

**CITY OF FORT COLLINS  
TYPE 1 ADMINISTRATIVE HEARING  
FINDINGS AND DECISION**

HEARING DATE: March 26, 2014

PROJECT NAME: Uptown Plaza Project Development Plan/Final Plan

CASE NUMBER: PDP130025

APPLICANT/OWNER: Jim Hillhouse  
Hillhouse Architects, Inc.  
8897 Gander Valley Lane  
Windsor, CO 80550

HEARING OFFICER: Kendra L. Carberry

PROJECT DESCRIPTION: This is a request for approval of a Project Development Plan ("PDP") for Uptown Plaza. The project proposes to construct a one-story, 15,234 square foot commercial building on a 1.46 acre lot located at 1501 West Elizabeth Street in Campus West. The building proposes six individual units divided between retail (4), restaurant (1), and financial uses (1), and provides 50 parking spaces to serve the site.

SUMMARY OF DECISION: Approved

ZONE DISTRICT: Community Commercial (C-C)

HEARING: The Hearing Officer opened the hearing at approximately 5:30 p.m. on March 26, 2014, in the CIC Room of City Hall, located at 300 LaPorte Avenue, Fort Collins, Colorado.

EVIDENCE: During the hearing, the Hearing Officer accepted the following evidence: (1) Planning Department Staff Report; (2) application, plans, maps and other supporting documents submitted by the applicant; and (3) a copy of the public notice (the formally promulgated polices of the City are all considered part of the record considered by the Hearing Officer).

TESTIMONY: The following persons testified at the hearing:

From the City: Seth Lorson

From the Applicant: Jim Hillhouse, Sapan Kapoor

From the Public: John Musa

FINDINGS

1. Evidence presented to the Hearing Officer established the fact that the hearing was properly posted, legal notices mailed and notice published.

2. The PDP complies with the applicable General Development Standards contained in Article 3 of the Code.

a. The PDP complies with Section 3.2.1(D)(2), Street Trees, because 3 mature trees will remain and 4 more trees will be added.

b. The PDP complies with Section 3.2.2(K)(2), Nonresidential Parking Requirements, because the project proposes 50 parking spaces, which is below the maximum of 82.

c. The PDP complies with Section 3.3.2(C)(4), Bicycle Facilities, because 13 bike spaces will be provided, which is more than minimum of 5.

d. The PDP complies with Section 3.5.1, Building and Project Compatibility, because the proposed architectural character, building materials, colors and heights of the proposed development are compatible with the surrounding area.

e. The PDP complies with Section 3.5.2(B), Relationship of Buildings to Streets, Walkways, and Parking, because: the entrances for all uses along Elizabeth Street open to the plaza and then onto the public sidewalk; and the parking is entirely behind the building, to the south, with a connecting walkway to secondary entrances through the building.

f. The PDP complies with Section 3.5.2(C), Variation in Massing, because: the store fronts are broken into modules according to size and accented with a variety of roof planes, cornices, materials, awnings, and windows; and the roof plane variety provides for vertical articulation of the structure and each module shifts forward or back for horizontal articulation.

4. The PDP complies with the applicable standards contained in Article 4 of the Code for the Community Commercial (C-C) zone district.

a. The PDP complies with Section 4.18(A), Purpose, because the PDP is consistent with the stated purpose of the zone district.

b. The PDP complies with Section 4.18(E)(1)(a), Building Orientation, because the building entrances front on Elizabeth Street and there will be a plaza area for outdoor dining and gathering for patrons of the commercial uses.

c. The PDP complies with Section 4.18(E)(1)(b), Central Feature or Gathering Place, because the plaza is a slightly-elevated extension of the public sidewalk that will serve as a gathering place.

d. The PDP complies with Section 4.18(E)(1)(c), Integration of the Transit Stop, because 3 existing Transfort bus routes use this section of West Elizabeth, with the closest transit stops at the intersections with City Park Avenue and Constitution Avenue, which are both approximately 1/8 of a mile from the property.

e. The PDP complies with Section 4.18(E)(2)(d), Building Height, because the proposed building is a single story, but utilizes architectural cornices and a variety of roof pitches to accomplish a minimum height of 20'.

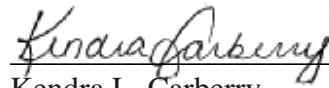
DECISION

Based on the foregoing findings, the Hearing Officer hereby enters the following rulings:

1. The PDP is approved with the following condition:

a. The existing street trees marked #2, #3 and #4 on the Landscape Plan shall remain in place, rather than being removed, and the final Landscape Plan for the PDP shall be updated accordingly.

DATED this 7<sup>th</sup> day of April, 2014.

  
Kendra L. Carberry  
Hearing Officer



ITEM NO PDP130025  
 MEETING DATE March 26, 2014  
 STAFF Seth Lorson

**ADMINISTRATIVE HEARING**

**STAFF REPORT**

**PROJECT:** Uptown Plaza (1501 W. Elizabeth) PDP #130025

**APPLICANT/OWNER:** Jim Hillhouse, Hillhouse Architects, Inc.  
 8897 Gander Valley Lane  
 Windsor, CO 80550

**PROJECT DESCRIPTION:**

This project proposes to construct a one-story, 15,234 square foot commercial building at 1501 West Elizabeth Street in Campus West. The building proposes six individual units divided between retail (4), restaurant (1), and financial uses (1), and provides 50 parking spaces to serve the site. The site is a 1.46 acre lot in the Community Commercial (C-C) District; former location of Diamond Shamrock gas station that burned down in November 2012.

**RECOMMENDATION:**

Staff recommends approval of Uptown Plaza PDP #130025

**EXECUTIVE SUMMARY:**

The proposed PDP has been reviewed by staff and is in compliance with all applicable Land Use Code (LUC) standards.

**COMMENTS:**

**1. Background**

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	CSU and Medium Density Mixed-Use Neighborhood (M-M-N)	Multi-family residential and student housing
South	Medium Density Mixed-Use Neighborhood (M-M-N)	Multi-family residential
East	Community Commercial (CC)	Retail and Restaurant
West	Community Commercial (CC)	Restaurant

**2. Compliance with Applicable Community Commercial (CC) District Standards [Division 4.18]**

- A. **Purpose:** The purpose of the Community Commercial District is as follows:

*The Community Commercial District provides a combination of retail, offices, services, cultural facilities, civic uses and higher density housing. Multi-story buildings are encouraged to provide a mix of residential and nonresidential uses. Offices and dwellings are encouraged to locate above ground-floor retail and services.*

The proposed project is consistent with the stated purpose of the zone district as the project proposes to provide commercial and retail uses in a high pedestrian-traffic commercial district.

- B. **Permitted Land Uses:** [Section 4.18 (B)] The proposed use of *restaurant, retail, and financial services* is subject to administrative review by a hearing officer (Type 1).
- C. **Development Standards:** [Section 4.18 (E)]

(1) *Site Planning.*

(a) **Building Orientation.** *The configuration of shops in the Community Commercial District shall orient primary ground-floor commercial building entrances to pedestrian-oriented streets, connecting walkways, plazas, parks or similar outdoor spaces, not to interior blocks or parking lots. Anchor tenant retail buildings may have their primary entrances from off-street parking lots; however, on-street entrances are strongly encouraged. The lot size and layout pattern for individual blocks within the Community Commercial District shall support this requirement.*

The proposed building has entrances that are street-fronted on Elizabeth Street and will have a plaza area for outdoor dining and gathering for patrons of the ground-floor commercial uses.

*(b) **Central Feature or Gathering Place.** At least one (1) prominent or central location within each geographically distinct Community Commercial District shall include a convenient outdoor open space or plaza with amenities such as benches, monuments, kiosks or public art. This feature and its amenities may be placed on blocks with community facilities.*

The plaza provided is a slightly-elevated extension of the public sidewalk and will serve as a gathering place for this development. To serve as geographically distinct outdoor gathering areas, Colorado State University is 1/3 mile to the east and Avery Park is ½ mile to the southwest of this site.

*(c) **Integration of the Transit Stop.** Community Commercial Districts shall be considered primary stops on the regional transit network. Transit stops, to the maximum extent feasible, shall be centrally located and adjacent to the core commercial area. Commercial uses must be directly visible and accessible from the transit stop. Transfers to feeder buses shall be provided for in the design and location of these stops. (See also Section 3.6.5, Transit Facilities Standards.)*

Three existing Transfort bus routes use this section of West Elizabeth. The closest transit stops are currently located at the West Elizabeth intersections with City Park Avenue and Constitution Avenue. They are both about a 1/8 of a mile from the proposed project site.

*(2)(d) **Building Height.** All buildings shall have a minimum height of twenty (20) feet, measured to the dominant roof line of a flat-roofed building, or the mean height between the eave and ridge on a sloped-roof building. In the case of a complex roof with different co-dominant portions, the measurement shall apply to the highest portion. All buildings shall be limited to five (5) stories.*

The proposed building is one story in height but utilizes architectural cornices and a variety of roof pitches to accomplish a minimum height of 20 feet.

**3. Compliance with Applicable General Development Standards – Article 3**

**A. Site Planning and Design Standards [Division 3.2]**

**3.2.1(D)(2) Street Trees:**

The applicant worked closely with the City Forrester to save three mature trees along the frontage of the site and add four more trees: two on the street-side of the sidewalk and two incorporated into the plaza. The site plan was driven by saving these mature trees to provide a canopy and plaza area.

**3.3.2(C)(4) Bicycle Facilities**

Minimum bicycle facilities (bike racks) are required according to the proposed use. The following chart provides the minimum amount of bike parking spaces required and the amount proposed.

Use and Square Footage	Minimum Spaces Required (% enclosed / % fixed)	Spaces Proposed
Restaurant (Fast Food) 2,153 s.f.	1.5/1,000 s.f. = 2 spaces (0% / 100%)	(all shared spaces)
General Retail 8,672 s.f.	1/4,000 s.f. = 2 spaces (20% / 80%)	(all shared spaces)
Financial Services 4,418 s.f.	1/4,000 s.f. = 1 spaces (20% / 80%)	(all shared spaces)
Total	5 Bike Spaces Required	13 Spaces Proposed (4 enclosed / 9 fixed)

**3.2.2(K)(2) Nonresidential Parking Requirements:**

Nonresidential parking does not have a minimum requirement but does limit parking to a maximum amount. The following chart provides the maximum parking spaces permitted and the amount proposed.

Use and Square Footage	Maximum Spaces Permitted	Spaces Proposed
Restaurant (Fast Food) 2,153 s.f.	15/1,000 s.f. = 31 spaces	7 Spaces
General Retail 8,672 s.f.	4/1,000 s.f. = 35 spaces	29 Spaces
Financial Services 4,418 s.f.	3.5/1,000 s.f. = 16 spaces	14 Spaces
Total	82 Spaces Maximum	50 Spaces Proposed

**B. Building Standards [Division 3.5]**

**3.5.1 Building and Project Compatibility**

*Architectural Character, Building Size, Mass and Scale, Building Materials, Building Color, and Building Height Review [Section 3.5.1 (B), (C), (E), and (F)]*

The proposed commercial building site is directly between two restaurants: CB&Potts (east) and Taco Bell (west). The proposed commercial uses will have a restaurant element as well as a liquor store (subject to approval of a liquor license by City Council and not approved with this application), other yet-to-be-determined retail, and a bank. The buildings in the Campus West commercial district range from one-story to three-stories in height and are composed with a variety of materials providing for an eclectic character. The proposed building is compatible in that it provides similar uses and a walkable, pedestrian-friendly environment.

**3.5.2 Mixed-Use, Institutional, and Commercial Buildings**

*Relationship of Buildings to Streets, Walkways, and Parking. [Section 3.5.2 (B)]*

The entrances for all uses along Elizabeth Street open to the proposed plaza and in-turn onto the public sidewalk. The parking is provided entirely behind the building, to the south, with a connecting walkway to secondary entrances and a breezeway through the building to the front.

*Variation in Massing. [Section 3.5.2 (C)]*

The store fronts are broken into modules according to their size and are accented with a variety of roof planes, cornices, materials, awnings, and



windows. The roof plane variety provides for a vertical articulation of the structure and the each module shifts forward or back to provide horizontal articulation.

**4. Campus West Community Commercial District Planning Study Report (2001)**

The applicable planning objectives of this study call for improved bicycle/pedestrian safety, desirable identity and character, retail for more than just students, and reduce overwhelming dominance of cars.

**5. West Central Neighborhoods Plan (1999)**

This plan calls for the Campus West area to provide commercial establishments to meet the needs of CSU students and neighborhood residents.

**6. Findings of Fact/Conclusion**

In evaluating Uptown Plaza PDP #130025034, Staff makes the following findings of fact:

1. The PDP contains permitted uses and complies with the applicable land development standards of the Community Commercial District in accordance with Article 4 of the Land Use Code.
2. The PDP complies with the applicable General Development Standards of Article 3 of the Land Use Code.
3. The PDP complies with the applicable procedural and administrative requirements of Article 2 of the Land Use Code.

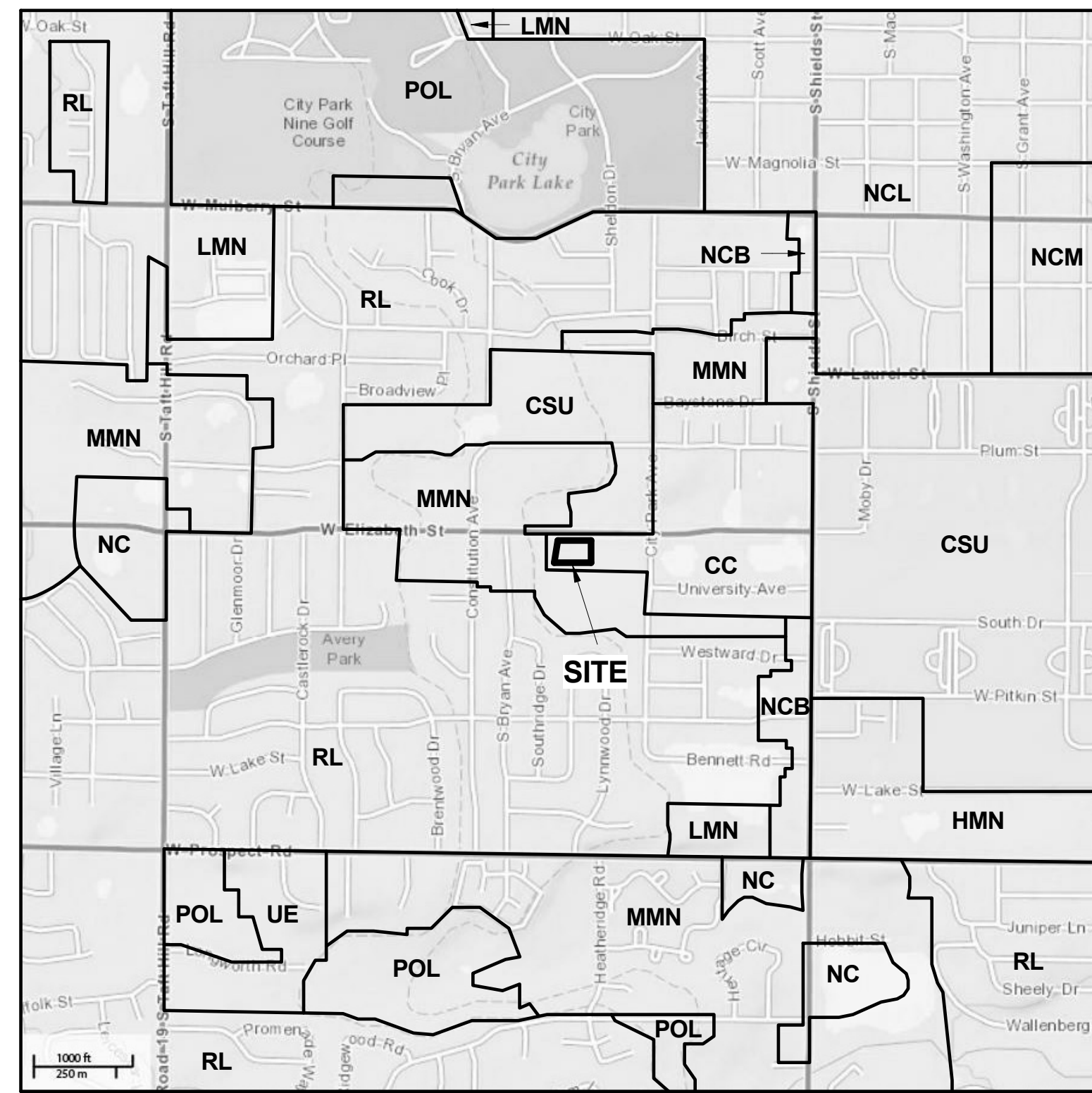
**RECOMMENDATION:**

Staff recommends **approval** of Uptown Plaza PDP #130025

**ATTACHMENTS:**

- 1 – Site Plan
- 2 – Landscape Plan
- 3 – Building Elevations
- 4 – Photometric Plan
- 5 – Existing conditions
- 6 – Site Images

VICINITY MAP NOT TO SCALE



VICINITY MAP 1/2" = 1'-0"

- RL - LOW DENSITY RESIDENTIAL
- LMN - LOW DENSITY MIXED-USE NEIGHBORHOOD
- MMN - MEDIUM DENSITY MIXED-USE NEIGHBORHOOD
- HMN - HIGH DENSITY MIXED-USE NEIGHBORHOOD
- NCL - NEIGHBORHOOD CONSERVATION LOW-DENSITY
- NCM - NEIGHBORHOOD CONSERVATION MEDIUM-DENSITY
- NCB - NEIGHBORHOOD CONSERVATION BUFFER
- CC - COMMUNITY COMMERCIAL
- NC - NEIGHBORHOOD COMMERCIAL
- POL - PUBLIC OPEN LANDS
- UE - URBAN ESTATE
- CSU - COLORADO STATE UNIVERSITY

**UPTOWN PLAZA**

LOT 1 DIAMOND SHAMROCK CORNER STORE SUBDIVISION, FT. COLLINS, LARIMER COUNTY, COLORADO. AKA: 1501 W. ELIZABETH ST.

**GENERAL LAND USE DATA**

EXISTING ZONING:	COMMUNITY COMMERCIAL DISTRICT
EXISTING PARCEL SIZE:	63,598 SF (1.46 AC)
MAXIMUM PROPOSED BUILDING HEIGHT:	29'-10 1/2"
USE TYPE:	COMMERCIAL/RETAIL
CONSTRUCTION TYPE:	TYPE 5A
TOTAL PARKING SPACES:	50
ACCESSIBLE PARKING SPACES:	2 (1 VAN)
EXTERIOR BICYCLE PARKING:	13
(COVERED):	4
(OPEN):	9
MAXIMUM ALLOWED PARKING:	FAST FOOD (2153sf) = 31 FINANCIAL (4418sf) = 16 GEN. RETAIL (8672sf) = 35 82 MAX - 50 PROVIDED

	AREA (SF)	%TOTAL
TOTAL BUILDING SIZE (TO INT. OF WALLS)	15,243	100%
CAFE/FAST FOOD:	2,153	14%
FINANCIAL:	4,418	29%
GENERAL RETAIL; OFFICES AND PERSONAL/BUSINESS SERVICE SHOPS; PHOTOGRAPHY STUDIO; PRINT SHOP:	8,672	57%

**PROPOSED PROJECT LAND USE DATA**

	SITE AREA (AC)	SITE AREA (SF)	%TOTAL OF SITE
BUILDING COVERAGE (TO EXT. OF WALLS):	.37	16,350	25.7%
LANDSCAPE AREA (PLANTING AND BEDS):	.18	8,102	12.7%
LANDSCAPE AREA (WALKS AND PLAZAS):	.20	8,890	13.9%
REMOVE AND REPLACE SIDEWALK/PLANTERS WITHIN ROW:	.05	1,975	.03%
PARKING AND DRIVEWAY:	50 TOTAL SPACES	18,698	29.4%
PARKING LOT LANDSCAPE AREA:	.05	2,455	3.8%
(PARKING LOT LANDSCAPING AS A % OF TOTAL PARKING AREA = 13%)			
PLAZA USE:			
HARD SURFACE (OUTSIDE ROW):	.10	4,460	7%
PLANTERS (OUTSIDE ROW):	.01	510	.8%

NOTE: all signage will comply with the sign code. Signs shown are for location illustrative purposes only. Signs are not permitted with this application and require a separate sign permit; building-mounted and pole-mounted light fixtures will be shielded and down directional; mechanical units will be screened from view, meters and conduits attached to the wall will be painted to match the building color, and roof vents will be painted to match the roof.

**OWNER'S CERTIFICATION**

THE UNDERSIGNED DOES HEREBY CERTIFY THAT I AM THE LAWFUL OWNER OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

D.K. INVESTMENTS, INC  
OWNER

BY: SAPAN KAPOOR, PRESIDENT DATE

(STATE OF ) SS  
(COUNTY OF )

SUBSCRIBED AND SWORN TO BE BEFORE THIS DAY OF 20, BY WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

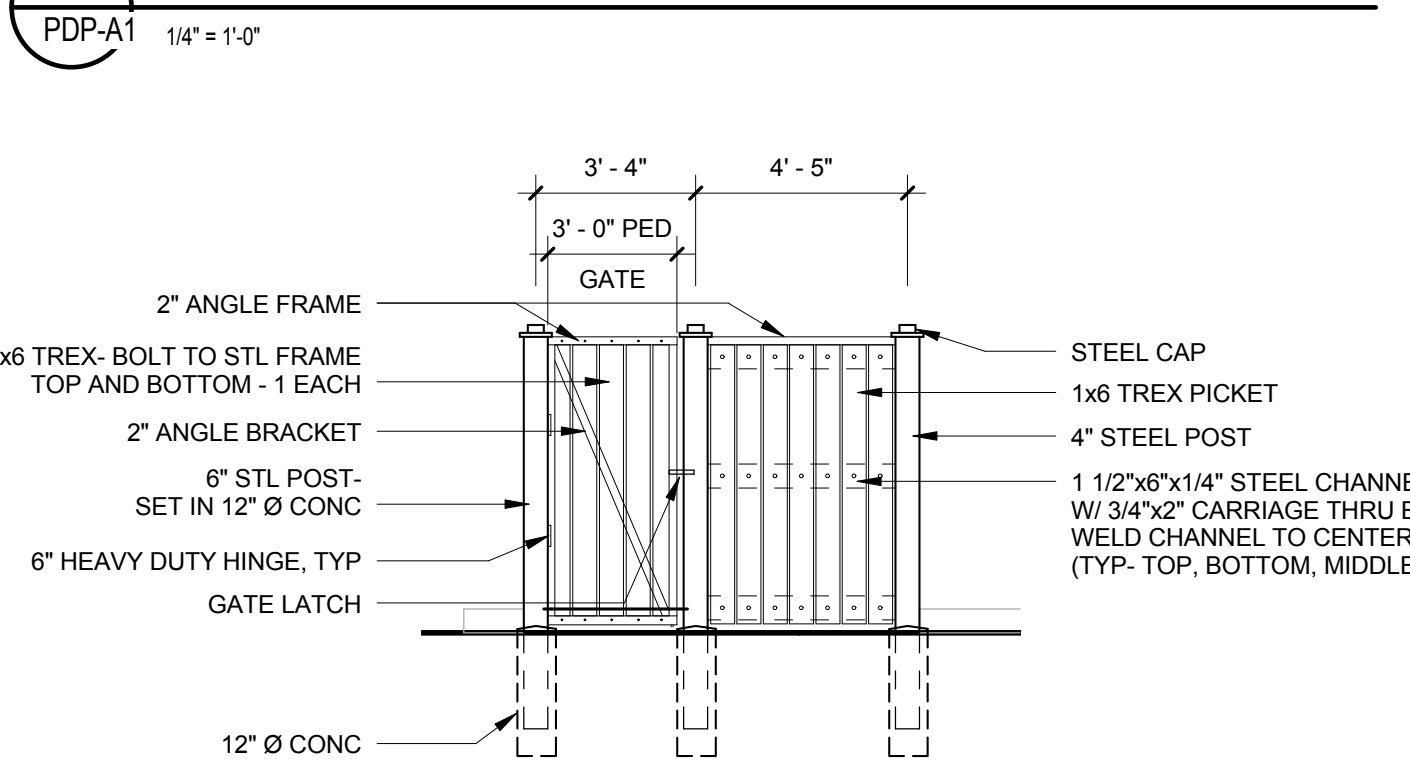
ADDRESS

MY COMMISSION EXPIRES

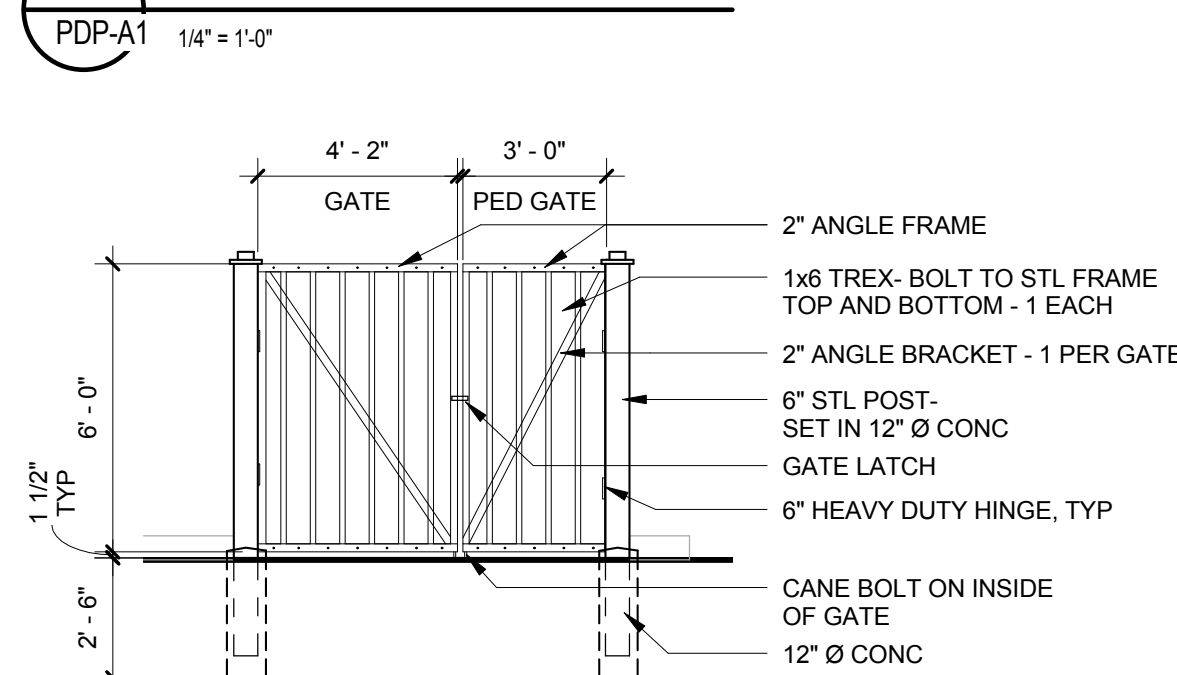
DIRECTOR OF CURRENT PLANNING  
APPROVED BY THE CURRENT DIRECTOR OF PLANNING OF THE CITY OF FORT COLLINS, COLORADO, THIS OF 20.

CURRENT DIRECTOR OF PLANNING

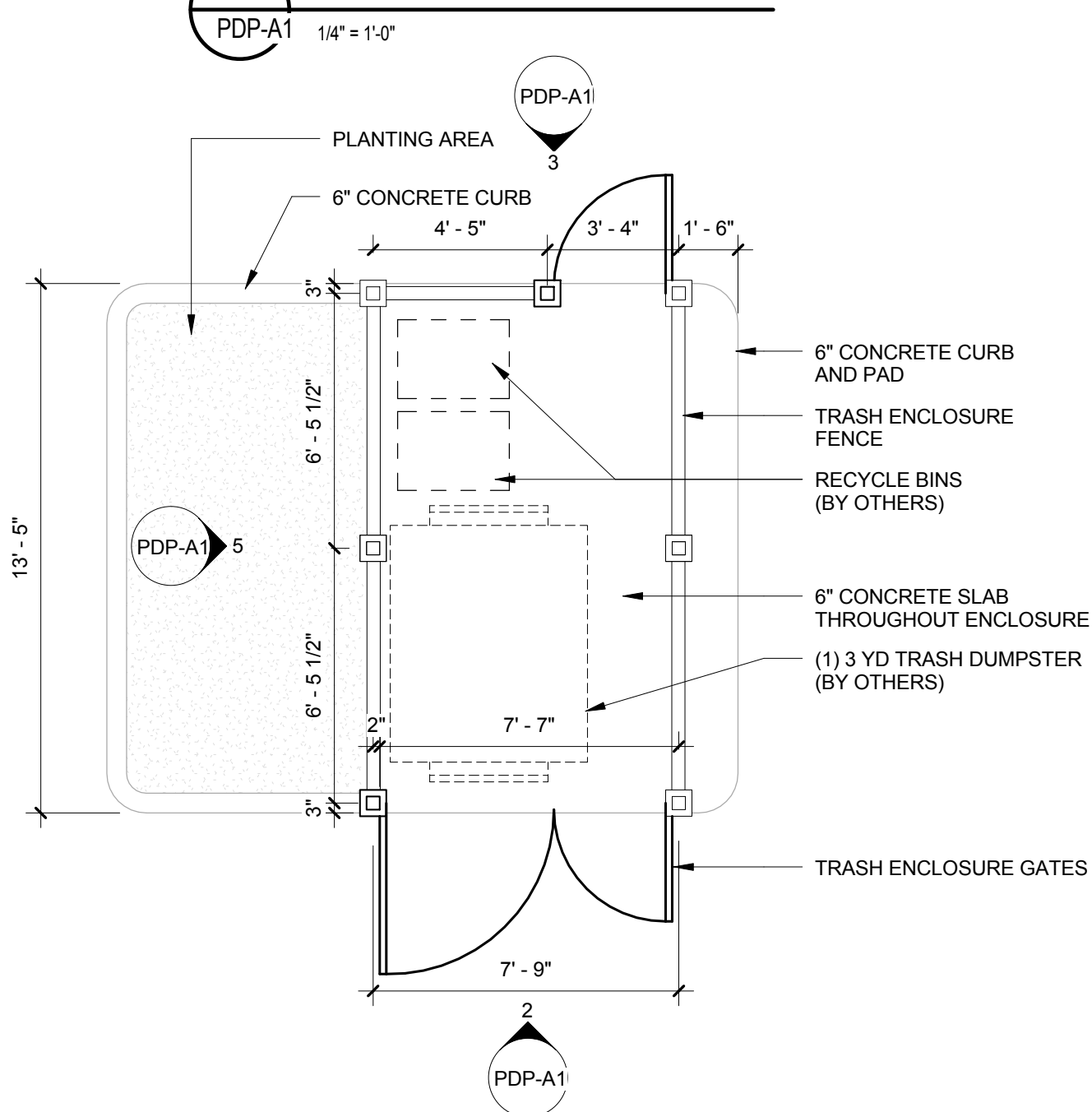
**5 TRASH TYPICAL SIDE**



**3 TRASH NORTH**



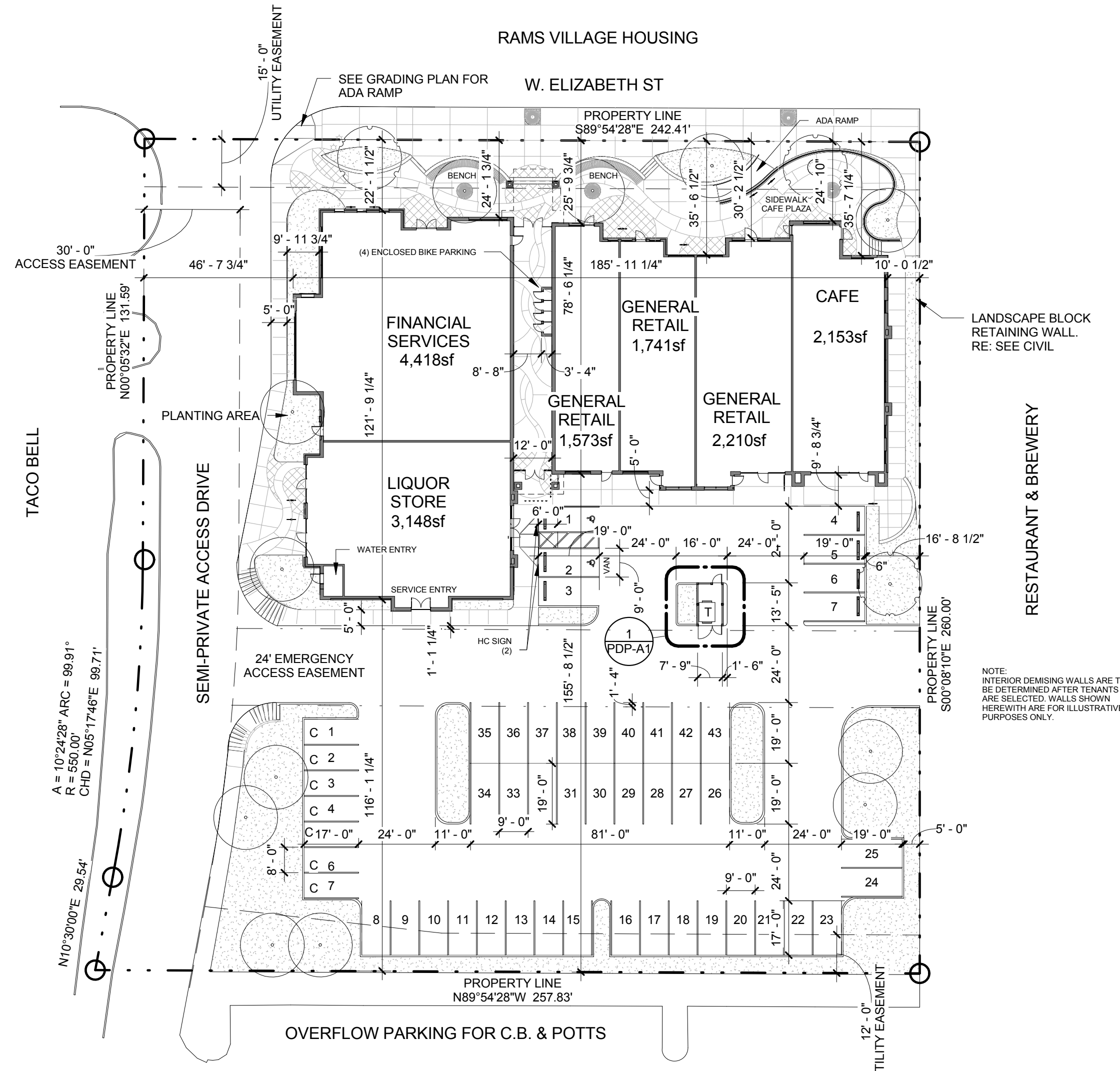
**2 TRASH SOUTH**



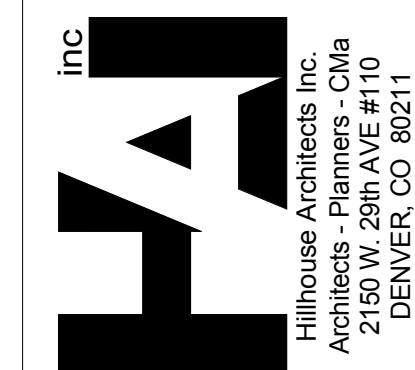
**1 TRASH ENCLOSURE**



**4 SITE PLAN**



Orig. Issue Date: 14.01.20  
Job No: 1453  
Drawn By: ARH  
Checked By: JH  
Issued: 14.02.19  
Revisions: 1



**UPTOWN PLAZA**  
PROJECT DEVELOPMENT PLAN (PDF)  
1501 W. ELIZABETH ST.  
D.K. INVESTMENTS, INC - DEVELOPER  
MR. SAPAN KAPOOR, PRES.

02/19/2014 1453  
**PDP-A1**  
PDP SITE PLAN & APPLICATION

**LANDSCAPE PLAN NOTES:**

- The Landscape Plan has been designed in accordance with City of Fort Collins Land Use Code Section 3.2.1.
- All landscape areas will be mulched with 1-3" rounded river rock cobble except where indicated.
- All landscape areas will be watered via automatic underground irrigation system with drip 4 drip emitters for each tree, 2 emitters for each shrub and 1 emitter for each ornamental grass or perennial.
- Trees shall not be planted closer than 40' between shade trees and street lights, 15' between ornamental trees and streetlights, 10' between trees and water or sewer mains, 6' between trees and water or sewer service lines, 4' between gas lines and 8' away from driveways.
- Developer shall replace dead or dying street trees after planting until final inspection and maintenance acceptance by the City of Fort Collins Forestry Division. All street trees must be established, an approved species and of acceptable condition prior to acceptance.

**SUGGESTED PLANT LIST**

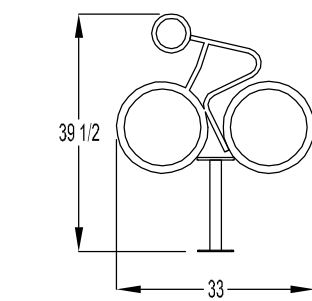
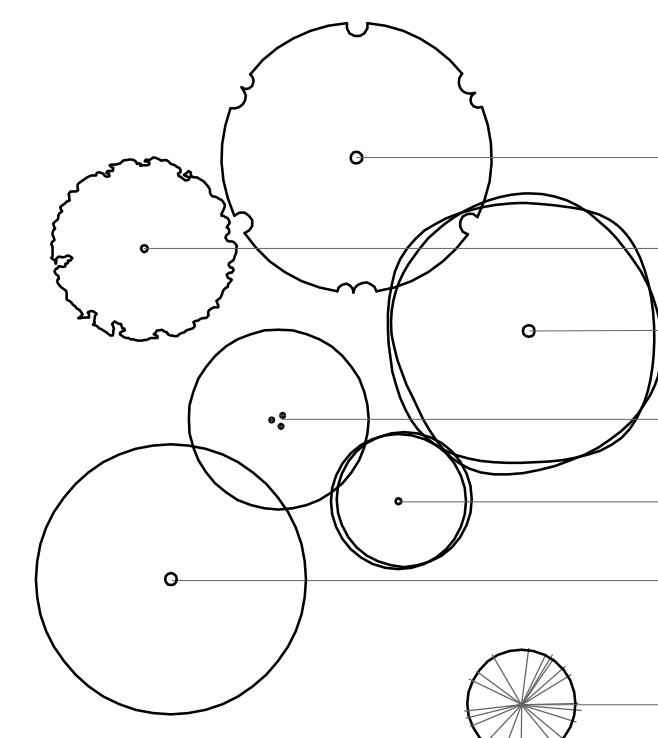
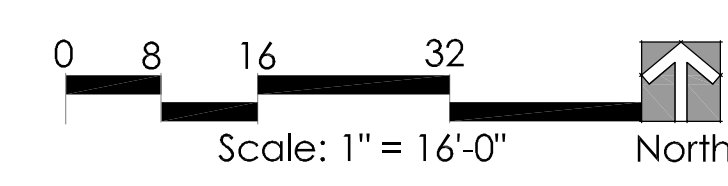
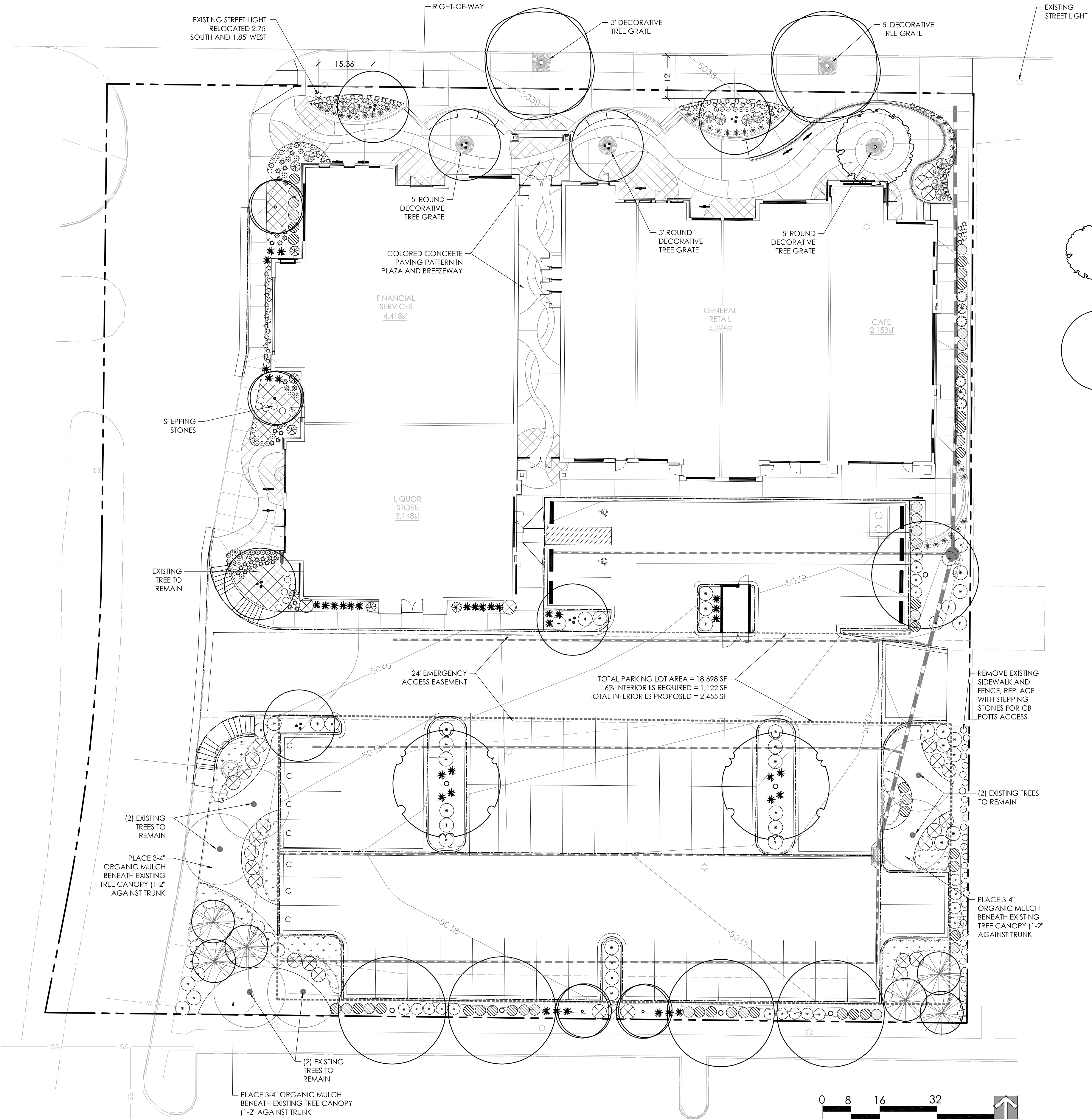
#	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HYDROZONE
<b>DECIDUOUS SHADE TREES</b>					
2	CSP	Catalpa speciosa	Western Catalpa	3" cal.	Low/Mod
1	GBL	Ginkgo biloba	Ginkgo Tree	3" cal.	Low/Mod
2	GTS	Gleditsia triacanthos inermis 'Skycole'	Skyline Honeylocust	3" cal.	Low/Mod
7	PCA	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Flowering Pear	3" cal.	Low/Mod
4	QAC	Quercus alba 'Crimson Spire'	Crimson Spire Oak	3" cal.	Low/Mod
5	QSH	Quercus shumardii	Shumard Oak	3" cal.	Low/Mod
<b>EVERGREEN TREES</b>					
6	PBB	Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	8' ht.	Mod
<b>DECIDUOUS SHRUBS</b>					
-	ASX	Acanthopanax sieboldianus	Five-leaf Aralia	5 gal.	Low
-	BEC	Berberis x 'Emerald Carousel'	Emerald Carousel Barberry	5 gal.	Low
-	BDP	Buddleia davidii	Purple Butterfly Bush	5 gal.	Med
-	PBP	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	5 gal.	Low/Mod
-	RGL	Rhus aromatica 'Gro-Low'	Grow-Low Sumac	5 gal.	Low
<b>EVERGREEN SHRUBS</b>					
-	JSS	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	5 gal.	Low
-	PMS	Pinus mugo 'Slowmound'	Slowmound Mugo Pine	5 gal.	Low
<b>ORNAMENTAL GRASSES</b>					
-	CAA	Calamagrostis acutiflora 'Avalanche'	Avalanche Feather Reed Grass	1 gal.	Mod
-	DNL	Deschampsia cespitosa 'Northern Lights'	Northern Lights Hair Grass	1 gal.	Mod
-	HSE	Helictotrichon sempervirens	Blue Avena Grass	1 gal.	Low
-	SSC	Schizachyrium scaparium	Little Blue Stem Grass	1 gal.	Low
<b>PERENNIALS</b>					
-	ESU	Echinacea 'Sundown'	Sundown Coneflower	1 gal.	Med
-	OEN	Oenothera mac. 'Silver Blades'	Silver Blades Evening Primrose	1 gal.	Low
-	SAJ	Sedum spectabile 'Autumn Joy'	Autumn Joy Tail sedum	1 gal.	Low

**WATER BUDGET CHART:**

HYDROZONE	WATER USE	AREA	ANNUAL WATER USE
High	18 Gal/SF	0 SF	0 Gal.
Moderate	10 Gal/SF	1,767 SF	17,670 Gal.
Low	3 Gal/SF	5,176 SF	15,528 Gal.
Very Low	0 Gal/SF	1,159 SF	0 Gal.
<b>TOTAL LANDSCAPE AREA</b>		<b>8,102 SF</b>	<b>33,198 Gal.</b>

**LANDSCAPE AREA CALCULATIONS:**

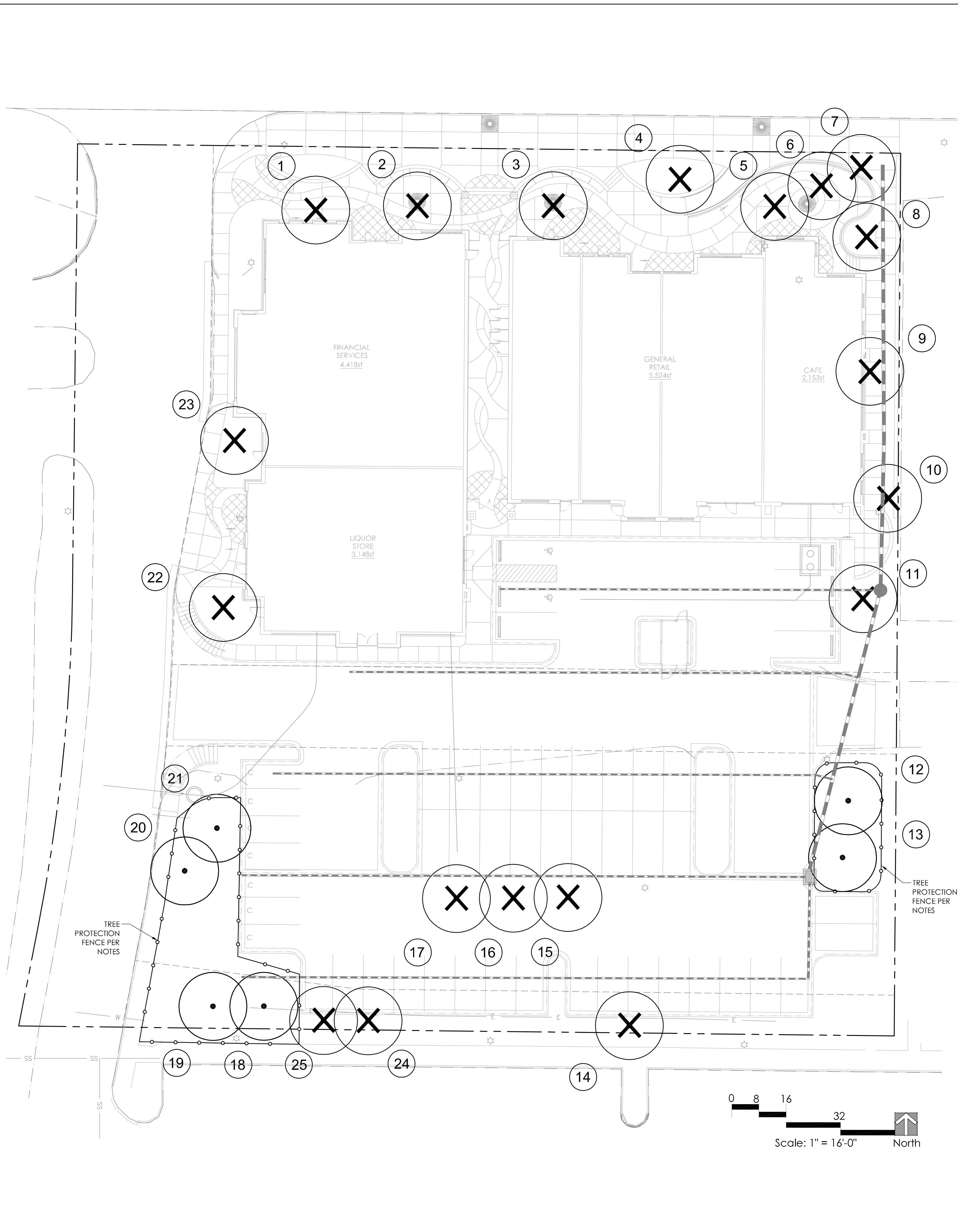
TOTAL PARKING LOT AREA	23,050 SF
REQUIRED PARKING LOT LANDSCAPE (6%)	1,122 SF
PROPOSED PARKING LOT LANDSCAPE	2,455 SF
ALL OTHER LANDSCAPE AREAS	5,647 SF
<b>TOTAL LANDSCAPE AREA</b>	<b>8,102 SF</b>



BIKE RACKS

**UPTOWN PLAZA**

PROJECT DEVELOPMENT PLAN (PDP)  
1501 W. ELIZABETH ST.  
D.K. INVESTMENTS, INC. - DEVELOPER  
MR. SAPAN KAPOOR, PRES.



**Tree Mitigation List**

Tree #	Size	Type	Condition	Mitigation	Remove	Retain
1	14"	Honey Locust	Poor (Canker)	1 TE	x	
2	11"	Green Ash	Fair-Good	1.5 TE	x	
3	12"	Green Ash	Fair-Good	1.5 TE	x	
4	12"	Honey Locust	Fair	2 TE	x	
5	13"	Austrian Pine	Fair-Good	1.5 TE	x	
6	14"	Austrian Pine	Fair	2 TE	x	
7	2x6"	Rocky Mountain Juniper (Multi Stem)	Fair	0 TE	x	
8	16"	White Ash	Fair-Good	2 TE	x	
9	12"	Crabapple	Fair-Good	1.5 TE	x	
10	18"	Austrian Pine	Fair-Good	2 TE	x	
11	15"	Austrian Pine	Fair	2 TE	x	
12	15"	Honey Locust	Fair	2.5 TE		x
13	12"	Honey Locust	Fair	2 TE		x
14	15"	Flowering Pear	Poor	0 TE	x	
15	18"	Austrian Pine	Fair-Poor	1 TE	x	
16	15"	Austrian Pine	Poor	1 TE	x	
17	15"	Austrian Pine	Poor	1 TE	x	
18	13"	Austrian Pine	Fair	2 TE		x
19	15"	Austrian Pine	Fair-Good	2 TE		x
20	13"	Honey Locust	Fair	1.5 TE		x
21	12"	Honey Locust	Poor	1 TE		x
22	14"	Green Ash	Fair-Poor	2 TE	x	
23	9"	Green Ash	Good	1.5 TE	x	
24	13"	Austrian Pine	Fair	1 TE	x	
25	15"	Austrian Pine	Fair	2 TE	x	
<b>Total</b>				<b>37.5 TE</b>	<b>26.5 TE</b>	<b>11 TE</b>

**Mitigation Notes:**

TE = Tree Equivalent  
 New trees shall meet the following size requirements for mitigation:  
 Shade Tree = 3" Caliper min.  
 Ornamental Tree = 2.5" Caliper min.  
 Evergreen Tree = 8' height min.

**Total TE's on site = 37.5**  
**Total TE's to be removed = 26.5**  
**Total new trees for mitigation = 27**

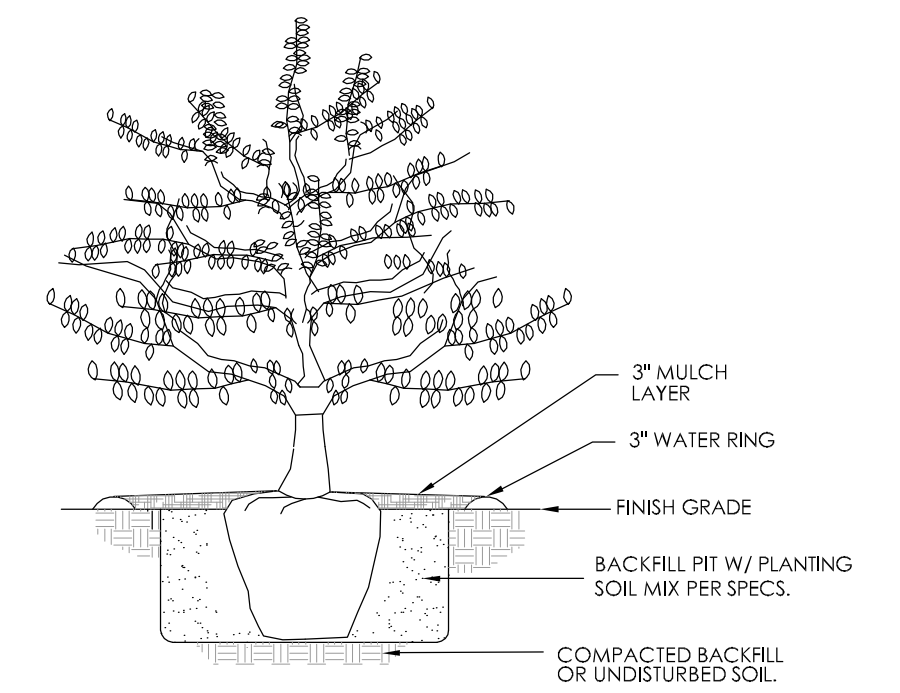
**Tree Protection Specifications**

1. Within the drip line of any protected existing tree, there shall be no cut or fill over a four-inch depth unless a qualified arborist or forester has evaluated and approved the disturbance.
2. All pruning and removal of existing trees shall be provided by a business that holds a current City of Fort Collins Arborist Licence as required by code.
3. All protected existing trees shall be pruned prior to construction to the City of Fort Collins Forestry standards. A certified arborist is under contract for the project and shall be on site for all pruning.
4. Prior to and during construction, barriers shall be erected around all protected existing trees with such barriers to be of orange fencing a minimum of four (4) feet in height, secured with metal T-posts, no closer than six (6) feet from the trunk or one-half (1/2) of the drip line, whichever is greater. There shall be no storage or movement of equipment, material, debris or fill within the fenced tree protection zone. (See plan for specific details)
5. During the construction stage of development, the applicant shall prevent the cleaning of equipment or material or the storage and disposal of waste material such as paints, oils, solvents, asphalt, concrete, motor oil or any other material harmful to the life of a tree within the drip line of any protected tree or group of trees.
6. No damaging attachment, wires, signs or permits may be fastened to any protected tree.
7. The installation of utilities, irrigation lines or any underground fixture requiring excavation deeper than six (6) inches shall be accomplished by boring under the root system of protected existing trees at a minimum depth of twenty-four (24) inches. The auger distance is established from the face of the tree (outer bark) and is scaled from tree diameter at breast height as described in the chart below:  

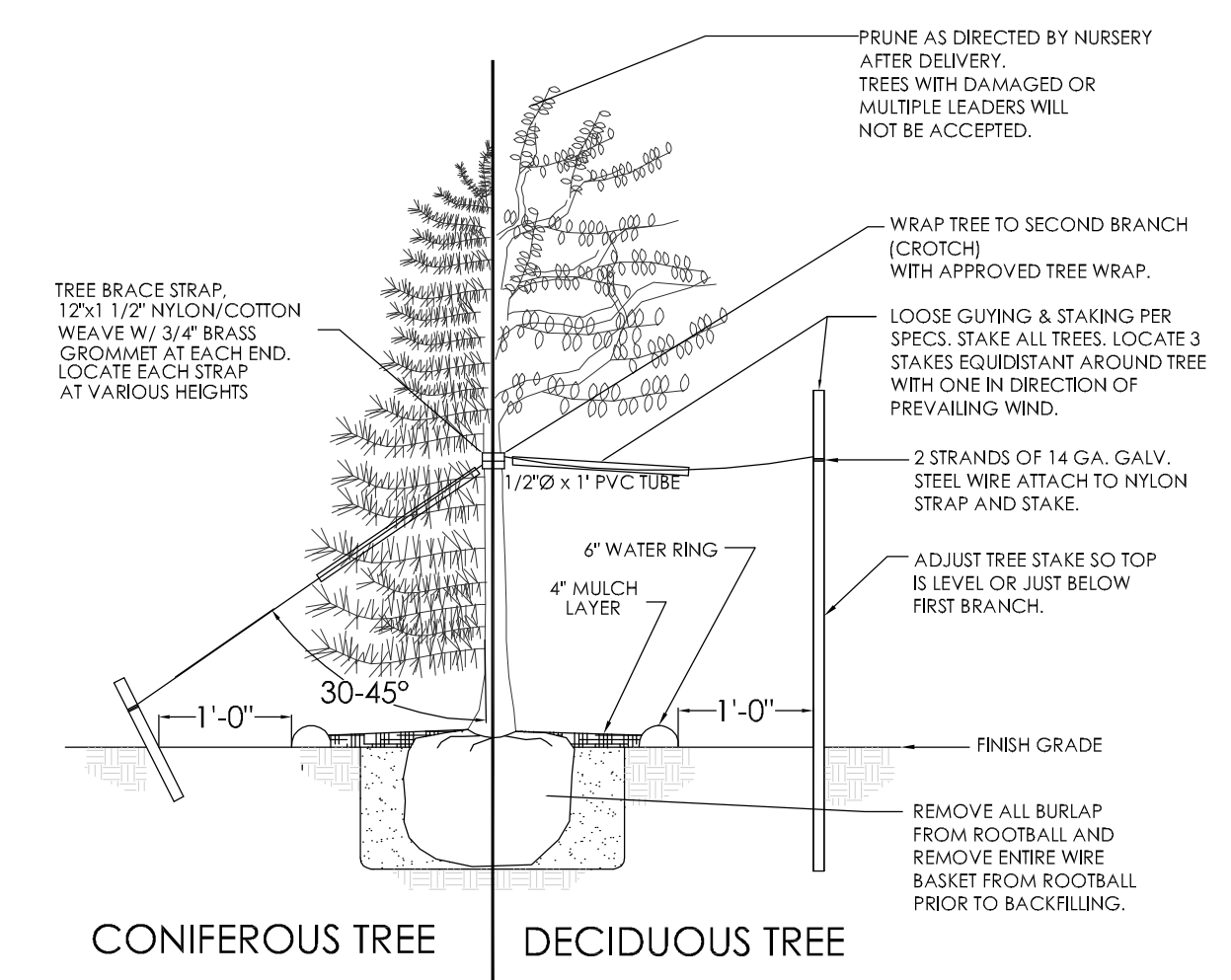
TREE DIAMETER AT BREAST HT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (feet)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
Over 19	15
8. No irrigation shall be applied within 5' of the trunk of any protected tree.
9. Existing grades/drainage shall be maintained at the base of all existing trees to remain.
10. Arborist will conduct a post construction evaluation to identify impact to existing trees.

**Planting Notes:**

1. The soil in all landscape areas, including parkways and medians, shall be thoroughly loosened to a depth of not less than eight (8) inches and soil amendment shall be thoroughly incorporated into the soil of all landscape areas to a depth of at least six (6) inches by tilling, dicing or other suitable method, at a rate of at least three (3) cubic yards of soil amendment per one thousand (1,000) square feet of landscape area.
2. A permit must be obtained from the City forester before any trees or shrubs as noted on this plan are planted, pruned or removed on the public right-of-way. This permit shall approve the location and species to be planted. Failure to obtain this permit may result in replacing or relocating trees and a hold on certificate of occupancy.
3. The developer shall contact the City Forester to inspect all street tree plantings at the completion of each phase of the development. All trees need to have been installed as shown on the landscape plan. Approval of street tree planting is required before final approval of each phase. Failure to obtain approval by the City Forester for street trees in a phase shall result in a hold on certificate of occupancy for future phases of the development.



SHRUB PLANTING DETAIL



CONIFEROUS TREE DECIDUOUS TREE

- NOTE:
1. HOLE DEPTH SHALL BE SUCH THAT CROWN OF ROOTBALL SITS 2"-3" ABOVE GRADE. ROOT FLARE SHALL BE PLAINLY VISIBLE.
  2. NO CLOSURE LARGER THAN 1 1/2" IN BACKFILL.
  3. HOLE DIAMETER SHALL BE 2 TIMES ROOTBALL DIAMETER.
  4. PULL MULCH AWAY FROM TRUNK MINIMUM 2".
  5. SETTLE BACKFILL AROUND ROOTBALL WITH WATER THEN FILL IN VOIDS BEFORE MULCHING.
  6. TREES WHOSE PRIMARY ROOTS JOIN THE TREE AT A DEPTH OF 20% BELOW THE TOP OF THE ROOTBALL WILL BE REJECTED.
  7. BALL SIZE MUST MEET AAN OR COLORADO NURSERYMAN'S ACT SPECS, WHICHEVER IS MORE STRICT.

TREE PLANTING DETAIL



CONSULTANT INFORMATION

Original Date: 08/21/13  
 Drawn By: YK/M  
 Checked By: JG/CM  
 Issued By: JG

Revisions:

NO.	DATE	DESCRIPTION
01	12/28/14	PER CITY COMMENTS

**UPTOWN PLAZA**  
 PROJECT DEVELOPMENT PLAN (PDP)  
 1501 W. ELIZABETH ST.  
 D.K. INVESTMENTS, INC - DEVELOPER  
 MR. SAPAN KAPOOR, PRES.

01/29/2014 1453 2/2

**PDP-L2**

EXISTING TREE PLAN + PLANTING DETAILS

NOTE: all signage will comply with the sign code. Signs shown are for location illustrative purposes only. Signs are not permitted with this application and require a separate sign permit; building-mounted and pole-mounted light fixtures will be shielded and down directional; mechanical units will be screened from view, meters and conduits attached to the wall will be painted to match the building color, and roof vents will be painted to match the roof

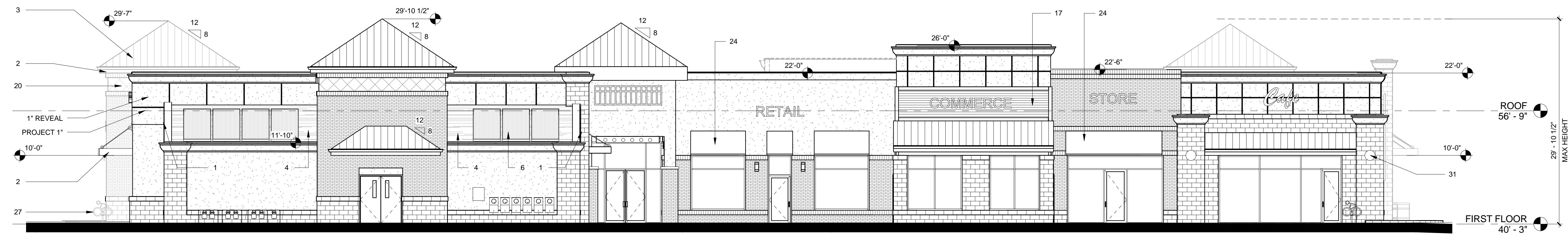
EXTERIOR MATERIAL LIST	
Mark	Description
1	SHEET METAL CAP
2	SHEET METAL FASCIA
3	STANDING SEAM METAL ROOFING
4	COMPOSITION SHINGLE ROOFING
6	PHOTOVOLTAIC PANELS - BY TENANT(S)
13	BRICK - RUNNING BOND
14	BRICK - SOLDIER COURSE
15	4x8x16 SPLIT FACE CMU
17	8" HARDI LAP SIDING
19	CORRUGATED METAL SIDING
20	CERAMIC TILE
24	SLOPED FABRIC AWNING
27	BIKE RACK
30	STACKED BLOCK WALL
31	EXTERIOR LIGHTING
32	BENCH



1 PERSPECTIVE LOOKING SOUTH EAST ALONG ELIZABETH  
PDP-A3

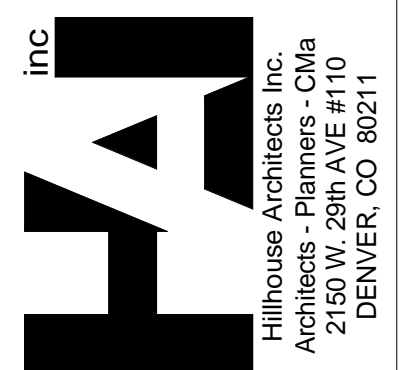


2 NORTH ELEVATION  
PDP-A3 1/8" = 1'-0"



3 SOUTH ELEVATION  
PDP-A3 1/8" = 1'-0"

Orig. Issue Date: 14.01.20  
Job No: 1453  
Drawn By: ARH  
Checked By: JH  
Issued: 14.02.19  
Revisions: 1



**UPTOWN PLAZA**  
PROJECT DEVELOPMENT PLAN (PDF)  
1501 W. ELIZABETH ST.  
D.K. INVESTMENTS, INC - DEVELOPER  
MR. SAPAN KAPOOR, PRES.



3 PERSPECTIVE LOOKING NORTH WEST FROM PARKING LOT  
PDP-A4

NOTE: all signage will comply with the sign code. Signs shown are for location illustrative purposes only. Signs are not permitted with this application and require a separate sign permit; building-mounted and pole-mounted light fixtures will be shielded and down directional; mechanical units will be screened from view, meters and conduits attached to the wall will be painted to match the building color, and roof vents will be painted to match the roof

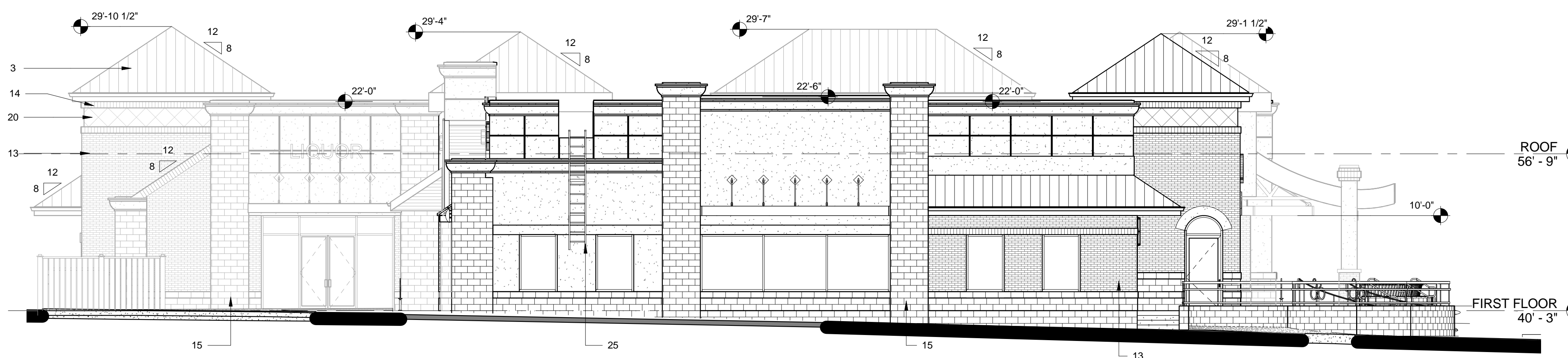
EXTERIOR MATERIAL LIST	
Mark	Description
3	STANDING SEAM METAL ROOFING
9	STUCCO
12	ALUMINUM STOREFRONT/WINDOW/DOOR
13	BRICK - RUNNING BOND
14	BRICK - SOLDIER COURSE
15	4x8x16 SPLIT FACE CMU
20	CERAMIC TILE
25	RETRACTABLE ROOF ACCESS LADDER

14.01.20  
1453  
ARH  
JH

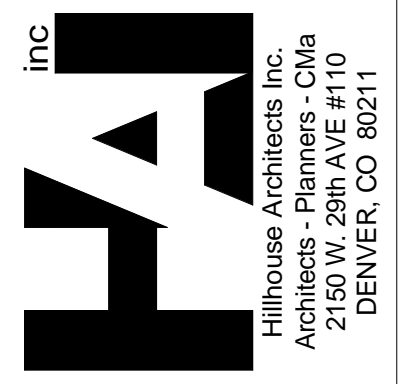
Orig. Issue Date:  
Job No:  
Drawn By:  
Checked By:  
Issued:  
Revisions:  
1 | 14.02.19



2 WEST ELEVATION  
PDP-A4 1/8" = 1'-0"



1 EAST ELEVATION  
PDP-A4 1/8" = 1'-0"



**UPTOWN PLAZA**  
PROJECT DEVELOPMENT PLAN (PDP)  
1501 W. ELIZABETH ST.  
D.K. INVESTMENTS, INC. - DEVELOPER  
MR. SAPAN KAPOOR, PRES.

02/19/2014 1453

PDP-A4

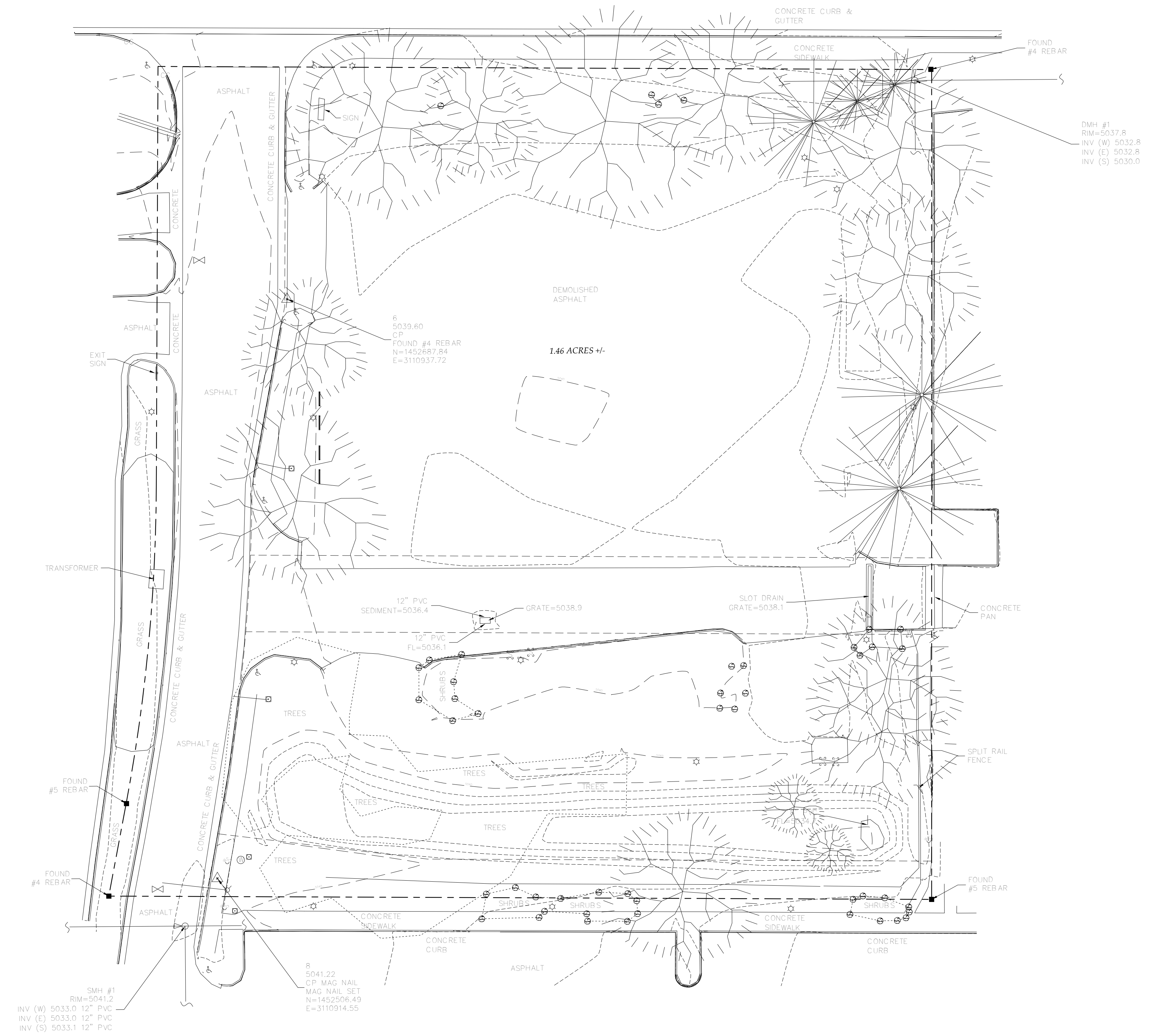
EXTERIOR ELEVATIONS



# UPTOWN PLAZA

LOT 1 DIAMOND SHAMROCK CORNER STORE  
SUBDIVISION, FT. COLLINS, LARIMER COUNTY,  
COLORADO. AKA: 1501 W. ELIZABETH ST.

WEST ELIZABETH STREET



1 EXISTING SITE  
PDP-A2 1"=20'-0"

14.07.20  
1453  
ARH  
JH

Orig. Issue Date:  
Job No:  
Drawn By:  
Checked By:  
Issued:  
Revisions:

1	14.02.19
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**UPTOWN PLAZA**  
PROJECT DEVELOPMENT PLAN (PDF)  
1501 W. ELIZABETH ST.  
D.K. INVESTMENTS, INC - DEVELOPER  
MR. SAPAN KAPOOR, PRES.

02/19/2014 1453 2/4  
**PDP-A2**  
EXISTING CONDITIONS





