. 3 5/8" MTL STUDS, 20 GA. 16" O.C. MAX
2	FURRED WALL (1) LAYER 5/8" GYP. BD. TYPE "X" TO FINISH CLG (5/8" MR. GYP BD TYPE "X" AT UET WALL) TAPED AND Sanded. 3 5/8" MTL STUDS TO FINISH CLG AT 16" O.C. MAX.	2	PARTITION WALL 5/8" GYPSUM BD TYPE "X" BOTH SIDES TO FINISH CLG. TAPED AND Sanded. 3 5/8" MTL STUDS TO FINISH CEILING AT 24" O.C. MAX
3	PARTITION WALL - 1 HR WHERE NOTED ON PLAN 5/8" GYPSUM BD TYPE "X" BOTH SIDES TO DECK. (PROVIDE 5/8" MR. GYPSUM BD TO 8'-0" AT UET WALLS) TAPED AND Sanded. ACOUSTIC BATT INSULATION TO FINISH CEILING. 3 5/8" MTL STUDS TO DECK AT 24" O.C. MAX	3	SHAFT WALL - 1HR 5/8" GYP BD, 2 1/2" C-H STUDS AND 1" SHAFTLINER, TO DECK. TAPED AND Sanded UL-4B DESIGN
4	PLUMBING WALL - NON RATED, TO DECK 5/8" GYPSUM BD TYPE "X" (MR. ON UET WALL SURFACE) EACH SIDE TO FINISH CEILING. TAPED AND Sanded. FULL HIT ACOUSTIC BATT. 6" MTL STUDS AT 16" O.C. MAX, TO DECK		
5	KITCHEN WALL TO DECK - 1 HR RATING UL 1493 (1) LAYER 5/8" GYP. BD. TYPE "X" EA. SIDE, TAPED AND Sanded. MINERAL WOOL BATT INSULATION IN CAVITIES, OVER 8" METAL STUDS 16" O.C. MAX.		
6	DOUBLE WALL - NON RATED, TO DECK 5/8" GYPSUM BD TYPE "X" (MR. ON UET WALL SURFACE) EACH SIDE TO FINISH CEILING. TAPED AND Sanded. FULL HIT ACOUSTIC BATT. TWO ROWS - 3 5/8" MTL STUDS AT 16" O.C. TO DECK		

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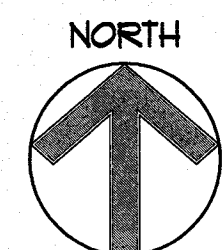
SEE SHEET A310 FOR DOOR HARDWARE



1
all

CONSTRUCTION PLAN - FIRST FLOOR

1/8" = 1'-0"



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project

**147 S. College Ave.
Fort Collins, CO 80524**

owner

**308 3rd Street South
La Crosse, WI 54601**

I hereby certify that this plan,
specifically the **ERAP** prepared by me
or under my supervision, and that I
am a duly licensed architect under the laws
of the state of Colorado.

**NATHANIEL W.
SHEA**
No. **306216**

nathaniel w. shea _____ 01.16.2019
name _____ date _____

STATE OF COLORADO

#306216 _____

license number _____ signature _____

scale	as noted
name	nws/rdh

 revision 11.25.2019

permit issue 10.16.2019

D.D. review 8.01.2019

construction plan
first floor

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- KEYNOTES (X)
- 1 TERMINATE SANITARY CEILING AT PRE-FAB WALK-IN COOLER/FREEZER. LIGHT FIXTURES SUPPLIED WITH COOLERS.
 - 2 BROTHERS MARQUE SIGN - BY SIGN CONTRACTOR
 - 3 COORD. AIR CURTAIN (MECH) WITH EXTENDED TRACK OH. DOOR OPENING.
 - 4 THEATRICAL LIGHTING TRIANGULATED ALUM. TRUSS BY TENANT - MOUNT AT 10'-6" CLEAR (VERIFY).
 - 5 COORD. FINISH CEILING SYSTEM WITH KITCHEN EXHAUST HOODS. PROVIDE 2HR SHAFT AS REQUIRED.
 - 6 SEE MILLWORK DETAILS FOR TV MOUNTING AT BAR.
 - 7 MILLWORK CORNICE MOLDING.
 - 8 MILLWORK CORNICE MOLDING AND COFFER BEAM.
 - 9 COORDINATE FESTOON LIGHTING STRINGS "K" WITH TENANT

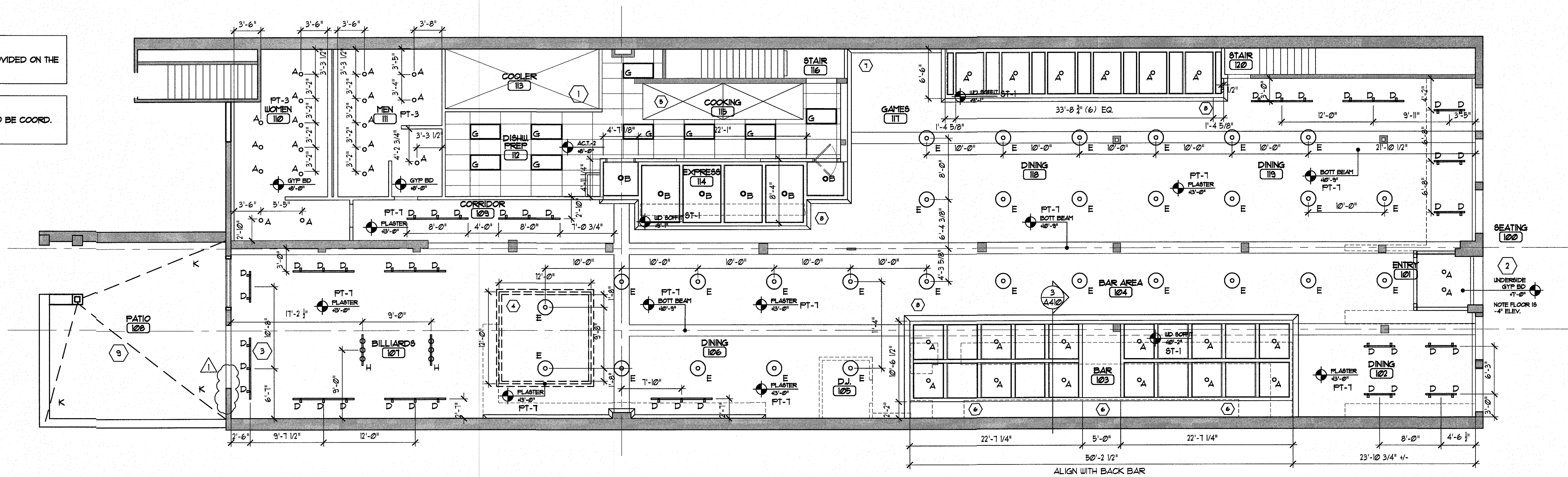
- LIGHT FIXTURE MOUNTING NOTES
- 1 LIGHT FIXTURE TYPE "E" MOUNTED AT 9'-0" AFF. CLEAR
 - 2 TRACK MOUNTED TYPE "D" AT 11'-0" AFF. FIXTURE HEADS MOUNTED AT --- REQUIRES ADDITIONAL FIELD COORDINATION AT OH. DOORS.
 - 3 TRACK MOUNTED TYPE "H" AT 11'-0" AFF. FIXTURE HEADS MOUNTED AT ---

- LIGHTING KEY
- A. RECESS CAN: "TU" LED LIGHTOLIER
B. RECESS CAN W/ PROTECTIVE LENS: "TU" LED LIGHTOLIER
C. BAR CANOPY: "TU" LED LIGHTOLIER
D. TRACK LIGHT: "TU" LED GIMBAL I SOLAIS FIXTURE, LIGHTOLIER
E. PENDANT W/ 16" OPAL GLASS SHADE: 120V LED, SCHOOLHOUSE OPAL, CHAIN HANGER
F. VAPOR RESIST FLUOR. BY COOLER/FREEZER VENDOR
G. 2X4 RECESS FLUOR: 4-32W T8, LIGHTOLIER W/ PRISMATIC LENS
H. NOT USED
J. LED ROPE LIGHTING: EACH SIDE UNDER COUNTER OF BAR
K. FESTOON LIGHTING: SUPPLIED BY TENANT

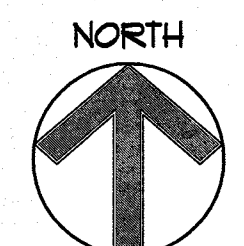
- CEILING KEY
- ACT-1 STD. ACOUSTIC TILE 24x24 SEE FINISH SCHEDULE
- ACT-2 SANITARY CEILING 24x48x5/8 SEE FINISH SCHEDULE

NOTE:
LIGHT FIXTURE SPECIFICATIONS ARE PROVIDED ON THE ELECTRICAL ENGINEERING DRAWINGS.

NOTE:
FINAL POSITION OF LIGHTING FIXTURES TO BE COORD. WITH EXPOSED MECHANICAL DUCTWORK.



1 REFLECTED CEILING PLAN - FIRST FLOOR
1/8" = 1'-0"



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Fort Collins, CO 80524

FF&F of
Highlands Ranch,
LLC
308 3rd Street South
La Crosse, WI 54601

I hereby certify that this plan, specification, or contract was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Colorado.

NATHANIEL W. SHEA
No. 306216
16.2019
name date
#306216
license number signature

scale as noted
name nws/rdh

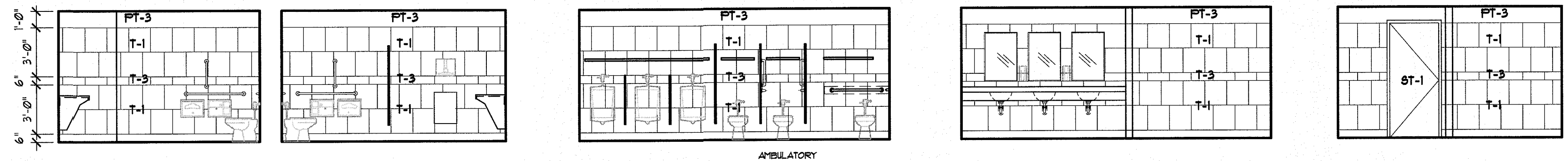
revision 11.25.2019

permit issue 10.16.2019

D.D. review 8.01.2019

reflected ceiling plan
first floor

a121
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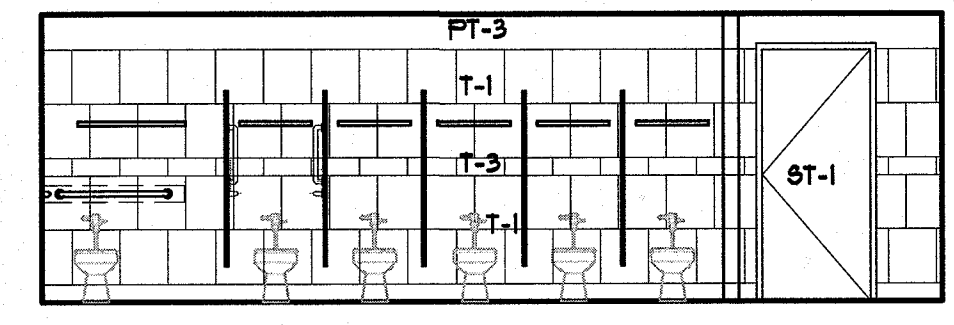
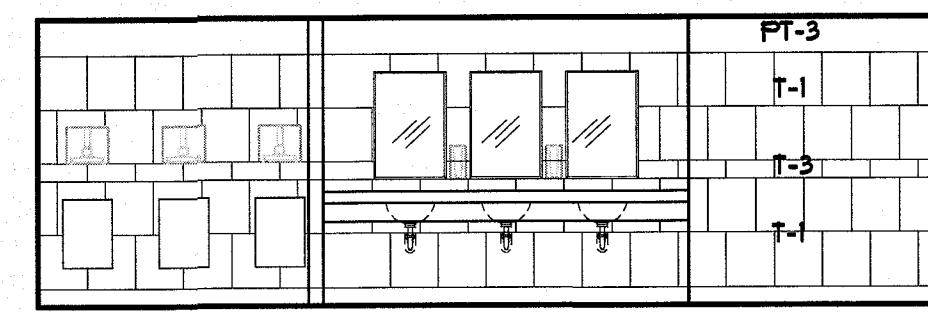
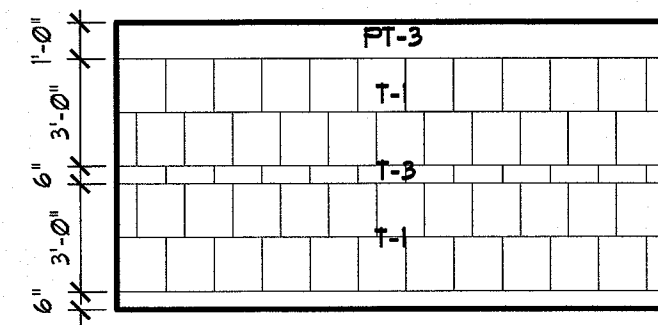


12 RR WALL FINISHES
3/16" = 1'-0"

11 RR WALL FINISHES
3/16" = 1'-0"

10 RR WALL FINISHES
3/16" = 1'-0"

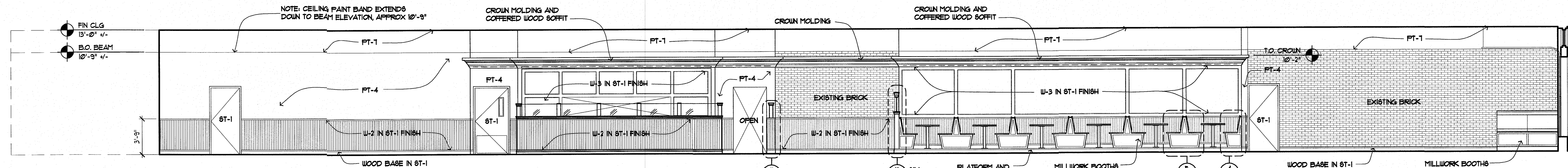
9 RR WALL FINISHES
3/16" = 1'-0"



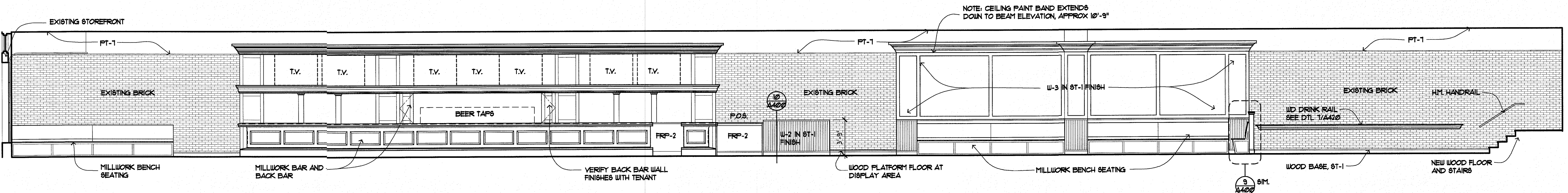
8 RR WALL FINISHES
3/16" = 1'-0"

7 RR WALL FINISHES
3/16" = 1'-0"

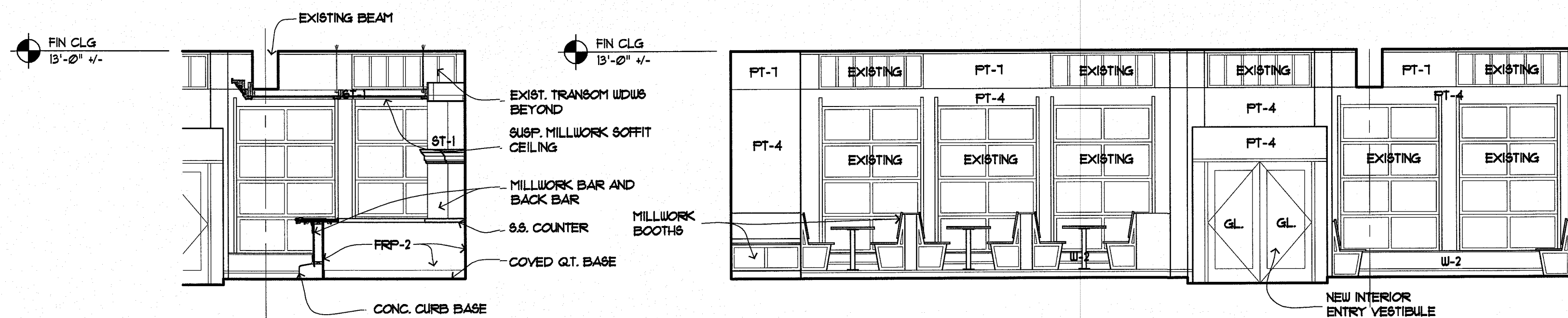
6 RR WALL FINISHES
3/16" = 1'-0"



5 ELEVATION
3/16" = 1'-0"

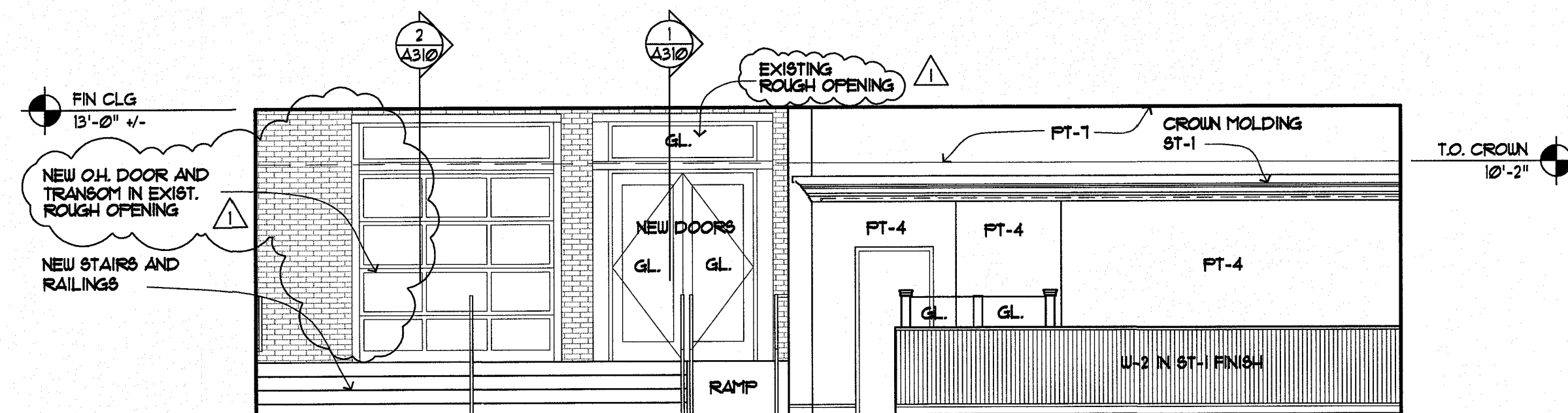


4 ELEVATION
3/16" = 1'-0"



3 ELEVATION - BAR END
3/16" = 1'-0"

2 ELEVATION
3/16" = 1'-0"

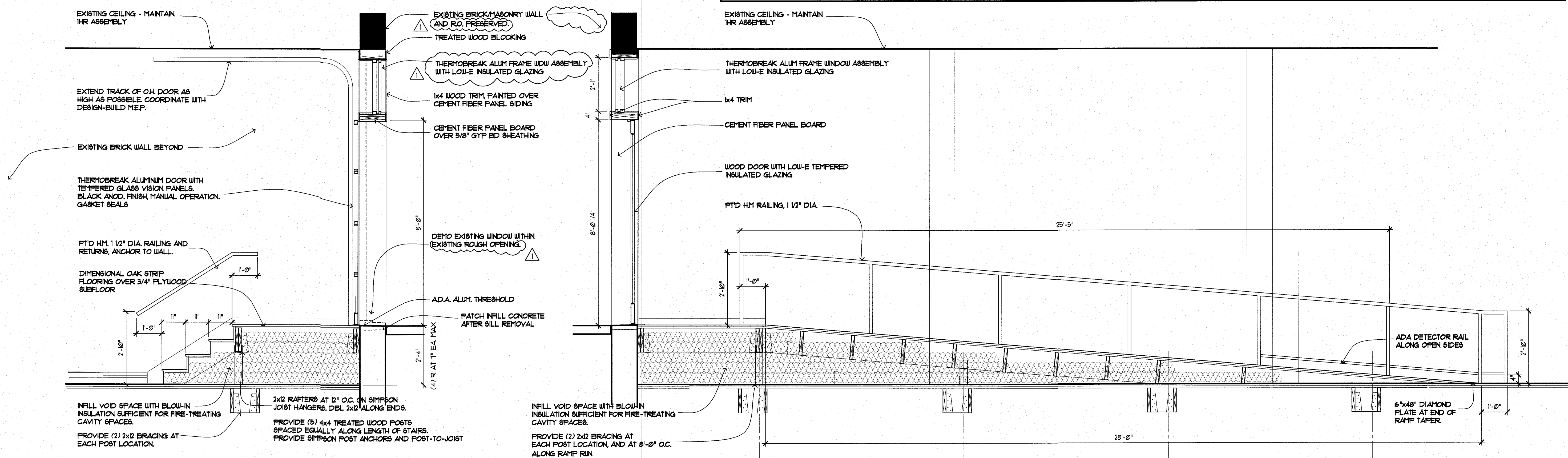


1 ELEVATION
3/16" = 1'-0"

[illegible][illegible]

1. PROVIDE SCREWS, SPECIAL SCREWS, BOLTS, SPECIAL BOLTS, EXPANSION SHIELDS, AND OTHER DEVICES FOR PROPER APPLICATION OF HARDWARE.
2. PROVIDE ALL ITEMS, ETC. SCHEDULED HEREIN OR MENTIONED ON THE DRAWINGS IN QUANTITIES REQUIRED TO COMPLETE THE PROJECT. PROVIDE HARDWARE THAT FUNCTIONS PROPERLY.
3. PROVIDE (3) COPIES OF HARDWARE SCHEDULE FOR PRELIMINARY REVIEW AND APPROVAL. THE SCHEDULE SHALL INCLUDE ITEM MANUFACTURER, MODEL NUMBER, BASE METAL, FINISH, AND GROUP NUMBER. FURNISH G.C. WITH APPROVED COPIES OF THE SCHEDULE, ALONG WITH APPROPRIATE TEMPLATES AND MANUFACTURERS INSTALLATION AND ADJUSTMENT INSTRUCTIONS.
4. OBTAIN EACH TYPE OF HARDWARE FROM A SINGLE MANUFACTURER. SUPPLIER SHALL HAVE WAREHOUSING FACILITIES, AND SHALL HAVE BEEN PROVIDING HARDWARE IN VICINITY FOR NOT LESS THAN (2) YEARS.
5. HARDWARE MOUNTED ON DOORS REQUIRED TO HAVE A UL LABEL SHALL BE LISTED BY UNDERWRITERS LABORATORY FOR USE WITH APPROPRIATELY LABELED ASSEMBLY. WHERE UL REQUIREMENTS CONFLICT WITH THE DRAWINGS OR SPECIFICATIONS, HARDWARE CONFORMING TO UL REQUIREMENTS SHALL BE PROVIDED. CONFLICTS AND PROPOSED SUBSTITUTIONS SHALL BE CLEARLY INDICATED ON THE HARDWARE SCHEDULE.
6. PROVIDE GUARANTEE AGAINST DEFECTS. REPAIR AND REPLACE WITHIN (1) YEAR AFTER SUBSTANTIAL COMPLETION. PROVIDE (3) YEAR WARRANTY ON DOOR CLOSERS. REPLACE ANY SHORTAGES OR INCORRECT ITEMS WITHOUT COST TO OWNER AT COMPLETION OF PROJECT. A QUALIFIED FACTORY REPRESENTATIVE SHALL INSPECT CLOSER INSTALLATION AND PROVIDE THE ARCHITECT WITH A LETTER VERIFYING CLOSERS ARE PROPERLY INSTALLED AND ADJUSTED.
7. INSTALL HARDWARE IN ACCORDANCE WITH REVIEWED HARDWARE SCHEDULE AND MANUFACTURER'S PRINTED INSTRUCTION. FREIGHT HARDWARE BEFORE FINISH IS AFFLIED, REMOVE AND REINSTALL AFTER FINISH IS COMPLETED. INSTALL HARDWARE SO THAT ALL PARTS OPERATE SMOOTHLY, CLOSE TIGHTLY, AND DO NOT RATTLE.
8. CLEAN AND ADJACENT SURFACES SOILED BY HARDWARE INSTALLATION.
9. PROVIDE FOR PROPER PROTECTION OF ITEMS OF HARDWARE UNTIL OWNER ACCEPTS PROJECT AS COMPLETE.
10. ALL LOCKABLE DOORS TO BE KEIED TO SAME KEY. REVIEW KEYING REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION OF HARDWARE.

<p><u>GROUP 1 - ALUM STOREFRONT</u></p> <ul style="list-style-type: none"> 3 PAIR BUTT HINGES 2 FULL HANDLES, 1 EACH LEAF 1 PANIC DEVICE, ACTIVE LEAF AND EXTER. CORE KEY LOCK 1 LOCK WITH THUMB TURN / PUSH BAR, INACTIVE LEAF 2 OVERHEAD CLOSERS, 1 EACH LEAF W/ SWING RESTRICTOR 1 THRESHOLD 1 WEATHERSTRIPPING (EXTERIOR VESTIBULE) <p><u>GROUP 2 - ALUM STOREFRONT</u></p> <ul style="list-style-type: none"> 3 PAIR BUTT HINGES 2 FULL HANDLES, 1 EACH LEAF 2 PUSH BARS, 1 EACH LEAF 2 OVERHEAD CLOSERS, 1 EACH LEAF W/ SWING RESTRICTOR 1 THRESHOLD 1 WEATHERSTRIPPING (INTERIOR VESTIBULE) <p><u>GROUP 3 - ALUM STOREFRONT</u></p> <ul style="list-style-type: none"> 1 1/2 PAIR BUTT HINGES 1 FULL HANDLE 1 PANIC DEVICE AND EXTERIOR CORE KEY LOCK 1 OVERHEAD CLOSER W/ SWING RESTRICTOR 1 WEATHERSTRIPPING 1 THRESHOLD <p><u>GROUP 4 - OH. DOOR</u></p> <ul style="list-style-type: none"> - MANUAL OPERATION - GASKET SEALS - LOCKABLE LATCHES <p><u>GROUP 5 - STORAGE</u></p> <ul style="list-style-type: none"> 1 1/2 PAIR BUTT HINGES 1 LEVER LATCH STORAGE FUNCTION LOCK 	<p><u>GROUP 6 - EXTERIOR EXIT</u></p> <ul style="list-style-type: none"> 1 1/2 PAIR BUTT HINGES 1 LEVER LATCH, KEYED LOCK 1 PANIC DEVICE 1 OVERHEAD CLOSER WITH SWING RESTRICTOR 1 THRESHOLD 1 WEATHERSTRIPPING <p><u>GROUP 7 - OFFICE</u></p> <ul style="list-style-type: none"> 1 SET BUTT HINGES 1 LEVER LATCH, KEYED LOCK OFFICE FUNCTION 1 FLOOR STOP <p><u>GROUP 8 - KITCHEN</u></p> <ul style="list-style-type: none"> 1 DOUBLE ACTING SWING DOOR ON SPRING HINGES 1 VISION WINDOW 1 S.S. KICK PLATE EA. SIDE <p><u>GROUP 9 - STORAGE</u></p> <ul style="list-style-type: none"> 1 1/2 PAIR BUTT HINGES 1 LEVER LATCH, KEYED LOCK STORAGE FUNCTION 1 HINGE MOUNTED SWING RESTRICTOR <p><u>GROUP 10 - RESTROOM</u></p> <ul style="list-style-type: none"> 1 1/2 PAIR BUTT HINGES 1 PUSH PLATE 1 FULL HANDLE 1 OVERHEAD CLOSER WITH SWING RESTRICTOR 1 FOOT FULL <p><u>GROUP 11 - EXTERIOR PATIO GATE</u></p> <ul style="list-style-type: none"> 1 PROVIDE PANIC DEVICE TO GATE 	<p><u>GROUP 12 - INTERIOR ALUMINIUM</u></p> <ul style="list-style-type: none"> 1 1/2 PAIR BUTT HINGES 1 FULL HANDLE 1 PANIC DEVICE AND CORE KEY LOCK 1 OVERHEAD CLOSER 1 HOLD OPEN 1 WEATHERSTRIPPING (INTERIOR DOOR) <p><u>GROUP 13 - ALUM STOREFRONT</u></p> <ul style="list-style-type: none"> 1 1/2 PAIR BUTT HINGES 1 FULL HANDLE 1 PUSH BAR 1 OVERHEAD CLOSER WITH SWING RESTRICTOR 1 CORE KEY LOCK AND THUMBTURN 1 PERMANENT 1" TEXT "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" <p><u>GROUP 14 - ROOF ACCESS DOOR</u></p> <ul style="list-style-type: none"> 1 1/2 PAIR BUTT HINGES 1 LOW-PROFILE FULL EACH SIDE 1 DEADBOLT LOCK, KEYED EACH SIDE 1 THRESHOLD 1 WEATHERSTRIPPING 1 EXTERIOR FLOOR STOP <p>NOTE: REFER TO DOOR SCHEDULE TO DETERMINE WOOD AND HOLLOW METAL DOORS. SOME HARDWARE GROUPS ARE USED FOR EACH TYPE.</p>
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2 SECTION AT STEPS AND O.H. DOOR
#31Ø 1/2" = 1'-0"

SECTION AT RAMP AND RAISED FLOOR