



ITEM NO 1
MEETING DATE July 7, 2014
STAFF Pete Wray

ADMINISTRATIVE HEARING OFFICER

STAFF REPORT

PROJECT: Timbervine PDP Type I, #PDP140002

APPLICANT: Russell + Mills Studios
Craig Russell, RLA Planner
141 S. College Ave
Fort Collins, CO 80525

OWNER: Hartford Companies
1218 W. Ash St., Suite A
Windsor, CO 80550

PROJECT DESCRIPTION:

This is a request for a Project Development Plan (P.D.P.) for a parcel of land located generally at the southwest corner of East Vine Drive and North Timberline Road. The request is for 167 dwelling units on 39.19 acres. Access via Mexico Way will be improved and extended to International Boulevard, and connection to existing Makinac Street will both serve the site. As proposed, there would be 121 single family detached (front load) houses, 24 single family detached (rear load) houses served by an alley, and 22 single family attached townhouses. A one acre neighborhood park and one and one-half mile trail system is also included. The parcel is zoned Low Density Mixed-Use Neighborhood, L-M-N.

RECOMMENDATION: Approval of the P.D.P.

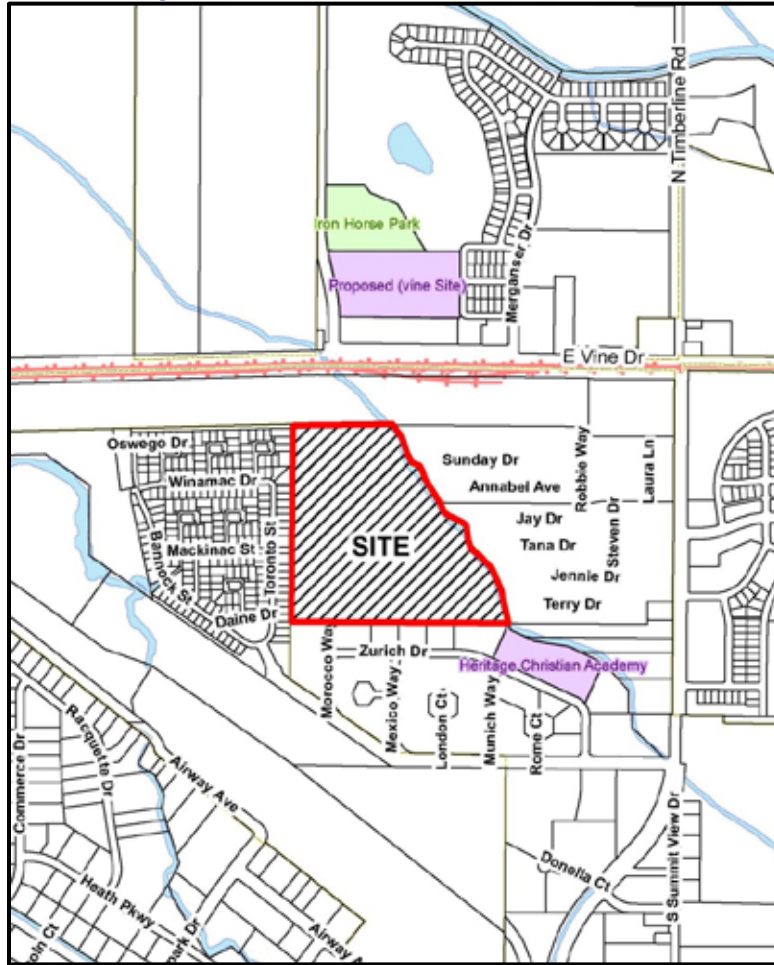
EXECUTIVE SUMMARY:

The proposed PDP has been reviewed by staff and is in compliance with the East Mulberry Corridor Plan, Land Use Code (LUC) applicable General Development Standards of Article Three, and the L-M-N standards in Article Four.

COMMENTS:

1. Background

Map 1: Timbervine PDP Site Location



The property was annexed in 1998 as part of the RDC annexation and zoned Low Density Mixed-use Neighborhood (L-M-N). The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Larimer County Industrial (I)	BBNSF Railroad switching yard
South	Larimer County Industrial (I)	Vacant land
East	Larimer County Industrial (I)	Residential (mobile home park)
West	Low Density Mixed-Use Neighborhood (L-M-N)	Dry Creek subdivision

The East Mulberry Corridor Plan (EMCP), adopted in 2003 established the land use framework for this area. The proposed Timbervine P.D.P. is consistent with the EMCP for L-M-N designation.

2. Compliance with Applicable L-M-N District Standards [Division 4.5]

A. Purpose:

The purpose of the L-M-N District is as follows:

The Low Density Mixed-Use Neighborhood District is intended to be a setting for a predominance of low density housing combined with complementary and supporting land uses that serve a neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood. The main purpose of the District is to meet a wide range of needs of everyday living in neighborhoods that include a variety of housing choices that invite walking to gathering places, services and conveniences, and that are fully integrated into the larger community by the pattern of streets, blocks, and other linkages.

The proposed project is consistent with the stated purpose of the zone district as the uses proposed integrate with the existing L-M-N Dry Creek neighborhood to the west and mobile home park to the east.

B. Section 4.5(B)(2) – Permitted Uses

The P.D.P. includes two land uses – single family detached and single family attached. Both are permitted in the L-M-N zone subject to Administrative (Type One) Review.

C. Section 4.5(D)(1) – Density

The P.D.P. features 167 dwelling units on 39.19 acres for a gross density of 4.26 dwelling units per gross acre. There are several parcels that are deducted from the gross acreage in accordance with *Section 3.8.18 (Residential Density Calculation)*. This includes landscape bufferyards and stormwater detention ponds resulting in a net acreage of 30.37 acres and a net density of 5.5 dwelling units per acre.

The gross density is well under the maximum allowed (9.00 d.u./acre) and exceeds the required minimum net density (4.00 d.u./acre) thus complying with the standard.

D. Section 4.5(D)(2) – Mix of Housing

The P.D.P. features the following three housing types:

Housing Type:	# of Dwelling Units	Percent of Total
Single Family Detached (Front Loaded Garage)	121	72.5%
Single Family Detached (Alley)	24	14.3%
Single Family – Attached	22	13.2%
Total:	167	100%

The standard calls for three housing types on projects containing 20 acres or more and four housing types on projects containing 30 acres or more of developable land. The net developable land area is 30.37 acres, reflecting a nominal increase over 30 acres. As such, staff has determined a fourth housing type is not required.

The standard also requires that a single housing type not constitute more than 80% or less than 5% of the total number of dwelling units. As can be seen, the P.D.P. complies with these parameters.

E. Section 4.5(D)(6) – Small Neighborhood Parks

This standard requires that either a public neighborhood park or a private park, at least one acre in size, be located within one-third of a mile (1,760 feet), as measured along street frontage, of 90% of the dwellings, for development projects ten acres or larger.

The proposed project includes an approximate one acre private neighborhood park. This park will connect to a 1.5 mile perimeter trail system and open space, and link to a future regional trail off site.

All of the dwellings are within one-third of a mile of the future neighborhood park.

F. Section 4.5(E)(1)(a) – Streets and Blocks – Street System Block Size

This standard requires that the local street system provide an interconnected network of streets such that blocks do not exceed 12 acres.

The P.D.P. features a network of streets, that result in no block exceeding 12 acres.

G. Section 4.5(E)(1)(b) – Streets and Blocks – Mid-Block Pedestrian Connections

This standard requires that if any block face is over 700 feet long, then walkways connecting to other streets must be provided at approximately mid-block or at intervals of at least every 650 feet, whichever is less.

The Timbervine P.D.P. complies with this standard. For each block face that is longer than 700 feet long, a mid-block bicycle and pedestrian connection is provided at intervals that do not exceed 650 feet.

3. Compliance with Applicable Article Three General Development Standards:

A. Section 3.2.1 – Landscaping

All public streets will be landscaped with street trees, including the external streets, consistent with the *Larimer County Urban Area Street Standards*. The P.D.P. provides canopy street trees at 30-40 foot spacing along all street parkway landscaping areas and separated from street light locations.

The P.D.P. provides landscape area treatments for all open areas, buffers, detention areas and park locations with turf grass, planting beds and trees.

B. Section 3.2.2 – Access, Circulation and Parking

The P.D.P. provides for an off-street pedestrian and bicycle circulation system primarily by constructing a site perimeter loop trail and series of internal paths and mid-block connections. A trail stub-out is provided to connect to the City's future regional trail along the Lake Canal. A path connects to the existing Dry Creek subdivision to the west and an off-site sidewalk is provided along the parkway of Mexico Way connecting to International Boulevard to the south.

C. Sections 3.2.3(C) and (F) – Solar Orientation

This standard requires that at least 65% of the lots (108) be oriented to within 30 degrees of an east-west line. Timbervine provides 61% (101 lots) at this orientation thus short by 7 lots.

This standard allows for alternative compliance. Timbervine P.D.P. reflects an irregular, triangular shaped parcel. This orientation governs the number of east-west streets which would normally allow for full compliance with the standard. The site constraints include limited street access from existing development dictating street alignment, and sharing a boundary with the existing Lake Canal along the eastern edge and associated buffer area.

In compliance with provision of Section 3.2.3(F), Timbervine P.D.P. is designed in an alternative manner and meets the applicable review criteria:

- The subdivision enhances neighborhood continuity and connectivity by linking to a future City's Parks and Recreation Department regional trail. All connecting walkways linking to this regional trail are to be dedicated as public access easements.
- The subdivision fosters non-vehicular access and preserves existing natural conditions by the aforementioned walkways and continues to respect the established topography by preservation of the Lake Canal buffer and 1 acre park.

D. Section 3.3.1(B)(C) – Plat Standards – Lots and Public Dedications

All lots gain access to a public street. The general layout of lots, roads, driveways, utilities, drainage facilities and other services are designed in a way that enhances an interconnected street system within and between future neighborhoods and preserves natural features. Dedications are platted for drainage and utility easements as well as public access easements for the off-street walkways.

E. Section 3.4.1 – Natural Habitats and Features

To meet the standards associated with Section 3.4.1, the project has proposed to apply the quantitative (50' buffer) and qualitative standards contained in Section 3.4.1(E) of the Land Use Code. The proposed buffer is 50' in width, meeting the quantitative standard.

The project meets the qualitative performance standards in Section 3.4.1 by incorporating the following elements into the design:

1. No fencing is proposed between the ditch and the development, which will allow for wildlife movement across the site (Section 3.4.1(E)(1)(b)).
2. The project enhances the vegetation by providing additional trees, shrubs, and native grasses to enhance the value of the ditch as a wildlife corridor. A mix of deciduous and evergreen species will provide cover for wildlife in all seasons (Section 3.4.1(E)(1)(g)).

F. Section 3.5.1 – Project Compatibility

Timbervine P.D.P. zoned L-M-N, will adjoin the existing Dry Creek L-M-N subdivision to the west. The proposed Timbervine P.D.P. will provide direct street and pedestrian connections to Dry Creek and reflect a similar residential character. To the east is the

existing Collins Aire Mobile Home Park, and to the south is a vacant and developing industrial park. A landscape detention area and landscape buffer is provided along the south edge of the project to screen between the two uses in anticipation of pending development.

G. Section 3.5.2(C) – Housing Model Variety

For developments of 100 or more single family dwelling units, four different types of housing models are required. The housing models have not yet been selected at the P.D.P. stage. The standard acknowledges that for a P.D.P., such level of detail is not finalized and allows the enforcement to be at the building permit review stage in accordance with Section 3.8.15.

H. Section 3.5.2(F)(1) – Street Facing Garage Doors

This standard requires that street-facing garage doors must be recessed behind either the front façade of the ground floor living area portion of the dwelling or a covered porch that measures at least 6' x 8' by at least four (4) feet. For individual lots, compliance will be evaluated at the time of building permit application.

I. Section 3.6.4 – Transportation Level of Service (LOS) Requirements

A Transportation Impact Study (T.I.S.) has been prepared based on Timbervine P.D.P., containing 167 single family dwellings. The P.D.P. will construct, widen or extend the following streets in compliance with the Master Street Plan and in accordance with the Larimer County Urban Area Street Standards:

- Mexico Way – Off-site local street (parkway improvements – east side only)
- All other internal streets – local street

The T.I.S. concludes:

- § The development of the TimberVine is feasible from a traffic engineering standpoint. At full development, the TimberVine will generate approximately 1692 daily trip ends, 127 morning peak hour trip ends, and 168 afternoon peak hour trip ends.
- § Current operation at the Timberline/Vine, Timberline/International, and Timberline/Mulberry intersections is acceptable. Current operation at the Timberline/Lincoln intersection is at level of service F for the minor street movements.
- § The Timberline/Vine, Timberline/International, and Timberline/Lincoln intersections are currently unsignalized. It is not likely that volume based signal warrants would be met at the Timberline/Vine, Timberline/International, and

Timberline/Lincoln intersections in the short range (2018) future. Using the long range (2035) total peak hour traffic forecasts, the peak hour signal warrant will likely be met in the morning and afternoon peak hours at the Timberline/Vine and Timberline/International intersections. Based on the peak hour signal warrant, it is likely that other volume based signal warrants would be met at these intersections in the long range (2035) future.

- § In the short range (2018) future, given development of the TimberVine and an increase in background traffic, the Timberline/Vine, Timberline/International, and Timberline/Mulberry intersections will operate acceptably with existing control and geometry. The Timberline/Lincoln intersection will operate at level of service F for the minor street movements. At the Timberline/Vine intersection, the calculated delay for the afternoon peak hour northbound approach will experience delays that are commensurate with level of service F. This is considered to be normal during the peak hours at stop sign controlled intersections along arterial streets. This will be a temporary condition.
- § In the long-range (2035) future, given development of the TimberVine and an increase in background traffic, the Timberline/New Vine, Timberline/International, and Timberline/Mulberry intersections will operate acceptably. The Timberline/Lincoln intersection will operate at level of service F for minor street movements.
- § The short range (2018) geometry is shown in Figure 16. The long range (2035) geometry is shown in Figure 17.
- § Acceptable level of service is achieved for pedestrian, bicycle, and transit modes based upon the measures in the multi-modal transportation guidelines and future improvements to the street system in the area. The short range (2016) geometry is shown in Figure 14. The long range (2030) geometry is shown in Figure 15.
- § Acceptable level of service is achieved for bicycle and transit modes based upon the measures in the multi-modal transportation guidelines and future improvements to the street system in the area. Pedestrian level of service B is not achieved for all pedestrian destinations with regard to continuity. The practical limits of pedestrian improvements would be on the TimberVine site itself.

In general, Timbervine P.D.P. is served by a network of public streets which provide an adequate level of both internal and external connectivity, given the existing constraints within the area for potential street connections.

4. Neighborhood Meeting:

A neighborhood meeting was not required since this project is a Type I review. However, because this proposed development is adjacent to and connects directly to the existing Dry Creek neighborhood, staff determined a neighborhood meeting would be beneficial to inform and coordinate this project with existing neighbors.

A voluntary neighborhood meeting was held on May 28, 2014. In general, there were a majority of questions and concerns about traffic related impacts and about how this proposed development will be compatible with existing surrounding neighborhoods. A summary of the meeting is attached.

Key issues heard at meeting:

- (1.) Traffic: Impacts from proposed project on International Boulevard and Timberline Road. Timing of future traffic signal at this intersection and other traffic control measures.
- (2.) Information on proposed project: Questions on design, pedestrian connections to Dry Creek, Park access, extent of landscaping, and timing of development.

5. Findings of Fact:

In evaluating the request for the Timbervine P.D.P., staff makes the following findings of fact:

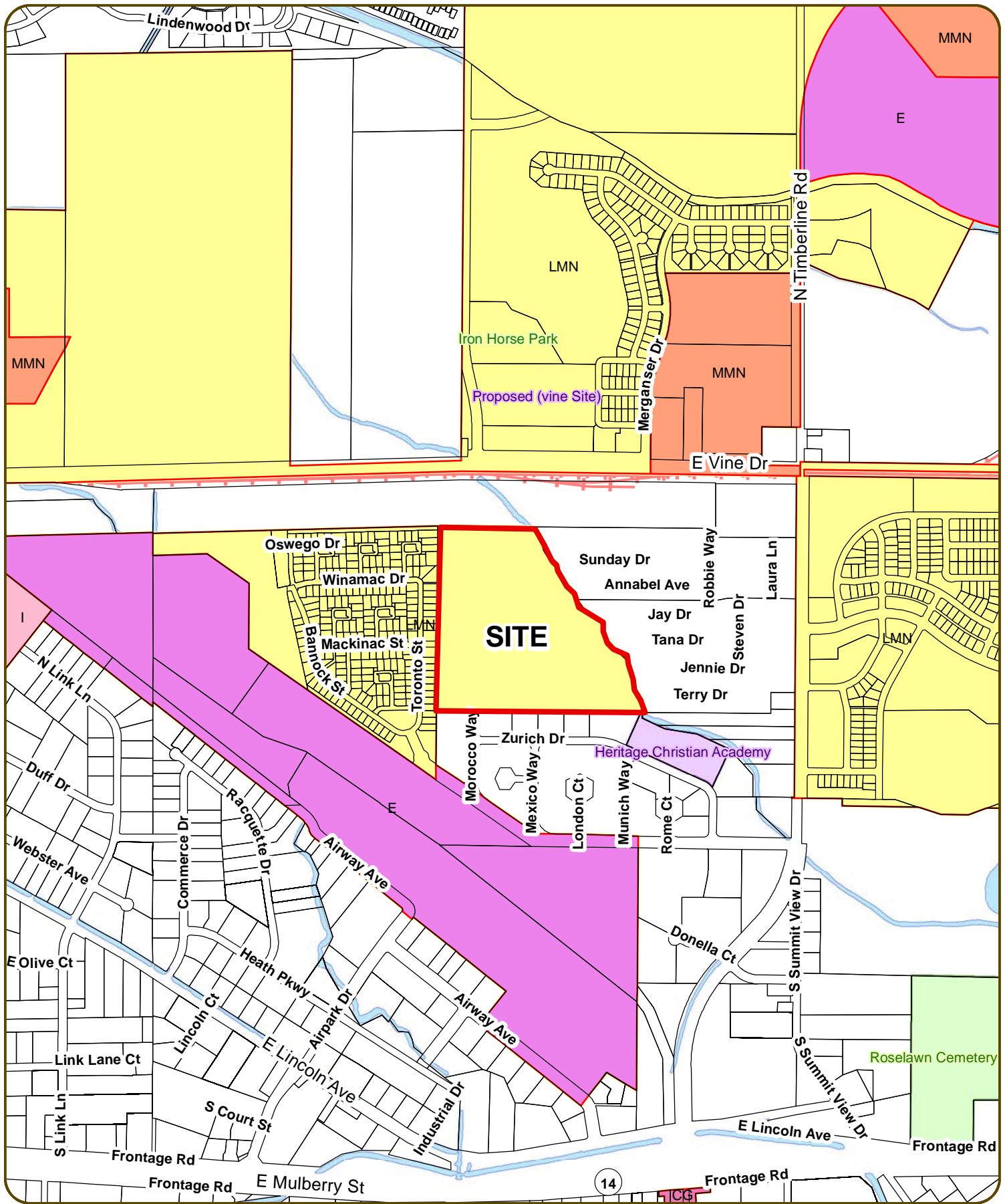
- A. The P.D.P. complies with the applicable procedural and administrative requirements of Article 2 of the Land Use Code.
- B. The P.D.P. complies with the land use and the applicable development standards of the L-M-N zone district as found in Article 4 of the Land Use Code.
- C. The PDP complies with the applicable General Development Standards of Article 3 of the Land Use Code.

RECOMMENDATION:

Staff recommends approval of Timbervine P.D.P., #PDP140002

ATTACHMENTS:

1. Zoning Map
2. Site Plans
3. Plat Plans
4. Landscape Plans
5. Building Elevations
6. Utility Plans
7. Traffic Study
8. Summary of Neighborhood Meeting Public Comments
9. PowerPoint presentation



1 inch = 1,000 feet

Timbervine



PROJECT DEVELOPMENT PLAN - SITE SUBMITTAL

TIMBERVINE

BEING LOCATED IN THE NE 1/4 OF SECTION 7, AND THE NW 1/4 OF SECTION 8, T 7 N, R 68 W OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

SHEET INDEX

LS001	COVER
SV101	EXISTING SITE CONDITIONS
LS101	PHASING PLAN
LS102	OVERALL SITE PLAN
LS401	SITE ENLARGEMENT PLAN
LS402	SITE ENLARGEMENT PLAN
LS501	SITE DETAILS
LS502	SITE DETAILS

PLANNING CERTIFICATE

OWNER'S CERTIFICATION
THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNER'S OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER (SIGNED) _____ DATE _____

OWNER (SIGNED) _____ DATE _____

(STATE OF _____)
(_____) SS
(COUNTY OF _____)

SUBSCRIBED AND SWORN TO BE BEFORE THIS _____ DAY OF _____, 20____, BY WITNESS MY HAND AND OFFICIAL SEAL.

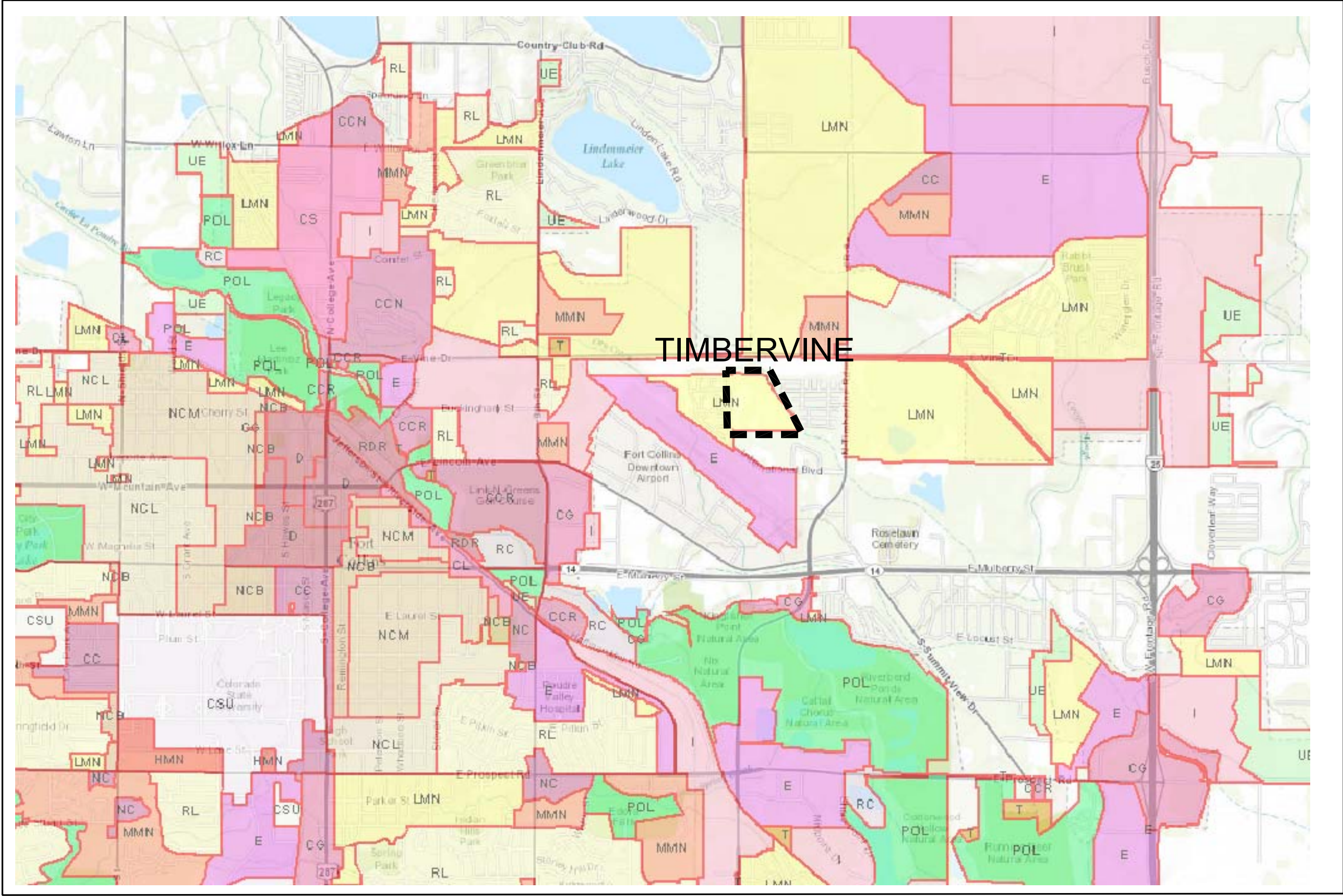
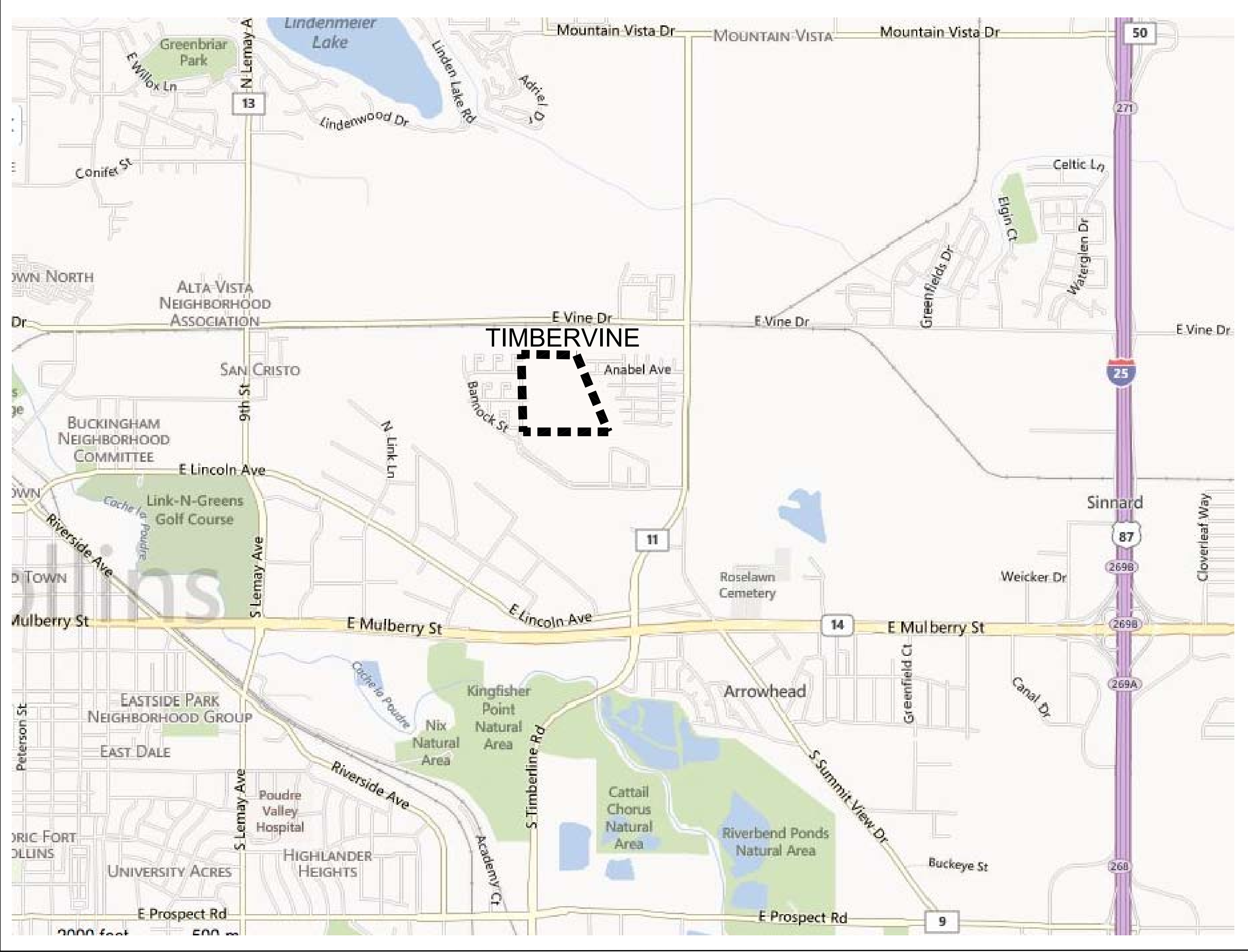
NOTARY PUBLIC _____

ADDRESS _____

MY COMMISSION EXPIRES _____

DIRECTOR OF PLANNING
APPROVED BY THE CURRENT DIRECTOR OF PLANNING OF THE CITY OF FORT COLLINS, COLORADO, THIS _____ OF _____, 20____.

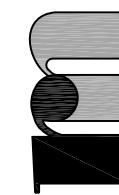
DIRECTOR OF PLANNING _____



REV.	COMMENT	DATE

HARTFORD COMPANIES
1218 West Ash Street, Suite A
Windsor, CO 80550
970.674.1109

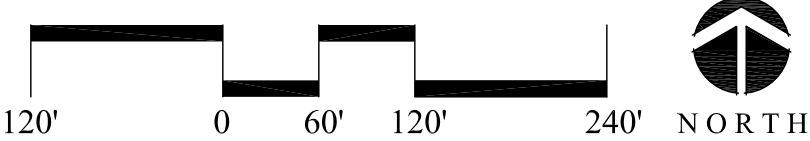


 russell+mills studios
141 s. college ave., suite 104
fort collins, co 80524
p: 970.484.8855
www.russellmillsstudios.com

TIMBERVINE – INTERNATIONAL BLVD.
COVER
PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
Drawn By: SL
Checked By: CR

Sheet
LS001



HARTFORD COMPANIES
1218 West Ash Street, Suite A
Windsor, CO 80550
970.674.1109



RM
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TIMBERVINE – INTERNATIONAL BLVD.

EXISTING SITE CONDITIONS

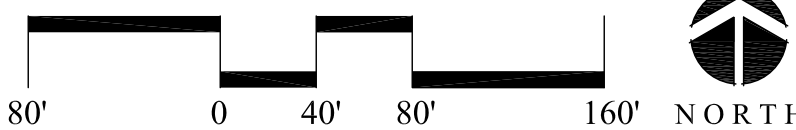
PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
Drawn By: SL
Checked By: CR

Sheet
SV101



- PHASING LEGEND:
- PHASE ONE -- SPRING 2015
A PORTION OF SINGLE FAMILY DETACHED FRONT LOAD HOMES, ALL SINGLE FAMILY REAR LOAD HOMES, MEXICO WAY CONNECTION TO INTERNATIONAL BLVD, NEIGHBORHOOD PARK AND DETENTION AREAS, TRAILS AND TRACT AREAS, AND ENTRY FEATURE MONUMENT TO BE CONSTRUCTED
 - PHASE TWO -- SPRING 2016
REMAINING SINGLE FAMILY FRONT LOAD LOTS AND REMAINING TRAILS AND TRACT AREAS TO BE CONSTRUCTED.
 - PHASE THREE -- SPRING 2016
SINGLE FAMILY ATTACHED UNITS AND LOOP SERVICE ROAD



TIMBERVINE – INTERNATIONAL BLVD.

PHASING PLAN

PROJECT DEVELOPMENT PLAN

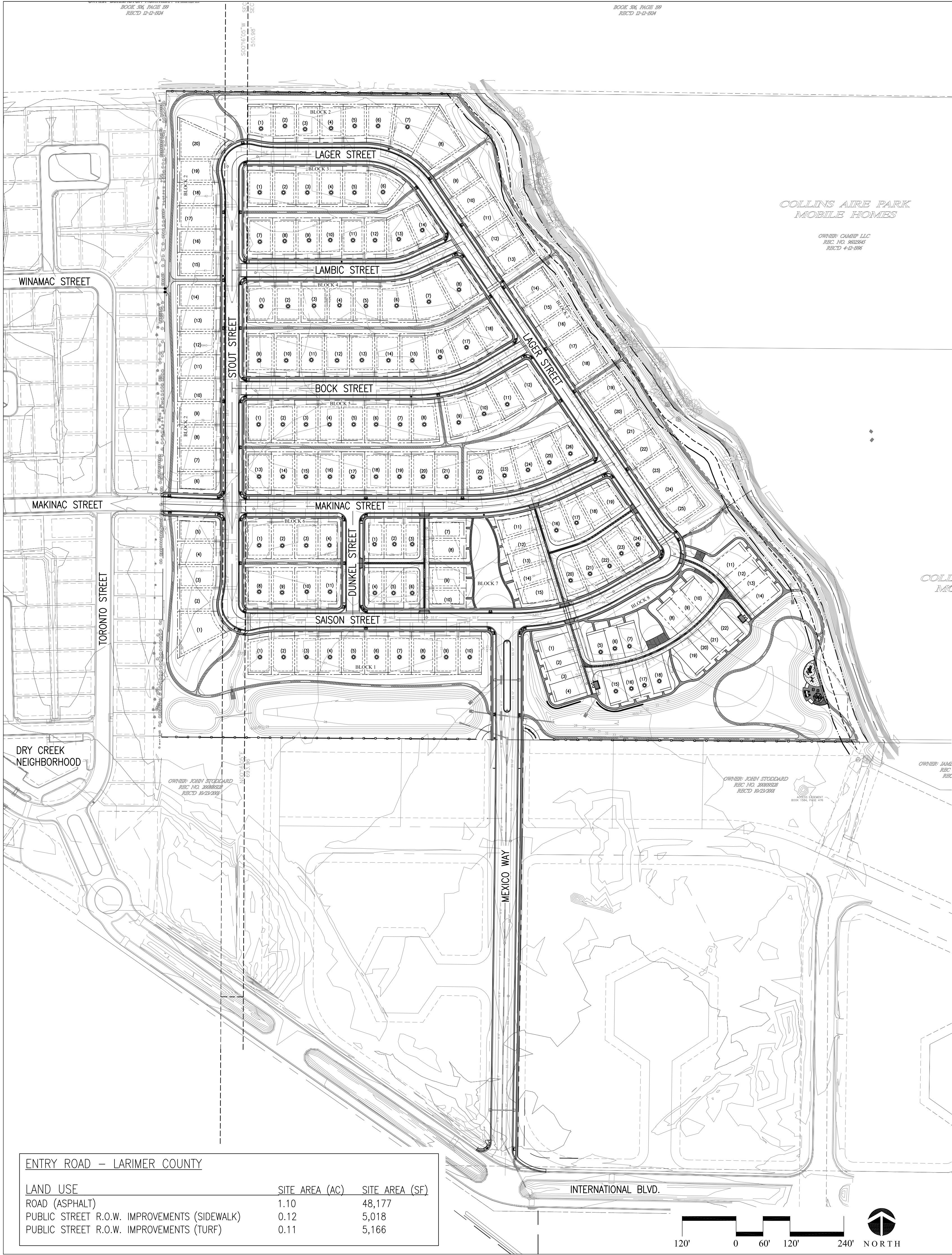
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Windsor, CO 80550
970.674.1109

REV.	COMMENT	DATE



SITE LEGEND:

- SITE BOUNDARY
- R.O.W.
- LOT LINE
- EASEMENT
- BUILDING ENVELOPE
- SITE BOUNDARY FENCE
- 30' DITCH EASEMENT (FROM TOP OF DITCH)
- EXTENT OF GRADING
- 4" THICK STANDARD GRAY CONCRETE
- PERMEABLE PAVERS
- CRUSHER FINES PAVEMENT
- ENGINEERED WOOD MULCH
- PLAY SAND
- PA PLANTING AREA
- SFF SINGLE FAMILY DETACHED (FRONT GARAGES)
- SFR SINGLE FAMILY DETACHED (REAR GARAGES)
- SFA SINGLE FAMILY ATTACHED
- SOLAR ORIENTED LOT
- PROPOSED STREET LIGHT
- MONUMENT SIGN
- PICNIC TABLE / BENCH
- GRILL

SITE NOTES:

- STANDARD SINGLE FAMILY LOTS ARE PERMITTED USES IN THE LMN ZONE PER THE FORT COLLINS LAND USE CODE.
- HANDICAPPED ACCESS RAMPS TO BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED HANDICAPPED PARKING SPACES.
- PROPOSED STREET NAMES HAVE BEEN REVIEWED UNDER THE LARIMER COUNTY STREET INVENTORY SYSTEM.
- PLEASE REFER TO THE CIVIL PLANS FOR EXISTING AND PROPOSED TOPOGRAPHY.
- ALL DWELLINGS WILL HAVE INDIVIDUAL TRASH & RECYCLING SERVICE.
- SEE UTILITY PLANS FOR EXACT GEOMETRY OF STORM DRAINAGE AREAS, UTILITY MAINS, AND SERVICES.
- REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, LOT DIMENSIONS, UTILITY AND OTHER EASEMENTS, LOT AND TRACT OWNERSHIP AND MAINTENANCE, AND OTHER SURVEY INFORMATION.
- ADJACENT SINGLE FAMILY LOTS SHALL CONTAIN DWELLINGS OF DIFFERENT MODELS OF VARYING STYLE AND ARCHITECTURAL FEATURES. FOOTPRINTS SHOWN ARE DIAGRAMMATICAL AND DO NOT REPRESENT ACTUAL BUILDINGS TO BE BUILT. DRIVEWAYS BEHIND R.O.W. ARE ALSO DIAGRAMMATICAL AND WILL ALIGN WITH ACTUAL BUILDING FOOTPRINT.
- ADDRESS NUMERALS SHALL BE VISIBLE FROM LOCAL ROADS AND POSTED WITH A MINIMUM OF 6-INCH NUMERALS ON A CONTRASTING BACKGROUND.
- DIRECT ACCESS TO SINGLE FAMILY LOTS IS TO BE FROM PRIVATE DRIVES AND LOCAL STREETS ONLY.
- FENCING SHALL BE ALLOWED PER SECTION 3.8.11 OF THE FORT COLLINS LAND USE CODE. CONSISTENT FENCE DESIGNS WILL BE REQUIRED ALONG LOTS BACKING OR SIDING ON ARTERIAL OR COLLECTOR STREETS, AND ADJACENT TO COMMON OPEN SPACE AREAS.
- ELECTRICAL TRANSFORMERS, ELECTRICAL AND GAS METERS, AND OTHER APPURTENANCES SHALL BE SCREENED FROM PUBLIC VIEW TO THE EXTENT FEASIBLE.
- ALL GARAGE DOORS SHALL BE SET BACK A MINIMUM OF 20' FROM THE BACK OF WALK (R.O.W.).
- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 30" SHALL BE ALLOWED WITHIN MEDIANS, A SIGHT DISTANCE TRIANGLE, OR A SIGHT DISTANCE EASEMENT WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDING THE LOWEST BRANCH IS AT LEAST 8' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT SHALL BE NO MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
- LOT NUMBERS AND TRACT DESIGNATIONS SHOWN ARE PER THE PLAT.
- BUILDERS WISHING TO OBTAIN PERMITS ON SINGLE-FAMILY DETACHED RESIDENTIAL LOTS SHALL BE RESPONSIBLE FOR CONSTRUCTING THEIR OWN TYPE I STANDARD DRIVEWAY APPROACH PER LARIMER COUNTY URBAN AREA STREET STANDARDS (LCUASS) DRAWING 706. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PER APPLICABLE LCUASS SECTIONS. THE BUILDER'S PLOT PLAN SUBMITTED WITH THE BUILDING PERMIT APPLICATION SHALL CLEARLY IDENTIFY THE CURB CUT AND DRIVEWAY, AS WELL AS THE LOCATION OF THE CURB STOP TO ENSURE THAT THE CURB STOP REMAINS IN A LANDSCAPED AREA. THE BUILDER SHALL ALSO BE RESPONSIBLE TO SATISFY ALL STREET TREE REQUIREMENTS, INCLUDING QUANTITY, TYPE, LOCATION, AND SEPARATION FROM UTILITY SERVICES. THEREFORE, UTILITY LOCATES SHOULD BE CALLED FOR IN ADVANCE AND DRAWN ON THE LOT-SPECIFIC LANDSCAPE PLAN.
- CONCRETE COMPRESSIVE STRENGTH AS DETERMINED BY ASTM C39, 4000 PSI MINIMUM AT 20 DAYS. FIBROUS REINFORCEMENT: COLLATED, FIBRILLATED, POLYPROPYLENE FIBERS, TENSILE STRENGTH 70,000 PSI. USE 1.5 LBS. PER CUBIC YARD MINIMUM.
- APPROVAL FOR THE WALL, TEXT, AND LOCATION OF THE SUBDIVISION'S ENTRANCE SIGN WILL BE SOLELY THROUGH A SEPARATE SIGN PERMIT APPROVAL.
- TRASH ENCLOSURES SHALL MEET THE REQUIREMENT OF LUC 3.2.5 WHICH INCLUDES AN OPENING FOR INDIVIDUALS ACCESS WITHOUT OPENING THE SERVICE GATES.
- LAKE CANAL COMPANY REQUESTS PROTECTION FROM DEBRIS BEING BLOWN INTO THE DITCH DURING CONSTRUCTION, AND RESTRICTION FROM HOMEOWNERS PLACING DEBRIS IN DITCH AFTER DEVELOPMENT IS COMPLETE.
- ADDRESSES WILL BE ASSIGNED BY THE GIS DEPARTMENT AFTER THE PLANS HAVE MET FINAL APPROVAL THROUGH DEVELOPMENT REVIEW AND ARE RECORDED WITH THE CITY.
- ALL PROPOSED STREET NAMES ARE APPROVED AND RESERVED IN THE LARIMER COUNTY STREET INVENTORY SYSTEM.

GENERAL LAND USE DATA

EXISTING ZONING	LMN
PROPOSED ZONING	LMN
EXISTING PARCEL SIZE	39.19 AC (1,707,169 S.F.)
MAXIMUM PROPOSED BUILDING HEIGHT	SINGLE FAMILY: 32 FT.
TOTAL NUMBER OF DWELLING UNITS	121 SINGLE FAMILY DETACHED (FRONT GARAGE) (72.6%) 24 SINGLE FAMILY DETACHED (REAR GARAGE) (14.2%) 22 SINGLE FAMILY ATTACHED (13.1%) 167 UNITS TOTAL

LOT SIZES & AREA:

0-2,999 S.F. = 16 LOTS
3,000-4,999 S.F. = 109 LOTS
5,000-6,999 S.F. = 36 LOTS
7,000-8,999 S.F. = 6 LOTS
LOT AREA = 771,302 S.F. / 17.7 AC.

GROSS DENSITY:

TOTAL DWELLING UNITS = 167
TOTAL GROSS ACREAGE = 39.19
GROSS DENSITY = 4.26

NET DENSITY:

TOTAL DWELLING UNITS = 167
TOTAL NET ACREAGE = 39.19 (GROSS AC) - 7.82 (NATURAL AREA AC)
- 1 (NEIGHBORHOOD PARK AC) = 30.37 NET AC
NET DENSITY = 5.50

PROPOSED PROJECT LAND USE DATA

	SITE AREA (AC)	SITE AREA (SF)	%TOTAL
BUILDING COVERAGE (APPROX. FOOTPRINT)	4.6	201,600	11.8
ACCOMMODATED W/IN BUILDING ENVELOPE (DO NOT INCLUDE IN TOTAL SUMMARY OF 100%)			
LOT AREA (INCLUDES BLDG COVERAGE AREA)	17.6	768,303	45.0
ROAD* (ASPHALT)	4.3	190,136	11.1
ROAD (ASPHALT-SFA DRIVES)	.54	23,527	1.4
ROAD (PERMEABLE PAVEMENT-SFA DRIVE/PARKING)	.18	8,027	.47
DRIVEWAYS	1.6	70,956	4.2
PUBLIC STREET R.O.W. IMPROVEMENTS (TURF)	1.39	60,492	3.5
PUBLIC STREET R.O.W. IMPROVEMENTS (SIDEWALK)	1.29	56,193	3.3
LANDSCAPE AREA (TURF, SHRUB BEDS)	3.35	146,119	8.6
LANDSCAPE AREA (CRUSHER FINES PATH)	1.01	43,877	2.5
LANDSCAPE AREA (CONCRETE PATHS)	.28	12,015	.70
"ACTIVE RECREATIONAL USE" AREA (NATIVE SEED AREAS)	7.87	342,642	20.1

*MEXICO WAY SOUTH OF THE SITE BOUNDARY (CONNECTING TO INTERNATIONAL BLVD.) IS NOT INCLUDED IN THIS NUMBER

SITE PARKING DATA

TYPE OF PARKING COMPONENT*	COUNT
ON STREET PARALLEL	155
GARAGE (2/DWELLING UNIT)	334
DRIVEWAY (2/DWELLING UNIT)	334
TOTAL	823

* NOTE: GARAGES AND/OR DRIVEWAYS WILL ACCOMMODATE HANDICAP, MOTORCYCLE, AND BIKE PARKING

SOLAR ORIENTED LOTS

SOLAR LOTS = 101 LOTS
PERCENTAGE SOLAR LOTS = 60.4

NEW STREET NAMES

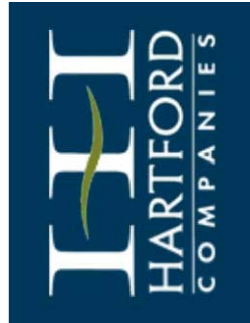
LAGER STREET, TRIPEL STREET, BOCK STREET, STOUT STREET, MAIBOCK STREET, SAISON STREET

ENTRY ROAD - LARIMER COUNTY

LAND USE	SITE AREA (AC)	SITE AREA (SF)
ROAD (ASPHALT)	1.10	48,177
PUBLIC STREET R.O.W. IMPROVEMENTS (SIDEWALK)	0.12	5,018
PUBLIC STREET R.O.W. IMPROVEMENTS (TURF)	0.11	5,166

REV.	COMMENT	DATE

HARTFORD COMPANIES
1218 West Ash Street, Suite A
Windsor, CO 80550
970.674.1109



russell+mills studios
141 s. college ave., suite 104
fort collins, co 80524
p: 970.484.8855
www.russellmillsstudios.com

TIMBERVINE - INTERNATIONAL BLVD.

OVERALL SITE PLAN

PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
Drawn By: SL
Checked By: CR

Sheet

LS102

OWNER: BURLINGTON NORTHERN RAILROAD
BOOK 506, PAGE 199
RECD 12-12-1924

OWNER: BURLINGTON NORTHERN RAILROAD
BOOK 506, PAGE 199
RECD 12-12-1924

SECTION 7
SECTION 8

500'16'05"W
510.98'

EXISTING
50' GAS
EASEMENT

27'-9"

FUTURE
CONNECTION TO
OFFSITE TRAIL
SYSTEM

50' BUFFER
EXTENT OF GRADING
TOP OF SLOPE
30' DITCH EASEMENT

5'-0"

25'-5"

TRACT B

BLOCK 2

SFF (1)

SFF (2)

SFF (3)

SFF (4)

SFF (5)

SFF (6)

SFF (7)

SFF (8)

SFF (1)

SFF (2)

SFF (3)

SFF (4)

SFF (5)

SFF (6)

SFF (9)

SFF (10)

SFF (11)

SFF (12)

SFF (13)

SFF (14)

SFF (7)

SFF (8)

SFF (9)

SFF (10)

SFF (11)

SFF (12)

SFF (13)

SFF (14)

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SFF (17)

SFF (16)

SFF (15)

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SFF (13)

SFF (12)

SFF (8)

SFF (17)

SFF (16)

SFF (15)

SFF (14)

SFF (13)

SFF (12)

SFF (11)

SFF (10)

SFF (9)

SFF (1)

SFF (2)

SFF (3)

SFF (4)

SFF (5)

SFF (6)

SFF (7)

SFF (8)

SFF (9)

SFF (10)

SFF (11)

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SFF (15)

SFF (16)

SFF (17)

SFF (18)

SFF (19)

SFF (20)

SFF (10)

SFF (11)

SFF (12)

SFF (13)

SFF (14)

SFF (15)

SFF (16)

SFF (17)

SFF (18)

SFF (19)

SFF (20)

STOUT STREET

BOCK STREET

LAGER STREET

LAMBIC STREET

TRACT C

TRACT B

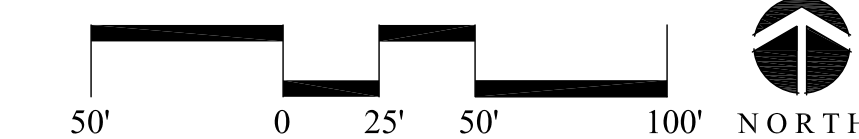
TRACT B

BLOCK 2

LAGER STREET

MATCHLINE A
MATCHLINE B

MATCHLINE A
MATCHLINE B



- SITE LEGEND:**
- SITE BOUNDARY
 - R.O.W.
 - LOT LINE
 - EASEMENT
 - BUILDING ENVELOPE
 - SITE BOUNDARY FENCE
 - 30' DITCH EASEMENT (FROM TOP OF DITCH)
 - EXTENT OF GRADING
 - 4" THICK STANDARD GRAY CONCRETE
 - PERMEABLE PAVERS
 - CRUSHER FINES PAVEMENT
 - ENGINEERED WOOD MULCH
 - PLAY SAND
 - PA PLANTING AREA
 - SFF SINGLE FAMILY DETACHED (FRONT GARAGES)
 - SFR SINGLE FAMILY DETACHED (REAR GARAGES)
 - SFA SINGLE FAMILY ATTACHED
 - SOLAR ORIENTED LOT
 - PROPOSED STREET LIGHT
 - MONUMENT SIGN
 - PICNIC TABLE / BENCH
 - GRILL

REV.	COMMENT	DATE

HARTFORD COMPANIES
1218 West Ash Street, Suite A
Windsor, CO 80550
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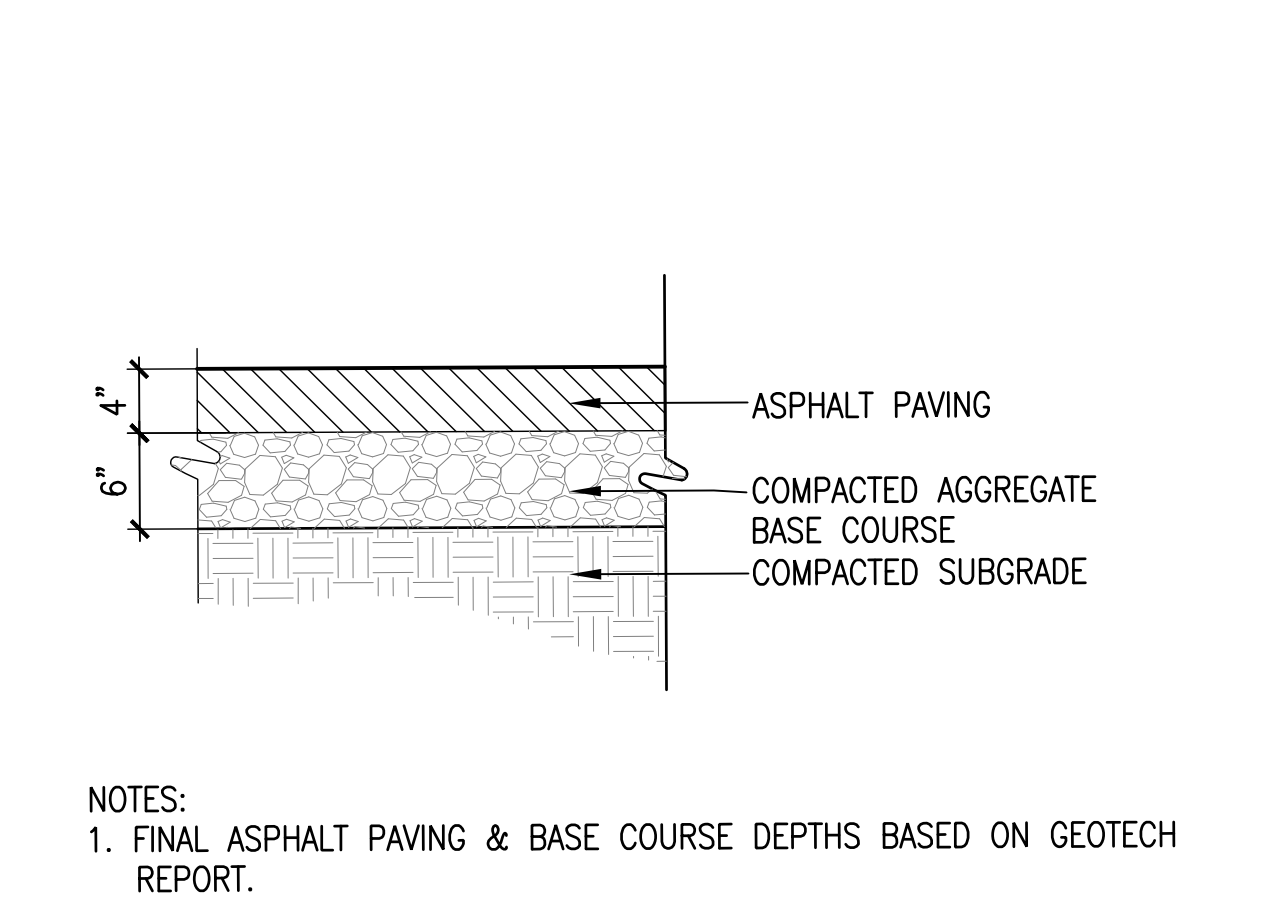
russell+mills studios
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www.russellmillsstudios.com

TIMBERVINE -- INTERNATIONAL BLVD.
SITE ENLARGEMENT PLAN
PROJECT DEVELOPMENT PLAN

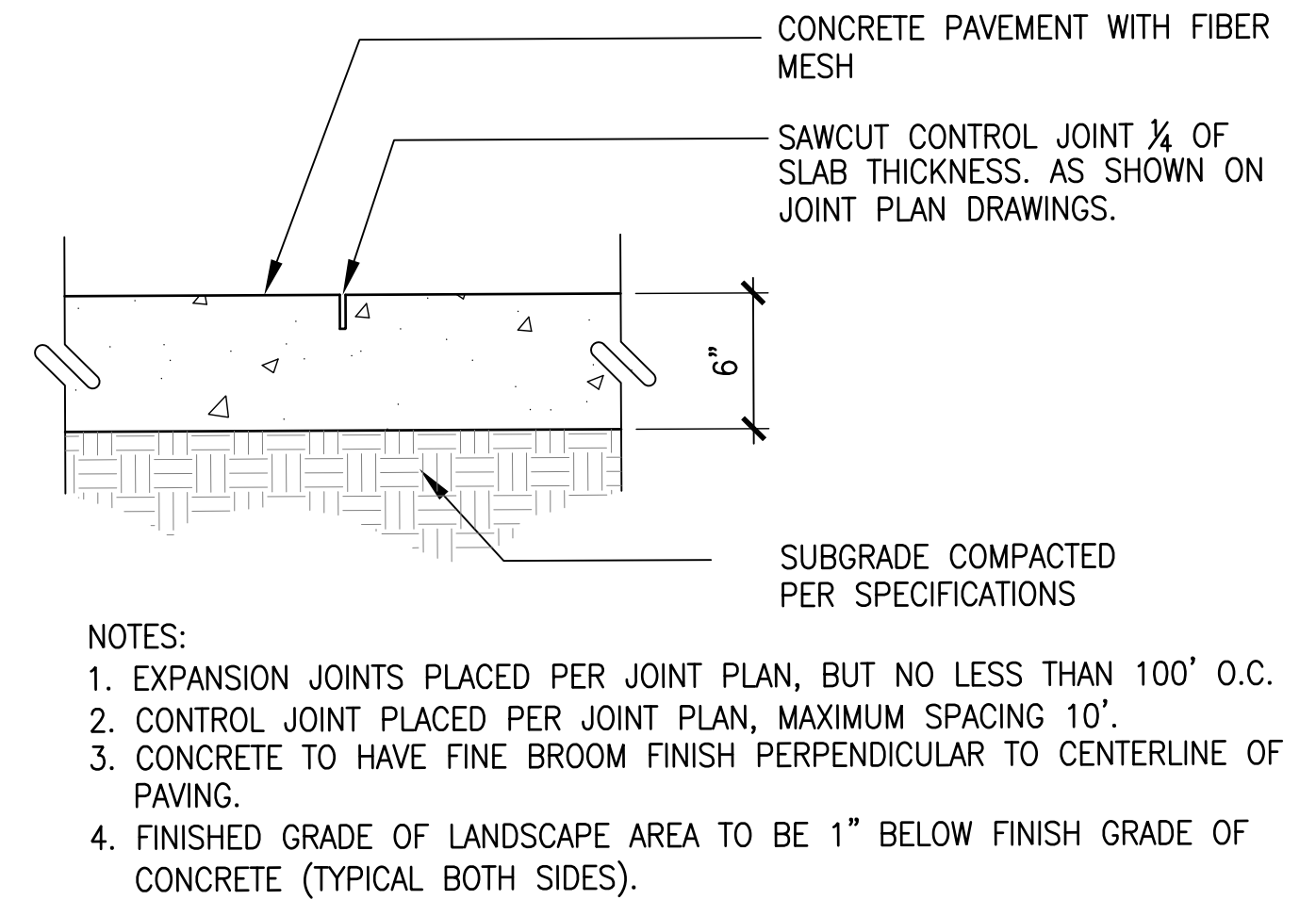
Date: 06.23.2014
Drawn By: SL
Checked By: CR

Sheet
LS401

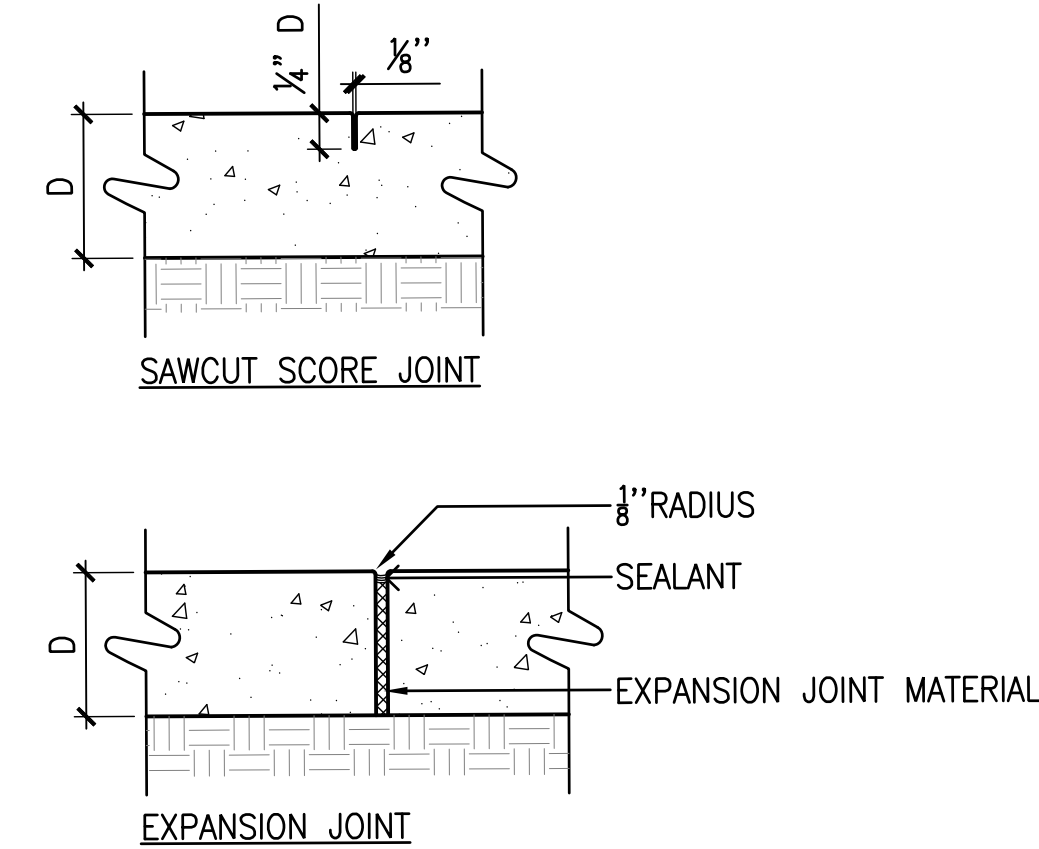




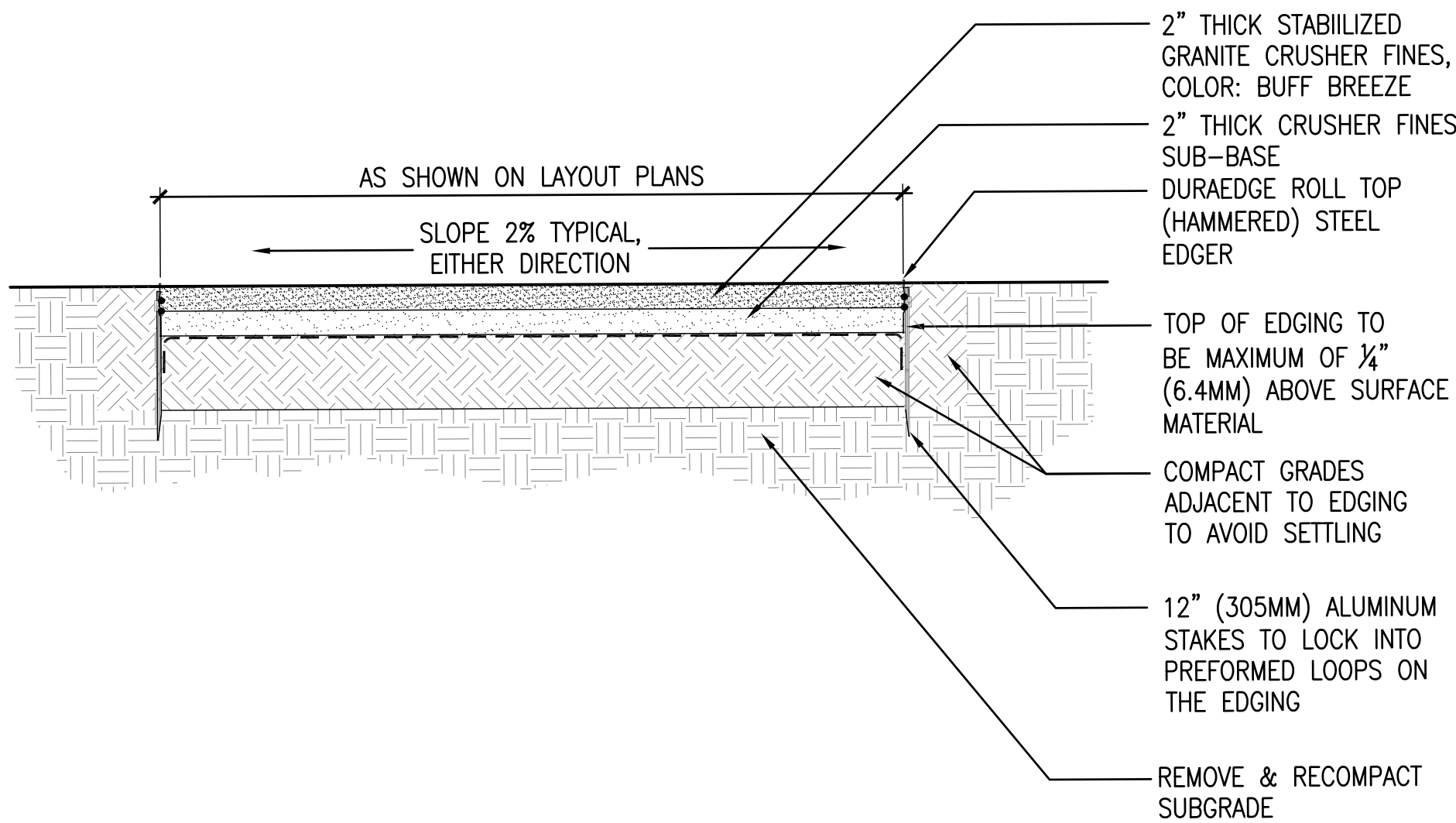
A ASPHALT PAVEMENT
SCALE: 1"=1'-0"



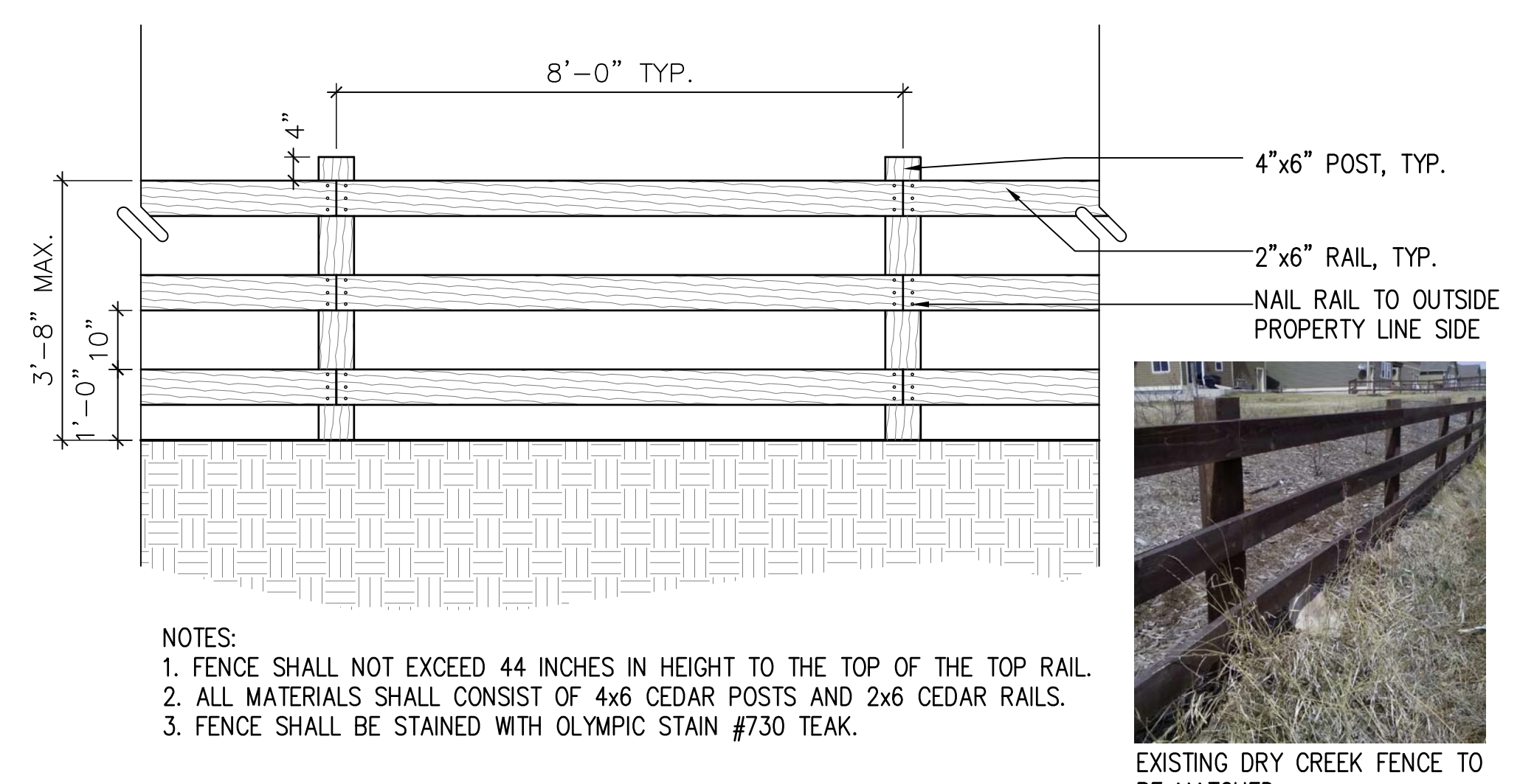
B CONCRETE PAVEMENT
SCALE: N.T.S. DT-PVMT-CONC



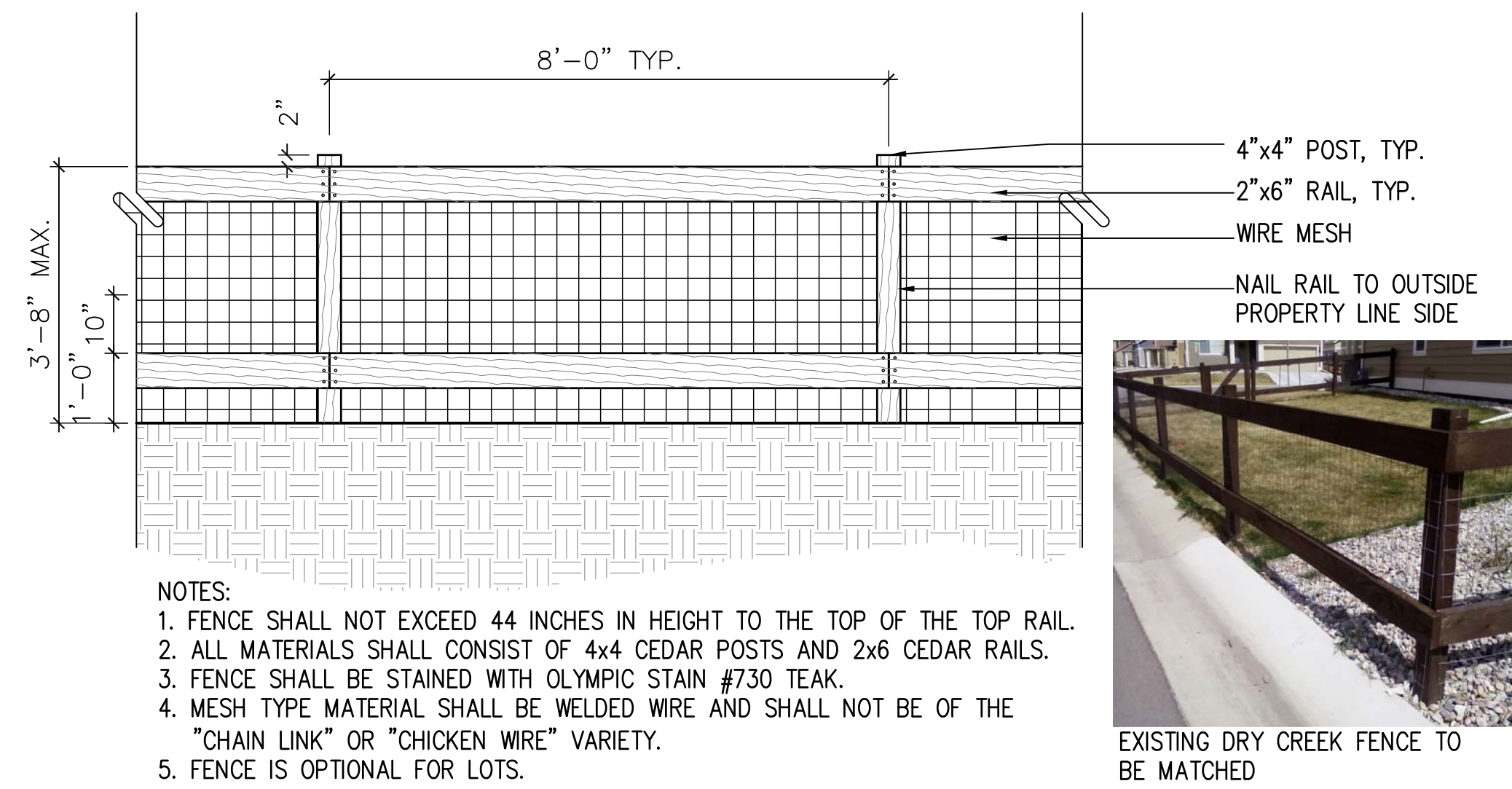
C CONCRETE PAVEMENT JOINTS
SCALE: 1 1/2" = 1'-0"



D CRUSHER FINES PAVEMENT
SCALE: 1"=1'-0" DT-PVMT-CRSH-FINE



E SITE BOUNDARY FENCE
SCALE: 1/2"=1'-0" DT-FENCE-BNDY



F LOT FENCE
SCALE: 1/2"=1'-0" DT-FENCE-BNDY

REV.	COMMENT	DATE

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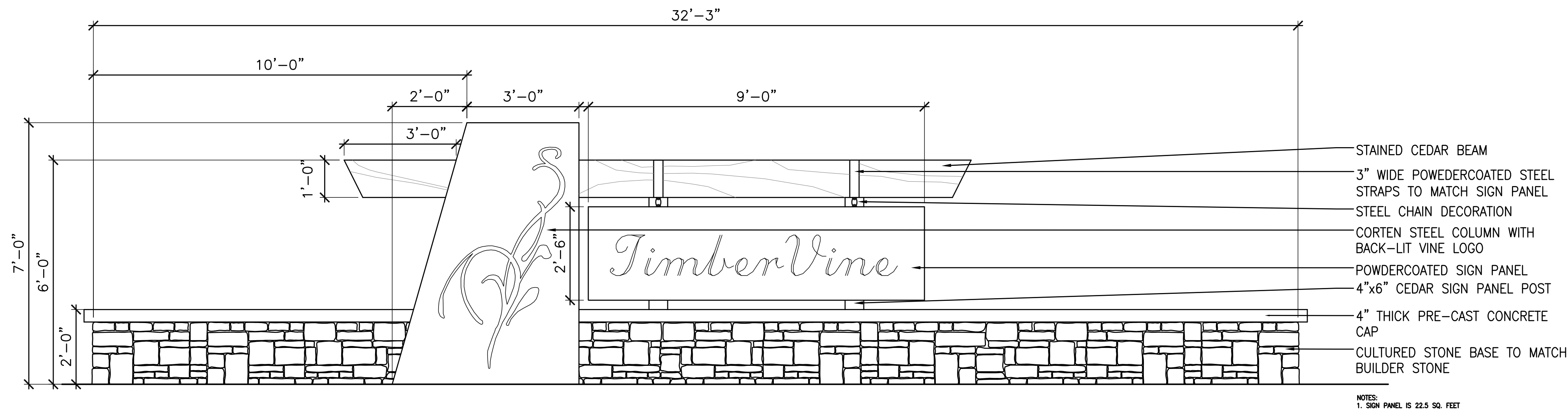


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TIMBERVINE – INTERNATIONAL BLVD.
SITE DETAILS
PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
Drawn By: SL
Checked By: CR

Sheet
LS501



A ENTRY MONUMENT SIGN
SCALE: 1/2" = 1'-0"

DT-MONU-SIGN



COMPANY: LANDSCAPE STRUCTURES
MODEL#: 3789
INSTALL PER MANUFACTURER'S SPECIFICATIONS

B PLAY STRUCTURE
SCALE: NTS

DT-PLAY



COMPANY: LANDSCAPE STRUCTURES
MODEL#: 177334 SINGLE POST SWING FARM WITH ANTI-WRAP HANGERS
COLOR: ACORN
INSTALL PER MANUFACTURER'S SPECIFICATIONS

C SWING
SCALE: NTS

DT-SWING



HXE 16

COMPANY: POLYGON
MODEL: HXE 20

D SHADE SHELTER
SCALE: NTS

DT-FURN-SHEL



COMPANY: VICTOR STANLEY
MODEL#: CM-16
COLOR: BRONZE
INSTALL PER MANUFACTURER'S SPECIFICATIONS

E BENCH
SCALE: NTS

DT-FURN-BENCH



COMPANY: VICTOR STANLEY
MODEL#: CM-56
COLOR: BRONZE
MOUNT: SURFACE
INSTALL PER MANUFACTURER'S SPECIFICATIONS

F PICNIC TABLE
SCALE: NTS

DT-FURN-TABLE

REV.	COMMENT	DATE

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TIMBERVINE – INTERNATIONAL BLVD.

SITE DETAILS
PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
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LS502

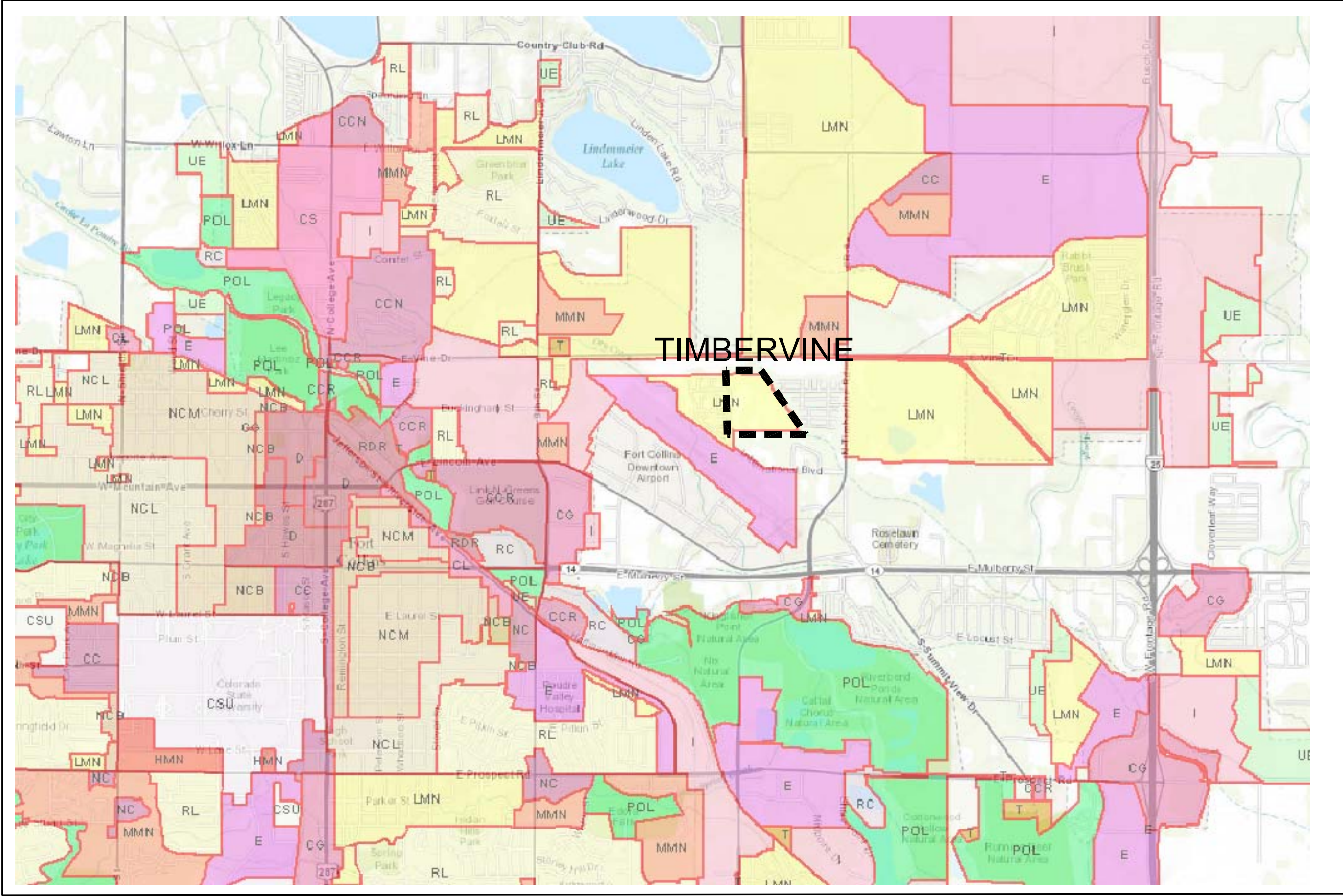
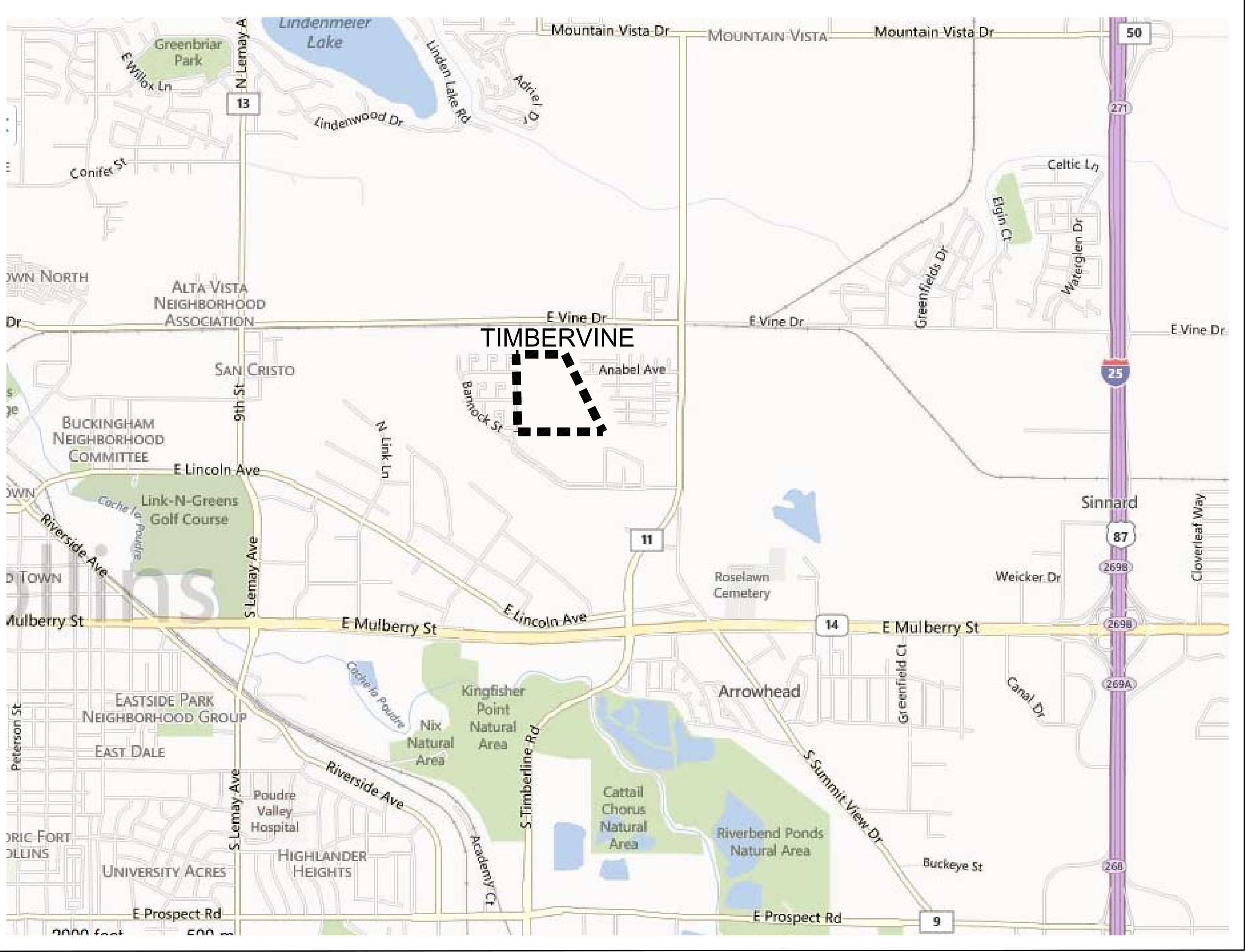
PROJECT DEVELOPMENT PLAN - LANDSCAPE SUBMITTAL

TIMBERVINE

BEING LOCATED IN THE NE 1/4 OF SECTION 7, AND THE NW 1/4 OF SECTION 8, T 7 N, R 68 W OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

SHEET INDEX

LP001	COVER
LP101	TREE PROTECTION AND MITIGATION PLAN
LP102	TREE PROTECTION AND MITIGATION PLAN
LP103	PHASING PLAN
LP104	LANDSCAPE SCHEDULE AND NOTES
LP105	OVERALL LANDSCAPE PLAN
LP401	LANDSCAPE ENLARGEMENT PLAN
LP402	LANDSCAPE ENLARGEMENT PLAN
LP501	LANDSCAPE DETAILS



REV.	COMMENT	DATE

TREE MITIGATION AND PROTECTION NOTES:

1. WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
2. PRIOR AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
3. DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
4. NO DAMAGING ATTACHMENTS, WIRES, SIGNS OR PERMITS MAY BE FASTED TO ANY PROTECTED TREE.
5. LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
6. THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW.

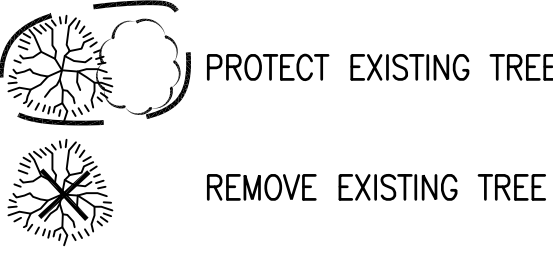
TREE DIAMETER AT BREAST HEIGHT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (FEET)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
OVER 19	15

7. TIMBERVINE HOA TO MANAGE EXISTING TREE HAZARDS APPROPRIATE TO USE OF AREA.
8. DOWNED TREE MATERIAL TO BE LEFT IN PLACE FOR WILDLIFE HABITAT. SLASH WOOD PILES FROM DITCH CLEANING MAY BE REMOVED FROM SITE.
9. TREE REMOVAL TO OCCUR OUTSIDE OF MIGRATORY SONGBIRD NESTING SEASON (FEBRUARY 1 - JULY 31), OR THAT A SURVEY BE CONDUCTED PRIOR TO REMOVAL TO ENSURE NO ACTIVE NESTS IN THE AREA.
10. IN ACCORDANCE WITH SECTION 3.4.1 HABITAT VALUE OF RUSSIAN OLIVE WILL BE MITIGATED IN BUFFER AREA WITH SUBSTANTIAL NEW PLANTINGS.

EXISTING TREE INVENTORY:

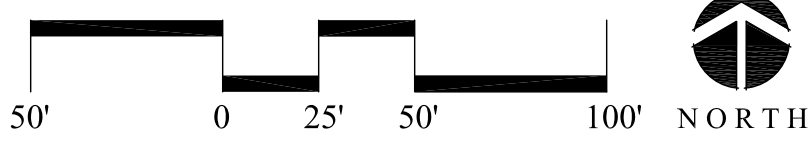
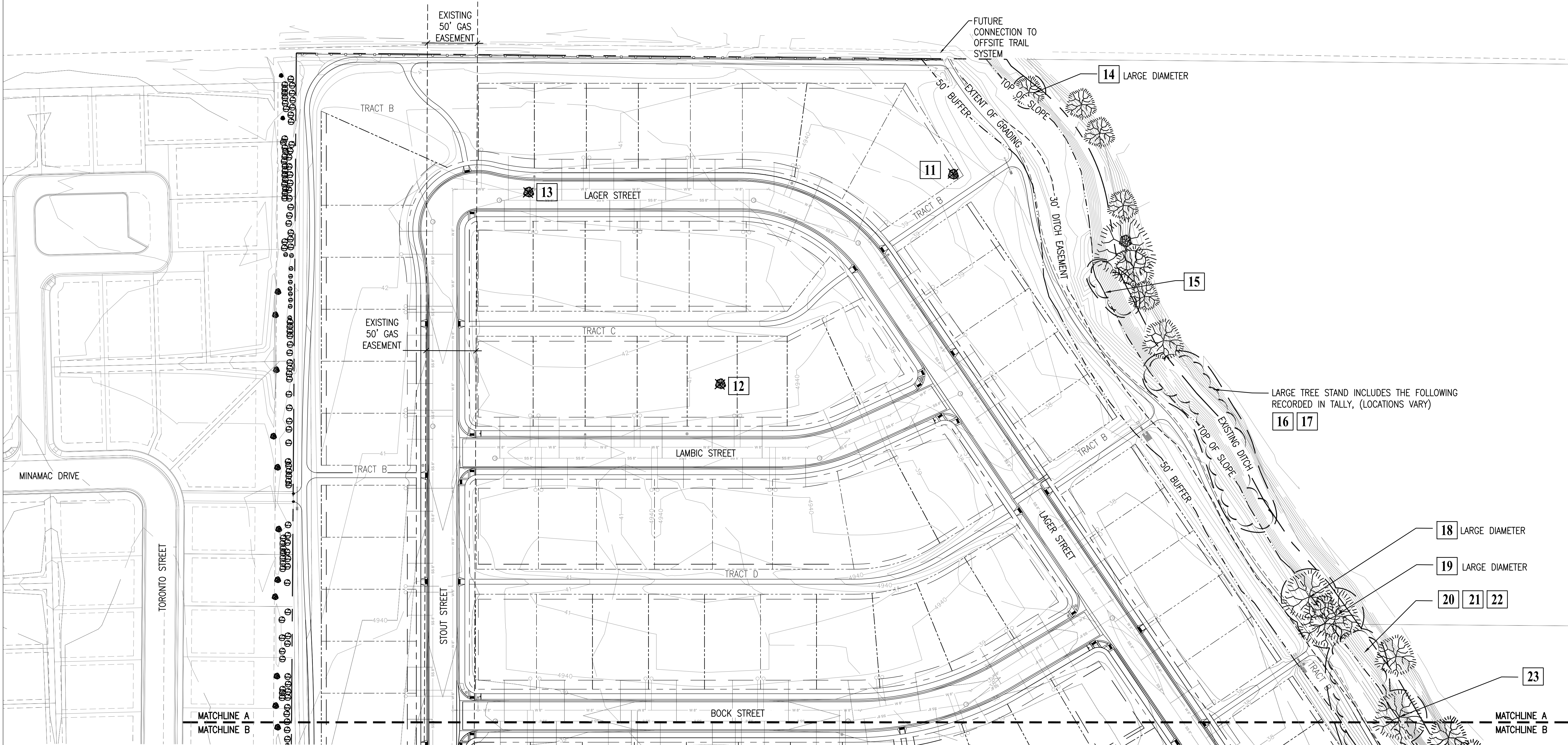
TREE ID	QUANTITY AT LOCATION	TREE SPECIES	SIZE	CONDITION	ACTION	MITIGATION REQUIRED
1	1	RUSSIAN OLIVE	8" DIA.	POOR	REMOVE	NONE
2	1	RUSSIAN OLIVE	6" DIA.	POOR	REMOVE	NONE
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7	1	RUSSIAN OLIVE	3" DIA.	POOR	REMOVE	NONE
8	1	RUSSIAN OLIVE	3" DIA.	POOR	REMOVE	NONE
9	1	RUSSIAN OLIVE	5" DIA.	POOR	REMOVE	NONE
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11	1	RUSSIAN OLIVE	6" DIA.	POOR	REMOVE	NONE
12	1	RUSSIAN OLIVE	14" DIA. MS	POOR	REMOVE	NONE
13	1	RUSSIAN OLIVE	12" DIA. MS	POOR	REMOVE	NONE
14	1	COTTONWOOD	SEE NOTES		PROTECT	
15	10	CRACK WILLOW	SEE NOTES		PROTECT	
16	4	RUSSIAN OLIVE	SEE NOTES		PROTECT	
17	6	GOLDEN WILLOW	SEE NOTES		PROTECT	
18	1	CRACK WILLOW	SEE NOTES		PROTECT	
19	13	COTTONWOOD	SEE NOTES		PROTECT	
20	5	COTTONWOOD	SEE NOTES		PROTECT	
21	13	COTTONWOOD	SEE NOTES		PROTECT	
22	4	COTTONWOOD	SEE NOTES		PROTECT	
23	10	COTTONWOOD	SEE NOTES		PROTECT	
24	1	RUSSIAN OLIVE	SEE NOTES		PROTECT	
25	1	COTTONWOOD	SEE NOTES		PROTECT	

TREE MITIGATION LEGEND:



TREE INVENTORY NOTES:

1. OVERALL CONDITION OF EAST BOUNDARY TREE STAND IS FAIR-POOR. THE TREES, DOWNED MATERIAL AND UNDERSTORY PROVIDE GOOD HABITAT VALUE.
2. TREE SIZES RANGE FROM 2" DIA. - 66" DIA.
3. ALL TREES TO BE RETAINED AND PROTECTED FOR HABITAT VALUE. ALL MANAGEMENT ACTIVITIES TO PRESERVE HABITAT VALUE, BUT NOT AT THE COST OF PUBLIC SAFETY.
4. NOT ALL TREES SHOWN ON SURVEY AS MANY ARE SAPLINGS AND IN LARGE STANDS. TREE NUMBERS ARE ESTIMATES, ACTUAL STEM COUNTS WILL VARY.
5. TREE HAZARDS TO BE MONITORED AND MANAGED BY THE TIMBERVINE HOA AS APPROPRIATE FOR USE OF AREA. COTTONWOODS AND OTHER TREE WITHIN THE NATURAL HABITAT BUFFER CAN BE REMOVED WITHOUT A MINOR AMENDMENT SUBJECT TO APPROVAL OF THE CITY FORESTER AND ENVIRONMENTAL PLANNER.

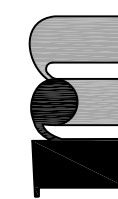


REV.	COMMENT	DATE

HARTFORD COMPANIES
1218 West Ash Street, Suite A
Windsor, CO 80550
970.674.1109

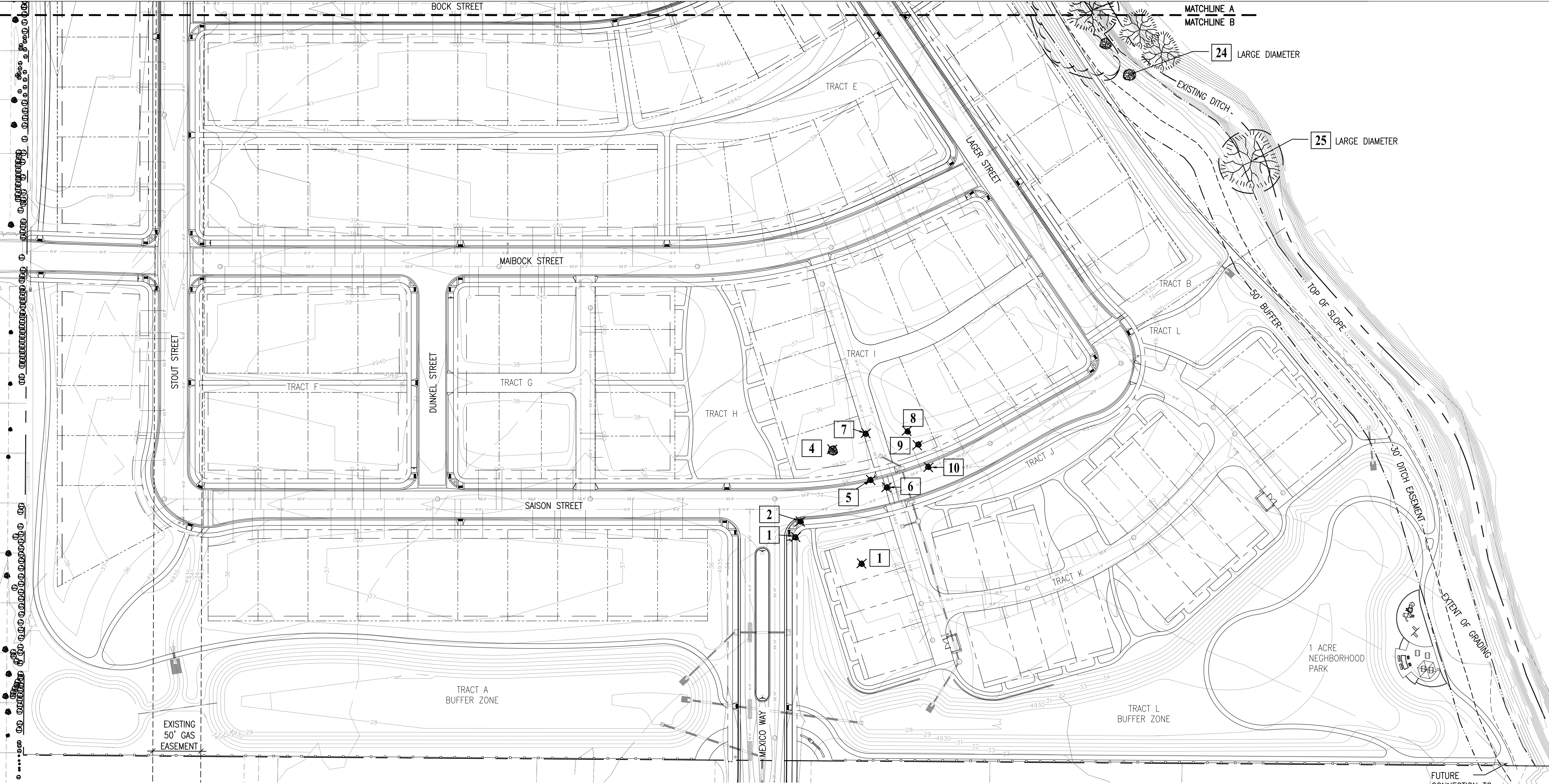


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TIMBERVINE - INTERNATIONAL BLVD.
TREE PROTECTION AND MITIGATION PLAN
PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
Drawn By: SL
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TREE MITIGATION AND PROTECTION NOTES:

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TREE DIAMETER AT BREAST HEIGHT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (FEET)
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EXISTING TREE INVENTORY:

TREE ID	QUANTITY AT LOCATION	TREE SPECIES	SIZE	CONDITION	ACTION	MITIGATION REQUIRED
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20	5	COTTONWOOD	SEE NOTES		PROTECT	
21	13	COTTONWOOD	SEE NOTES		PROTECT	
22	4	COTTONWOOD	SEE NOTES		PROTECT	
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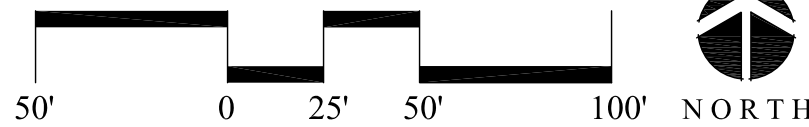
TREE MITIGATION LEGEND:

 PROTECT EXISTING TREE


 REMOVE EXISTING TREE

TREE INVENTORY NOTES:

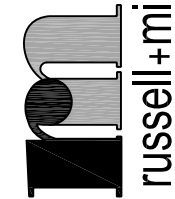
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- ALL TREES TO BE RETAINED AND PROTECTED FOR HABITAT VALUE. ALL MANAGEMENT ACTIVITIES TO PRESERVE HABITAT VALUE, BUT NOT AT THE COST OF PUBLIC SAFETY.
- NOT ALL TREES SHOWN ON SURVEY AS MANY ARE SAPLINGS AND IN LARGE STANDS. TREE NUMBERS ARE ESTIMATES, ACTUAL STEM COUNTS WILL VARY.
- TREE HAZARDS TO BE MONITORED AND MANAGED BY THE TIMBERVINE HOA AS APPROPRIATE FOR USE OF AREA. COTTONWOODS AND OTHER TREE WITHIN THE NATURAL HABITAT BUFFER CAN BE REMOVED WITHOUT A MINOR AMENDMENT SUBJECT TO APPROVAL OF THE CITY FORESTER AND ENVIRONMENTAL PLANNER.



REV.	COMMENT	DATE



HARTFORD COMPANIES
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970.674.1109



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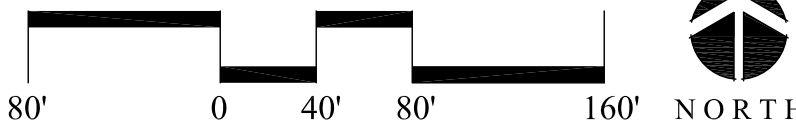
TREE PROTECTION AND MITIGATION PLAN

PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
Drawn By: SL
Checked By: CR



- PHASING LEGEND:
- PHASE ONE -- SPRING 2015
A PORTION OF SINGLE FAMILY DETACHED FRONT LOAD HOMES, ALL SINGLE FAMILY REAR LOAD HOMES, MEXICO WAY CONNECTION TO INTERNATIONAL BLVD, NEIGHBORHOOD PARK AND DETENTION AREAS, TRAILS AND TRACT AREAS, AND ENTRY FEATURE MONUMENT TO BE CONSTRUCTED
 - PHASE TWO -- SPRING 2016
REMAINING SINGLE FAMILY FRONT LOAD LOTS AND REMAINING TRAILS AND TRACT AREAS TO BE CONSTRUCTED.
 - PHASE THREE -- SPRING 2016
SINGLE FAMILY ATTACHED UNITS AND LOOP SERVICE ROAD



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PHASING PLAN

PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
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REV.	COMMENT	DATE

LANDSCAPE SCHEDULE – MEXICO WAY (LARIMER COUNTY)

QTY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE
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DECIDUOUS TREES

7		GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2" CAL.
14		TILIA AMERICANA 'SENTRY'	AMERICAN SENTRY LINDEN	2" CAL.

LANDSCAPE NOTES:

- ALL WORK SHALL CONFORM TO CITY OF FORT COLLINS CODES. ALL LANDSCAPING AND PLANTS TO BE LOCATED NOT TO INTERFERE WITH EXISTING OR PROPOSED UTILITIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN (AMERICAN ASSOCIATION OF NURSERYMEN) SPECIFICATIONS FOR NUMBER ONE GRADE.
- PLANT QUANTITIES SHOWN FOR INFORMATION PURPOSES ONLY, CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT AND CITY OF FORT COLLINS.
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE, IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO PREVENT DEHYDRATION.
- 6" SOIL MIX CONSISTING OF 20% ORGANIC COMPOST, 20% ORGANIC PEAT & 60% TOPSOIL SHALL BE TILLED IN TO ALL SHRUB BEDS. 4" OF SAME SHALL BE TILLED INTO ALL SEEDED AREAS.
- THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF NOT LESS THAN (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA.
- FORT COLLINS WATER UTILITIES TO REVIEW AND APPROVE LANDSCAPE IRRIGATION SYSTEM PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- MULCH SHRUB BEDS TO 3" DEPTH WITH SHREDDED REDWOOD CEDAR.
- TREES SHALL NOT BE PLANTED CLOSER THAN 40' TO STREET LIGHTS FOR CANOPY TREES AND 15' FOR ORNAMENTAL TREES. TREE SHALL NOT BE PLANTED CLOSER THAN 20' TO TRAFFIC CONTROL SIGNS AND DEVICES FOR BOTH ORNAMENTAL AND CANOPY. CANOPY AND ORNAMENTAL TREES SHALL NOT BE PLANTED CLOSER THAN 10' BETWEEN WATER OR SEWER MAINS. TREES SHALL NOT BE PLANTED CLOSER THAN 6' TO WATER OR SEWER SERVICE LINES. TREES SHALL NOT BE PLANTED CLOSER THAN 4' TO GAS LINES. TREES SHALL NOT BE PLANTED CLOSER THAN 8' TO DRIVEWAYS.
- TREES, SHRUBS, ORNAMENTAL GRASS, PERENNIALS SHALL BE IRRIGATED WITH DRIP IRRIGATION. ALL TURF WILL BE IRRIGATED WITH SPRAY IRRIGATION.
- THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL INSPECTION AND MAINTENANCE ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES MUST BE ESTABLISHED, AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- CONTRACTOR TO MAINTAIN AND ENSURE HEALTHY AND FULL STAND OF NATIVE SEED.
- INSTALL WEED-CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES A MINIMUM OF 6" INCHES. USE ORGANIC MULCH, SHREDDED CEDAR, GORILLA HAIR TYPE, 4" DEPTH.
- ALL TREES, SHRUBS, PERENNIALS AND LAWN AREAS WILL BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM, SUNG DRIP IRRIGATION IN ALL SHRUB BEDS.
- CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION FOR ALL SEEDING AND PLANT MATERIAL.
- TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY CITY OF FORT COLLINS LICENSED ARBORIST AS REQUIRED BY CODE.
- TREES SHALL BE B&B OR EQUIVALENT.
- ONE CANOPY TREE PER LOT MEASURED 60' OR LESS ALONG R.O.W. IS PROVIDED ALONG R.O.W. TREE LAWN. IN LOCATIONS WHERE THERE IS NOT ENOUGH CLEARANCE FROM STREET LIGHTS FOR A CANOPY TREE AN ORNAMENTAL TREE HAS BEEN USED (REQUIRED CLEARANCE IS 15').
- STREET PARKWAY LANDSCAPING IN ACCORDANCE WITH FORT COLLINS STREETScape STANDARDS.
- LANDSCAPE PLANTINGS INSTALLED WITHIN THE PUBLIC STREET RIGHT-OF-WAY NEED TO CONFORM TO THE CURRENT SIGHT DISTANCE AND INTERSECTION SIGHT TRIANGLE STANDARDS IN CHAPTER 7 THROUGH 9 OF THE LARIMER COUNTY URBAN AREA STREET STANDARDS. TREE CANOPIES SHOULD NOT OBSTRUCT VISIBILITY OF TRAFFIC REGULATORY SIGNAGE.
- TREE HAZARDS TO BE MONITORED AND MANAGED BY THE TIMBERVINE HOA AS APPROPRIATE FOR USE OF AREA. COTTONWOODS AND OTHER TREE WITHIN THE NATURAL HABITAT BUFFER CAN BE REMOVED WITHOUT A MINOR AMENDMENT SUBJECT TO APPROVAL OF THE CITY FORESTER AND ENVIRONMENTAL PLANNER.

STREET TREE NOTES:

- A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THE PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN BY THE CITY FORESTER FOR STREET TRESS IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF DEVELOPMENT.
- THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL INSPECTION AND MAINTENANCE ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES MUST BE ESTABLISHED, AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- ALL STREET TREE PLANTING SHALL BE THE RESPONSIBILITY OF THE DEVELOPER FOR PLANTING. ACTUAL PLANTING OF STREET TREES SHALL BE DONE BY A QUALIFIED LANDSCAPE CONTRACTOR.
- STREET TREE LOCATIONS AND NUMBERS MAY ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, AND SEPARATION STANDARDS FOR ACTUAL WATER AND SEWER SERVICE LINES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON THE PLANS MUST BE INSTALLED UNLESS A REDUCTION OCCURS TO MEET SEPARATION STANDARDS.

LANDSCAPE SCHEDULE

QTY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE
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DECIDUOUS TREES

31		CATALPA SPECIOSA	NORTHERN CATALPA	2" CAL.
50		CELTIS OCCIDENTALIS	HACKBERRY	2" CAL.
27		GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2" CAL.
35		GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL.
23		GYMNOCLADUS DIOICA 'EXPRESSO'	EXPRESSO KENTUCKY COFFEETREE	2" CAL.
11		POPULUS SARGENTII (NOT USED AS STREET TREE)	PLAINS COTTONWOOD	2" CAL.
15		QUERCUS BUCKLEYI	TEXAS RED OAK	2" CAL.
41		QUERCUS MACROCARPA (BULLET GALL RESISTANT)	BUR OAK	2" CAL.
25		QUERCUS MEUHLenbergii	CHINKAPIN OAK	2" CAL.
36		TILIA AMERICANA 'SENTRY'	AMERICAN SENTRY LINDEN	2" CAL.
24		TILIA CODATA 'GREENSPIRE'	GREENSPIRE LINDEN	2" CAL.
21		ULMUS 'ACCOLADE'	ACCOLADE ELM	2" CAL.

WATER BUDGET CHART

HYDROZONE	AREA(S.F.)	WATER NEED (GAL./S.F.)	ANNUAL WATER USE (GAL.)
HIGH	0 S.F.	18 GAL./SF	0 GAL.
MODERATE	195,988 S.F.	10 GAL./SF	1,959,880 GAL.
LOW	358,431 S.F.	3 GAL./SF	1,075,293 GAL.

TOTAL WATER USE = 3,035,173 GAL.
TOTAL LANDSCAPE AREA = 554,419 S.F. *
GALLONS PER S.F. = 5.47 GAL./S.F.

BREAKDOWN OF AREAS:

* MODERATE = ½ OF SHRUB BEDS + TURF (TURF ALONG MEXICO WAY = 5,166 S.F., INCLUDED FOR WATER BUDGET CALCULATIONS)
LOW = ½ OF SHRUB BEDS + SEED

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES NOTED ON THESE PLANS ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATIONS AFTER UTILITY LOCATES. STREET TREE MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.

QTY.	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE
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ORNAMENTAL TREES

53		ACER GRANDIDENTATUM	BIGTOOTH MAPLE	1.5" CAL.
48		AMELANCHIER ALNIFOLIA	SERVICEBERRY	1.5 CAL.
20		MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.5" CAL.
8		MALUS 'THUNDERCHILD'	THUNDERCHILD CRABAPPLE	1.5" CAL.
32		PYRUS CALLERYANA	CHANTICLEER PEAR	1.5" CAL.

EVERGREEN TREES

55		JUNIPERUS SCOPULORUM	ROCKY MTN. JUNIPER	6' HT.
80		JUNIPERUS SCOPULORUM 'COLOGREEN'	COLOGREEN JUNIPER	6' HT.
71		PINUS NIGRA	AUSTRIAN PINE	6' HT.
80		PINUS EDULIS	PINYON PINE	6' HT.

TOTAL NUMBER OF TREES = 785

MAX NUMBER ALLOWED (NOT GREATER THAN 15% EACH SPECIES) = 117

DECIDUOUS SHRUBS

	AMORPHA FRUTICOSA	INDIGO BUSH	
	CHRYSOthAMNUS NAUSEOSUS	RUBBER RABBITBRUSH	5 GAL.
	CORNUS SERICEA 'ISANTI'	ISANTI DOGWOOD	5 GAL.
	PHILADELPHUS MICROPHYLLUS	LITTLELEAF MOCKORANGE	5 GAL.
	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5 GAL.
	PRUNUS GLANDULOSA 'ROSEA PLENA'	PINK FLOWERING ALMOND	5 GAL.
	PRUNUS X CISTENA	PURPLE LEAF PLUM	5 GAL.
	RHUS TRILOBATA	THREE-LEAF SUMAC	5 GAL.
	RIBES ALPINUM	ALPINE CURRANT	5 GAL.
	RIBES SATIVUM	RED CURRENT	5 GAL.
	RIBES UVA-CRISPA 'COMANCHE'	COMANCHE GOOSEBERRY	5 GAL.
	ROSA WOODSII	WOOD'S ROSE	5 GAL.
	SYMPHORICARPUS ALBUS	WHITE SNOWBERRY	5 GAL.
	VIBURNUM LENTAGO	NANNYBERRY	5 GAL.

ORNAMENTAL GRASSES

•	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL.
•	'KARL FOERSTER'		
•	HELICTOTRICHON SEMPERVIRENS	BLUE OATGRASS	1 GAL.
•	MISCANTHUS SINENISIS	MAIDEN GRASS	1 GAL.
•	'YAKUSHIMA'		
•	PANICUM VIRGATUM	SWITCHGRASS	1 GAL.
•	SPOROBOLUS HETEROLEPIS	PRAIRIE DROP SEED	1 GAL.

PERENNIALS

AMO	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	1 GAL.
ABF	AGASTACHE 'BLUE FORTUNE'	BLUE FORTUNE HYSSOP	1 GAL.
DGR	DIGITALIS GRANDIFLORA	PERENIAL YELLOW FOXGLOVE	1 GAL.
EPU	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.
GAR	GAILLARDIA ARISTATA	NATIVE BLANKET FLOWER	1 GAL.
HHY	HEMEROCALLIS 'HYPERION'	DAYLILY	1 GAL.
MFI	MONARDA FISTULOSA MENTHAEFOLIA	NATIVE LAVENDAR BEE-BALM	1 GAL.
PBA	PENSTEMON BARBATUS	SCARLET BUGLER PENSTEMON	1 GAL.
RHI	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1 GAL.

REV.	COMMENT	DATE

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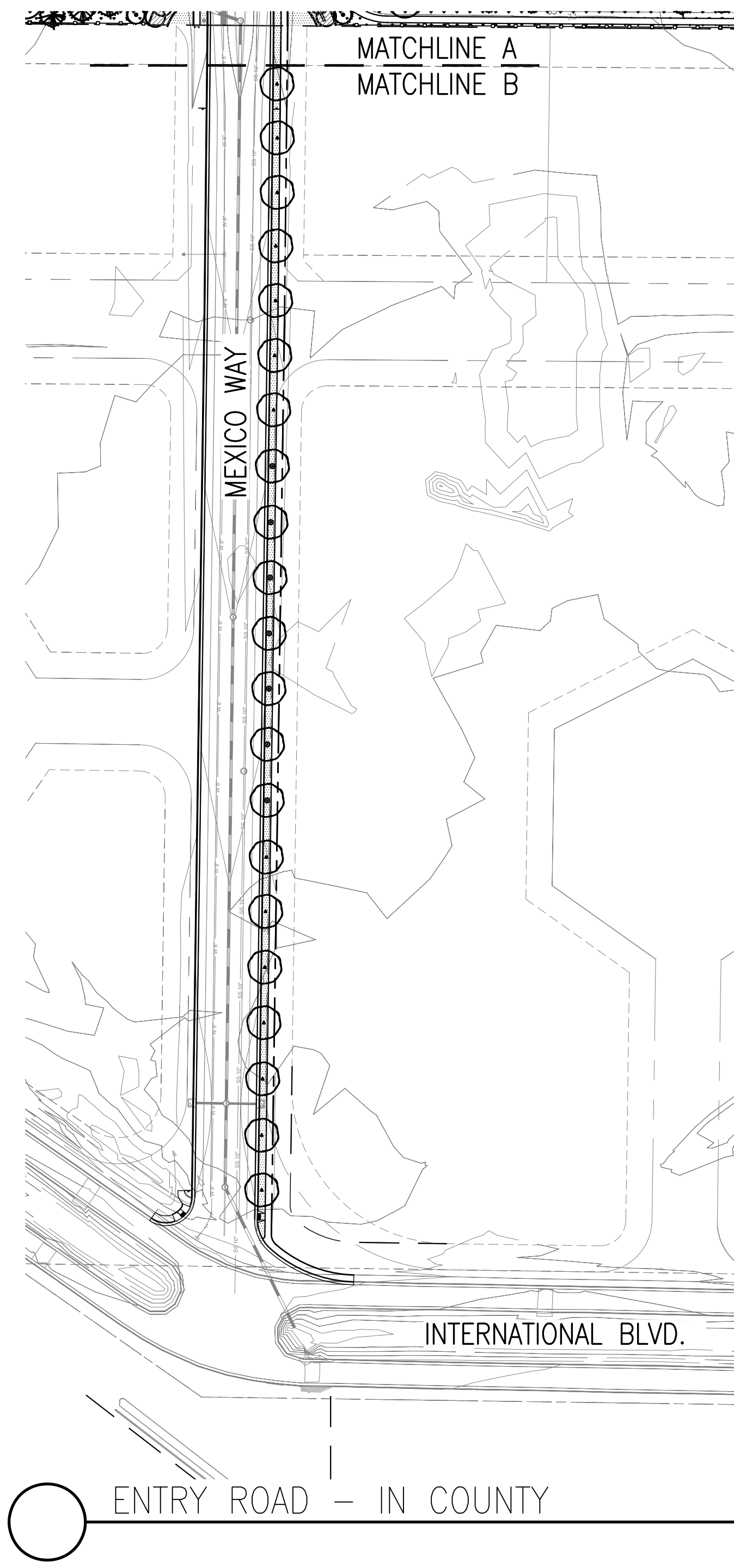
LANDSCAPE SCHEDULE AND NOTES

PROJECT DEVELOPMENT PLAN

Date: 06.23.2014
Drawn By: SL
Checked By: CR

Sheet

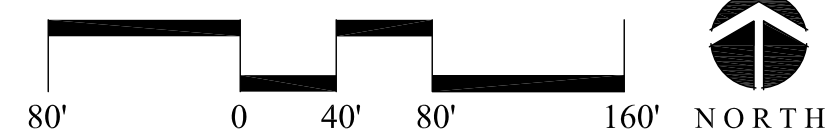
LP104



- LANDSCAPE LEGEND:**
- 80/20 FESCUE/BUEGRASS MIX SOD
 - 80/20 FESCUE/BUEGRASS SEEDED TURF
 - NATIVE SEED MIX
 - 23% - BLUE GRAMA
 - 10% - BUFFALO GRASS
 - 20% - GREEN NEEDLEGRASS
 - 20% - SIDE OATS GRAMA
 - 10% - WESTERN WHEATGRASS
 - 2% - SAND DROPSEED
 - 10% - INDIAN RICEGRASS
 - 5% - NEEDLE AND THREADGRASS
 - SHREDDED CEDAR MULCH (4" DEPTH)
- SITE BOUNDARY
--- R.O.W.
--- LOT LINE
--- EASEMENT
--- BUILDING ENVELOPE
--- SITE BOUNDARY FENCE
--- 30' DITCH EASEMENT (FROM TOP OF DITCH)
--- EXTENT OF GRADING

- DECIDUOUS TREES**
- | | | |
|---|---|------------------------------|
| △ | CATALPA SPECIOSA | NORTHERN CATALPA |
| + | CELTIS OCCIDENTALIS | HACKBERRY |
| ⊙ | GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' | SHADEMASTER HONEYLOCUST |
| ⊙ | GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' | SKYLINE HONEYLOCUST |
| + | GYMNOCALADUS DIOICA 'EXPRERSSO' | EXPRESSO KENTUCKY COFFEETREE |
| ⊙ | POPULUS SARGENTII | PLAINS COTTONWOOD |
| ⊙ | QUERCUS BUCKLEYI | TEXAS RED OAK |
| ⊙ | QUERCUS MACROCARPA (BULLET GALL RESISTANT) | BUR OAK |
| ⊙ | QUERCUS MEULENBERGII | CHINKAPIN OAK |
| ⊙ | TILIA AMERICANA 'SENTRY' | SENTRY AMERICAN LINDEN |
| ⊙ | TILIA CORDATA 'GREENSPIRE' | GREENSPIRE LINDEN |
| ⊙ | ULMUS 'ACCOLADE' | ACCOLADE ELM |
- ORNAMENTAL TREES**
- | | | |
|---|-----------------------|------------------------|
| ⊙ | ACER GRANDIDENTATUM | BIGTOOTH MAPLE |
| ⊙ | AMELANCHIER ALNIFOLIA | SERVICEBERRY |
| ⊙ | MALUS 'SPRING SNOW' | SPRING SNOW CRABAPPLE |
| ⊙ | MALUS 'THUNDERCHILD' | THUNDERCHILD CRABAPPLE |
| ⊙ | PYRUS CALLERYANA | CHANTICLEER PEAR |
- EVERGREEN TREES**
- | | | |
|---|----------------------------------|--------------------|
| ⊙ | JUNIPERUS SCOPULORUM | ROCKY MTN. JUNIPER |
| ⊙ | JUNIPERUS SCOPULORUM 'COLOGREEN' | COLOGREEN JUNIPER |
| ⊙ | PINUS NIGRA | AUSTRIAN PINE |
| ⊙ | PINUS EDULIS | PINYON PINE |
- *REFER TO LANDSCAPE LEGEND AND NOTES FOR MORE INFORMATION ON PLANTS QUANTITIES AND SIZES

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES NOTED ON THESE PLANS ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATIONS AFTER UTILITY LOCATES. STREET TREE MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.



DATE

COMMENT

REV.

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OVERALL LANDSCAPE PLAN

PROJECT DEVELOPMENT PLAN

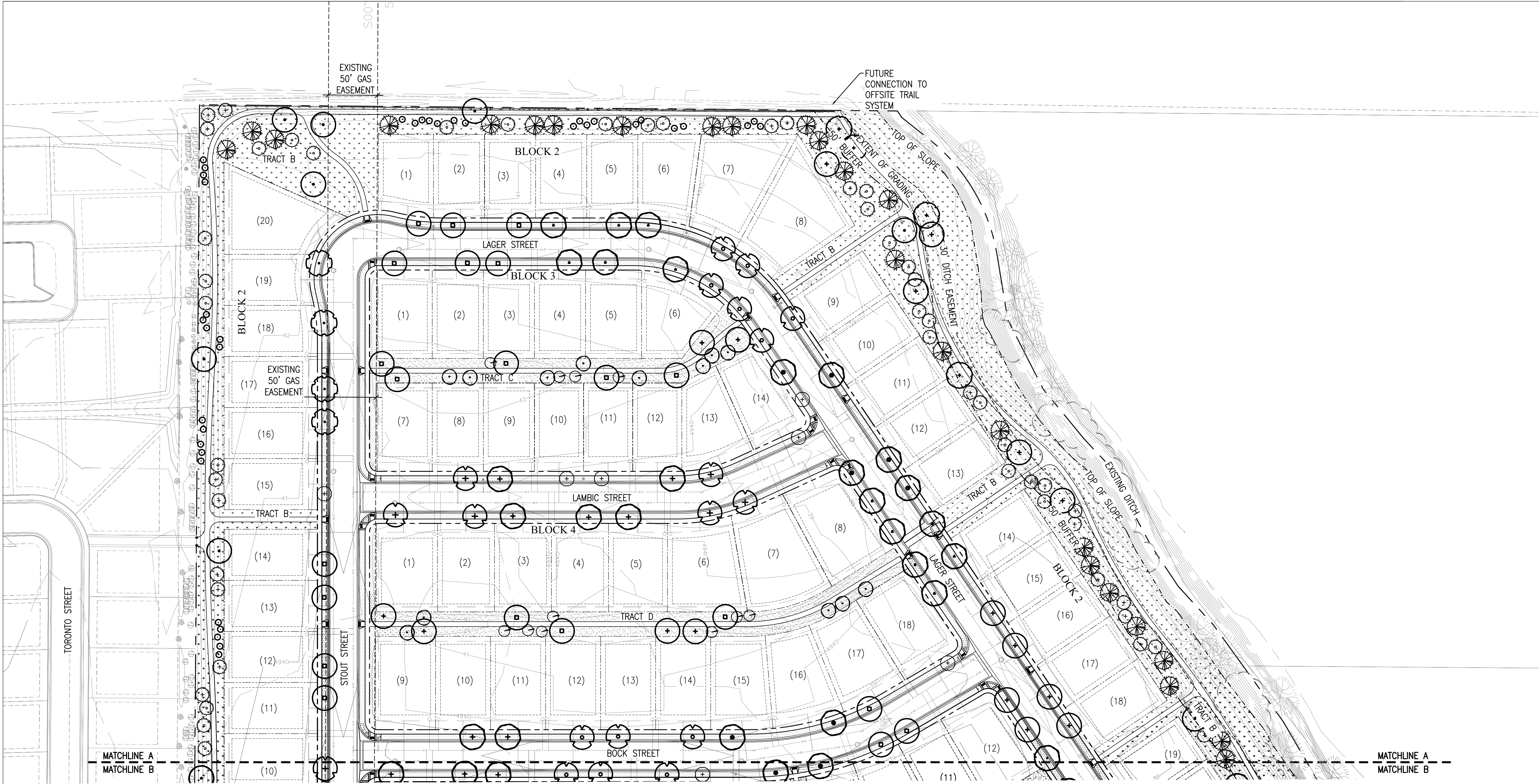
Date: 06.23.2014

Drawn By: SL

Checked By: CR

Sheet

LP105



LANDSCAPE LEGEND:

- 80/20 FESCUE/BUEGRASS MIX SOD
- 80/20 FESCUE/BUEGRASS SEEDED TURF
- NATIVE SEED MIX
 - 23% - BLUE GRAMA
 - 10% - BUFFALO GRASS
 - 20% - GREEN NEEDLEGRASS
 - 20% - SIDE OATS GRAMA
 - 10% - WESTERN WHEATGRASS
 - 2% - SAND DROPSEED
 - 10% - INDIAN RICEGRASS
 - 5% - NEEDLE AND THREADGRASS
- SHREDDED CEDAR MULCH (4" DEPTH)
- SITE BOUNDARY
- R.O.W.
- LOT LINE
- EASEMENT
- BUILDING ENVELOPE
- SITE BOUNDARY FENCE
- 30' DITCH EASEMENT (FROM TOP OF DITCH)
- EXTENT OF GRADING

DECIDUOUS TREES

- | | | |
|--|---|------------------------------|
| | CATALPA SPECIOSA | NORTHERN CATALPA |
| | CELTIS OCCIDENTALIS | HACKBERRY |
| | GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' | SHADEMASTER HONEYLOCUST |
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| | GYMNOCLADUS DIOICA 'EXPRERSSO' | EXPRESSO KENTUCKY COFFEETREE |
| | POPULUS SARGENTII | PLAINS COTTONWOOD |
| | QUERCUS BUCKLEYI | TEXAS RED OAK |
| | QUERCUS MACROCARPA (BULLET GALL RESISTANT) | BUR OAK |
| | QUERCUS MEUHLNBERGII | CHINKAPIN OAK |
| | TILIA AMERICANA 'SENTRY' | SENTRY AMERICAN LINDEN |

DECIDUOUS TREES

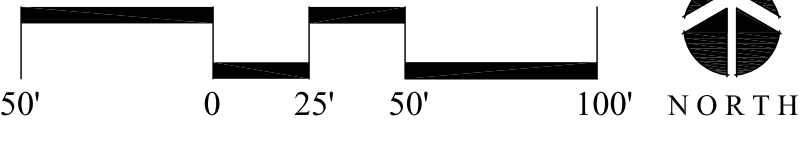
- | | | |
|--|----------------------------|-------------------|
| | TILIA CORDATA 'GREENSPIRE' | GREENSPIRE LINDEN |
| | ULMUS 'ACCOLADE' | ACCOLADE ELM |
- ORNAMENTAL TREES
- | | | |
|--|-----------------------|------------------------|
| | ACER GRANDIDENTATUM | BIGTOOTH MAPLE |
| | AMELANCHIER ALNIFOLIA | SERVICEBERRY |
| | MALUS 'SPRING SNOW' | SPRING SNOW CRABAPPLE |
| | MALUS 'THUNDERCHILD' | THUNDERCHILD CRABAPPLE |
| | PYRUS CALLERYANA | CHANTICLEER PEAR |

EVERGREEN TREES

- | | | |
|--|----------------------------------|--------------------|
| | JUNIPERUS SCOPULORUM | ROCKY MTN. JUNIPER |
| | JUNIPERUS SCOPULORUM 'COLOGREEN' | COLOGREEN JUNIPER |
| | PINUS NIGRA | AUSTRIAN PINE |
| | PINUS EDULIS | PINYON PINE |

*REFER TO LANDSCAPE LEGEND AND NOTES FOR MORE INFORMATION ON PLANTS QUANTITIES AND SIZES

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LANDSCAPE ENLARGEMENT PLAN

PROJECT DEVELOPMENT PLAN



LANDSCAPE LEGEND:

- 80/20 FESCUE/BLUEGRASS MIX SOD
- 80/20 FESCUE/BLUEGRASS SEEDED TURF
- NATIVE SEED MIX
 - 23% - BLUE GRAMA
 - 10% - BUFFALO GRASS
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 - 20% - SIDE OATS GRAMA
 - 10% - WESTERN WHEATGRASS
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- SHREDDED CEDAR MULCH (4" DEPTH)
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- LOT LINE
- EASEMENT
- BUILDING ENVELOPE
- SITE BOUNDARY FENCE
- 30' DITCH EASEMENT (FROM TOP OF DITCH)
- EXTENT OF GRADING

DECIDUOUS TREES

- | | | |
|--|---|------------------------------|
| | CATALPA SPECIOSA | NORTHERN CATALPA |
| | CELTIS OCCIDENTALIS | HACKBERRY |
| | GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' | SHADEMASTER HONEYLOCUST |
| | GLEDTISIA TRIACANTHOS INERMIS 'SKYCOLE' | SKYLINE HONEYLOCUST |
| | GYMNOCLADUS DIOICA 'EXPRERSSO' | EXPRESSO KENTUCKY COFFEETREE |
| | POPULUS SARGENTII | PLAINS COTTONWOOD |
| | QUERCUS BUCKLEYI | TEXAS RED OAK |
| | QUERCUS MACROCARPA (BULLET GALL RESISTANT) | BUR OAK |
| | QUERCUS MEUHLENBERGII | CHINKAPIN OAK |
| | TILIA AMERICANA 'SENTRY' | SENTRY AMERICAN LINDEN |

DECIDUOUS TREES

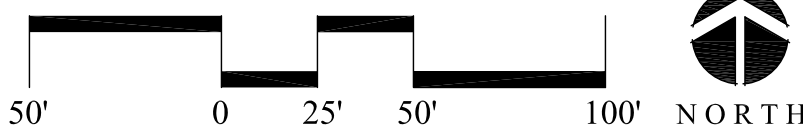
- | | | |
|--|----------------------------|-------------------|
| | TILIA CORDATA 'GREENSPIRE' | GREENSPIRE LINDEN |
| | ULMUS 'ACCOLADE' | ACCOLADE ELM |
- ORNAMENTAL TREES
- | | | |
|--|-----------------------|------------------------|
| | ACER GRANDIDENTATUM | BIGTOOTH MAPLE |
| | AMELANCHIER ALNIFOLIA | SERVICEBERRY |
| | MALUS 'SPRING SNOW' | SPRING SNOW CRABAPPLE |
| | MALUS 'THUNDERCHILD' | THUNDERCHILD CRABAPPLE |
| | PYRUS CALLERYANA | CHANTICLEER PEAR |

EVERGREEN TREES

- | | | |
|--|----------------------------------|--------------------|
| | JUNIPERUS SCOPULORUM | ROCKY MTN. JUNIPER |
| | JUNIPERUS SCOPULORUM 'COLOGREEN' | COLOGREEN JUNIPER |
| | PINUS NIGRA | AUSTRIAN PINE |
| | PINUS EDULIS | PINYON PINE |

*REFER TO LANDSCAPE LEGEND AND NOTES FOR MORE INFORMATION ON PLANTS QUANTITIES AND SIZES

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES NOTED ON THESE PLANS ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATIONS AFTER UTILITY LOCATES. STREET TREE MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.



REV.	COMMENT	DATE

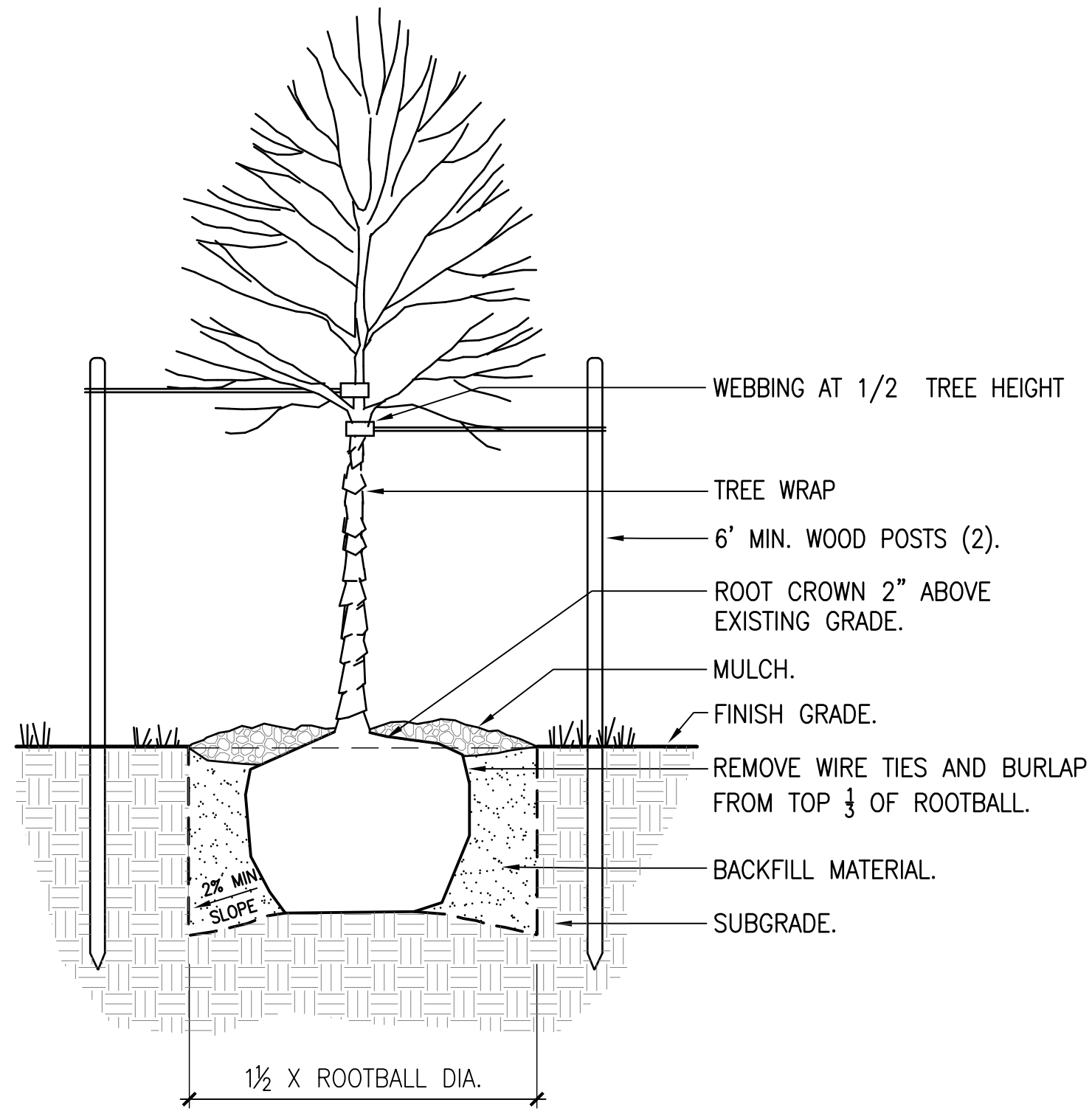
HARTFORD COMPANIES
1218 West Ash Street, Suite A
Windsor, CO 80550
970.674.1109



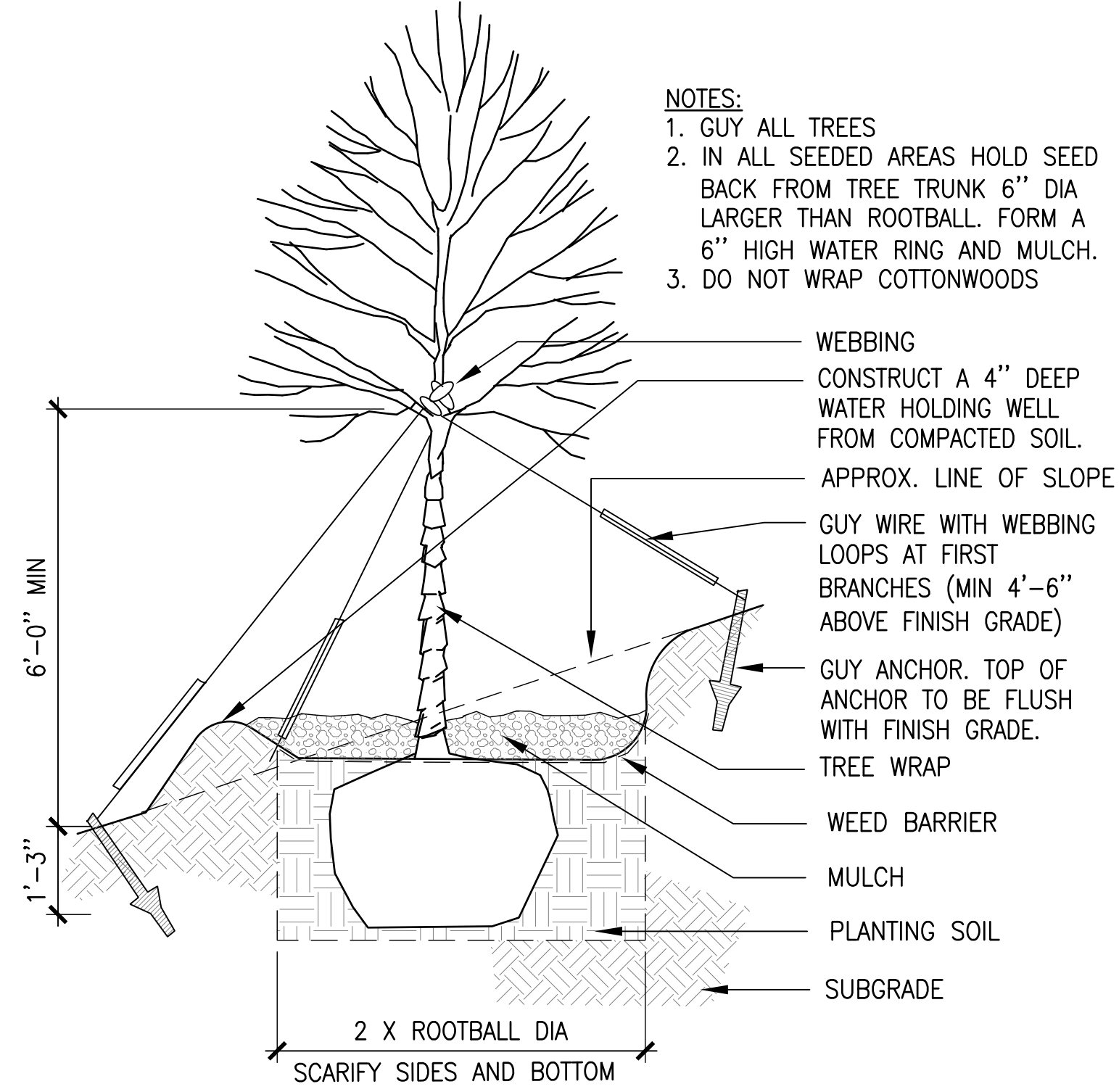
russell+mills studios
141 s. college ave., suite 104
fort collins, co 80524
p: 970.484.8855
www.russellmillsstudios.com

TIMBERVINE - INTERNATIONAL BLVD.
LANDSCAPE ENLARGEMENT PLAN
PROJECT DEVELOPMENT PLAN

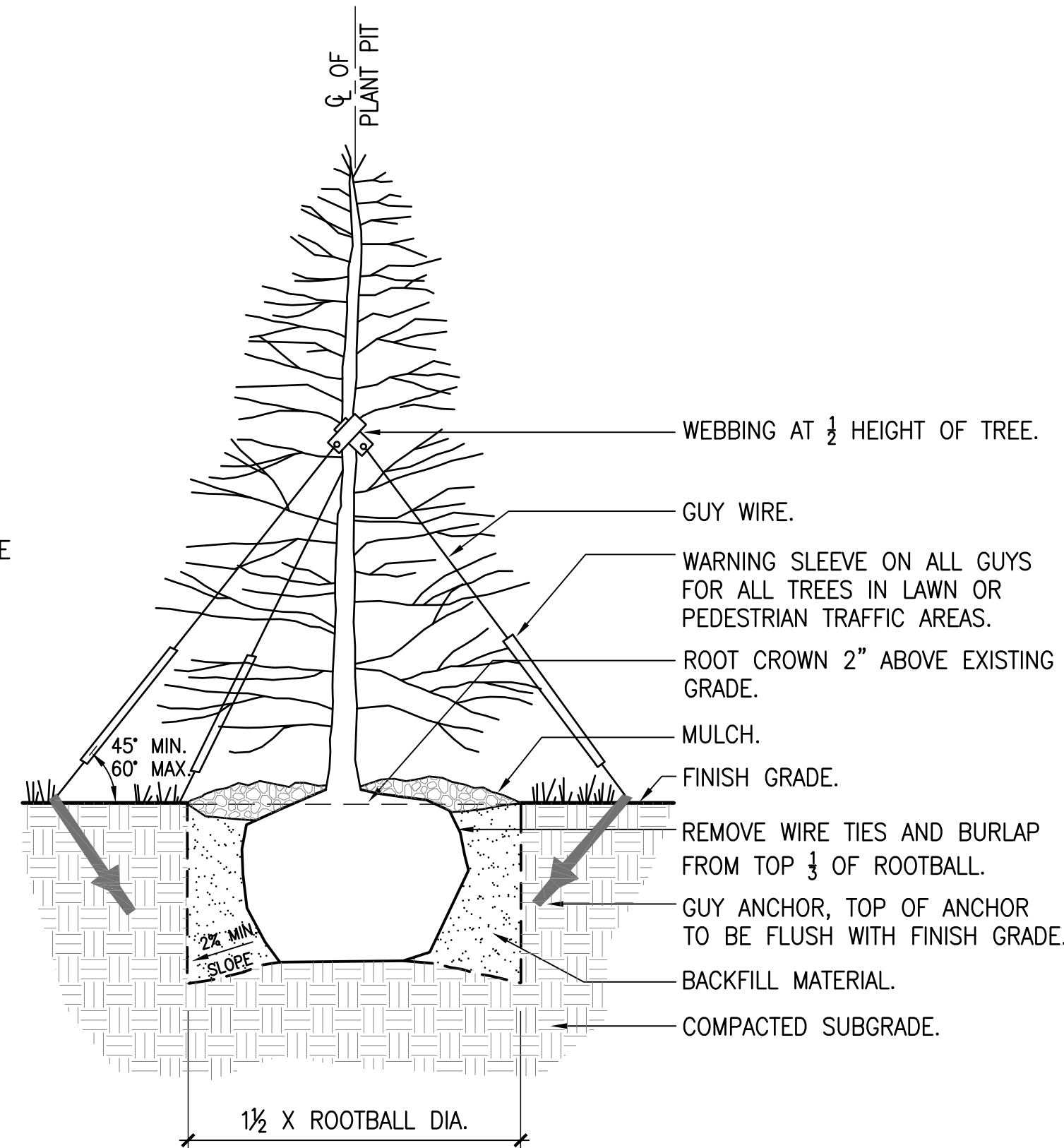
Date: 06.23.2014
Drawn By: SL
Checked By: CR



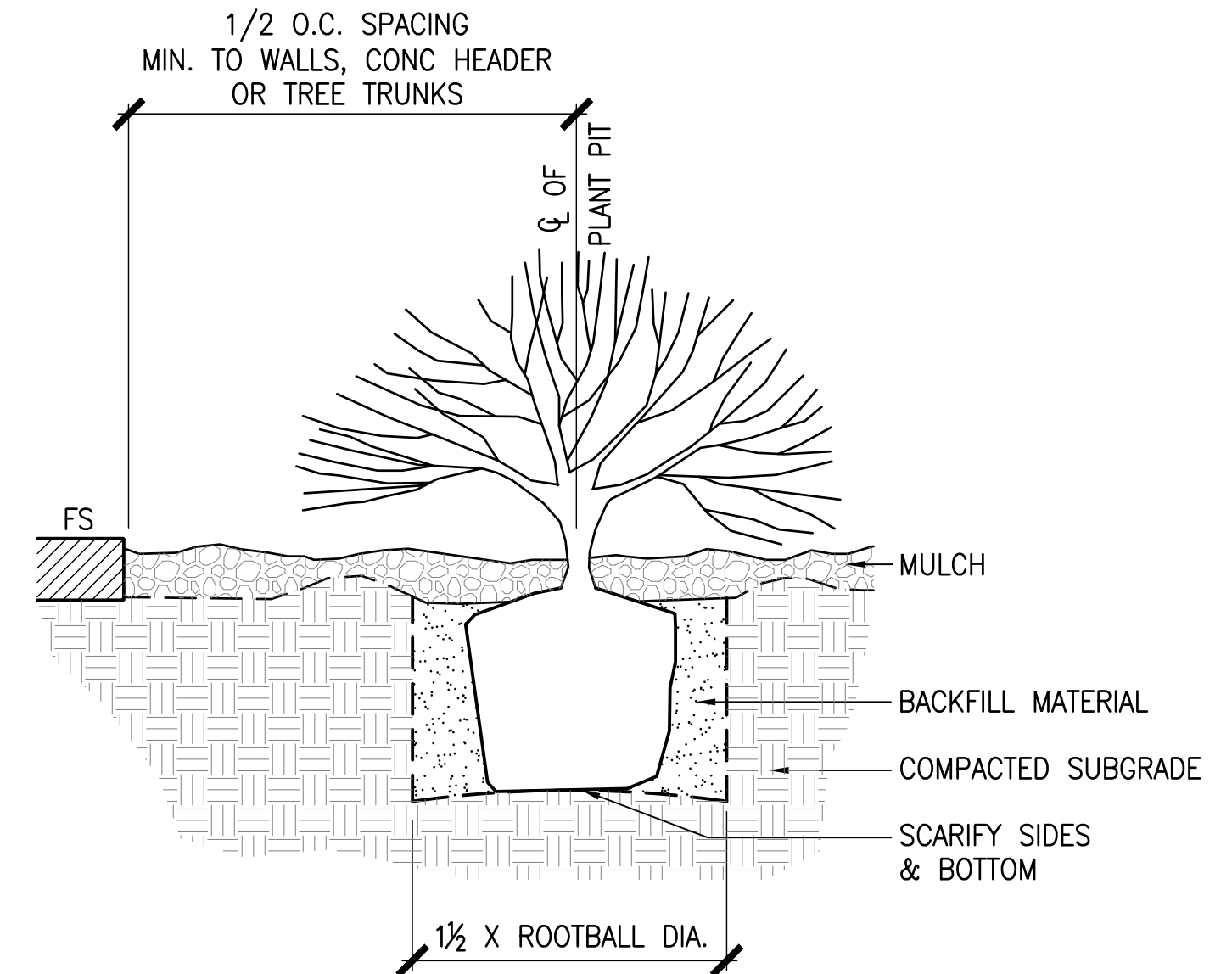
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SCALE: NTS DT-tree-Decid.dwg



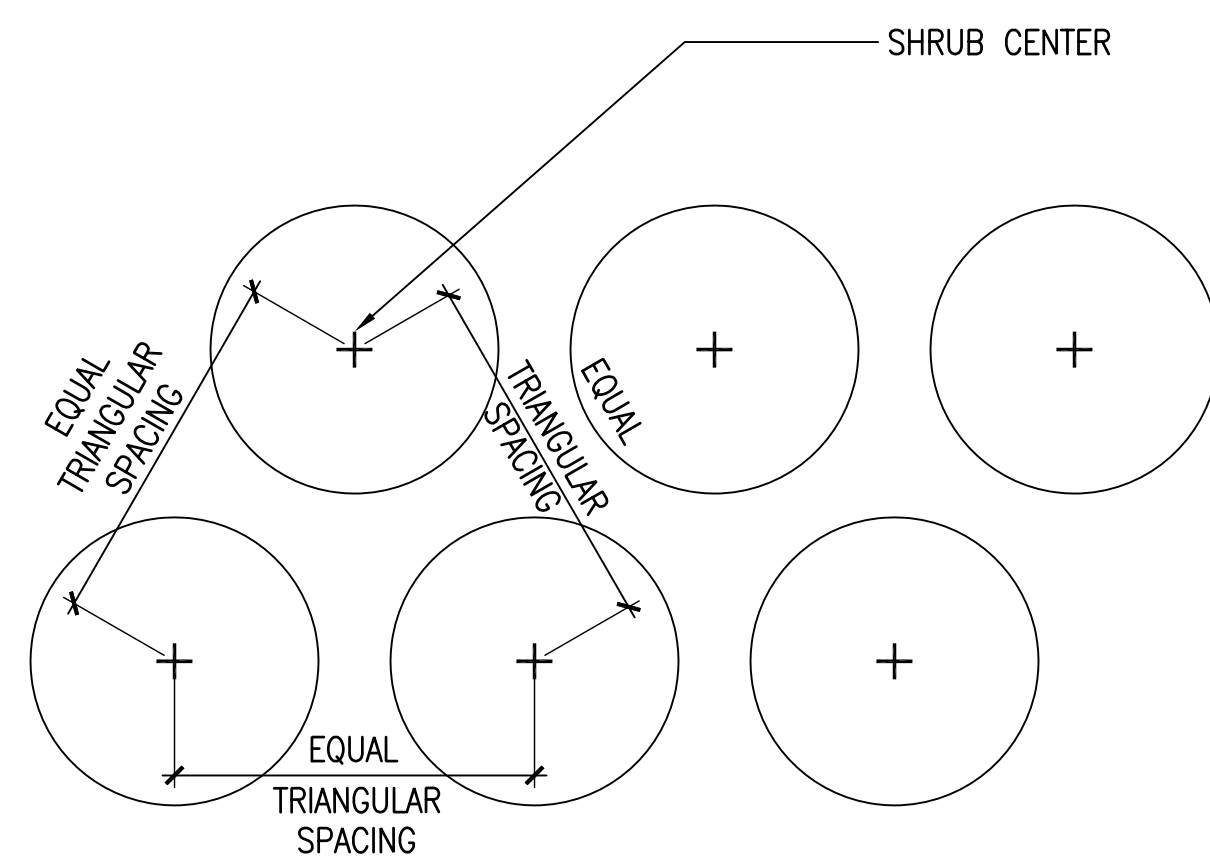
B DECIDUOUS TREE ON SLOPE
SCALE: 1/2"=1'-0" DT-TreeDecSlope.dwg



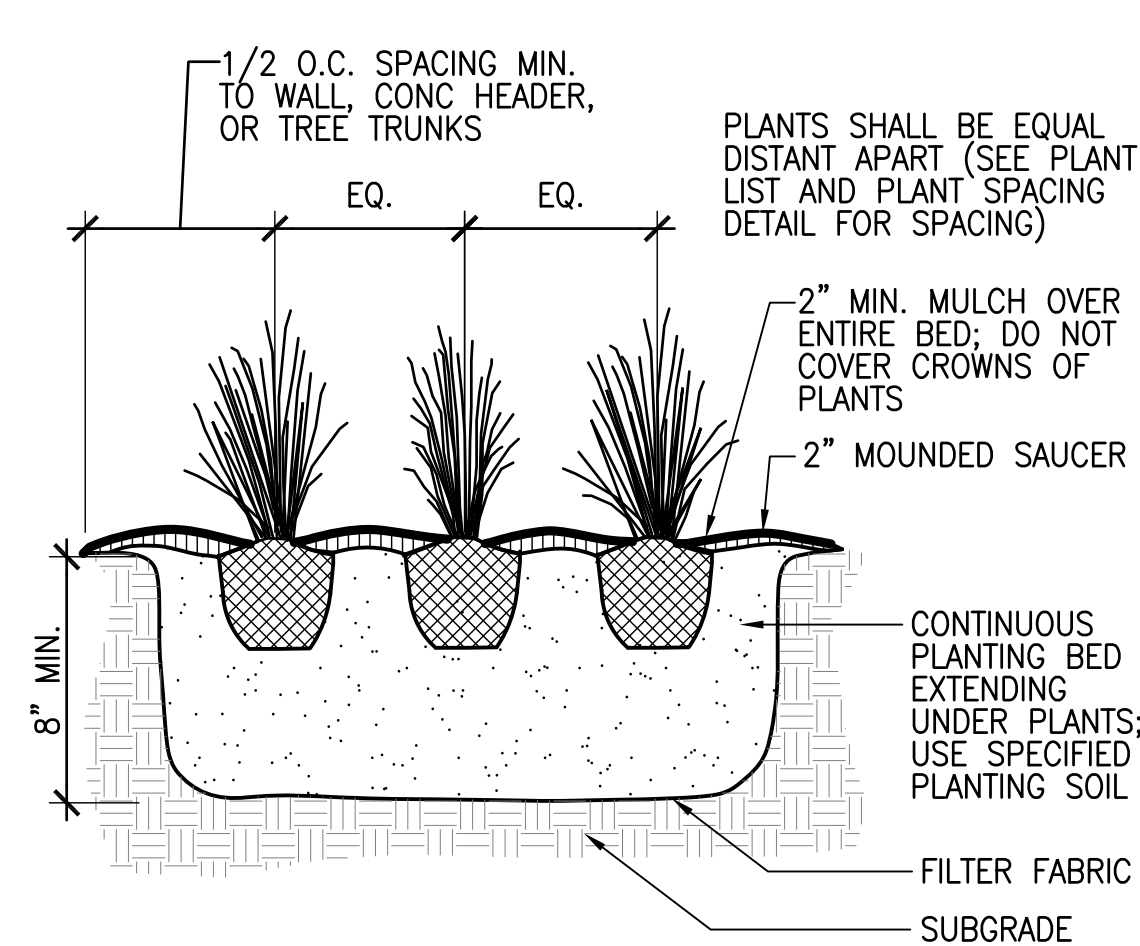
C EVERGREEN TREE PLANTING
SCALE: NTS tree-evg.dwg



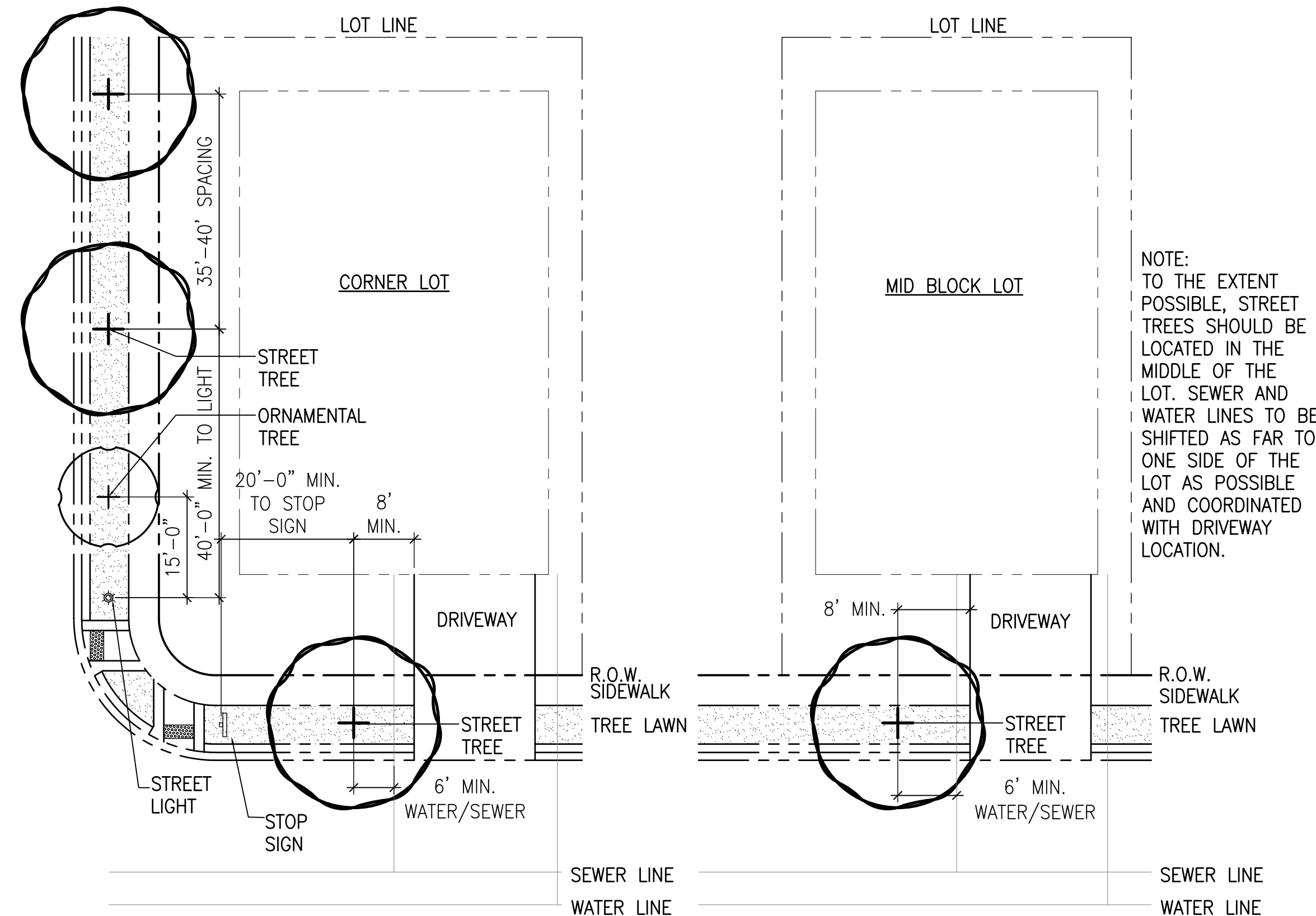
D SHRUB PLANTING
SCALE: NTS shrub.dwg



E TRIANGULAR SHRUB SPACING
SCALE: NTS DT-PLNT-SHRB-SPAC



F PERENNIAL PLANTING
SCALE: NTS DT-Perennial.dwg



G TREE LOCATIONS
SCALE: 1/16"=1'-0" DT-LOT-TREE

REV.	COMMENT	DATE

HARTFORD COMPANIES
1218 West Ash Street, Suite A
Windsor, CO 80550
970.674.1109



russell+mills studios
141 s. college ave., suite 104
fort collins, co 80524
p: 970.484.8855
www.russellmillsstudios.com

TIMBERVINE – INTERNATIONAL BLVD.

LANDSCAPE DETAILS

PROJECT DEVELOPMENT PLAN

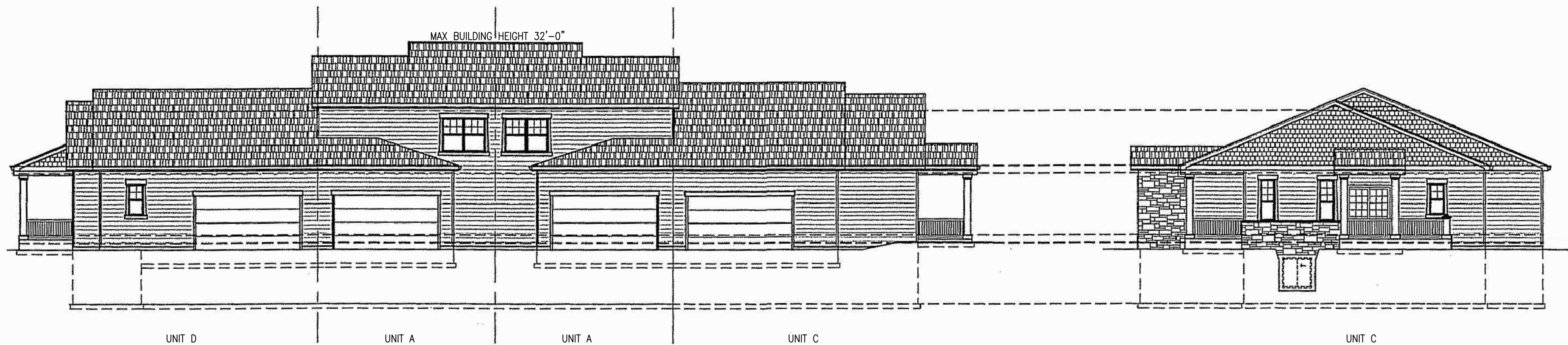
Date: 06.23.2014
Drawn By: SL
Checked By: CR

Sheet
LP501



4-PLEX SIDE ELEVATION

4-PLEX FRONT ELEVATION



4-PLEX REAR ELEVATION

4-PLEX SIDE ELEVATION

REV.	COMMENT	DATE

HARTFORD COMPANIES
1218 West Ash Street, Suite A
Windsor, CO 80550
970.674.1109



russell+mills studios
141 s. college ave., suite 104
fort collins, co 80524
p: 970.484.8855
www.russellmillsstudios.com

TIMBERVINE – INTERNATIONAL BLVD.
SINGLE FAMILY ATTACHED ELEVATIONS
PROJECT DEVELOPMENT PLAN

Date: 06.18.2014
Drawn By: SL
Checked By: CR

Sheet
A1.01

UTILITY PLANS FOR:
TIMBERVINE

BEING LOCATED IN THE NE 1/4 OF SECTION 7, AND THE NW 1/4 OF SECTION
8, T7N, R 68 W OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF
LARIMER, STATE OF COLORADO

MAY, 2014

PROJECT TEAM:



DEVELOPER/APPLICANT
Summerpark Holdings LLC.
Landon Hoover
1218 West Ash, Suite A
Windsor, CO 80550
(303) 486-8553



SITE ENGINEER
Galloway & Company
Rob Van Uffelen
3760 E. 15 Street, Suite 202
Loveland, Colorado 80538
(303) 770-8884



**PLANNER/
LANDSCAPE ARCHITECT**
Russell + Mills Studios
Craig Russell, RLA, ASLA
141 S. College Avenue, Suite 104
Fort Collins, CO 80524
(970) 484-8855



SURVEY ENGINEER
WILLIAM H. SMITH & ASSOCIATES, P.C.
Laine Landau, PLS
Office (970) 449-4449
Fax (970) 449-4498
508 W. 66TH Street, Unit #4
Loveland, CO 80538



TRAFFIC ENGINEER
Matt Delich, PE
Delich Associates
2272 Glen Haven Drive
Loveland, Colorado 80538
(970) 669-2061



GEOTECHNICAL ENGINEER
CTL Thompson Inc.
351 Linden Street, Unit 140
Fort Collins, Colorado 80524
(303) 206-9455

PROJECT BENCHMARKS:

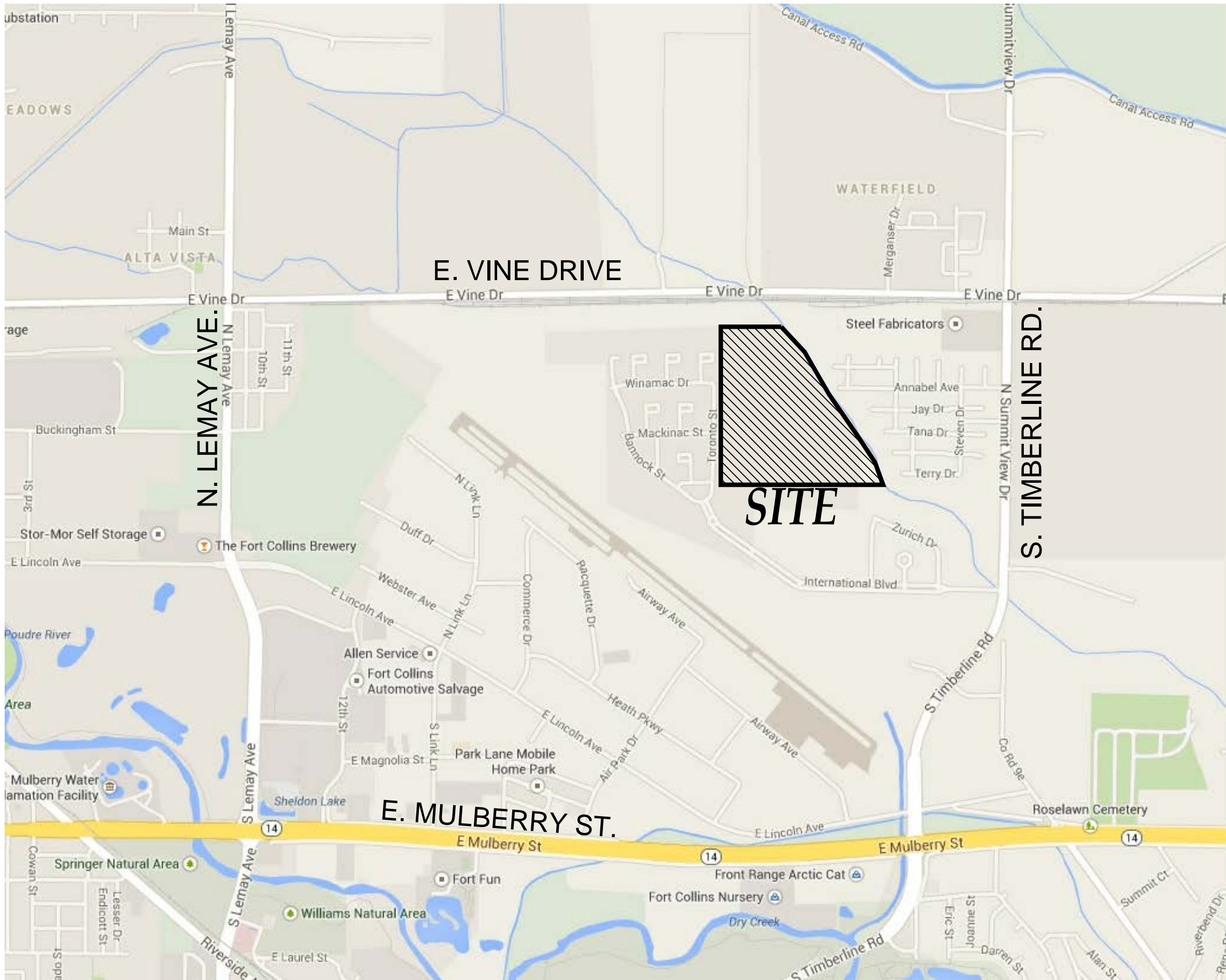
BASIS OF ELEVATION:

THE PROJECT BENCHMARKS:
92-1, EAST VINE DRIVE AT THE PLEASANT VALLEY AND LAKE CANAL INTERSECTION. ON A BRIDGE ON THE TOP OF THE
NORTHWEST HEADWALL
NGVD29 UNADJUSTED ELEVATION= 4943.13 (CITY OF FORT COLLINS DATUM)
NAVD88 = NGVD29 + 3.18'

SALGADO, NGS MONUMENT SET IN CONCRETE ON THE NORTH SIDE OF DONELLA CT. 13 FEET NORTH OF DONELLA CT
AND 8 FEET EAST OF THE ENTRANCE TO FIRE STATION NO. 6. APPROX. 135 FEET WEST OF SUMMITVIEW DR. AND
DONELLA CT.
NGVD29 UNADJUSTED = 4929.64 (CITY OF FORT COLLINS DATUM)
NAVD88 = NGVD29 + 3.19'

BASIS OF BEARINGS:

BASIS OF BEARINGS:
COMMENCING AT THE NORTH QUARTER (N1/4) CORNER OF SAID SECTION 8 AND ASSUMING THE EAST LINE OF SAID
NW1/4 AS BEARING SOUTH 00°24'41" WEST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE
SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/92. A DISTANCE OF 2646.00 FEET WITH ALL OTHER
BEARINGS CONTAINED HEREIN RELATIVE THERETO.



VICINITY MAP

N.T.S.

SHEET INDEX

CV01	COVER SHEET
CV02	GENERAL AND CONSTRUCTION NOTES
EX01	EXISTING CONDITIONS AND DEMOLITION PLAN
PH01	PHASING PLAN
G1-G3	GRADING PLANS
G4	OFF-SITE GRADING PLAN
U1-U4	UTILITY PLANS
SS01-SS11	SANITARY PLAN AND PROFILES
SD01-SD03	STORM DRAIN PLAN AND PROFILES
RD01-RD13	ROAD PLAN AND PROFILES
RD14	SIGNAGE AND STRIPING PLAN
DR01	DRAINAGE PLAN

CALL UTILITY NOTIFICATION CENTER OF
COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

UTILITY CONTACT LIST: *

UTILITY COMPANY	PHONE NUMBER
GAS-----Xcel Energy-----	Stephanie Rich (970) 225-7828
ELECTRIC-----City of Fort Collins Light & Power--	Doug Martine (970) 224-6152
CABLE-----Xfinity-----	Don Kapperman (970) 567-0425
TELECOM-----ELCO-----	William Johnson (970) 377-6401
WATER-----ELCO-----	Mike Scheid (970) 493-2044
WASTEWATER--Boxelder Sanitation District-----	Patricia Mathena (970) 498-0604
STORMWATER - City of Fort Collins Utilities-----	Glen Schlueter (970) 221-6700

* This list is provided as a courtesy reference only. Galloway and Company assumes no responsibility for the
accuracy or completeness of this list. In no way shall this list relinquish the Contractor's responsibility for
locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of
Colorado (UNCC) at 811 for additional information.

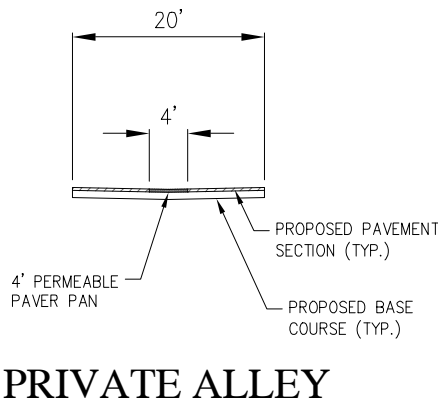
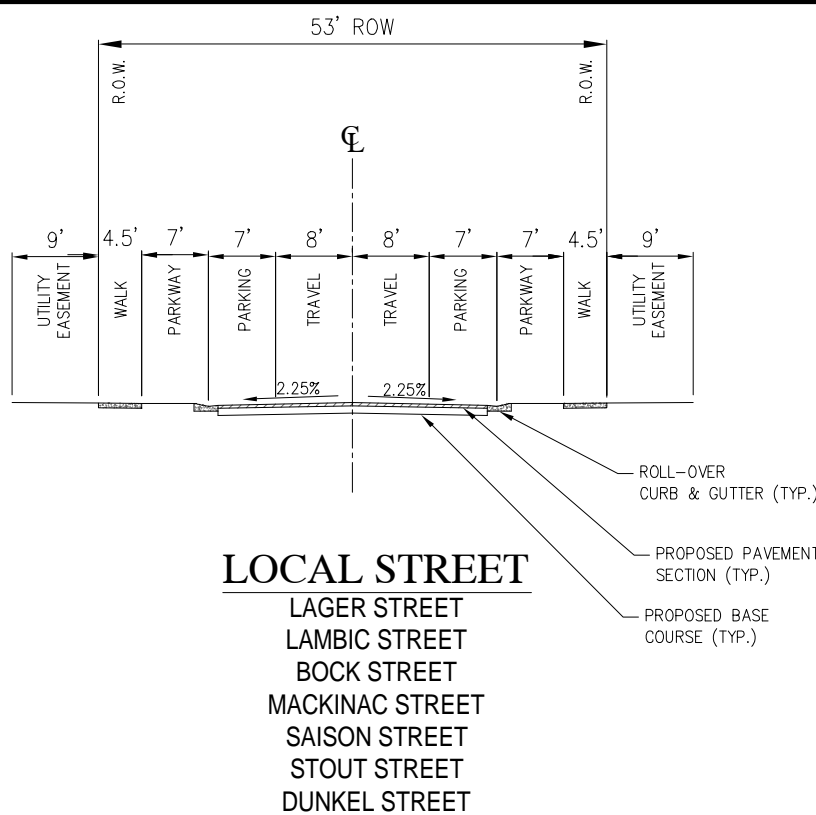
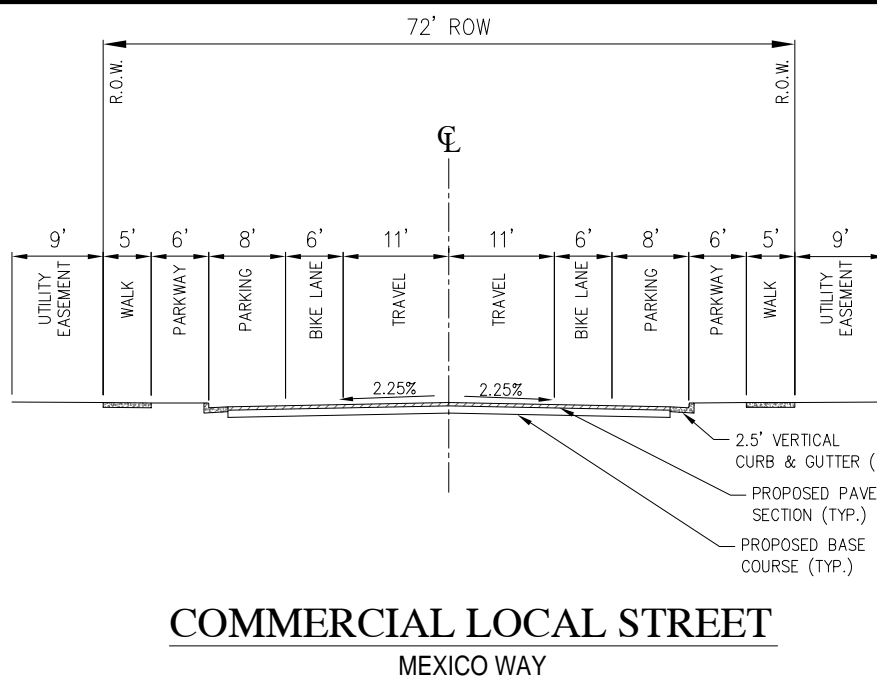
DISCLAIMER STATEMENT:

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility
by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness
of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities
required. The review shall not be construed for any reason as acceptance of financial responsibility by the City of Fort
Collins for additional quantities of items shown that may be required during the construction phase.

CERTIFICATION STATEMENT:

I hereby affirm that these final
construction plans were prepared
under my direct supervision,
in accordance with all applicable City
of Fort Collins and State of
Colorado standards and statutes,
respectively, and that I am fully
responsible for the accuracy of all
design, revisions, and record
conditions that I have noted on
these plans.

TYPICAL ROAD SECTIONS



LAKE CANAL RESERVOIR COMPANY APPROVAL	
SECRETARY OF THE BOARD OF DIRECTORS: ALDEN V. HILL DATE _____	
BOXELDER SANITATION DISTRICT UTILITY PLAN REVIEW	
REVIEWED BY: _____ GENERAL MANAGER	
DATE: _____	
REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS. PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.	
ELCO WATER DISTRICT UTILITY PLAN APPROVAL	
APPROVED: _____ MANAGER	
DATE: _____	
APPROVED: _____ SYSTEMS ENGINEER	
DATE: _____	
City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: _____ City Engineer	_____ Date
CHECKED BY: _____ Water & Wastewater Utility	_____ Date
CHECKED BY: _____ Stormwater Utility	_____ Date
CHECKED BY: _____ Parks & Recreation	_____ Date
CHECKED BY: _____ Traffic Engineer	_____ Date
CHECKED BY: _____ Environmental Planner	_____ Date

REV	REVISION DESCRIPTION	DATE	CHANGED BY	APPROVED BY
1	REVIEW SET	06/18/14	-	-
2	NOT FOR CONSTRUCTION	-	-	-

SUMMERPARK HOLDINGS, LLC.

1218 WEST ASH STREET,
WINDSOR, CO 80550



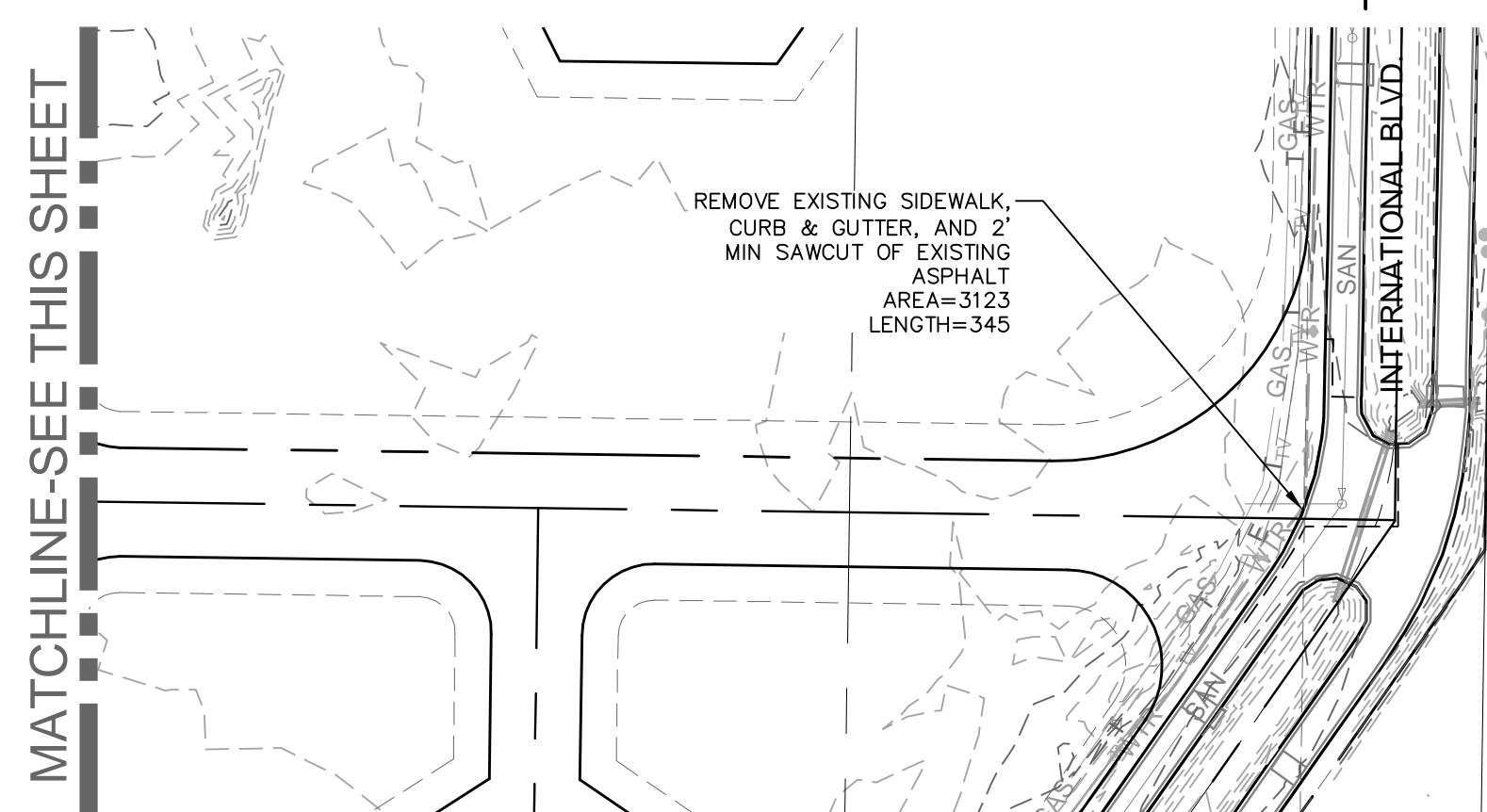
Galloway
Planning, Architecture, Engineering
3760 E. 15th Street, Suite 202
Loveland, CO 80538
(303) 770-8884
www.gallowayus.com

PROJECT # SPHL0001.01	DATE JUNE 18, 2014	SCALE N/A	DESIGNED BY J. Prelog	REVIEWED BY R. Van Uffelen
--------------------------	-----------------------	--------------	--------------------------	-------------------------------

TIMBERVINE

COVER SHEET

Of 41 Sheet:



ROTATION: 90

R: JAMES GIBSON CHARLES
REC. NO. 9300588
REC'D 1/29/1993

W/NER: JOHN STODD
REC. NO. 200109512
REC'D 10/23/2001

WEST 1/4 CORNER
SECTION 8-T.7N.-R.68W.
FOUND #6 REBAR W/
2 1/2" ALUMINUM CAP-
STAMPED LS17497

REMOVE EXISTING SIDEWALK,
CURB & GUTTER, AND 2'
MIN SAWCUT OF EXISTING
ASPHALT
AREA=3123
LENGTH=345

- REMOVE
EXISTING FENCE

— REMOVE
EXISTING FENCE



PROPERTY BOUNDARY	_____
EXISTING RIGHT-OF-WAY	_____
EXISTING MAJOR CONTOUR	_____ -5015- _____
EXISTING MINOR CONTOUR	_____ -5013- _____
EXISTING AT&T FIBER OPTIC	_____ FO _____
EXISTING OVER-HEAD ELECTRIC	_____ OHEL _____
EXISTING TELEPHONE	_____ T _____
EXISTING GAS	_____ 18" SAN _____
EXISTING SANITARY SEWER	_____ 18" SAN _____
EXISTING WATER	_____ 20" W _____
EXISTING STORM	_____
EXISTING FENCE	_____ X _____
EXISTING WATER METER	[W]
EXISTING TELEPHONE RISER	[T]
EXISTING TREES	○ ●

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL KNOWN UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIALS.
3. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES RECYCLING OF CONCRETE, ASPHALT, AND BASE COURSE. DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE. CITY OF FORT COLLINS STREET DEPARTMENT OPERATES A CRUSHING OPERATION THAT WILL ACCEPT CONCRETE MATERIAL AT A COST FOR CRUSHING AND RE-USE AS RECYCLED AGGREGATE. THIS OPERATION IS LOCATED AT 1380 HOFFMAN MILL ROAD AND CAN BE REACHED AT (970) 482-1249.
4. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
5. CALL THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE EXISTING SITE SURVEY.
6. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO ANY CONSTRUCTION TO VERIFY EXACT UTILITY LOCATION.
7. CURB, GUTTER AND SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT.
8. COORDINATE THE REMOVAL AND/OR SALVAGING OF ALL EXISTING TREES SHOWN ON THE DEMOLITION PLAN WITH APPROVED LANDSCAPE DRAWINGS. COORDINATE THE REMOVAL OF ALL OTHER PLANTINGS WITH APPROVED LANDSCAPE DRAWINGS.
9. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
10. THE CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES THAT ARE NOT TO BE REMOVED ADJACENT TO THE CONSTRUCTION AREA INCLUDING BUT NOT LIMITED TO SIDEWALKS, PRIVATE FENCES, ABOVE GROUND OR UNDERGROUND UTILITIES, STRUCTURES, AND UNDERGROUND FOUNDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT SHOULD OCCUR TO ANY ON-SITE, PUBLIC OR PRIVATE FACILITY OR FEATURE AS A RESULT OF THE CONSTRUCTION PROCESS FOR THIS PROJECT.
11. LIMIT OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEER INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
12. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ITEMS IMPACTING THE PROPERTY WITH THE PROPERTY OWNERS PRIOR TO BEGINNING AND CONSTRUCTION ACTIVITIES.

<p style="text-align: center;">BOXELDER SANITATION DISTRICT UTILITY PLAN REVIEW</p> <p>REVIEWED BY: _____</p> <p>DATE: _____</p> <p style="text-align: center;">GENERAL MANAGER</p> <p>REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS. PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.</p>	<p style="text-align: center;">City of Fort Collins, Colorado UTILITY PLAN APPROVAL</p> <p>APPROVED: _____</p> <p style="text-align: center;">City Engineer</p> <p>DATE: _____</p> <p>CHECKED BY: _____</p> <p style="text-align: center;">Water & Wastewater Utility</p> <p>DATE: _____</p> <p>CHECKED BY: _____</p> <p style="text-align: center;">Stormwater Utility</p> <p>DATE: _____</p> <p>CHECKED BY: _____</p> <p style="text-align: center;">Parks & Recreation</p> <p>DATE: _____</p> <p>CHECKED BY: _____</p> <p style="text-align: center;">Traffic Engineer</p> <p>DATE: _____</p> <p>CHECKED BY: _____</p> <p style="text-align: center;">Environmental Planner</p> <p>DATE: _____</p>
<p style="text-align: center;">ELCO WATER DISTRICT UTILITY PLAN APPROVAL</p> <p>APPROVED: _____</p> <p>DATE: _____</p> <p style="text-align: center;">MANAGER</p> <p>APPROVED: _____</p> <p>DATE: _____</p> <p style="text-align: center;">SYSTEMS ENGINEER</p>	

REV	REVISION DESCRIPTION	DATE	DRAWN	CHECKED	APPROVED
-	-	06/18/14	-	-	-

**SUMMERPARK
HOLDINGS, LLC**

 **HARTFORD
COMPANIES**

218 WEST ASH STREET,
SUITE A
WINDSOR, CO 80550

Galloway
Planning, Architecture, Engineering

3760 E. 15th Street, Suite 202
Loveland, CO 80538
303.770.8894
303.770.3636 F
www.gallowayUS.com

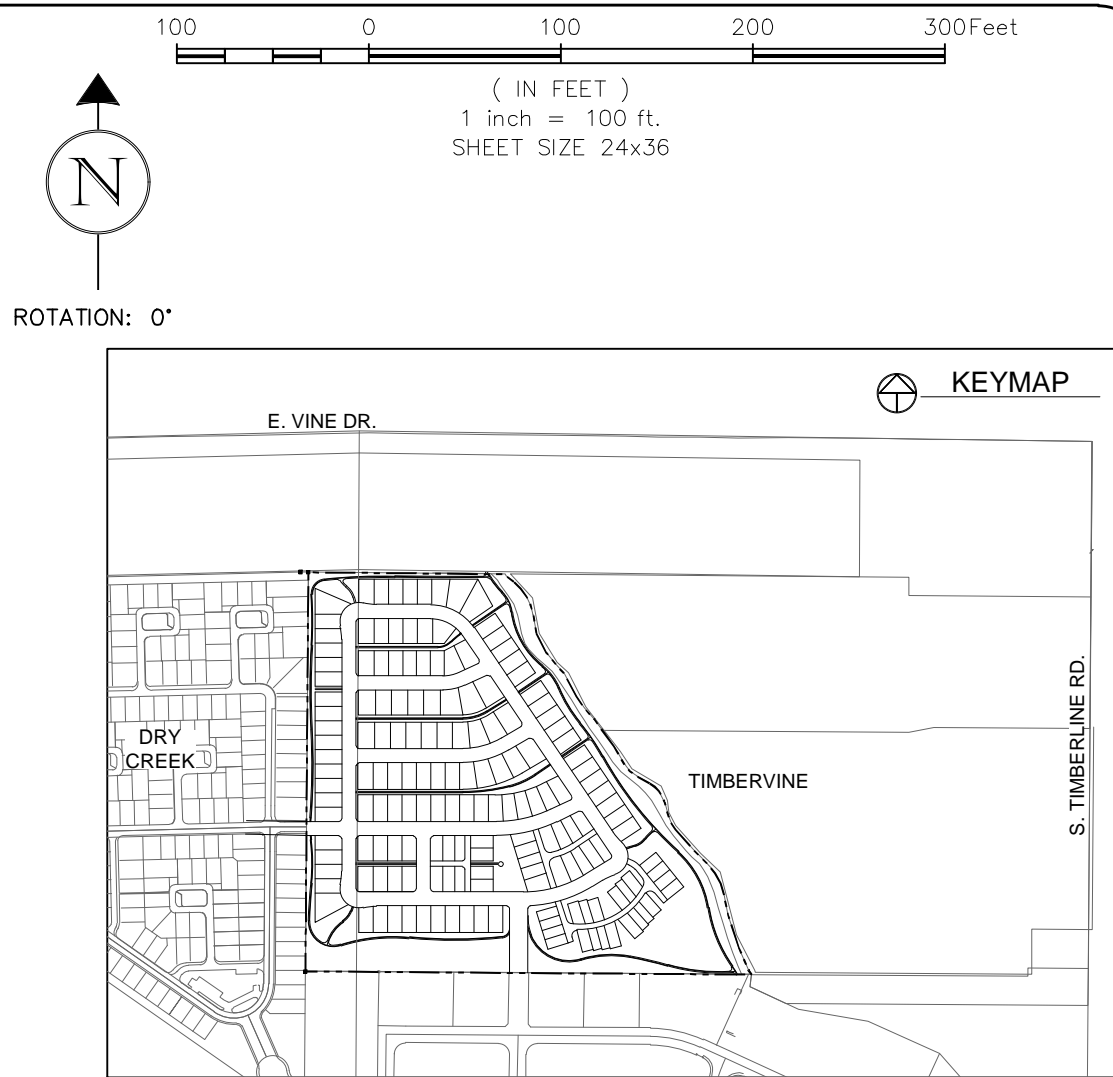
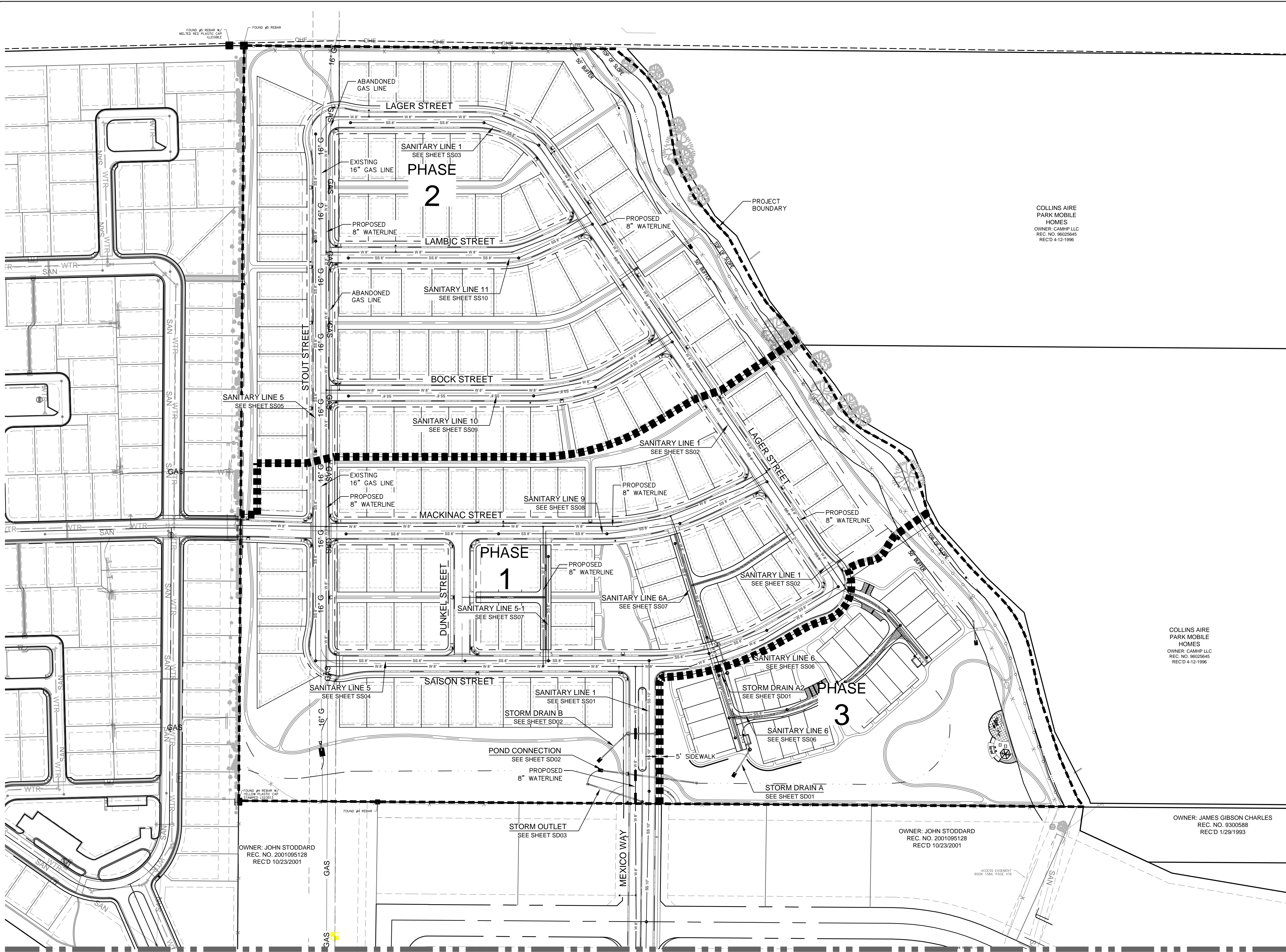
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PROJECT #: SPHLV0001.01	DATE: JUNE 18, 2014
DESIGNED BY: J. Prelog	SCALE: 1"= 100'
DRAWN BY: N. Whitcomb	REVIEWED BY: R. Van Uffelen

TIMBERVINE

**EXISTING CONDITIONS
AND DEMOLITION PLAN**

Sheet
EX01
Of 41 Sheets

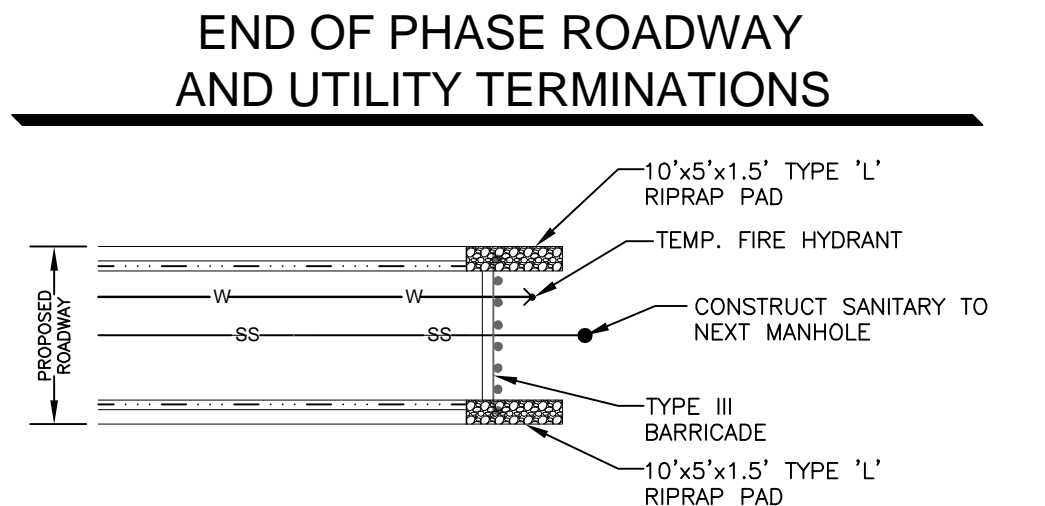


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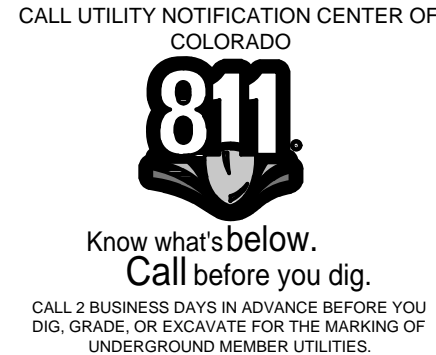
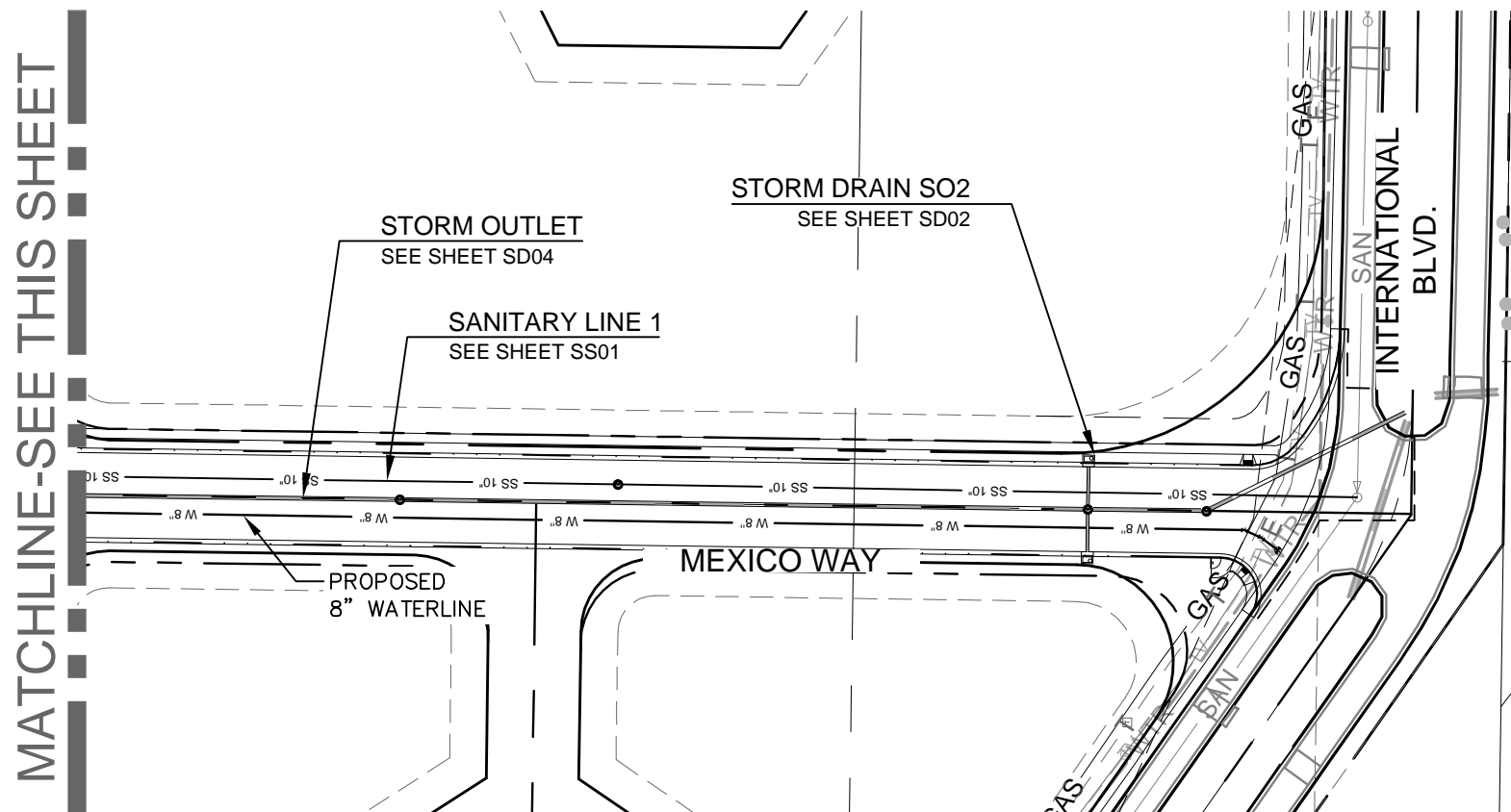
PROJECT BOUNDARY

PHASE LINE

- NOTES:**
- PHASE LINES SHOWN DELINEATE THE LOTS AND/OR AREAS THAT ARE INCLUDED WITHIN A PHASE. DEPENDING ON CONSTRUCTION SEQUENCING, INSTALLATION OF INFRASTRUCTURE OUTSIDE THE LIMITS OF THE PHASE MAY BE REQUIRED.
 - DEPENDING ON CONSTRUCTION SEQUENCING, PREVIOUSLY CONSTRUCTED ROADWAYS MAY REQUIRE SAWCUTS, MILLING AND/OR PATCHING OF ASPHALT. FINAL LIMITS WILL BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL PATCHING AND STREET REPAIRS SHALL BE IN ACCORDANCE WITH CITY STANDARDS.
 - THE PHASING DESIGNATIONS SHOWN ARE FOR REFERENCE ONLY, AND MAY NOT HAVE ANY RELATIONSHIP TO THE ACTUAL ORDER OF CONSTRUCTION.
 - OVERLOT GRADING FOR PHASING IS EXPECTED TO OCCUR AT THE SAME TIME, REGARDLESS OF WHICH PHASE IS CONSTRUCTED FIRST. IF OVERLOT IS COMPLETED BY PHASE, GRADING SHALL BE TIED IN AT 4:1 MAX AND APPROPRIATE COVER PROVIDED IN FILL AREAS FOR UTILITIES OUTSIDE OF PHASE.
 - TEMPORARY FIRE HYDRANTS ARE REQUIRED AT THE UPSTREAM END OF ALL WATER LINES IN EACH PHASE WHICH CREATES A "DEAD-END" WATER LINE. THE FIRE HYDRANTS SHALL BE REMOVED WHEN THE WATER MAIN IS COMPLETED DURING THE CONSTRUCTION OF THE NEXT PHASE.
 - THE 8" SANITARY SEWER MAIN SHALL BE EXTENDED TO THE NEXT MANHOLE BEYOND THE PHASE LINE.
 - MEXICO WAY SHALL BE COMPLETED WITH PHASE 1



UTILITY PHASING	
PHASE	REQUIRED UTILITY INFRASTRUCTURE
1	SANITARY SEWERS STORM DRAIN
2	SANITARY SEWER STORM DRAIN
3	SANITARY SEWERS STORM DRAINS



BOXELDER SANITATION DISTRICT UTILITY PLAN REVIEW	City of Fort Collins, Colorado UTILITY PLAN APPROVAL
REVIEWED BY: _____ DATE: _____ GENERAL MANAGER	APPROVED: _____ City Engineer Date
REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS. PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.	CHECKED BY: _____ Water & Wastewater Utility Date
ELCO WATER DISTRICT UTILITY PLAN APPROVAL	CHECKED BY: _____ Stormwater Utility Date
APPROVED: _____ DATE: _____ MANAGER	CHECKED BY: _____ Parks & Recreation Date
APPROVED: _____ DATE: _____ SYSTEMS ENGINEER	CHECKED BY: _____ Traffic Engineer Date
	CHECKED BY: _____ Environmental Planner Date

REV

REVISION DESCRIPTION

DATE

CHANGED BY

REVIEWED BY

REVIEW SET

NOT FOR CONSTRUCTION

06/18/14

SUMMERPARK HOLDINGS, LLC.

HARTFORD

1218 WEST ASH STREET,
WINDSOR, CO 80550

Galloway

Planning, Architecture, Engineering

3760 E 15th Street, Suite 202
Lowland, CO 80538
303.770.3636 F
www.gallowayus.com

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PROJECT # SPHL0001.01

DATE: JUNE 18, 2014

DESIGNED BY: J. Prelog

SCALE: 1"=100'

DRAWN BY: R. Van Uffelen

REVIEWED BY: N. Whitcomb

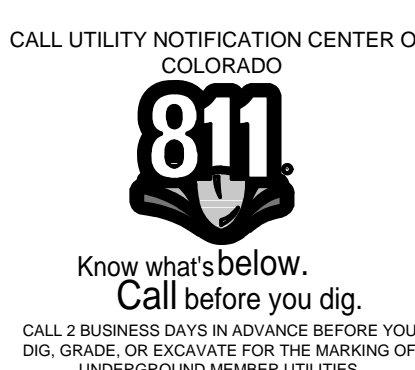
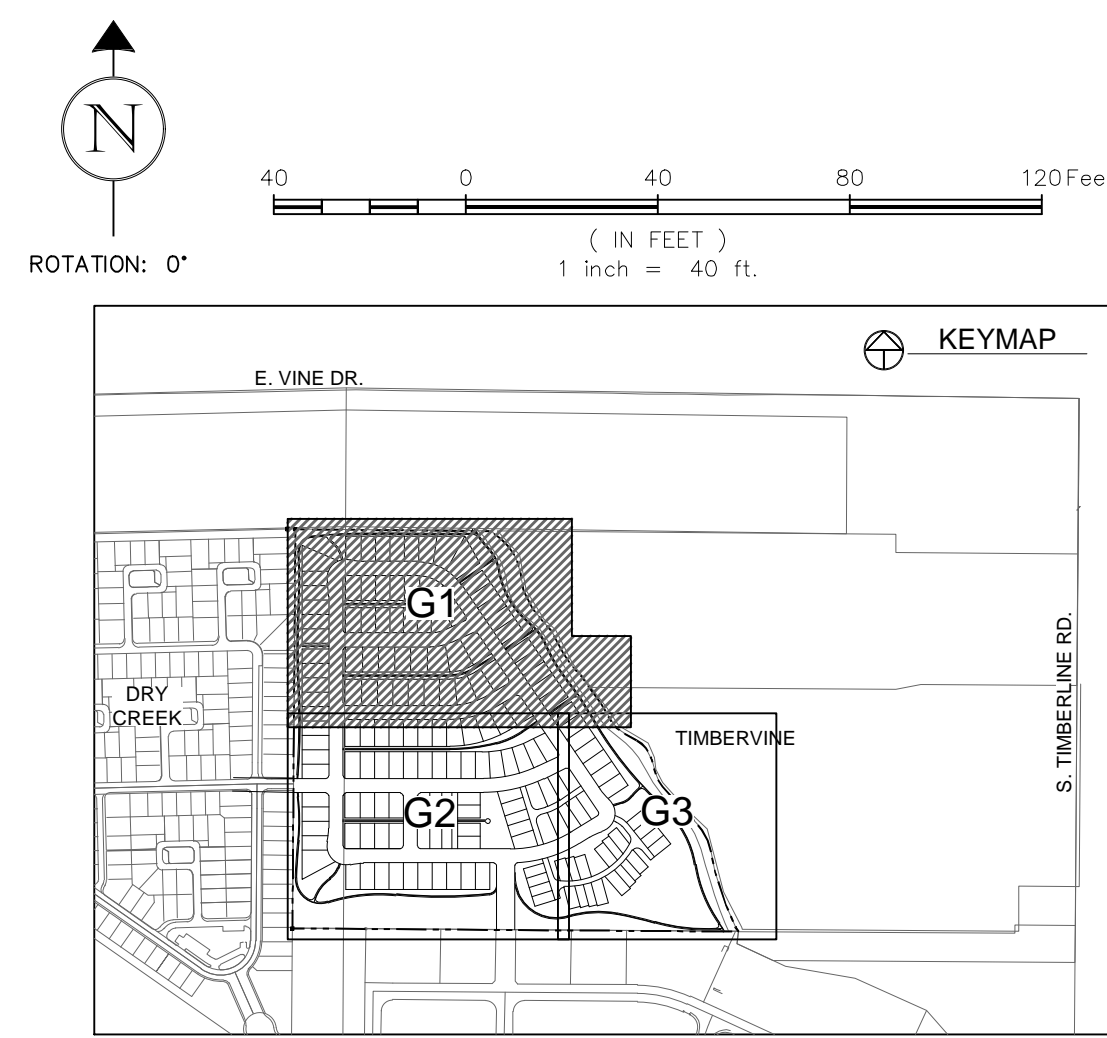
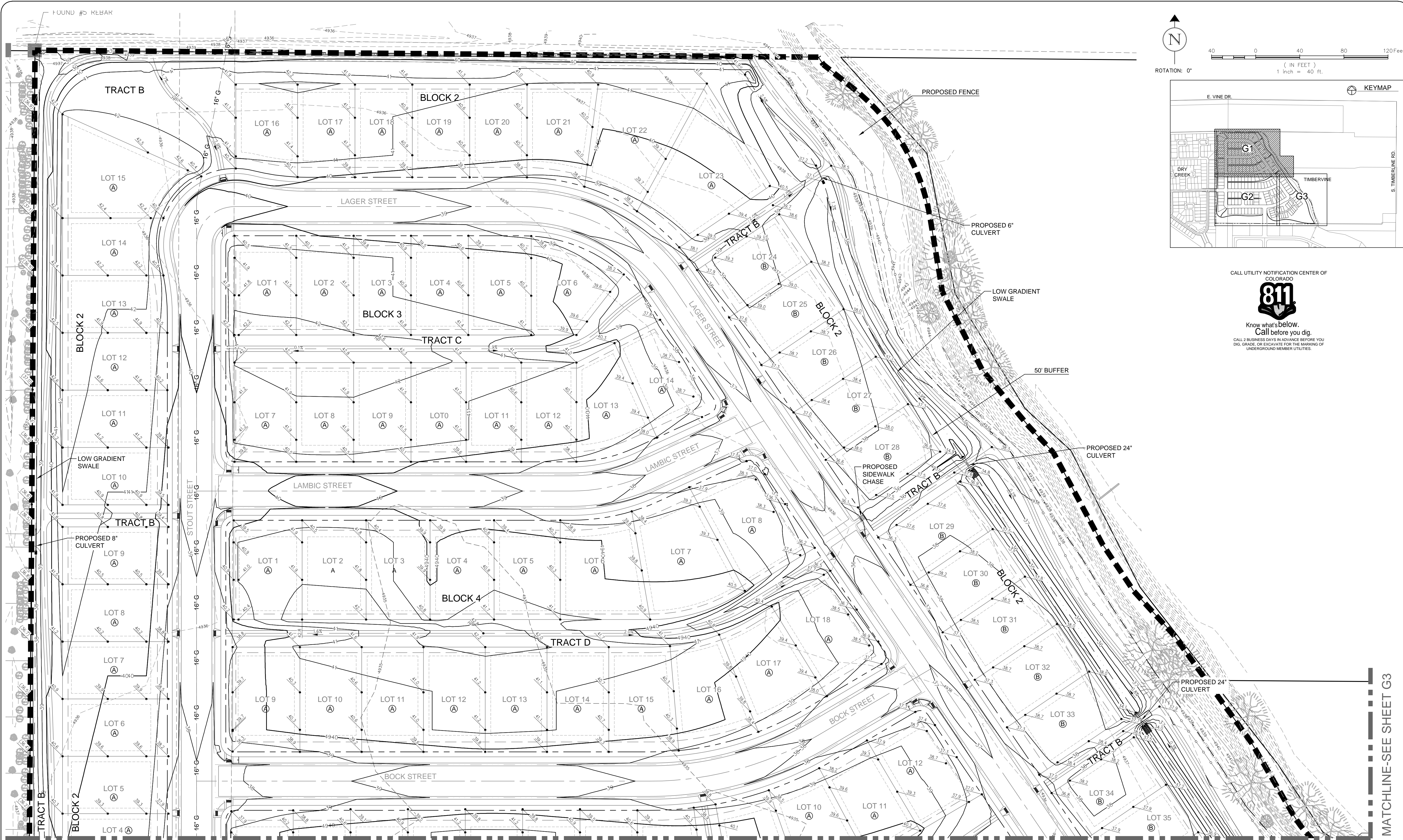
TIMBERVINE

PHASING PLAN

Sheet

PH01

Of 41 Sheets



LEGEND:

EXISTING STORM SEWER	PROPOSED SPOT ELEVATION
PROPOSED STORM SEWER	EXISTING SPOT ELEVATION
PROPOSED STORM INLET	PROPOSED SLOPES
PROPOSED CONTOUR	PROPOSED CONCRETE CROSS PAN (TYP.)
EXISTING CONTOUR	LOT TYPE
PROPOSED PAN	PERMEABLE PAVER
PROPOSED CURB AND GUTTER	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	

NOTES:

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- ELEVATIONS SHOWN HAVE BEEN ABBREVIATED. THE ENTIRE ELEVATION IS THE ELEVATION SHOWN PLUS 4900 FEET (43.71 = 4943.71).
- CONTOURS SHOWN OUTSIDE OF STREET R.O.W. ARE OVERLOT CONTOURS. CONTOURS SHOWN WITHIN THE STREET R.O.W. ARE FINISHED GRADE.
- ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE LOT CORNERS, OVERLOT OR FINISHED GRADE FOR LANDSCAPE AREAS.
- SEE DETAIL SHEETS FOR LOT TEMPLATES.
- 4:1 MAX TIE TO EXISTING SURFACE AT END OF PHASE IF REQUIRED.
- REFER TO DETAIL SHEETS FOR INLET SCHEDULE
- SEE SECTION 3.4.1 OF LANDUSE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED PER THE APPROVED LANDSCAPE PLAN.

**City of Fort Collins, Colorado
UTILITY PLAN APPROVAL**

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

REVIEW SET
NOT FOR CONSTRUCTION
06/18/14

REV	DESCRIPTION	DATE	CHANGED BY	APPROVED BY

SUMMERPARK HOLDINGS, LLC.

HARTFORD
COMPANIES

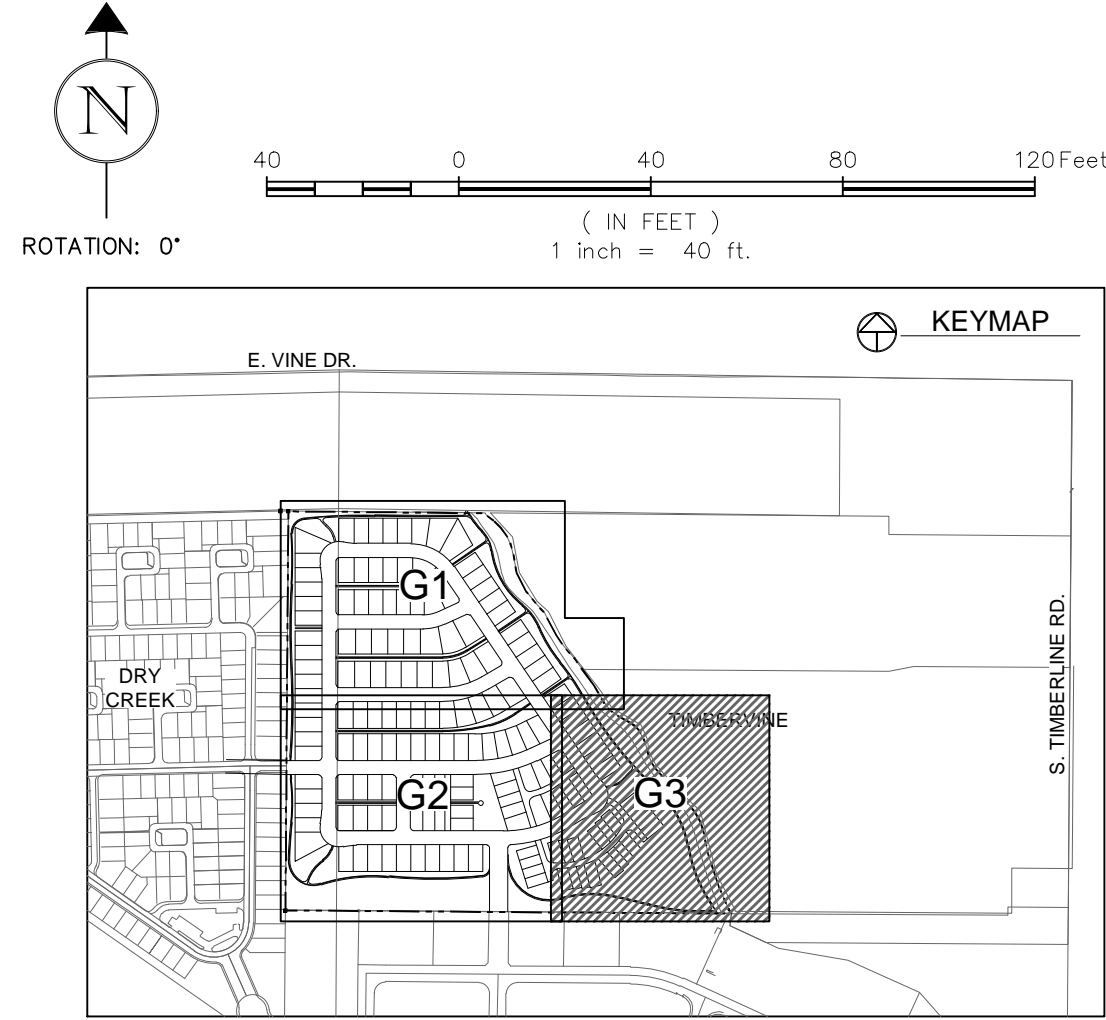
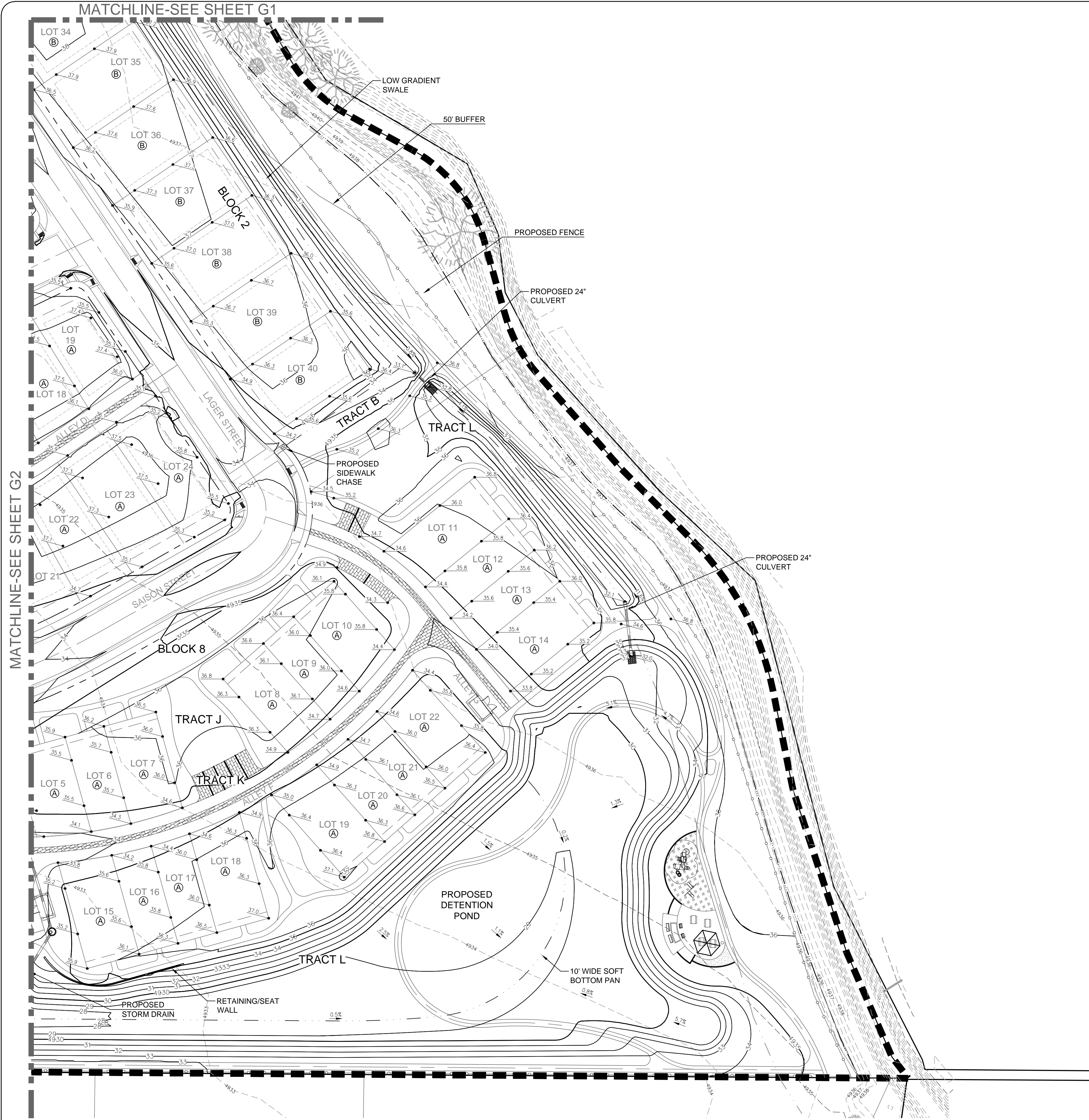
1218 WEST ASH STREET,
WINDSOR, CO 80550

Galloway
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Loveland, CO 80538
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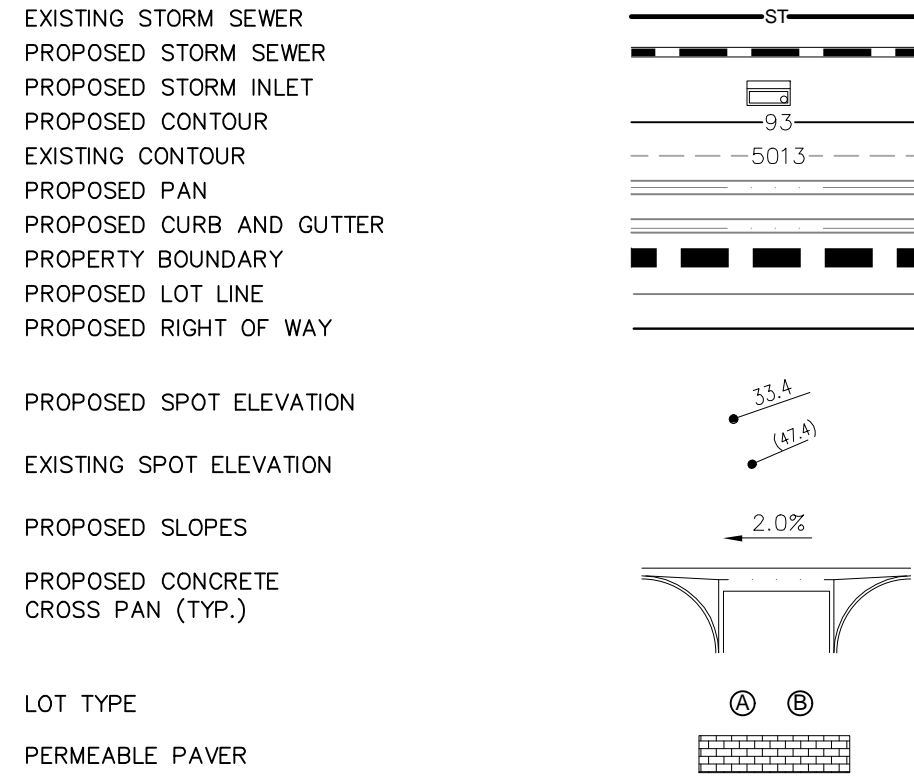
DATE: JUNE 18, 2014
PROJECT #: SPHL0001.01
DESIGNED BY: J. Allen
DRAWN BY: J. Allen
SCALE: 1"=40'
REVIEWED BY: R. Van Uffelen

TIMBERVINE
GRADING
PLAN

Sheet
G1
Of 41 Sheets



LEGEND:



NOTES:

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7. 4:1 MAX TIE TO EXISTING SURFACE AT END OF PHASE IF REQUIRED.
8. REFER TO DETAIL SHEETS FOR INLET SCHEDULE.
9. SEE SECTION 3.4.1 OF LANDUSE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
10. ALL DISTURBED AREAS SHALL BE REVEGETATED PER THE APPROVED LANDSCAPE PLAN.

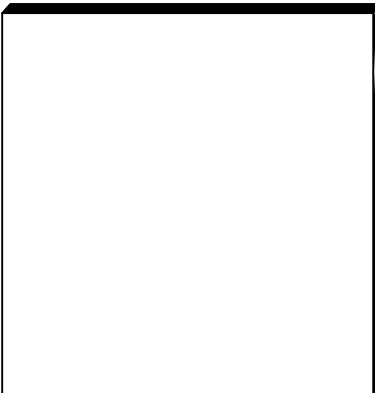
City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: _____	City Engineer _____ Date _____
CHECKED BY: _____	Water & Wastewater Utility _____ Date _____
CHECKED BY: _____	Stormwater Utility _____ Date _____
CHECKED BY: _____	Parks & Recreation _____ Date _____
CHECKED BY: _____	Traffic Engineer _____ Date _____
CHECKED BY: _____	Environmental Planner _____ Date _____

REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY
-	-	06/18/14	-	-	-

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CORPORATION

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WINDSOR, CO 80550



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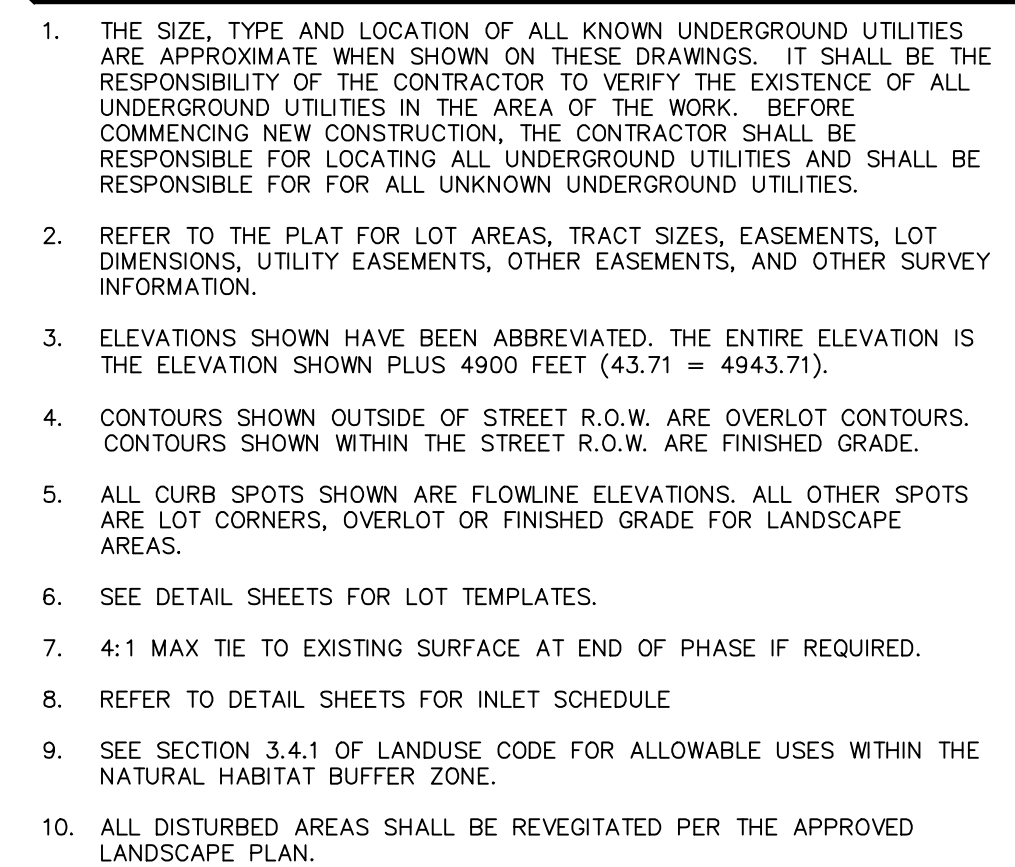
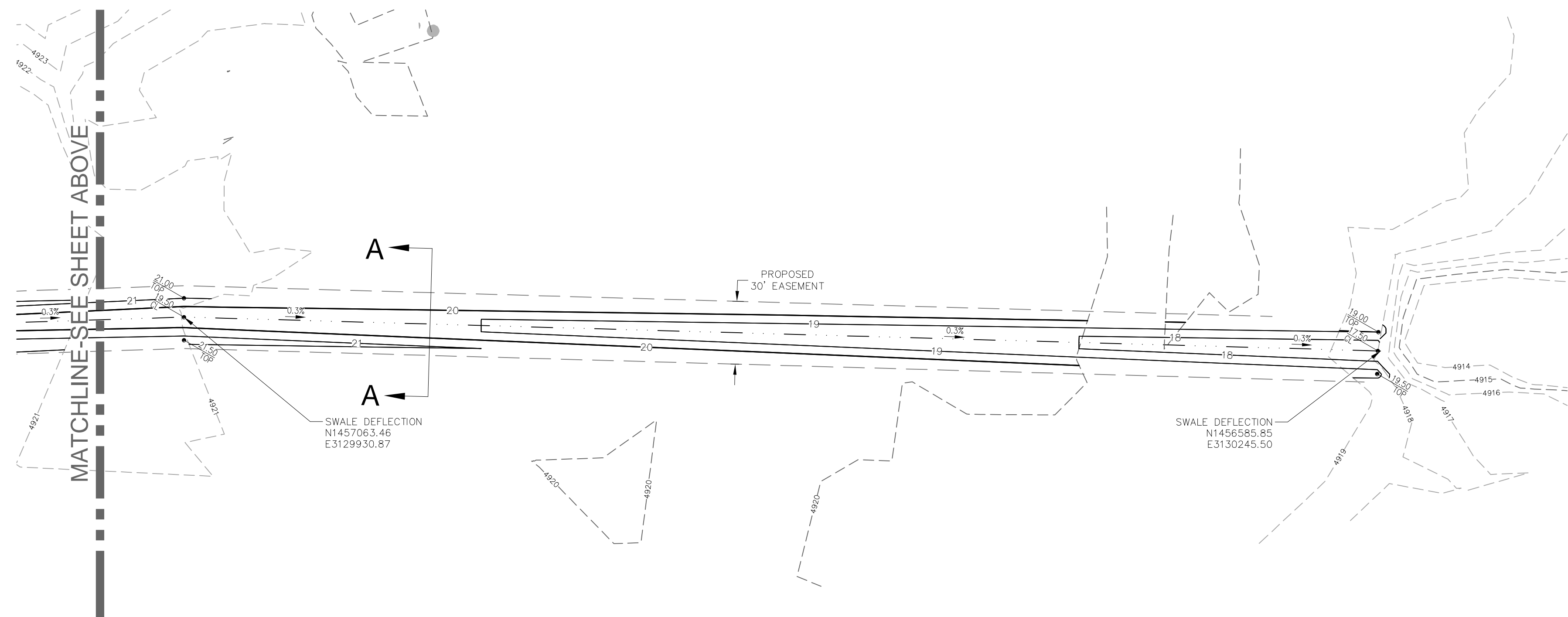
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PROJECT #: SPHL0001.01	DATE: JUNE 18, 2014	SCALE: 1"=40'	DESIGNED BY: J. Allen	REVIEWED BY: R. Van Uffelen
			DRAWN BY: J. Allen	

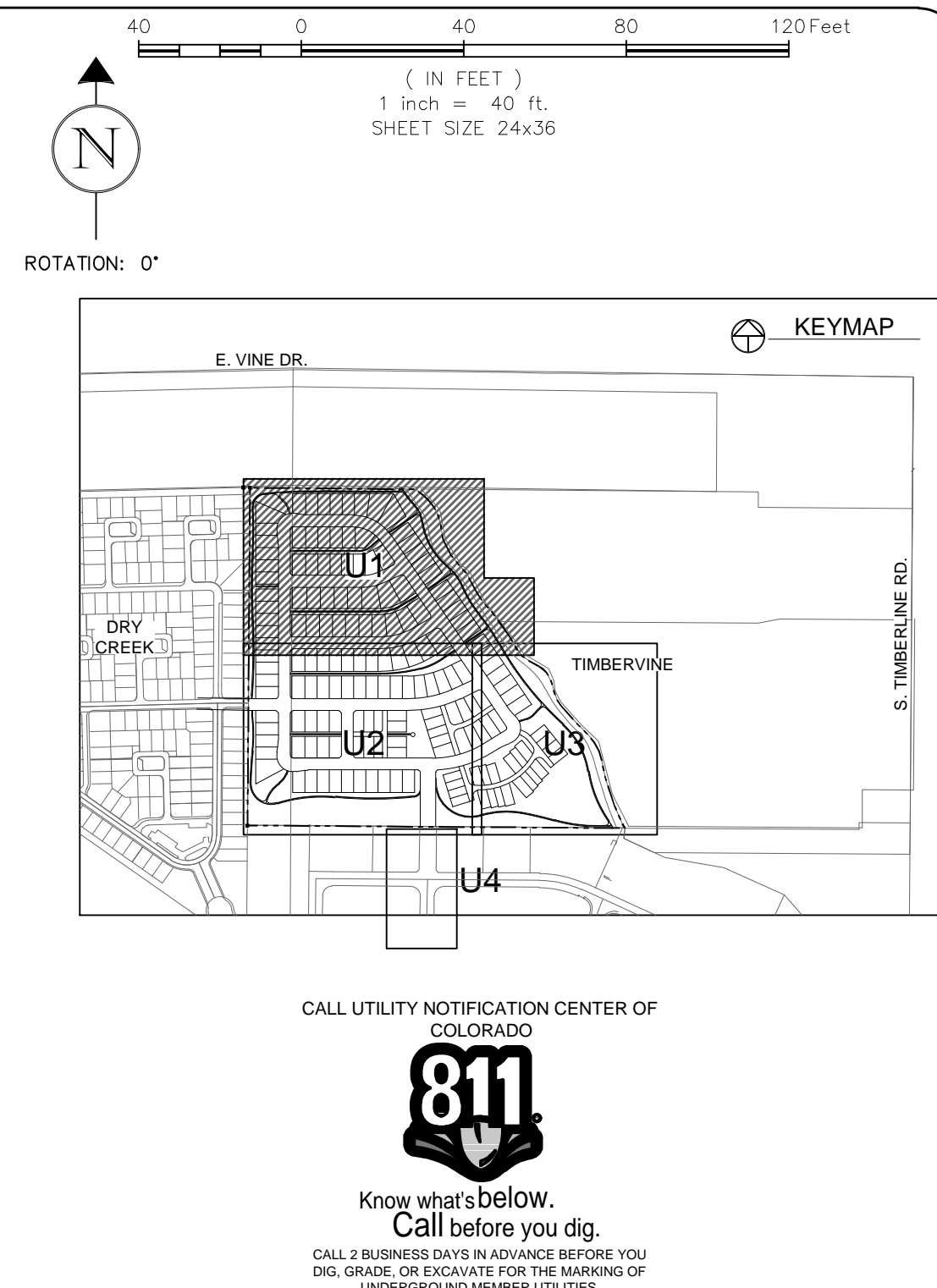
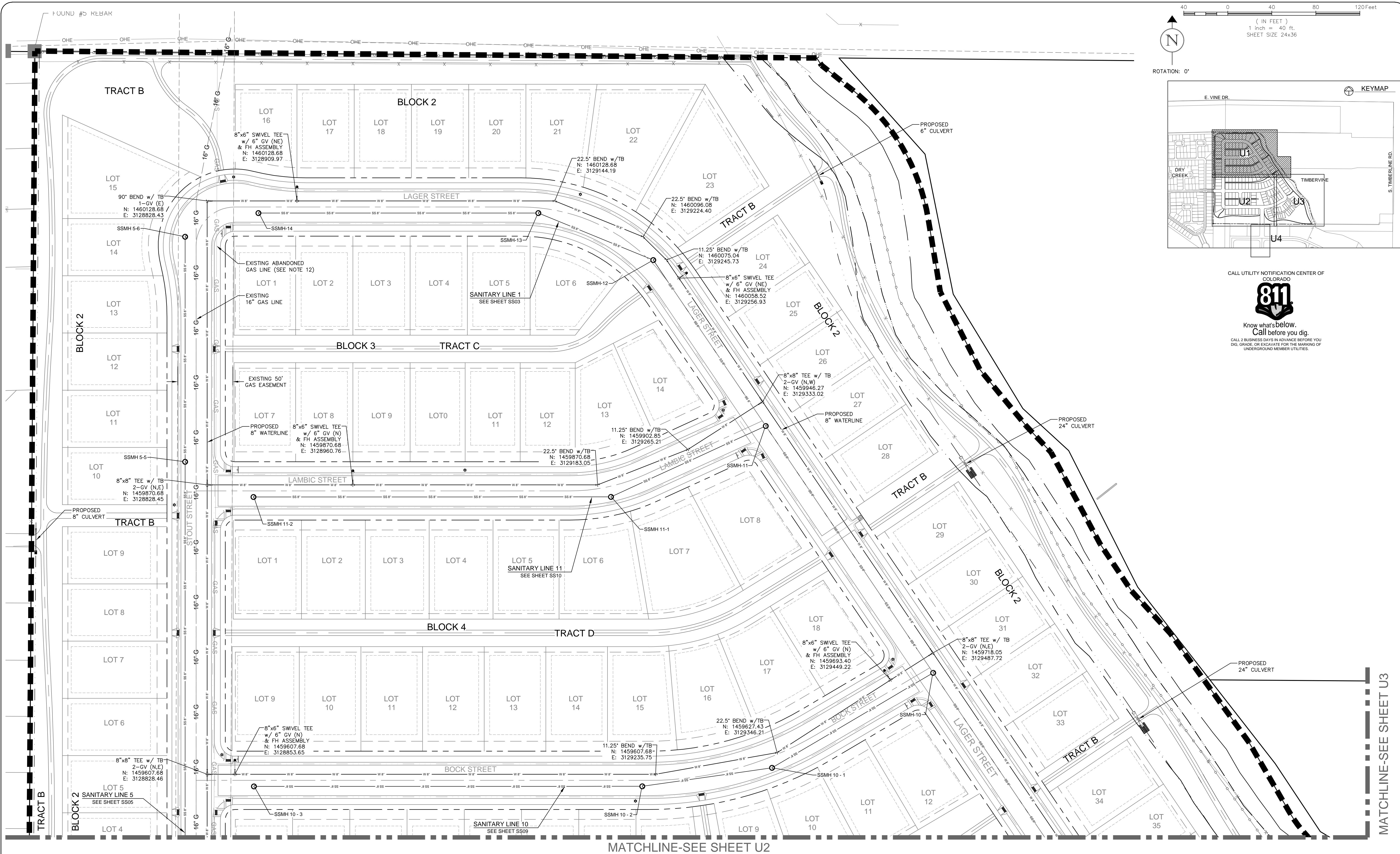
TIMBERVINE

GRADING
PLAN



City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY:	_____	_____
	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date

Sheet
G4
Of 41 Sheets



LEGEND:

PROPOSED 8" WATER MAIN	---+--- W 8"
EXISTING WATER MAIN	--- W 8"
PROPOSED 8" SANITARY SEWER	--- W 8"
PROPOSED 12" SANITARY SEWER	--- W 12"
EXISTING SANITARY SEWER	--- S
PROPOSED SEWER SERVICE	--- S
PROPOSED RESIDENTIAL SERVICE	--- W
PROPOSED FIRE HYDRANT	--- F
EXISTING FIRE HYDRANT	--- F
PROPOSED STORM SEWER	--- S
EXISTING STORM SEWER	--- S

NOTES:

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
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- SEWER SERVICE PROVIDED BY BOXELDER SANITATION DISTRICT SEWER CONSTRUCTION SHALL BE PER BOXELDER SANITATION DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
- MINIMUM DEPTH OF COVER OVER WATER MAINS SHALL BE 4.5'. MAXIMUM COVER SHALL BE 5.5'.
- SANITARY SEWER SERVICES SHALL BE SDR-35 PVC AND WATER MAINS SHALL BE AWWA C-900 PVC.
- ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
- MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
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- COORDINATE ABANDONMENT OF EXISTING GAS PRIOR TO ANY CONSTRUCTION.

**ELCO WATER DISTRICT
UTILITY PLAN APPROVAL**

APPROVED: _____
DATE: _____

APPROVED: _____
DATE: _____

**BOXELDER SANITATION DISTRICT
UTILITY PLAN REVIEW**

REVIEWED BY: _____
DATE: _____

REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS. PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.

**City of Fort Collins, Colorado
UTILITY PLAN APPROVAL**

APPROVED: _____
DATE: _____

CHECKED BY: _____
DATE: _____

CHECKED BY: _____
DATE: _____

CHECKED BY: _____
DATE: _____

CHECKED BY: _____
DATE: _____

CHECKED BY: _____
DATE: _____

SHEET

U1

OF 41 SHEETS

REVIEW SET

NOT FOR CONSTRUCTION

06/18/14

REV	REVISION DESCRIPTION	DATE	CHANGED BY	REVIEWED BY

SUMMERPARK HOLDINGS, LLC.

III

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TIMBERVINE

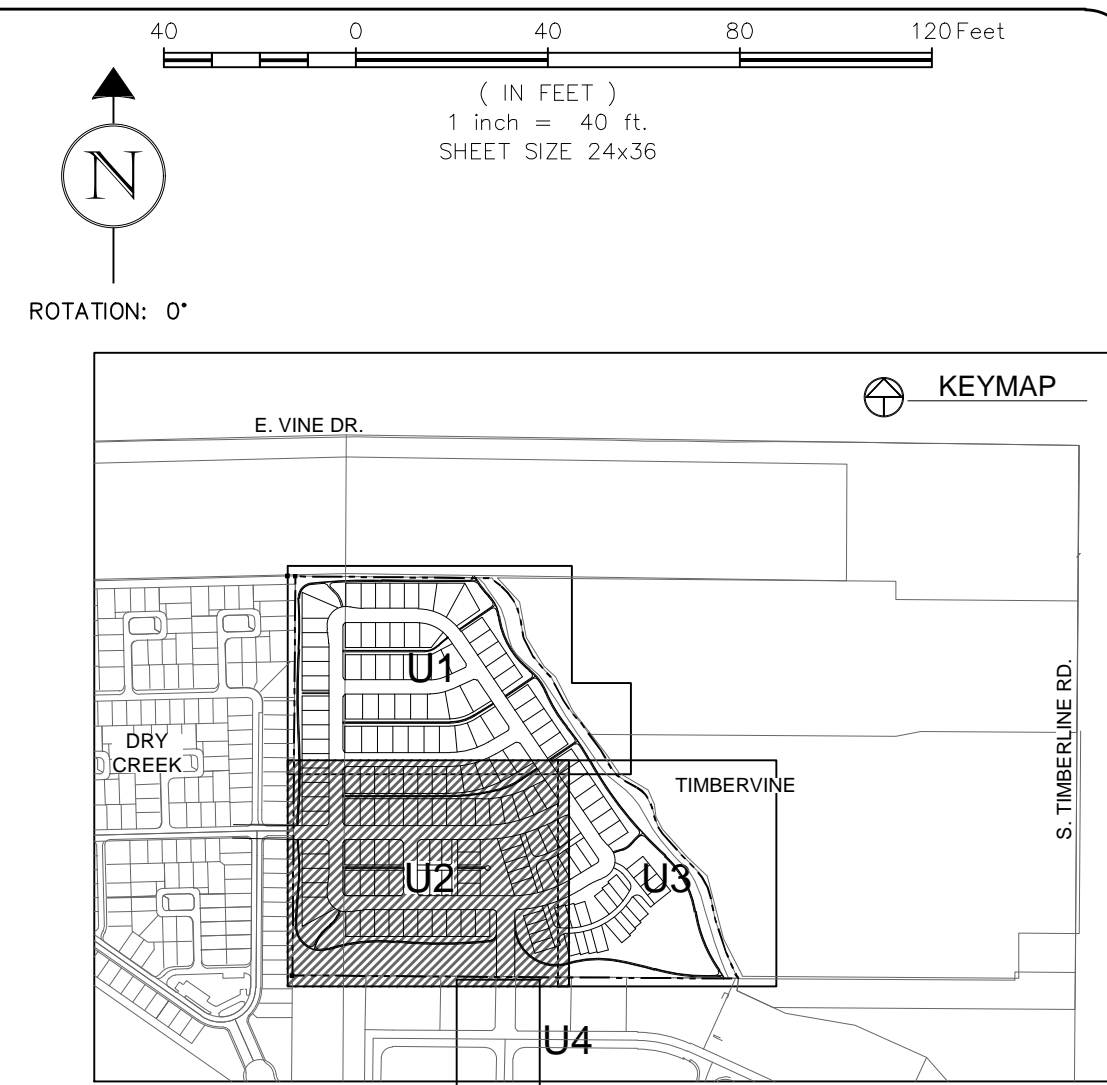
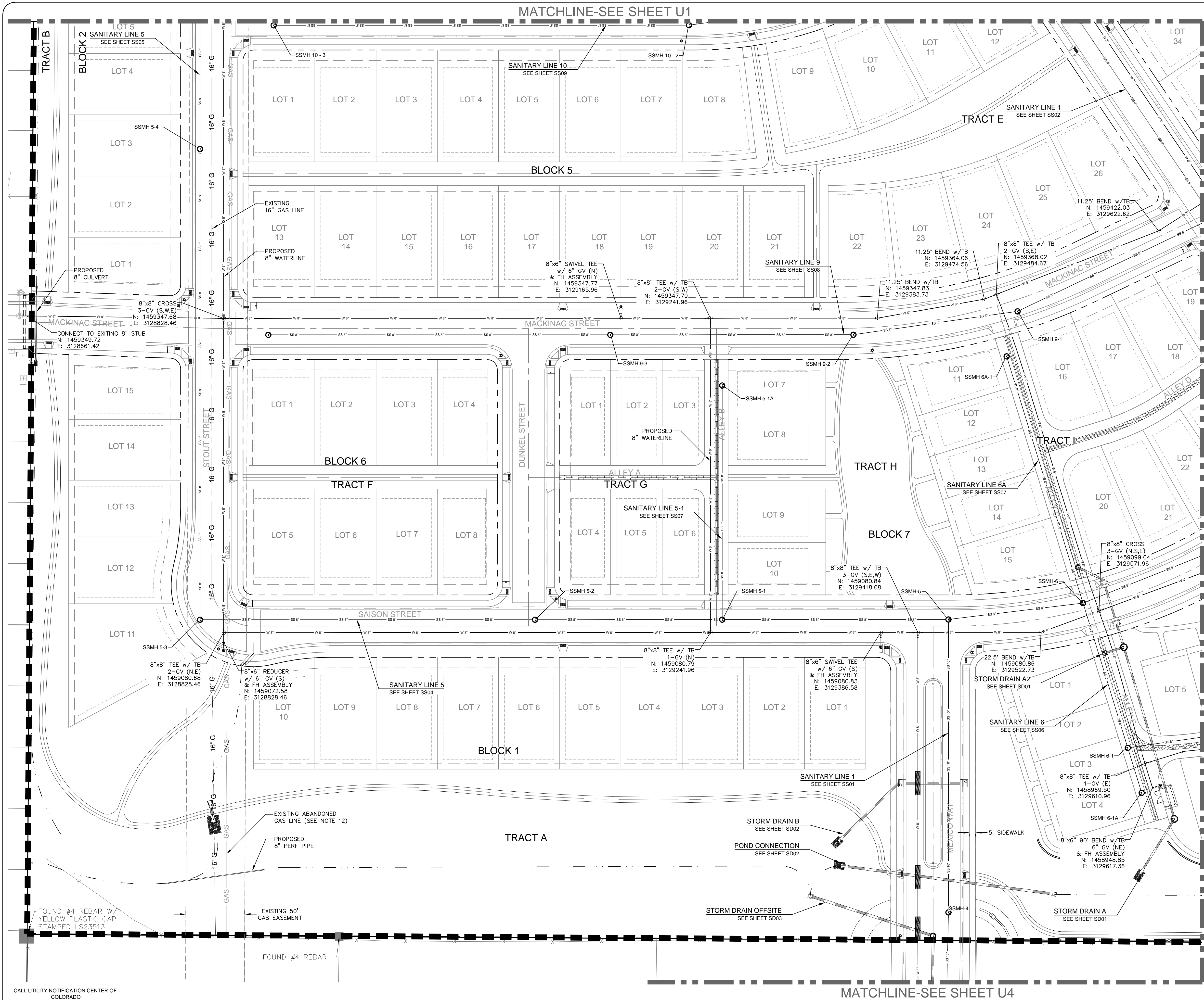
UTILITY PLAN

PROJECT #	DATE	DESIGNED BY	SCALE	DRAWN BY	REVIEWED BY
SPHL0001.01	JUNE 18, 2014	J. Prelog	1"=40'	R. Van Uffelen	N. Whitcomb

Sheet

U1

Of 41 Sheets



LEGEND:

PROPOSED 8" WATER MAIN	11.25' BEND w/ TB
EXISTING WATER MAIN	8"x8" TEE w/ TB
PROPOSED 8" SANITARY SEWER	2-GV (S.E)
PROPOSED 12" SANITARY SEWER	N: 1459368.02
EXISTING SANITARY SEWER	E: 3129484.67
PROPOSED SEWER SERVICE	8"x8" CROSS
PROPOSED RESIDENTIAL SERVICE	3-GV (N.S.E)
PROPOSED CURB STOP & METER PIT	N: 1459099.04
PROPOSED FIRE HYDRANT	E: 3129571.96
EXISTING FIRE HYDRANT	8"x8" TEE w/ TB
PROPOSED STORM SEWER	3-GV (S.E.W)
EXISTING STORM SEWER	N: 1459080.86
PROPOSED ELECTRIC	E: 3129522.73
EXISTING TELEPHONE	8"x6" SWIVEL TEE
EXISTING GAS	w/ 6" GV (S)
PROPOSED CURB & GUTTER	& FH ASSEMBLY
PROPERTY BOUNDARY	N: 1459080.83
PROPOSED RIGHT-OF-WAY	E: 3129386.58
PROPOSED LOTLINE	22.5' BEND w/ TB
EASEMENT LINE	N: 1459080.86
PROPOSED STORM INLET	E: 3129522.73
PROPOSED MANHOLE	8"x8" TEE w/ TB
PROPOSED WATER LOWERING	1-GV (N)

- NOTES:**
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

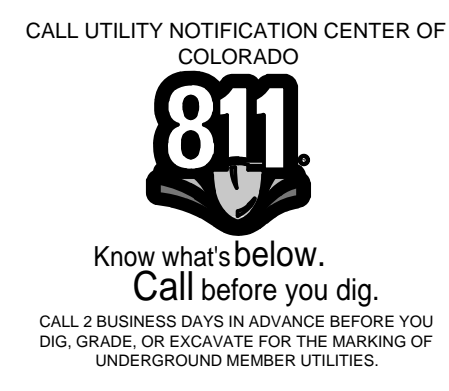
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

ELCO WATER DISTRICT
UTILITY PLAN APPROVAL

APPROVED:	MANAGER	DATE:
APPROVED:	SYSTEMS ENGINEER	DATE:

BOXELDER SANITATION DISTRICT
UTILITY PLAN REVIEW

REVIEWED BY:	GENERAL MANAGER	DATE:
REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS. PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.		



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06/18/14

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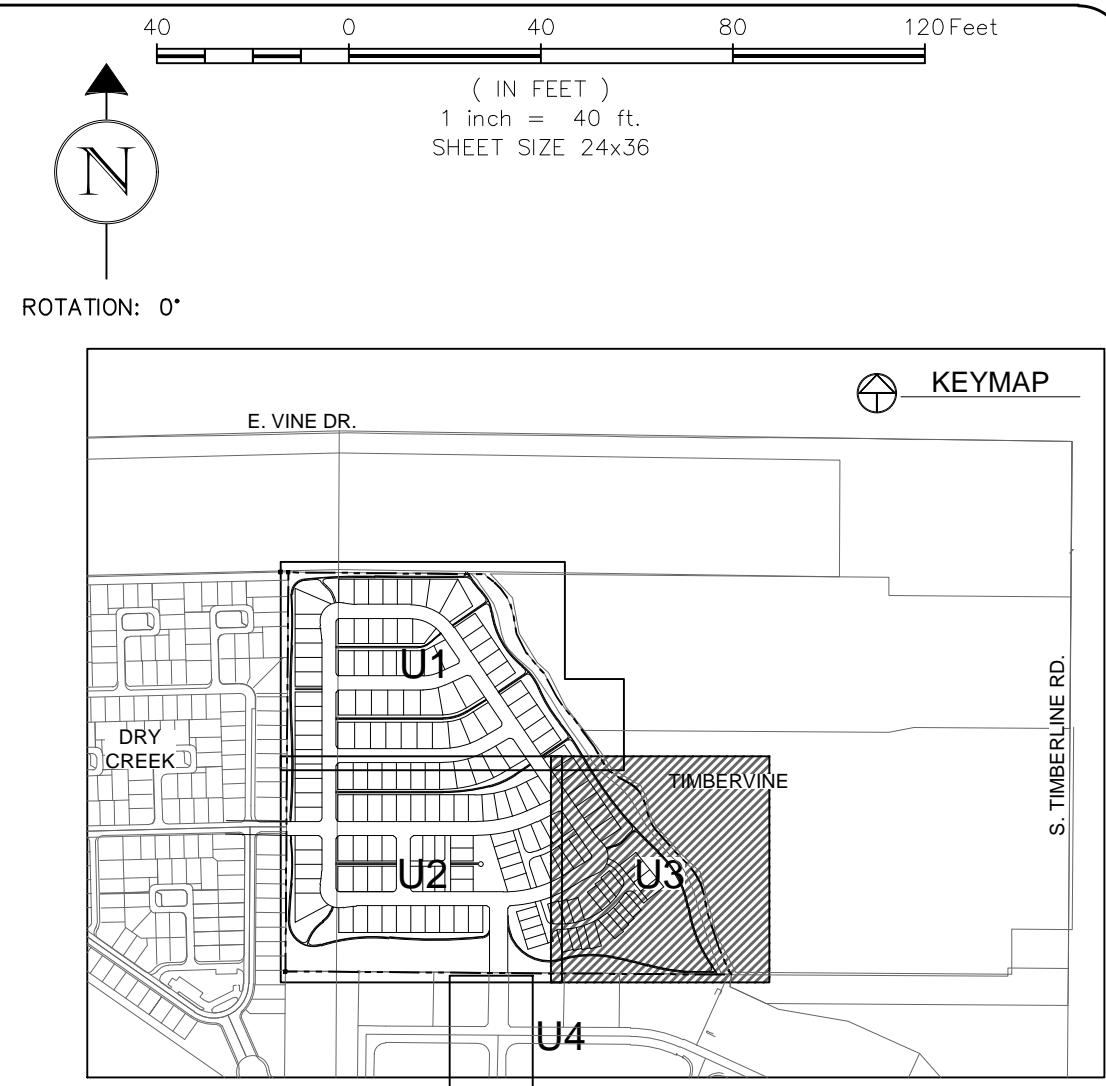
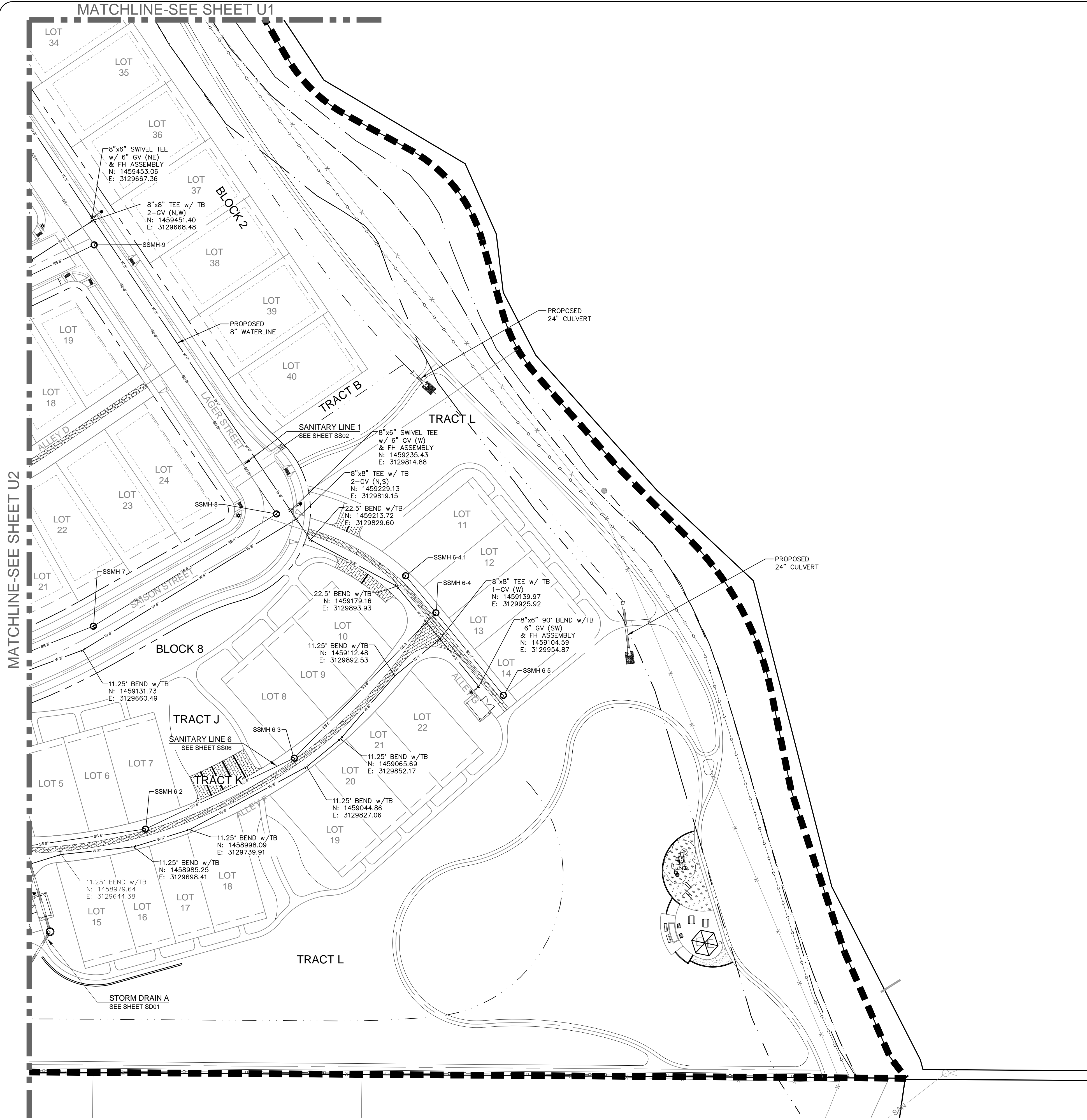
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TIMBERVINE

UTILITY PLAN

Sheet
U2
Of 41 Sheets



LEGEND:	
PROPOSED 8" WATER MAIN	W 8"
EXISTING WATER MAIN	W 8"
PROPOSED 8" SANITARY SEWER	W 8"
PROPOSED 12" SANITARY SEWER	W 12"
EXISTING SANITARY SEWER	W 12"
PROPOSED SEWER SERVICE	S
PROPOSED RESIDENTIAL SERVICE	RV
PROPOSED CURB STOP & METER PIT	CS
PROPOSED FIRE HYDRANT	FH
EXISTING FIRE HYDRANT	FH
PROPOSED STORM SEWER	ST
EXISTING STORM SEWER	ST
PROPOSED ELECTRIC	E
EXISTING TELEPHONE	T
EXISTING GAS	G
PROPOSED CURB & GUTTER	CG
PROPERTY BOUNDARY	---
PROPOSED RIGHT-OF-WAY	---
PROPOSED LOTLINE	---
EASEMENT LINE	---
PROPOSED STORM INLET	SI
PROPOSED MANHOLE	M
PROPOSED WATER LOWERING	WL

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ELCO WATER DISTRICT UTILITY PLAN APPROVAL	BOXELDER SANITATION DISTRICT UTILITY PLAN REVIEW
APPROVED: _____ DATE: _____ MANAGER	REVIEWED BY: _____ DATE: _____ GENERAL MANAGER
APPROVED: _____ DATE: _____ SYSTEMS ENGINEER	REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS. PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.

REVIEW SET
NOT FOR CONSTRUCTION
06/18/14

REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY

SUMMERPARK HOLDINGS, LLC.

Harford
COMPANYS

1218 WEST ASH STREET,
WINDSOR, CO 80550

Galloway
Planning, Architecture, Engineering

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Lowland, CO 80538
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PROJECT #: SPHL0001.01	DATE: JUNE 18, 2014	SCALE: 1"=40'	DESIGNED BY: J. Prelog	REVIEWED BY: R. Van Uffelen
DRAWN BY: N. Whitcomb				

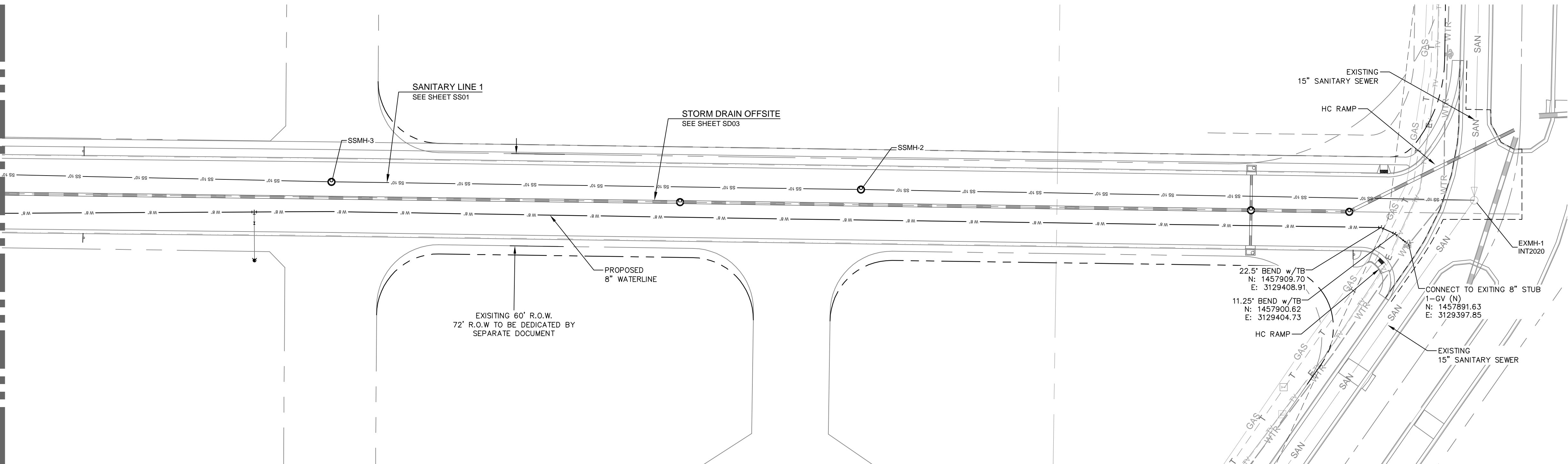
TIMBERVINE

UTILITY PLAN

Sheet
U3

Of 41 Sheets

MATCHLINE-SEE SHEET U2



CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

ELCO WATER DISTRICT
UTILITY PLAN APPROVAL

APPROVED: _____
DATE: _____

MANAGER

APPROVED: _____
DATE: _____

SYSTEMS ENGINEER

BOXELDER SANITATION DISTRICT
UTILITY PLAN REVIEW

REVIEWED BY: _____
DATE: _____

GENERAL MANAGER

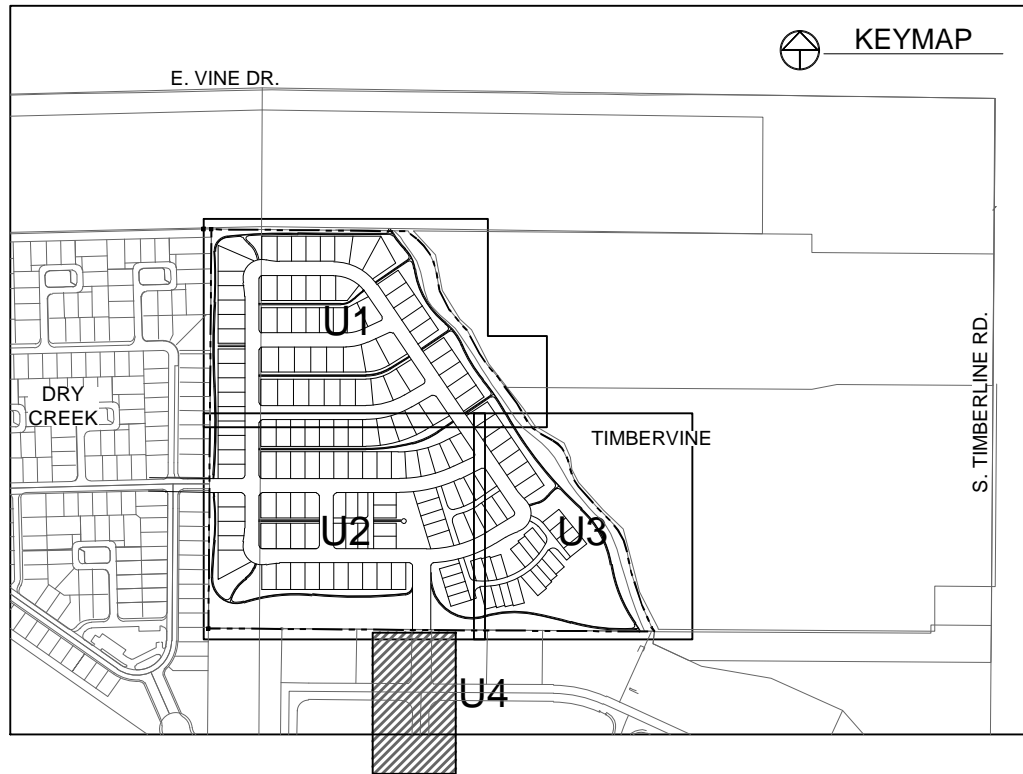
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PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.

40 0 40 80 120 Feet

(IN FEET)
1 inch = 40 ft.
SHEET SIZE: 24x36



ROTATION: 0°



LEGEND:

PROPOSED 8" WATER MAIN	W 8"
EXISTING WATER MAIN	W 8"
PROPOSED 8" SANITARY SEWER	W 8"
PROPOSED 12" SANITARY SEWER	W 12"
EXISTING SANITARY SEWER	W 12"
PROPOSED SEWER SERVICE	S
PROPOSED RESIDENTIAL SERVICE	WV
PROPOSED CURB STOP & METER PIT	CS
PROPOSED FIRE HYDRANT	FH
EXISTING FIRE HYDRANT	FH
PROPOSED STORM SEWER	ST
EXISTING STORM SEWER	ST
PROPOSED ELECTRIC	E
EXISTING TELEPHONE	T
EXISTING GAS	G
PROPOSED CURB & GUTTER	CG
PROPERTY BOUNDARY	PB
PROPOSED RIGHT-OF-WAY	R.O.W.
PROPOSED LOTLINE	LOT
EASEMENT LINE	EASE
PROPOSED STORM INLET	SI
PROPOSED MANHOLE	MH
PROPOSED WATER LOWERING	WL

NOTES:

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- WATER SERVICE PROVIDED BY EAST LARIMER COUNTY (ELCO) WATER DISTRICT. WATER CONSTRUCTION SHALL BE PER ELCO WATER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
- SEWER SERVICE PROVIDED BY BOXELDER SANITATION DISTRICT SEWER CONSTRUCTION SHALL BE PER BOXELDER SANITATION DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
- MINIMUM DEPTH OF COVER OVER WATR MAINS SHALL BE 4.5'. MAXIMUM COVER SHALL BE 5.5'.
- SANITARY SEWER SERVICES SHALL BE SDR-35 PVC AND WATER MAINS SHALL BE AWWA C-900 PVC.
- ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
- MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
- REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
- LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
- CONTRACTOR SHALL ADJUST EXISTING SANITARY SEWER MANHOLES AND SUBDRAINE CLEANOUTS WITHIN THE RIGHT-OF-WAY PER CITY STANDARDS. ALL MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO 1" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- COORDINATE ABANDONMENT OF EXISTING GAS PRIOR TO ANY CONSTRUCTION.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____
City Engineer

CHECKED BY: _____
Water & Wastewater Utility

CHECKED BY: _____
Stormwater Utility

CHECKED BY: _____
Parks & Recreation

CHECKED BY: _____
Traffic Engineer

CHECKED BY: _____
Environmental Planner

TIMBERVINE

UTILITY
PLAN

Sheet

U4

Of 41 Sheets

SUMMER PARK
HOLDINGS, LLC.



1218 WEST ASH STREET,
WINDSOR, CO 80550

Galloway

Planning, Architecture, Engineering

3760 E 15th Street, Suite 202
Lowland, CO 80538

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PROJECT #:
SPHLV0001.01

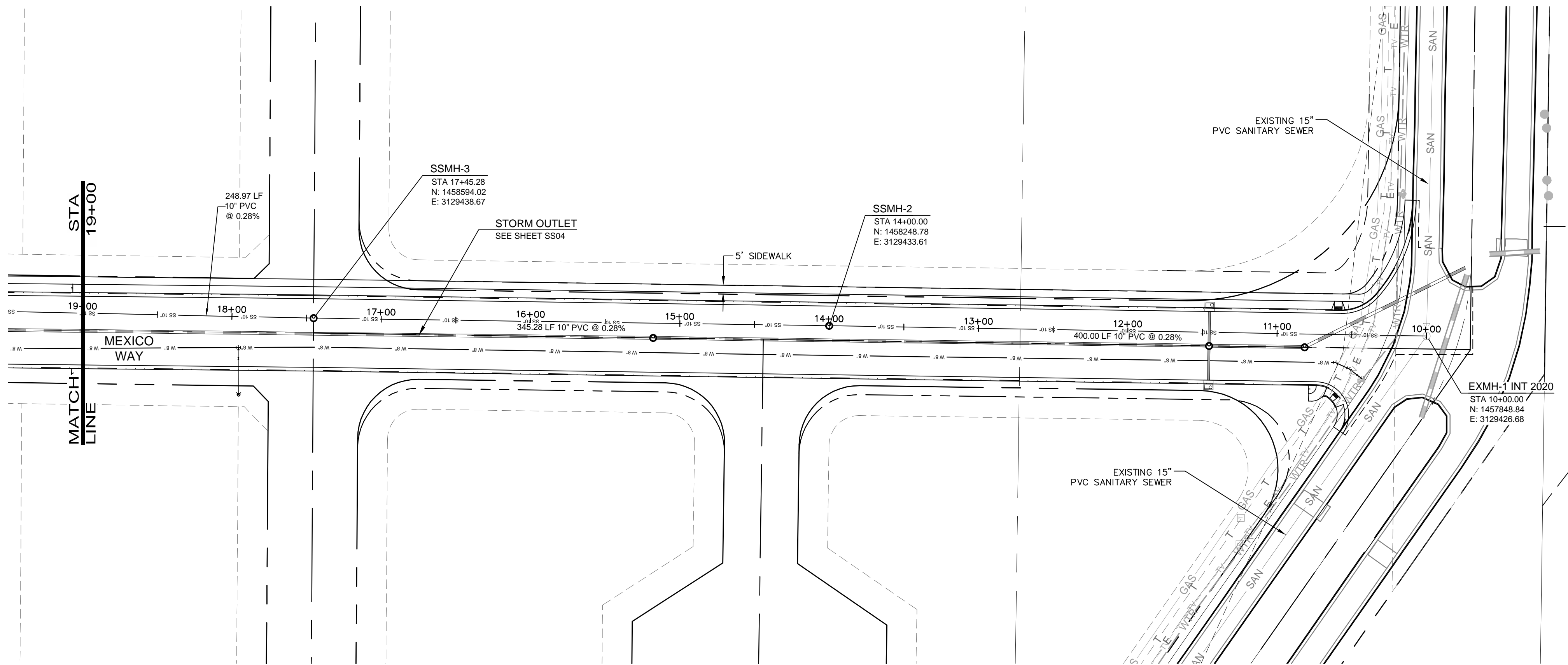
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JUNE 18, 2014

DESIGNED BY:
J. Prelog

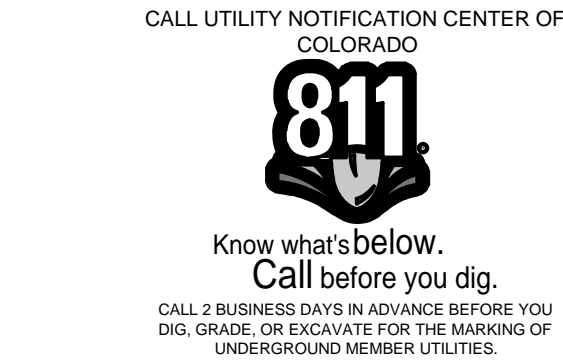
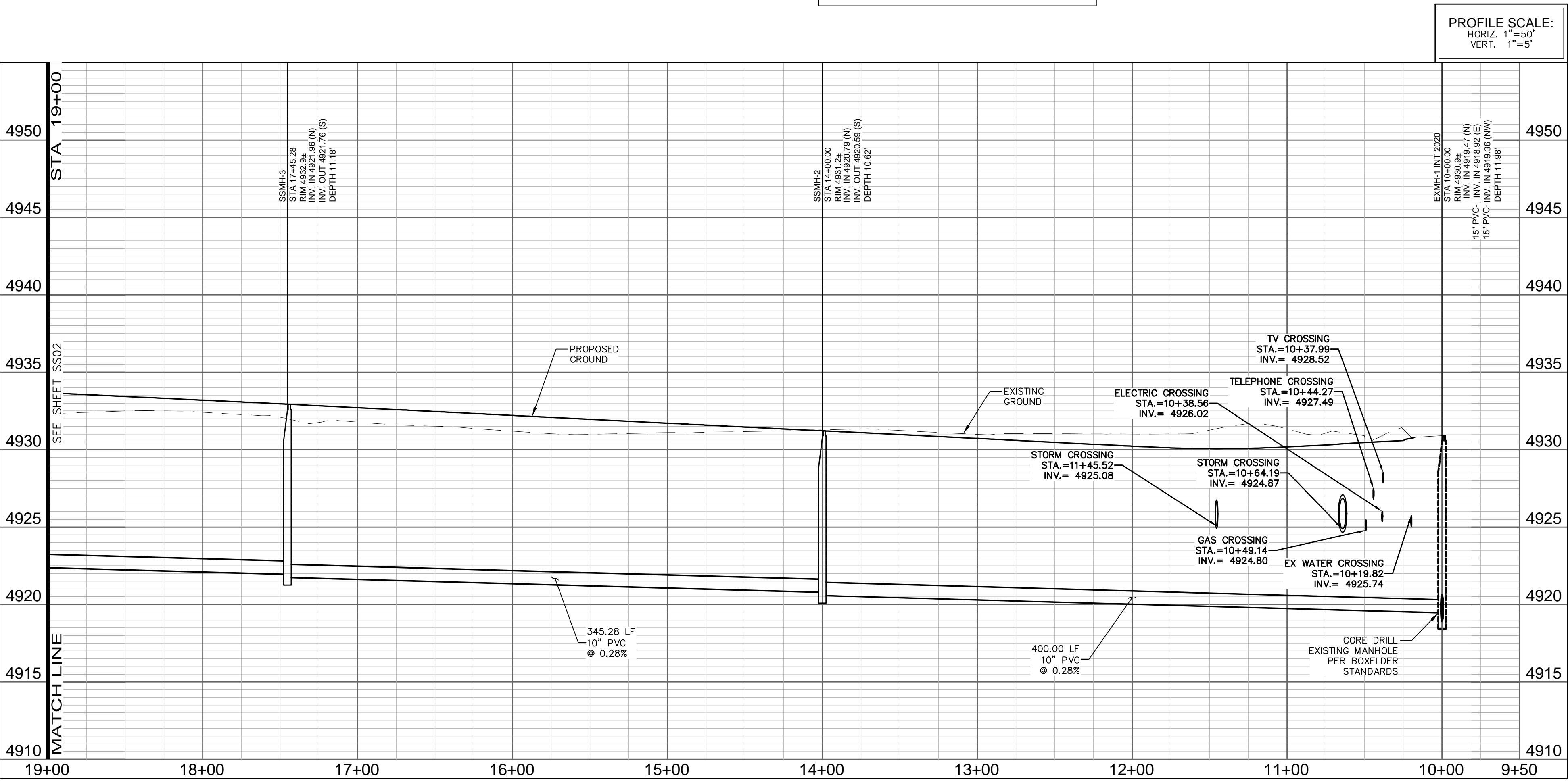
SCALE:
1"=40'

DRAWN BY:
N. Whitcomb

REVIEWED BY:
R. Van Uffelen



SANITARY SEWER LINE 1



BOXELDER SANITATION DISTRICT
UTILITY PLAN REVIEW

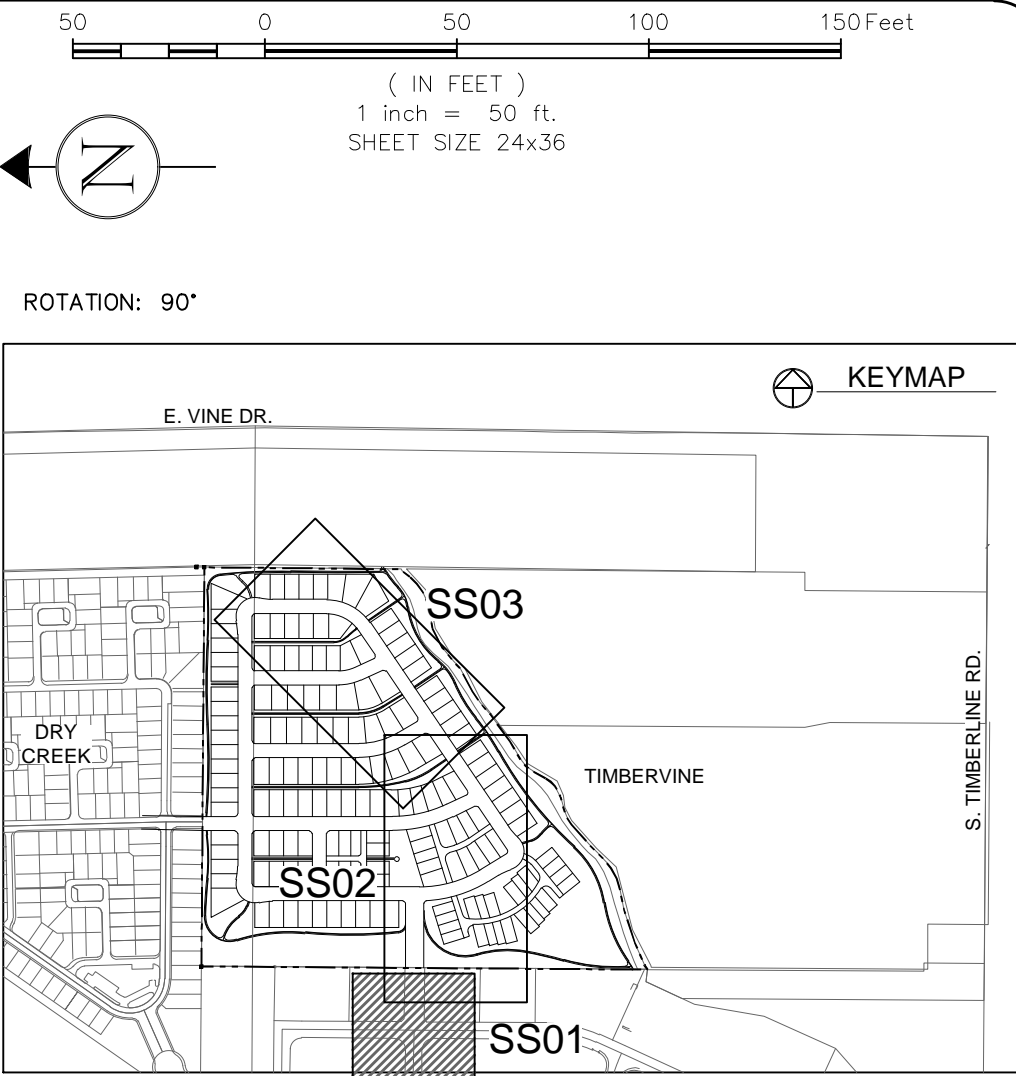
REVIEWED BY: _____
DATE: _____

REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS.
PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.

ELCO WATER DISTRICT
UTILITY PLAN APPROVAL

APPROVED: _____
DATE: _____

APPROVED: _____
DATE: _____



- LEGEND:
- PROPOSED WATER MAIN
 - EXISTING WATER MAIN
 - PROPOSED SANITARY SEWER
 - EXISTING SANITARY SEWER
 - PROPOSED SEWER SERVICE
 - PROPOSED RESIDENTIAL SERVICE
 - PROPOSED FIRE HYDRANT
 - PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - EXISTING GAS
 - PROPOSED ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING GAS
 - PROPOSED CURB & GUTTER
 - PROPERTY BOUNDARY
 - PROPOSED RIGHT-OF-WAY
 - PROPOSED LOTLINE
 - EASEMENT LINE
 - PROPOSED STORM INLET

- NOTES:
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ Date _____

CHECKED BY: _____ Date _____

CHECKED BY: _____ Date _____

CHECKED BY: _____ Date _____

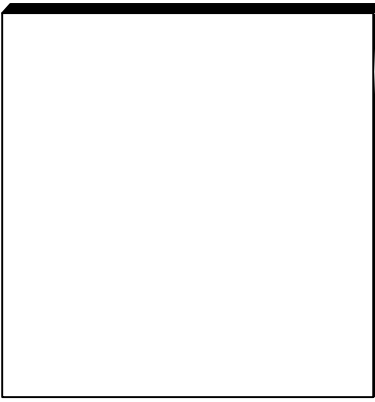
CHECKED BY: _____ Date _____

CHECKED BY: _____ Date _____

REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY
1	REVIEW SET	06/18/14			
2	NOT FOR CONSTRUCTION				

SUMMERPARK HOLDINGS, LLC.

1218 WEST ASH STREET,
WINDSOR, CO 80550

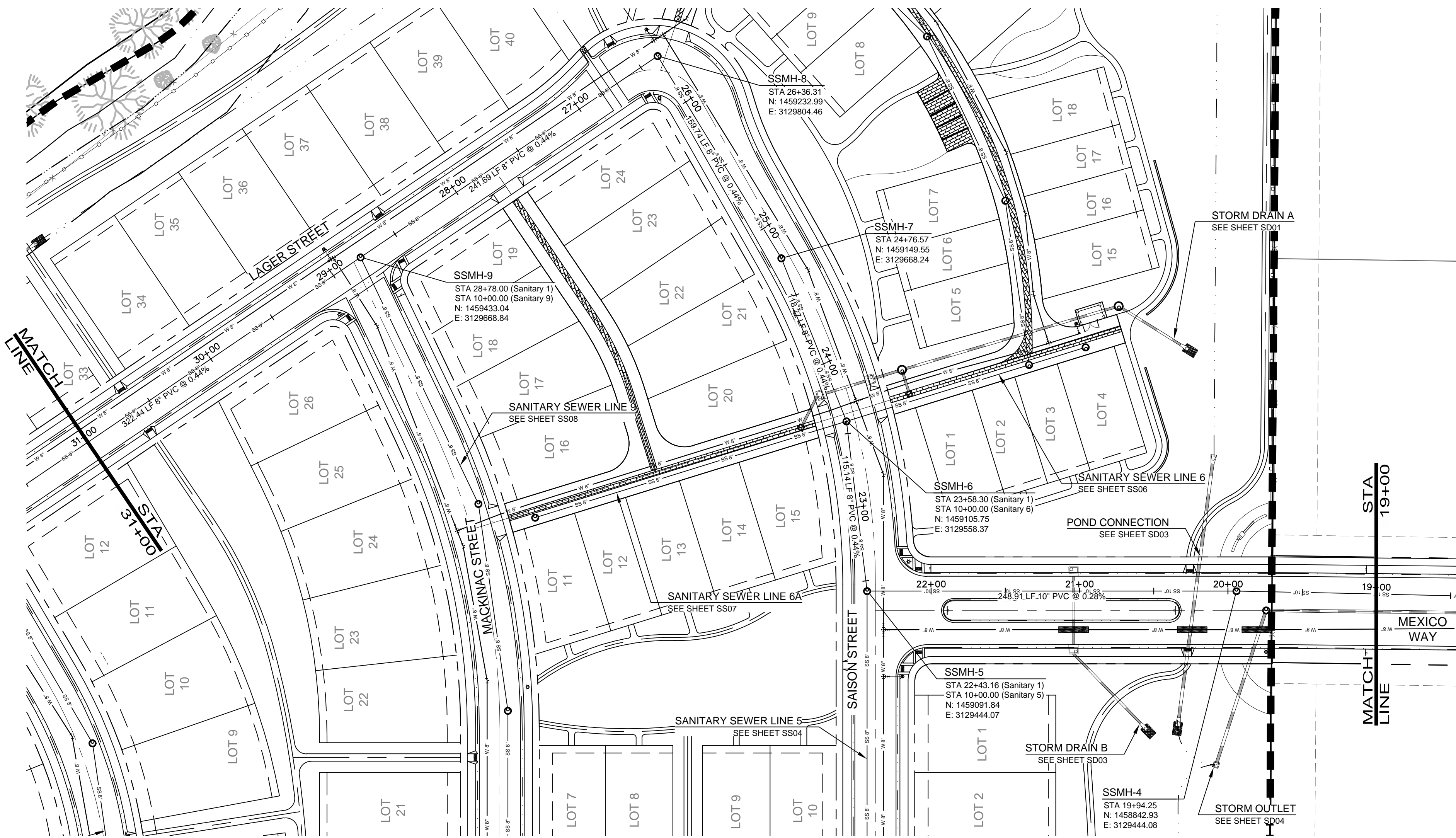


PROJECT #:	DATE:	DESIGNED BY:	SCALE:	DRAWN BY:	REVIEWED BY:
SPHLV0001.01	JUNE 18, 2014	A. Cronin	1"=50'	A. Cronin	R. Van Uffelen

TIMBERVINE

SANITARY SEWER LINE 1

PLAN AND PROFILE



BOXELDER SANITATION DISTRICT
UTILITY PLAN REVIEW

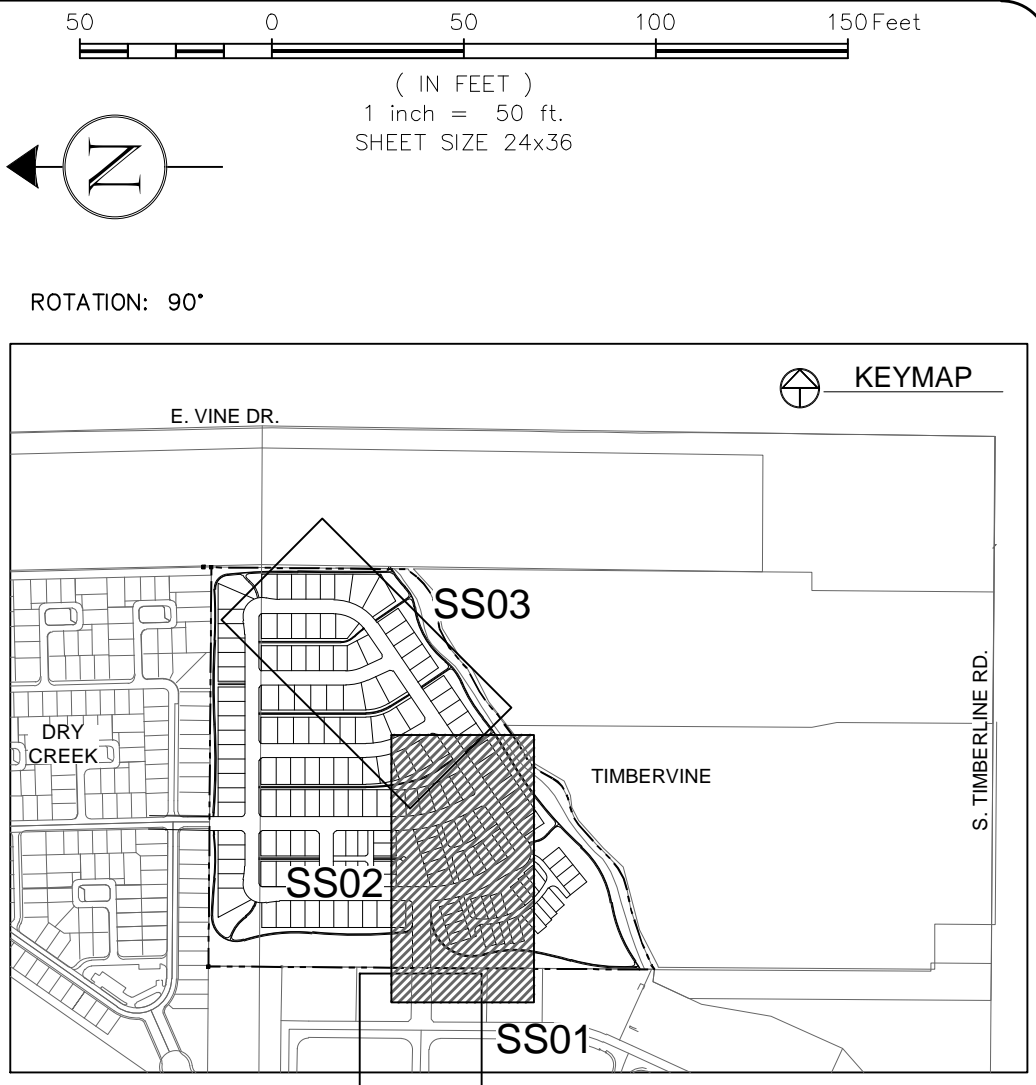
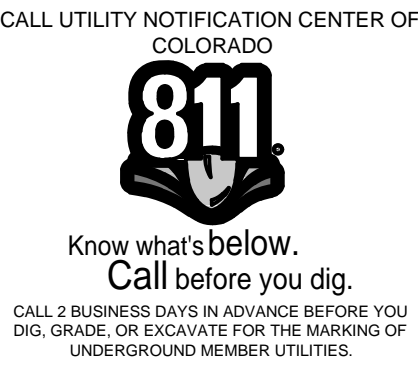
REVIEWED BY: _____
DATE: _____
GENERAL MANAGER

REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS.
PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND
COMPLETENESS.

ELCO WATER DISTRICT
UTILITY PLAN APPROVAL

APPROVED: _____
DATE: _____
MANAGER

APPROVED: _____
DATE: _____
SYSTEMS ENGINEER

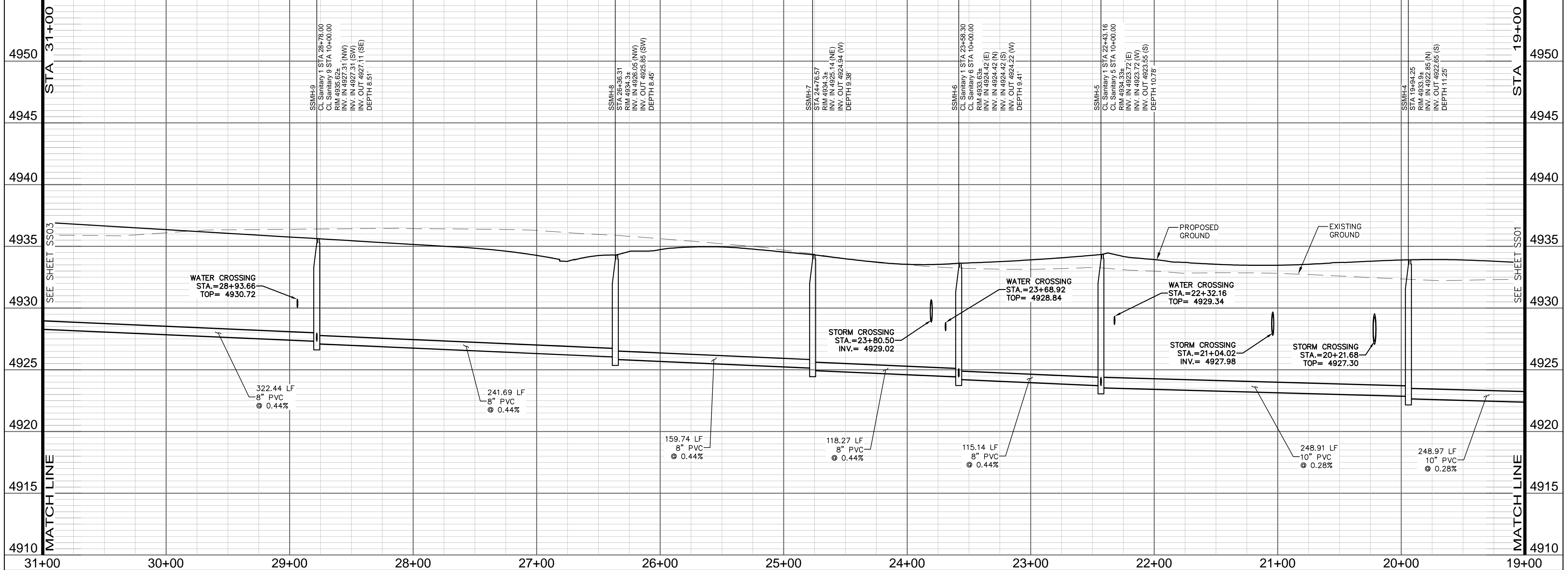


LEGEND:

PROPOSED WATER MAIN	W 8"
EXISTING WATER MAIN	W
PROPOSED SANITARY SEWER	SS 8"
EXISTING SANITARY SEWER	SS
PROPOSED SEWER SERVICE	S
PROPOSED RESIDENTIAL SERVICE	M
PROPOSED FIRE HYDRANT	H
PROPOSED STORM SEWER	ST
EXISTING STORM SEWER	ST
EXISTING GAS	G 16" G
PROPOSED ELECTRIC	E
EXISTING TELEPHONE	T
EXISTING GAS	G
PROPOSED CURB & GUTTER	C
PROPERTY BOUNDARY	P
PROPOSED RIGHT-OF-WAY	R
PROPOSED LOTLINE	L
EASEMENT LINE	E
PROPOSED STORM INLET	I

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PROFILE SCALE:
HORIZ. 1"=50'
VERT. 1"=5'



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ Date _____
City Engineer

CHECKED BY: _____ Date _____
Water & Wastewater Utility

CHECKED BY: _____ Date _____
Stormwater Utility

CHECKED BY: _____ Date _____
Parks & Recreation

CHECKED BY: _____ Date _____
Traffic Engineer

CHECKED BY: _____ Date _____
Environmental Planner

REVIEW SET
NOT FOR CONSTRUCTION
06/18/14

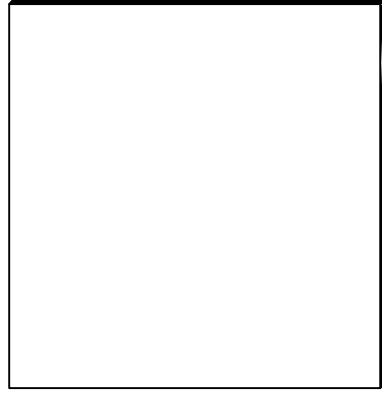
REV	REVISION DESCRIPTION	DATE	CHANGED BY	APPROVED BY

SUMMERPARK HOLDINGS, LLC.

HARTFORD
COMPANIES

1218 WEST ASH STREET,
LOVELAND, CO 80538
303.770.3636
WWW.HARTFORDCOMPANIES.COM

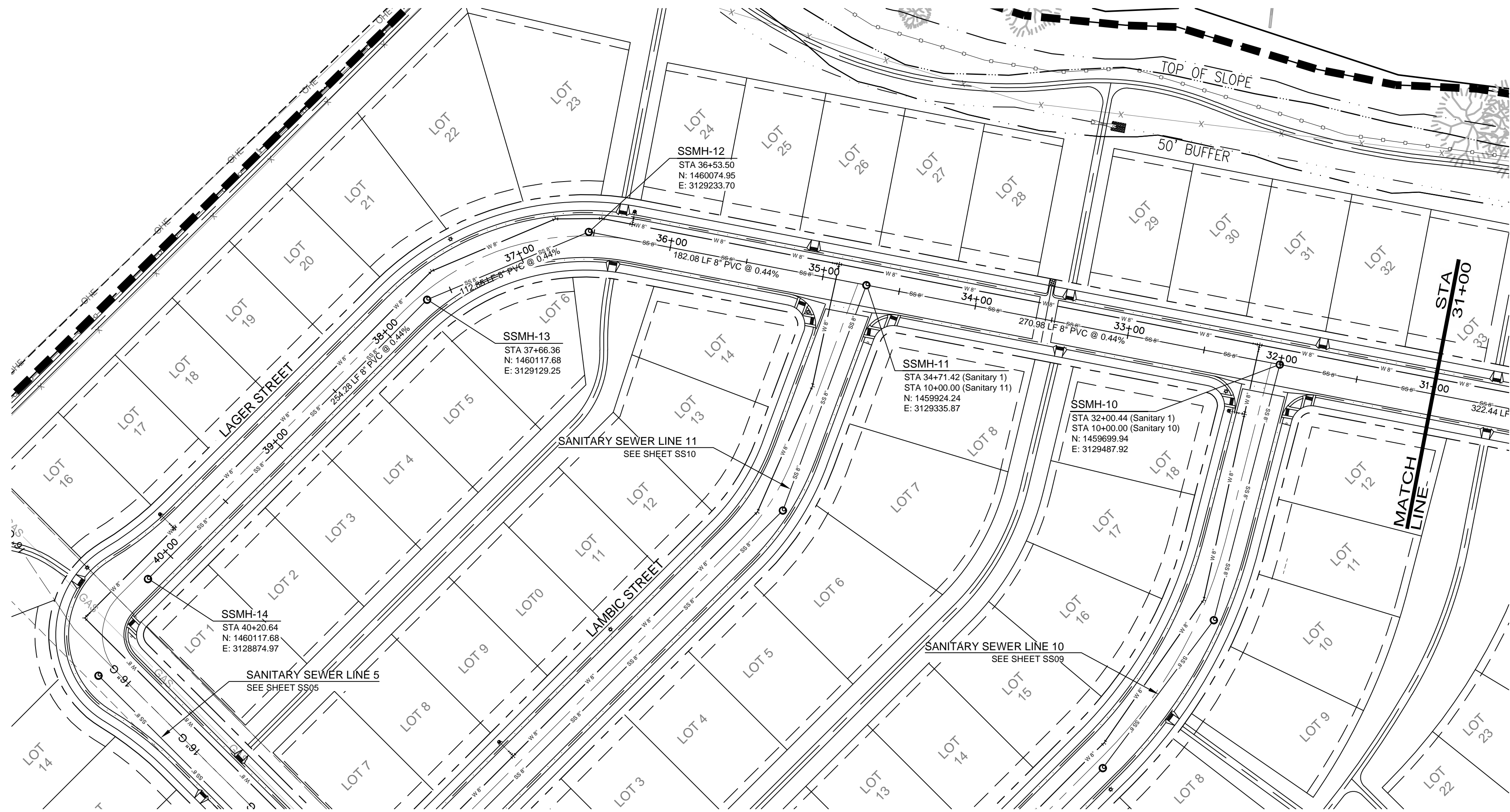
WINDSOR, CO 80550



TIMBERVINE

SANITARY SEWER LINE 1
PLAN AND PROFILE

PROJECT #:	DATE:
SPHLV0001.01	JUNE 18, 2014
DESIGNED BY:	SCALE:
J. Prelog	1"=50'
DRAWN BY:	REVIEWED BY:
N. Whitcomb	R. Van Uffelen



BOXELDER SANITATION DISTRICT
UTILITY PLAN REVIEW

REVIEWED BY: _____
GENERAL MANAGER

DATE: _____

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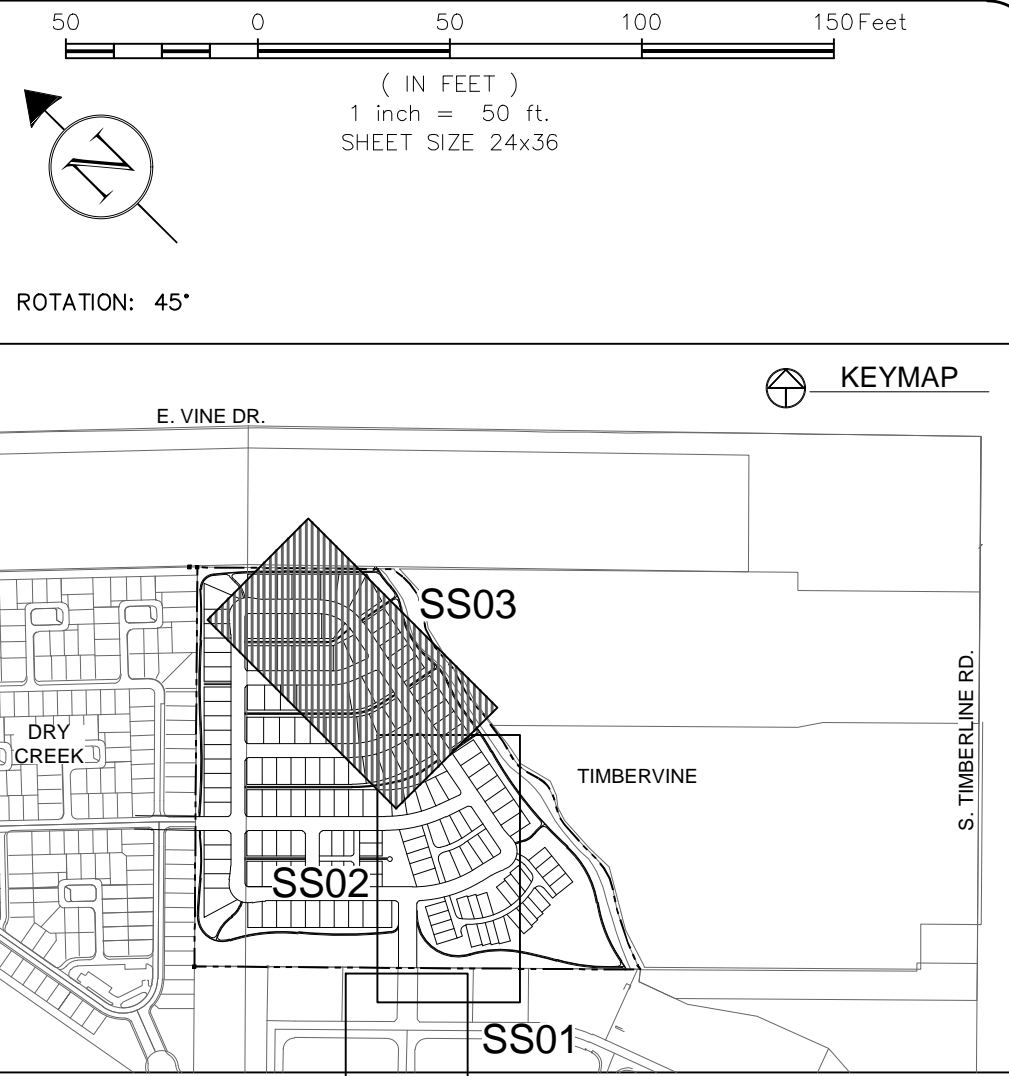
ELCO WATER DISTRICT
UTILITY PLAN APPROVAL

APPROVED: _____
MANAGER

DATE: _____

APPROVED: _____
SYSTEMS ENGINEER

DATE: _____



LEGEND:	
PROPOSED WATER MAIN	W 8"
EXISTING WATER MAIN	W
PROPOSED SANITARY SEWER	SS 8"
EXISTING SANITARY SEWER	SS
PROPOSED SEWER SERVICE	S
PROPOSED RESIDENTIAL SERVICE	M
PROPOSED FIRE HYDRANT	H
PROPOSED STORM SEWER	ST
EXISTING STORM SEWER	ST
EXISTING GAS	16" G
PROPOSED ELECTRIC	E
EXISTING TELEPHONE	T
EXISTING GAS	G
PROPOSED CURB & GUTTER	C
PROPERTY BOUNDARY	P
PROPOSED RIGHT-OF-WAY	R
PROPOSED LOTLINE	L
EASEMENT LINE	E
PROPOSED STORM INLET	I

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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____
City Engineer

DATE: _____

CHECKED BY: _____
Water & Wastewater Utility

DATE: _____

CHECKED BY: _____
Stormwater Utility

DATE: _____

CHECKED BY: _____
Parks & Recreation

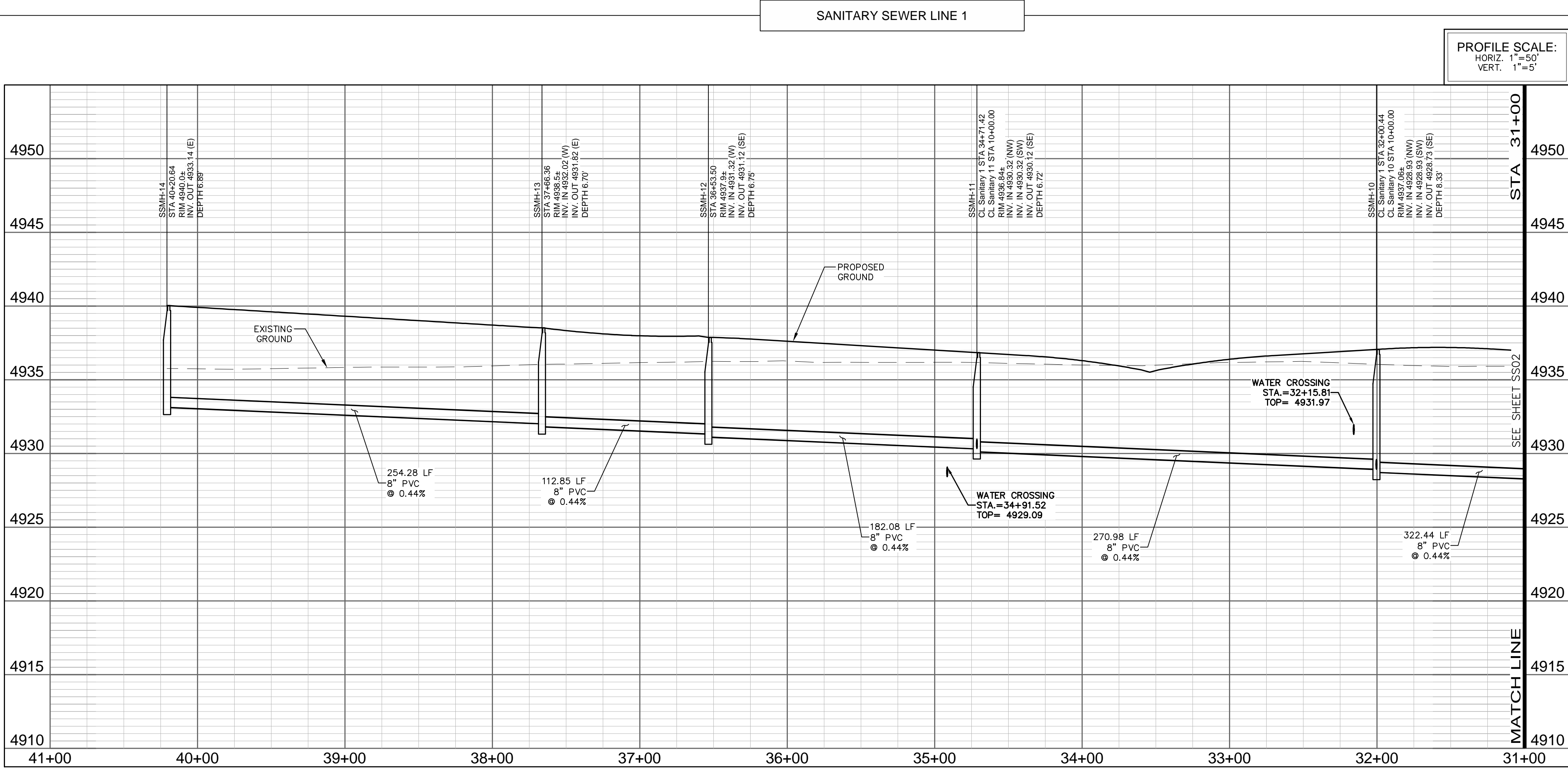
DATE: _____

CHECKED BY: _____
Traffic Engineer

DATE: _____

CHECKED BY: _____
Environmental Planner

DATE: _____



REV	DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY
1	REVISION	06/18/14			

SUMMERPARK HOLDINGS, LLC.

1218 WEST ASH STREET,
LOWLAND, CO 80538
303.770.3636
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Galloway

Planning, Architecture, Engineering

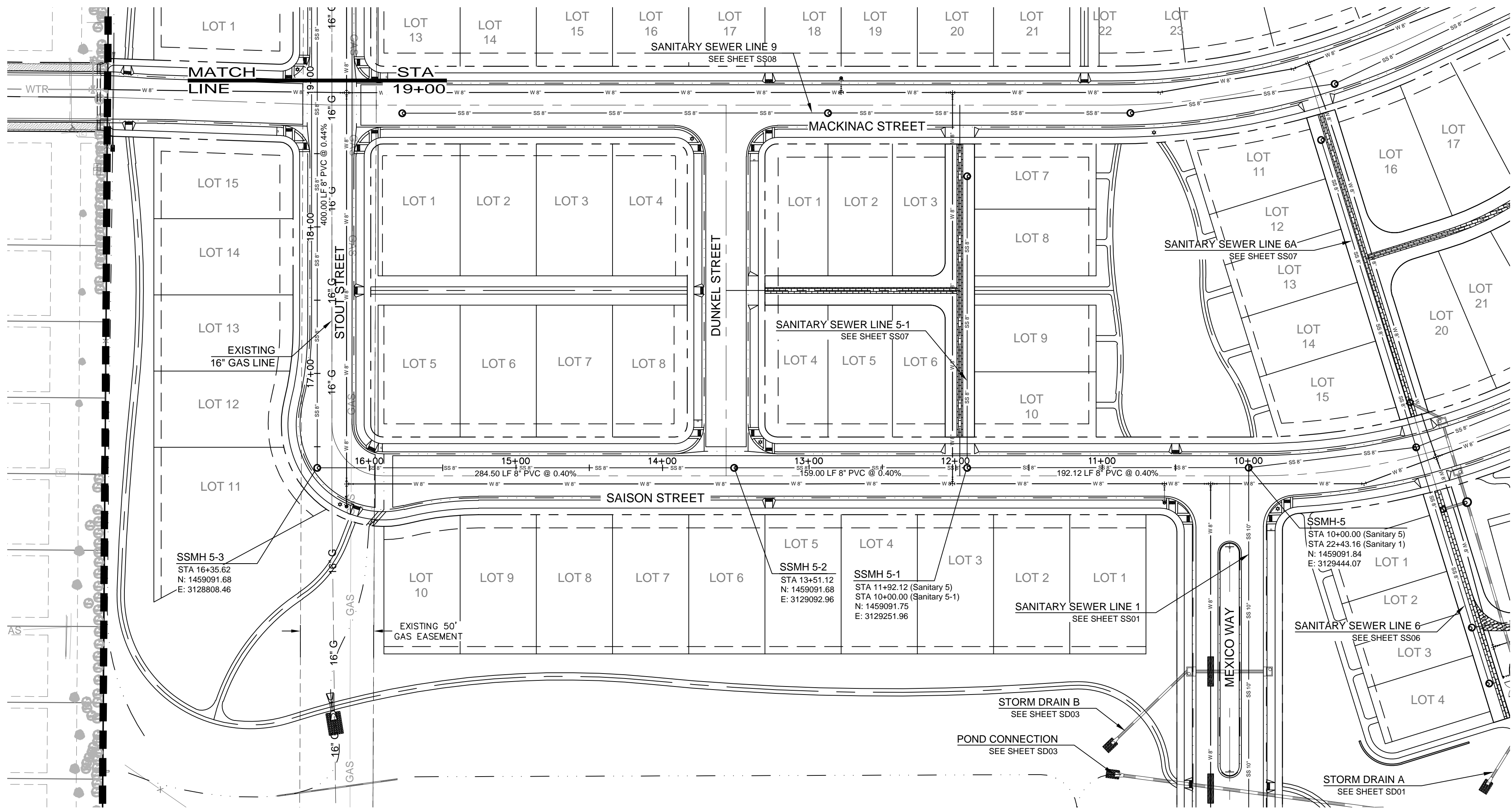
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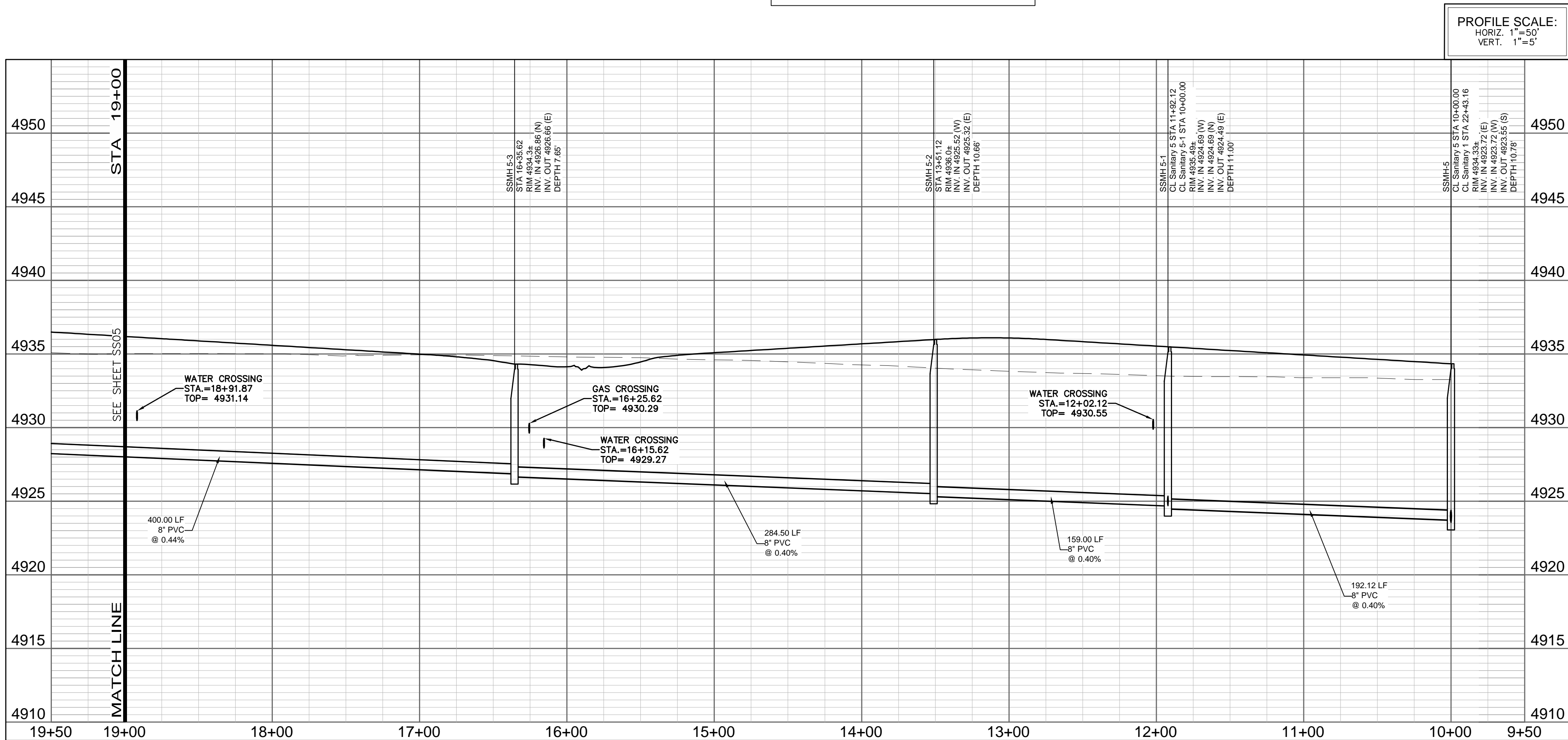
PROJECT #:	DATE:	DESIGNED BY:	SCALE:
SPHLV0001.01	JUNE 18, 2014	J. Prelog	1"=50'
DRAWN BY:	REVIEWED BY:		
N. Whitcomb	R. Van Uffelen		

TIMBERVINE

SANITARY SEWER LINE 1
PLAN AND PROFILE



SANITARY SEWER LINE 5



CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

BOXELDER SANITATION DISTRICT
UTILITY PLAN REVIEW

REVIEWED BY: _____

GENERAL MANAGER

DATE: _____

REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS.
PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.

ELCO WATER DISTRICT
UTILITY PLAN APPROVAL

APPROVED: _____

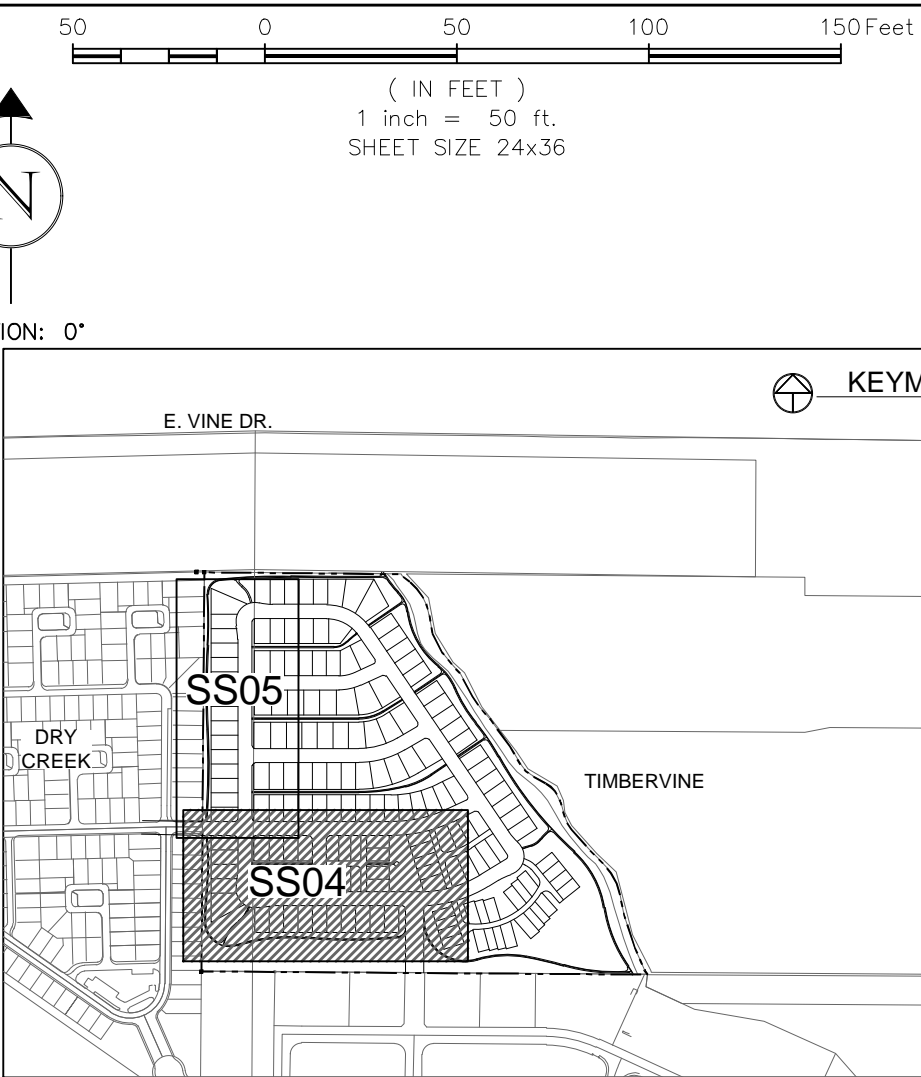
MANAGER

DATE: _____

APPROVED: _____

SYSTEMS ENGINEER

DATE: _____



LEGEND:

- PROPOSED WATER MAIN
EXISTING WATER MAIN
PROPOSED SANITARY SEWER
EXISTING SANITARY SEWER
PROPOSED SEWER SERVICE
PROPOSED RESIDENTIAL SERVICE
PROPOSED FIRE HYDRANT
PROPOSED STORM SEWER
EXISTING STORM SEWER
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ Date _____
City Engineer
CHECKED BY: _____ Date _____
Water & Wastewater Utility
CHECKED BY: _____ Date _____
Stormwater Utility
CHECKED BY: _____ Date _____
Parks & Recreation
CHECKED BY: _____ Date _____
Traffic Engineer
CHECKED BY: _____ Date _____
Environmental Planner

REV	DESCRIPTION	DATE	CHANGED BY	APPROVED BY
1	REVISION SET	06/18/14		
2	NOT FOR CONSTRUCTION			

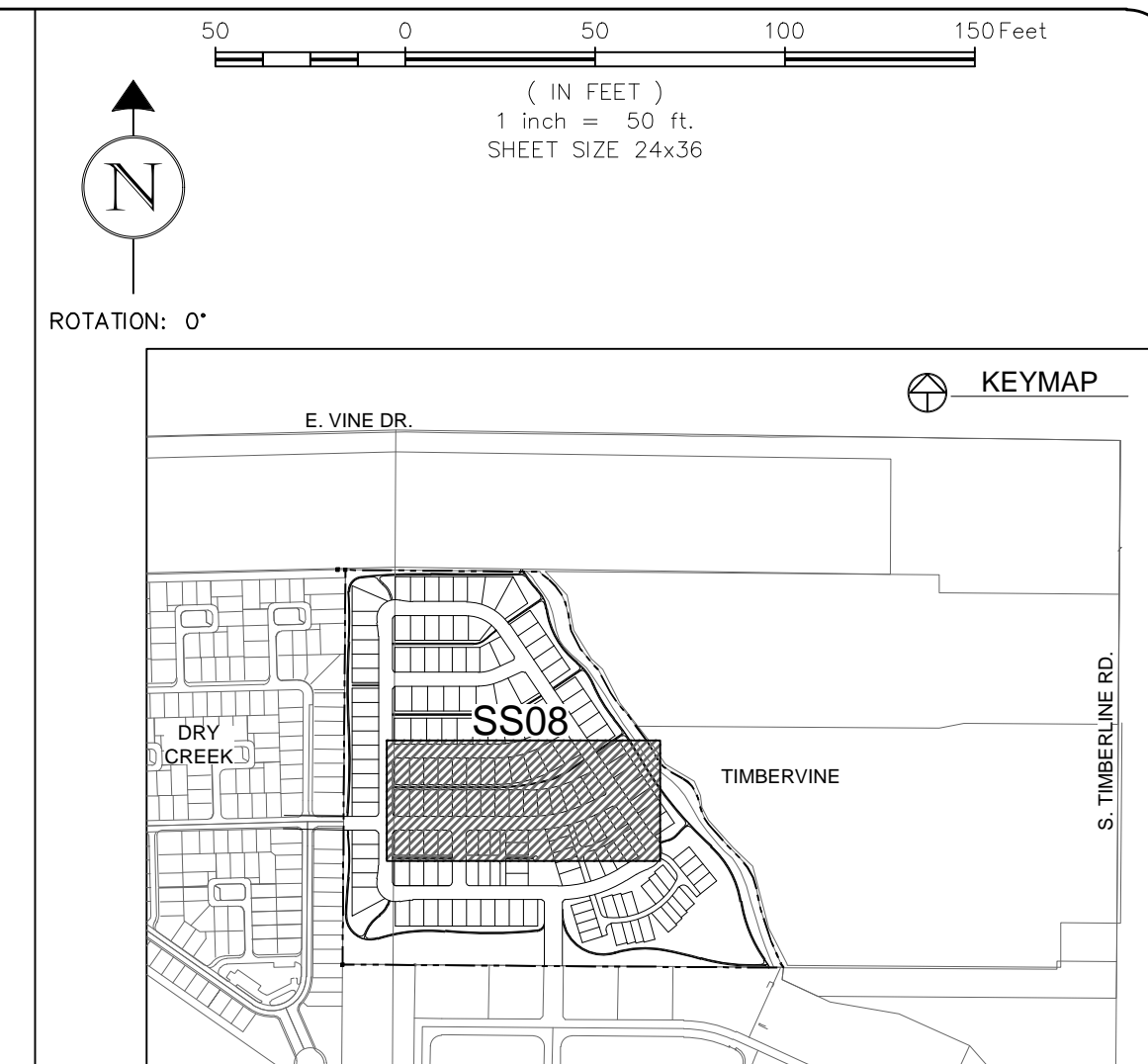
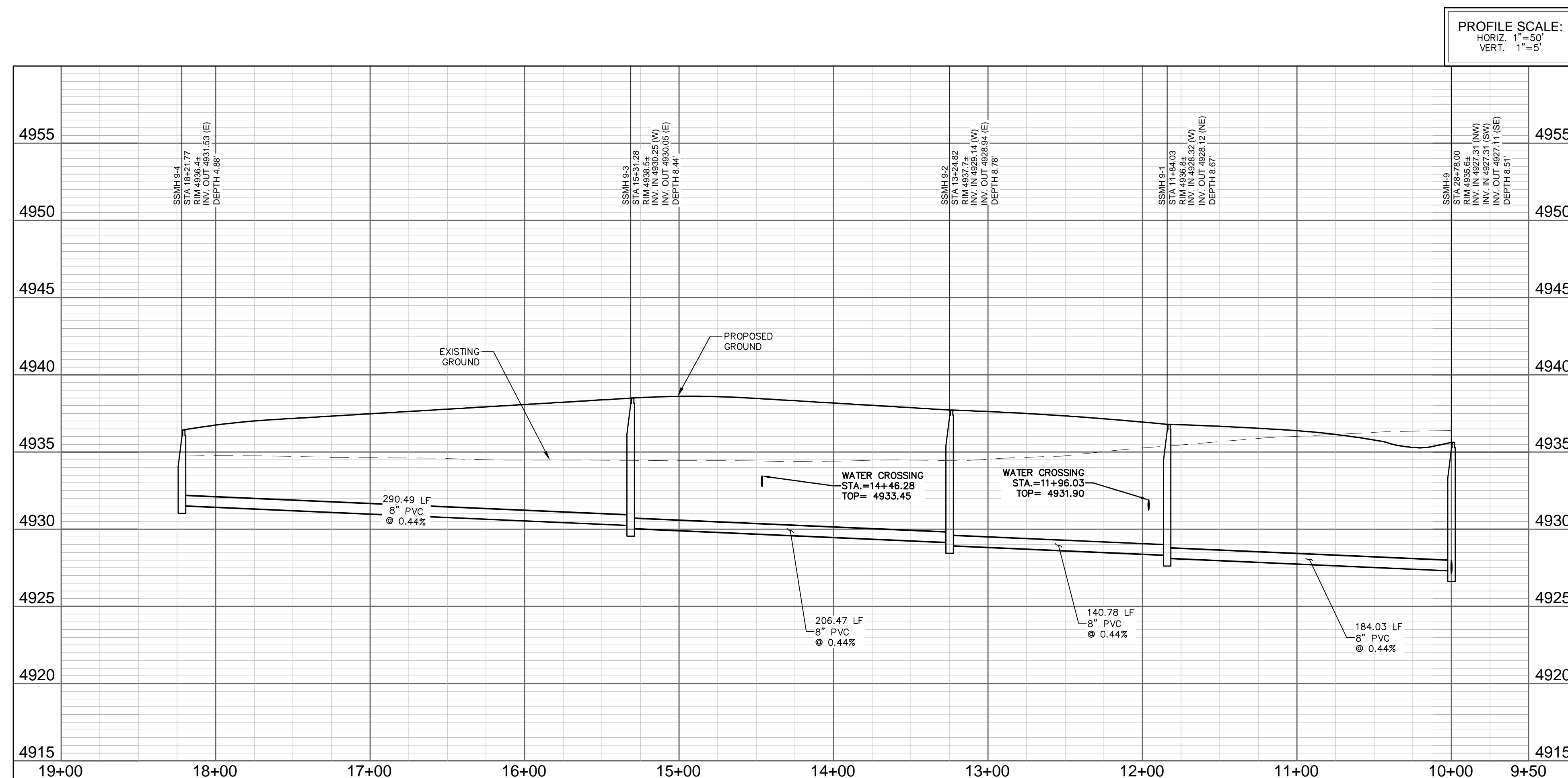
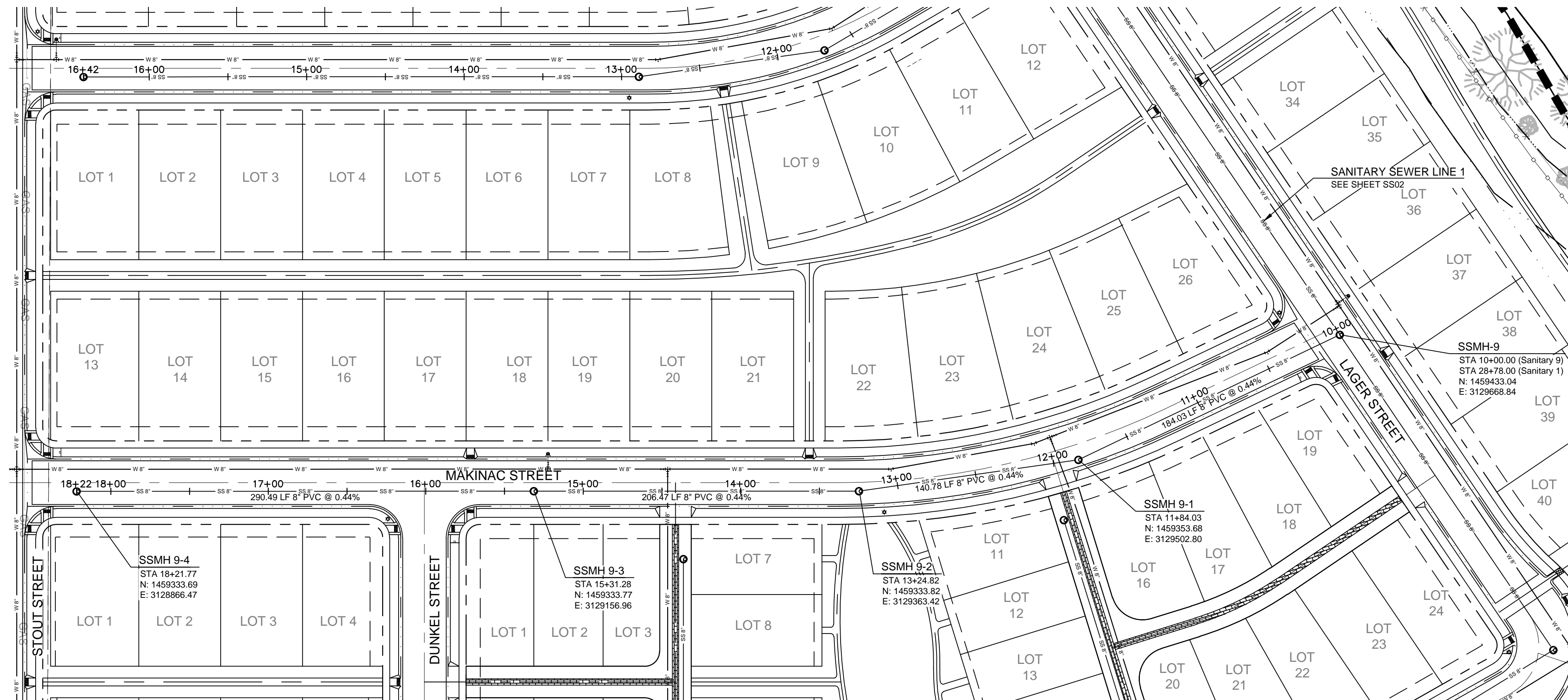
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PROJECT #:	DATE:	SCALE:
SPHL0001.01	JUNE 18, 2014	1"=50'
DESIGNED BY:	REVIEWED BY:	
J. Prelog	R. Van Uffelen	
DRAWN BY:		
N. Whitcomb		

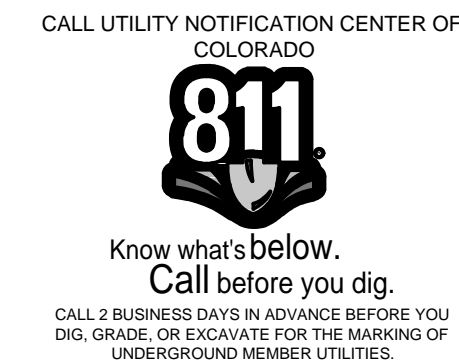
TIMBERVINE
SANITARY SEWER LINE 5
PLAN AND PROFILE

Sheet
SS04
Of 41 Sheets



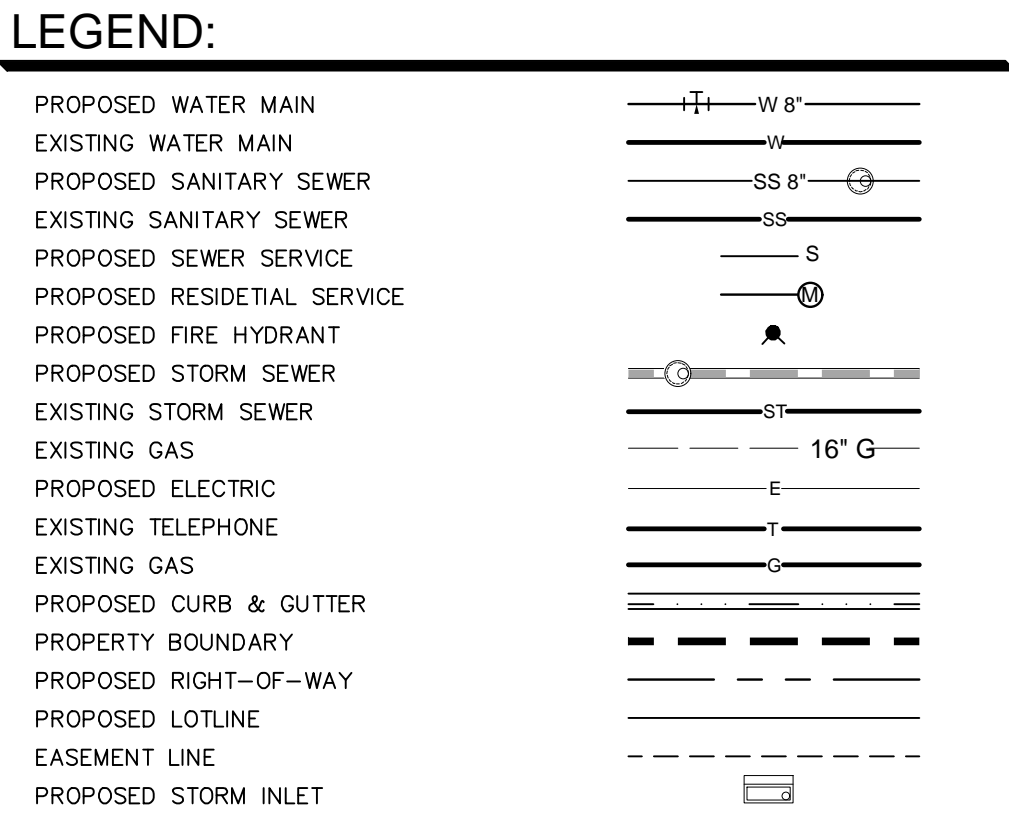
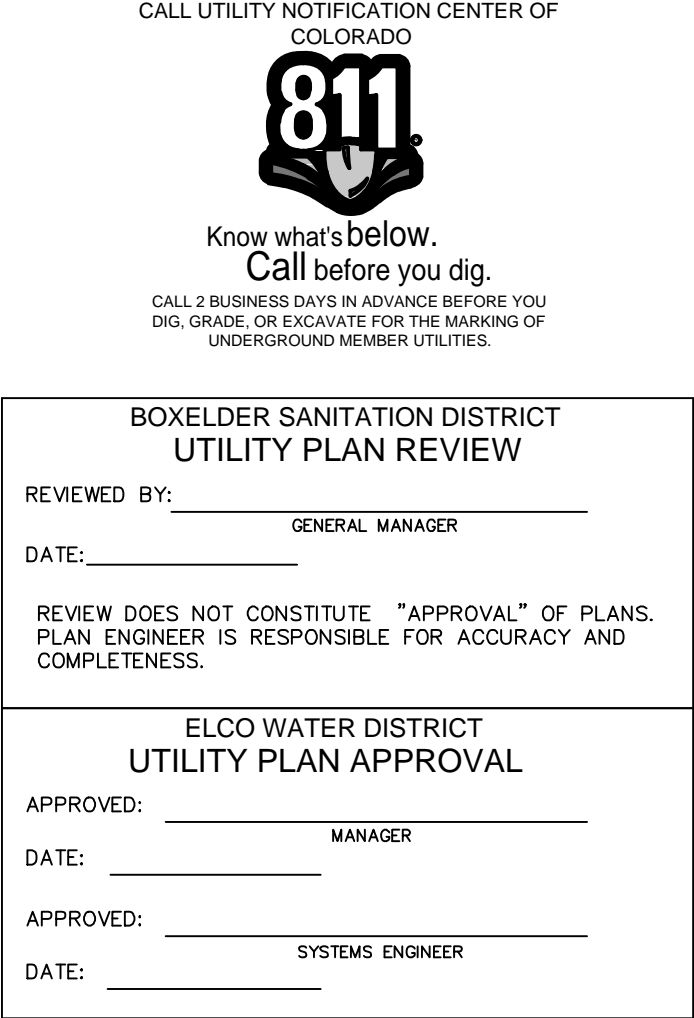
- LEGEND:

- NOTES:



BOXELDER SANITATION DISTRICT UTILITY PLAN REVIEW	
REVIEWED BY: _____	GENERAL MANAGER
DATE: _____	
REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS. PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.	
ELCO WATER DISTRICT UTILITY PLAN APPROVAL	
APPROVED: _____	MANAGER
DATE: _____	
APPROVED: _____	
DATE: _____	SYSTEMS ENGINEER

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY:	_____	_____
	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date




- | | | |
|--|----------------------------|------|
| <h2 style="margin: 0;">City of Fort Collins, Colorado</h2> <h3 style="margin: 0;">UTILITY PLAN APPROVAL</h3> | | |
| APPROVED: | City Engineer | Date |
| CHECKED BY: | Water & Wastewater Utility | Date |
| CHECKED BY: | Stormwater Utility | Date |
| CHECKED BY: | Parks & Recreation | Date |
| CHECKED BY: | Traffic Engineer | Date |
| CHECKED BY: | Environmental Planner | Date |

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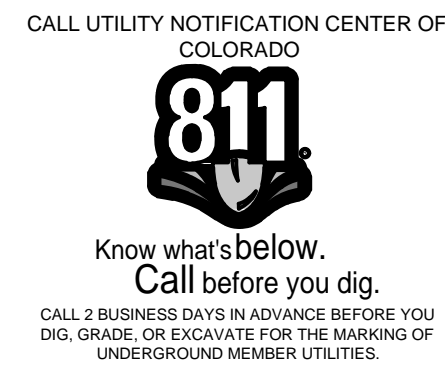
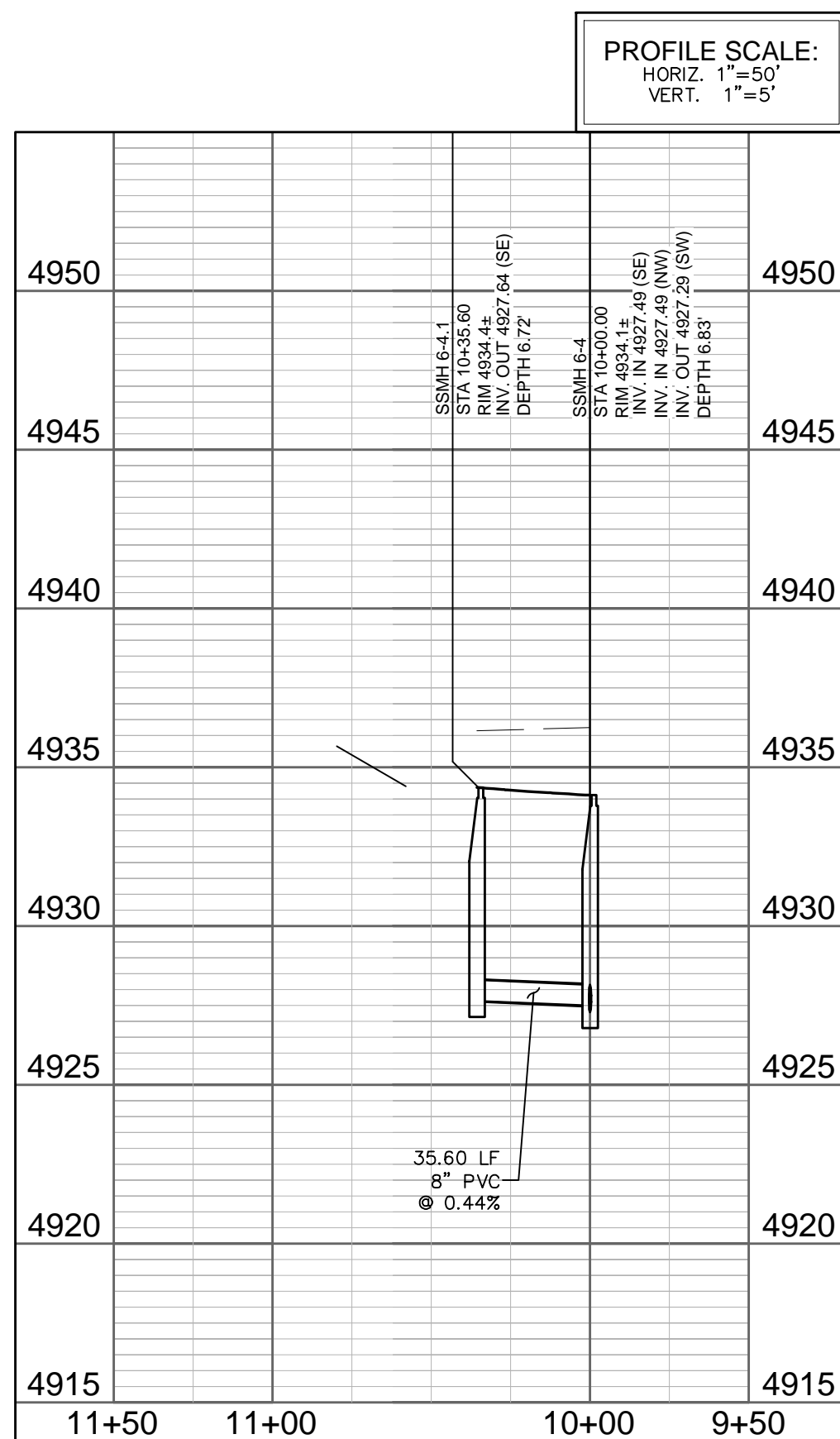
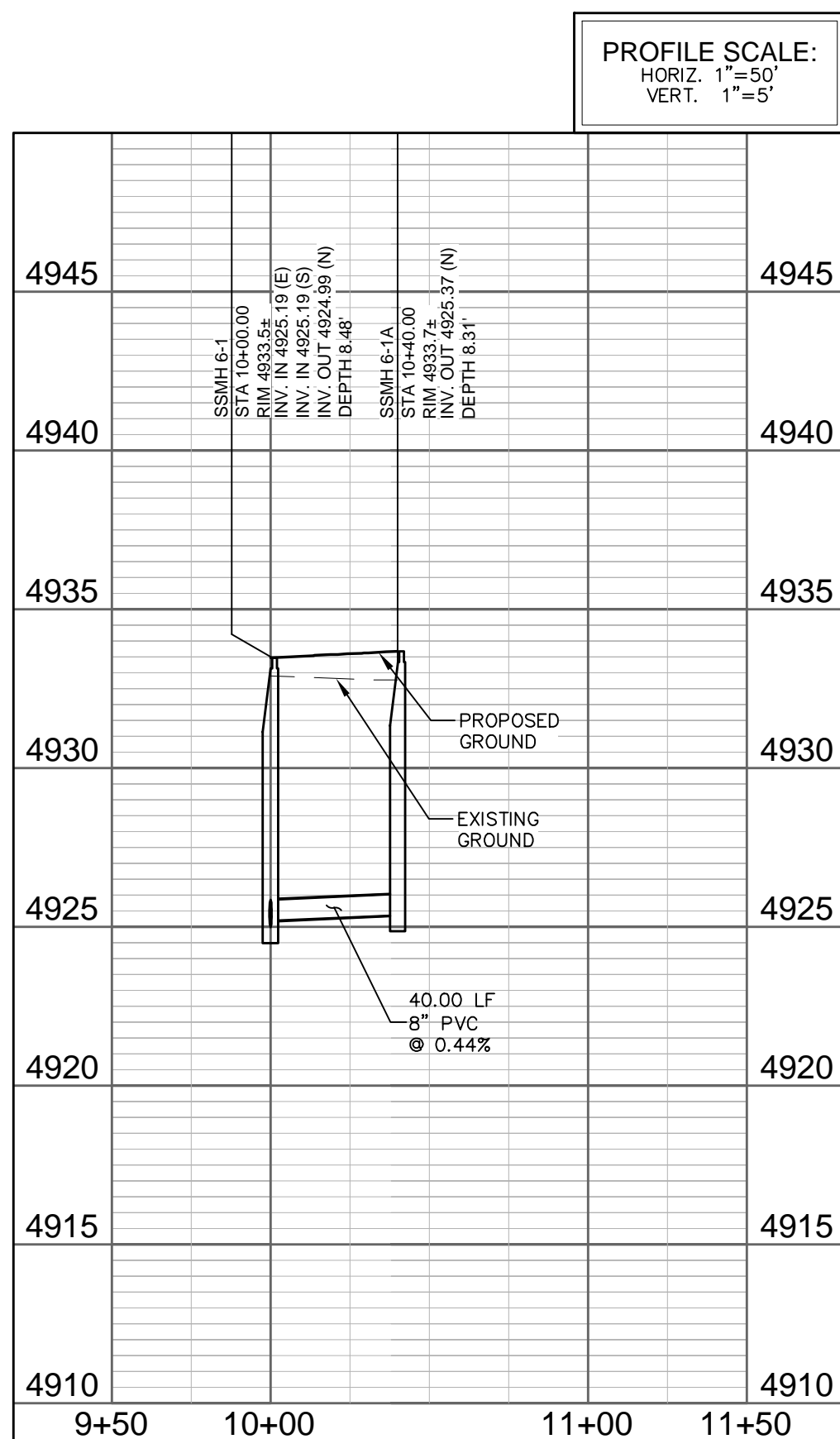
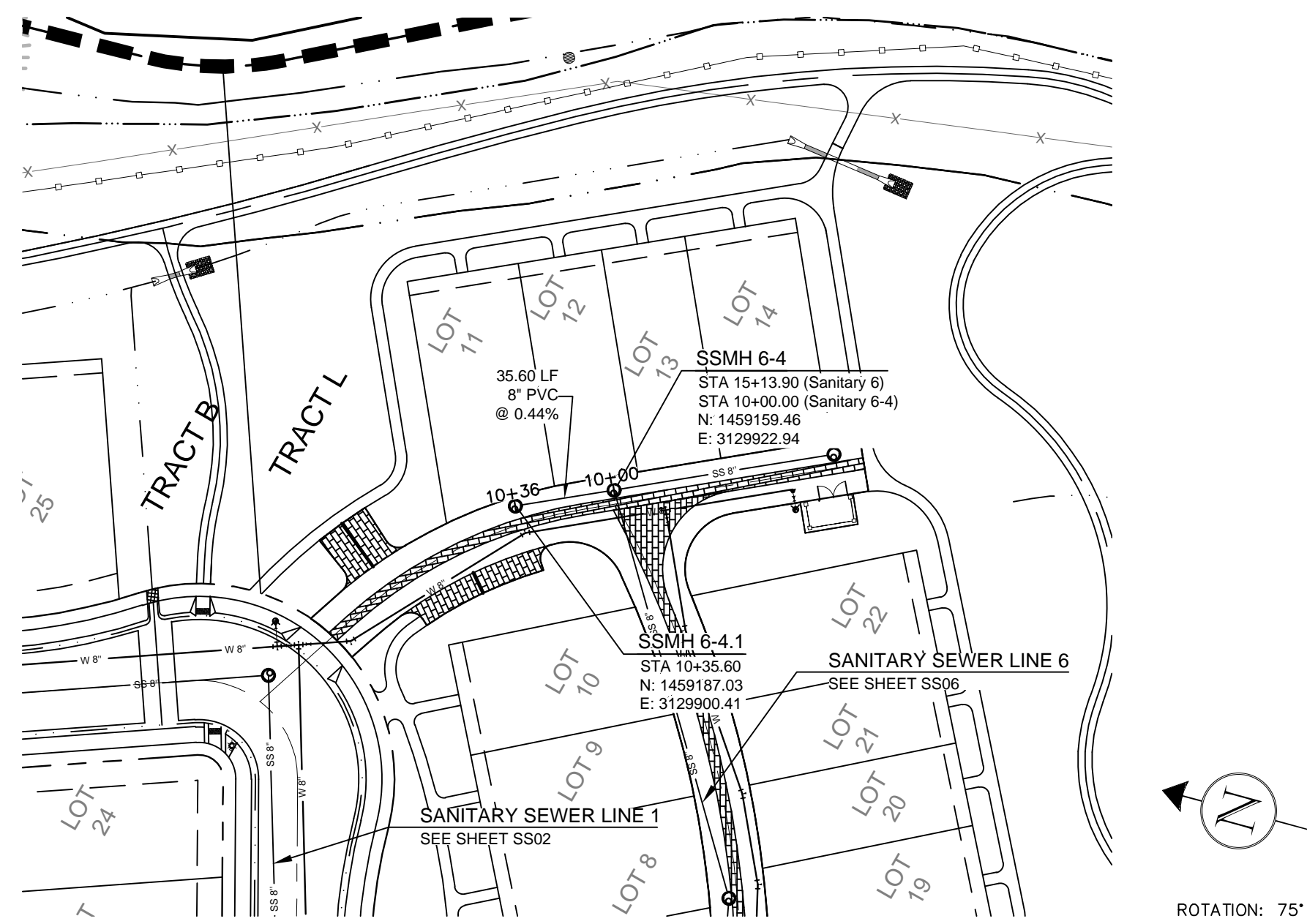
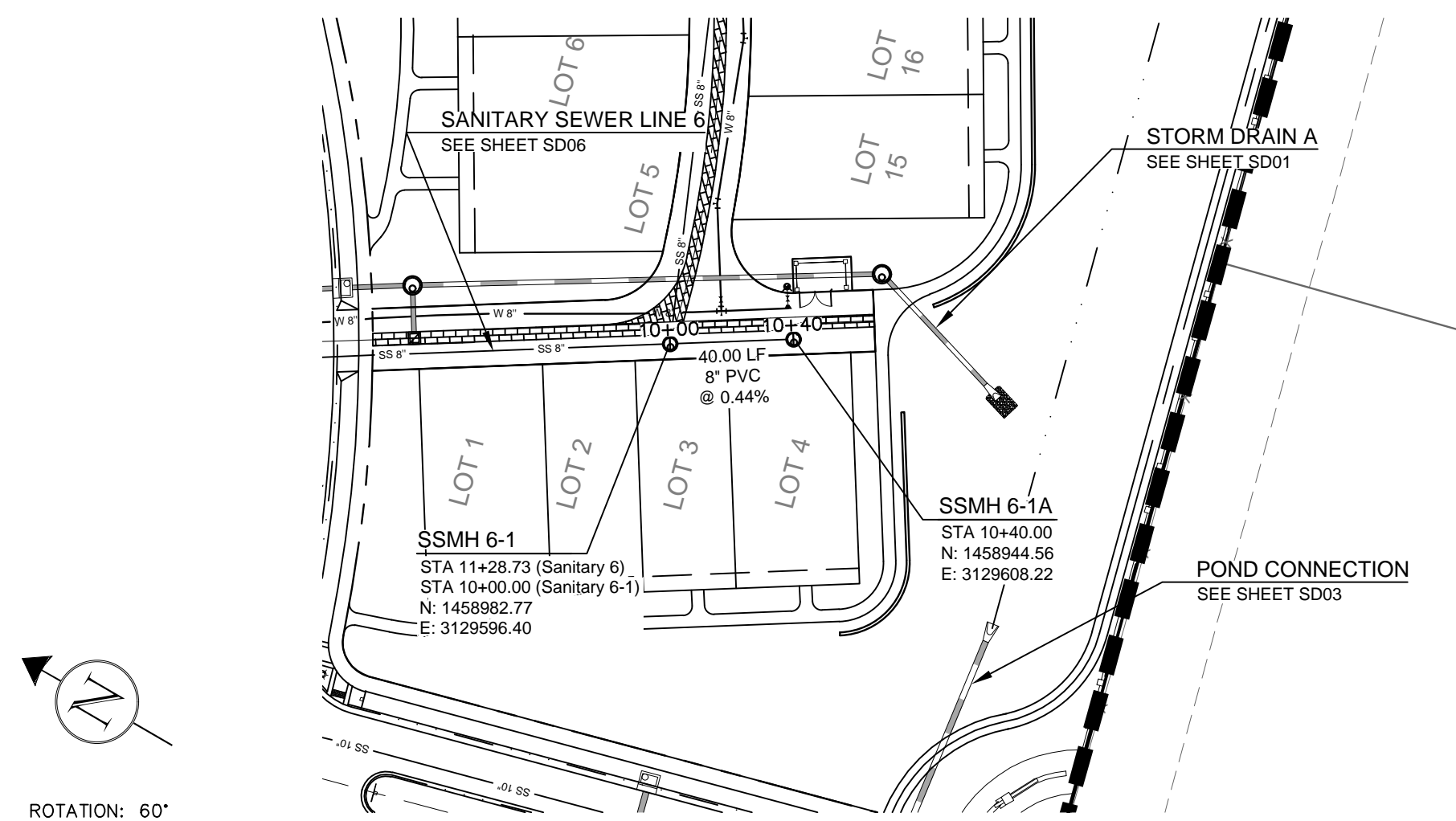
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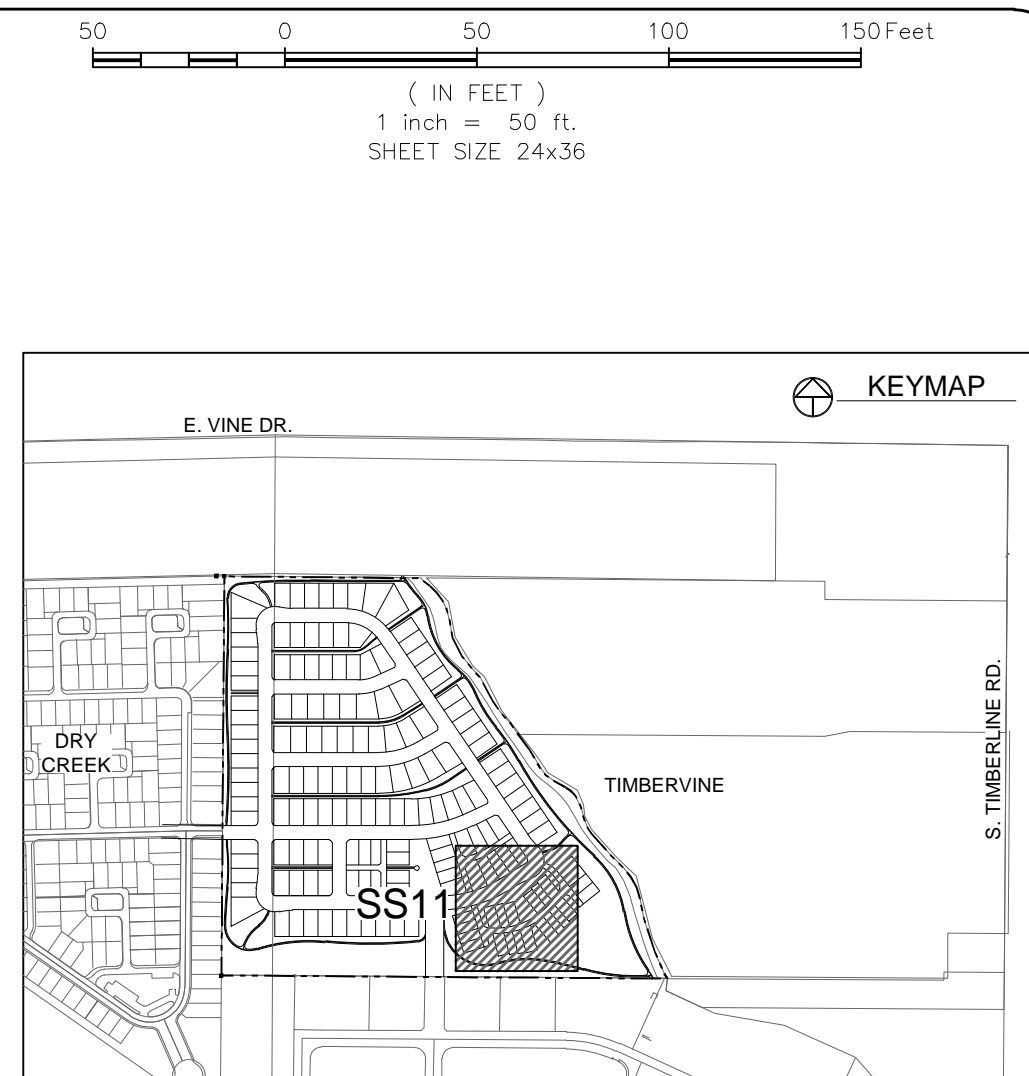
PROJECT #: SPHLV0001.01	DATE: JUNE 18, 2014
DESIGNED BY: J. Prelog	SCALE: 1"=50'
DRAWN BY: N. Whitcomb	REVIEWED BY: R. Van Uffelen

TIMBERVINE

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SS10
Of 41 Sheets



<div style="text-align: center;">BOXELDER SANITATION DISTRICT UTILITY PLAN REVIEW</div>	
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DATE:	_____
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<div style="text-align: center;">ELCO SANITATION DISTRICT UTILITY PLAN APPROVAL</div>	
APPROVED:	_____
DATE:	_____
MANAGER	
APPROVED:	_____
DATE:	_____
SYSTEMS ENGINEER	



- # LEGEND:

- # NOTES:
1. ALL SANITARY SEWER LINE CONSTRUCTION SHALL CONFORM TO THE LATEST BOXLEDER SANITATION DISTRICT STANDARDS AND SPECIFICATIONS FOR SANITARY SEWER PIPELINE CONSTRUCTION AND IMPROVEMENTS.
 2. ALL SEWER SERVICES SHALL BE MINIMUM 4" INCH DIAMETER CONSTRUCTED AT A SLOPE OF 2% FROM THE BUILDING TO THE SEWER MAIN, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE DISTRICT.
 3. ALL 6"-INCH DIAMETER SEWER SERVICES SHALL BE CONSTRUCTED AT A SLOPE OF 1% FROM THE BUILDING TO THE SEWER MAIN.
 4. WHEN GROUNDWATER IS ENCOUNTERED CLAY CUT OFF VALVES SHALL BE INSTALLED ON THE UPSTREAM SIDE OF ALL MANHOLES. IN THE MID-SECTION OF EACH MAIN LINE RUN AT INTERVALS NOT TO EXCEED 300 FEET, OR AS REQUIRED BY THE DISTRICT. SEE DETAIL SHEETS FOR CLAY CUT-OFF WALL FIELD DETAIL.
 5. FIELD VERIFY INVERT ELEVATION OF SANITARY SEWER AND BASEMENT FINISHED FLOOR ELEVATION FOR GRAVITY FLOW PRIOR TO CONSTRUCTING FOUNDATIONS.
 6. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH BOXLEDER SANITATION DISTRICT A MINIMUM OF ONE WEEK BEFORE CONSTRUCTION TO COORDINATE SCHEDULES AND CLARIFY ANY ADDITIONAL DISTRICT REQUIREMENTS. CONTRACT NUMBER IS 970-498-0604.
 7. CONTRACTOR SHALL NOTIFY THE DISTRICT'S INSPECTOR FORTY-EIGHT HOURS PRIOR TO START OF CONSTRUCTION.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FIELD LOCATES OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
 9. SERVICE CONNECTIONS TO STRUCTURES REQUIRE AN ELDER VALVE (SEWER SHUT-OFF VALVE) AND A CLEANOUT. ELDER VALVES MUST BE INSTALLED UPSTREAM OF THE CLEANOUT AND A MINIMUM 3' FEET FROM ANY WALL, OVERHANG OR OTHER STRUCTURE THAT MIGHT LIMIT ACCESS TO THE VALVE. ELDER VALVES MAY BE PURCHASED FROM VENDORS IN FORT COLLINS, COLORADO.
 10. ALL CONSTRUCTION SHALL BE INSPECTED BY DISTRICT INSPECTOR PRIOR TO BACKFILL.
 11. FOR OFF-SITE SEWER LINE MANHOLES: MANHOLE RIMS SHALL BE SET FLUSH WITH THE SURFACE WHEN WITHIN AN ALL-WEATHER ACCESS ROADWAY, RIMS SHALL BE SET 6" INCHES ABOVE GRADE IF THEY ARE NOT WITHIN AN ALL-WEATHER ACCESS ROADWAY.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
	Water & Wastewater Utility	Date
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	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date

REV	REVISION DESCRIPTION	DATE	DESIGNED	CHECKED	APPROVED
-	-	06/18/14	-	-	-

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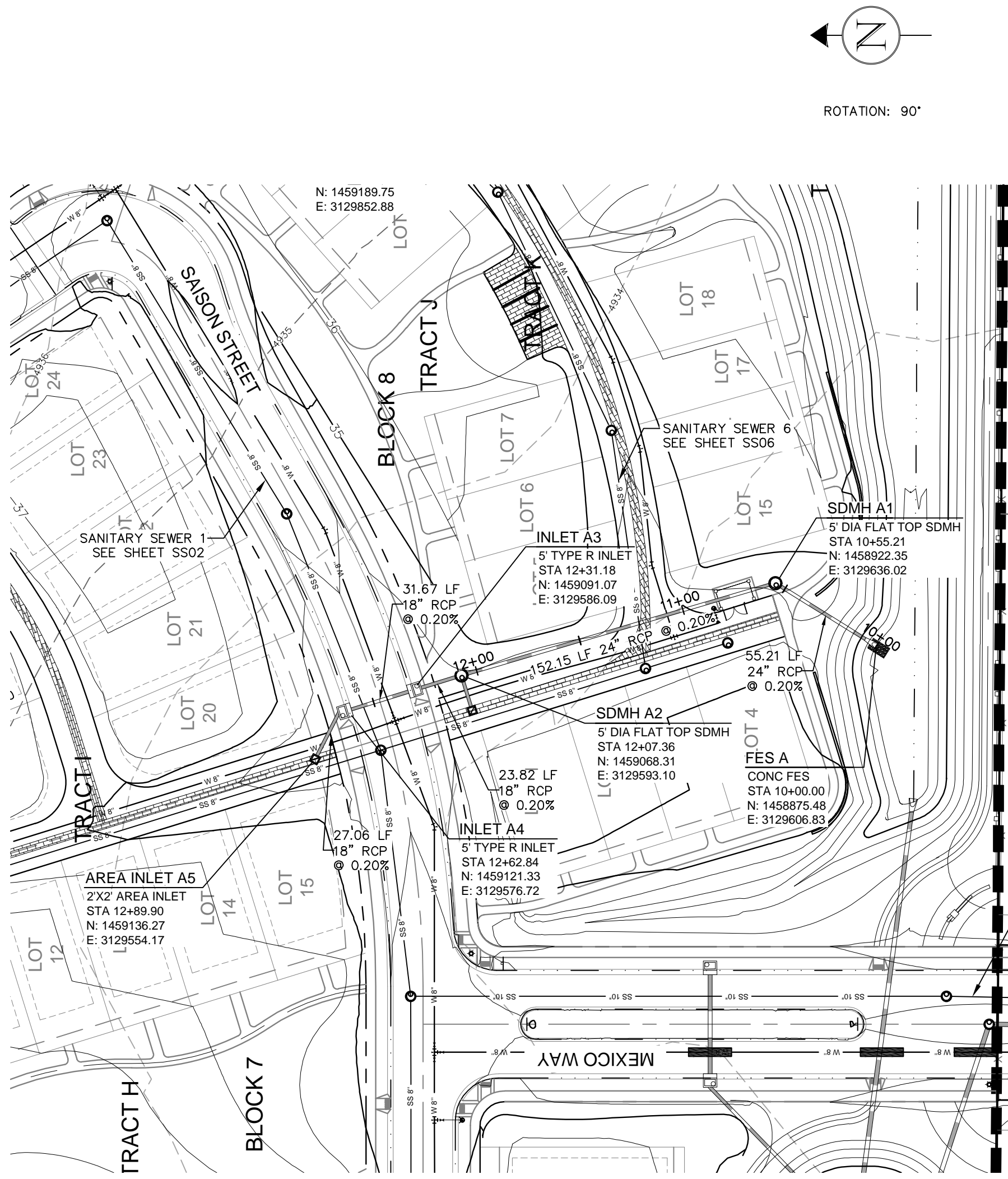
PROJECT #: SPHLV0001.01	DATE: JUNE 18, 2014
DESIGNED BY: A. Cronin	SCALE: 1"=50'
DRAWN BY: A. Cronin	REVIEWED BY: R. Van Uffelen

TIMBERVINE

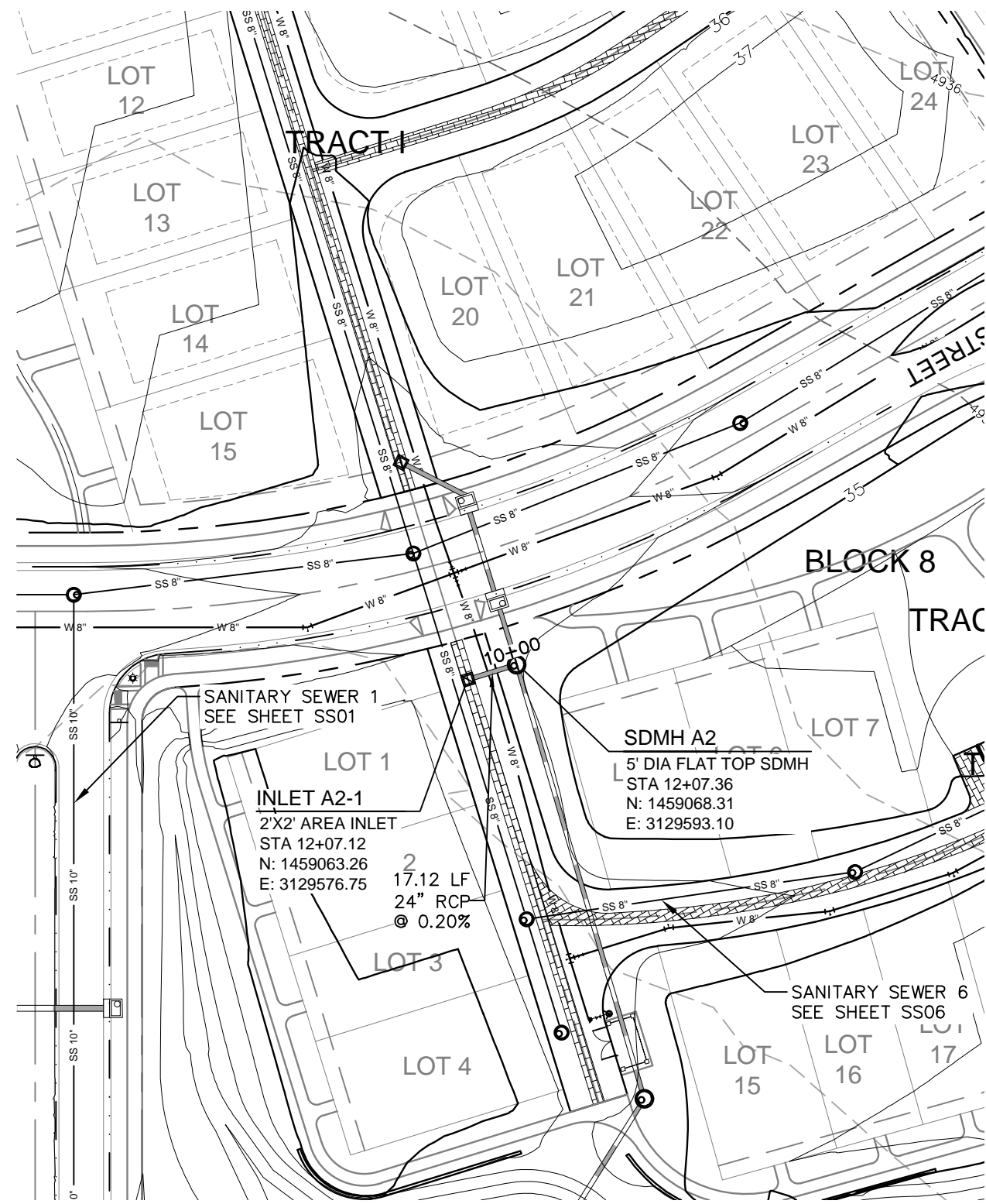
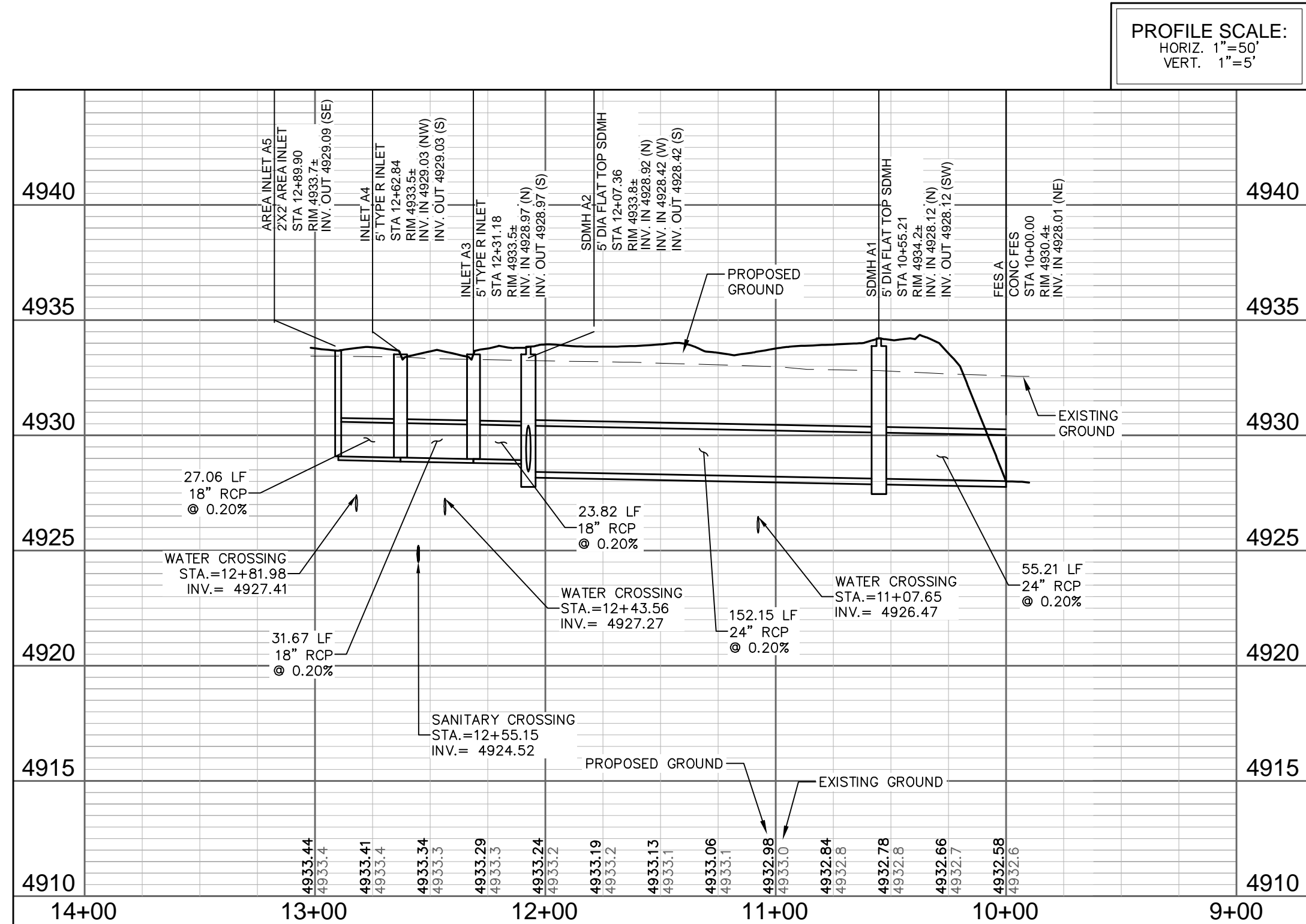
**SANITARY SEWER LINES 6-1 & 6-4
PLAN AND PROFILE**

Sheet
SS11

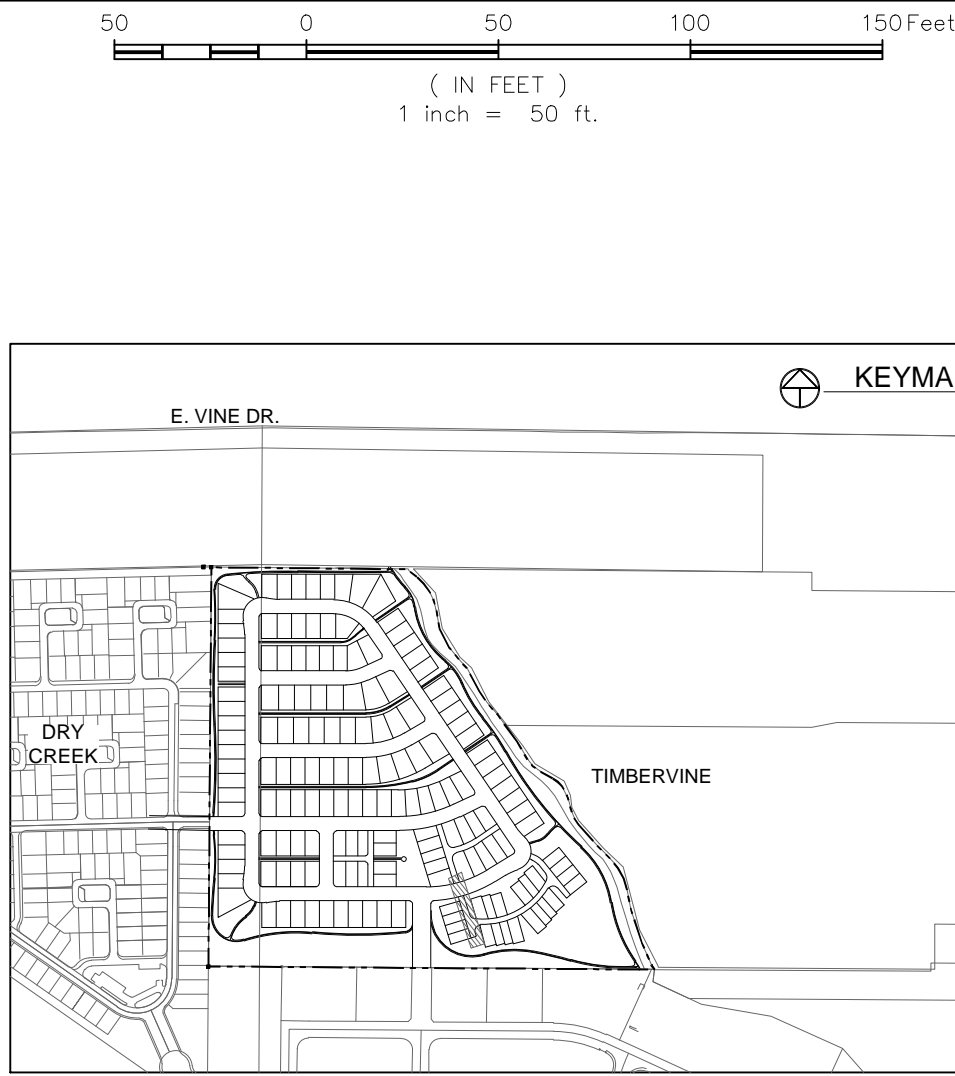
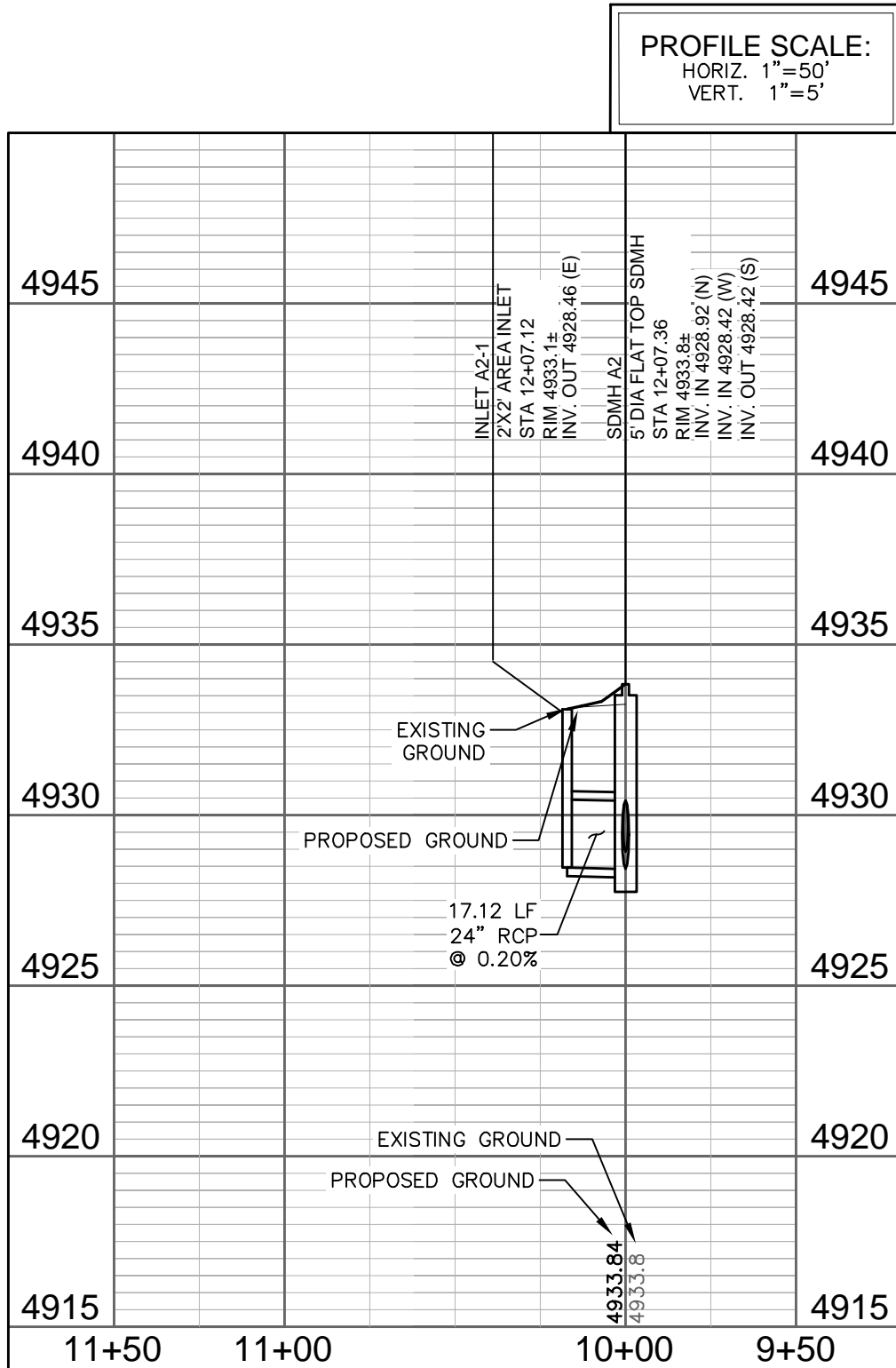
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STORM DRAIN A



STORM DRAIN A2



- LEGEND:**
- PROPOSED WATER MAIN
 - EXISTING WATER MAIN
 - PROPOSED SANITARY SEWER
 - EXISTING SANITARY SEWER
 - PROPOSED SEWER SERVICE
 - PROPOSED RESIDENTIAL SERVICE
 - PROPOSED FIRE HYDRANT
 - PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - EXISTING AT&T FIBER OPTIC
 - PROPOSED ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING GAS
 - PROPOSED CURB & GUTTER
 - PROPERTY BOUNDARY
 - PROPOSED RIGHT-OF-WAY
 - FUTURE RIGHT-OF-WAY
 - PROPOSED LOTLINE
 - FUTURE LOTLINE
 - EASEMENT LINE
 - PROPOSED STORM INLET

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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

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06/18/14

REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY

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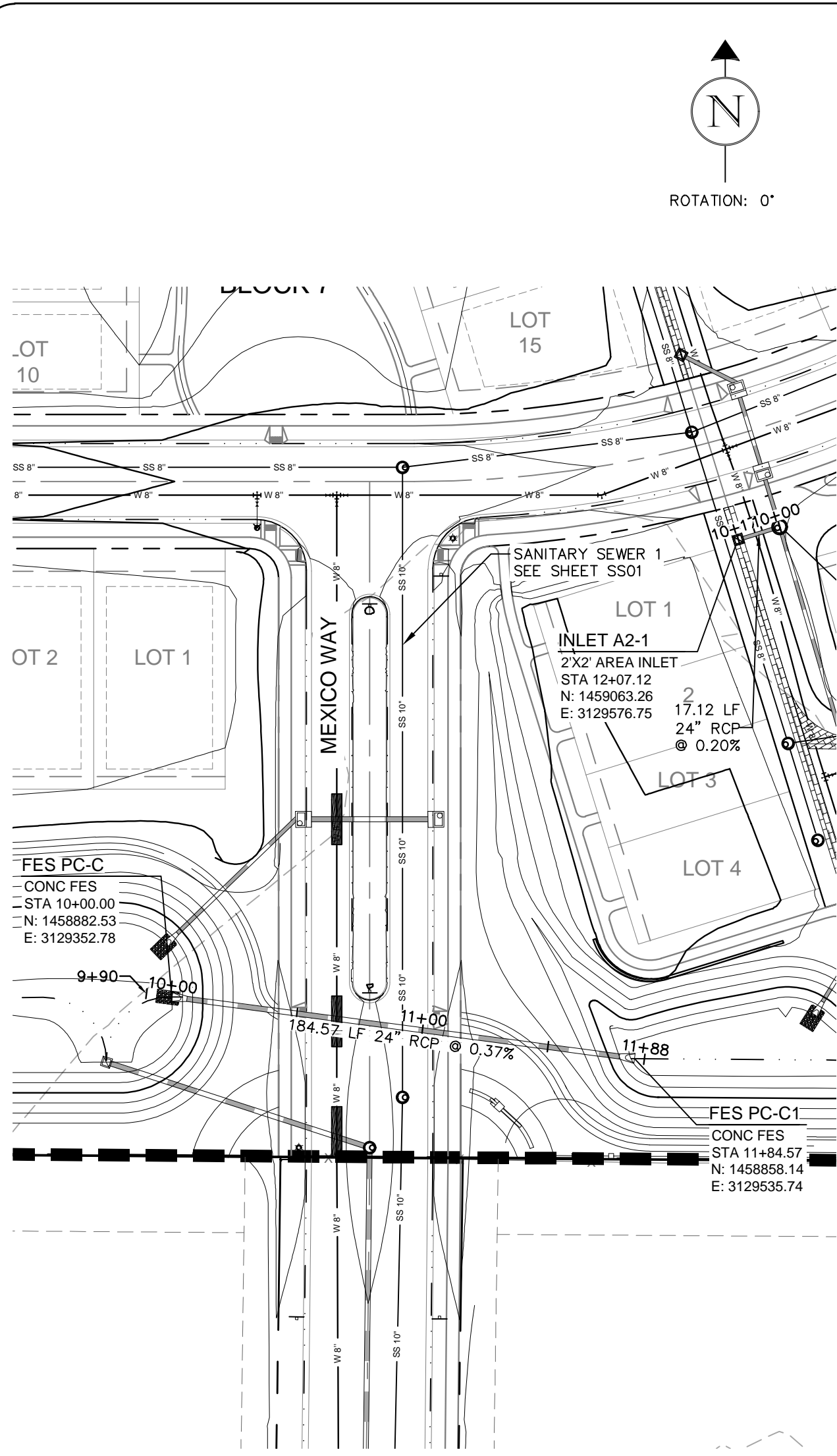
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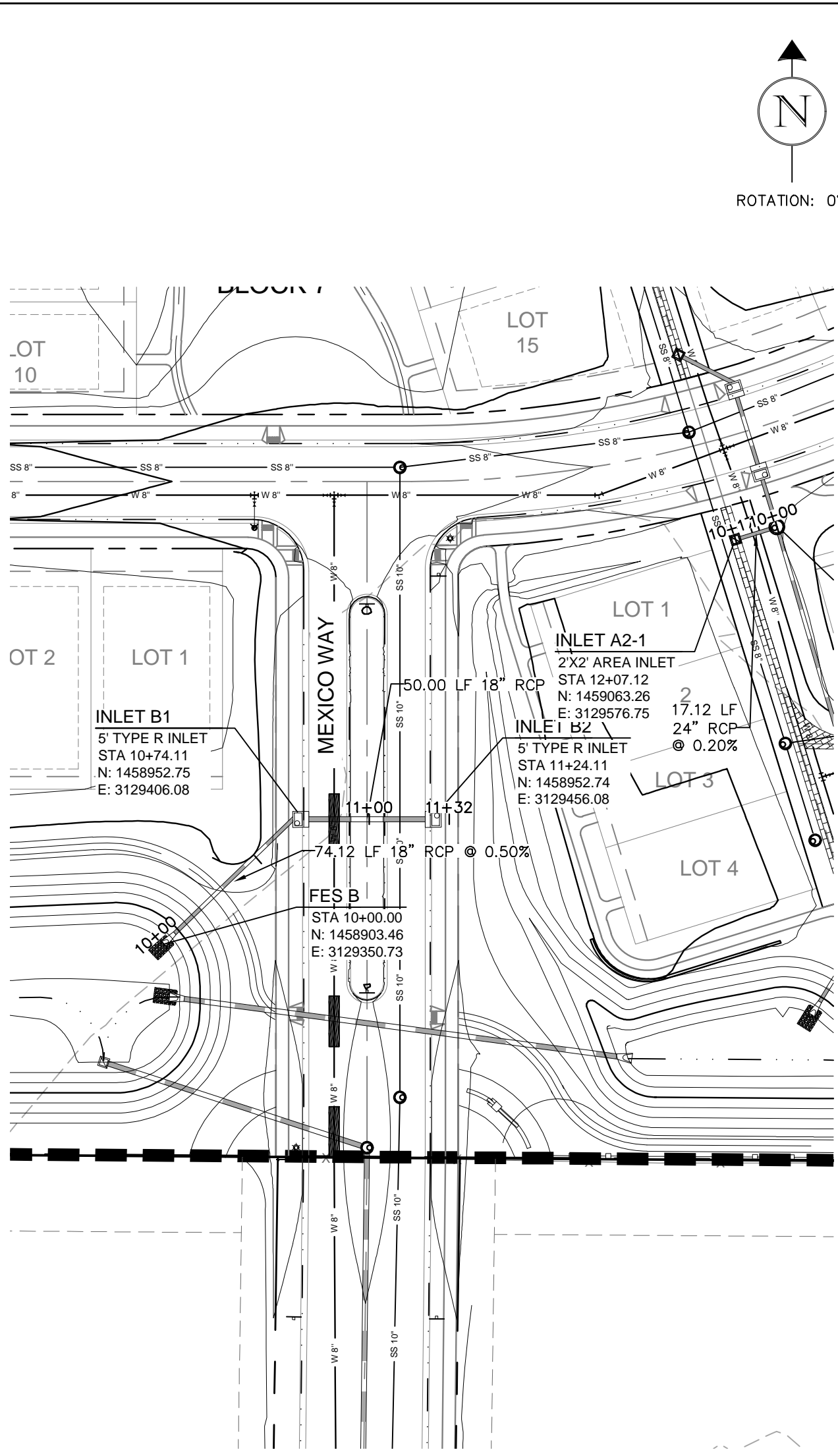
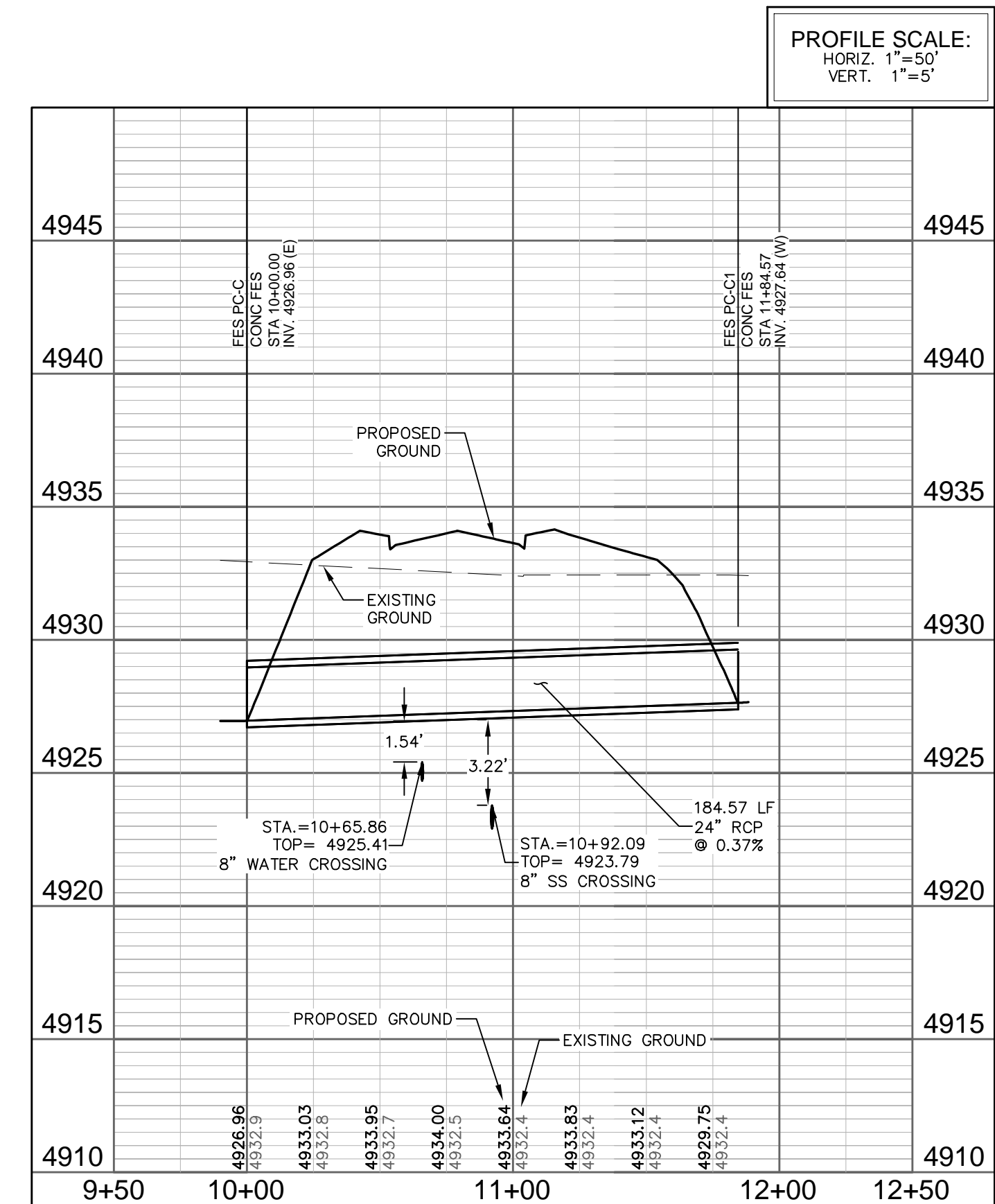
STORM DRAIN A, A2
PLAN AND PROFILE

Sheet
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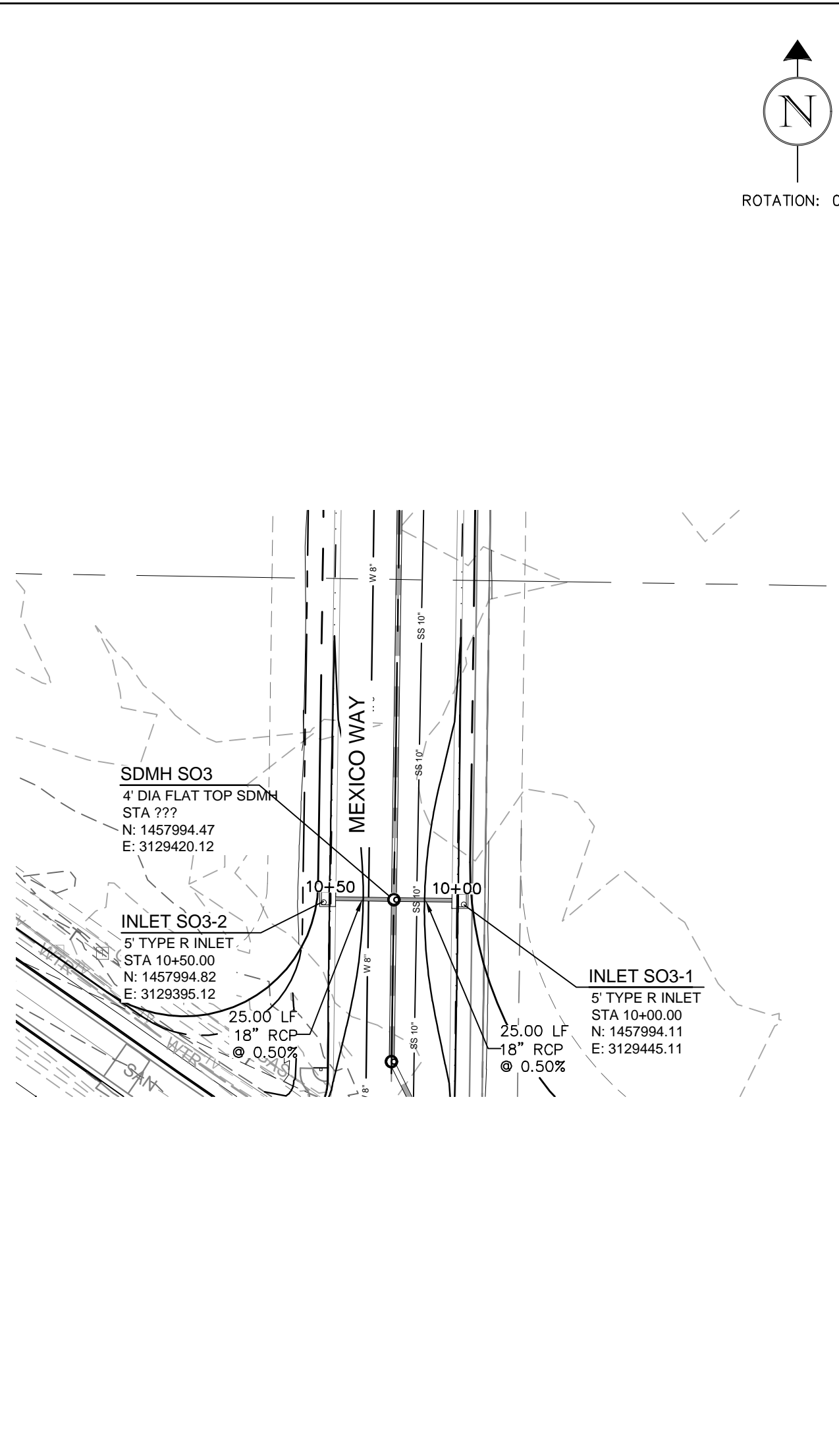
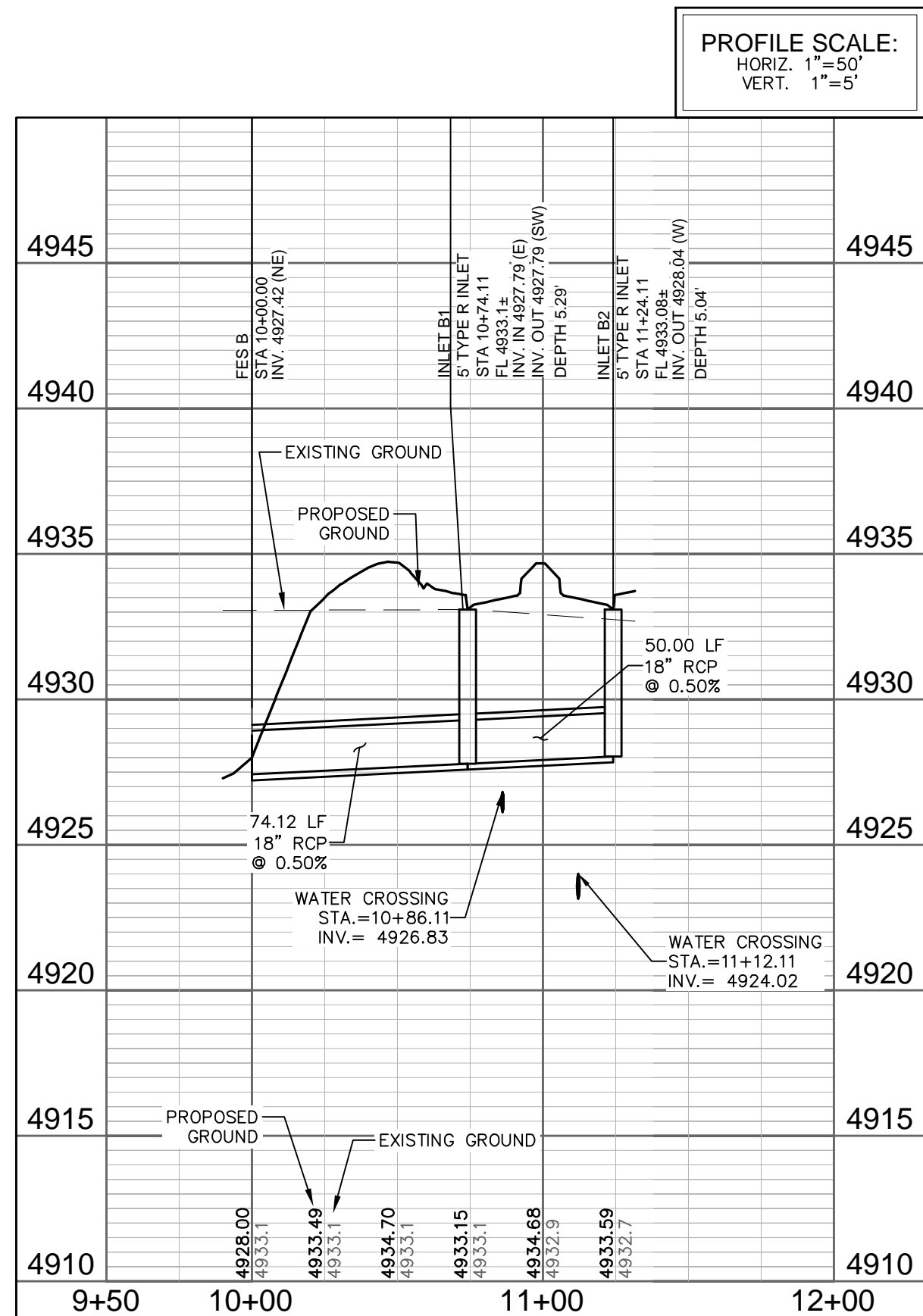
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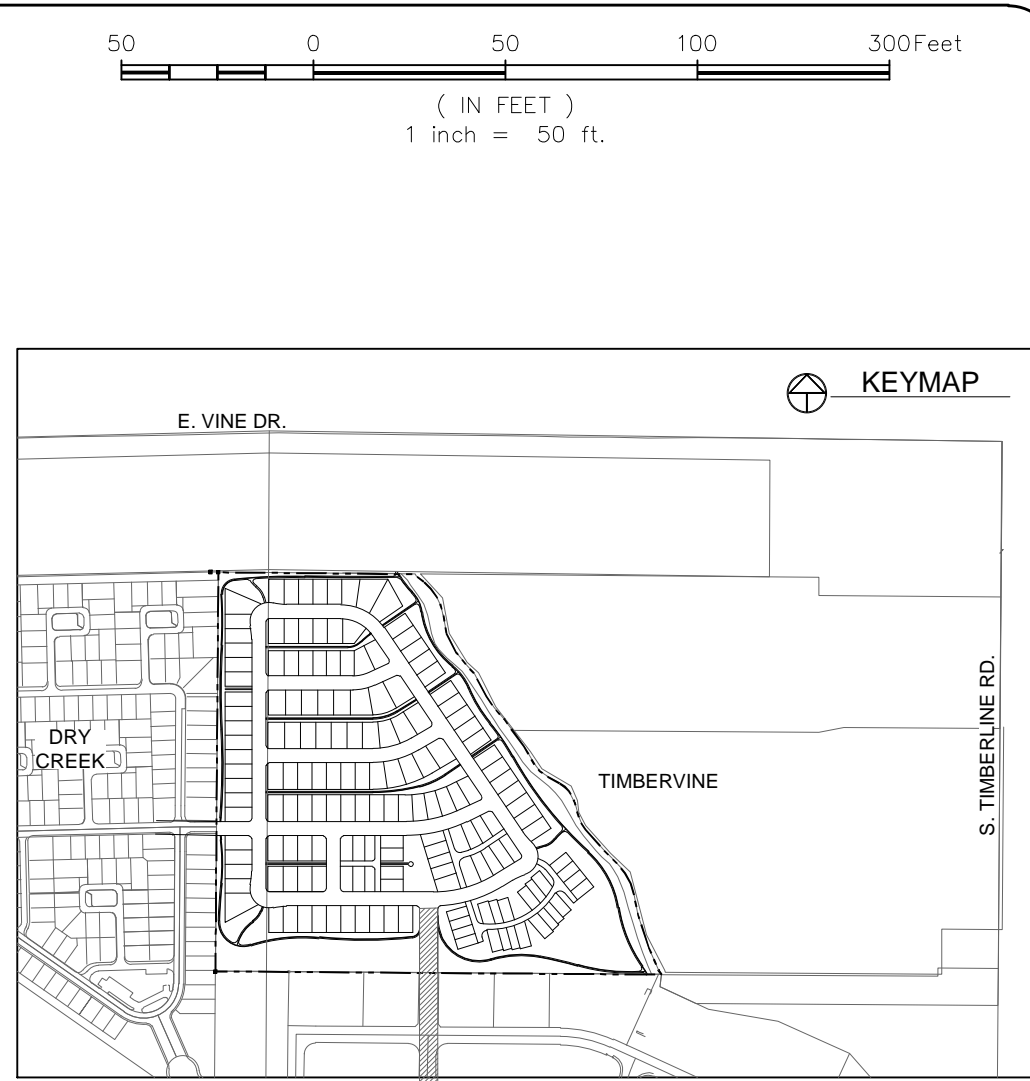
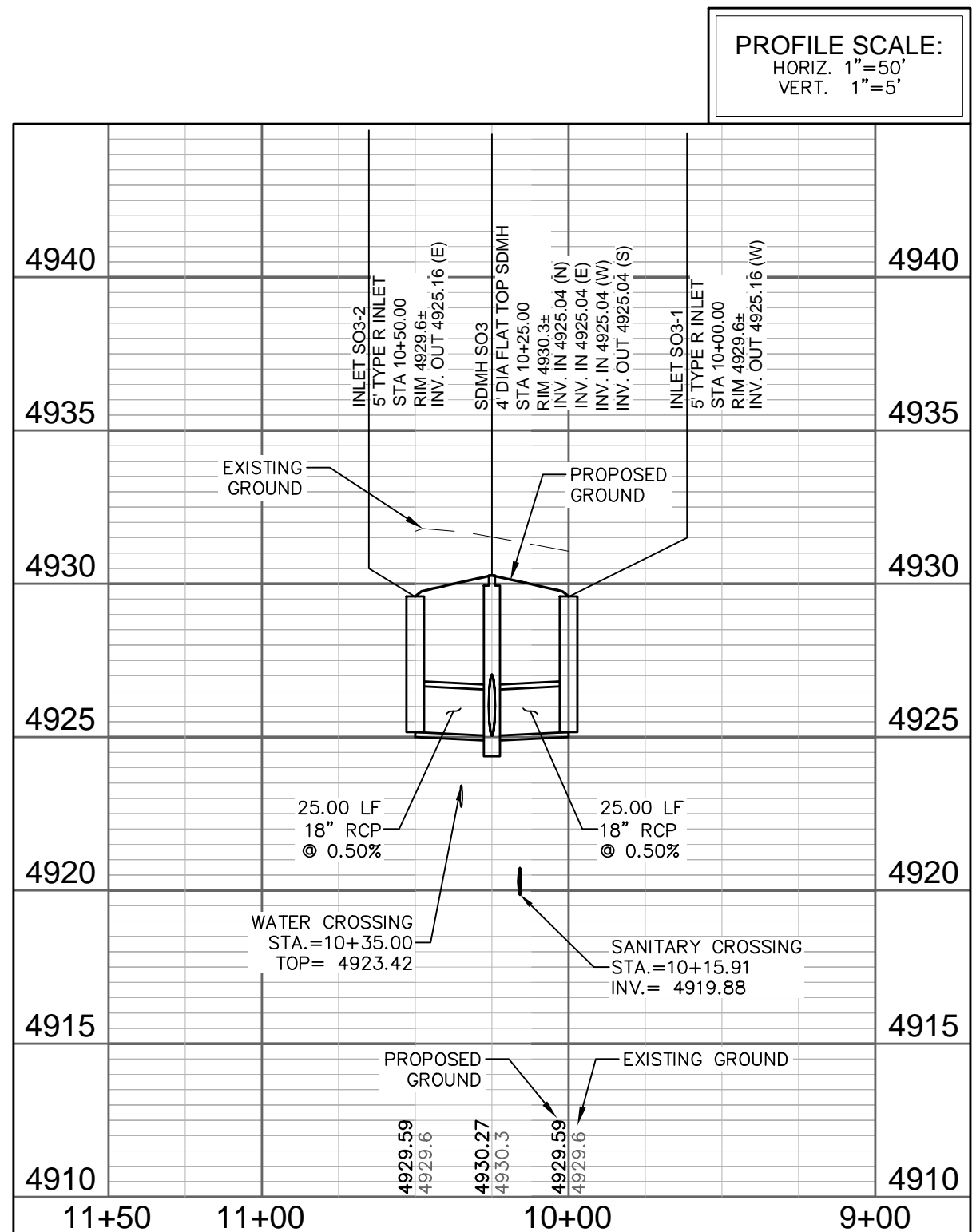
POND CONNECTION



STORM DRAIN B



STORM DRAIN S02



LEGEND:

- PROPOSED WATER MAIN
- EXISTING WATER MAIN
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED SEWER SERVICE
- PROPOSED RESIDENTIAL SERVICE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM SEWER
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

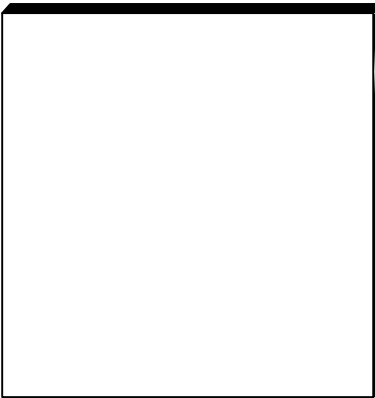
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
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CHECKED BY:	Environmental Planner	Date

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2	NOT FOR CONSTRUCTION				

SUMMERPARK HOLDINGS, LLC.

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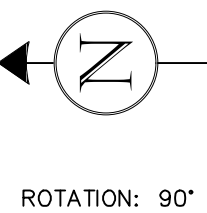


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PROJECT #:	DATE:	SCALE:
SPHL0001.01	JUNE 18, 2014	1"=50'
DESIGNED BY:	REVIEWED BY:	
A. Cronin	R. Van Uffelen	
DRAWN BY:		
A. Cronin		

TIMBERVINE

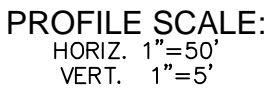
STORM DRAIN B, AND POND CONNECTION PLAN AND PROFILE



- PROPOSED WATER MAIN
EXISTING WATER MAIN
PROPOSED SANITARY SEWER
EXISTING SANITARY SEWER
PROPOSED SEWER SERVICE
PROPOSED RESIDENTIAL SERVICE
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City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
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CHECKED BY:	_____	_____
	Stormwater Utility	Date
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	Environmental Planner	Date

REV	REVISION DESCRIPTION	DATE	DRAWN BY	CHECKED BY	APPROVED BY
—	—	06/18/14	—	—	—

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PROJECT #: SPHLV0001.01	DATE: JUNE 18, 2014
DESIGNED BY: A. Cronin	SCALE: 1"=50'
DRAWN BY: A. Cronin	REVIEWED BY: R. Von Uffelen

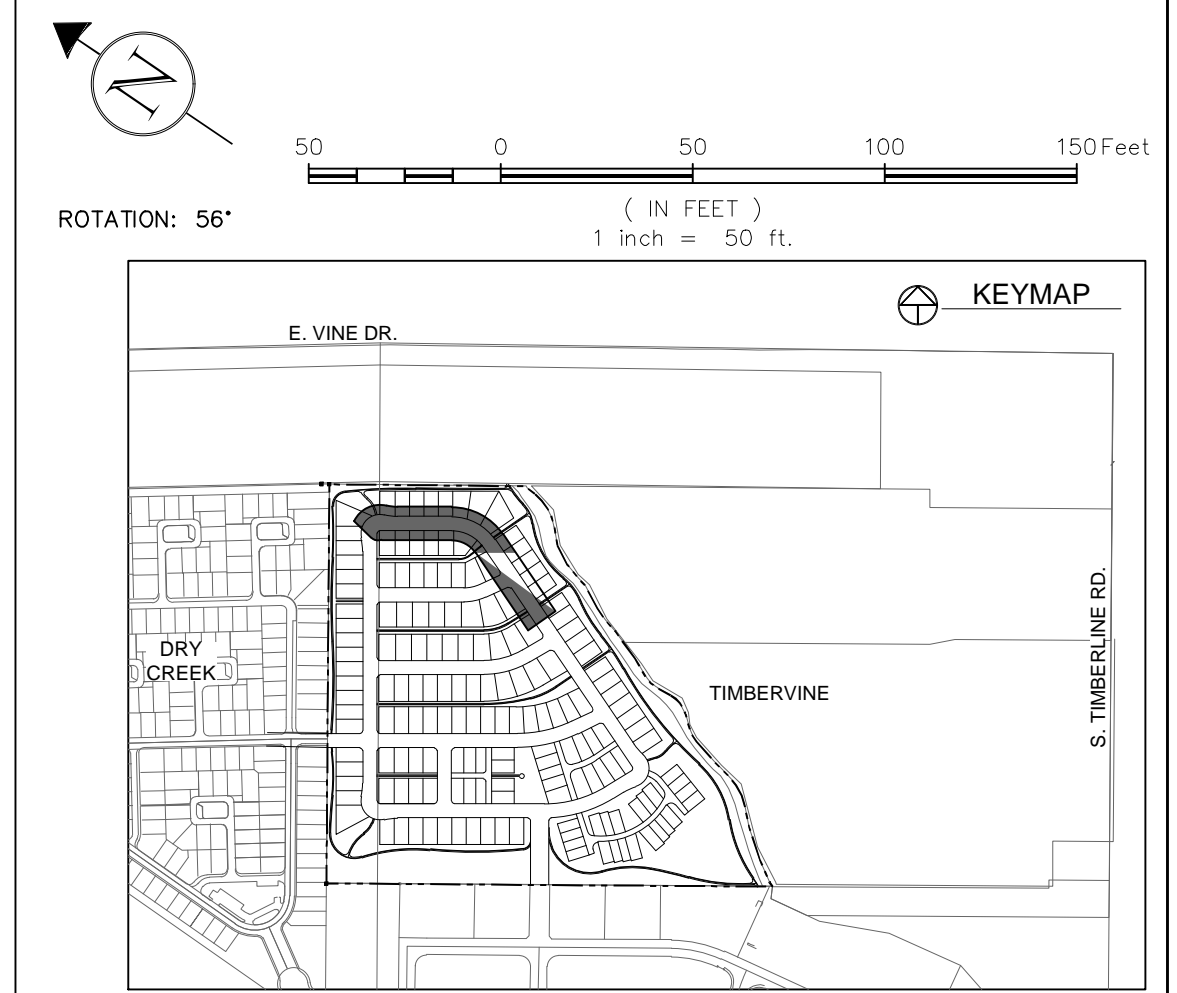
TIMBERVINE

STORM DRAIN OUTLET PLAN AND PROFILE

Sheet

SD03

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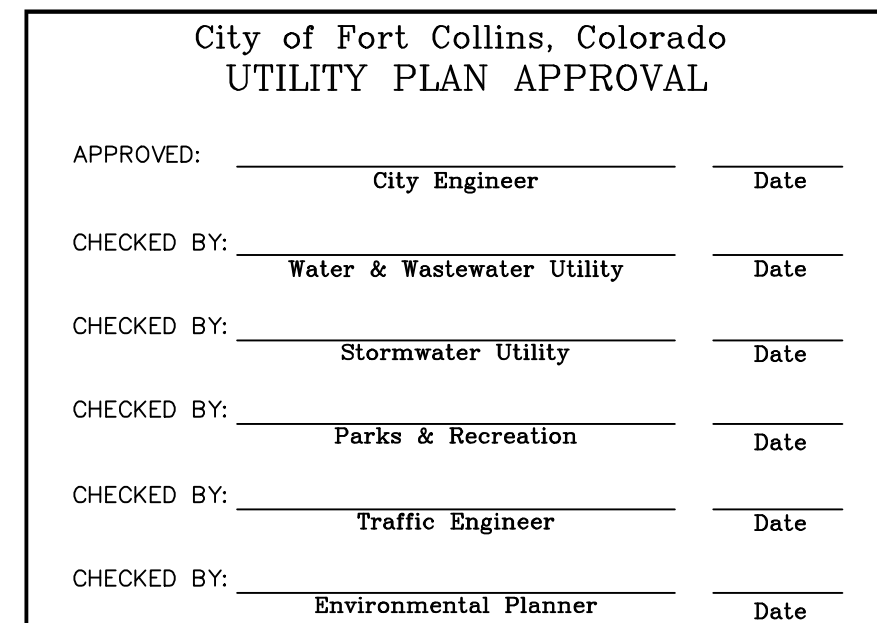


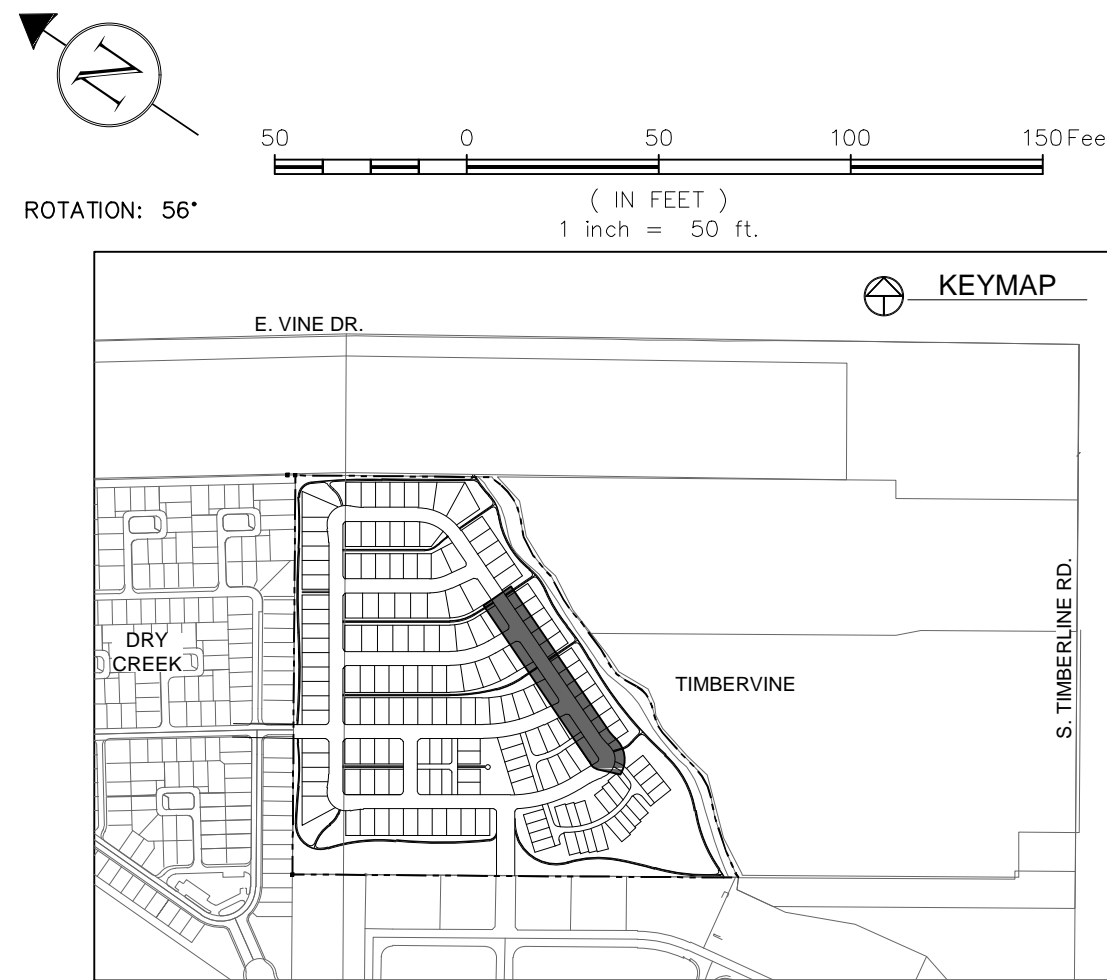
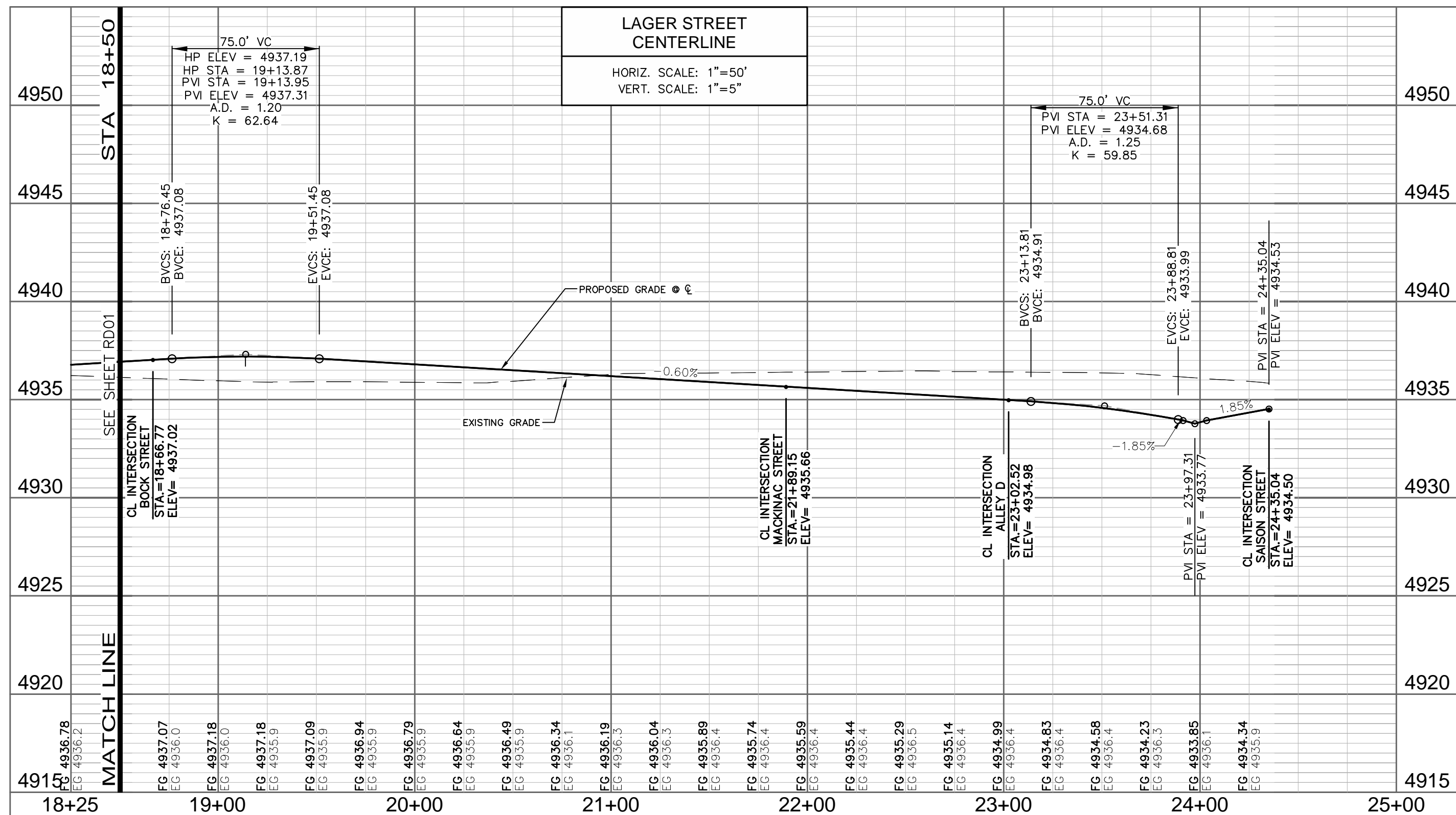
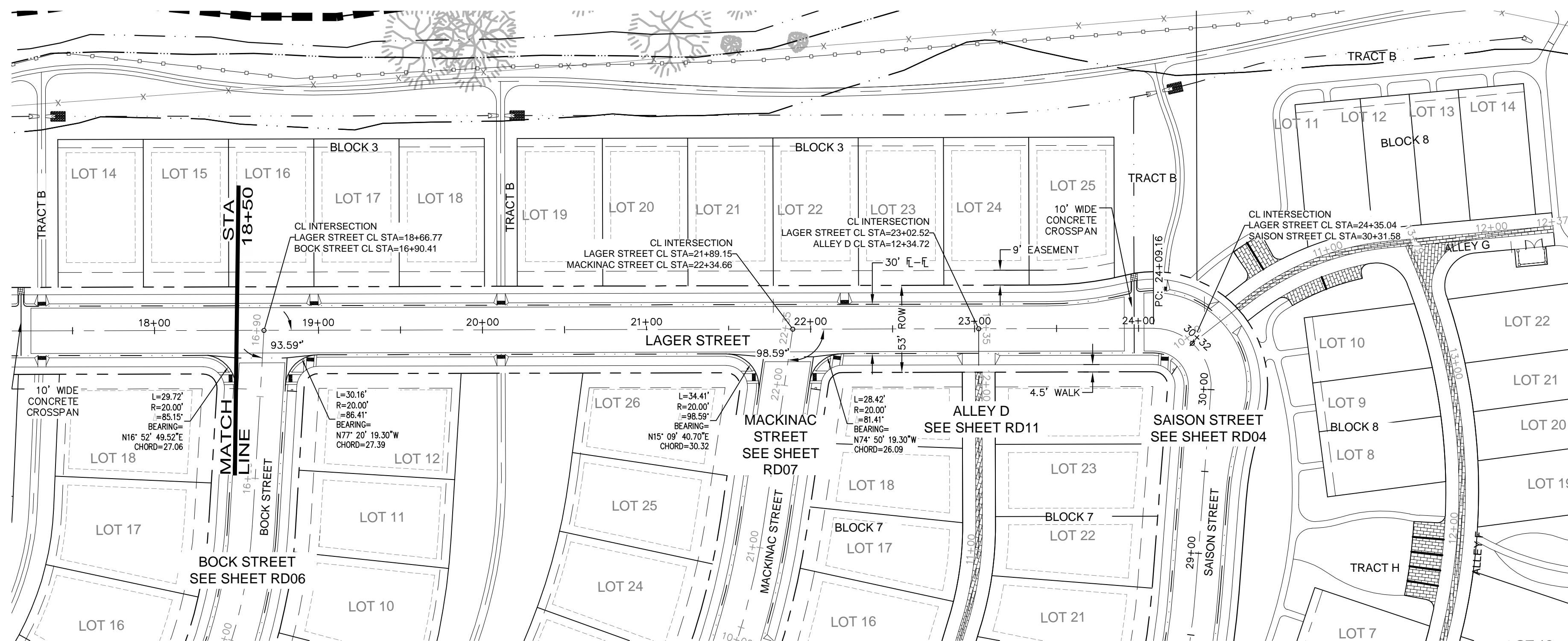
PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
PROPERTY BOUNDARY
PROPOSED LOT LINE
EASEMENT LINE
SAWCUT LINE
PROPOSED STORM SEWER
PROPOSED STORM INLET

EXISTING EDGE OF ASPHALT
PROPOSED CONCRETE
CROSSSPAN (TYP.)

PROPOSED SPOT ELEVATION
EXISTING SPOT ELEVATION

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
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7. SEE SHEET CV01 FOR TYPICAL SECTIONS.
8. ALL ELEVATIONS ARE AT THE FLOWLINE OF CURB AND GUTTER OR BACK OF SIDEWALK UNLESS NOTED OTHERWISE ON THE PLANS.
9. PCR INFORMATION IS PROVIDED FOR FLOWLINE.
10. SEE RDXX-RDXX FOR INTERSECTION DETAILS.
11. ALL SPOTS ARE AT FLOW LINE UNLESS NOTED OTHERWISE.
12. ELEVATIONS SHOWN HAVE BEEN ABBREVIATED. THE ENTIRE ELEVATION IS THE ELEVATION SHOWN PLUS 4800 OR 4900 FEET (36.97' = 4896.97' AND 00.071' = 4900.71').





LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPERTY BOUNDARY
- PROPOSED LOT LINE
- EASEMENT LINE
- SAWCUT LINE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- EXISTING EDGE OF ASPHALT
- PROPOSED CONCRETE CROSSSPAN (TYP.)

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION

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City of Fort Collins, Colorado UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

REV	DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY
1	REVISION	06/18/14			

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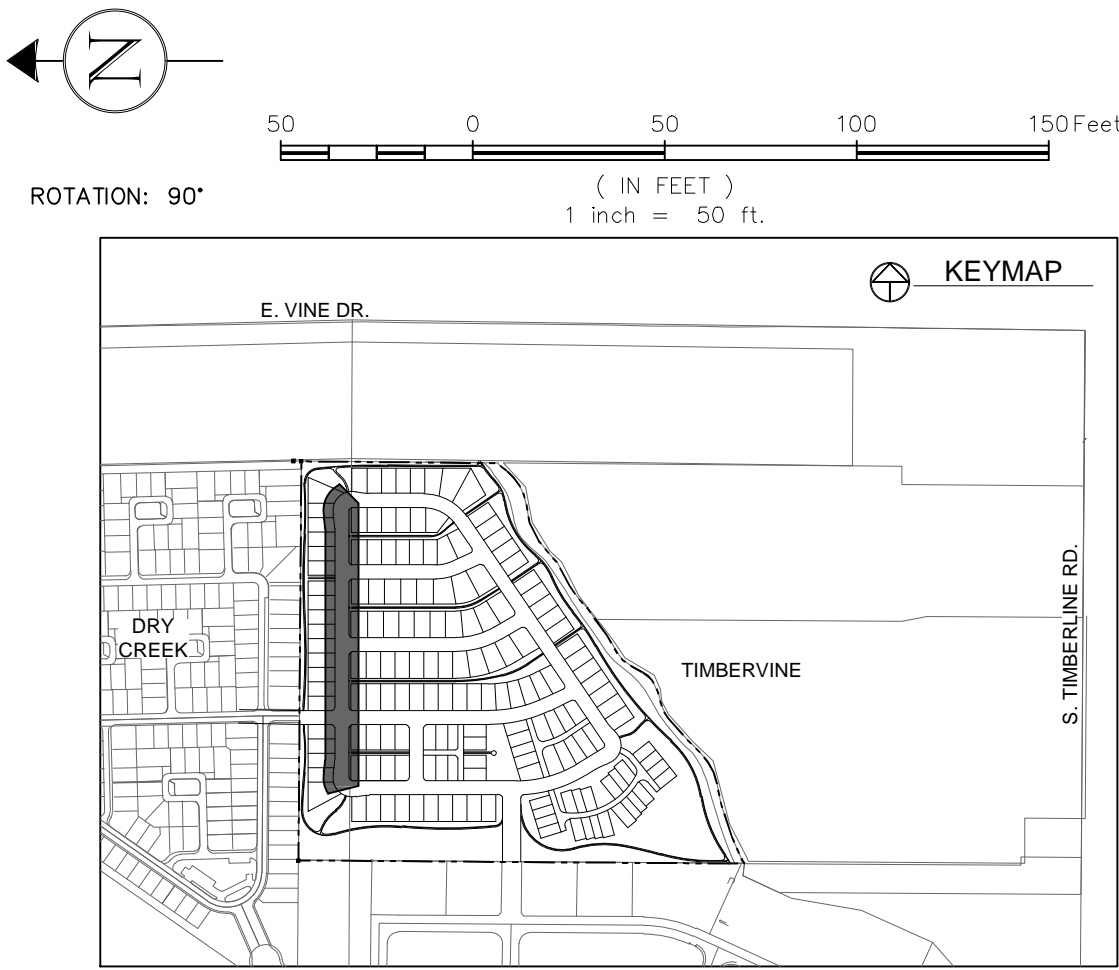
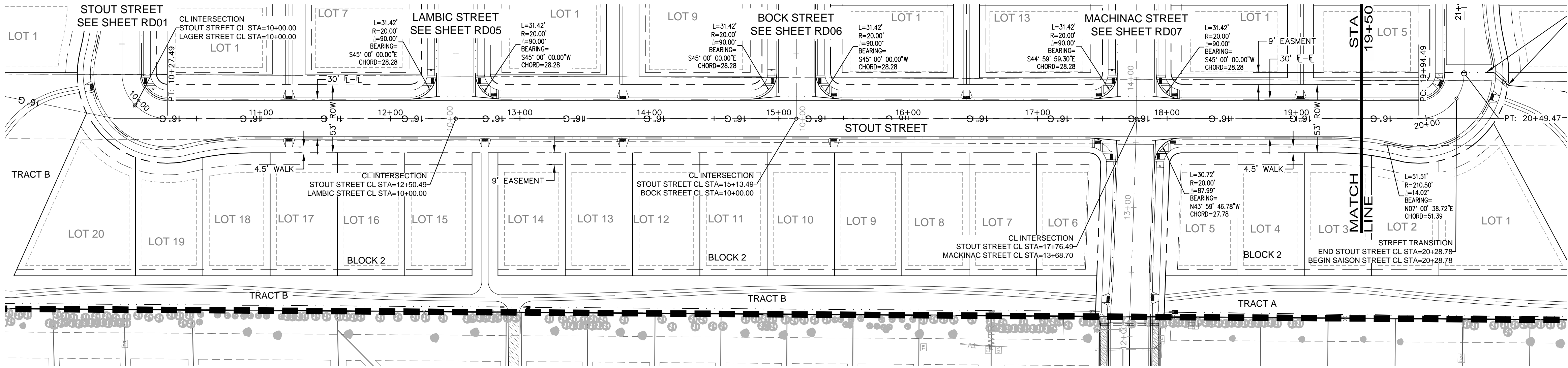
PROJECT #	DATE	SCALE	DESIGNED BY	REVIEWED BY
SPHLV0001.01	JUNE 18, 2014	1"=50'	J. Allen	R. Van Uffelen

TIMBERVINE

LAGER STREET
PLAN AND PROFILE

Sheet
RD02

Of 41 Sheets



LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPERTY BOUNDARY
- PROPOSED LOT LINE
- EASEMENT LINE
- SAWCUT LINE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET

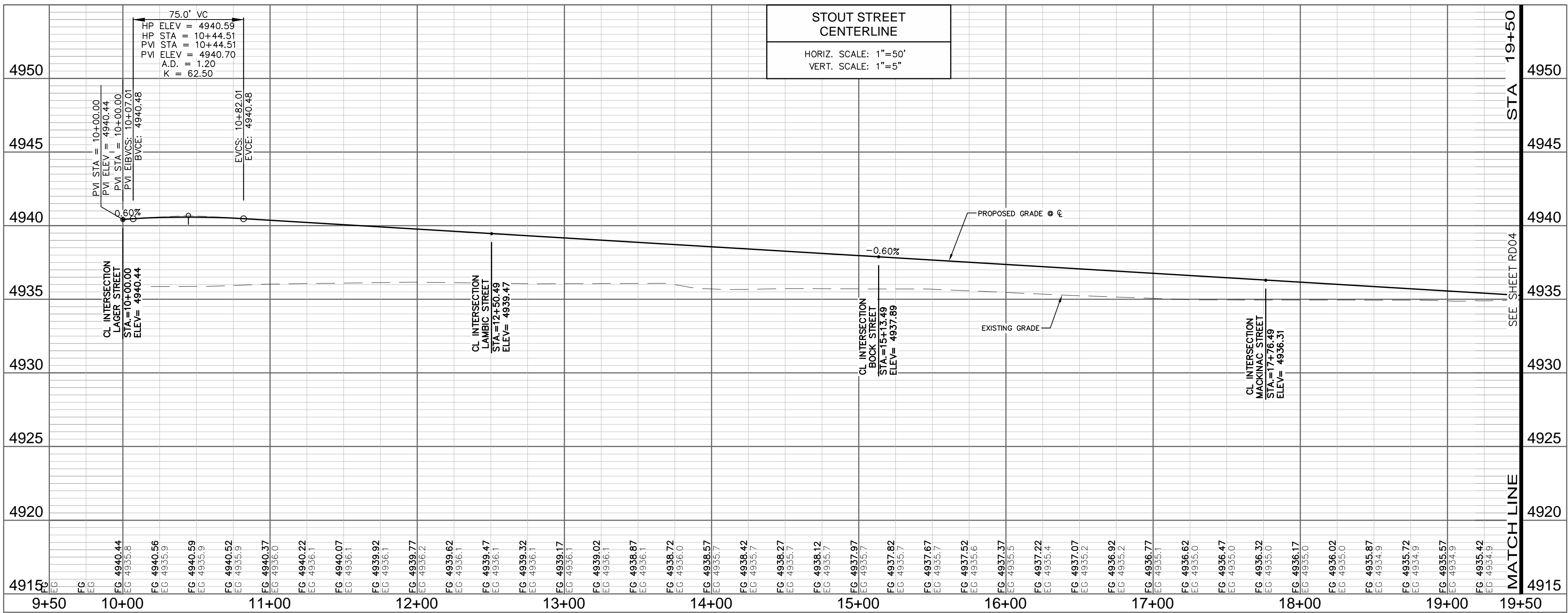
- EXISTING EDGE OF ASPHALT
- PROPOSED CONCRETE CROSSPAN (TYP.)

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

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CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY
1	REVISION SET	06/18/14			
2	NOT FOR CONSTRUCTION				

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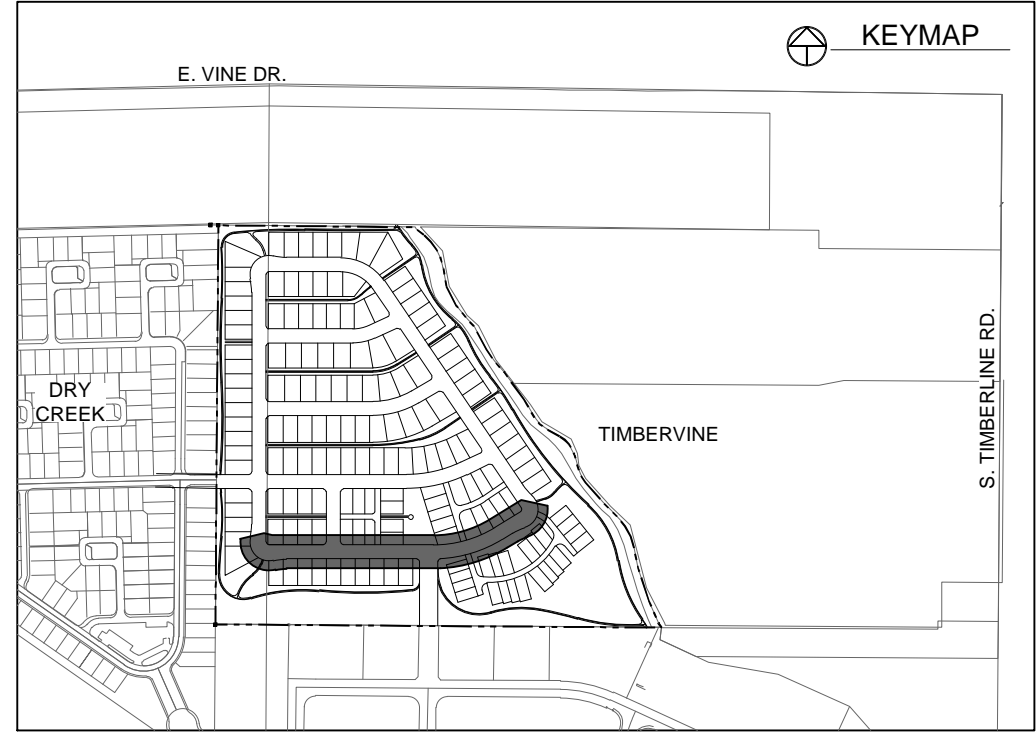
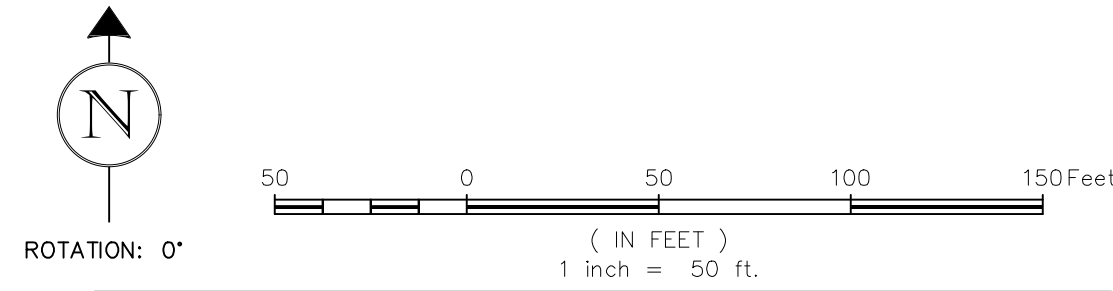
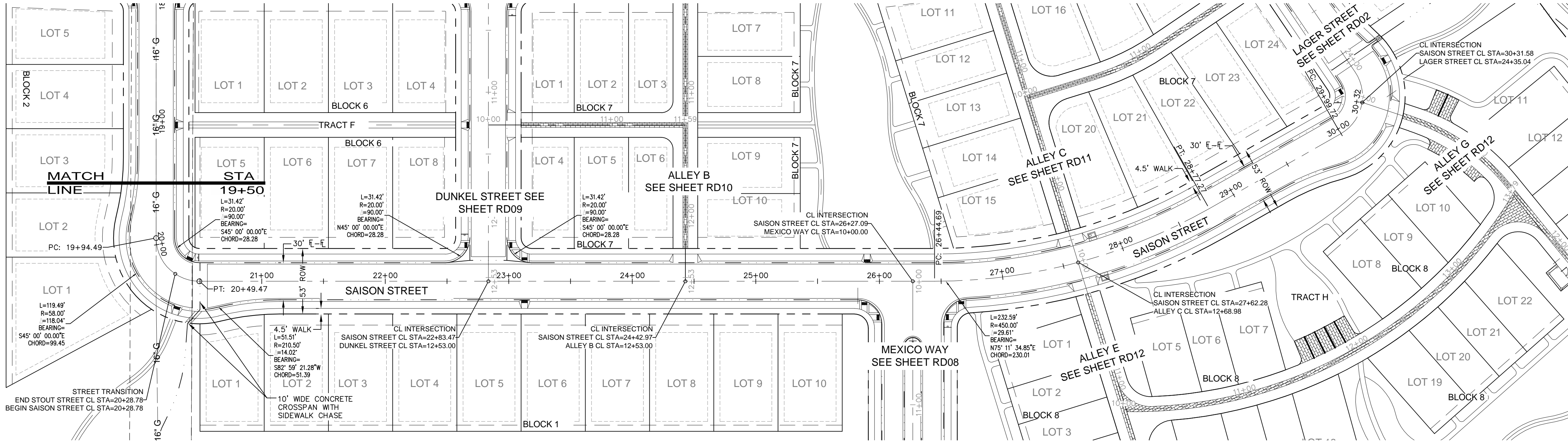
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PROJECT #:	DATE:	DESIGNED BY:	SCALE:
SPLH0001.01	JUNE 18, 2014	J. Allen	1"=50'
DRAWN BY:	REVIEWED BY:		
R. Van Uffelen	R. Van Uffelen		

TIMBERVINE

STOUT STREET

PLAN AND PROFILE



LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPERTY BOUNDARY
- PROPOSED LOT LINE
- EASEMENT LINE
- SAWCUT LINE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET

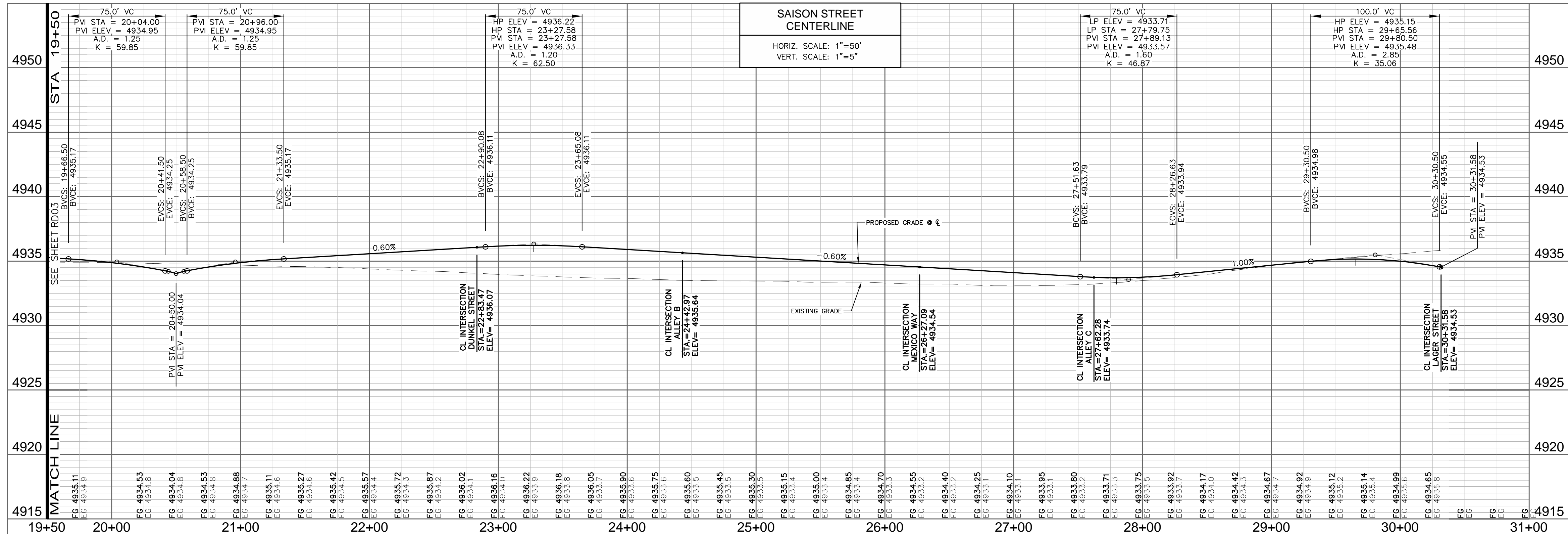
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- PROPOSED CONCRETE CROSSPAN (TYP.)

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

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City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: _____	City Engineer _____ Date _____
CHECKED BY: _____	Water & Wastewater Utility _____ Date _____
CHECKED BY: _____	Stormwater Utility _____ Date _____
CHECKED BY: _____	Parks & Recreation _____ Date _____
CHECKED BY: _____	Traffic Engineer _____ Date _____
CHECKED BY: _____	Environmental Planner _____ Date _____

REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY
1	REVIEW SET	06/18/14		
2	NOT FOR CONSTRUCTION			

SUMMERPARK HOLDINGS, LLC.

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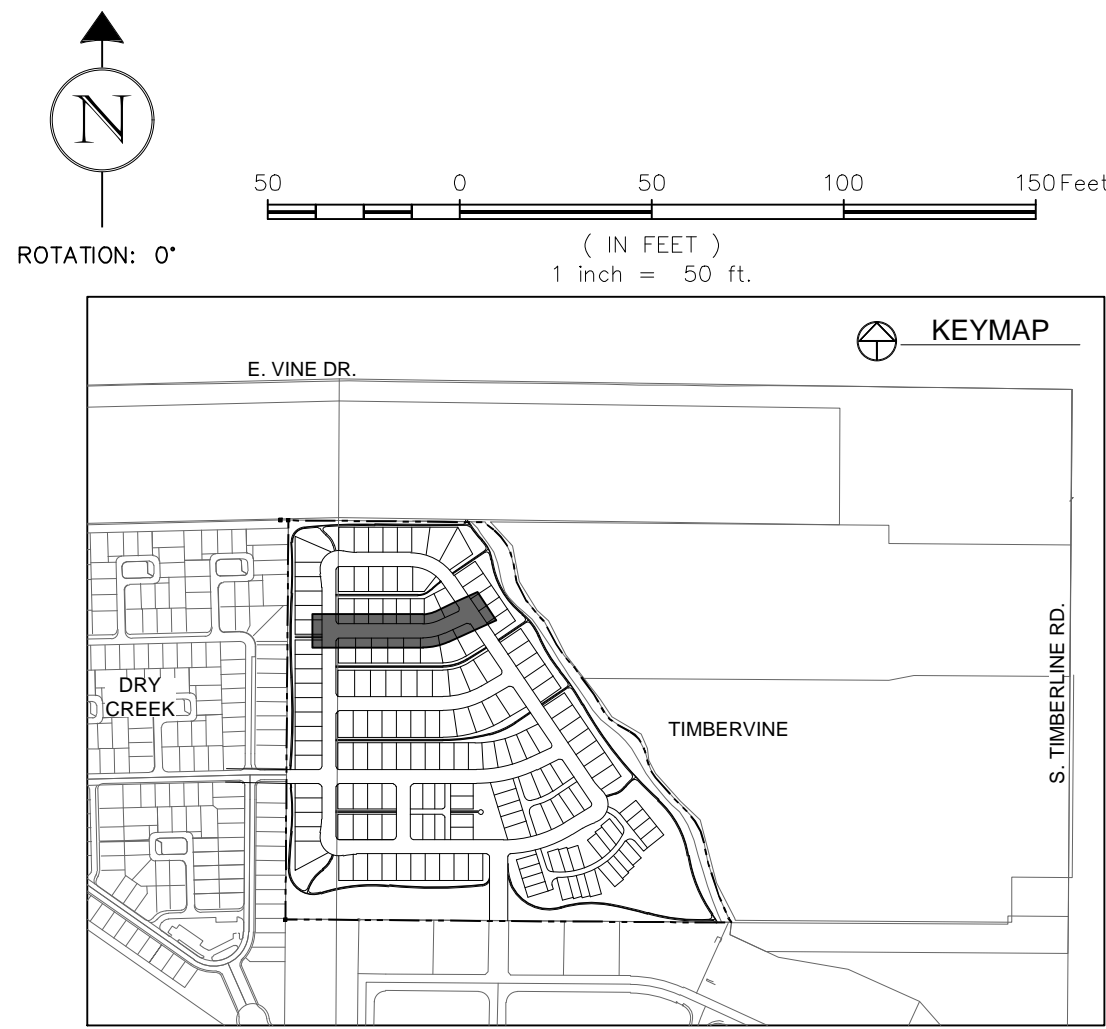
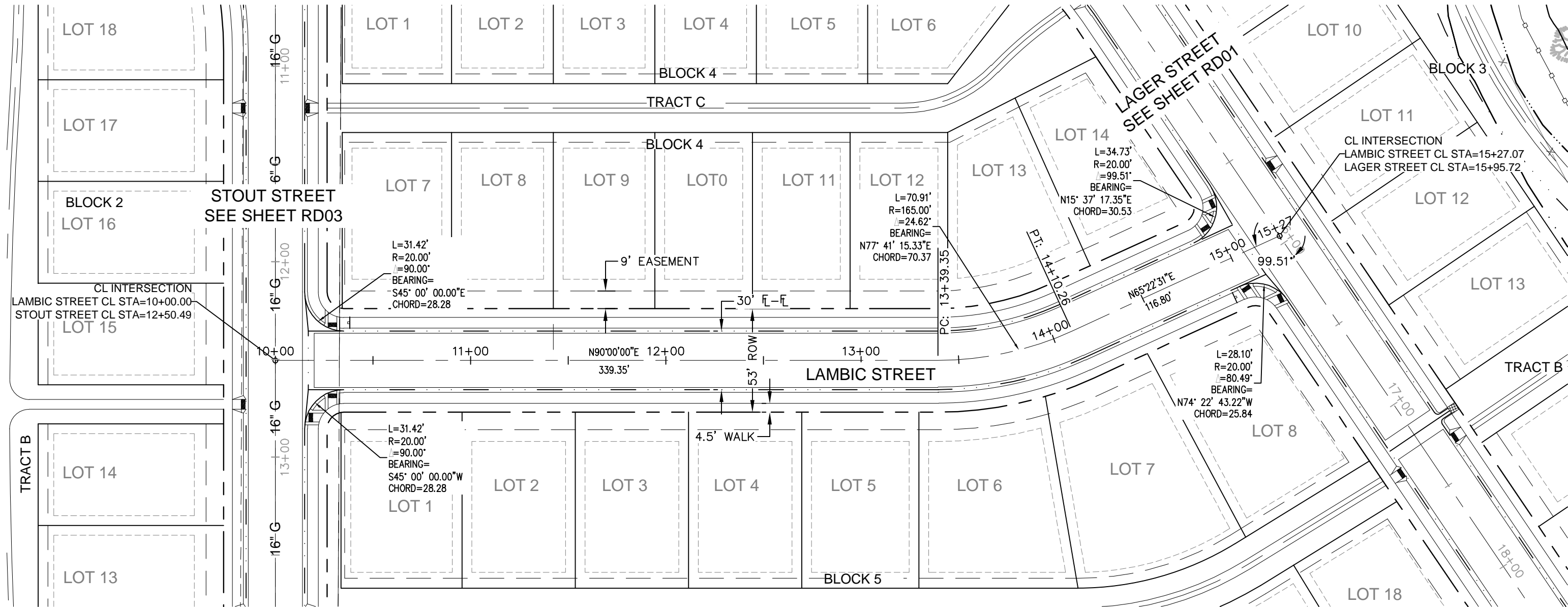
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PROJECT #	DATE	SCALE	DESIGNED BY	DRAWN BY	REVIEWED BY
SPHLV0001.01	JUNE 18, 2014	1"=50'	J. Allen	R. Van Uffelen	

TIMBERVINE

SAISON STREET
PLAN AND PROFILE

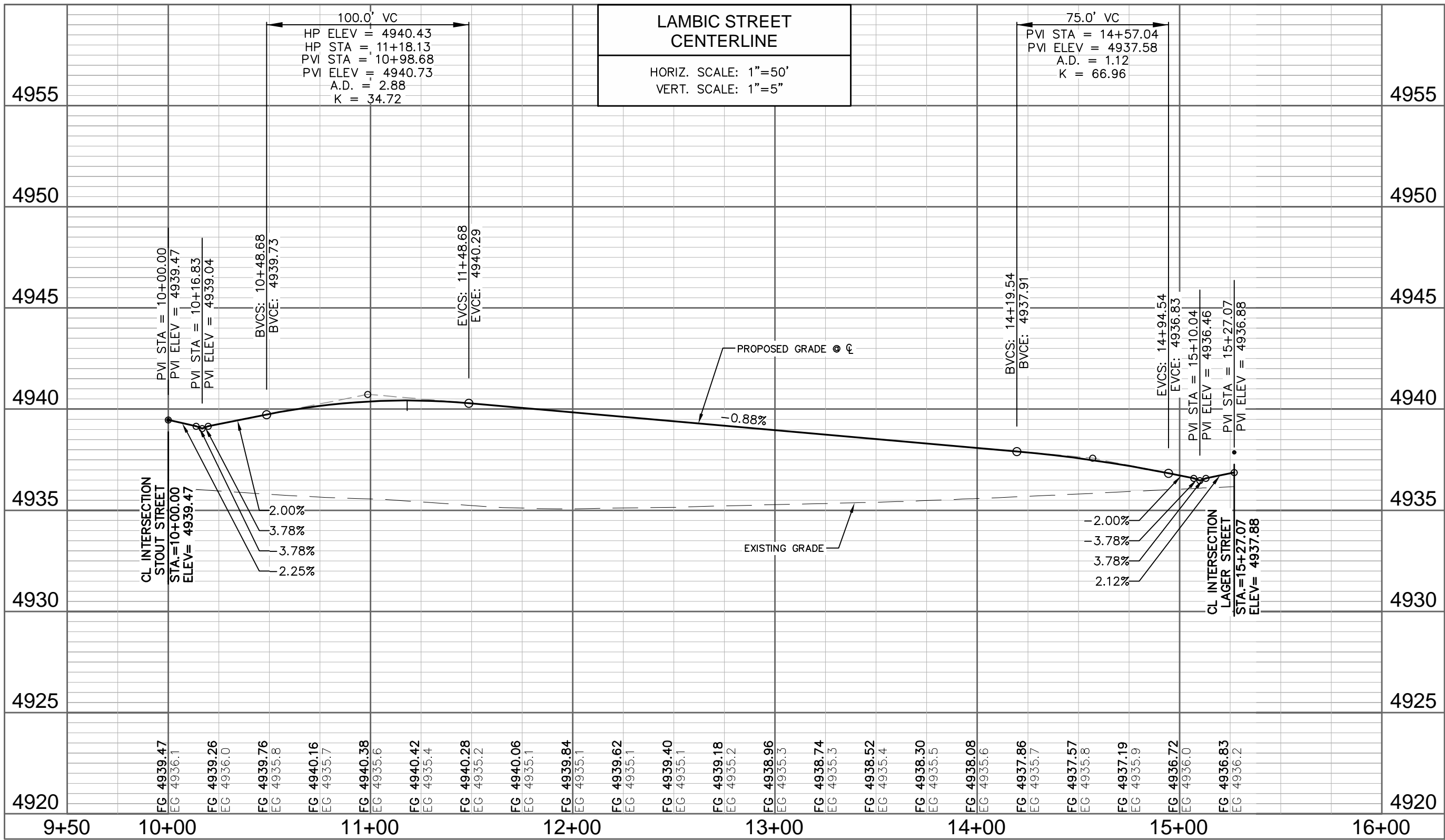


LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
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City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: _____	City Engineer
CHECKED BY: _____	Water & Wastewater Utility
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CHECKED BY: _____	Traffic Engineer
CHECKED BY: _____	Environmental Planner

REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY
1	REVIEW SET	06/18/14			
2	NOT FOR CONSTRUCTION				

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WINDSOR, CO 80550

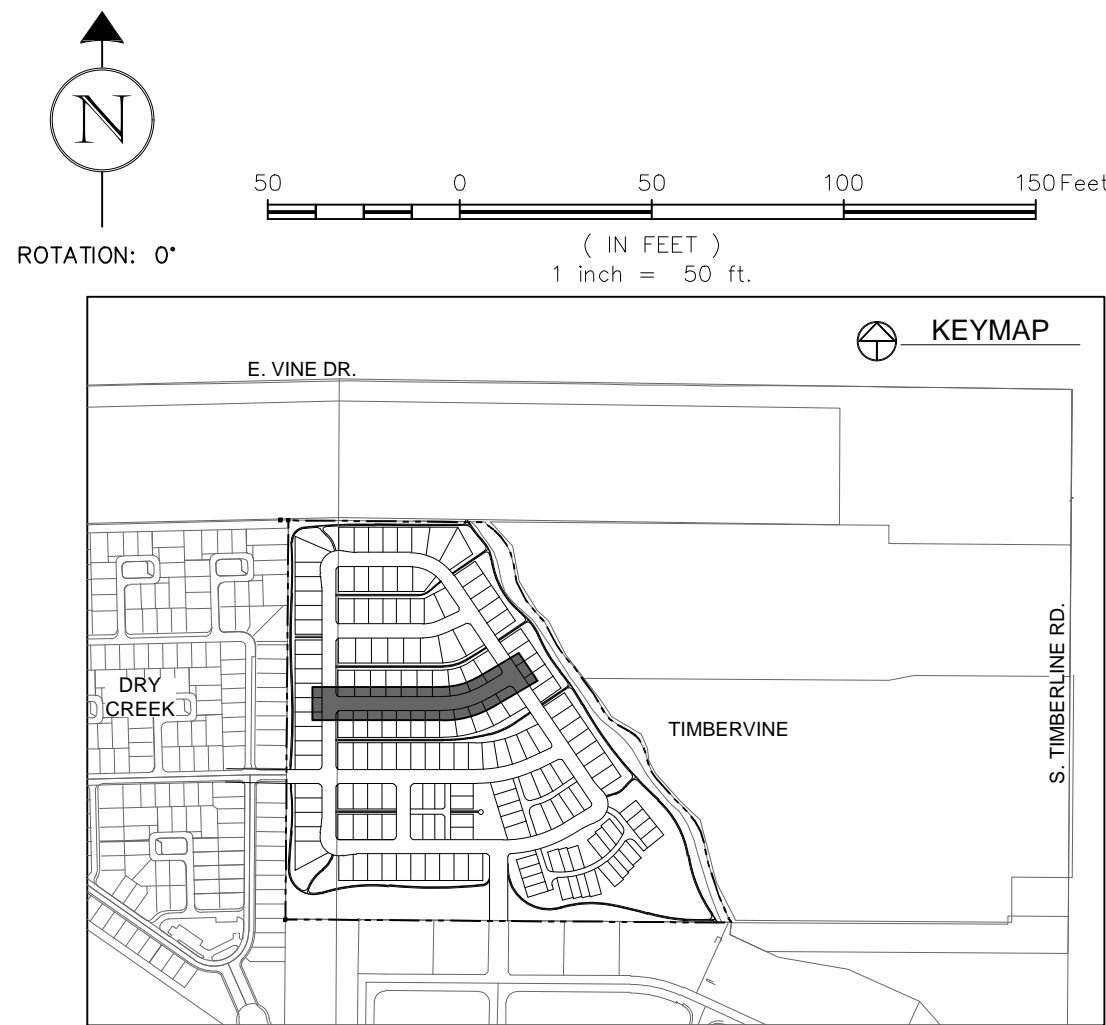
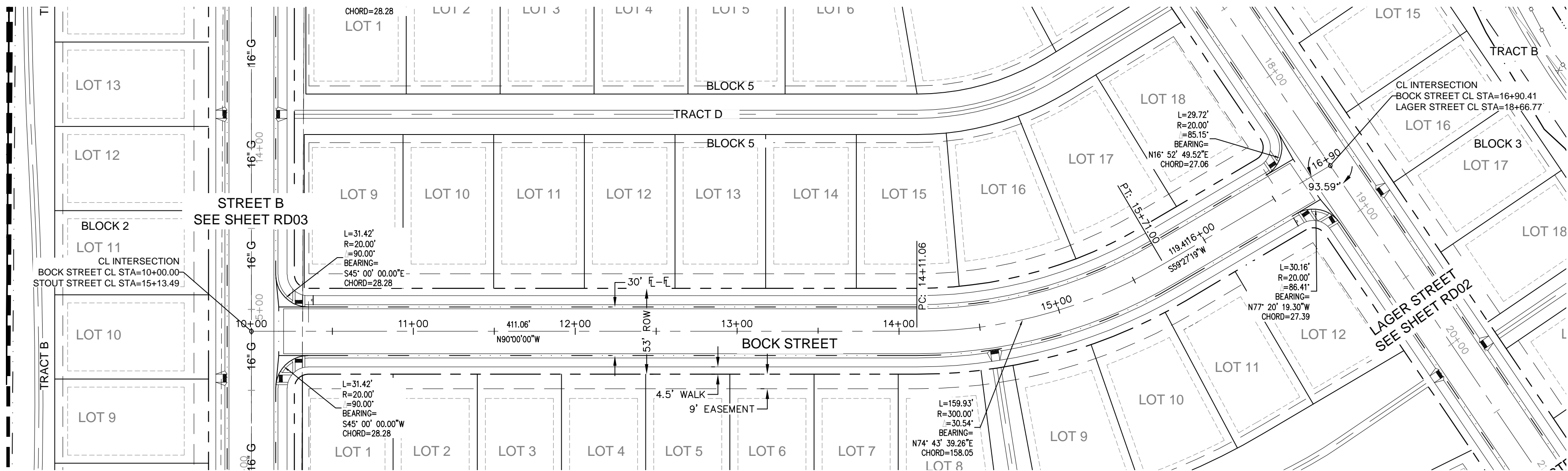
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PROJECT # SPHLV0001.01	DATE JUNE 18, 2014
DESIGNED BY: J. Allen	SCALE: 1"=50'
DRAWN BY: R. Van Uffelen	REVIEWED BY: R. Van Uffelen

TIMBERVINE

LAMBIC STREET
PLAN AND PROFILE

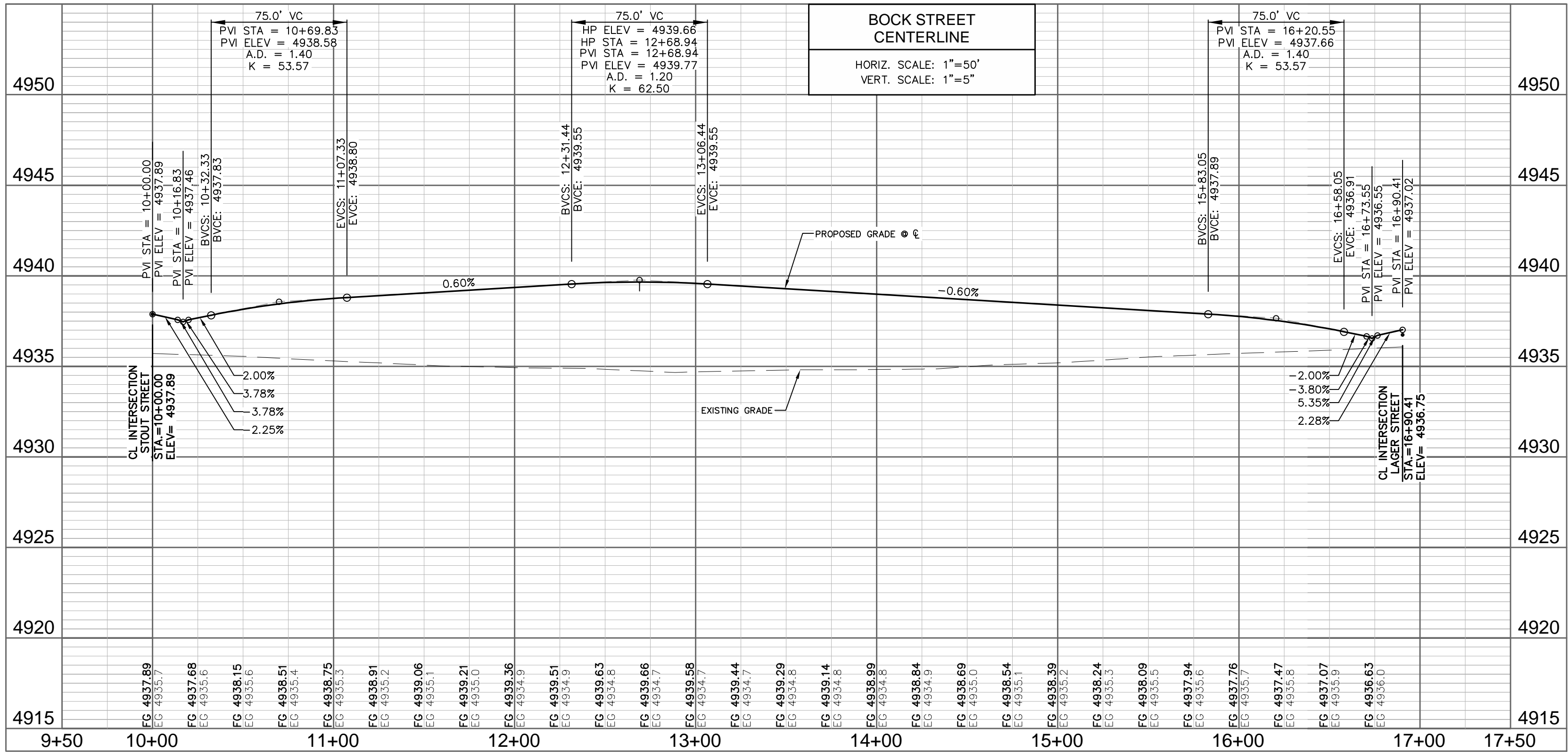


LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
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REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY
1	REVIEW SET	06/18/14			
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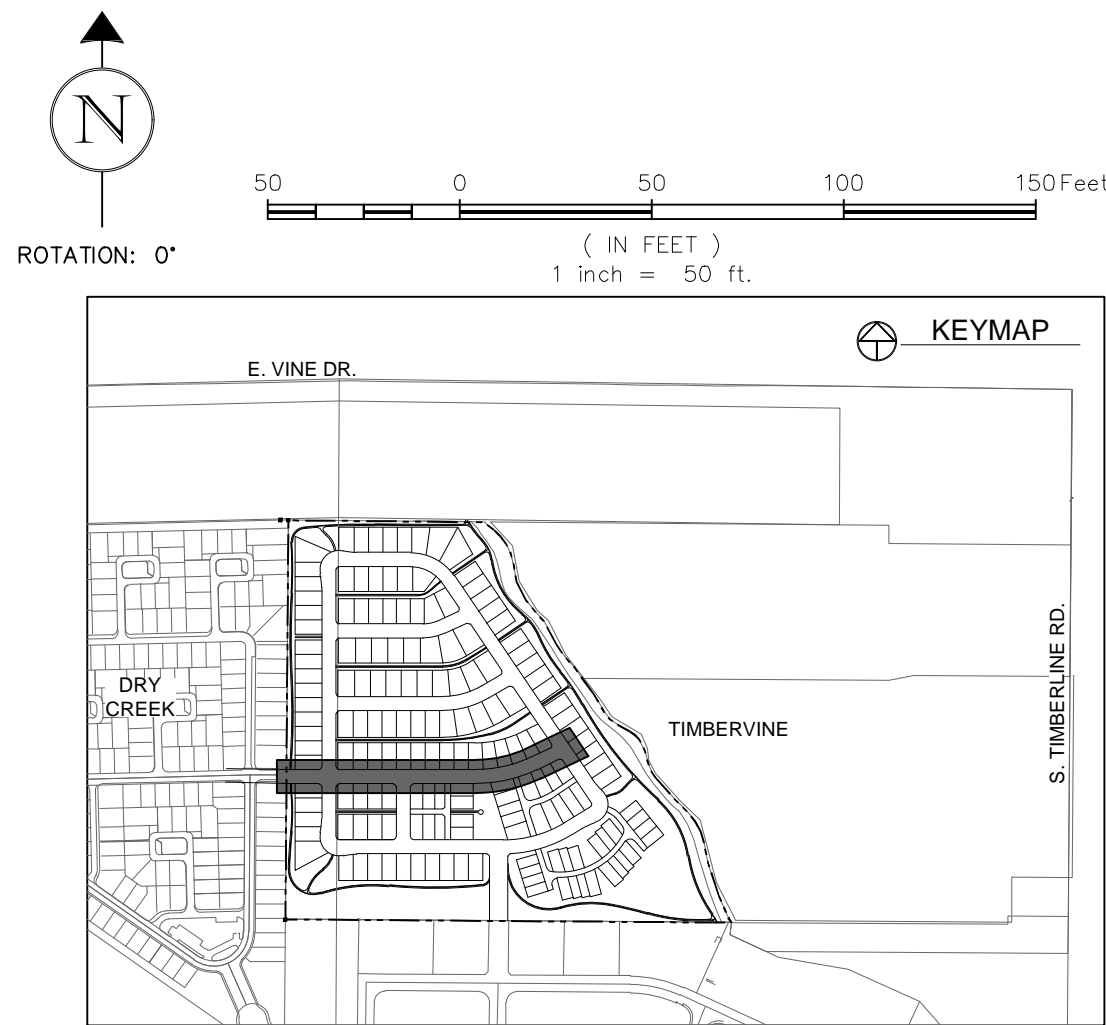
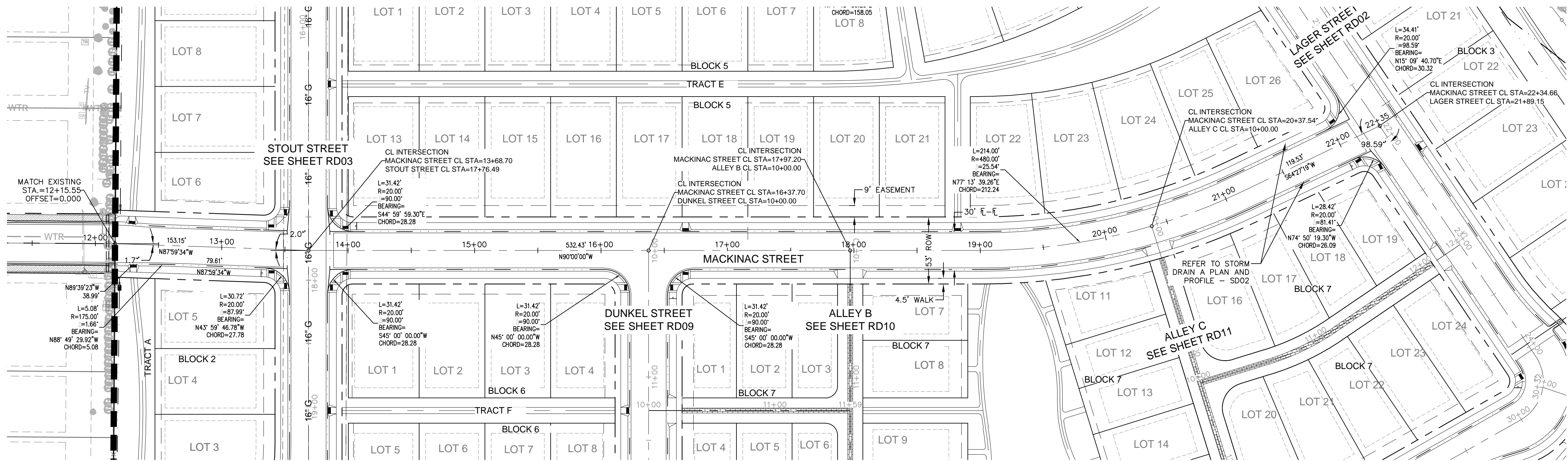
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PROJECT #	DATE	SCALE	DESIGNED BY	REVIEWED BY
SPHL0001.01	JUNE 18, 2014	1"=50'	J. Allen	R. Van Uffelen

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BOCK STREET

PLAN AND PROFILE



LEGEND:

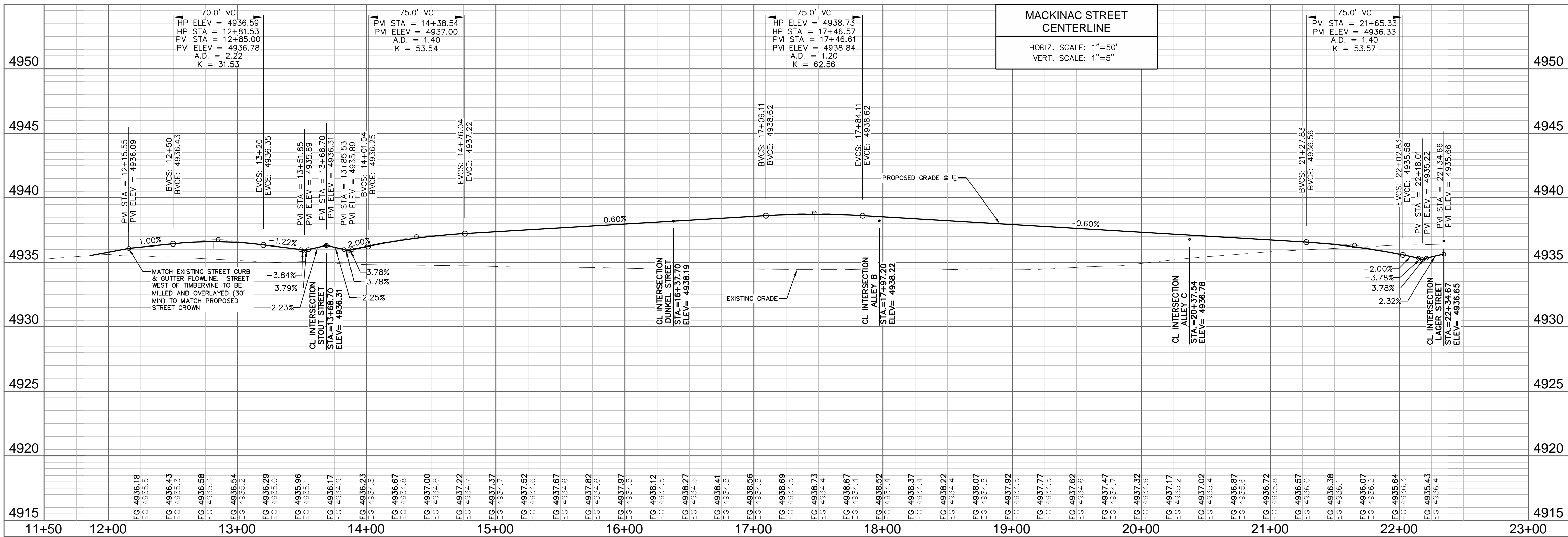
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City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: _____	City Engineer
CHECKED BY: _____	Water & Wastewater Utility
CHECKED BY: _____	Stormwater Utility
CHECKED BY: _____	Parks & Recreation
CHECKED BY: _____	Traffic Engineer
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REV	DESCRIPTION	DATE	BY	CHKD	APPVED
1	REVISION	06/18/14	REV	CHKD	APPVED

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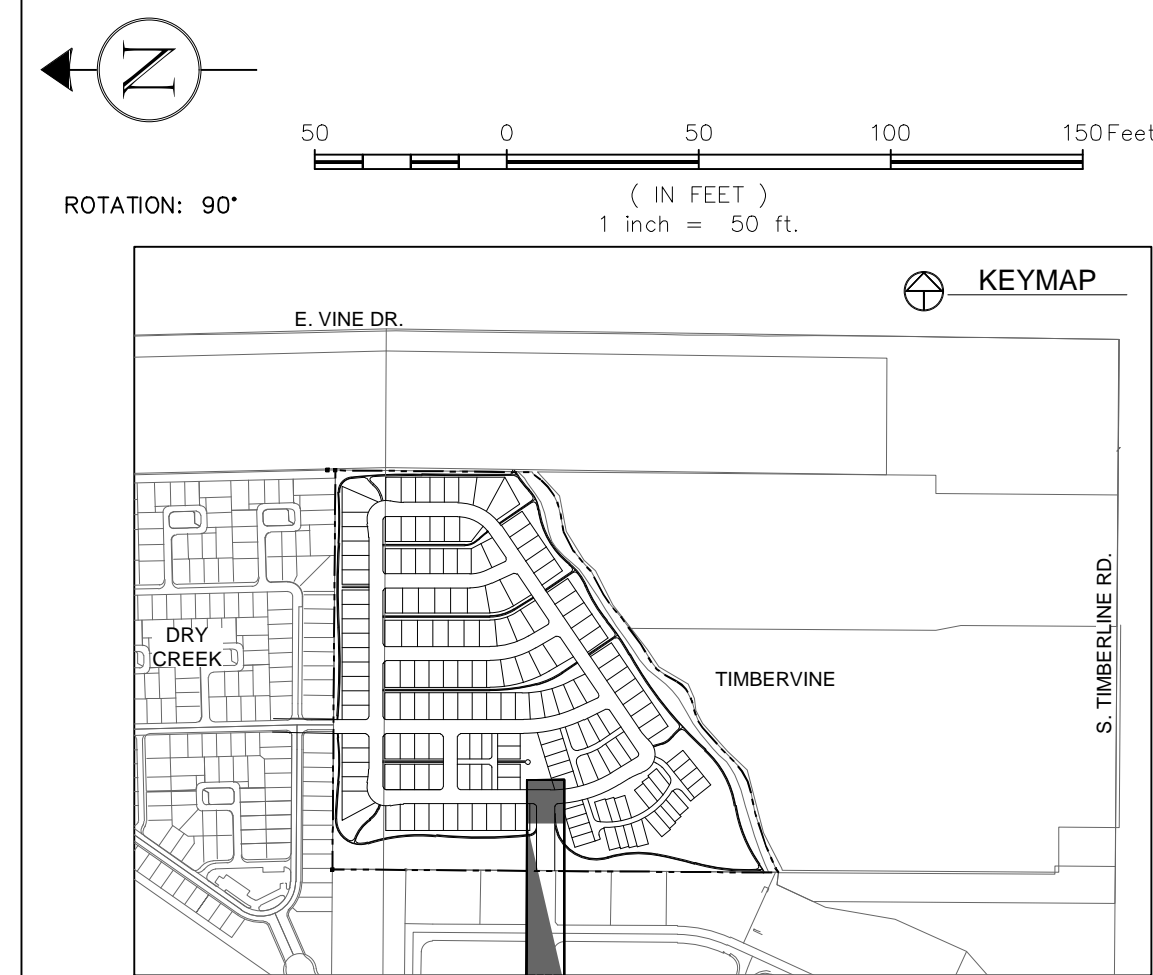
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WINDSOR, CO 80550

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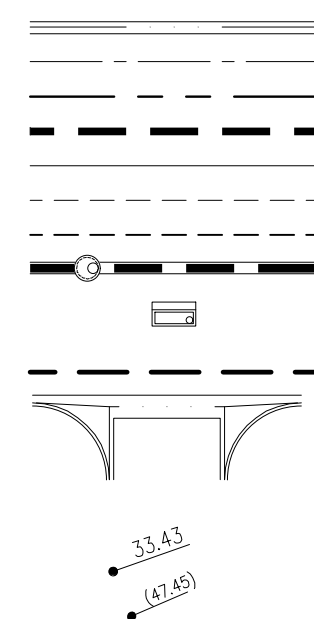
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PROJECT #	DATE	DESIGNED BY	SCALE	REVIEWED BY
SPHL0001.01	JUNE 18, 2014	J. Allen	1"=50'	R. Van Uffelen

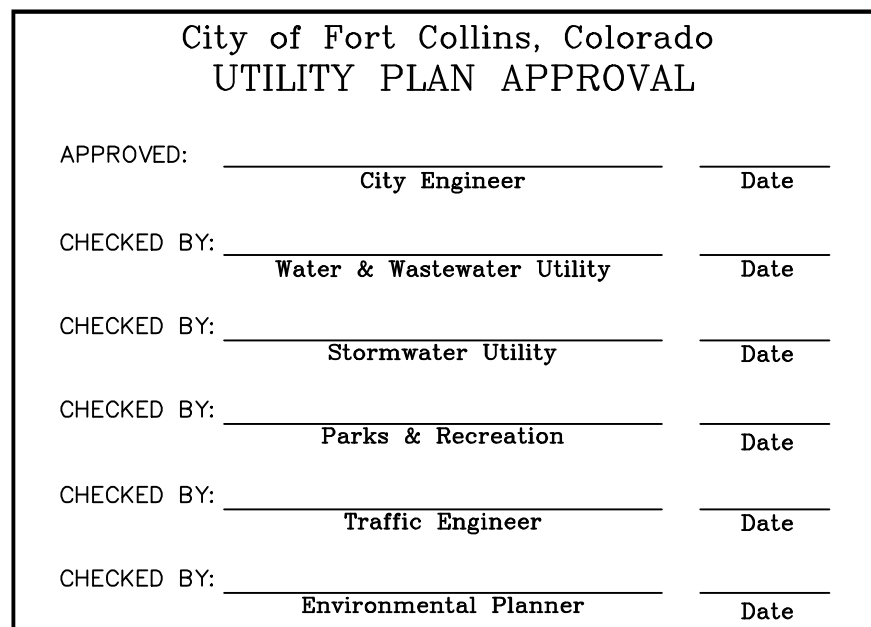
TIMBERVINE
MACKINAC STREET
PLAN AND PROFILE

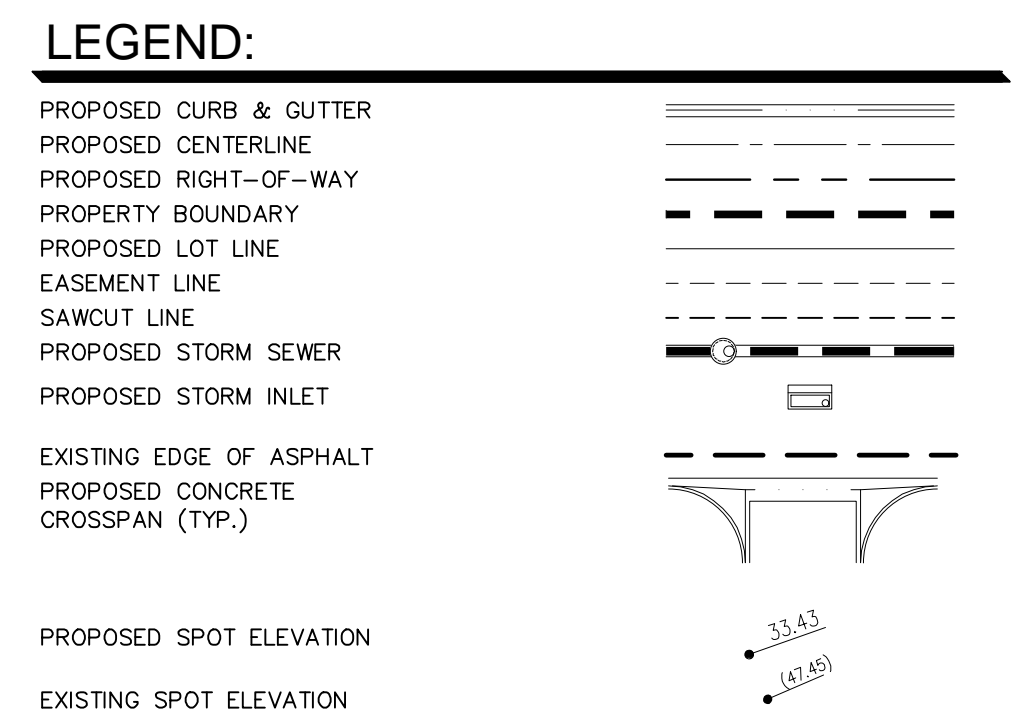
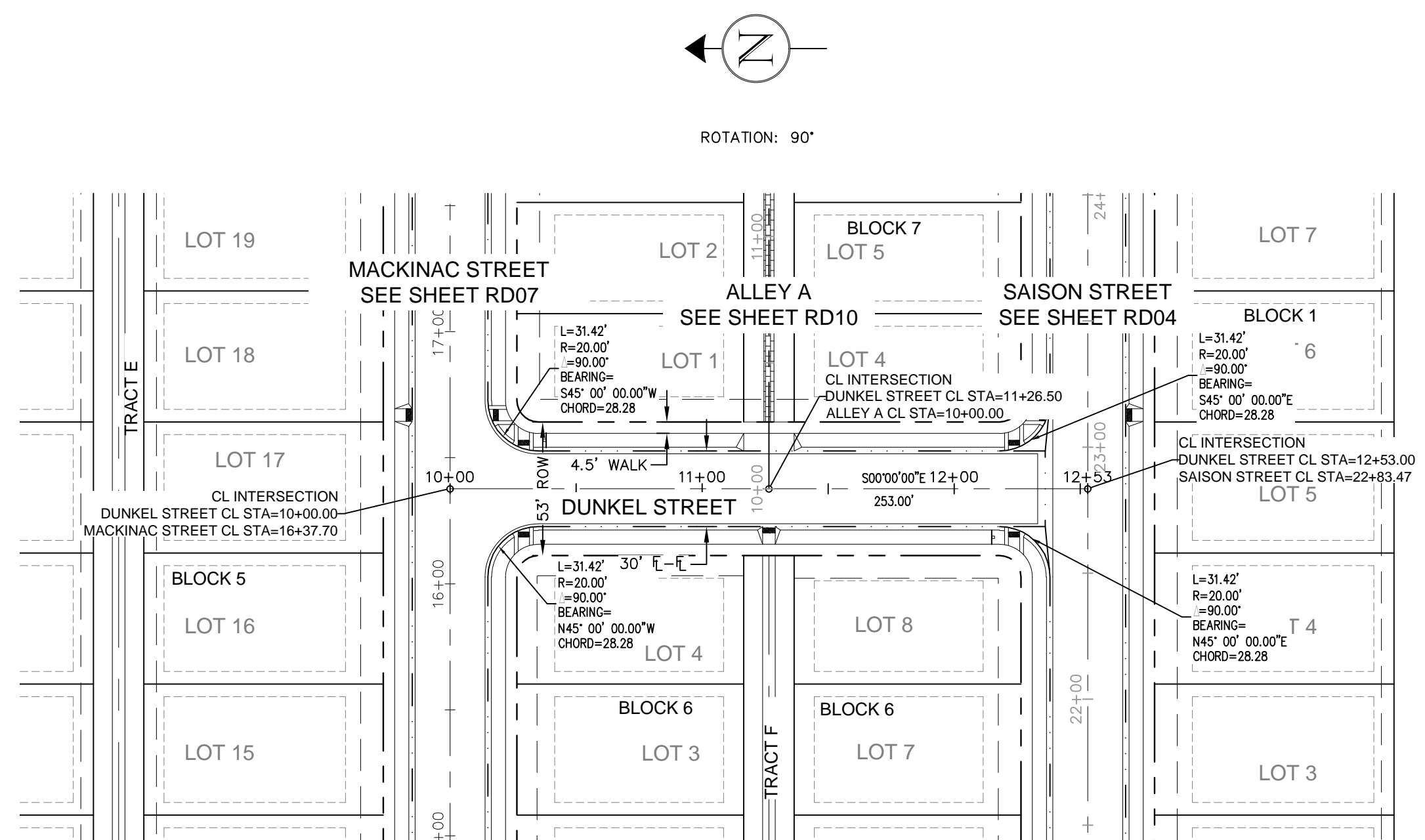


PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
PROPERTY BOUNDARY
PROPOSED LOT LINE
EASEMENT LINE
SAWCUT LINE
PROPOSED STORM SEWER
PROPOSED STORM INLET



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3. MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO 1/4" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
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7. SEE SCHEDULE CVO1 FOR TYPICAL SECTIONS.
8. ALL ELEVATIONS ARE AT THE FLOWLINE OF CURB AND GUTTER OR BACK OF SIDEWALK UNLESS NOTED OTHERWISE ON THE PLANS.
9. PCR INFORMATION IS PROVIDED FOR FLOWLINE.
10. SEE RDXH-RDXH FOR INTERSECTION DETAILS.
11. ALL SPOTS ARE AT FLOW LINE UNLESS NOTED OTHERWISE.
12. ELEVATIONS SHOWN HAVE BEEN ABBREVIATED. THE ENTIRE ELEVATION IS THE ELEVATION SHOWN, PLUS 4800 OR 4900 FEET (96.97 = 4896.97 AND OR 00.71 = 4900.71).

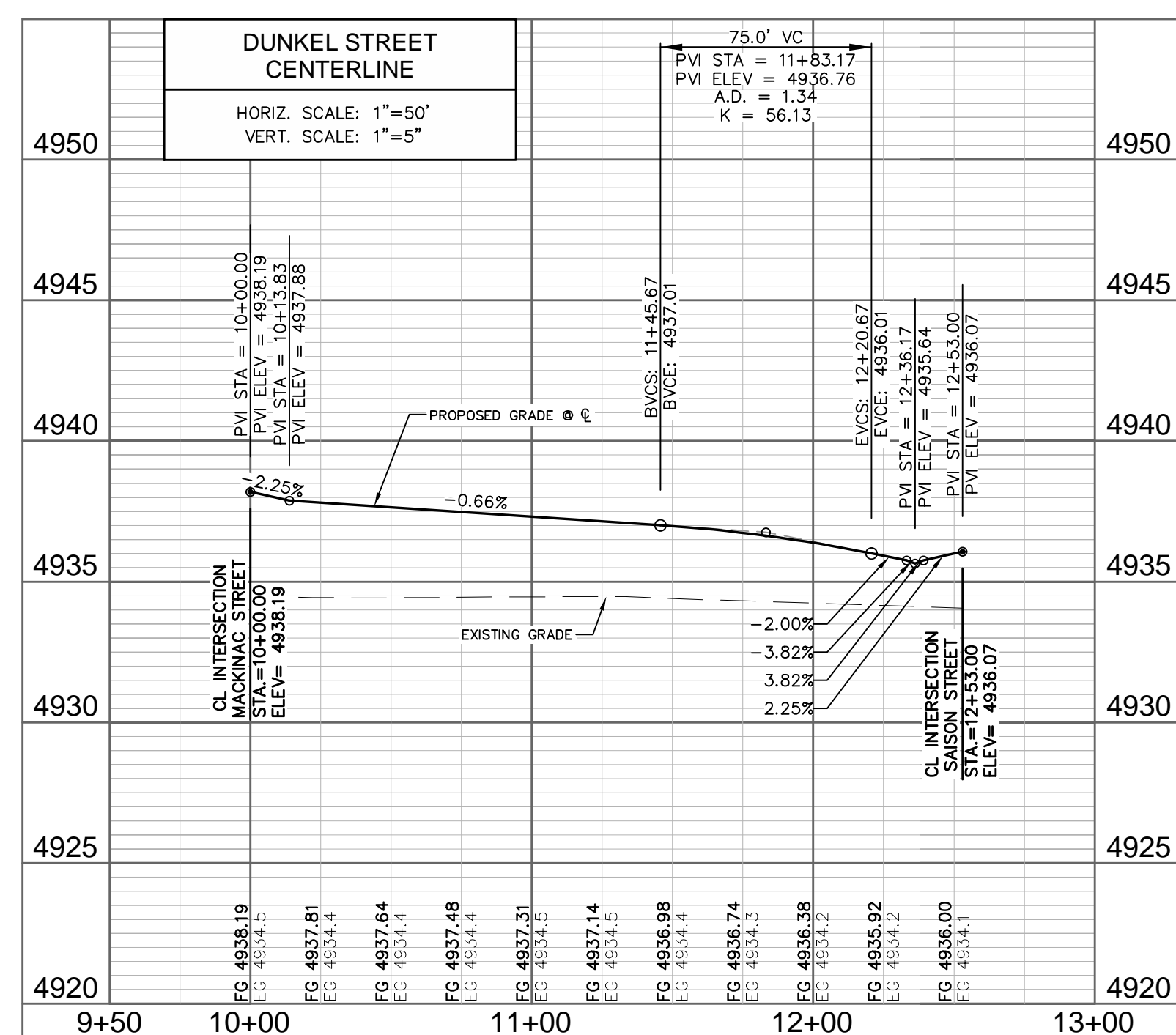




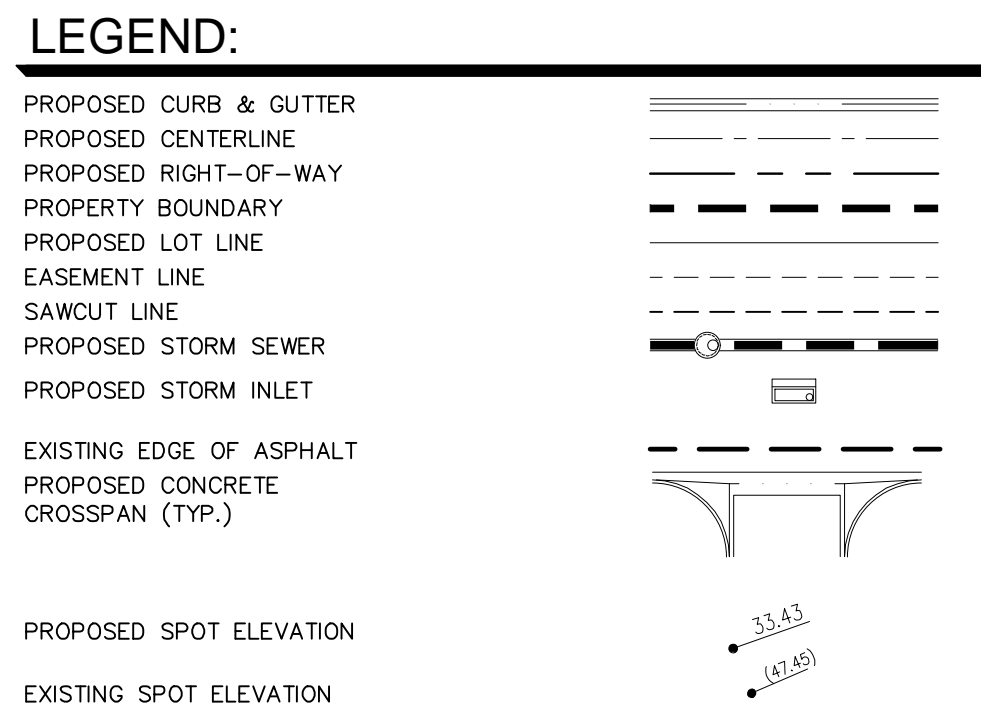
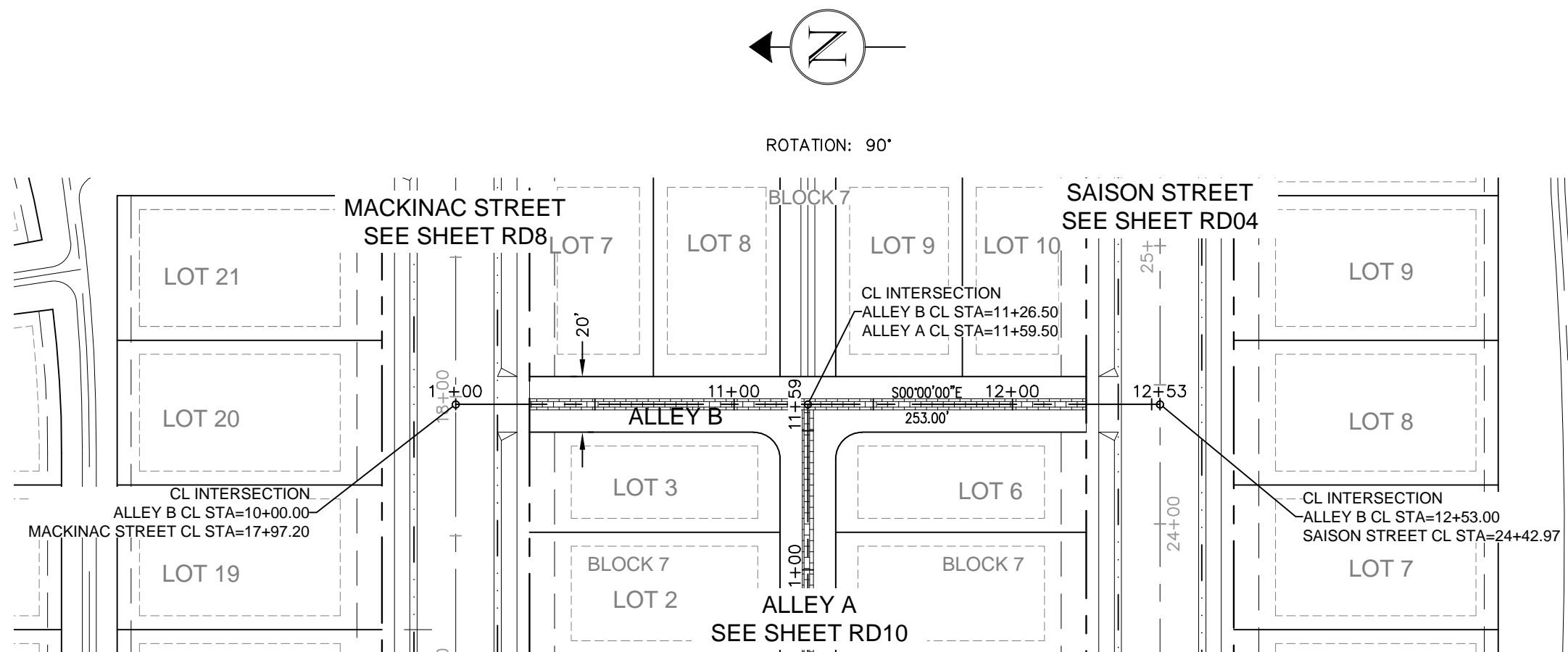
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PROPOSED CENTERLINE
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PROPERTY BOUNDARY
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EXISTING EDGE OF ASPHALT
PROPOSED CONCRETE
CROSSSPAN (TYP.)

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City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY:	_____	_____
	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date



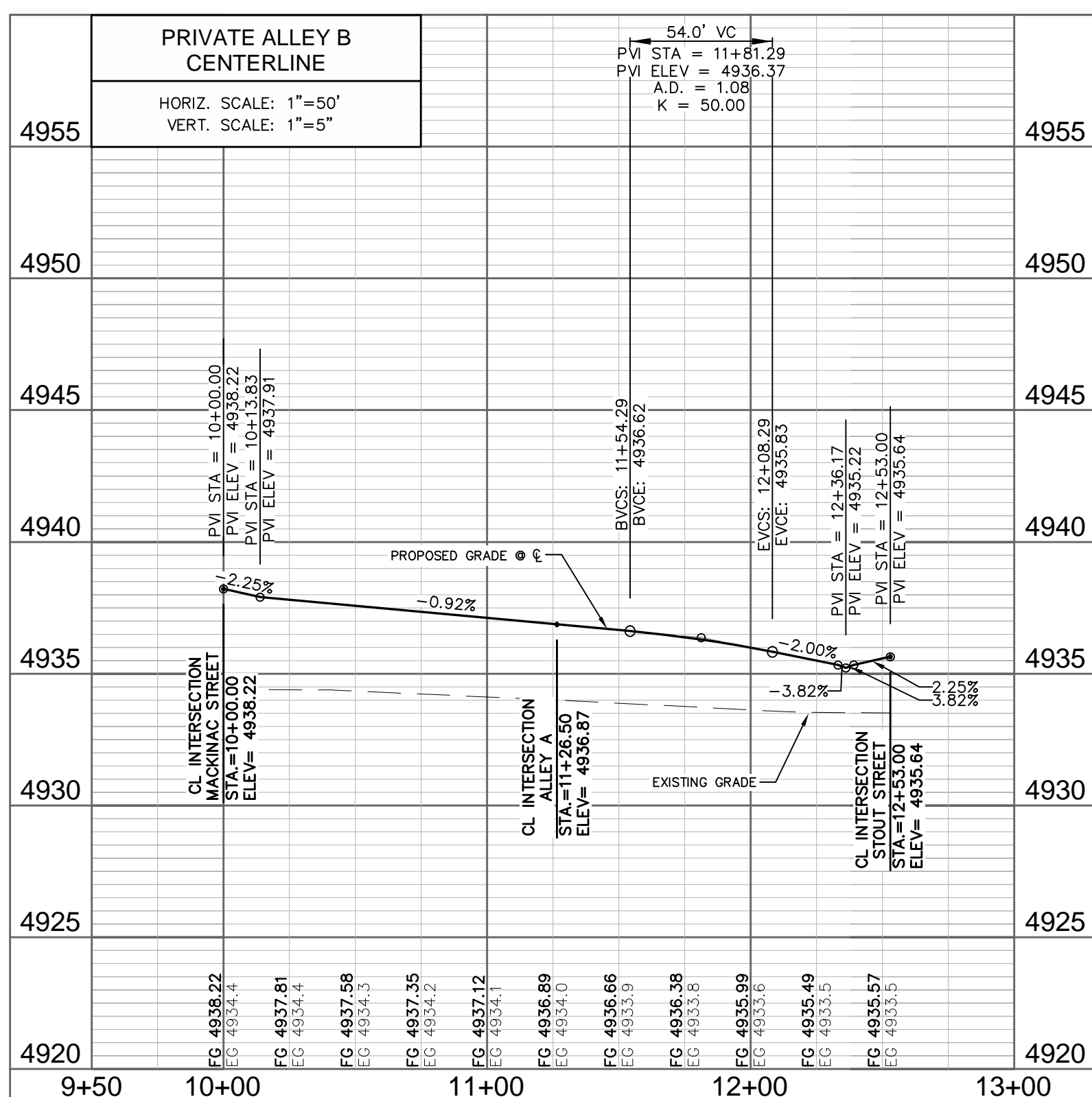
PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
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CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date

**SUMMERPARK
HOLDINGS, LLC.**

**HARTFORD
COMPANIES**

**1218 WEST ASH STREET,
SUITE A
WINDSOR, CO 80550**

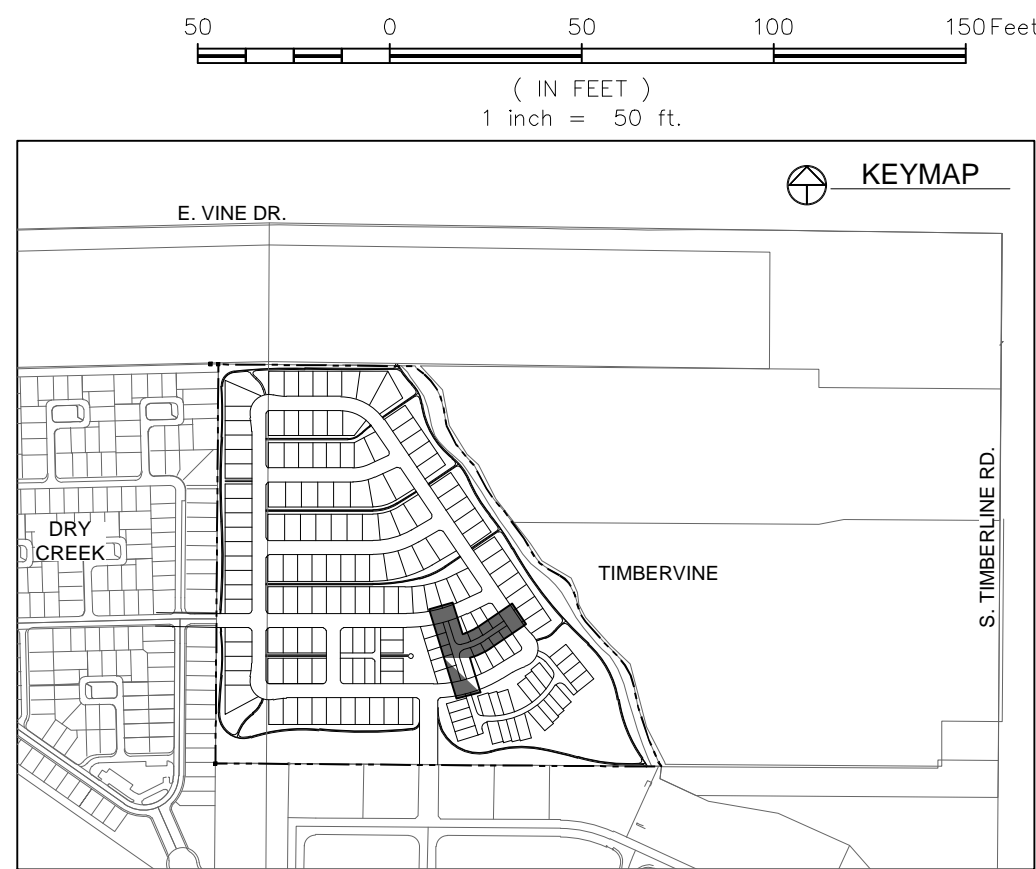
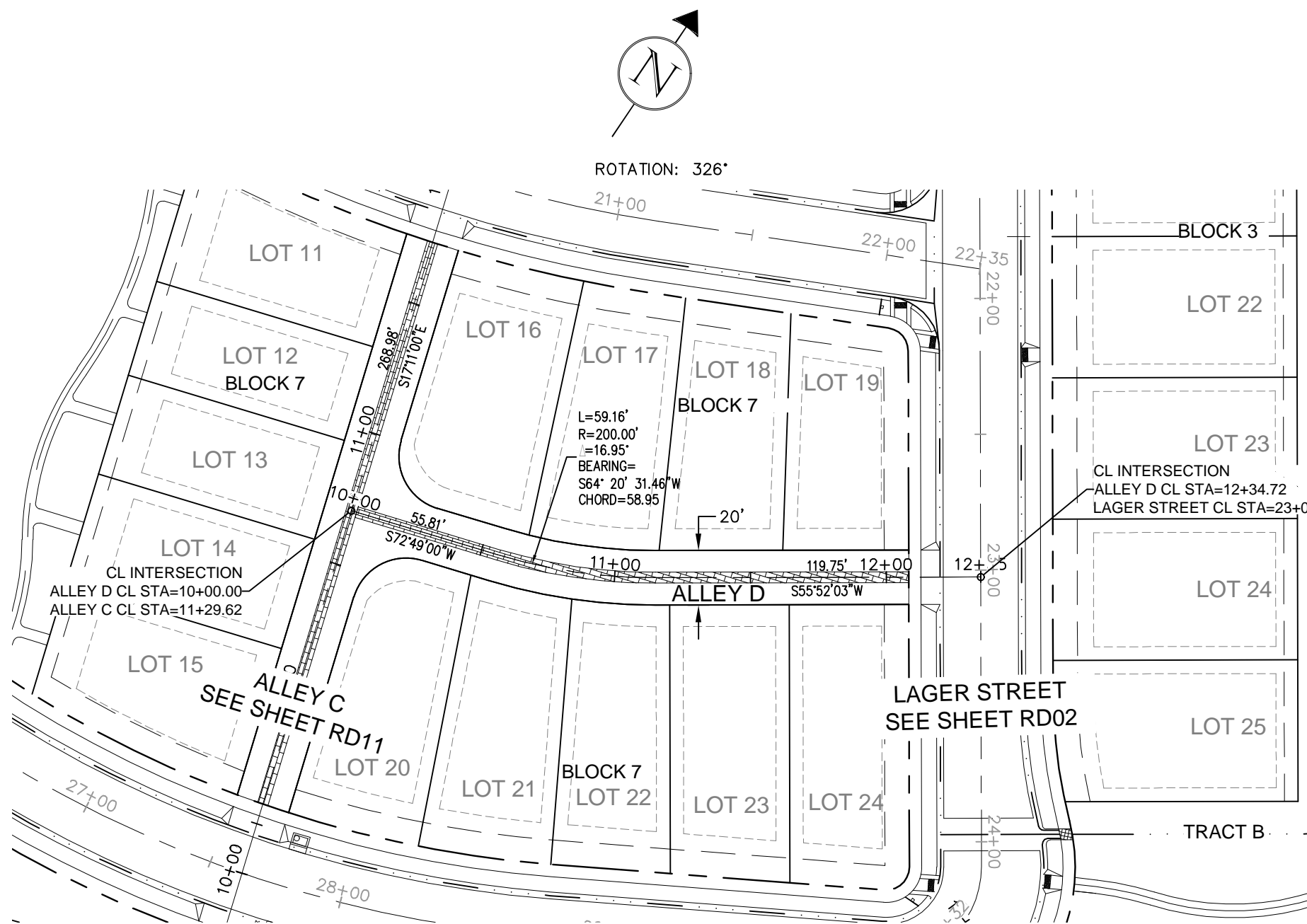
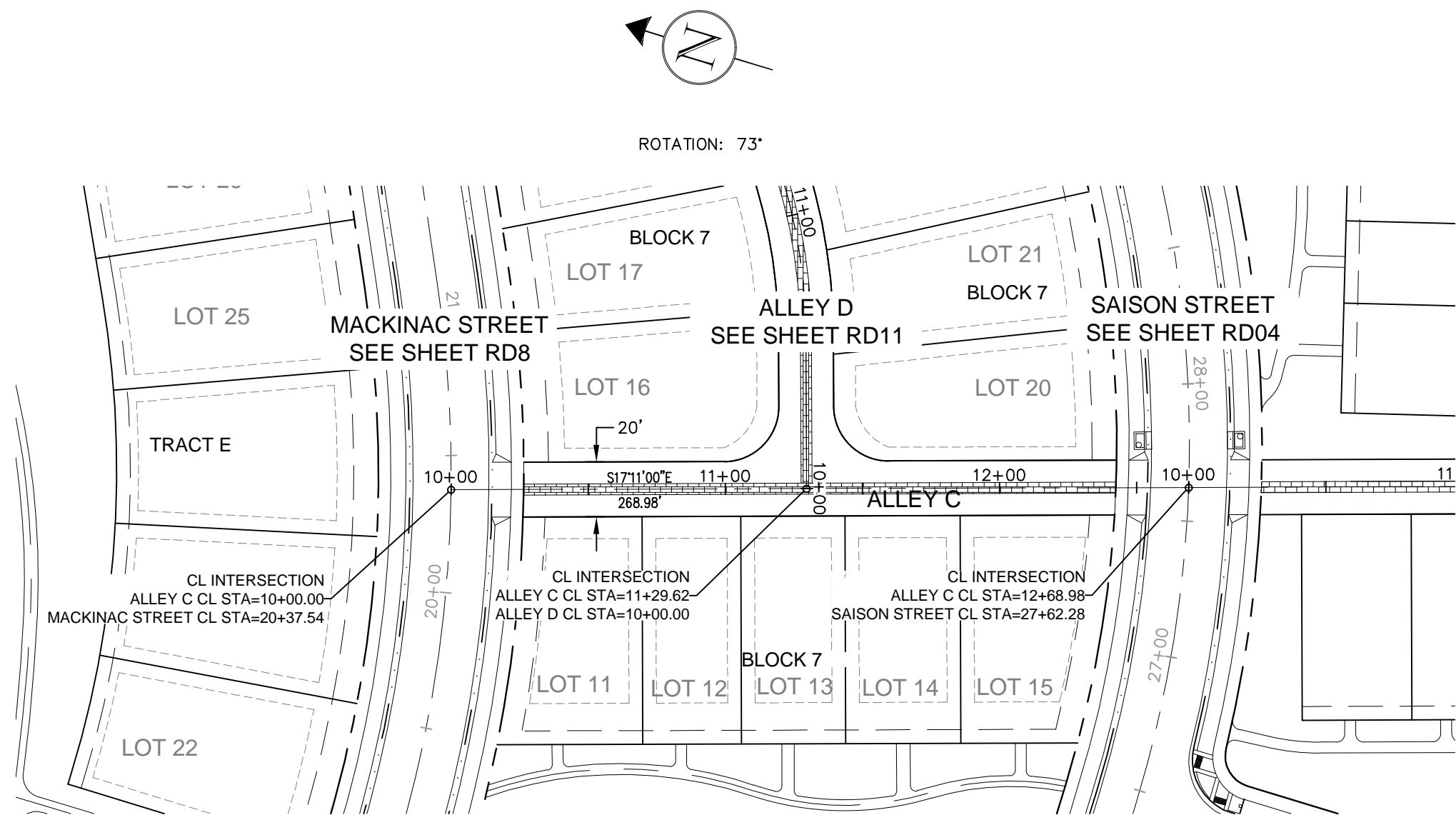
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Galloway
Planning, Architecture, Engineering
3760 E. 15th Street, Suite 202
Loveland, CO 80538
303.770.6884
303.770.6886
303.770.6888
info@gallowayinc.com
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PROJECT #: SPHLV0001.01	DATE: JUNE 18, 2014
DESIGNED BY: J. Allen	SCALE: 1"=50'
DRAWN BY: J. Allen	REVIEWED BY: R. Van Uffelen

TIMBERVINE
ALLEY A AND ALLEY B PLAN AND PROFILE

Sheet
RD10
Of 41 Sheets



LEGEND:

PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
PROPERTY BOUNDARY
PROPOSED LOT LINE
EASEMENT LINE
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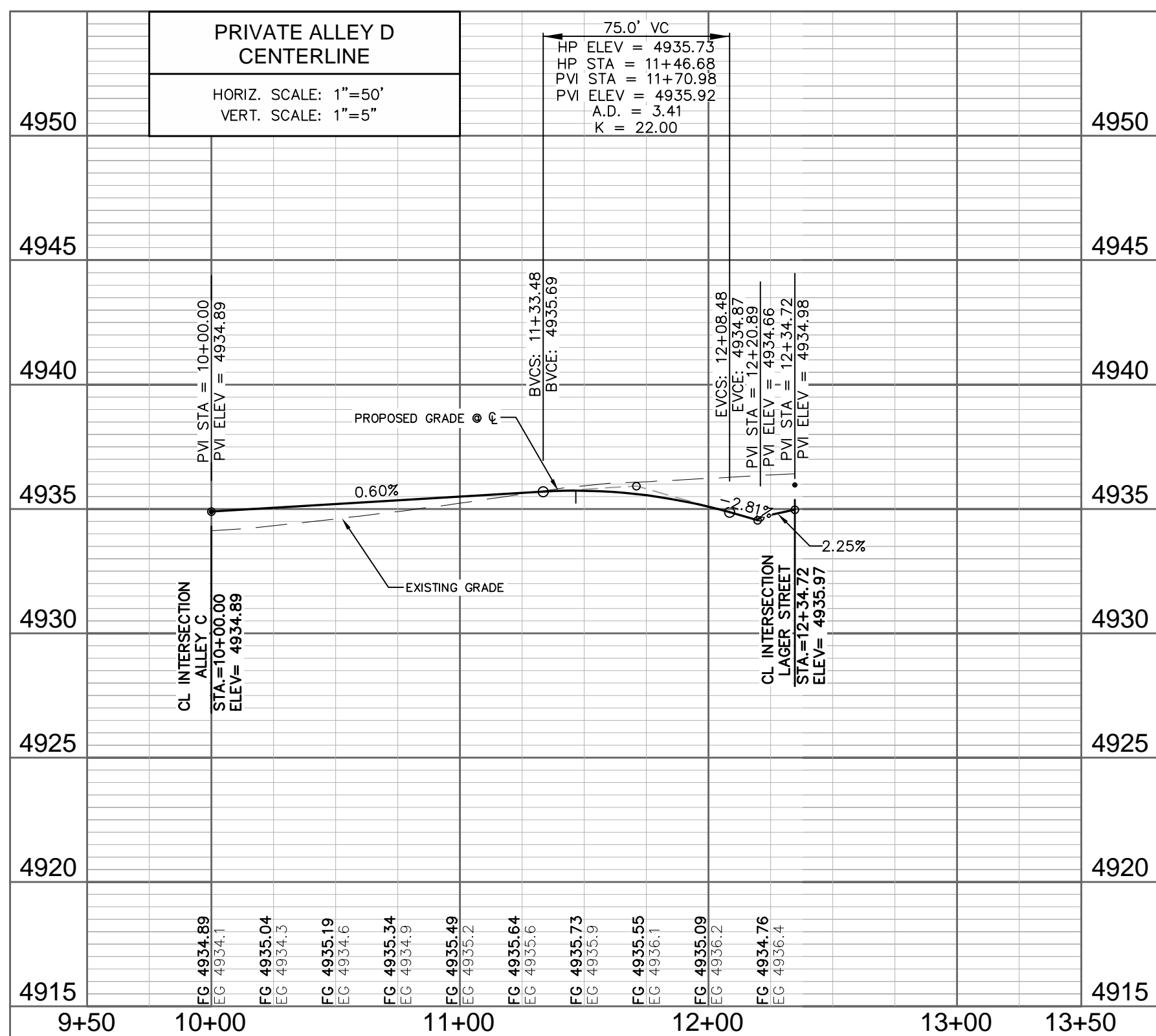
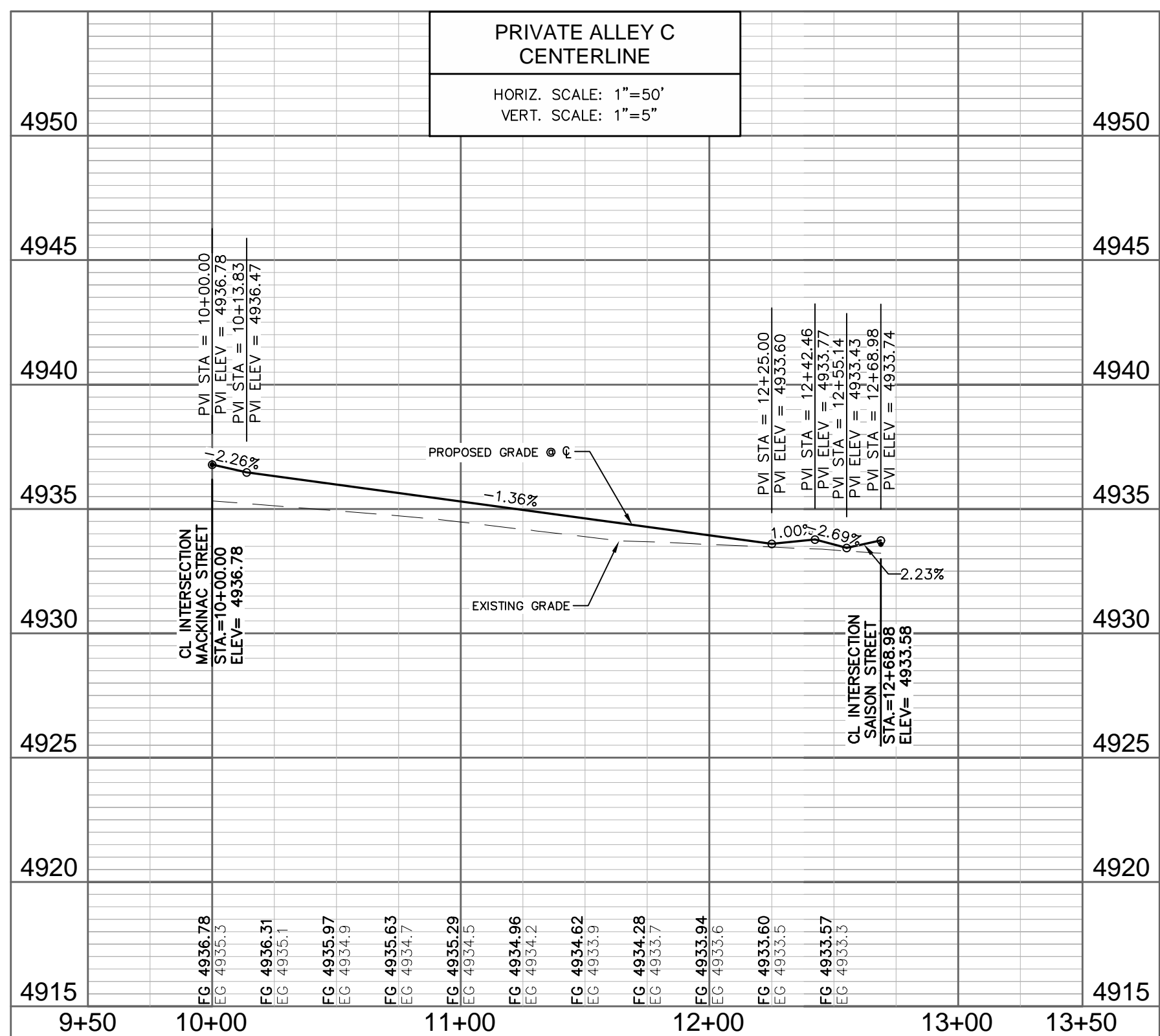
EXISTING EDGE OF ASPHALT
PROPOSED CONCRETE
CROSSSPAN (TYP.)

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

REV	REVISION DESCRIPTION	DATE	CHANGED BY	DESIGNED BY	APPROVED BY
1	REVIEW SET	06/18/14			
2	NOT FOR CONSTRUCTION	06/18/14			

SUMMERPARK HOLDINGS, LLC.

1218 WEST ASH STREET, WINDSOR, CO 80550

1218 WEST ASH STREET, WINDSOR, CO 80550

Galloway Planning, Architecture, Engineering

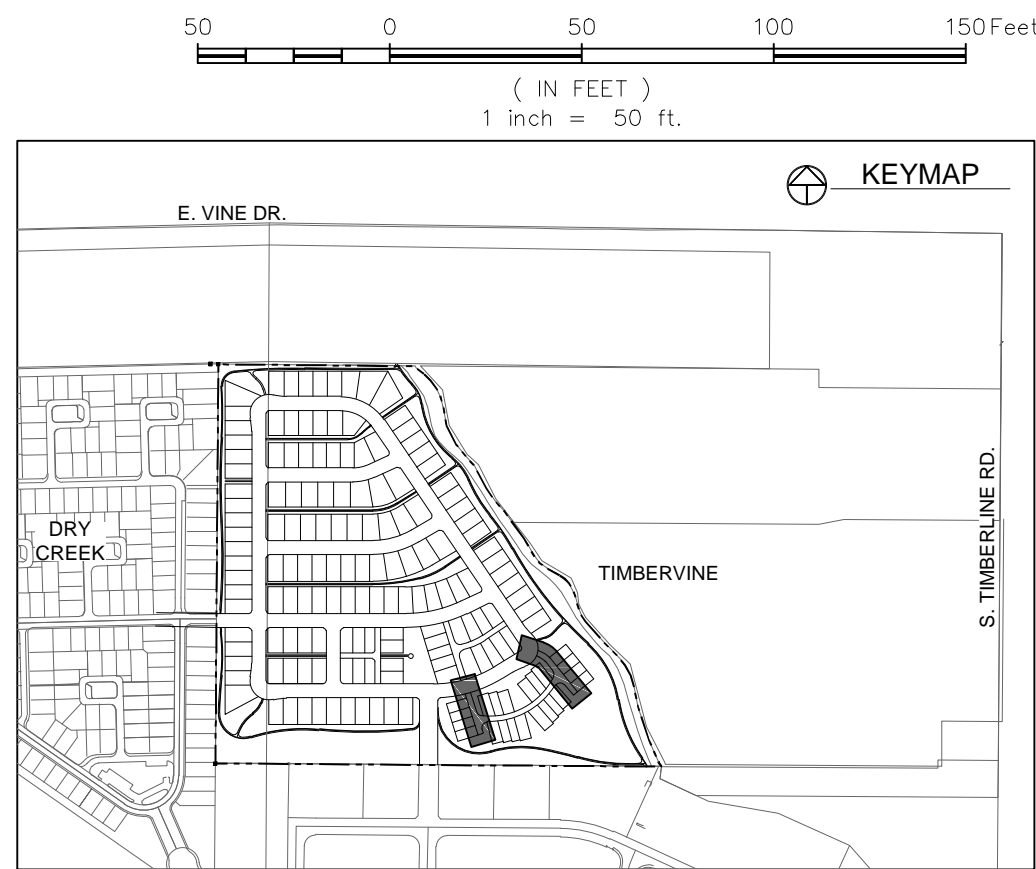
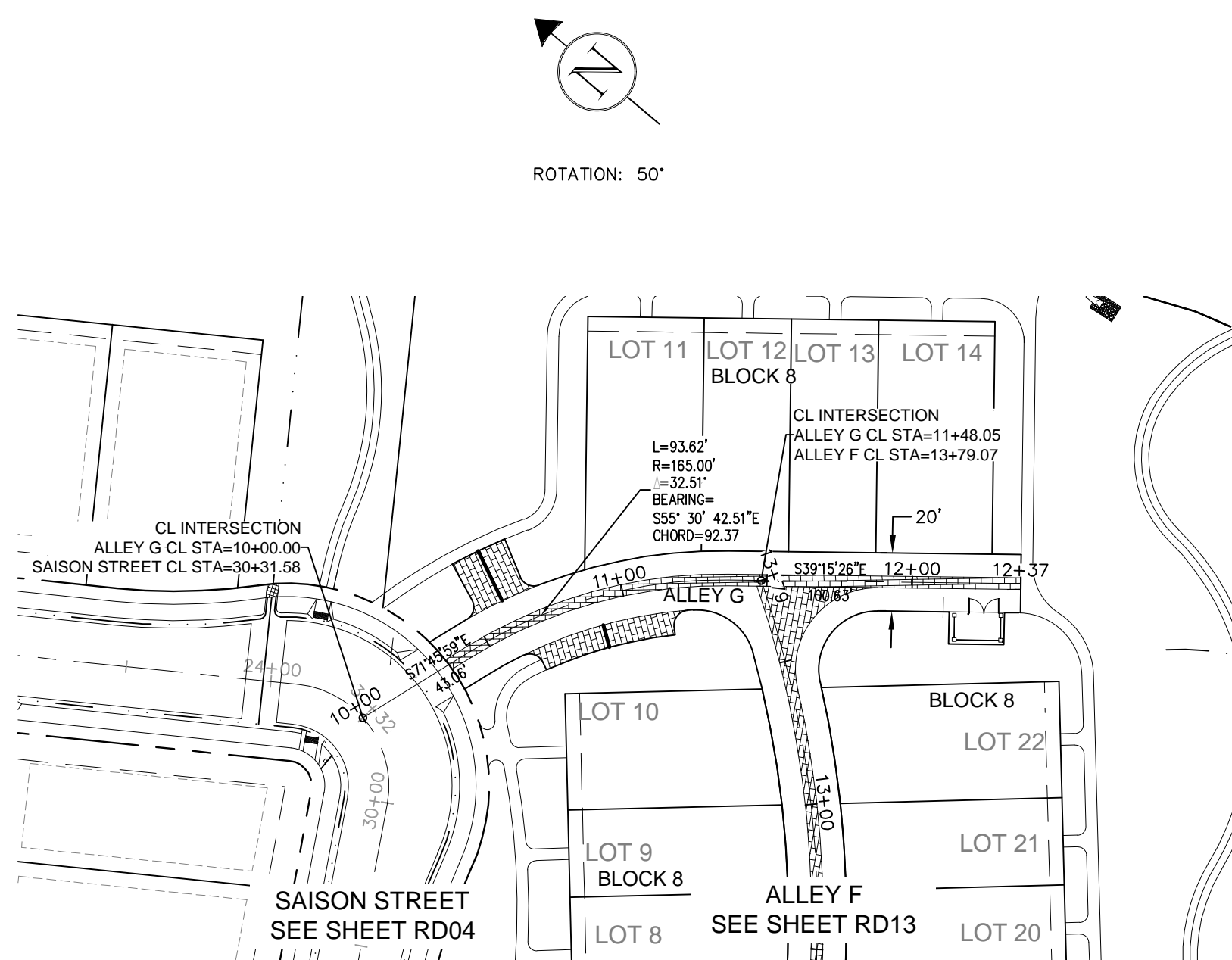
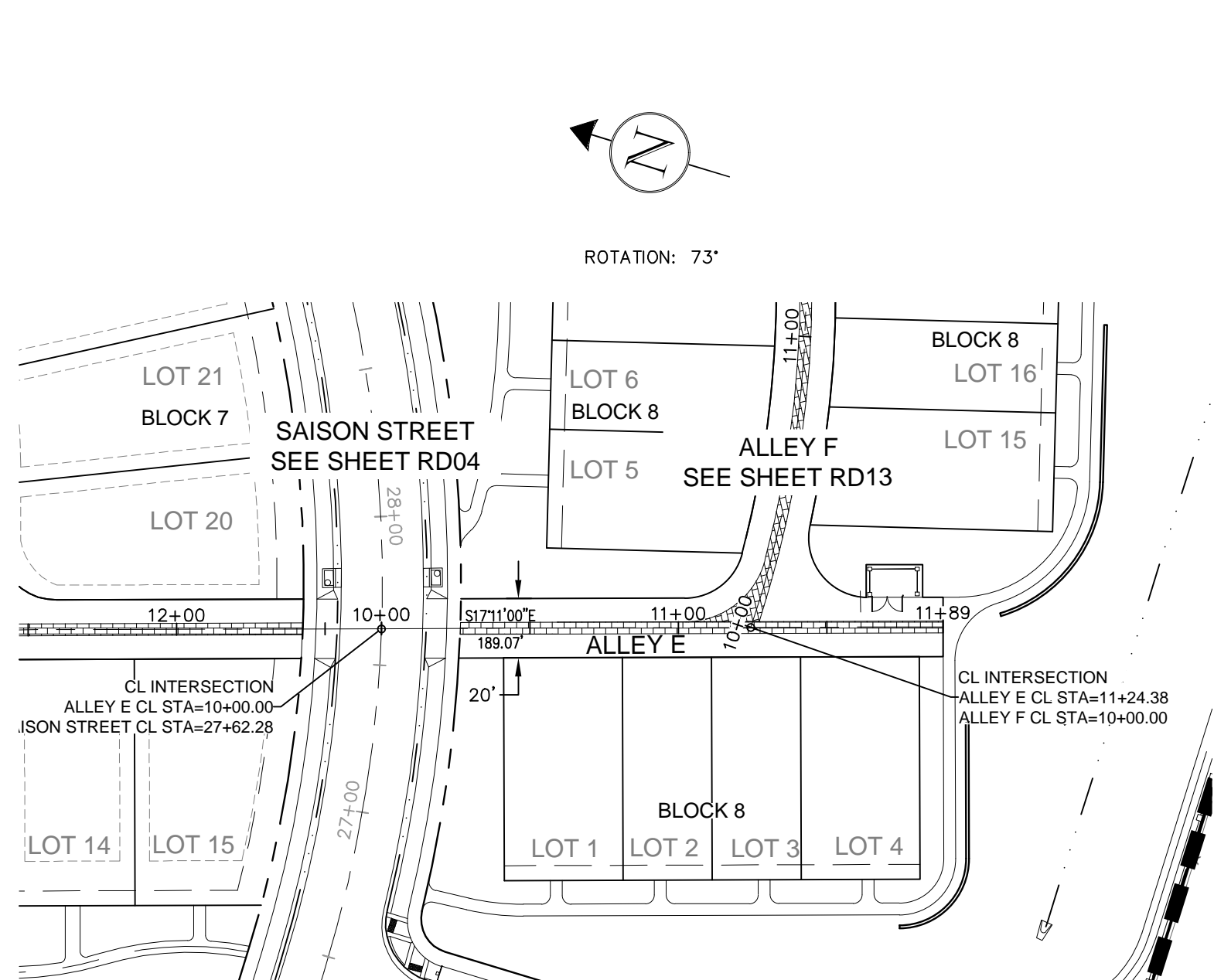
3760 E 15th Street, Suite 202
Loveland, CO 80538
303.770.3636 F
www.gallowayus.com

PROJECT #	DATE	DESIGNED BY	SCALE	REVIEWED BY
SPHLV0001.01	JUNE 18, 2014	J. Allen	1"=50'	R. Van Uffelen

TIMBERVINE

ALLEY C AND D

PLAN AND PROFILE



LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPERTY BOUNDARY
- PROPOSED LOT LINE
- EASEMENT LINE
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- PROPOSED STORM SEWER
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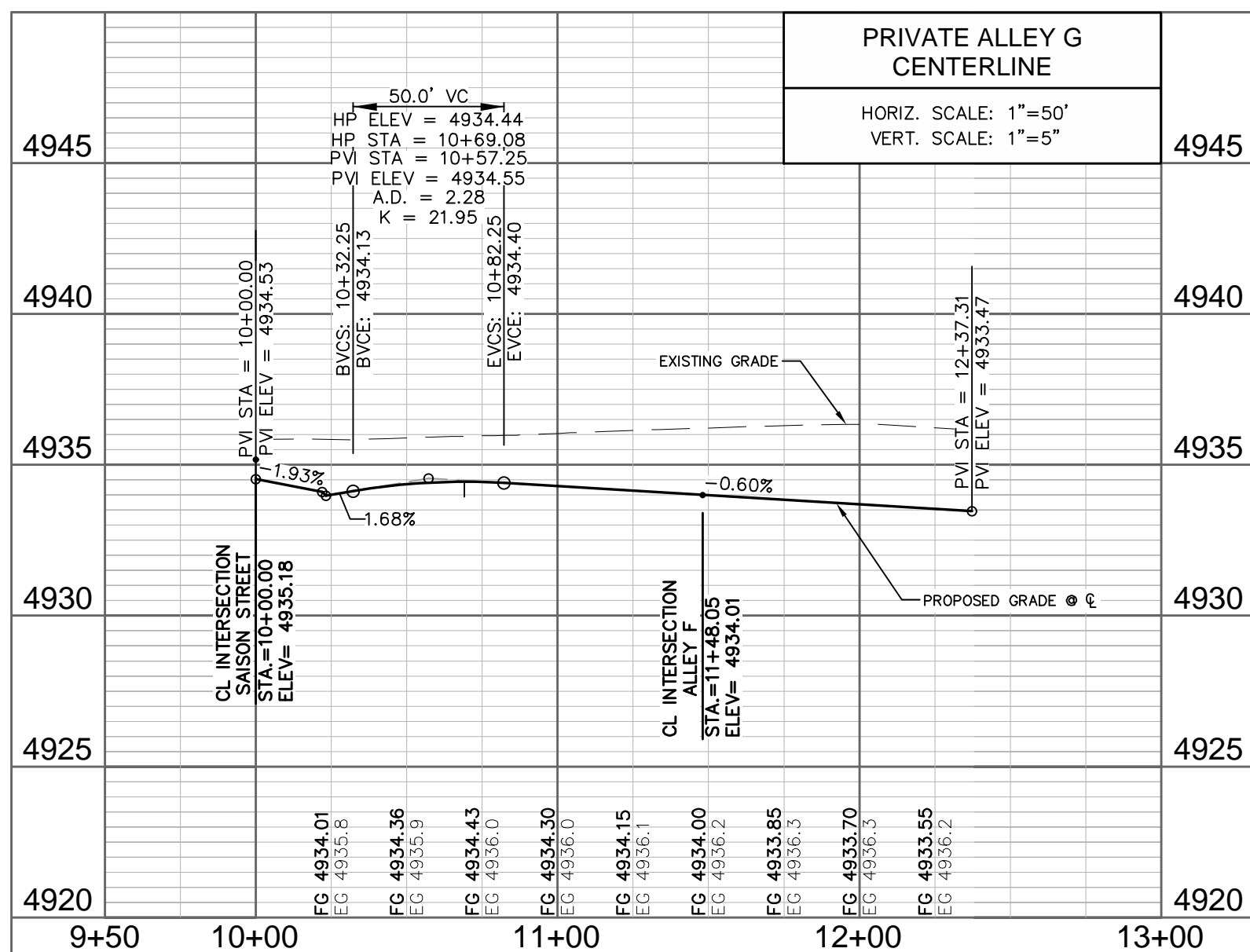
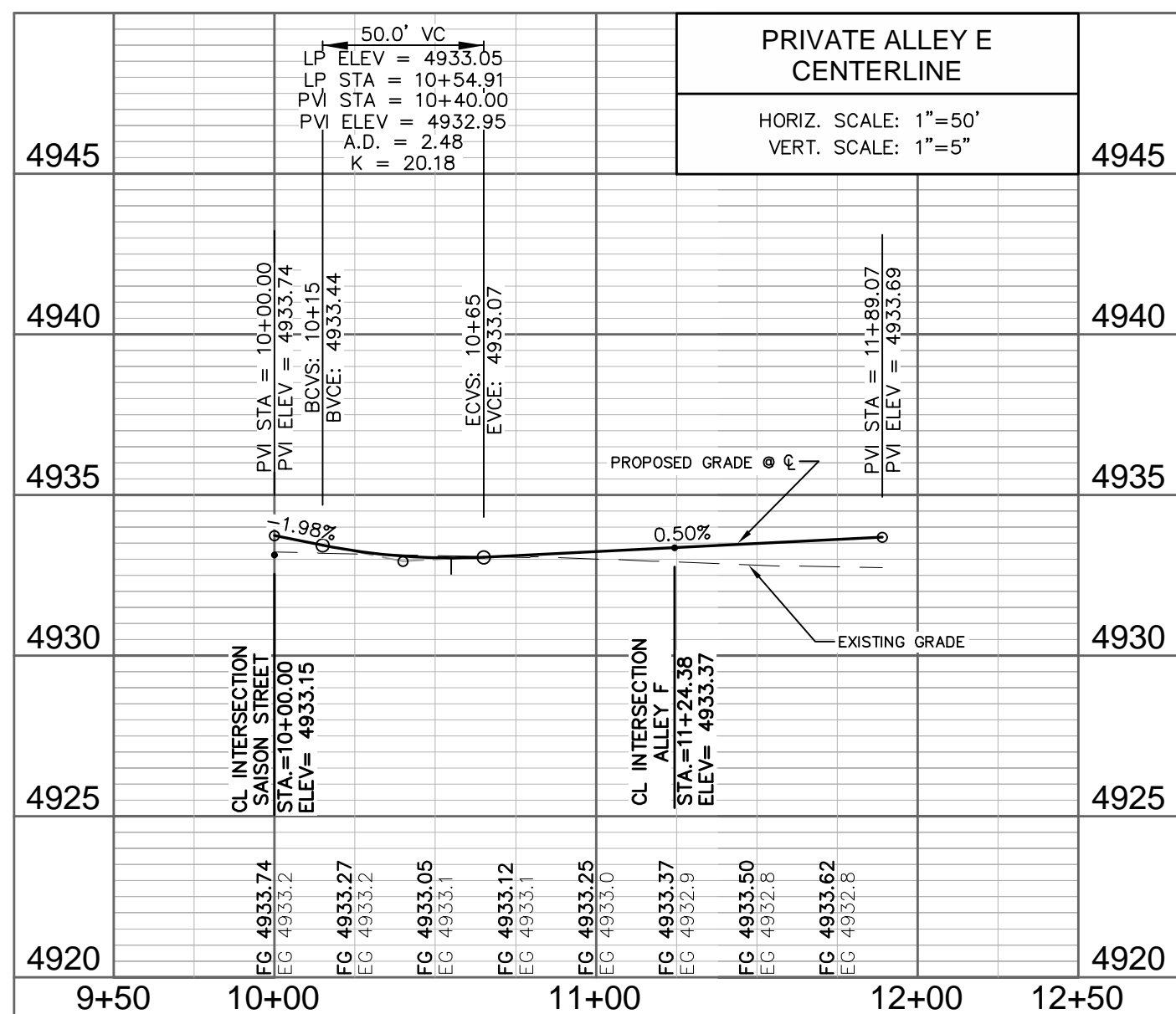
- EXISTING EDGE OF ASPHALT
- PROPOSED CONCRETE CROSSSPAN (TYP.)

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

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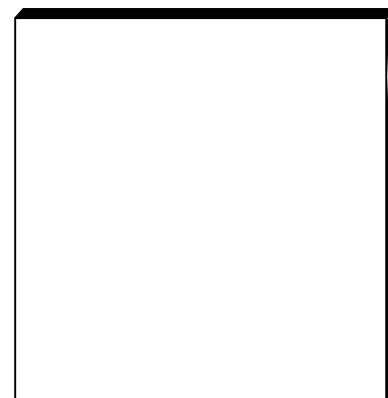
City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: _____ City Engineer	_____ Date
CHECKED BY: _____ Water & Wastewater Utility	_____ Date
CHECKED BY: _____ Stormwater Utility	_____ Date
CHECKED BY: _____ Parks & Recreation	_____ Date
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1	REVISION SET	06/18/14			
2	NOT FOR CONSTRUCTION	06/18/14			

SUMMERPARK HOLDINGS, LLC.

IT+I
HARTFORD
CORP.

1218 WEST ASH STREET,
WINDSOR, CO 80550



Galloway
Planning, Architecture, Engineering

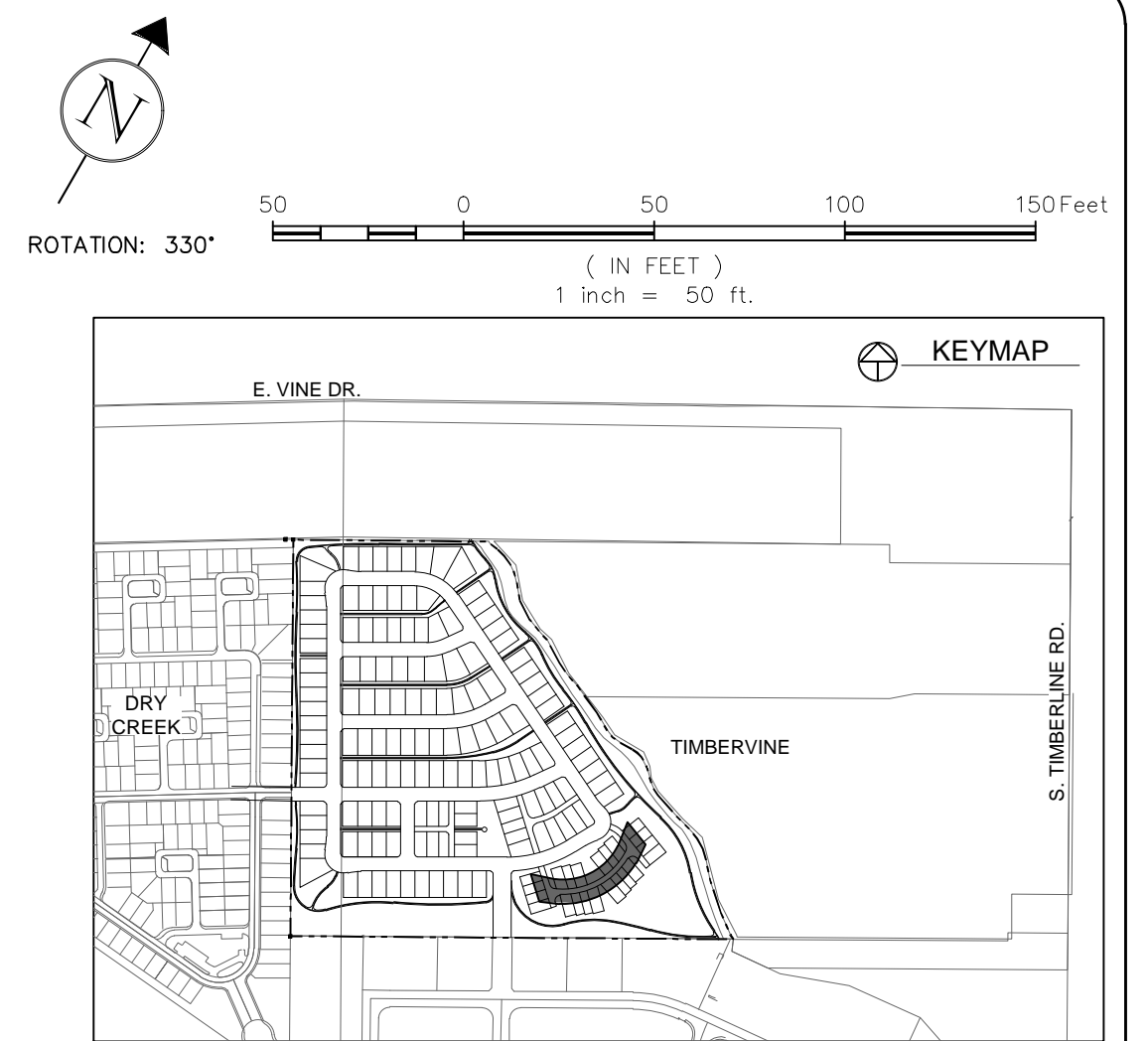
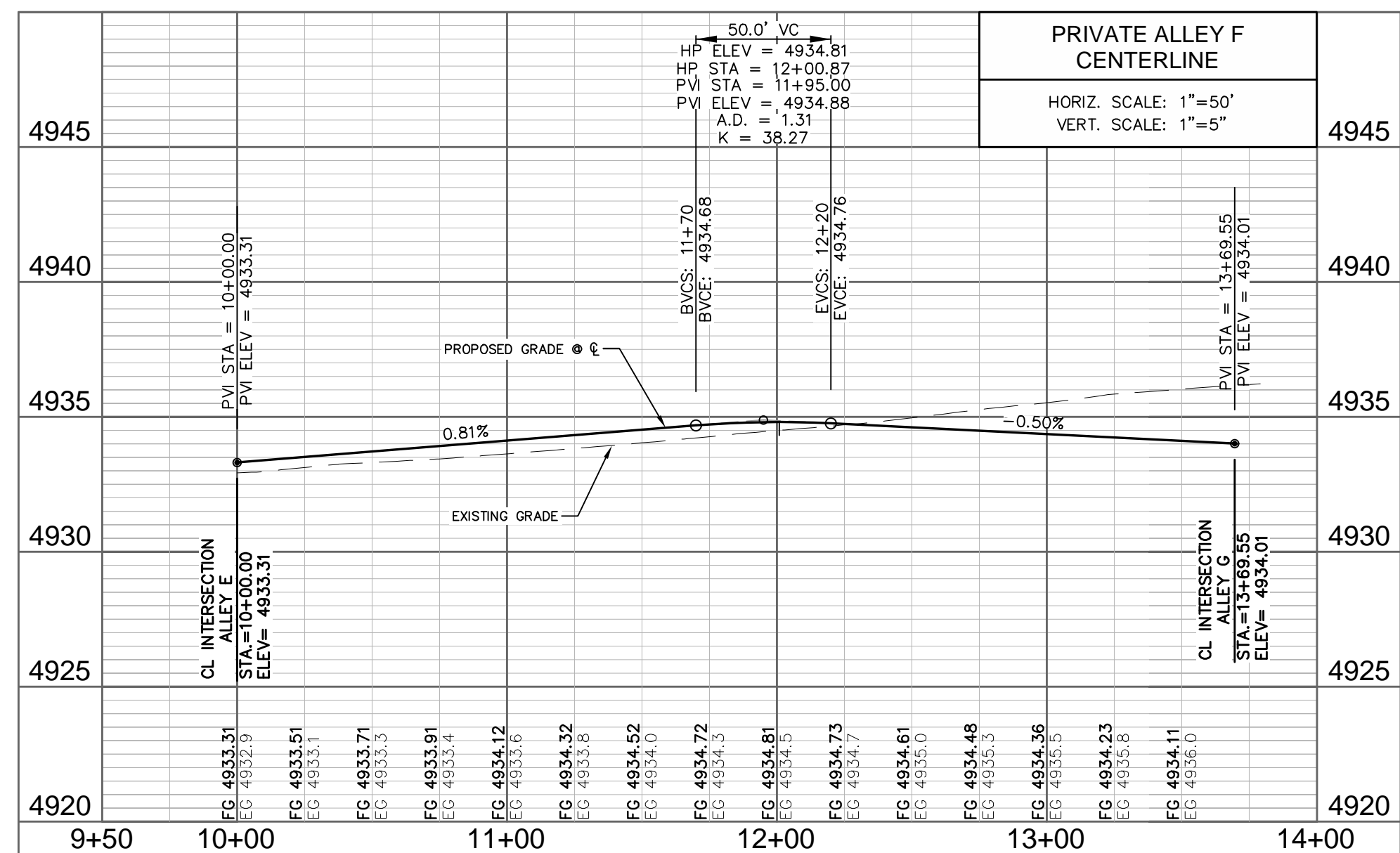
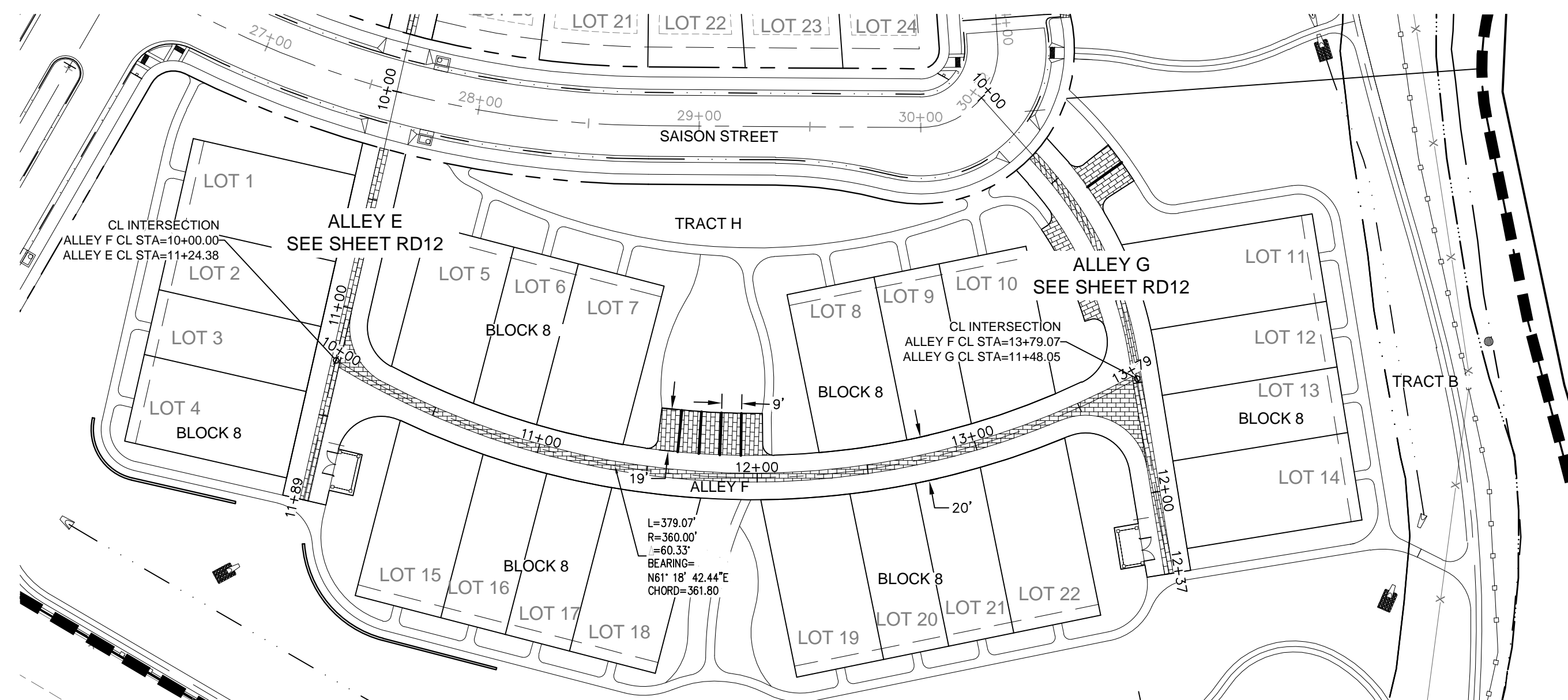
3760 E 15th Street, Suite 202
Loveland, CO 80538
303.770.3636
www.gallowayus.com

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PROJECT #: SPHLV0001.01	DATE: JUNE 18, 2014	SCALE: 1"=50'
DESIGNED BY: J. Allen	REVIEWED BY: R. Van Uffelen	
DRAWN BY: J. Allen		

TIMBERVINE

ALLEY E AND ALLEY G
PLAN AND PROFILE



- LEGEND:

- PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
PROPERTY BOUNDARY
PROPOSED LOT LINE
EASEMENT LINE
SAWCUT LINE
PROPOSED STORM SEWER
PROPOSED STORM INLET

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PROPOSED CONCRETE
CROSSSPAN (TYP.)

- PROPOSED SPOT ELEVATION

- EXISTING SPOT ELEVATION

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-	-	06/18/14	-	-	-

**SUMMERPARK
HOLDINGS, LLC.**



1218 WEST ASH STREET,
SUITE A
WINDSOR, CO 80550

Galloway
Planning, Architecture, Engineering,
3760 E. 15th Street, Suite 202

Loveland, CO 80538
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PROJECT #: SPHLV0001.01	DATE: JUNE 18, 2014
DESIGNED BY: J. Allen	SCALE: 1"=50'
DRAWN BY: J. Allen	REVIEWED BY: R. Van Uffelen

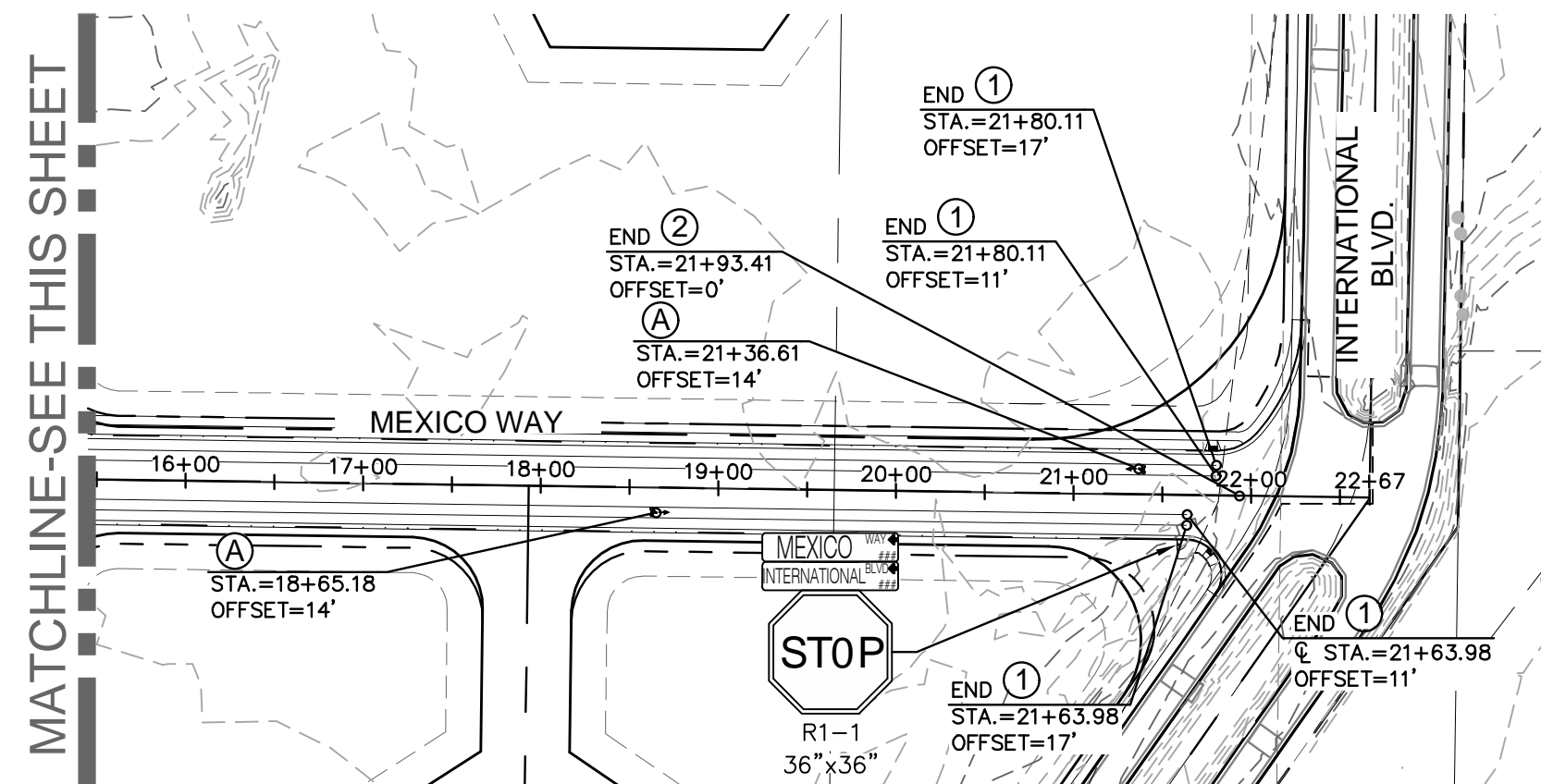
TIMBERVINE

ALLEY F PLAN AND PROFILE

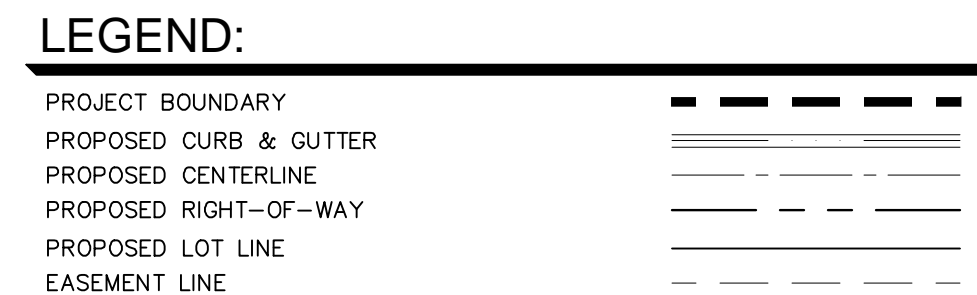
Sheet

RD13

Of 41 Sheets



REC. NO. 9300588
REC'D 1/29/1993



① 6" SOLID WHITE LINE
② DOUBLE YELLOW LINE
(2) 4" SOLID LINES; 4" APART

① PREFORMED PLASTIC PAVEMENT MARKING
BICYCLIST AND ARROW

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

APPROVED: _____
DATE: _____ SYSTEMS ENGINEER

CHECKED BY: Environmental Planner Date

Of 41 Sheets

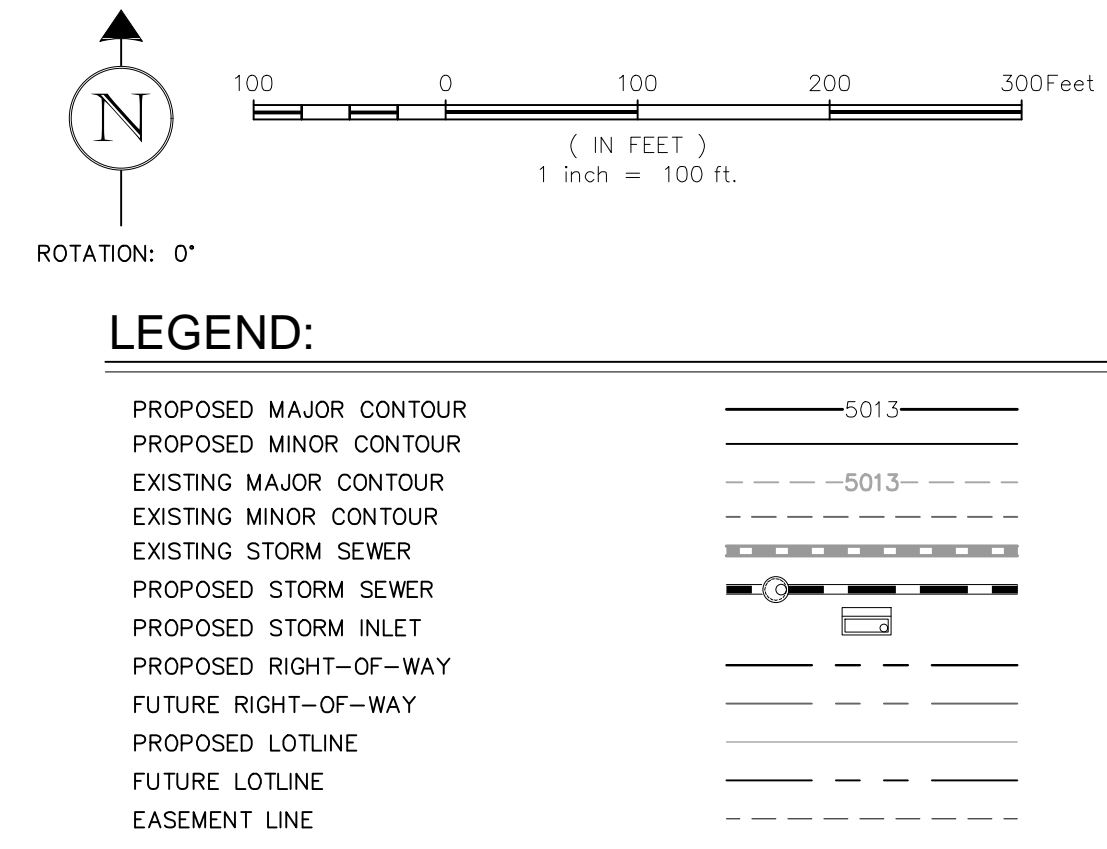


Diagram illustrating the components of a watershed model:

- BASIN AREA (ACRES)**: The total area of the watershed, divided into three sub-basins: A (0.23 acres), B (1.00 acre), and C (0.45 acres).
- BASIN ID**: The identifier for the watershed, labeled 'A'.
- MINOR RUNOFF COEFFICIENT**: The coefficient for sub-basin A, labeled '0.23'.
- MAJOR RUNOFF COEFFICIENT**: The coefficient for the entire watershed, labeled '0.45'.
- DESIGN POINT**: A triangle labeled '10' located below the watershed.
- MAJOR BASIN BOUNDARY**: A solid line representing the boundary of the entire watershed.
- SUB-BASIN BOUNDARY**: A dashed line representing the boundary between sub-basins.
- FLOW DIRECTION**: An arrow pointing left, indicating the direction of flow.

POND SUMMARY					
POND	WATER QUALITY VOLUME (FT³)	DETENTION VOLUME (FT³)	TOTAL VOLUME (FT³)	100-YR WSL (FT)	PEAK RELEASE RATE (CFS)
A	--	76,407	76,407	--	8.70
B	32,575	73,479	106,054	4929.13	7.84

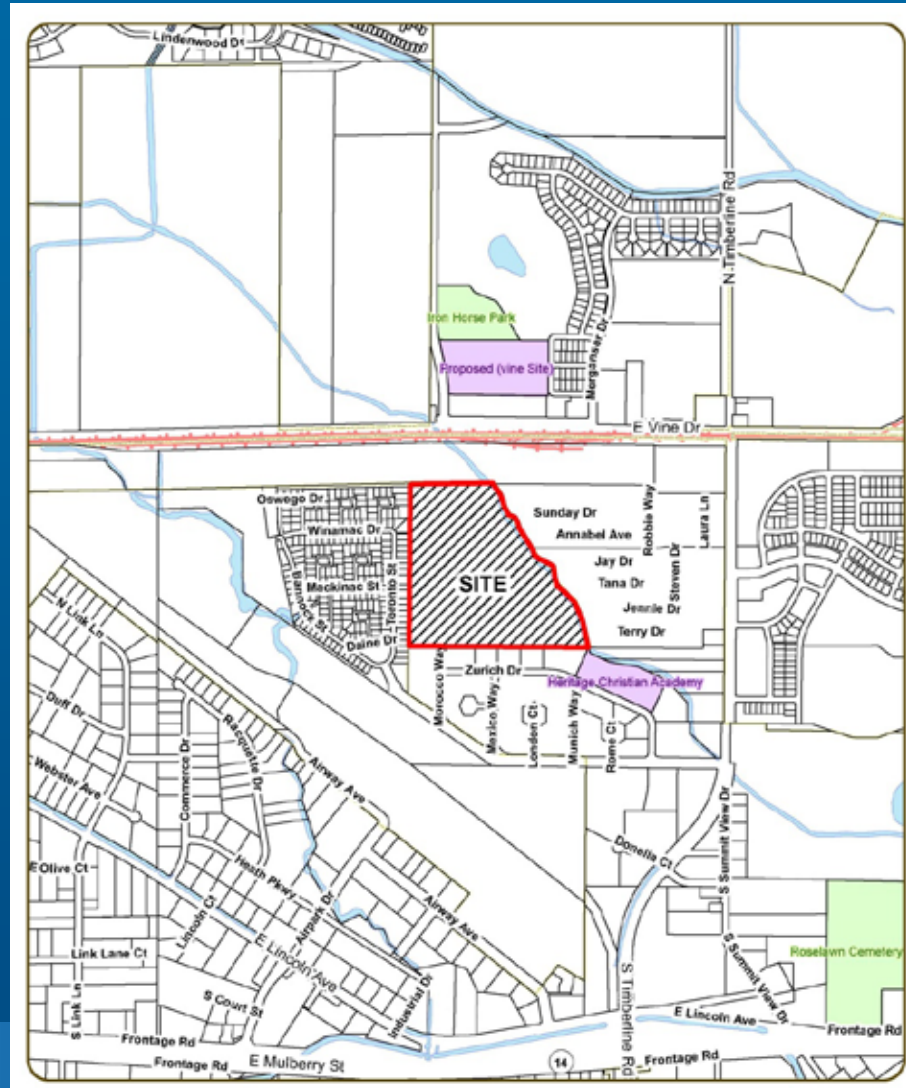
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CHECKED BY:	_____	_____
	Environmental Planner	Date

Type I Administrative Hearing

July 7, 2014

*Timbervine - Project Development Plan
#140002*

Timbervine – Project Development Plan

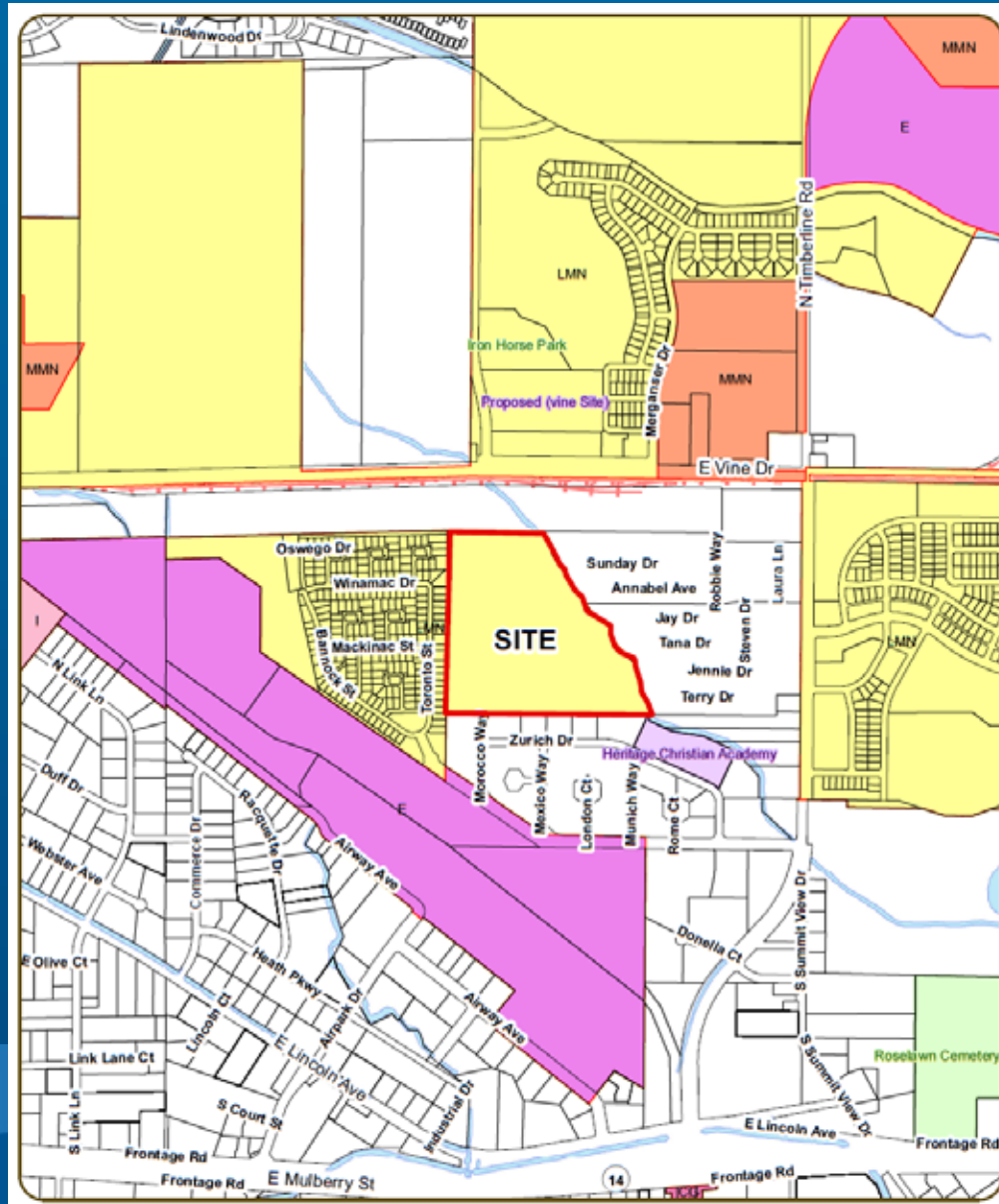


Context Map

Timbervine – Project Development Plan



Timbervine - Project Development Plan



Existing
Zoning

Timbervine – Project Development Plan



Timbervine – Project Development Plan

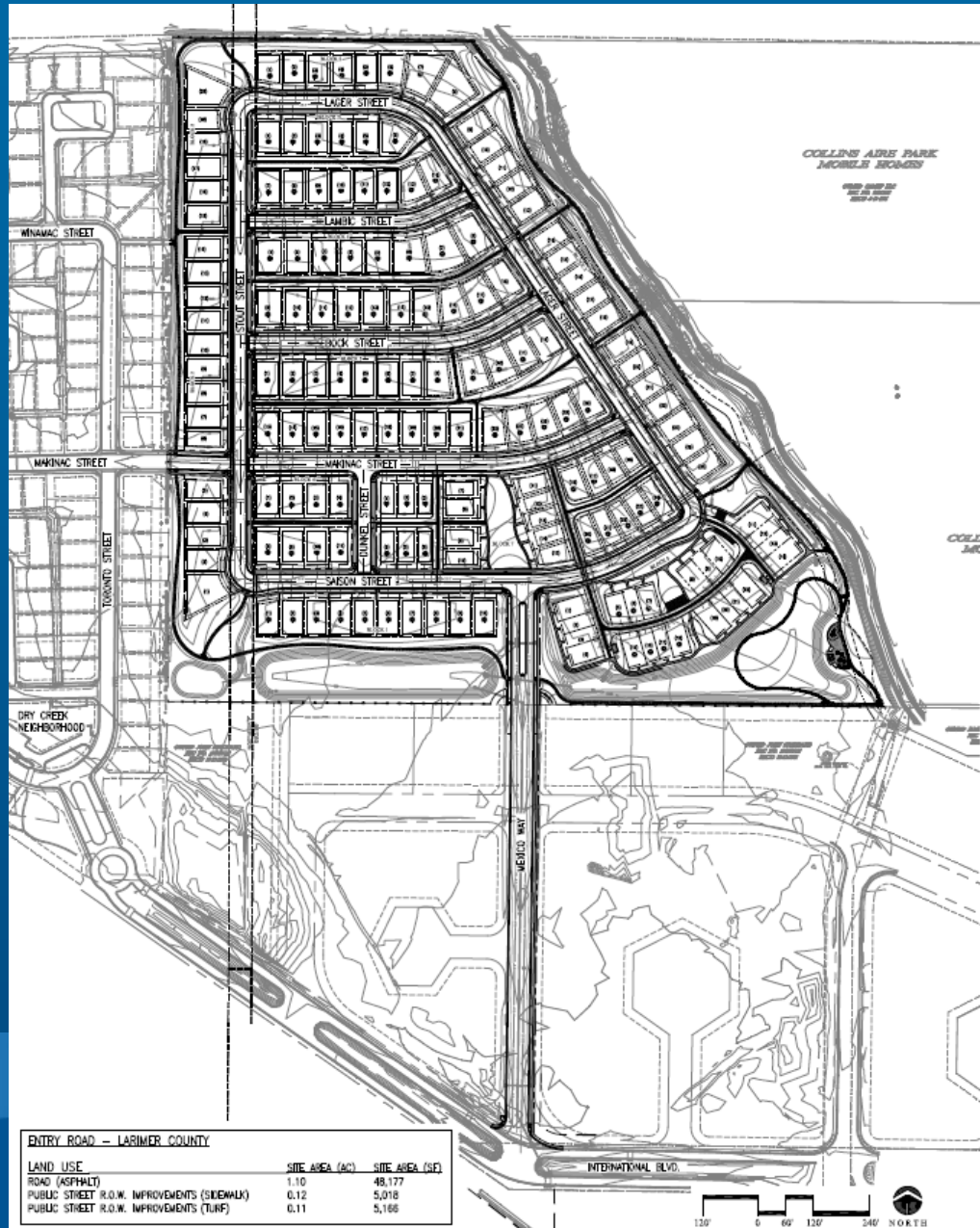


Timbervine - Project Development Plan

Project Description:

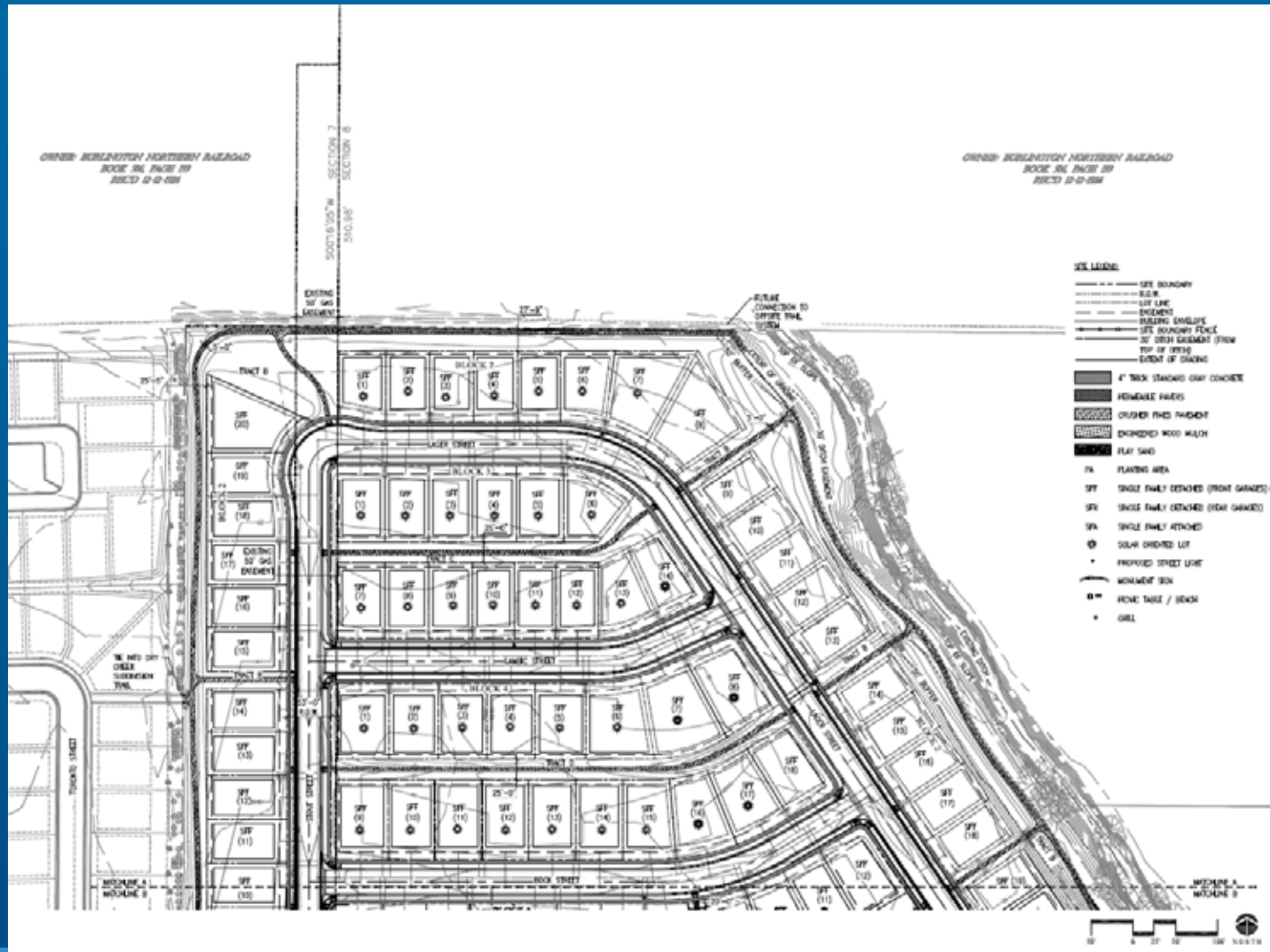
- Request for PDP for 167 dwelling units on 39.19 acres (Type I Administrative Review)
- Access via Mexico Way and Makinac Street
- Housing Types: 121 single-family detached, 24 SF detached (Alley), and 22 SF attached townhouses
- One acre neighborhood park
- Parcel zoned Low Density Mixed-Use Neighborhood (L-M-N)

Timbervine – Project Development Plan



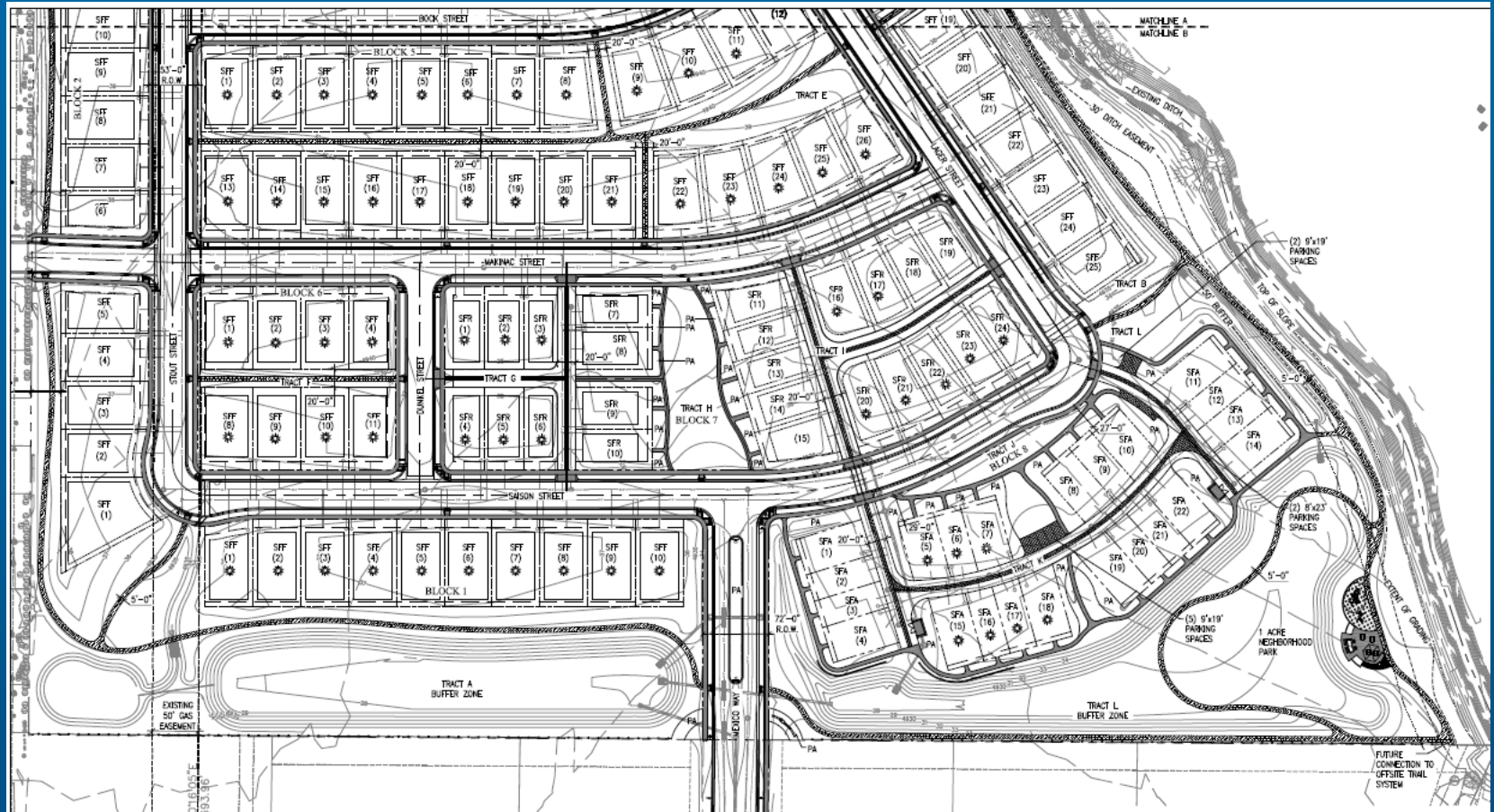
Overall
Site Plan

Timbervine – Project Development Plan



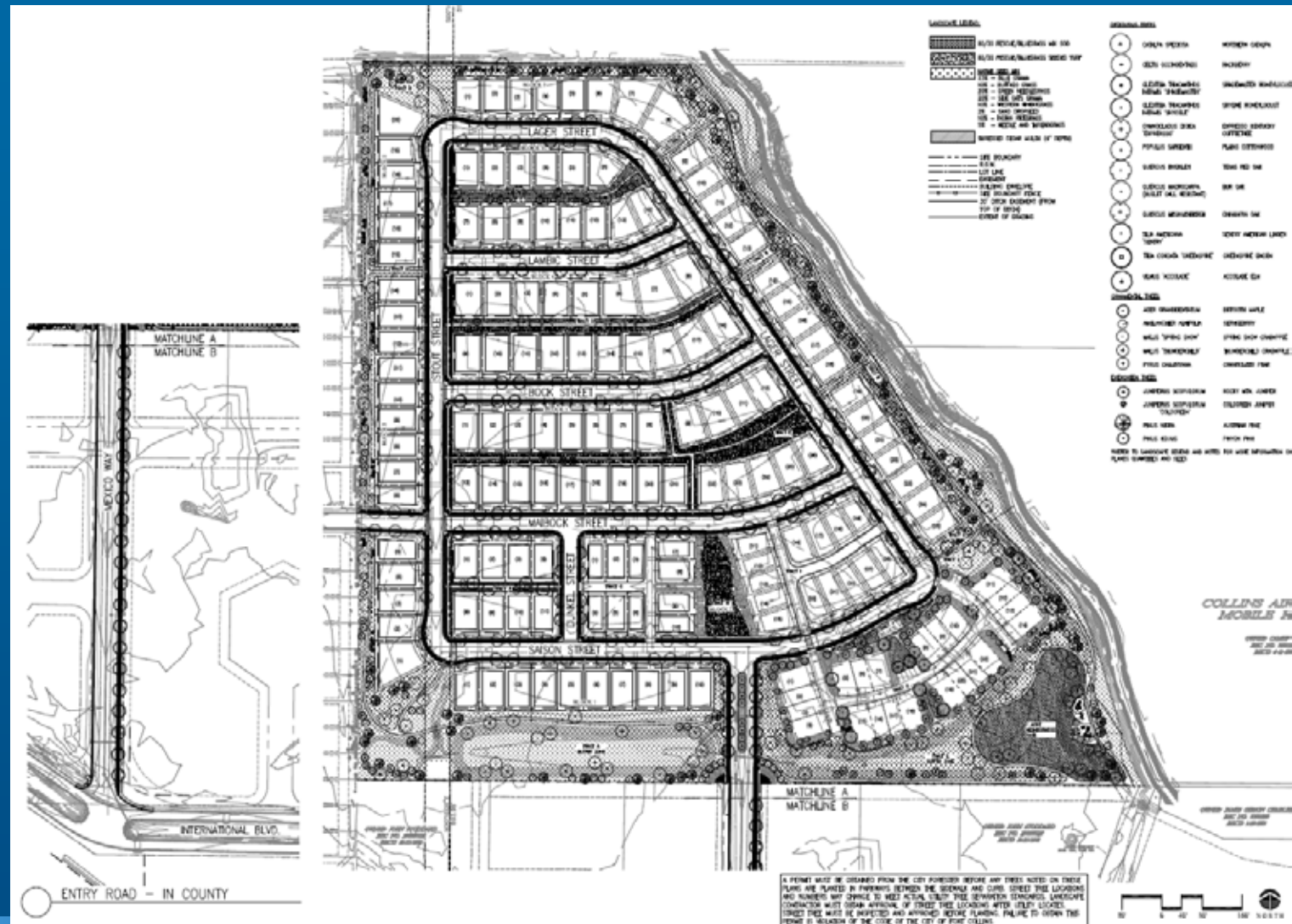
Site Plan (North portion)

Timbervine – Project Development Plan

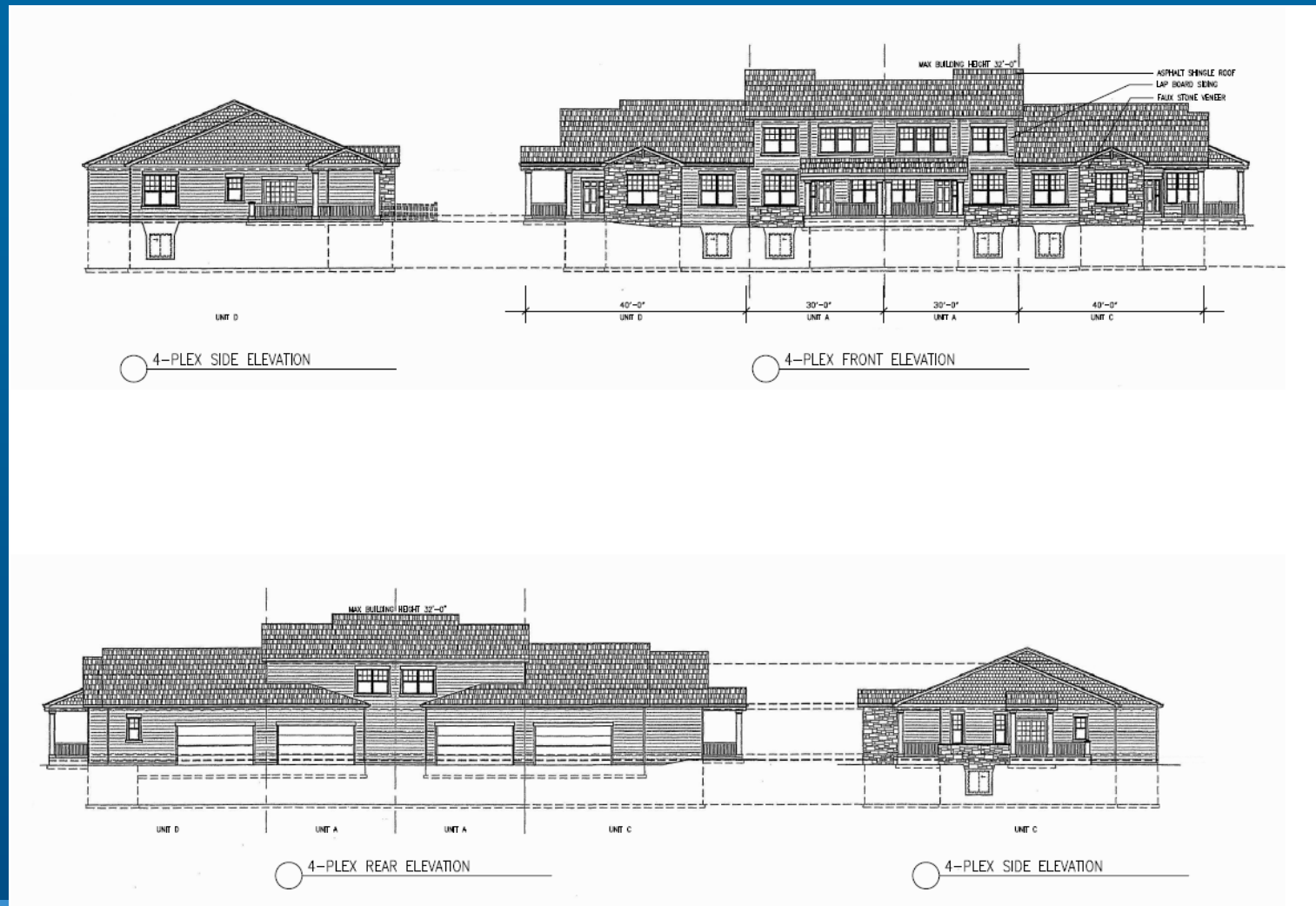


Site Plan (South portion)

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SF Attached - Building Elevations

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Article Four Districts:

Division 4.5 – Low Density Mixed-use Neighborhoods (L-M-N)

- Provides two land uses: Single-Family detached/attached dwellings permitted in L-M-N District, subject to Type I Review
- Net residential density of 5.5 dwelling units per acre
- Provides three housing types for projects containing 20 acres or more
- Interconnected street network/blocks less than 12 acres
- One acre neighborhood park

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Article Three – General Development Standards:

- Division 3.2 - Site Planning and Design Standards
- Division 3.3 – Engineering Standards
- Division 3.4 - Natural Area Standards
- Division 3.5 - Building Standards
- Division 3.6 - Transportation and Circulation

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Staff Findings:

- The request represents a P.D.P. processed as Type 1 Review – continues to comply with Division 2 standards
- Continues to comply with Division 4.5 L-M-N standards
- Continues to comply with General Development Standards in Article Three

Timbervine – Project Development Plan

Staff Recommendation:

Staff recommends approval of the Timbervine
P.D.P. # 140002

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