

ITEM NO MEETING DATE

July 7, 2014

STAFF

Pete Wray_

ADMINISTRATIVE HEARING OFFICER

STAFF REPORT

PROJECT: Timbervine PDP Type I, #PDP140002

APPLICANT: Russell + Mills Studios

Craig Russell, RLA Planner

141 S. College Ave Fort Collins, CO 80525

OWNER: Hartford Companies

1218 W. Ash St., Suite A

Windsor, CO 80550

PROJECT DESCRIPTION:

This is a request for a Project Development Plan (P.D.P.) for a parcel of land located generally at the southwest corner of East Vine Drive and North Timberline Road. The request is for 167 dwelling units on 39.19 acres. Access via Mexico Way will be improved and extended to International Boulevard, and connection to existing Makinac Street will both serve the site. As proposed, there would be 121 single family detached (front load) houses, 24 single family detached (rear load) houses served by an alley, and 22 single family attached townhouses. A one acre neighborhood park and one and one-half mile trail system is also included. The parcel is zoned Low Density Mixed-Use Neighborhood, L-M-N.

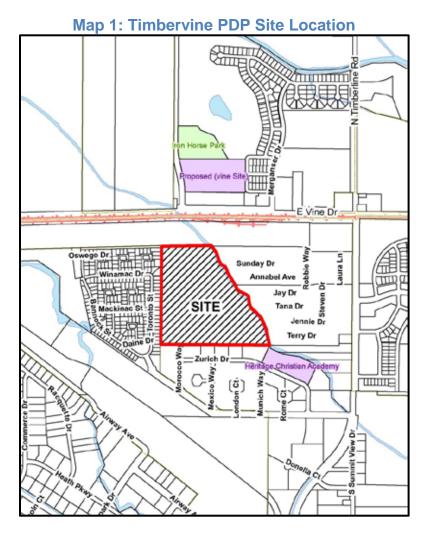
RECOMMENDATION: Approval of the P.D.P.

EXECUTIVE SUMMARY:

The proposed PDP has been reviewed by staff and is in compliance with the East Mulberry Corridor Plan, Land Use Code (LUC) applicable General Development Standards of Article Three, and the L-M-N standards in Article Four.

COMMENTS:

1. <u>Background</u>



The property was annexed in 1998 as part of the RDC annexation and zoned Low Density Mixed-use Neighborhood (L-M-N). The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Larimer County Industrial (I)	BBNSF Railroad switching yard
South	Larimer County Industrial (I)	Vacant land
East	Larimer County Industrial (I)	Residential (mobile home park)
West	Low Density Mixed-Use Neighborhood (L-M-N)	Dry Creek subdivision

The East Mulberry Corridor Plan (EMCP), adopted in 2003 established the land use framework for this area. The proposed Timbervine P.D.P. is consistent with the EMCP for L-M-N designation.

2. Compliance with Applicable L-M-N District Standards [Division 4.5]

A. Purpose:

The purpose of the L-M-N District is as follows:

The Low Density Mixed-Use Neighborhood District is intended to be a setting for a predominance of low density housing combined with complementary and supporting land uses that serve a neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood. The main purpose of the District is to meet a wide range of needs of everyday living in neighborhoods that include a variety of housing choices that invite walking to gathering places, services and conveniences, and that are fully integrated into the larger community by the pattern of streets, blocks, and other linkages.

The proposed project is consistent with the stated purpose of the zone district as the uses proposed integrate with the existing L-M-N Dry Creek neighborhood to the west and mobile home park to the east.

B. Section 4.5(B)(2) – Permitted Uses

The P.D.P. includes two land uses – single family detached and single family attached. Both are permitted in the L-M-N zone subject to Administrative (Type One) Review.

C. Section 4.5(D)(1) – Density

The P.D.P. features 167 dwelling units on 39.19 acres for a gross density of 4.26 dwelling units per gross acre. There are several parcels that are deducted from the gross acreage in accordance with *Section 3.8.18* (*Residential Density Calculation*). This includes landscape bufferyards and stormwater detention ponds resulting in a net acreage of 30.37 acres and a net density of 5.5 dwelling units per acre.

The gross density is well under the maximum allowed (9.00 d.u./acre) and exceeds the required minimum net density (4.00 d.u./acre) thus complying with the standard.

D. Section 4.5(D)(2) – Mix of Housing

The P.D.P. features the following three housing types:

Housing Type:	# of Dwelling Units	Percent of Total
Single Family Detached (Front Loaded Garage)	121	72.5%
Single Family Detached (Alley)	24	14.3%
Single Family – Attached	22	13.2%
Total:	167	100%

The standard calls for three housing types on projects containing 20 acres or more and four housing types on projects containing 30 acres of more of developable land. The net developable land area is 30.37 acres, reflecting a nominal increase over 30 acres. As such, staff has determined a fourth housing type is not required.

The standard also requires that a single housing type not constitute more than 80% or less than 5% of the total number of dwelling units. As can be seen, the P.D.P. complies with these parameters.

This standard requires that either a public neighborhood park or a private park, at least one acre in size, be located within one-third of a mile (1,760 feet), as measured along street frontage, of 90% of the dwellings, for development projects ten acres or larger.

The proposed project includes an approximate one acre private neighborhood park. This park will connect to a 1.5 mile perimeter trail system and open space, and link to a future regional trail off site.

All of the dwellings are within one-third of a mile of the future neighborhood park.

This standard requires that the local street system provide an interconnected network of streets such that blocks do not exceed 12 acres.

The P.D.P. features a network of streets, that result in no block exceeding 12 acres.

G. Section 4.5(E)(1)(b) – Streets and Blocks – Mid-Block Pedestrian Connections

This standard requires that if any block face is over 700 feet long, then walkways connecting to other streets must be provided at approximately mid-block or at intervals of at least every 650 feet, whichever is less.

The Timbervine P.D.P. complies with this standard. For each block face that is longer than 700 feet long, a mid-block bicycle and pedestrian connection is provided at intervals that do not exceed 650 feet.

3. <u>Compliance with Applicable Article Three General Development</u> Standards:

A. Section 3.2.1 - Landscaping

All public streets will be landscaped with street trees, including the external streets, consistent with the *Larimer County Urban Area Street Standards*. The P.D.P. provides canopy street trees at 30-40 foot spacing along all street parkway landscaping areas and separated from street light locations.

The P.D.P. provides landscape area treatments for all open areas, buffers, detention areas and park locations with turf grass, planting beds and trees.

B. Section 3.2.2 - Access, Circulation and Parking

The P.D.P. provides for an off-street pedestrian and bicycle circulation system primarily by constructing a site perimeter loop trail and series of internal paths and mid-block connections. A trail stub-out is provided to connect to the City's future regional trail along the Lake Canal. A path connects to the existing Dry Creek subdivision to the west and an off-site sidewalk is provided along the parkway of Mexico Way connecting to International Boulevard to the south.

C. Sections 3.2.3(C) and (F) – Solar Orientation

This standard requires that at least 65% of the lots (108) be oriented to within 30 degrees of an east-west line. Timbervine provides 61% (101 lots) at this orientation thus short by 7 lots.

This standard allows for alternative compliance. Timbervine P.D.P. reflects an irregular, triangular shaped parcel. This orientation governs the number of east-west streets which would normally allow for full compliance with the standard. The site constraints include limited street access from existing development dictating street alignment, and sharing a boundary with the existing Lake Canal along the eastern edge and associated buffer area.

In compliance with provision of Section 3.2.3(F), Timbervine P.D.P. is designed in an alternative manner and meets the applicable review criteria:

- The subdivision enhances neighborhood continuity and connectivity by linking to a future City's Parks and Recreation Department regional trail. All connecting walkways linking to this regional trail are to be dedicated as public access easements.
- The subdivision fosters non-vehicular access and preserves existing natural conditions by the aforementioned walkways and continues to respect the established topography by preservation of the Lake Canal buffer and 1 acre park.

D. Section 3.3.1(B)(C) – Plat Standards – Lots and Public Dedications

All lots gain access to a public street. The general layout of lots, roads, driveways, utilities, drainage facilities and other services are designed in a way that enhances an interconnected street system within and between future neighborhoods and preserves natural features. Dedications are platted for drainage and utility easements as well as public access easements for the off-street walkways.

E. Section 3.4.1 – Natural Habitats and Features

To meet the standards associated with Section 3.4.1, the project has proposed to apply the quantitative (50' buffer) and qualitative standards contained in Section 3.4.1(E) of the Land Use Code. The proposed buffer is 50' in width, meeting the quantitative standard.

The project meets the qualitative performance standards in Section 3.4.1 by incorporating the following elements into the design:

- 1. No fencing is proposed between the ditch and the development, which will allow for wildlife movement across the site (Section 3.4.1(E)(1)(b)).
- 2. The project enhances the vegetation by providing additional trees, shrubs, and native grasses to enhance the value of the ditch as a wildlife corridor. A mix of deciduous and evergreen species will provide cover for wildlife in all seasons (Section 3.4.1(E)(1)(g)).

F. Section 3.5.1 – Project Compatibility

Timbervine P.D.P. zoned L-M-N, will adjoin the existing Dry Creek L-M-N subdivision to the west. The proposed Timbervine P.D.P. will provide direct street and pedestrian connections to Dry Creek and reflect a similar residential character. To the east is the

existing Collins Aire Mobile Home Park, and to the south is a vacant and developing industrial park. A landscape detention area and landscape buffer is provided along the south edge of the project to screen between the two uses in anticipation of pending development.

G. Section 3.5.2(C) – Housing Model Variety

For developments of 100 or more single family dwelling units, four different types of housing models are required. The housing models have not yet been selected at the P.D.P. stage. The standard acknowledges that for a P.D.P., such level of detail is not finalized and allows the enforcement to be at the building permit review stage in accordance with Section 3.8.15.

H. Section 3.5.2(F)(1) – Street Facing Garage Doors

This standard requires that street-facing garage doors must be recessed behind either the front façade of the ground floor living area portion of the dwelling or a covered porch that measures at least 6' x 8' by at least four (4) feet. For individual lots, compliance will be evaluated at the time of building permit application.

I. Section 3.6.4 – Transportation Level of Service (LOS) Requirements

A Transportation Impact Study (T.I.S.) has been prepared based on Timbervine P.D.P., containing 167 single family dwellings. The P.D.P. will construct, widen or extend the following streets in compliance with the Master Street Plan and in accordance with the Larimer County Urban Area Street Standards:

- Mexico Way Off-site local street (parkway improvements east side only)
- · All other internal streets local street

The T.I.S. concludes:

- **§** The development of the TimberVine is feasible from a traffic engineering standpoint. At full development, the TimberVine will generate approximately 1692 daily trip ends, 127 morning peak hour trip ends, and 168 afternoon peak hour trip ends.
- § Current operation at the Timberline/Vine, Timberline/International, and Timberline/Mulberry intersections is acceptable. Current operation at the Timberline/Lincoln intersection is at level of service F for the minor street movements.
- The Timberline/Vine, Timberline/International, and Timberline/Lincoln intersections are currently unsignalized. It is not likely that volume based signal warrants would be met at the Timberline/Vine, Timberline/International, and

Timberline/Lincoln intersections in the short range (2018) future. Using the long range (2035) total peak hour traffic forecasts, the peak hour signal warrant will likely be met in the morning and afternoon peak hours at the Timberline/Vine and Timberline/International intersections. Based on the peak hour signal warrant, it is likely that other volume based signal warrants would be met at these intersections in the long range (2035) future.

- In the short range (2018) future, given development of the TimberVine and an increase in background traffic, the Timberline/Vine, Timberline/International, and Timberline/Mulberry intersections will operate acceptably with existing control and geometry. The Timberline/Lincoln intersection will operate at level of service F for the minor street movements. At the Timberline/Vine intersection, the calculated delay for the afternoon peak hour northbound approach will experience delays that are commensurate with level of service F. This is considered to be normal during the peak hours at stop sign controlled intersections along arterial streets. This will be a temporary condition.
- In the long-range (2035) future, given development of the TimberVine and an increase in background traffic, the Timberline/New Vine, Timberline/International, and Timberline/Mulberry intersections will operate acceptably. The Timberline/Lincoln intersection will operate at level of service F for minor street movements.
- **§** The short range (2018) geometry is shown in Figure 16. The long range (2035) geometry is shown in Figure 17.
- Acceptable level of service is achieved for pedestrian, bicycle, and transit modes based upon the measures in the multi-modal transportation guidelines and future improvements to the street system in the area. The short range (2016) geometry is shown in Figure 14. The long range (2030) geometry is shown in Figure 15.
- \$ Acceptable level of service is achieved for bicycle and transit modes based upon the measures in the multi-modal transportation guidelines and future improvements to the street system in the area. Pedestrian level of service B is not achieved for all pedestrian destinations with regard to continuity. The practical limits of pedestrian improvements would be on the TimberVine site itself.

In general, Timbervine P.D.P. is served by a network of public streets which provide an adequate level of both internal and external connectivity, given the existing constraints within the area for potential street connections.

4. Neighborhood Meeting:

A neighborhood meeting was not required since this project is a Type I review. However, because this proposed development is adjacent to and connects directly to the existing Dry Creek neighborhood, staff determined a neighborhood meeting would be beneficial to inform and coordinate this project with existing neighbors.

A voluntary neighborhood meeting was held on May 28, 2014. In general, there were a majority of questions and concerns about traffic related impacts and about how this proposed development will be compatible with existing surrounding neighborhoods. A summary of the meeting is attached.

Key issues heard at meeting:

- (1.) Traffic: Impacts from proposed project on International Boulevard and Timberline Road. Timing of future traffic signal at this intersection and other traffic control measures.
- (2.) Information on proposed project: Questions on design, pedestrian connections to Dry Creek, Park access, extent of landscaping, and timing of development.

5. Findings of Fact:

In evaluating the request for the Timbervine P.D.P., staff makes the following findings of fact:

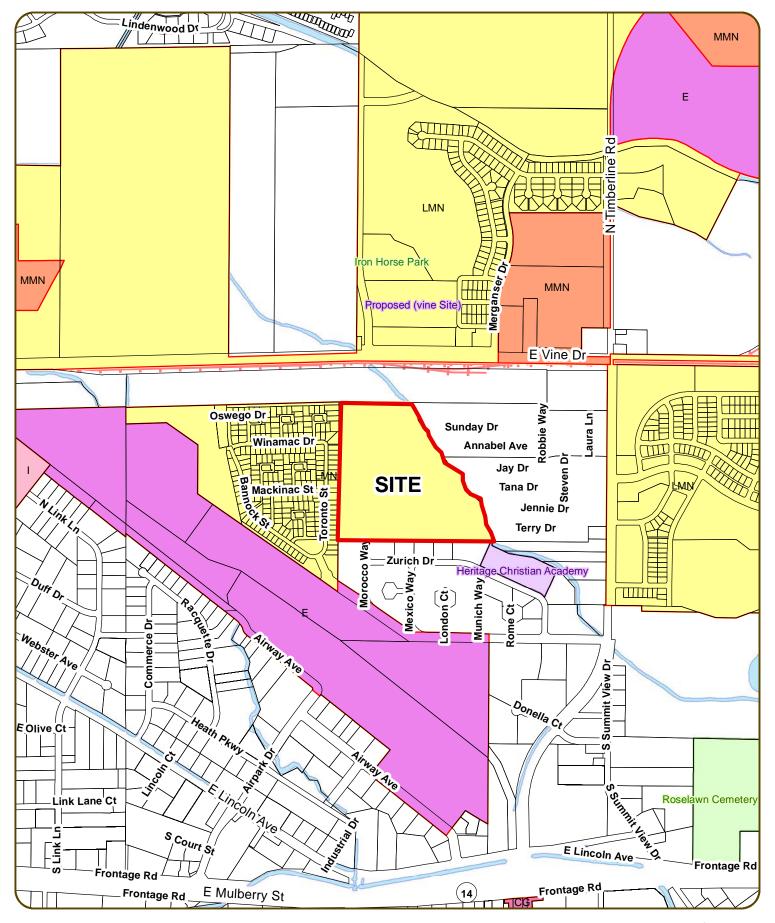
- A. The P.D.P. complies with the applicable procedural and administrative requirements of Article 2 of the Land Use Code.
- B. The P.D.P. complies with the land use and the applicable development standards of the L-M-N zone district as found in Article 4 of the Land Use Code.
- C. The PDP complies with the applicable General Development Standards of Article 3 of the Land Use Code.

RECOMMENDATION:

Staff recommends approval of Timbervine P.D.P., #PDP140002

ATTACHMENTS:

- 1. Zoning Map
- 2. Site Plans
- 3. Plat Plans
- 4. Landscape Plans
- 5. Building Elevations
- 6. Utility Plans
- 7. Traffic Study
- 8. Summary of Neighborhood Meeting Public Comments9. PowerPoint presentation



1 inch = 1,000 feet

Timbervine

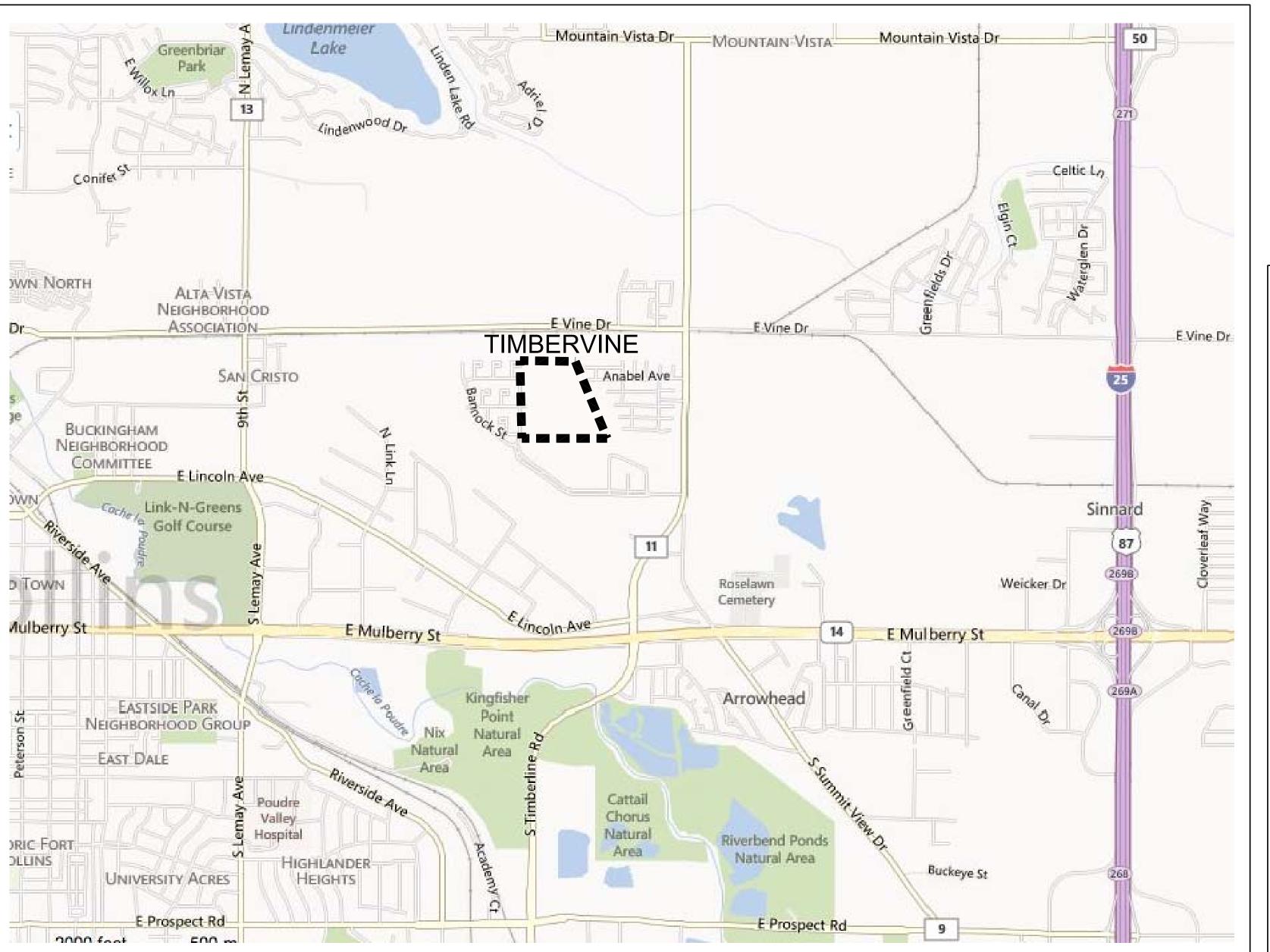


PROJECT DEVELOPMENT PLAN - SITE SUBMITTAL TIMBERVINE

BEING LOCATED IN THE NE 1/4 OF SECTION 7, AND THE NW 1/4 OF SECTION 8, T 7 N, R 68 W OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

CONTEXT MAP

NORTH



SHEET INDEX OW

PLANNING CERTIFICATE

LS001 COVER

SV101 EXISTING SITE CONDITIONS

LS101 PHASING PLAN

LS102 OVERALL SITE PLAN

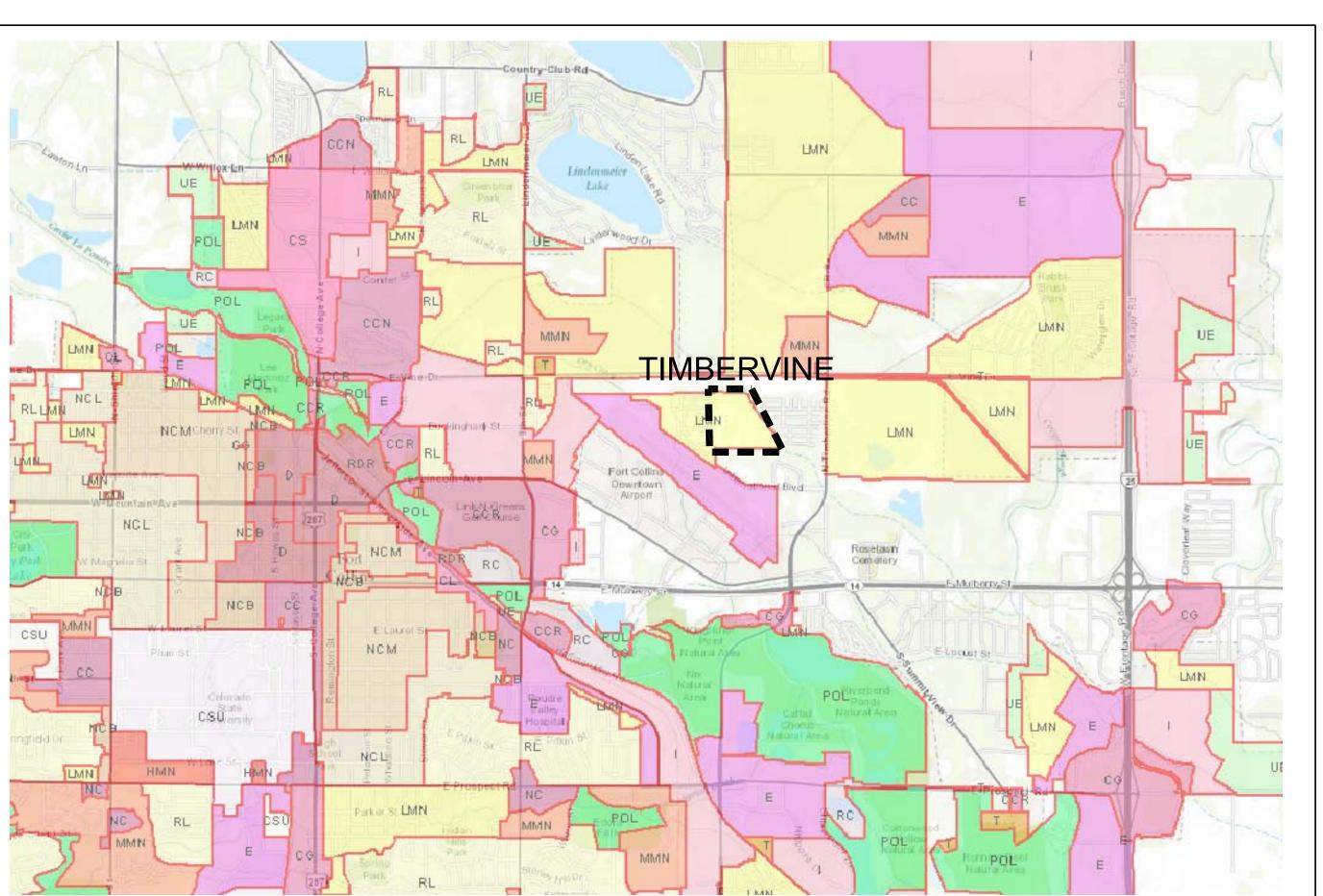
LS401 SITE ENLARGEMENT PLAN

LS402 SITE ENLARGEMENT PLAN

LS501 SITE DETAILS

LS502 SITE DETAILS

OWNER'S CERTIFICATION THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNER'S OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN. OWNER (SIGNED) OWNER (SIGNED) (STATE OF (COUNTY OF 20 , BY WITNESS MY HAND SUBSCRIBED AND SWORN TO BE BEFORE THIS DAY OF AND OFFICIAL SEAL. NOTARY PUBLIC ADDRESS MY COMMISSION EXPIRES APPROVED BY THE CURRENT DIRECTOR OF PLANNING OF THE CITY OF FORT COLLINS, COLORADO, THIS , 20 . DIRECTOR OF PLANNING



ZONING MAP NORTH

HARTFORD COMPANIES

JSSell+mills studios
1SSell+mills studios
11 s. college ave., suite 104
1rt collins, co 80524
970.484.8855
ww.russellmillsstudios.com

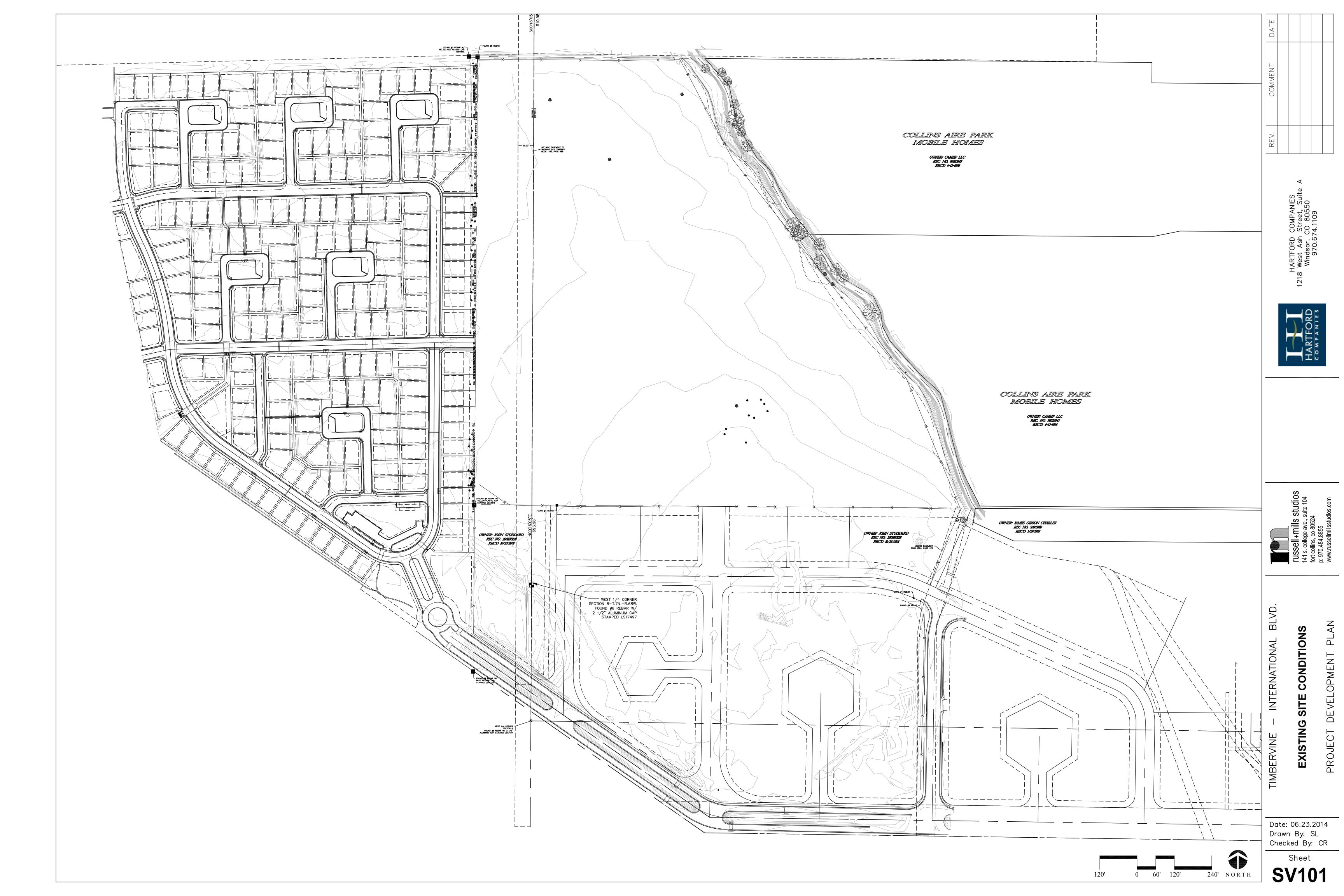
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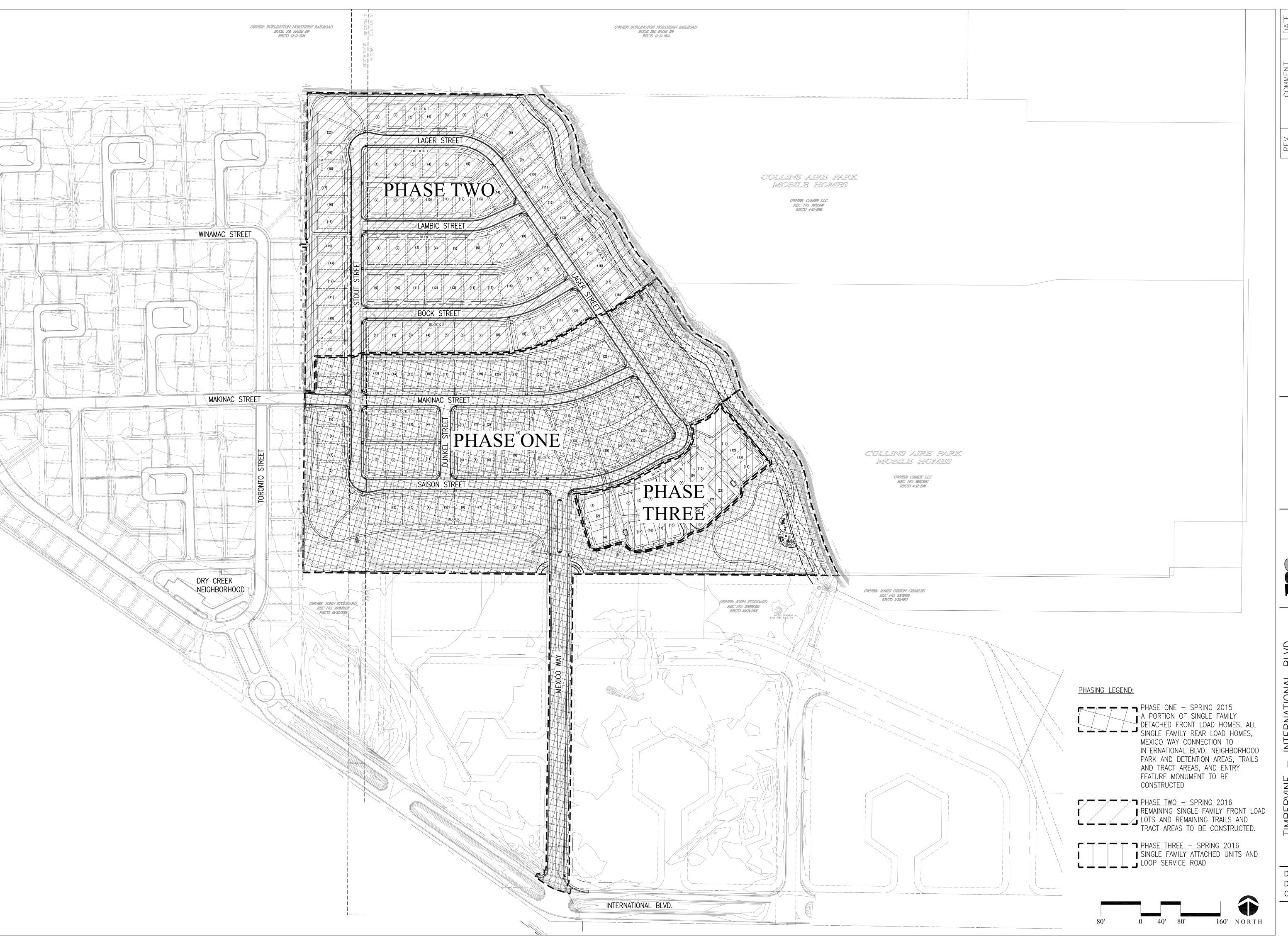
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Sheet LS001







Date: 06.23.2014 Drawn By: SL Checked By: CR

Sheet **LS101** BOOK 506, PAGE 199 RBCID 12-12-1924

WINAMAC STREET

MAKINAC STREET

DRY CREEK

NEIGHBORHOOD

ENTRY ROAD - LARIMER COUNTY

PUBLIC STREET R.O.W. IMPROVEMENTS (SIDEWALK)

PUBLIC STREET R.O.W. IMPROVEMENTS (TURF)

SITE AREA (AC) SITE AREA (SF)

48,177

5,018

5,166

1.10

0.12

0.11

INTERNATIONAL BLVD.

LAND USE

ROAD (ASPHALT)

Date: 06.23.2014 Drawn By: SL Checked By: CR

AS WELL AS THE LOCATION OF THE CURB STOP TO ENSURE THAT THE CURB STOP REMAINS IN A LANDSCAPED AREA. THE BUILDER SHALL ALSO BE RESPONSIBLE TO SATISFFY ALL STREET TREE REQUIREMENTS, INCLUDING QUANTITY, TYPE, LOCATION, AND SEPARATION FROM UTILITY SERVICES. THEREFORE, UTILITY LOCATES SHOULD BE

17. CONCRETE COMPRESSIVE STRENGTH AS DETERMINED BY ASTM C39, 4000 PSI MINIMUM AT 20 DAYS. FIBROUS REINFORCEMENT: COLLATED, FIBRILLATED, POLYPROPELYNE

19. TRASH ENCLOSURES SHALL MEET THE REQUIREMENT OF LUC 3.2.5 WHICH INCLUDES AN OPENING FOR INDIVIDUALS ACCESS WITHOUT OPENING THE SERVICE GATES.

20. LAKE CANAL COMPANY REQUESTS PROTECTION FROM DEBRIS BEING BLOWN INTO THE DITCH DURING CONSTRUCTION, AND RESTRICTION FROM HOMEOWNERS PLACING

21. ADDRESSES WILL BE ASSIGNED BY THE GIS DEPARTMENT AFTER THE PLANS HAVE MET FINAL APPROVAL THROUGH DEVELOPMENT REVIEW AND ARE RECORDED WITH THE

18. APPROVAL FOR THE WALL. TEXT. AND LOCATION OF THE SUBDIVISION'S ENTRANCE SIGN WILL BE SOLELY THROUGH A SEPARATE SIGN PERMIT APPROVAL.

CALLED FOR IN ADVANCE AND DRAWN ON THE LOT-SPECIFIC LANDSCAPE PLAN.

DEBRIS IN DITCH AFTER DEVELOPMENT IS COMPLETE

240' NORTH

FIBERS, TENSILE STRENGTH 70,000 PSI. USE 1.5 LBS. PER CUBIC YARD MINIMUM.

22. ALL PROPOSED STREET NAMES ARE APPROVED AND RESERVED IN THE LARIMER COUNTY STREET INVENTORY SYSTEM.

Sheet

LS102

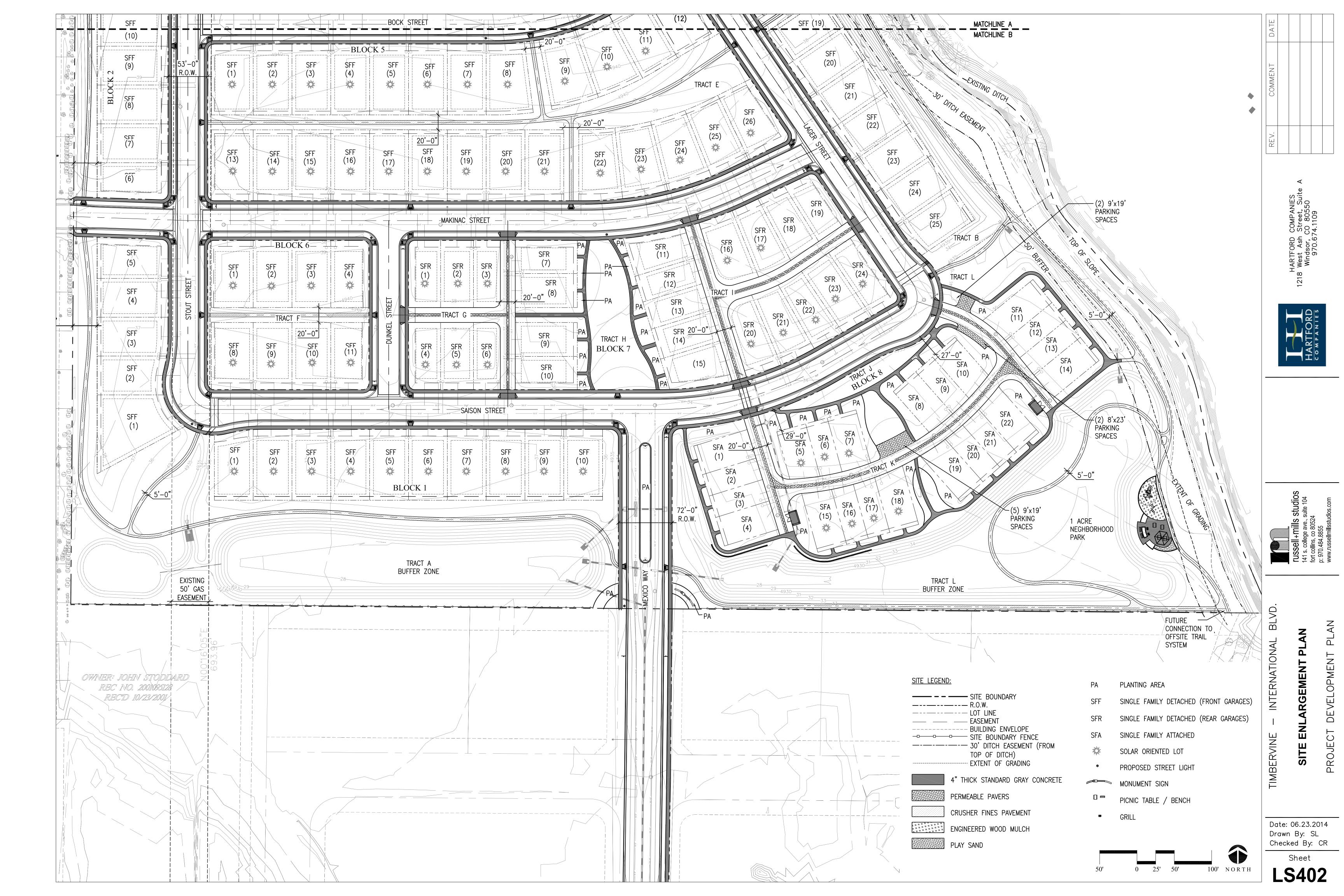




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LS401





DETAILS

DEVELOPMEN

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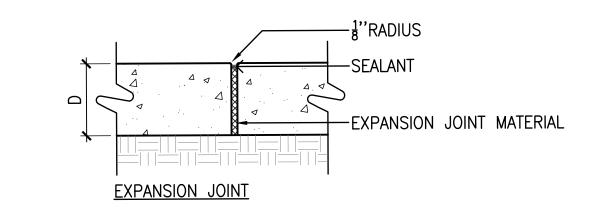
—ASPHALT PAVING -COMPACTED AGGREGATE BASE COURSE -COMPACTED SUBGRADE

1. FINAL ASPHALT PAVING & BASE COURSE DEPTHS BASED ON GEOTECH

ASPHALT PAVEMENT

CONCRETE PAVEMENT WITH FIBER MESH - SAWCUT CONTROL JOINT 1/4 OF SLAB THICKNESS. AS SHOWN ON JOINT PLAN DRAWINGS. SUBGRADE COMPACTED PER SPECIFICATIONS

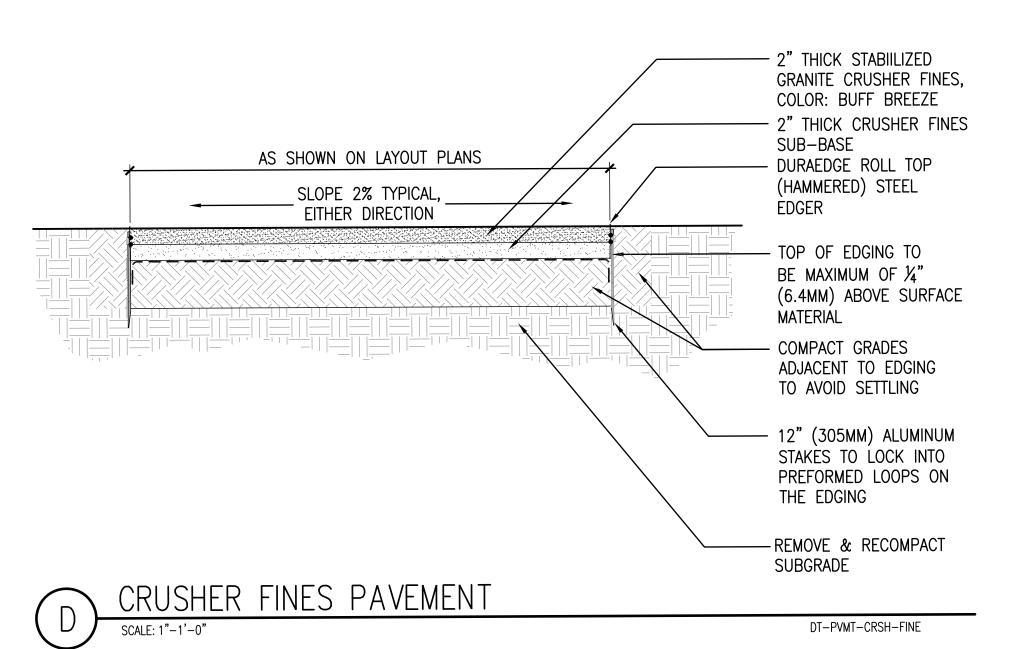
- 1. EXPANSION JOINTS PLACED PER JOINT PLAN, BUT NO LESS THAN 100' O.C. 2. CONTROL JOINT PLACED PER JOINT PLAN, MAXIMUM SPACING 10'.
- 3. CONCRETE TO HAVE FINE BROOM FINISH PERPENDICULAR TO CENTERLINE OF
- 4. FINISHED GRADE OF LANDSCAPE AREA TO BE 1" BELOW FINISH GRADE OF CONCRETE (TYPICAL BOTH SIDES).

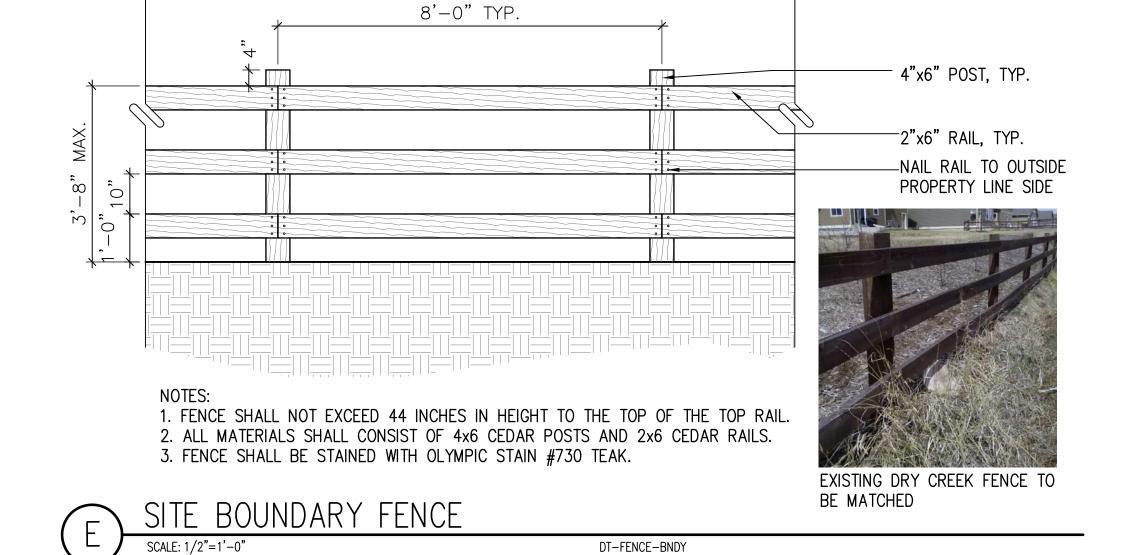


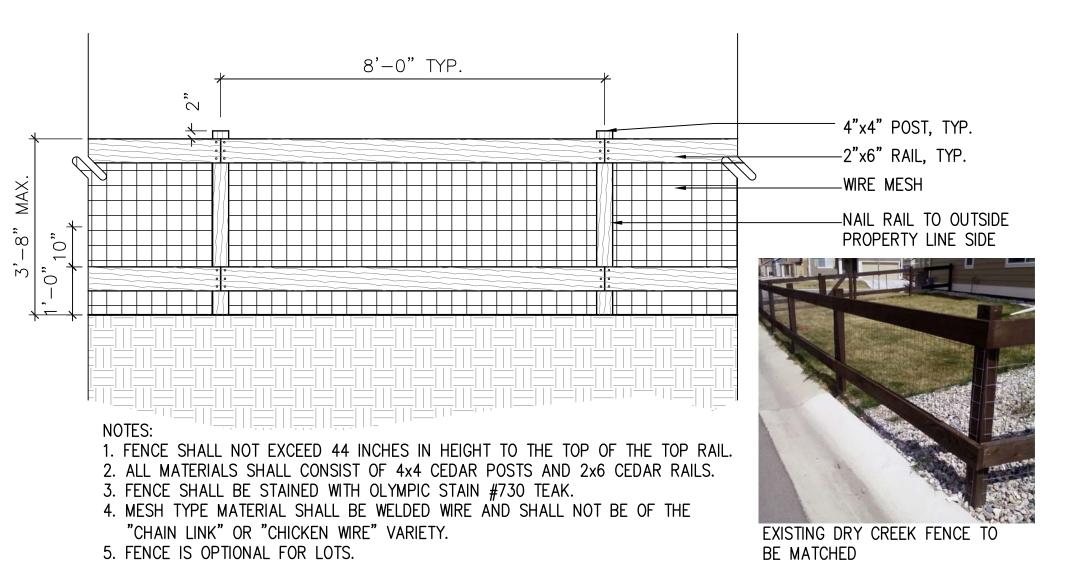


SAWCUT SCORE JOINT

DT-PVMT-CONC







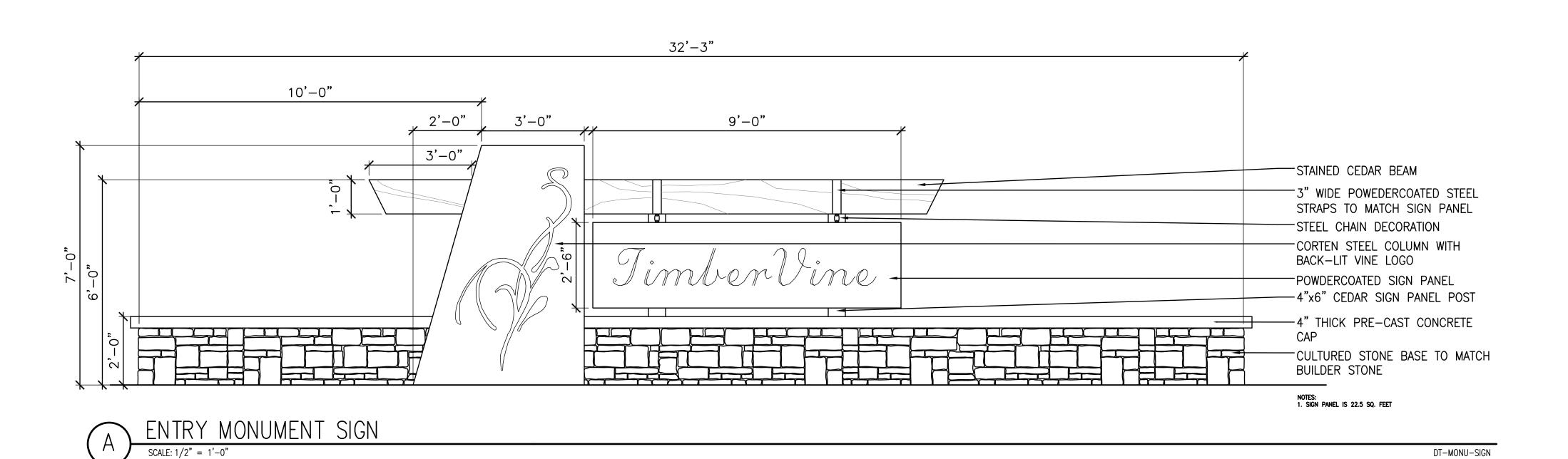
DT-FENCE-BNDY

Sheet

LS501

PROJECT DEVELOPMEN

Sheet LS502





COMPANY: LANDSCAPE STRUCTURES MODEL: 3789 INSTALL PER MANUFACTURER'S SPECIFICATIONS

B PLAY STRUCTURE

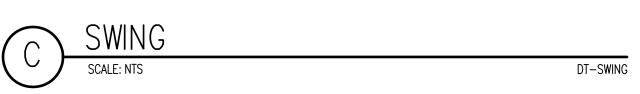
SCALE: NTS

DT-PLAY



COMPANY: LANDSCAPE STRUCTURES

MODEL#: 177334 SINGLE POST SWING FARME WITH ANTI-WRAP HANGERS
COLOR: ACORN
INSTALL PER MANUFACTURER'S SPECIFICATIONS





DT-FURN-SHEL

COMPANY: POLYGON MODEL: HXE 20





COMPANY: VICTOR STANLEY
MODEL#: CM-16
COLOR: BRONZE
INSTALL PER MANUFACTURER'S SPECIFICATIONS

BENCH
SCALE: NTS
DT-FURN-BENCH



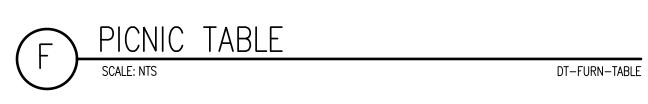
COMPANY: VICTOR STANLEY

MODEL#: CM-56

COLOR: BRONZE

MOUNT: SURFACE

INSTALL PER MANUFACTURER'S SPECIFICATIONS



PROJECT DEVELOPMENT PLAN - LANDSCAPE SUBMITTAL TIMBERVINE

BEING LOCATED IN THE NE 1/4 OF SECTION 7, AND THE NW 1/4 OF SECTION 8, T 7 N, R 68 W OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

SHEET INDEX

LP001 COVE

LP101 TREE PROTECTION AND MITIGATION PLAN

LP102 TREE PROTECTION AND MITIGATION PLAN

LP103 PHASING PLAN

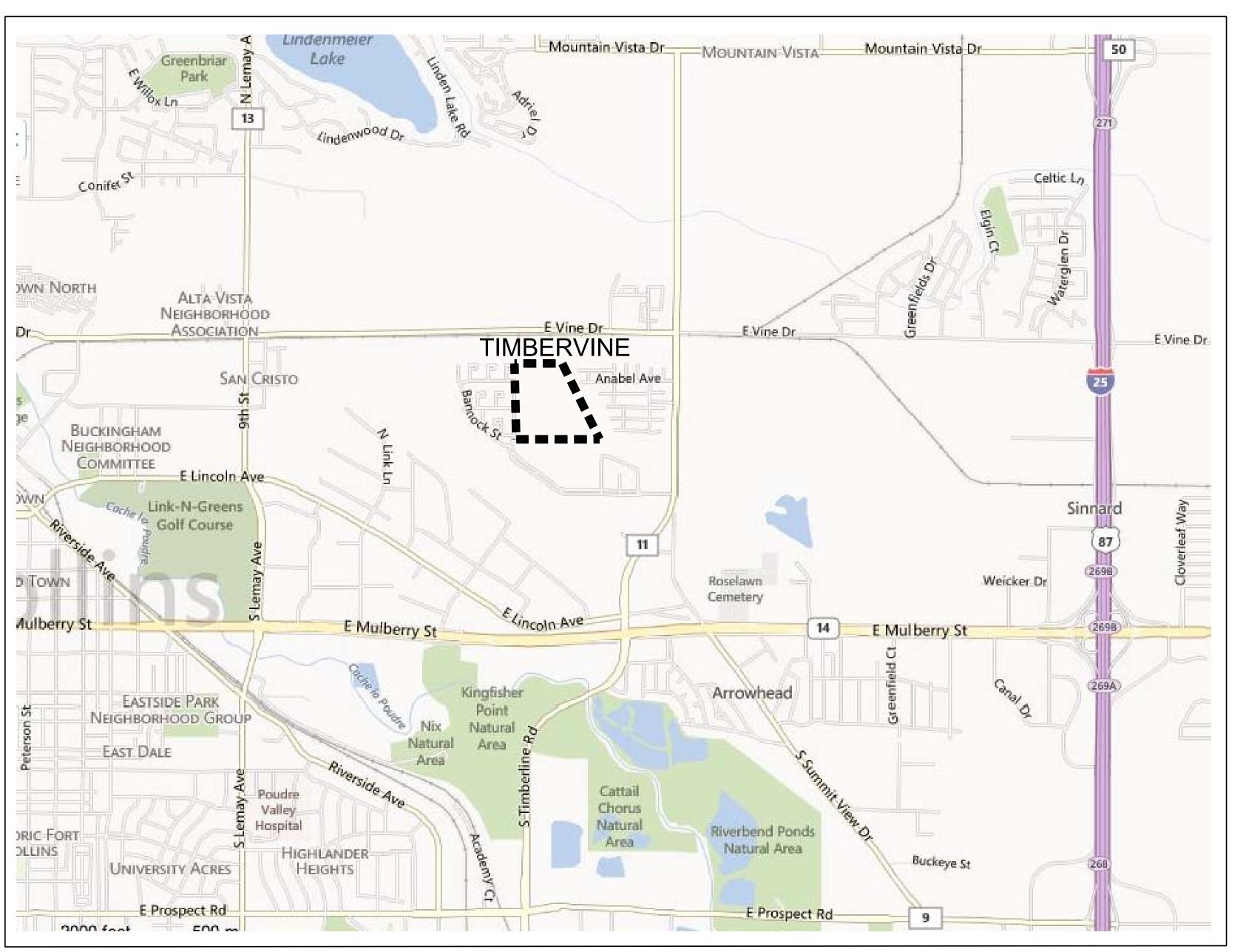
LP104 LANDSCAPE SCHEDULE AND NOTES

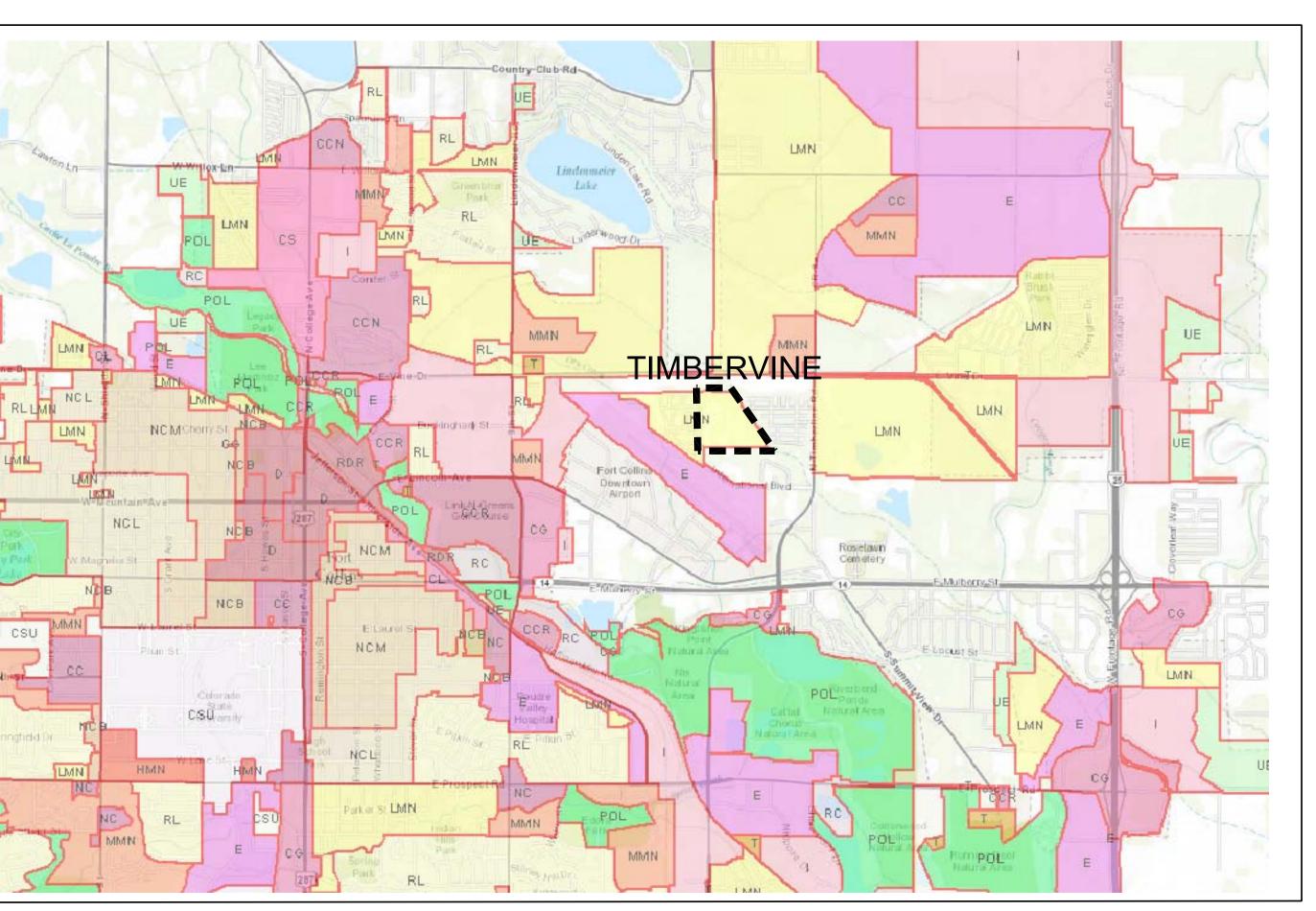
LP105 OVERALL LANDSCAPE PLAN

LP401 LANDSCAPE ENLARGEMENT PLAN

LP402 LANDSCAPE ENLARGEMENT PLAN

LP501 LANDSCAPE DETAILS





CONTEXT MAP NORTH

ZONING MAP NORTH

REV. COMMENT DAT

HARTFORD COMPANIES
218 West Ash Street, Suite A
Windsor, CO 80550
970.674.1109



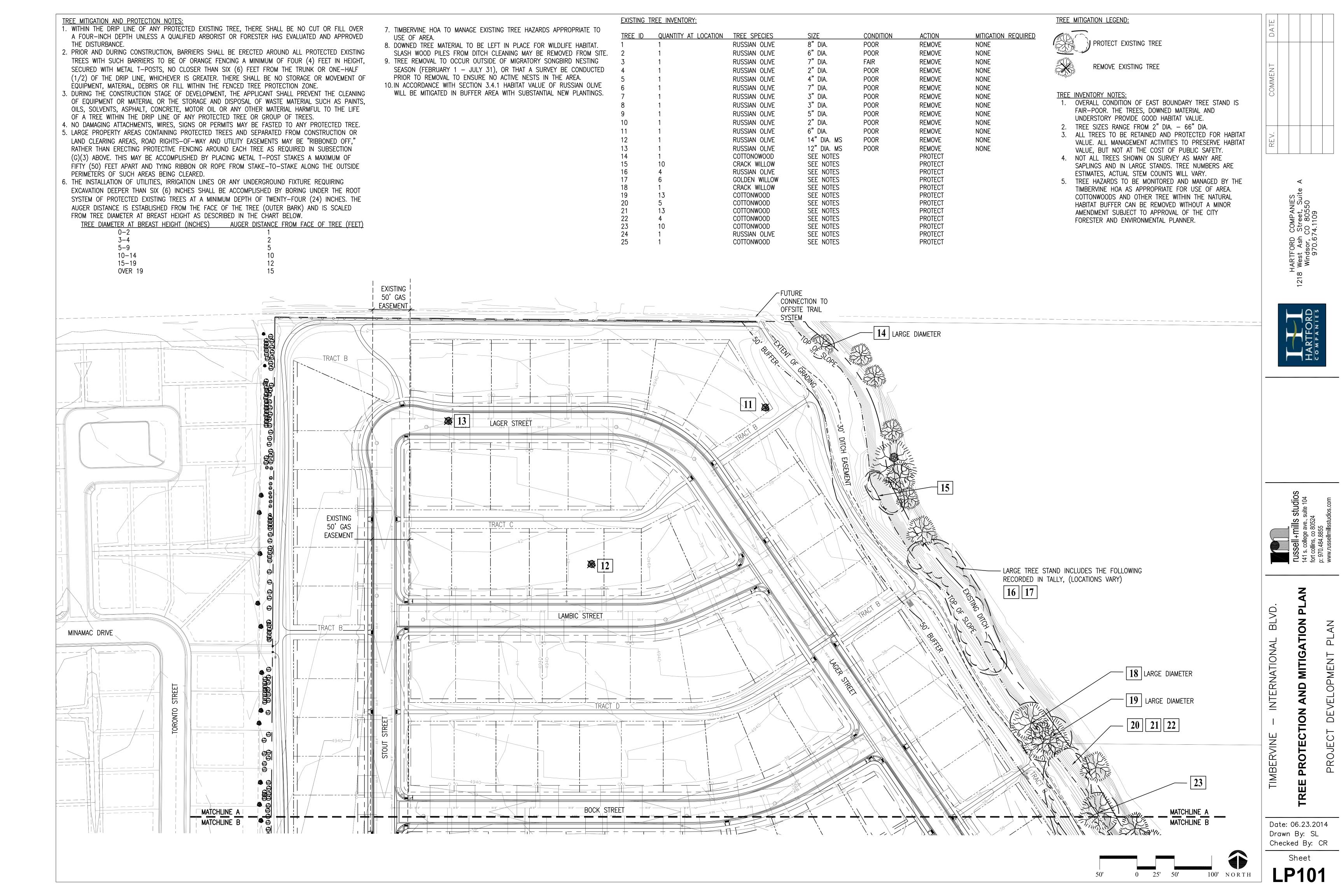
USSell+mills studios
11 s. college ave., suite 104
1rt collins, co 80524
970.484.8855
ww.russellmillsstudios.com

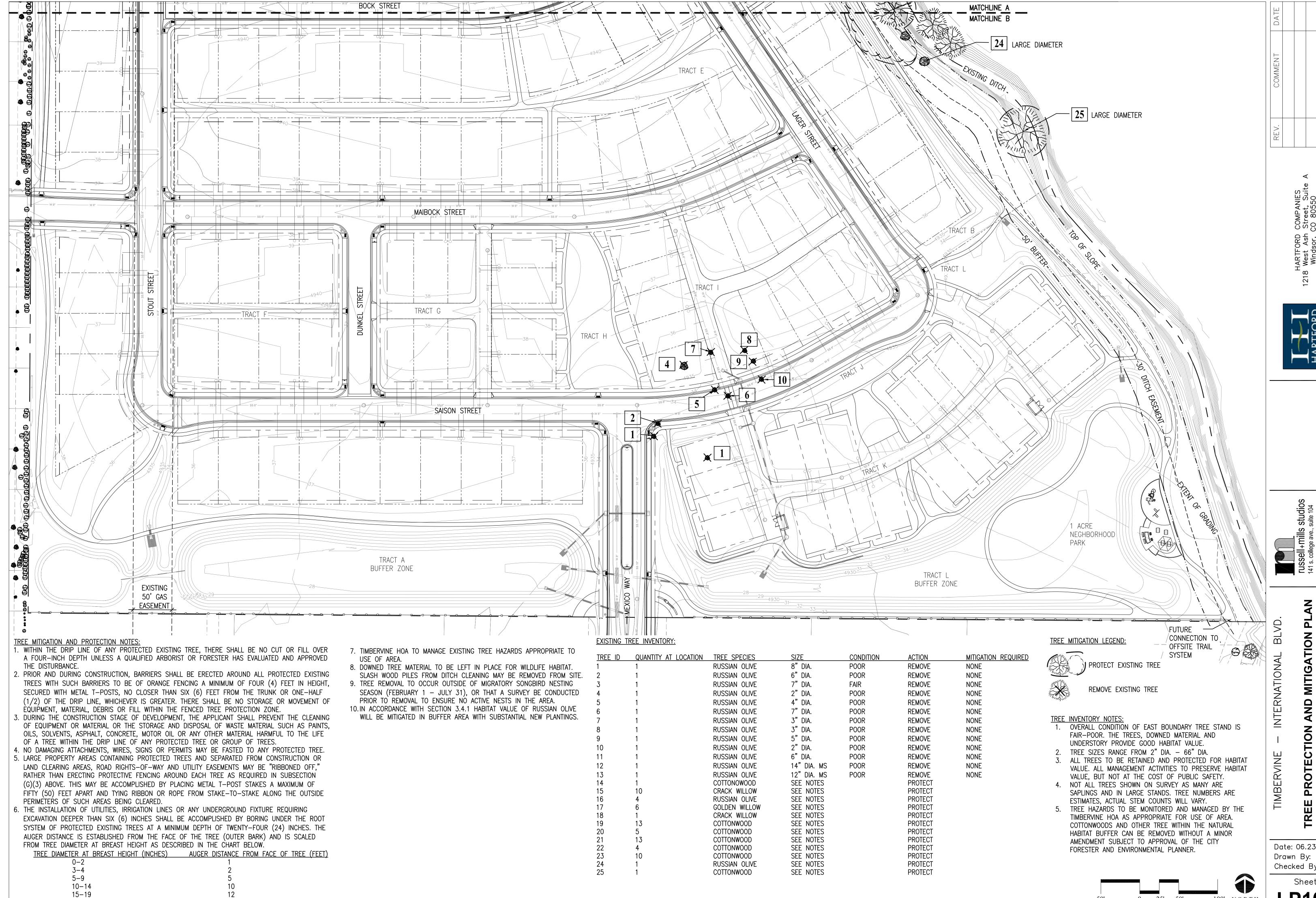
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Sheet LP001





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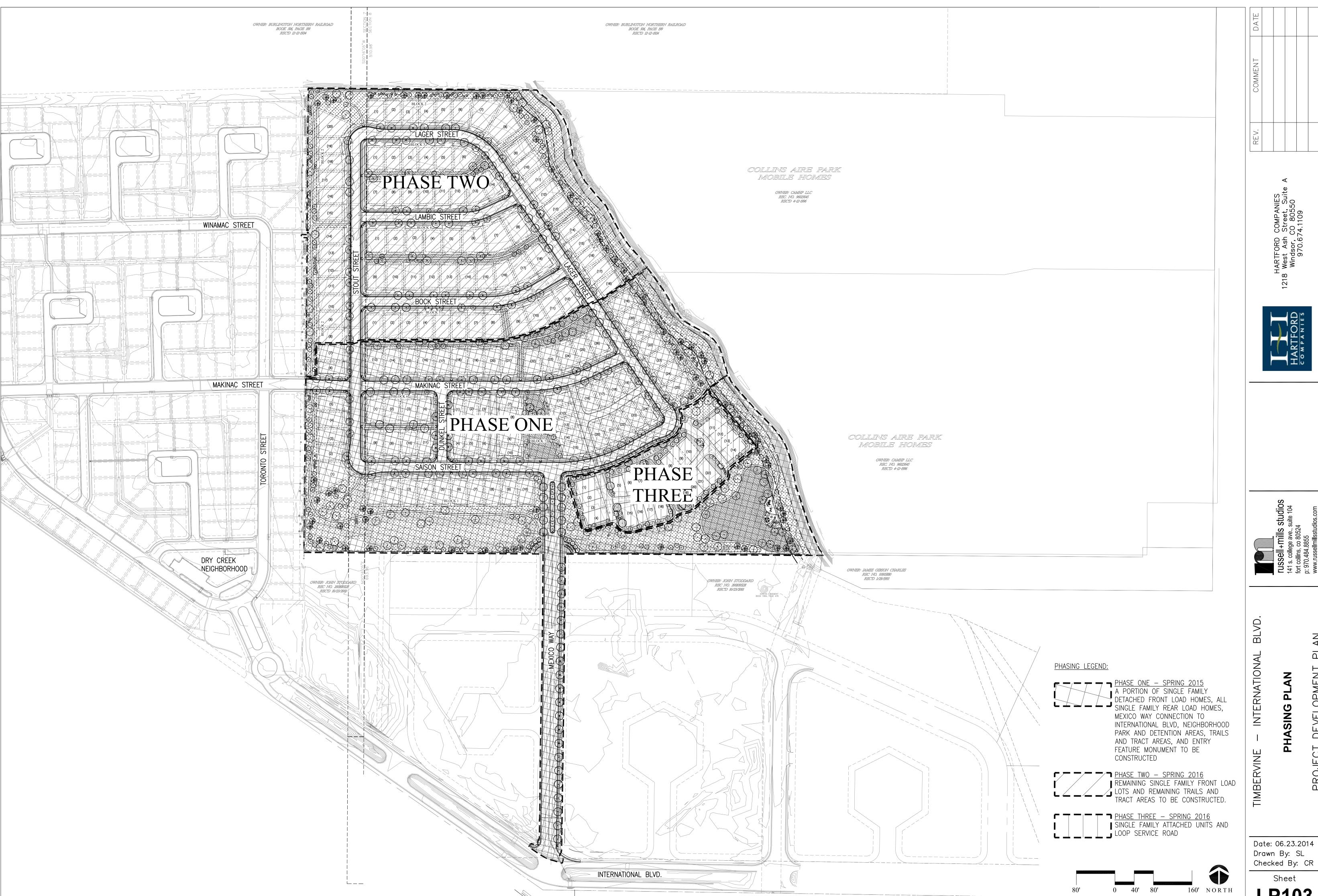
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Date: 06.23.2014

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LANDSCAPE SCHEDULE - MEXICO WAY (LARIMER COUNTY) QTY SYMBOL BOTANIC NAME COMMON NAME GLEDITSIA TRIACANTHOS SHADEMASTER HONEYLOCUST 2" CAL.

INERMIS 'SHADEMASTER'

TILIA AMERICANA 'SENTRY'

AMERICAN SENTRY LINDEN 2" CAL.

- 1. ALL WORK SHALL CONFORM TO CITY OF FORT COLLINS CODES. ALL LANDSCAPING AND PLANTS TO BE LOCATED NOT TO INTERFERE WITH EXISTING OR PROPOSED UTILITIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN (AMERICAN ASSOCIATION OF NURSERYMEN) SPECIFICATIONS FOR NUMBER ONE GRADE.
- PLANT QUANTITIES SHOWN FOR INFORMATION PURPOSES ONLY, CONTRACTOR TO VERIFY ALL QUANTITIES
- 4. ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT AND CITY OF FORT COLLINS.
- 6. PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE, IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO PREVENT DEHYDRATION.
- 7. 6" SOIL MIX CONSISTING OF 20% ORGANIC COMPOST, 20% ORGANIC PEAT & 60% TOPSOIL SHALL BE TILLED IN TO ALL SHRUB BEDS. 4" OF SAME SHALL BE TILLED INTO ALL SEEDED AREAS.
- 8. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE
- 9. FORT COLLINS WATER UTILITIES TO REVIEW AND APPROVE LANDSCAPE IRRIGATION SYSTEM PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- 10. MULCH SHRUB BEDS TO 3" DEPTH WITH SHREDDED REDWOOD CEDAR.
- 11. TREES SHALL NOT BE PLANTED CLOSER THAN 40' TO STREET LIGHTS FOR CANOPY TREES AND 15' FOR ORNAMENTAL TREES. TREE SHALL NOT BE PLANTED CLOSER THAN 20' TO TRAFFIC CONTROL SIGNS AND DEVICES FOR BOTH ORNAMENTAL AND CANOPY. CANOPY AND ORNAMENTAL TREES SHALL NOT BE PLANTED CLOSER THAN 10' BETWEEN WATER OR SEWER MAINS. TREES SHALL NOT BE PLANTED CLOSER THAN 6' TO WATER OR SEWER SERVICE LINES. TREES SHALL NOT PLANTED CLOSER THAN 4' TO GAS LINES. TREES SHALL NOT BE PLANTED CLOSER THAN 8' TO DRIVEWAYS.
- 12. TREES, SHRUBS, ORNAMENTAL GRASS, PERENNIALS SHALL BE IRRIGATED WITH DRIP IRRIGATION. ALL TURF WILL BE IRRIGATED WITH SPRAY IRRIGATION.
- 13. THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL INSPECTION AND MAINTENANCE ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES MUST BE ESTABLISHED, AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- 14. CONTRACTOR TO MAINTAIN AND ENSURE HEALTHY AND FULL STAND OF NATIVE SEED. 15. INSTALL WEED-CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED.
- OVERLAPPING EDGES A MINIMUM OF 6" INCHES. USE ORGANIC MULCH, SHREDDED CEDAR, GORILLA HAIR TYPE, 4" DEPTH. 16. ALL TREES. SHRUBS. PERENNIALS AND LAWN AREAS WILL BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM. SUING DRIP IRRIGATION IN ALL SHRUB
- 17. CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION FOR ALL SEEDING AND PLANT MATERIAL.
- 18. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY CITY OF FORT COLLINS LICENSED ARBORIST AS REQUIRED BY CODE.
- 19. TREES SHALL BE B&B OR EQUIVALENT.
- 20. ONE CANOPY TREE PER LOT MEASURED 60' OR LESS ALONG R.O.W. IS PROVIDED ALONG R.OW. TREE LAWN. IN LOCATIONS WHERE THERE IS NOT ENOUGH CLEARANCE FROM STREET LIGHTS FOR A CANOPY TREE AN ORNAMENTAL TREE HAS BEEN USED (REQUIRED CLEARANCE IS 15').
- 21. STREET PARKWAY LANDSCAPING IN ACCORDANCE WITH FORT COLLINS STREETSCAPE STANDARDS.
- 27. LANDSCAPE PLANTINGS INSTALLED WITHIN THE PUBLIC STREET RIGHT-OF-WAY NEED TO CONFORM TO THE CURRENT SIGHT DISTANCE AND INTERSECTION SIGHT TRIANGLE STANDARDS IN CHAPTER 7 THROUGH 9 OF THE LARIMER COUNTY URBAN AREA STREET STANDARDS. TREE CANOPIES SHOULD NOT OBSTRUCT VISIBILITY OF TRAFFIC REGULATORY SIGNAGE.
- 28. TREE HAZARDS TO BE MONITORED AND MANAGED BY THE TIMBERVINE HOA AS APPROPRIATE FOR USE OF AREA. COTTONWOODS AND OTHER TREE WITHIN THE NATURAL HABITAT BUFFER CAN BE REMOVED WITHOUT A MINOR AMENDMENT SUBJECT TO APPROVAL OF THE CITY FORESTER AND ENVIRONMENTAL PLANNER.

STREET TREE NOTES:

- 29. A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THE PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- 30. THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN BY THE CITY FORESTER FOR STREET TRESS IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF DEVELOPMENT.
- 31. THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL INSPECTION AND MAINTENANCE ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES MUST BE ESTABLISHED, AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- 32. ALL STREET TREE PLANTING SHALL BE THE RESPONSIBILITY OF THE DEVELOPER FOR PLANTING. ACTUAL PLANTING OF STREET TREES SHALL BE DONE BY A
- QUALIFIED LANDSCAPE CONTRACTOR.
- 33. STREET TREE LOCATIONS AND NUMBERS MAY ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, AND SEPARATION STANDARDS FOR ACTUAL WATER AND SEWER SERVICE LINES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON THE PLANS MUST BE INSTALLED UNLESS A REDUCTION OCCURS TO MEET SEPARATION STANDARDS.

	CAPE SCHEE SYMBOL	DULE BOTANIC NAME	COMMON NAME	SIZE
<u>DECIDL</u>	JOUS TREES			
31	(CATALPA SPECIOSA	NORTHERN CATALPA	2" CAL.
50	+	CELTIS OCCIDENTALIS	HACKBERRY	2" CAL.
27	(0)	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2" CAL.
35	\odot	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL.
23	+	GYMNOCLADUS DIOICA 'EXPRESSO'	EXPRESSO KENTUCKY COFFEETREE	2" CAL.
11	\odot	POPULUS SARGENTII (NOT USED AS STREET TREE)	PLAINS COTTONWOOD	2" CAL.
15	$\left(\cdot \right)$	QUERCUS BUCKLEYI	TEXAS RED OAK	2" CAL.
41	\odot	QUERCUS MACROCARPA (BULLET GALL RESISTANT)	BUR OAK	2" CAL.
25		QUERCUS MEUHLENBERGII	CHINKAPIN OAK	2" CAL.
36	\bigcirc	TILIA AMERICANA 'SENTRY'	AMERICAN SENTRY LINDEN	2" CAL.
24		TILIA CODATA 'GREENSPIRE'	GREENSPIRE LINDEN	2" CAL.
21	+	ULMUS 'ACCOLADE'	ACCOLADE ELM	2" CAL.

WATER BUDGET CHART

HIGH O S.F. 18 GAL./SF 0 GAL.	<u>iter use (gal.)</u>
	, ,
MODERATE 195,988 S.F. 10 GAL./SF 1,959,880	GAL.
_OW 358,431 S.F. 3 GAL./SF 1,075,293	GAL.

TOTAL WATER USE =	3,035,173 GAL.
TOTAL LANDSCAPE AREA =	554,419 S.F. *
GALLONS PER S.F. =	5.47 GAL./S.F.

BREAKDOWN OF AREAS:

* MODERATE = $\frac{1}{2}$ OF SHRUB BEDS + TURF (TURF ALONG MEXICO WAY = 5,166 S.F., INCLUDED FOR WATER BUDGET CALCULATIONS) $LOW = \frac{1}{2} OF SHRUB BEDS + SEED$

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES NOTED ON THESE | PLANS ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATIONS AFTER UTILITY LOCATES. STREET TREE MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.

53	\bigcirc	ACER GRANDIDENTATUM	BIGTOOTH MAPLE	1.	5 CAL.
48	Θ	AMELANCHIER ALNIFOLIA	SERVICEBRRY	1.	5 CAL.
20	$\overline{}$	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.	5" CAL.
3	(+)	MALUS 'THUNDERCHILD'	THUNDERCHILD CRABAPPLE	1.	5" CAL.
32	+	PYRUS CALLERYANA	CHANTICLEER PEAR	1.	5" CAL.
\/ED/	GREEN TREES				
55	+)	JUNIPERUS SCOPULORUM	ROCKY MTN. JUNIPER	6'	HT.
30	O	JUNIPERUS SCOPULORUM 'COLOGREEN'	COLOGREEN JUNIPER	6'	HT.
71		PINUS NIGRA	AUSTRIAN PINE	6'	HT.
80	(0)	PINUS EDULIS	PINYON PINE	6'	HT.
		TREES = 785			
MAX 1	NUMBER ALLC	WED (NOT GREATER THAN 15%	EACH SPECIES) = 117		
<u>DECID</u>	UOUS SHRUB	<u>S</u>			
		AMORPHA FRUTICOSA	INDIGO BUSH	_	0.41
	<u> </u>	CHRYSOTHAMNUS NAUSEOSUS	RUBBER RABBITBRUSH		GAL.
	•	CORNUS SERICEA 'ISANTI'	ISANTI DOGWOOD	5	GAL.
	③	PHILADELPHUS MICROPHYLLUS	LITTLELEAF MOCKORANGE	5	GAL.
	\oplus	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5	GAL.
	\ODE	PRUNUS GLANDULOSA 'ROSEA PLENA'	PINK FLOWERING ALMOND	5	GAL.
	©		PURPLE LEAF PLUM		
	•		THREE-LEAF SUMAC		
	●Ø		ALPINE CURRANT		GAL.
	©	RIBES SATIVUM	RED CURRENT		GAL.
	\oplus	RIBES UVA-CRISPA 'COMANCHE'	COMANCHE GOOSEBERRY	5	GAL.
		ROSA WOODSII	WOOD'S ROSE	5	GAL.
	⊕ ⊙	SYMPHORICARPUS ALBUS	WHITE SNOWBERRY	5	GAL.
	\Diamond	VIBURNUM LENTAGO	NANNYBERRY	5	GAL.
<u>ORNAI</u>	MENTAL GRAS	<u>SES</u>			
	•	CALAMAGROSTIS X ACUTIFLORA I	FEATHER REED GRASS	1	GAL.
	•	'KARL FOERSTER'			
	314	HELICTOTRICHON SEMPERVIRENS			GAL.
	※	MISCANTHUS SINENISIS 'YAKUSHIMA'	MAIDEN GRASS	1	GAL.
	•	PANICUM VIRGATUM	SWITCHGRASS	1	GAL.
	•	SPOROBOLUS HETEROLEPIS			GAL.
PEREN	<u>INIALS</u>				
	AMO	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	1	GAL.
	ABF	AGASTACHE 'BLUE FORTUNE'	BLUE FORTUNE HYSSOP		
	DGR		PERENIIAL YELLOW FOXGLOVE		
	EPU		PURPLE CONEFLOWER		GAL.
	GAR		NATIVE BLANKET FLOWER		GAL.
	HHY	HEMEROCALLIS 'HYPERION'	DAYLILY		GAL.
	MFI	MONARDA FISTULOSA MENTHAEFOLIA	NATIVE LAVENDAR BEE-BALM		GAL.
	PBA	PENSTEMON BARBATUS	SCARLET BUGLER PENSTEMON	1	GAL.
	DLII	DIIDDECKIA LIDTA	DIACK EVED CLICANI		CAL

COMMON NAME

BIGTOOTH MAPLE

1.5" CAL.

QTY. <u>SYMBOL</u> <u>BOTANIC NAME</u>

ACER GRANDIDENTATUM

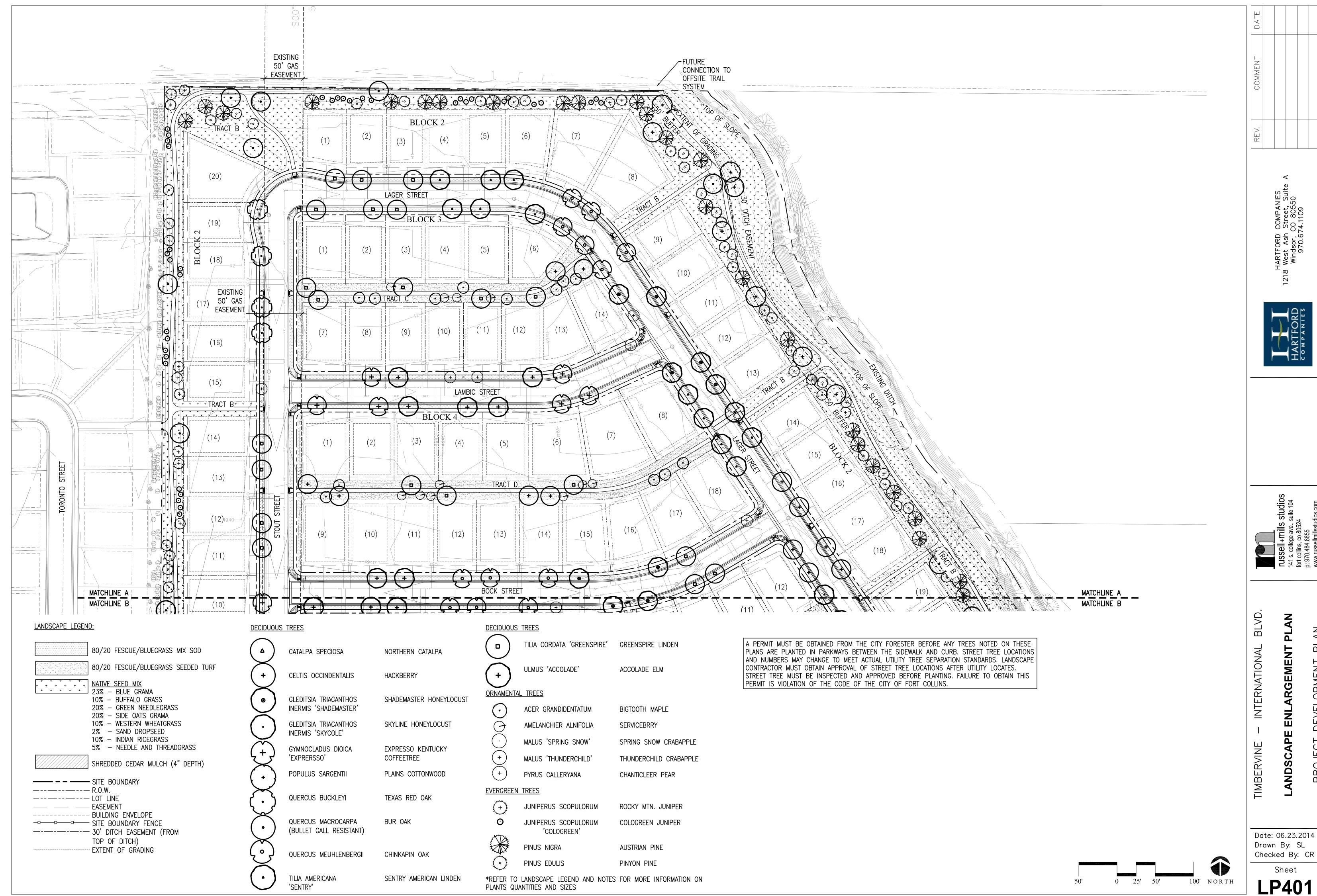
ORNAMENTAL TREES

RHI

RUDBECKIA HIRTA

BLACK-EYED SUSAN



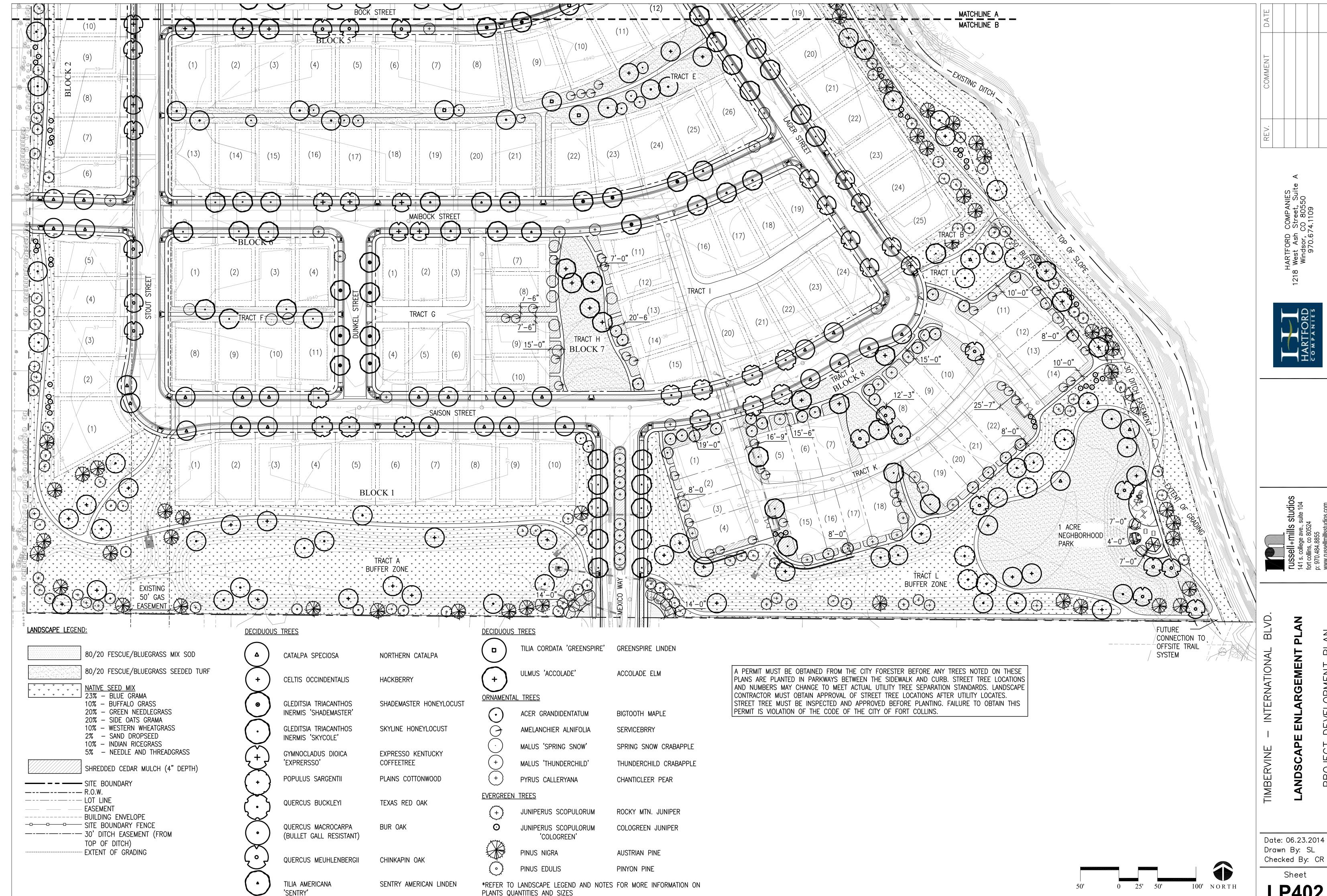




ANDSCAP

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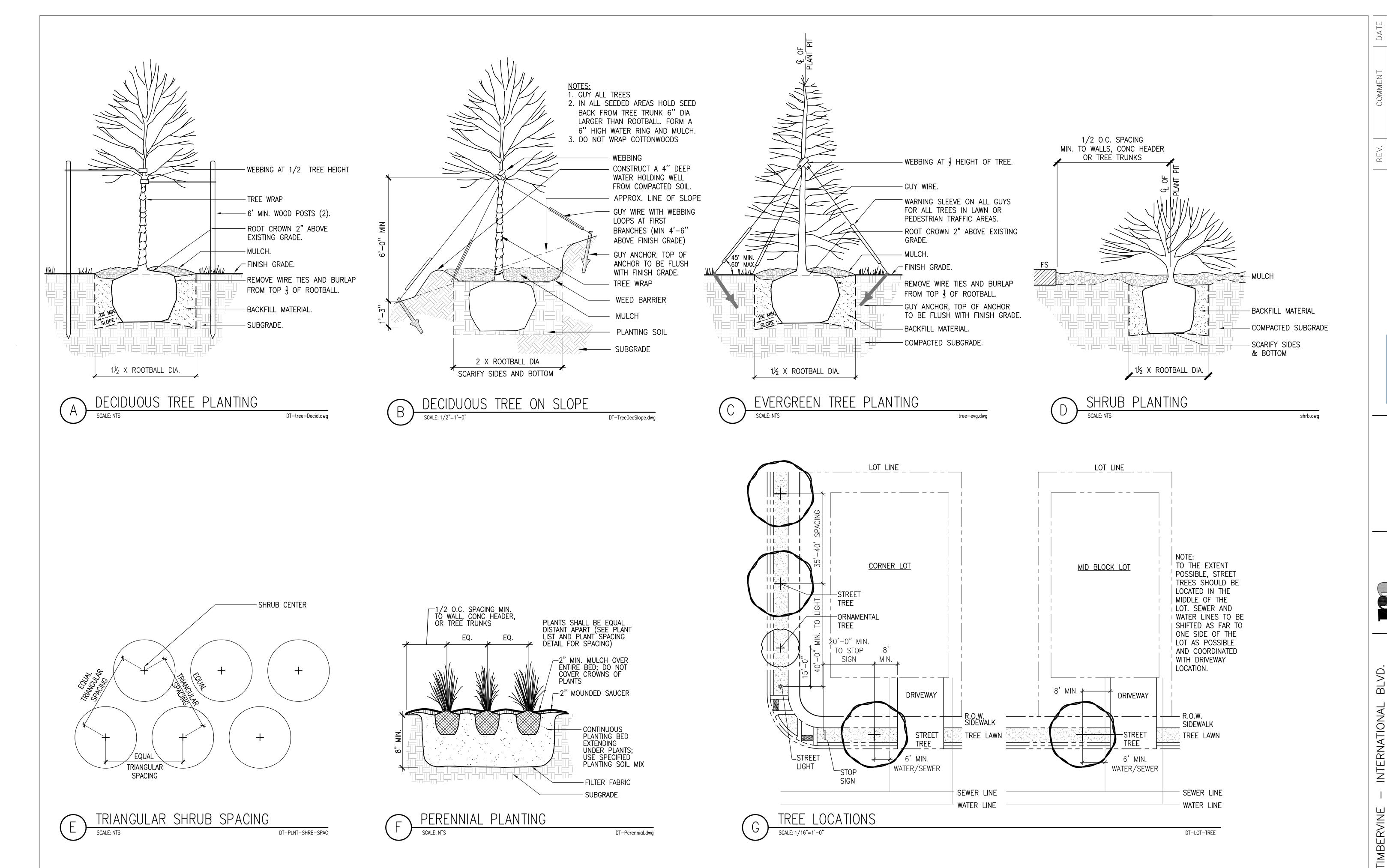




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Date: 06.23.2014 Drawn By: SL

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HARTFORD COMPANIES 1218 West Ash Street, Suite Windsor, CO 80550 970.674.1109



studios suite 104

DETAIL

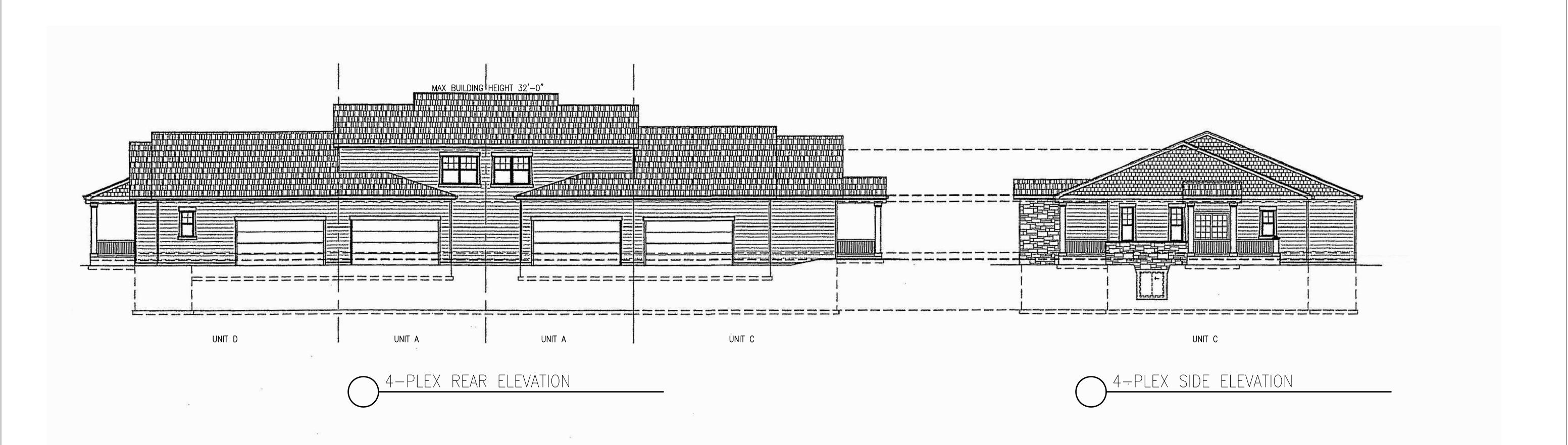
DEVELOPMEN

PROJECT

ANDSC/

Date: 06.23.2014 Drawn By: SL Checked By: CR

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SINGLE

Date: 06.18.2014 Drawn By: SL Checked By: CR

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UTILITY PLANS FOR: TIMBERVINE

PROJECT TEAM:

HARTFORD COMPANIES

DEVELOPER/APPLICANT
Summerpark Holdings LLC.

Landon Hoover 1218 West Ash, Suite A Windsor, CO 80550 (303) 486-8553



SITE ENGINEER

Galloway & Company Rob Van Uffelen 3760 E. 15 Street, Suite 202 Loveland, Colorado 80538 (303) 770-8884



PLANNER/
LANDSCAPE ARCHITECT
Russell + Mills Studios

Craig Russell, RLA, ASLA 141 S. College Avenue, Suite 104 Fort Collins, CO 80524 (970) 484-8855



SURVEY ENGINEER
WILLIAM H. SMITH & ASSOCIATES, P.C.
Laine Landau, PLS
Office (970) 449-4496
Fax (970) 449-4498
508 W. 66TH Street, Unit #4
Loveland, CO 80538



TRAFFIC ENGINEER

Delich Associates 2272 Glen Haven Drive Loveland, Colorado 80538

GEOTECHNICAL ENGINEER

CTLITHOMPSON

CTL Thompson Inc.
351 Linden Street, Unit 140
Fort Collins, Colorado 80524

PROJECT BENCHMARKS:

BASIS OF ELEVATION:

THE PROJECT BENCHMARKS:
92-1, EAST VINE DRIVE AT THE PLEASANT VALLEY AND LAKE CANAL INTERSECTION. ON A BRIDGE ON THE TOP OF THE NORTHWEST HEADWALL.
NGVD29 UNADJUSTED ELEVATION= 4943.13 (CITY OF FORT COLLINS DATUM)
NAVD88 = NGVD29 + 3.18'

SALGADO, NGS MONUMENT SET IN CONCRETE ON THE NORTH SIDE OF DONELLA CT. 13 FEET NORTH OF DONELLA CT AND 8 FEET EAST OF THE ENTRANCE TO FIRE STATION NO. 6. APPROX. 135 FEET WEST OF SUMMITVIEW DR. AND DONELLA CT.

NGVD29 UNADJUSTED = 4929.64 (CITY OF FORT COLLINS DATUM)

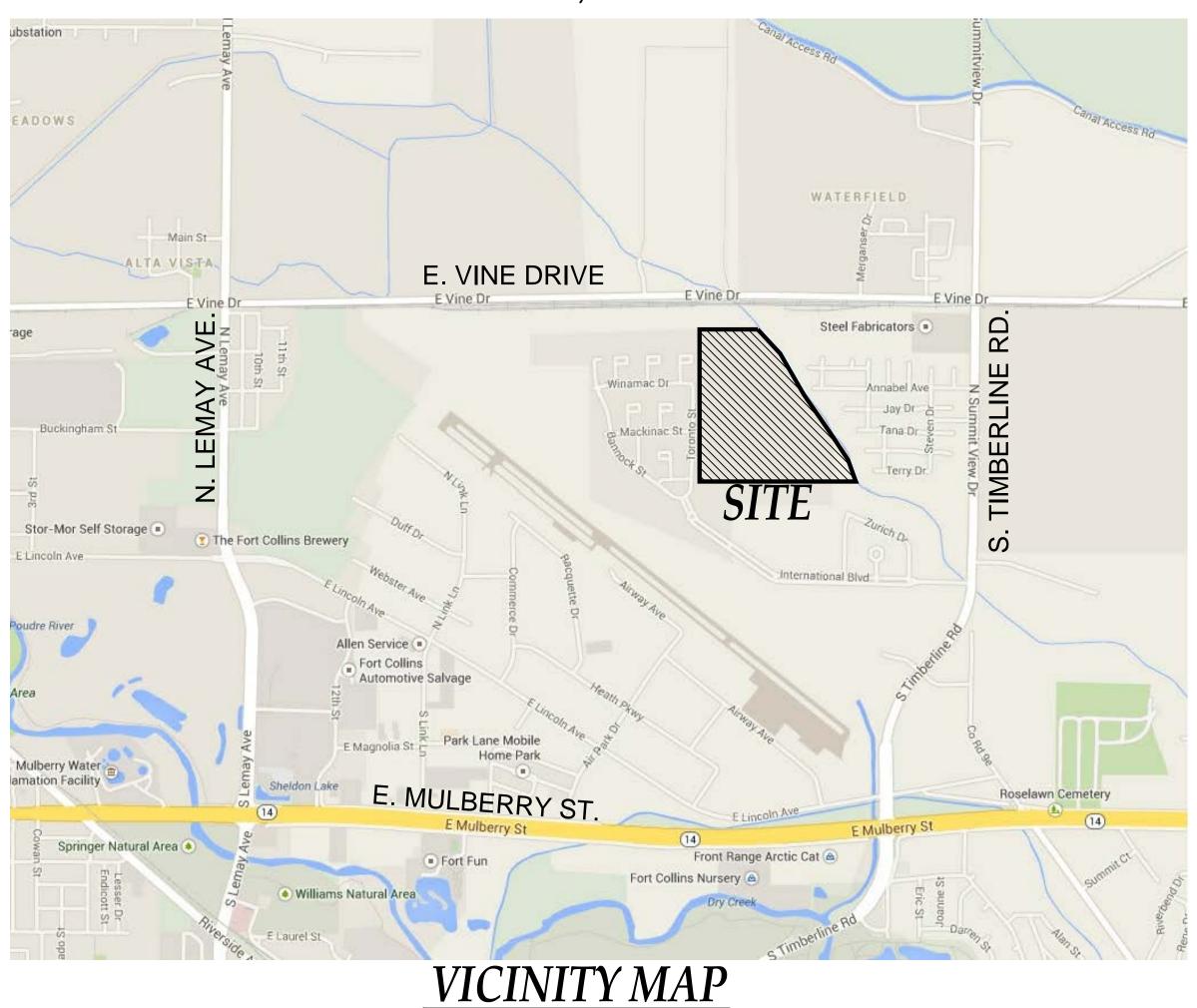
BASIS OF BEARINGS:

BASIS OF BEARINGS:

COMMENCING AT THE NORTH QUARTER (N1/4) CORNER OF SAID SECTION 8 AND ASSUMING THE EAST LINE OF SAID NW1/4 AS BEARING SOUTH 00°24'41" WEST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/92, A DISTANCE OF 2646.00 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BEING LOCATED IN THE NE 1/4 OF SECTION 7, AND THE NW 1/4 OF SECTION 8, T7N, R 68 W OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

MAY, 2014



SHEET INDEX

CV01 COVER SHEET

CV02 GENERAL AND CONSTRUCTION NOTES

EX01 EXISTING CONDITIONS AND DEMOLITION PLAN

PH01 PHASING PLAN

G1-G3 GRADING PLANS

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U1-U4 UTILITY PLANS

SS01-SS11 SANITARY PLAN AND PROFILES

SD01-SD03 STORM DRAIN PLAN AND PROFILES

RD01-RD13 ROAD PLAN AND PROFILES

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DR01 DRAINAGE PLAN

AN SUMME SOLDING

CALL UTILITY NOTIFICATION CENTER OF COLORADO

TIMBERVIN

Sheet

CV01

Of 41 Sheets



UNDERGROUND MEMBER UTILITIES

LAKE CANAL RESERVOIR COMPANY APPROVAL

SECRETARY OF THE BOARD OF DIRECTORS: ALDEN V. HILL DATE

BOXELDER SANITATION DISTRICT UTILITY PLAN REVIEW

REVIEWED BY:

GENERAL MANAGER

DATE:

REVIEW DOES NOT CONSTITUTE "APPROVAL" OF PLANS. PLAN ENGINEER IS RESPONSIBLE FOR ACCURACY AND COMPLETENESS.

ELCO WATER DISTRICT UTILITY PLAN APPROVAL

APPROVED:

MANAGER

MANAGER

SYSTEMS ENGINEER

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:

City Engineer Date

CHECKED BY:

Water & Wastewater Utility Date

CHECKED BY:

Parks & Recreation Date

CHECKED BY:

Traffic Engineer Date

CHECKED BY:

Environmental Planner Date

APPROVED:

UTILITY CONTACT LIST: *

UTILITY COMPANY	<u>PH</u>	ONE NUMBER
GAS Xcel Energy	Stephanie Rich	(970) 225-7828
ELECTRIC City of Fort Collins Light & Power		(970) 224-6152
CABLE Xfinity	Don Kapperman	(970) 567-0425
TELECOM Centurylink	William Johnson	(970) 377-6401
WATER ELCO	Mike Scheid	(970) 493-2044
WASTEWATER Boxelder Sanitation District	Patricia Mathena	(970) 498-0604
STORMWATER - City of Fort Collins Utilities	Glen Schlueter	(970) 221-6700

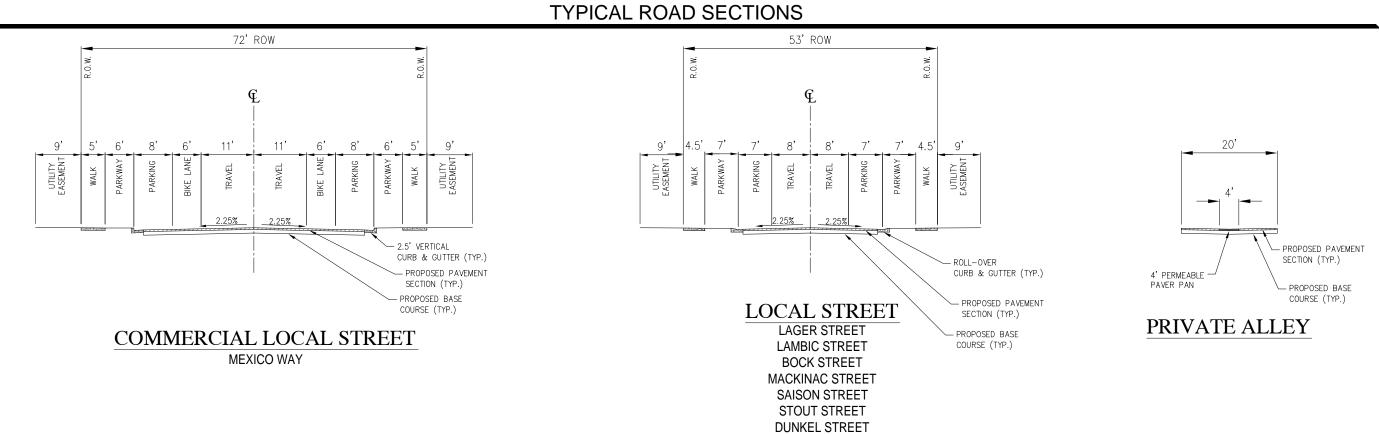
* This list is provided as a courtesy reference only. Galloway and Company assumes no responsibility for the accuracy or completeness of this list. In no way shall this list relinquish the Contractor's responsibility for locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of Colorado (UNCC) at 811 for additional information.

DISCLAIMER STATEMENT:

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

CERTIFICATION STATEMENT:

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes, respectively; and that I am fully responsible for the accuracy of all design. revisions, and record conditions that I have noted on these plans.



A. GENERAL NOTES

- . All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Larimer County Urban Area Street Standards and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the City of Fort Collins.
- 2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- 3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
- 4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these
- 5. All storm sewer construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
- 6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for
- The Developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- 8. The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings
- 9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
- 10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility
- 11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a pre-construction meeting may be required prior to
- 12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities
- 13. The minimum cover over water lines is 4.5 feet and the maximum cover is 6.0 feet unless otherwise noted in the plans and approved by the Water Utility.
- 14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
- 15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.
- 16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
- 17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
- 18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
- 19. All recommendations of the Preliminary Drainage and Erosion Control Report for Timbervine dated May 28, 2014 by Galloway and Company, Inc., shall be followed
- 20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
- 21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the the City of Fort Collins street
- 22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if
- 23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the the City of Fort Collins Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper
- to accept the improvement if subsequent testing reveals an improper installation. 24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur

notice of construction activity has been provided, the Developer may commence work in the Engineer absence. However, the City of Fort Collins reserves the right not

- 25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.
- 26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
- 27. Portions of Larimer County are within overlay districts. The Larimer County Flood Plain Resolution should be referred to for additional criteria for roads within these
- 28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.
- 29. Prior to the commencement of any construction, the contractor shall contact the Local Entity Forester to schedule a site inspection for any tree removal requiring a
- 30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching,
- 31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority. (The the City of Fort Collins, Larimer County, Colorado), for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
- Department, who will temporarily remove or relocate the sign at no cost to the contractor, however, if the contractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.

32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact the City of Fort Collins Traffic Operations

- 33. The Developer is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Development's local street operations. In addition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.
- 34. There shall be no site construction activities on Saturdays, unless specifically approved by the City of Fort Collins Engineer, and no site construction activities on
- Sundays or holidays, unless there is prior written approval by Larimer County. 35. The Developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated
- to be provided, installed, or constructed, unless specifically noted otherwise.
- 36. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built record drawings. 37. The Developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of
- any permits and extension agreements needed for the job.
- 38. If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Developer shall contact the Designer and the City of Fort Collins Engineer immediately.
- 39. The Developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and available to the Larimer County's Inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the City of Fort Collins Engineer.
- 40. The Designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks (2) for the project as well as the basis of bearings. The information shall be as follows:
- City of Fort Collins benchmark 92-1 EAST VINE DRIVE AT THE PLEASANT VALLEY AND LAKE CANAL INTERSECTION. ON A BRIDGE ON THE TOP OF THE NORTHWEST HEADWALL. NGVD29 ELEVATION= 4943.13 (CITY OF FORT COLLINS DATUM) NAVD88 = NGVD29 + 3.18'

City of Fort Collins benchmark SALGADO

NAVD88 = NGVD29 + 3.19'

until the City of Fort Collins Engineer approves the final report.

NGS MONUMENT SET IN CONCRETE ON THE NORTH SIDE OF DONELLA CT. 13 FEET NORTH OF DONELLA CT AND 8 FEET EAST OF THE ENTRANCE TO FIRE STATION NO. 6. APPROX. 135 FEET WEST OF SUMMITVIEW DR. AND DONELLA CT. NGVD29 = 4929.64 (CITY OF FORT COLLINS DATUM)

- 41. All stationing is based on centerline of roadways unless otherwise noted.
- 42. Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.

- 43. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be done in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of need for a complete overlay shall be made by the Larimer County Engineer and/or the City of Fort Collins Inspector at the time the cuts are made.
- 44. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.
- 45. Standard Handicap ramps are to be constructed at all curb returns and at all "T" intersections.
- 46. After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
- 47. The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: N.A.
- 48. Approved Variances are listed as follows: N/A

CONSTRUCTION NOTES

A. GRADING AND EROSION CONTROL NOTES

- 1. The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.
- 2. There shall be no earth-disturbing activity outside the limits designated on the accepted plans.
- 3. All required perimeter silt and construction fencing shall be installed <u>prior</u> to any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion
- 4. At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.
- 5. Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.
- 6. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City/County.
- 7. In order to minimize erosion potential, all temporary (structural) erosion control measures shall:

continued performance of their intended function

- a. Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the
- b. Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector. c. Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector
- 8. When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities
- 9. The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of way, and make
- sure streets and walkways are cleaned at the end of each working day. 10. All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into
- 11. No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.
- 12. The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the City/County or Homeowners Association (HOA).
- 13. City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and federal regulations.
- 14. A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.
- 15. Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City.

B. STREET IMPROVEMENT NOTES

- All street construction is subject to the General Notes on the cover sheet of these plans as well as the Street Improvements Notes listed here. 2. A paving section design, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval, prior to any street
- placement of any asphalt. 3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be

construction activity, (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to

- allowed unless approved by the City of Fort Collins Engineer in Fort Collins. 4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been
- 5. Ft. Collins only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings are not allowed.
- 6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the Inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete overlay shall be made by the City of Fort Collins Engineer. All overlay work shall be coordinated with adjacent landowners such that future projects do not cut the new asphalt overlay work.
- All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as per the Right-of-Way Work Permit traffic control plan.
- 8. The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of asphalt. Gutters that hold more than 1/4 inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.
- 9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less that 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive pumping or deformation, as determined by the City of Fort Collins Engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The City of Fort Collins Engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be preformed in the presence of
- C. TRAFFIC SIGNING AND PAVEMENT MARKING CONSTRUCTION NOTES

inspected and approved by the City of Fort Collins Engineer

- 1. All signage and marking is subject to the General Notes on the cover sheet of these plans, as well as the Traffic Signing and Marking Construction Notes listed here. 2. All symbols, including arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.
- 3. All signage shall be per the City of Fort Collins Standards and these plans or as otherwise specified in MUTCD.
- 4. All lane lines for asphalt pavement shall receive two coats of latex paint with glass beads.
- 5. All lane lines for concrete payement should be epoxy paint.
- 6. Prior to permanent installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and placement of the same. Their placement shall be approved by the City of Fort Collins Traffic Engineer prior to permanent installation of striping and symbols.
- 7. Pre-formed thermo-plastic applications shall be as specified in these Plans and/or these Standards.
- 8. Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.
- 9. All surfaces shall be thoroughly cleaned prior to installation of striping or markings. 10. All sign posts shall utilize break-away assemblies and fasteners per the Standards.
- 11. A field inspection of location and installation of all signs shall be performed by the City of Fort Collins Traffic Engineer. All discrepancies identified during the field
- inspection must be corrected before the 2-year warranty period will begin
- 12. The Developer installing signs shall be responsible for locating and protecting all underground utilities.
- 13. Special care shall be taken in sign location to ensure an unobstructed view of each sign.
- 14. Signage and striping has been determined by information available at the time of review. Prior to initiation of the warranty period, the City of Fort Collins Traffic Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Traffic Engineer determines that an unforeseen condition warrants such signage according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the 2-year warranty period for new construction
- 15. Sleeves for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Traffic Control Devices, for additional detail.

implemented.

- 1. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s). 2. All recommendations of the Preliminary Drainage and Erosion Control Report for Timbervine dated May 28, 2014 by Galloway and Company, shall be followed and
- Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must by submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall by submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.

E. ELCO STANDARD NOTES:

- The following information is condensed from the current "Standard Construction Specification for Water Mains" as adopted by the East Larimer County Water District ('ELCO' or 'District') and is to be considered as such. In the event of any question the full document shall take precedence.
- 1. It shall be the responsibility of the Contractor to coordinate field locates of all existing utilities prior to commencement of any construction. Contractor shall also notify all affected utility companies prior to commencing construction. In event of damage to any existing utility Contractor shall immediately notify owner of the utility involved and, unless authorized in writing by the owner of the subject utility, shall not attempt to make repairs. Cost of repairs shall be the responsibility of the Contractor.
- 2. Contractor shall continuously maintain adequate protection from damage of all public and private property through which the work is done.
- 3. All water main installation within the ELCO Water District shall be subject to current OSHA and COSHA safety requirements. Contractor shall also comply with any and all requirements and regulations as set forth by City, County, State and Federal agencies having applicable authority.
- 4. No construction shall begin without prior design approval from ELCO. District shall be notified 48 hours in advance of starting construction or testing to allow for scheduling. District shall inspect the construction as necessary and shall observe all line testing. Construction or testing shall conform to District Specifications at all times. In event that State or City road excavation permit(s) are required Contractor shall notify District of proposed construction schedule well in advance to allow time for District to obtain the required permit(s). Contractor is responsible for obtaining all County road permits which may be required. No verbal authorization for field revision shall be given. All requests for such field revision shall be made in writing accompanied by proposed change indicated on copy of the approved design drawings. Any field revision approved and installed shall also be accurately documented on As-Built drawings as detailed in Item 14 of these Notes.
- Materials: Plastic Pipe - All water piping shall be Polyvinyl Chloride (PVC). All PVC piping through 12-inch shall be manufactured in accordance with AWWA Standard C900, "Polyvinyl Chloride (PVC) Pressure Pipe, 4-inch through 12-inch, For Water Distribution", Class 150 (SDR 18). All PVC piping 14-inch through 36-inch shall be manufactured in accordance with AWWA Standard C905, "Polyvinyl Chloride (PVC) Water Transmission Pipe, Nominal Diameters 14-inch through 36", Class 200 (SDR 18). Approved manufacturers are JM Eagle, Certainteed, Gifford Hills or Carlon. Size of the pipe as shown on the approved plans. All non-metal water piping shall be installed with a twelve (12) gauge braided copper wire, plastic coated, six hundred (600) volt taped to top of pipe and surfaced at each fire hydrant. Pipe joints shall be made using an integral bell with an elastomeric gasket push-on type joint or using machined couplings of a sleeve type with rubber ring gaskets and machined pipe ends to form a push-on type joint. All materials installed shall be free of manufacturer defects. Any defective or damaged materials noted on the construction site shall be so marked and removed from the site. All fittings shall be mechanical joint, cast iron or ductile, manufactured in accordance with AWWA Standard C110. Fittings shall be furnished with a cement-mortar lining of standard thickness class with a 250 psi pressure rating. Under no circumstances shall any PVC piping be installed utilizing mechanical equipment to seat the joints. Gate Valve - Gate valves shall conform to AWWA Standard C509-87 with mechanical joint, 2" open left operating nut and resilient seat. Valve shall be Mueller A-2380-20 or approved equal.
- Butterfly Valve Butterfly valves shall conform to AWWA Standard C504-80 with mechanical joint, 2" open left operating nut, resilient seat. Valve shall be Mueller or approved equal.
- Fire Hydrant Assembly Hydrant shall conform to AWWA Standard C502-85, 1" square open right operating nut, no American Darling units. Mueller Super Centurion with epoxy coated shoe or American Flo Control Waterous Pacer WB-67-250X with epoxy coated shoe. Fittings - All fittings shall be swing assemblies with anchor couplings.
- 6. Bedding: All water main installation shall include bedding. Bedding shall be 3/4" washed rock uniformly graded and compacted. Trench shall be excavated to a depth below established grade equal to 1/4 of pipe diameter (min. 4"). Bell depressions shall be provided for all joints. In event that unstable trench conditions are encountered at pipeline grade 1-1/2" uniformly graded washed rock shall be used for stabilization. Bedding material shall be placed and compacted under and around sides of the pipe. Place bedding in such a manner as to provide solid, uniform bearing surface for full length of barrel. Minimum 30" backfill above pipe before other than hand compaction equipment is to be used. Note maximum trench width detail.
- 7. Concrete: All concrete construction, including thrust blocks, shall be completed utilizing Type 5 or equal cement only.
- 8. Backfill: Backfilling of trench shall be performed as soon as practical, subsequent to inspection and approval. Backfilling of acceptable material shall be placed in lifts not greater than one (1) foot. Backfill shall be compacted to 95% of optimum density in roadway areas and 90% in all other locations. Compaction testing of bedding and backfill shall be at least five tests per 1,000 feet and at varying depths and locations in accordance with the requirements of the applicable authority.
- 9. All fittings, tees, plugs and fire hydrants shall be provided with anchor couplings, or Foster adapters, and concrete thrust blocks in accordance with ELCO Specifications. All fittings, valves, fire hydrant shoes and plugs shall be poly wrapped prior to backfill.
- 10. In event that asphalt pavement is involved that has been in place less than two years (according to City or County Engineer's record) and is cut, the cut shall be a minimum of 20 feet in width and will be replaced to the specified depth by a paving machine.
- 11. A minimum cover of 4-1/2 feet shall be maintained throughout the waterline and service line installation, particularly in areas of new grading and drainage swales. Extra bury depth may be required to maintain minimum cover at drainage culvert crossings and/or fire hydrant runs. Maximum allowable cover shall be 6 feet, unless specifically approved by the District.
- 12. All connections to existing waterlines shall be completed at developer's expense by ELCO personnel or the District's authorized contractor with no exception.
- 13. ELCO shall have the authority to ascertain that all construction of facilities is equal to or better than minimum construction requirements as set forth in these Specifications. The District shall also have the authority to assign an inspector to check any and all work, including all materials to be incorporated in the work, excavation, bedding, backfill, testing and all construction methods and practices.
- 14. Testing and Acceptance: All lines shall be pressure tested, chlorinated and flushed by the Contractor in accordance with District Specifications and under the District's supervision. Upon passing chlorination testing, bacteriological testing will be completed by an accredited water quality control laboratory. Copies of all passing test results, including soils compaction in the area of water main construction, shall be provided to the District.
- 15. Project As-Built and Record Drawing Requirements:
- As-built drawings are prepared by the contractor. They confirm, in red ink, on-site changes to the original construction documents. The As Built drawings shall be forwarded to engineer for conversion to Record Drawings.
- Record drawings are prepared by the engineer and reflect on-site changes the contractor noted in the as-built drawings. The Record Drawings shall be approved by ELCO prior to Preliminary Acceptance of the project. Record Drawings to be AutoCAD or approved ArcView shape files These documents shall accurately reflect any change made in the field which varies from the approved construction plan and including, at a minimum, field
- dimensions and elevations, horizontal and vertical locations of underground utilities and appurtenances Include with the Record Drawings a complete copy of the recorded Filing Plat and a written confirmation of total costs of all water system improvements involved. The Contractor shall warrant the materials, installation workmanship and surface restoration for a period of two years from date of Preliminary Acceptance. During this warranty period the Contractor shall repair any defects in the work and maintain the work area. At the close of the two year warranty period and upon

satisfactory correction of any deficiencies noted, the District shall accept the constructed lines and appurtenances as the sole property and responsibility of ELCO.

F. BOXELDER SANITATION DISTRICT CONSTRUCTION NOTES:

- The following information is condensed from the current "Standard Construction Specification for Sewer Mains" as adopted by the Boxelder Sanitation District (District) and is to be considered as such. In the event of any question the full document shall take precedence.
- 1. Existing Utility Locates: It shall be the responsibility of the Contractor to coordinate field locates of all existing utilities prior to commencement of any construction. Contractor shall also notify all affected utility companies prior to commencing construction. In the event of damage to any existing utility, the contractor shall immediately notify the owner of the utility involved and unless authorized in writing by the owner of the subject utility, shall not attempt to make repairs. The cost of repairs shall be the responsibility of the Contractor.
- 2. District Owned Easement Pictures: Contractor to provide sequential digital pictures spaced at no more than 300 feet detailing conditions of the off-site Boxelder Owned Easement Conditions and any structures that could be affected, to the District and the property owner prior to the start of any off-site work. These pictures shall include all existing fence, ditches, ditch structures, out buildings, water troughs, trees and all other landscaping. Pictures are to be placed at no more than four (4) pictures on a 11x8 sheet of photo paper inserted into transparent sleeves and delivered with the drawings of record in a three (3) ring binder.
- 3. Protection of Property: Contractor shall continuously maintain adequate protection from damage of all public and private property through which the work is done.
- 4. Safety: All sewer main installation within the District shall be subject to current (Occupational Safety and Heath Association (OSHA) and the Colorado Safety Association, (CSA) safety requirements. Contractor shall also comply with any and all requirements and regulations as set forth by City, County, State and Federal agencies having applicable authority.
- 5. Start of Construction: No construction shall begin without prior design review of the District. The District shall be notified 48 hours in advance of starting construction or testing to allow
- 6. Road Excavation Permits: In event that State, County or City road excavation permit(s) are required, the Contractor is responsible for obtaining all road permits which may be
- 7. Other Permits: The Contractor shall be responsible for obtaining all permits required for construction.
- 8. Revisions: No verbal authorization for field revision shall be given. All requests for field revision shall be made in writing accompanied by proposed change indicated on copy of the
- approved design drawings. Any field revision approved and installed shall also be accurately documented on the Drawings of Record. 9. Materials: Plastic Pipe -All gravity sanitary sewer piping shall be Polyvinyl Chloride (PVC) unless otherwise noted on the approved drawings. Pipe 15" and smaller shall conform to
- ASTM D3034, Type PSM, and SDR 35. Pipe 18" and larger shall conform to ASTM F679. All fittings shall be (PVC) unless otherwise noted.
- 10. Pipe Cover: A minimum cover of 3-1/2 feet of cover shall be maintained throughout the sewer line and service line installation. 11. Bedding: All sewer main installation shall include bedding. Bedding shall be 3/4" washed rock uniformly graded and compacted. Refer to force main desgin for force main bedding requirements. Trench shall be excavated to a depth below established grade equal to 1/4 of pipe diameter (min. 4"). Bell depressions shall be provided for all joints. In event that
- other than hand compaction equipment is to be used. Note maximum trench width detail. 12. Backfill: Backfilling of trench shall be performed as soon as practical, subsequent to inspection and approval. Backfilling of acceptable material shall not be placed in lifts of greater than one (1) foot. Backfill shall be compacted to 95% of optimum density in roadway and residential areas and 90% in all off-site easement areas unless otherwise noted. Compaction testing of bedding and back fill shall be at least five tests per 1,000 feet and at varying depths and locations in accordance with the requirements of the applicable authority or as

unstable trench conditions are encountered at pipeline grade 1-1/2" uniformly graded washed rock shall be used for stabilization. Bedding material shall be placed and compacted

under and around sides of the pipe. Place bedding in such a manner as to provide solid, uniform bearing surface for full length of barrel. Minimum 30" initial lift above pipe before

13. Concrete: All concrete construction shall be completed utilizing 3,000 psi at twenty-eight (28) days or equal concrete.

required in project specific specifications.

occur in accordance with District's acceptance procedure.

- 14. Pavement or Other Repairs: In event that asphalt or concrete pavement, sidewalks, storm sewers, waterline or any other public or privately owned property is damaged or requires reconstruction due to the work, repairs or replacement will be made in accordance with the requirements of the appropriate governing authority. Private property will be returned to its original condition or as close to original condition as reasonably possible, unless otherwise noted on the drawings.
- 15. Service Taps on Existing Lines: All taps made on existing lines shall be completed at developer's expense by District personnel or the District's authorized contractor with no
- 16. Inspection: Construction shall conform to District Standards and Specifications or project specific specifications at all times. The District shall inspect the construction as necessary and shall observe all line testing. The District shall have the authority to ascertain that all construction of facilities is equal to or better than minimum construction requirements as set
- 17. Testing: All lines shall be pressure tested and flushed by the Contractor in accordance with District Standards and Specifications and under the District's supervision. Upon passing, copies of all passing test results including soils compaction in the area of sewer main construction shall be provided to the District. 18. Acceptance: Upon completion of all utility construction (sewer and other) and fulfillment of all District requirements, preliminary acceptance of new sewer system improvements will
- 19. Warranty: The Contractor shall warrant the materials, installation, workmanship and surface restoration for a period of two years from date of preliminary acceptance. During this warranty period the Developer shall promptly repair any defects in the work and maintain the work area. At the close of the two-year warranty period the District will make a field inspection. Upon satisfactory correction of any deficiencies noted the District would make final acceptance of the lines and work. The lines and the appurtenances shall then become the sole property and responsibility of Boxelder Sanitation District.
- system consisting of two sets of fill size reproduced prints, two sets of ½-size reproduced prints, one set of 6 mil double matted reproducible mylars and one complete digital file equivalent (software and version to be confirmed at time of delivery). Written confirmation of the total cost of all sewer system improvements shall also be submitted with the Drawings of Record.

20 Drawings of Record and Total Costs: Within 90 days of preliminary acceptance of the new facilities, the District shall be provided with acceptable Drawings of Record of the complete

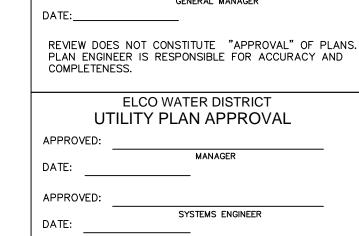
CALL UTILITY NOTIFICATION CENTER OF

Know what's below. Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF

UNDERGROUND MEMBER UTILITIES.

BOXELDER SANITATION DISTRICT

UTILITY PLAN REVIEW



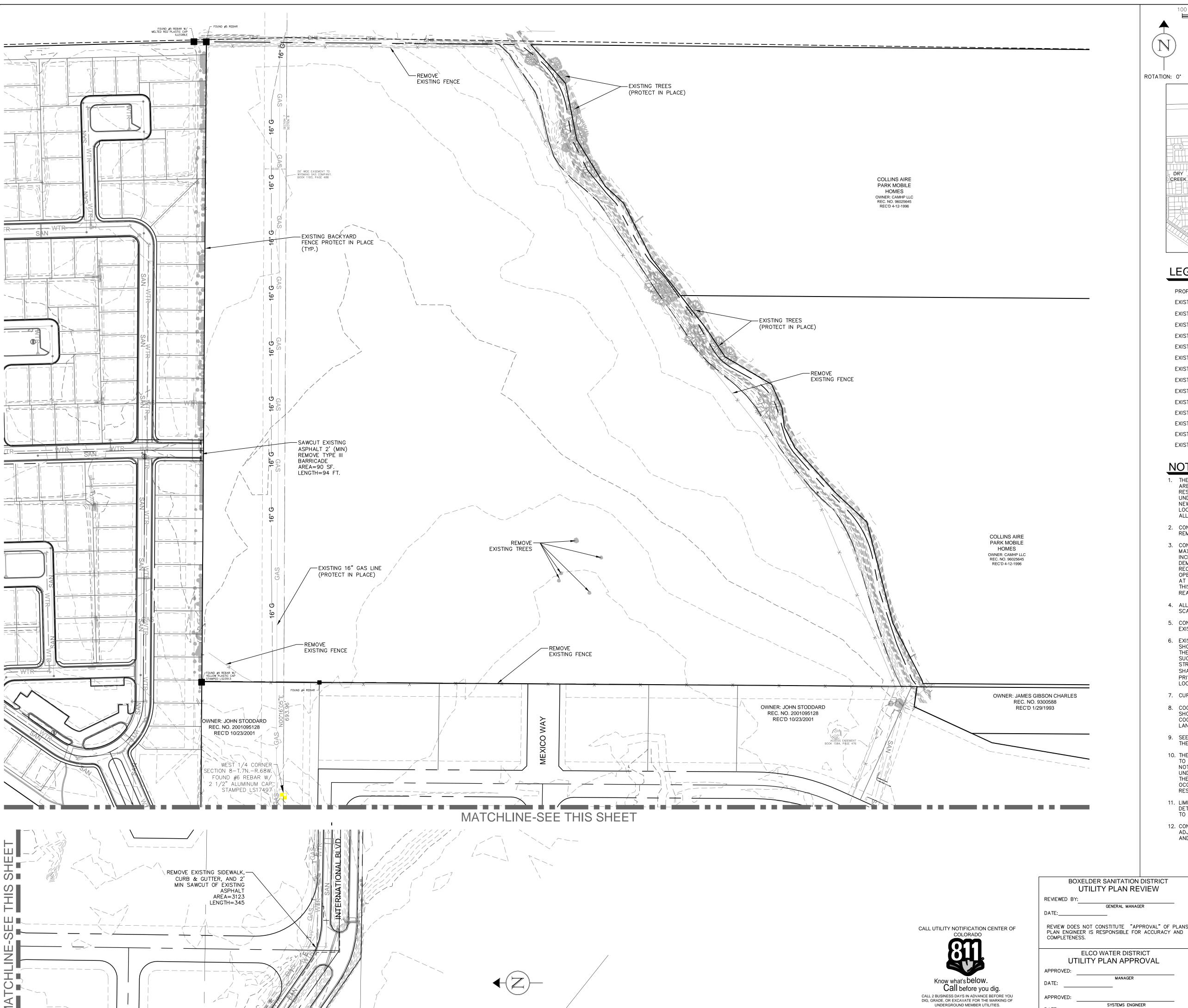
REVIEWED BY:

City of Fort Collins, Colorado UTILITY PLAN APPROVAL

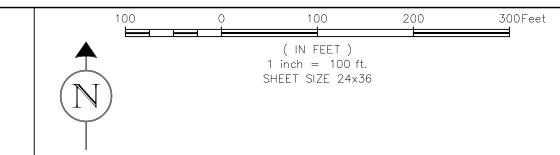
Stormwater Utility Date

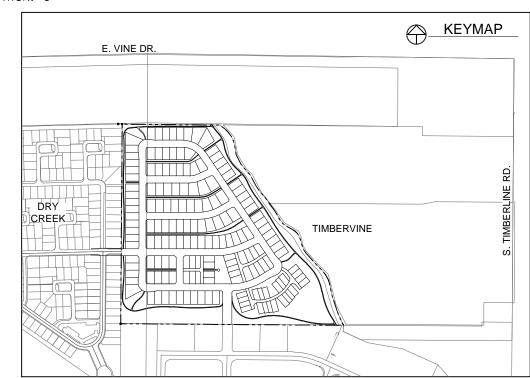
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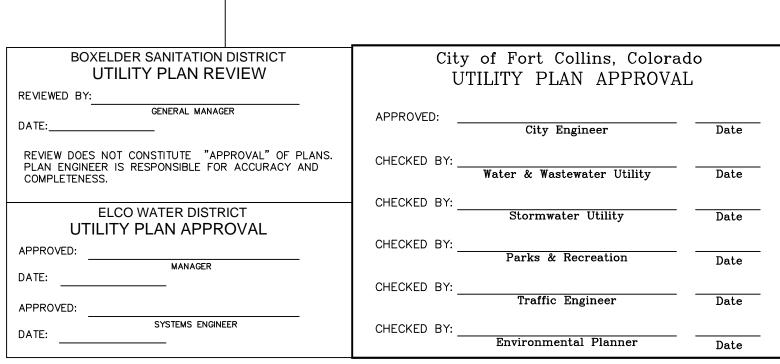


LEGEND:

PROPERTY BOUNDARY	
EXISTING RIGHT-OF-WAY	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
EXISTING AT&T FIBER OPTIC	——— FO —
EXISTING OVER-HEAD ELECTRIC	OHEL
EXISTING TELEPHONE	
EXISTING GAS	18" SAN
EXISTING SANITARY SEWER	18" SAN
EXISTING WATER	20" W
EXISTING STORM	
EXISTING FENCE	X
EXISTING WATER METER	W
EXISTING TELEPHONE RISER	t
EXISTING TREES	

NOTES:

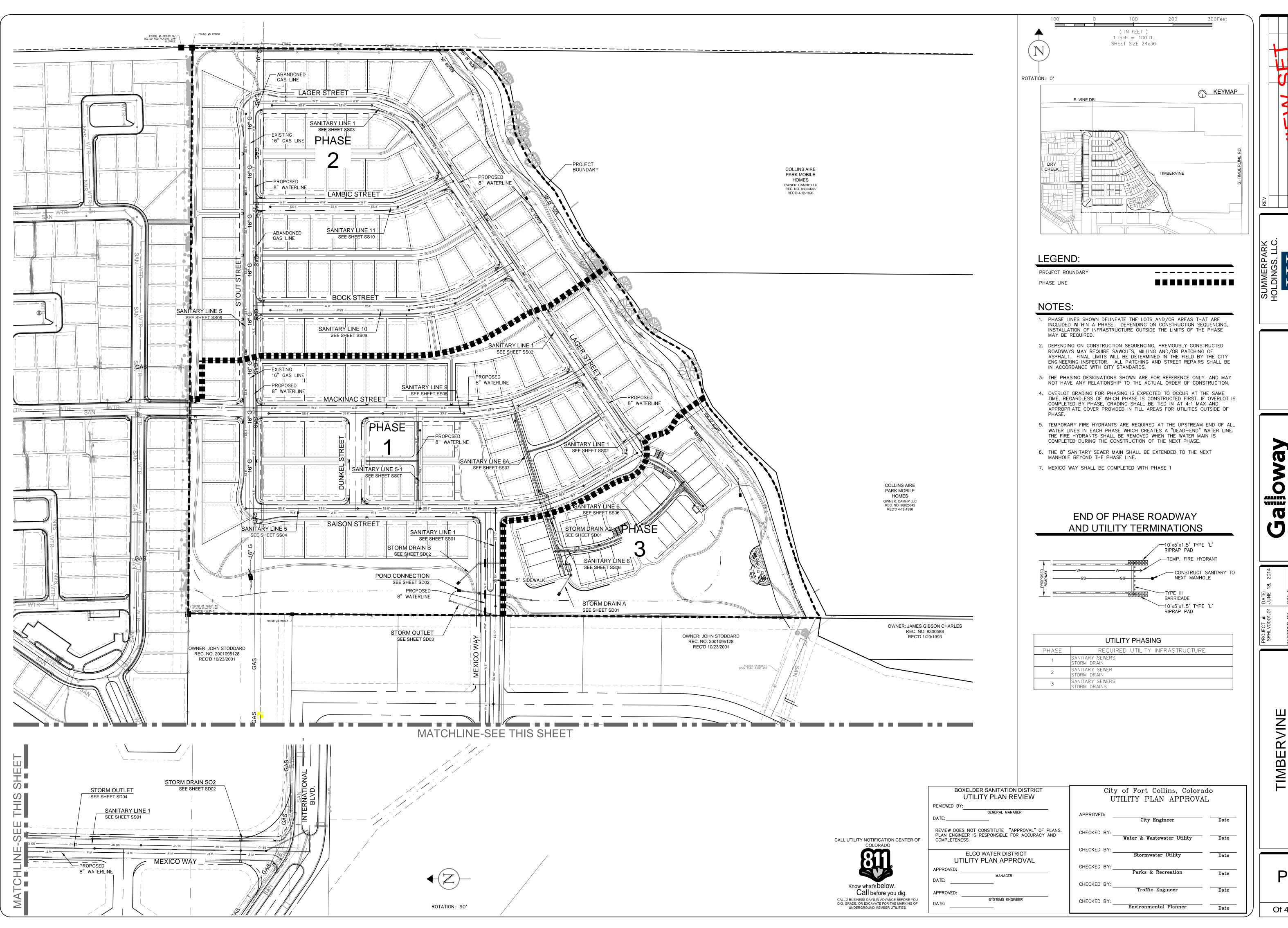
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- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIAL
- 3. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE. CITY OF FORT COLLINS STREET DEPARTMENT OPERATES A CRUSHING OPERATION THAT WILL ACCEPT CONCRETE MATERIAL AT NO COST FOR CRUSHING AND RE-USE AS RECYCLED AGGREGATE. THIS OPERATION IS LOCATED AT 1380 HOFFMAN MILL ROAD AND CAN BE REACHED AT (970) 482-1249.
- 4. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO
- 5. CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE EXISTING SITE SURVEY.
- 6. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO ANY CONSTRUCTION TO VERIFY EXACT UTILITY
- 7. CURB, GUTTER AND SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT.
- 8. COORDINATE THE REMOVAL AND/OR SALVAGING OF ALL EXISTING TREES SHOWN ON THE DEMOLITION PLAN WITH APPROVED LANDSCAPE DRAWINGS. COORDINATE THE REMOVAL OF ALL OTHER PLANTINGS WITH APPROVED LANDSCAPE DRAWINGS.
- 9. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
- 10. THE CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES THAT ARE NOT TO BE REMOVED ADJACENT TO THE CONSTRUCTION AREA INCLUDING BUT NOT LIMITED TO SIDEWALKS, PRIVATE FENCES, ABOVE GROUND OR UNDERGROUND UTILITIES, STRUCTURES, AND UNDERGROUND FOUNDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT SHOULD OCCUR TO ANY ON-SITE, PUBLIC OR PRIVATE FACILITY OR FEATURE AS A RESULT OF THE CONSTRUCTION PROCESS FOR THIS PROJECT.
- 11. LIMIT OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEER INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
- 12. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ITEMS IMPACTING ADJACENT PROPERTIES WITH THE PROPERTY OWNERS PRIOR TO BEGINNING AND CONSTRUCTION ACTIVITIES.



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EX01



HOLDINGS, LLC.
HARTFORD
COMPANIES
218 WEST ASH STREET,

ning. Architecture. Engineering.
E. 15th Street, Suite 202 land, CO 80538
770.8884 O 770.3636 F Galloway US.com

SIGNED BY: SCALE:

J. Prelog 1"=100'

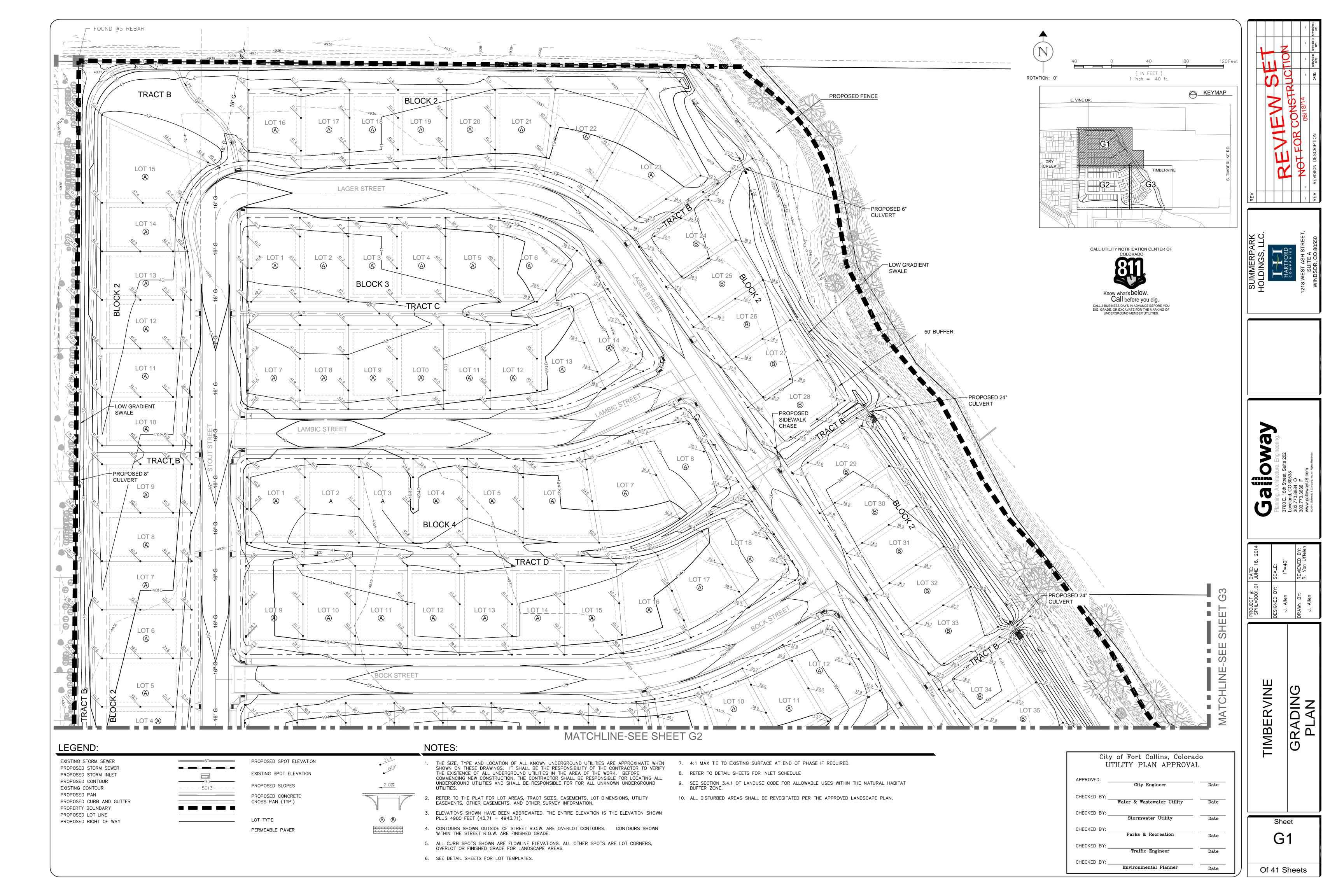
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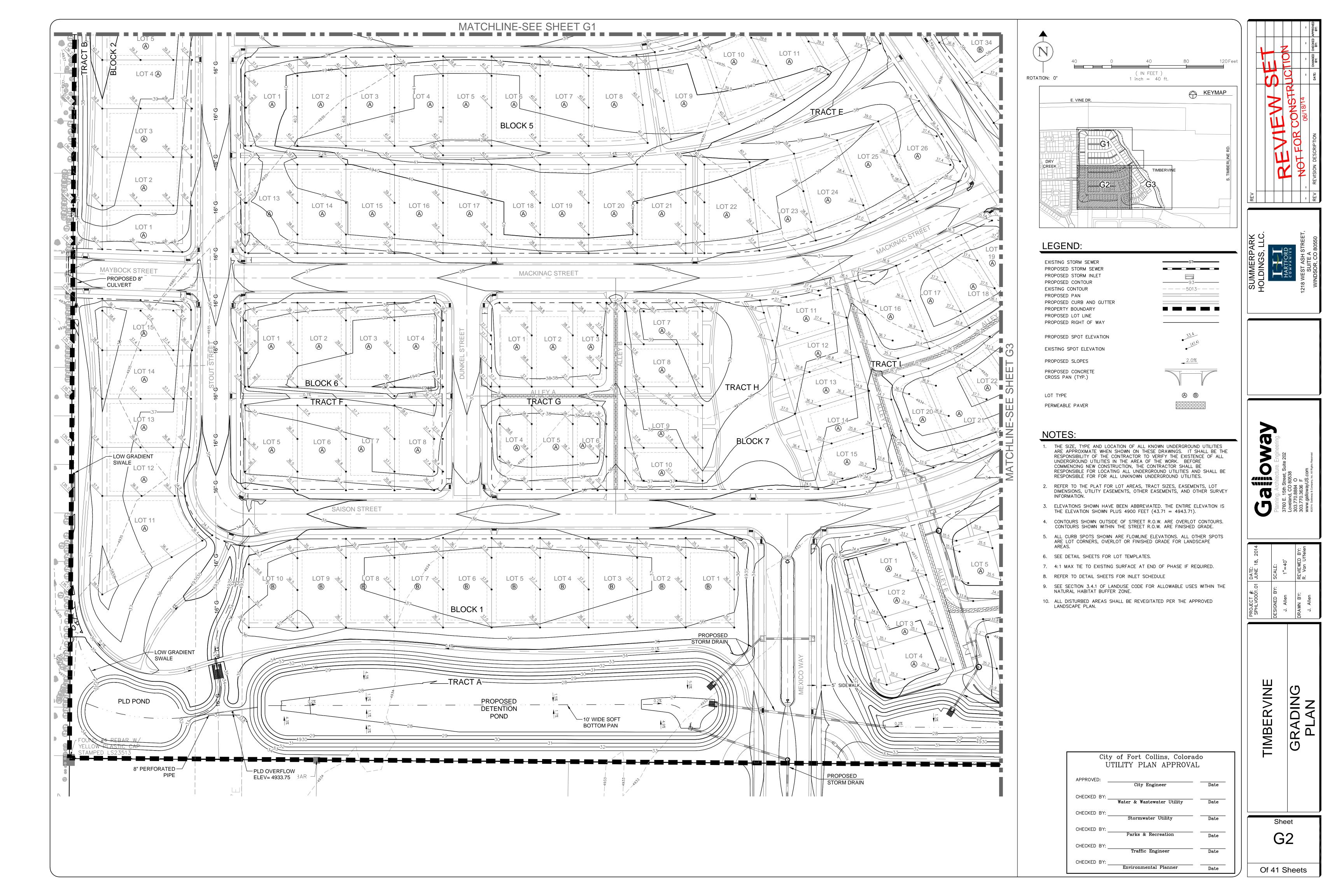
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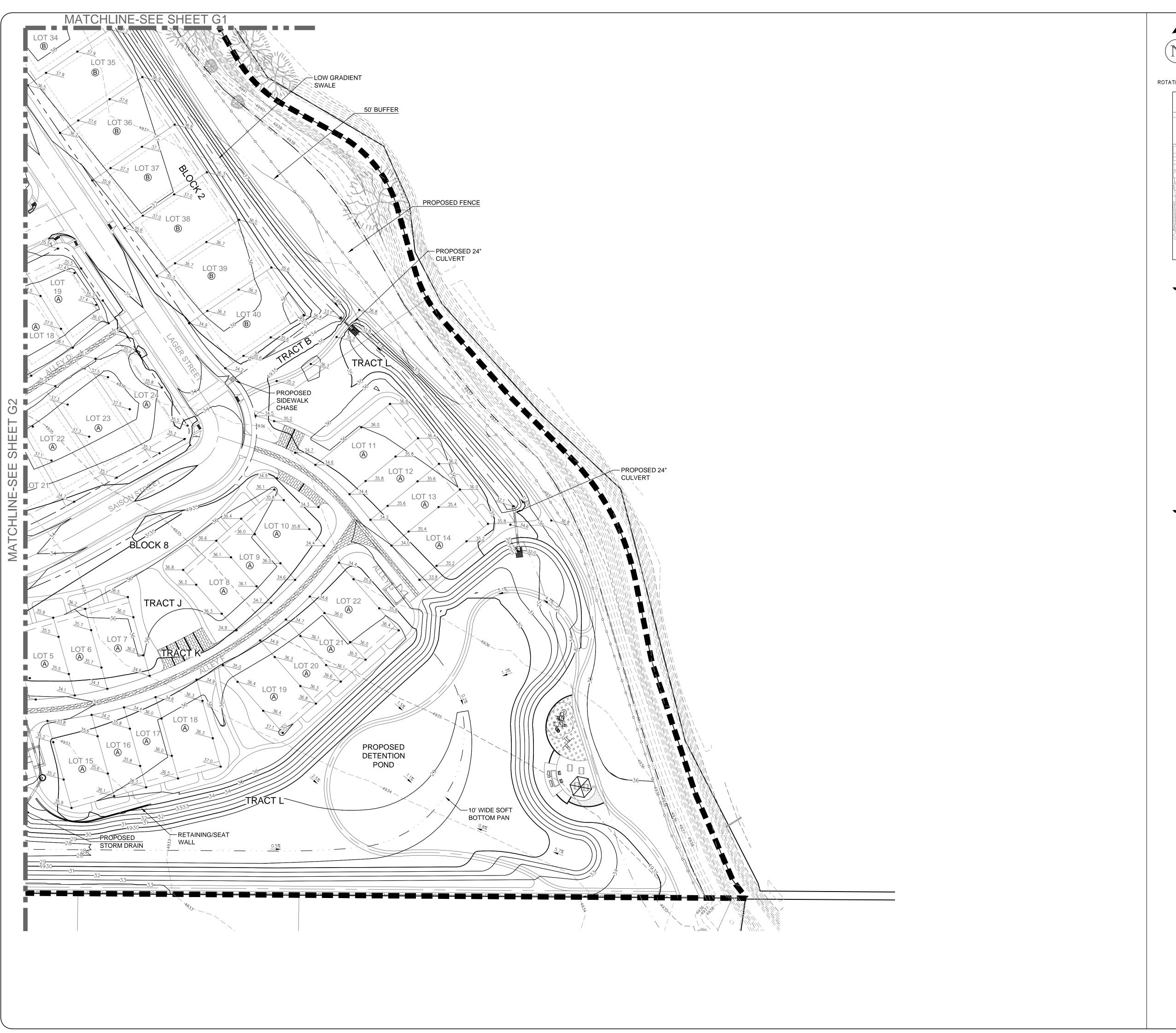
N. Whitcomb

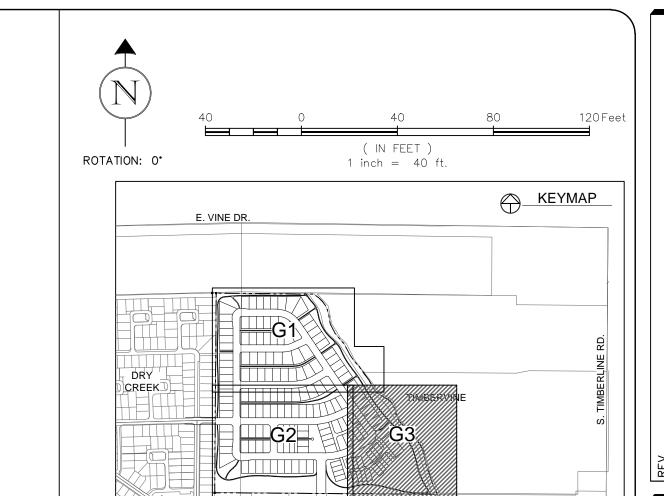
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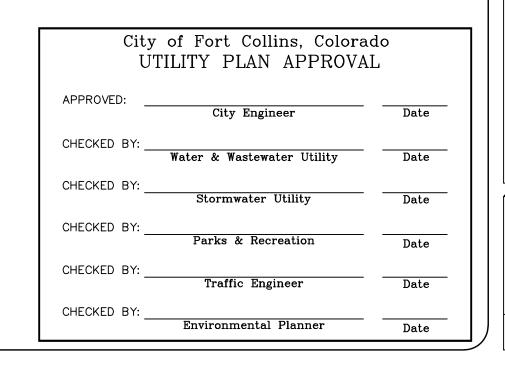


LEGEND:

EXISTING STORM SEWER PROPOSED STORM SEWER PROPOSED STORM INLET PROPOSED CONTOUR EXISTING CONTOUR PROPOSED PAN PROPOSED CURB AND GUTTER ----PROPERTY BOUNDARY PROPOSED LOT LINE PROPOSED RIGHT OF WAY PROPOSED SPOT ELEVATION EXISTING SPOT ELEVATION PROPOSED SLOPES PROPOSED CONCRETE CROSS PAN (TYP.) LOT TYPE PERMEABLE PAVER

NOTES:

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- REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
- 3. ELEVATIONS SHOWN HAVE BEEN ABBREVIATED. THE ENTIRE ELEVATION IS THE ELEVATION SHOWN PLUS 4900 FEET (43.71 = 4943.71).
- 4. CONTOURS SHOWN OUTSIDE OF STREET R.O.W. ARE OVERLOT CONTOURS. CONTOURS SHOWN WITHIN THE STREET R.O.W. ARE FINISHED GRADE.
- 5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE LOT CORNERS, OVERLOT OR FINISHED GRADE FOR LANDSCAPE AREAS.
- 6. SEE DETAIL SHEETS FOR LOT TEMPLATES.
- 7. 4:1 MAX TIE TO EXISTING SURFACE AT END OF PHASE IF REQUIRED.
- 8. REFER TO DETAIL SHEETS FOR INLET SCHEDULE
- 9. SEE SECTION 3.4.1 OF LANDUSE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITAT BUFFER ZONE.
- ALL DISTURBED AREAS SHALL BE REVEGITATED PER THE APPROVED LANDSCAPE PLAN.



HARTFORD FOM PANTES 1218 WEST ASH STREET, SUITE A WINDSOR, CO. 80550

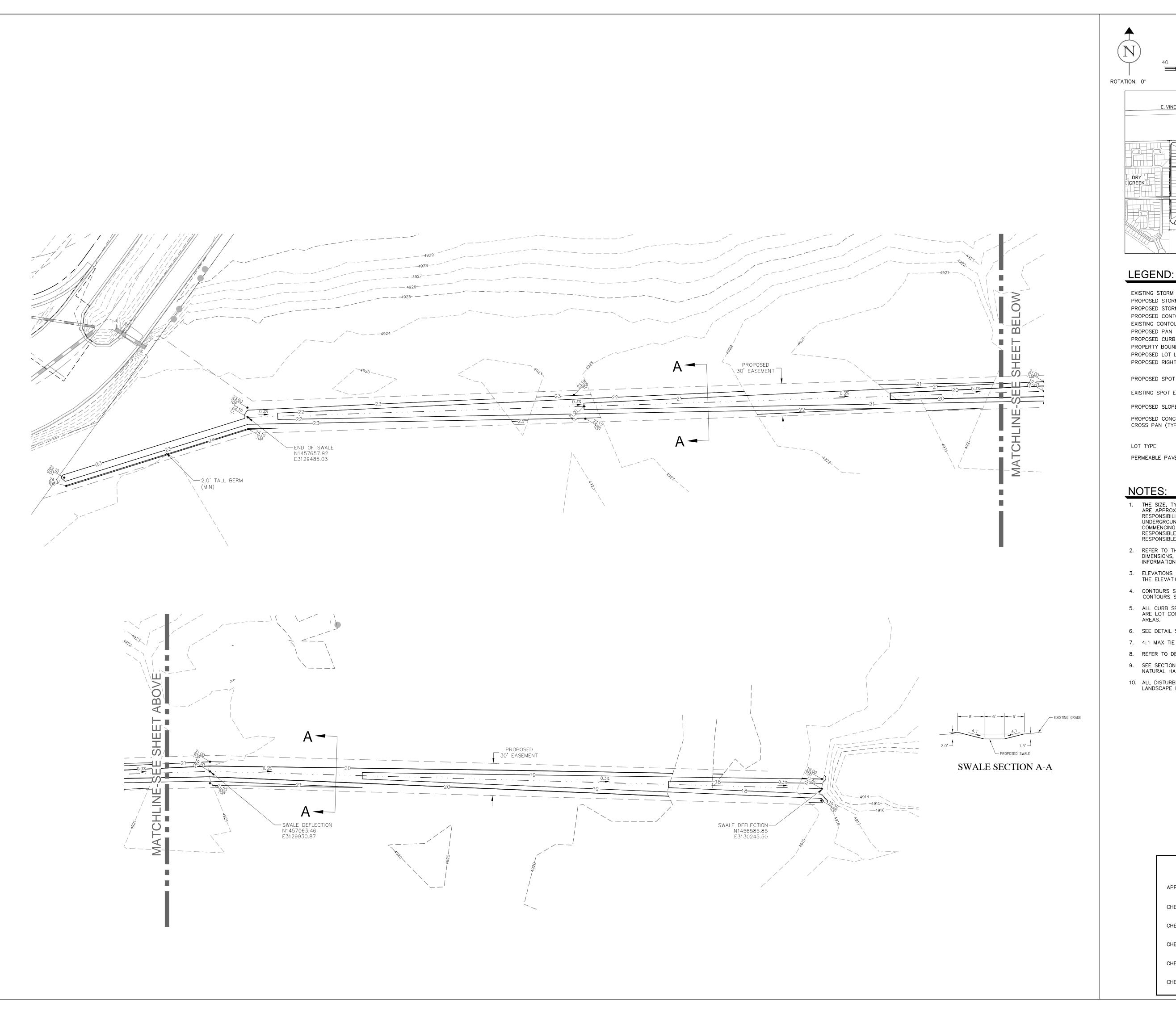
Planning. Architecture. Engineering. 3760 E. 15th Street, Suite 202 Loveland, CO 80538 303.770.8884 O 303.770.3636 F www.gallowayUS.com

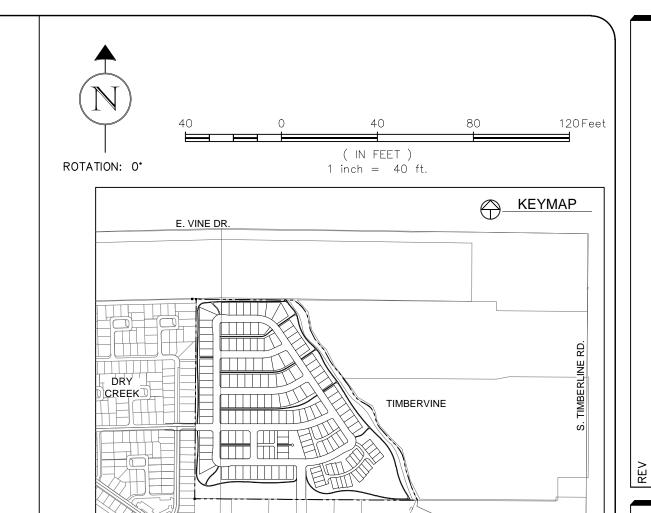
DESIGNED BY: SCALE:

J. Allen
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J. Allen
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J. Allen

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Sheet G3





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PROPOSED STORM INLET	
PROPOSED CONTOUR	93
EXISTING CONTOUR	_ — — —5013— —
PROPOSED PAN	
PROPOSED CURB AND GUTTER	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	
DDDDDDDD DDDT ELEVATION	zz.4_
PROPOSED SPOT ELEVATION	-14)
XISTING SPOT ELEVATION	33.4
PROPOSED SLOPES	2.0%
PROPOSED CONCRETE	
CROSS PAN (TYP.)	
LOT TYPE	(A) (B)
PERMEABLE PAVER	

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•	Fort Collins, Colora ITY PLAN APPROVA	
APPROVED:	City Engineer	
CHECKED BY:	ater & Wastewater Utility	Date
	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	



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SUITE A

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DESIGNED BY: SCALE:

J. Prelog 1"=40'

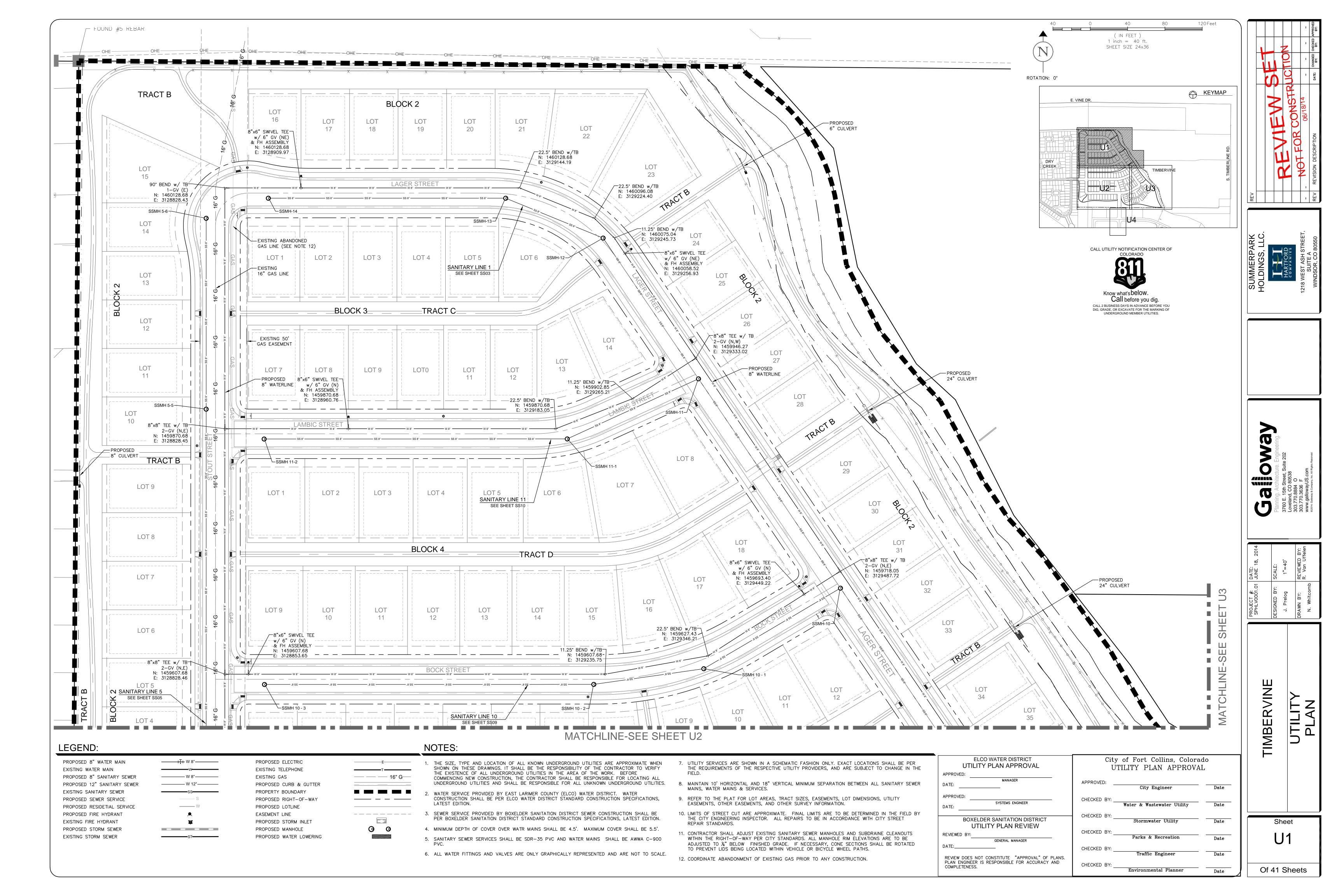
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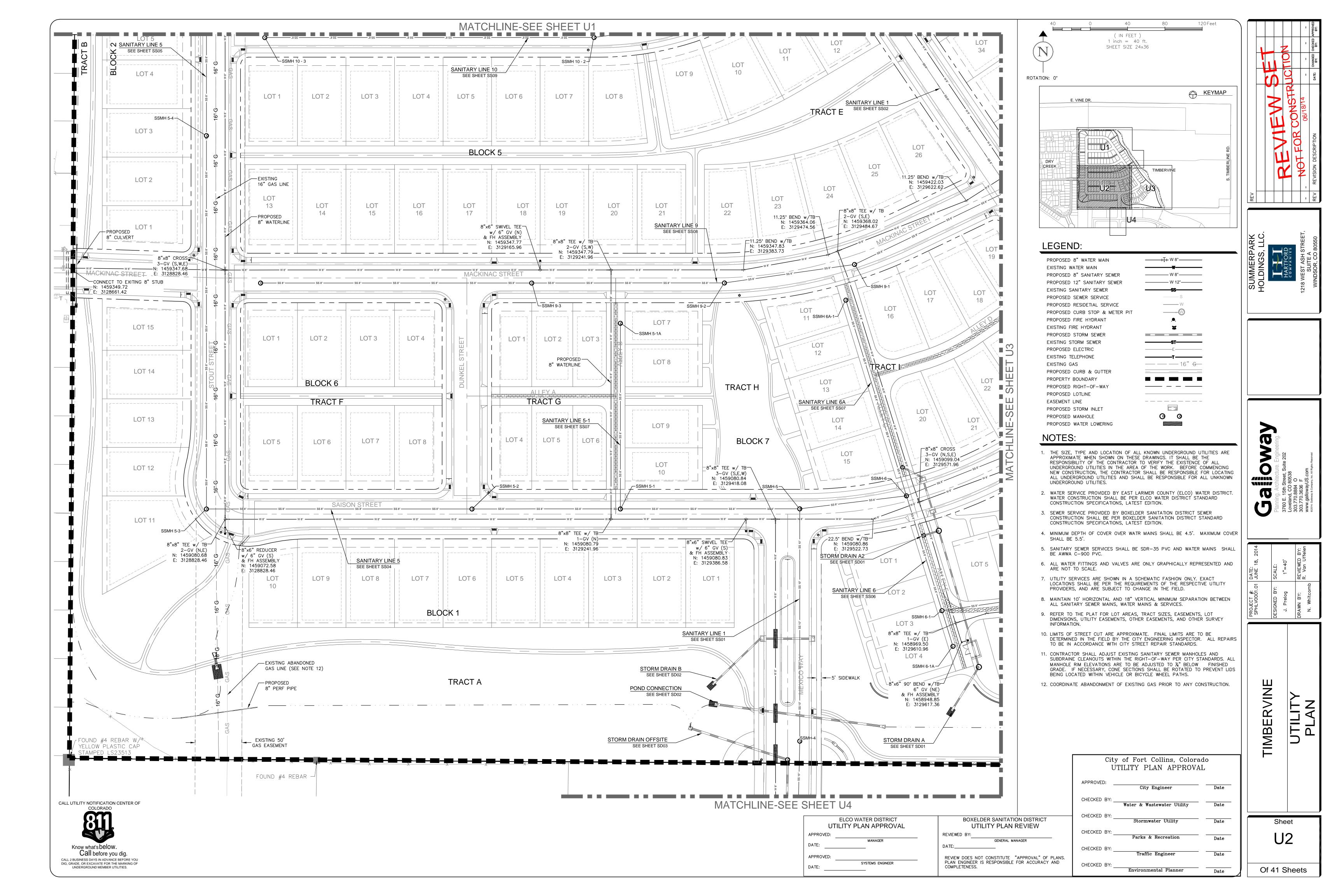
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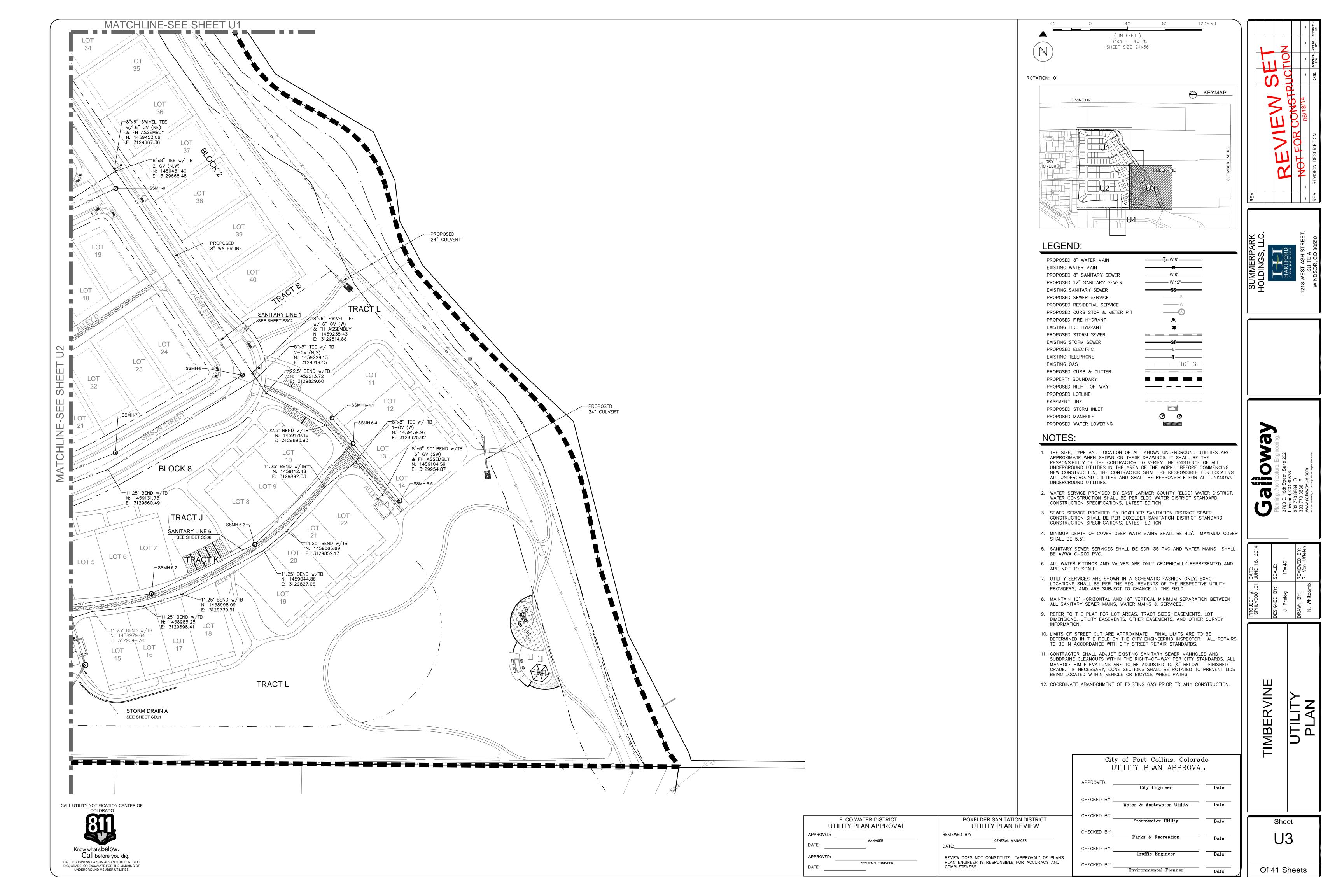
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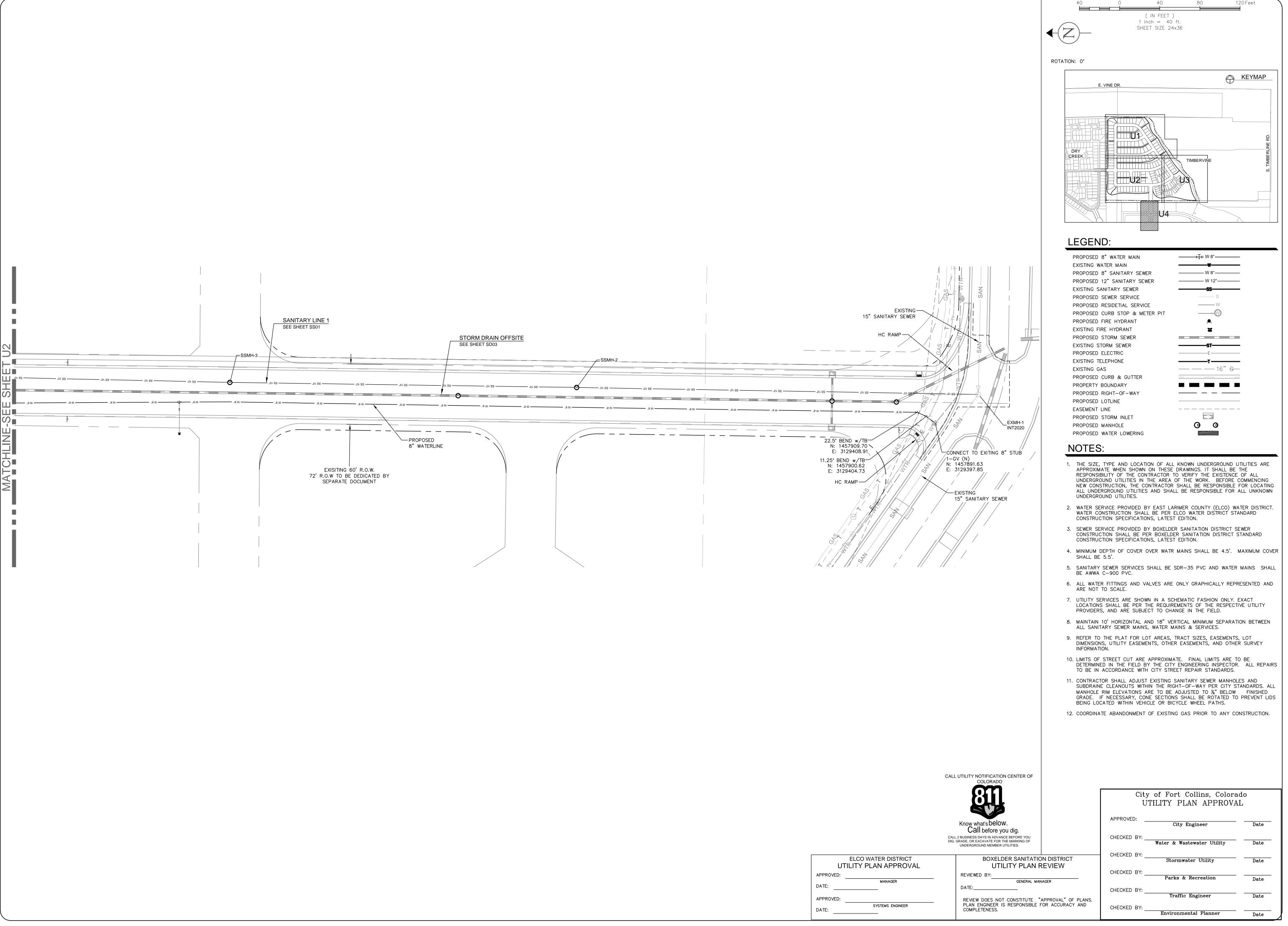
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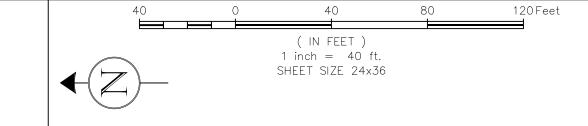
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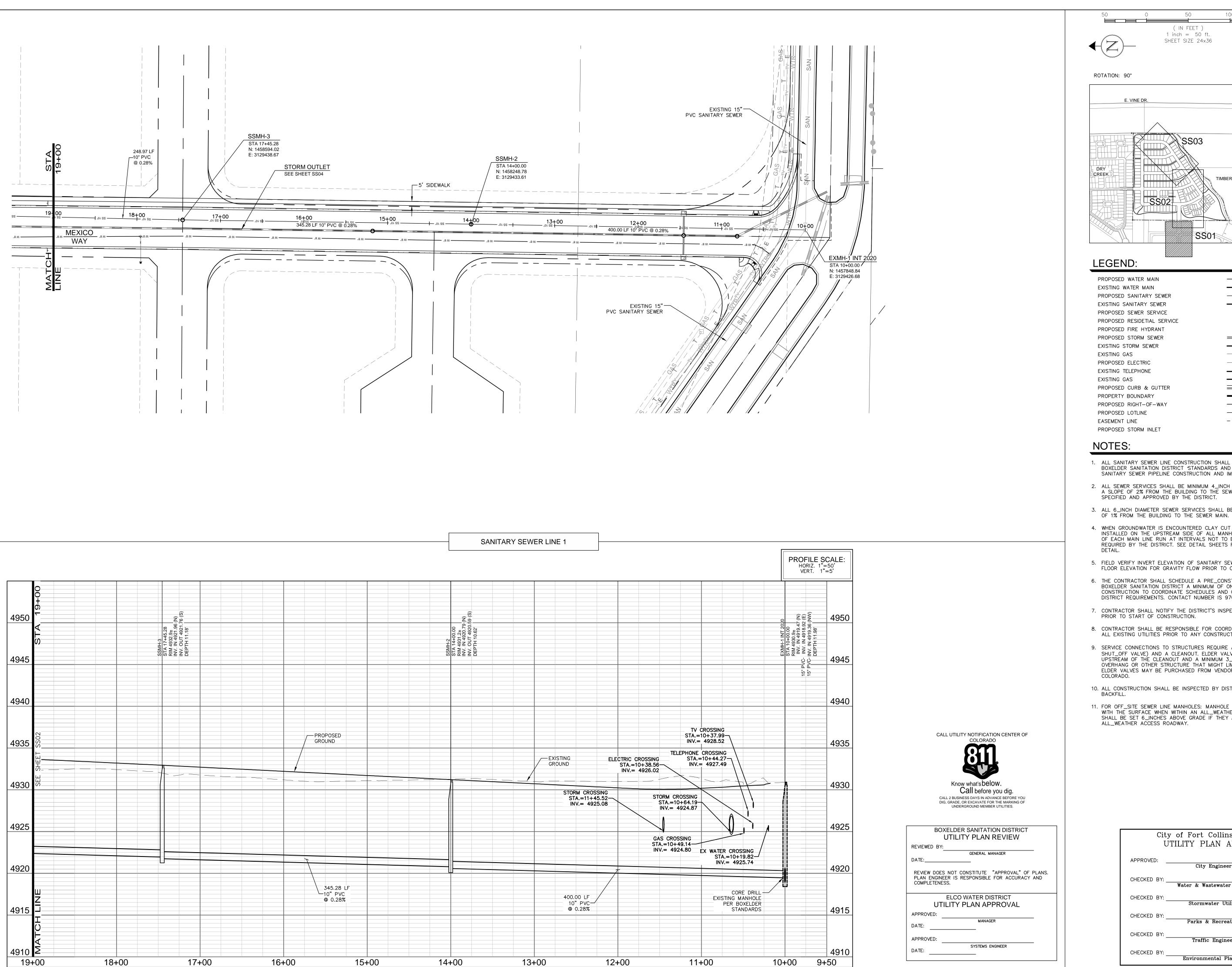


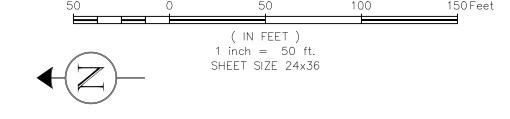


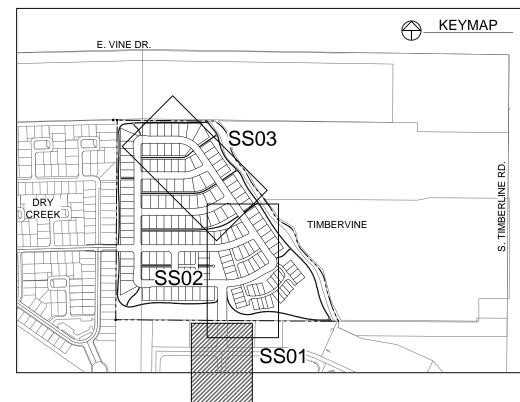
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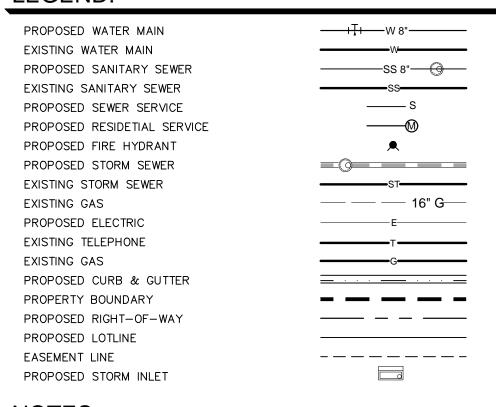
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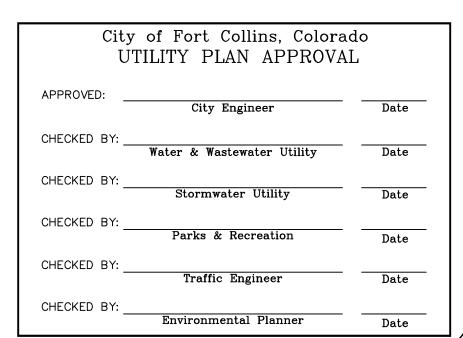








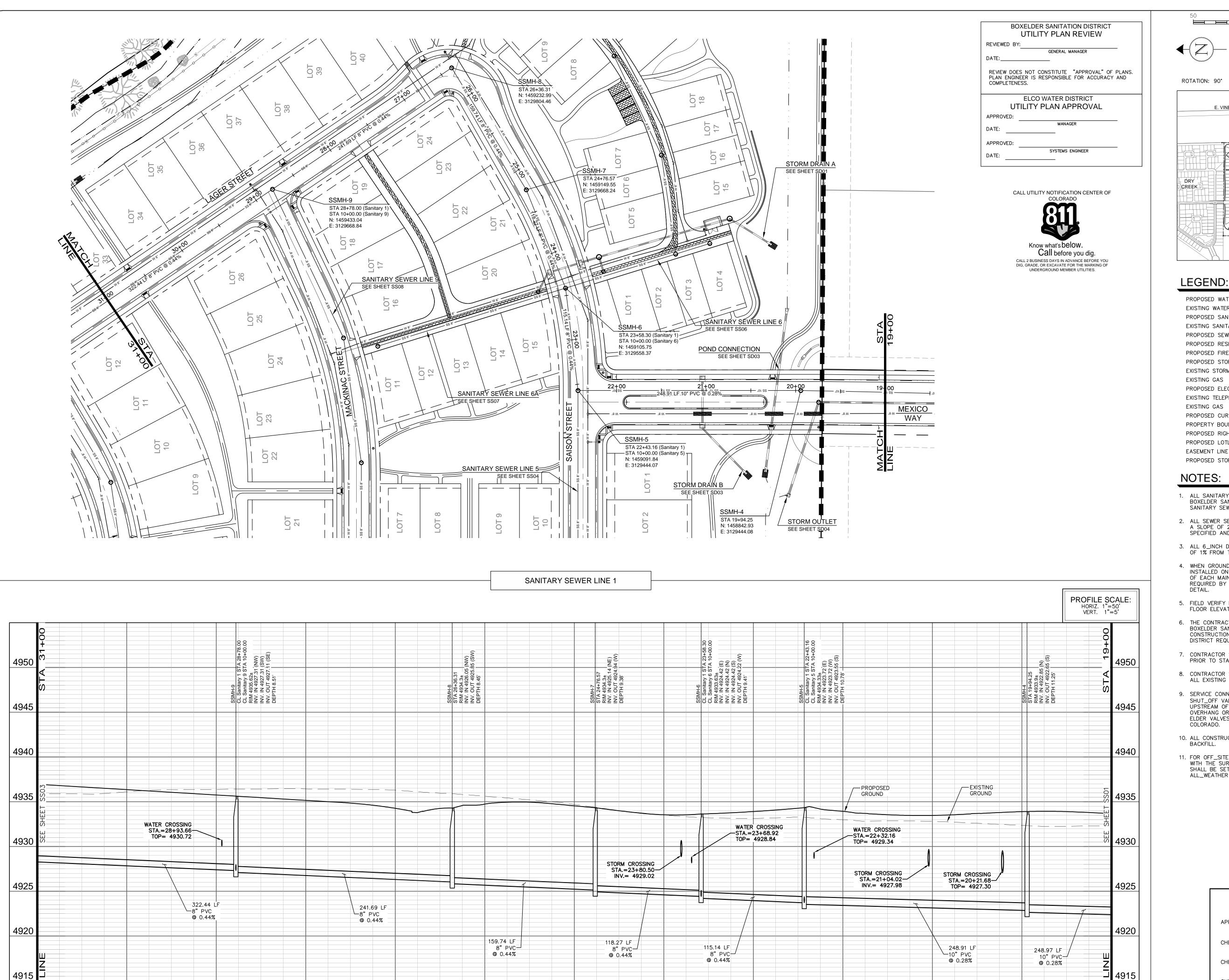
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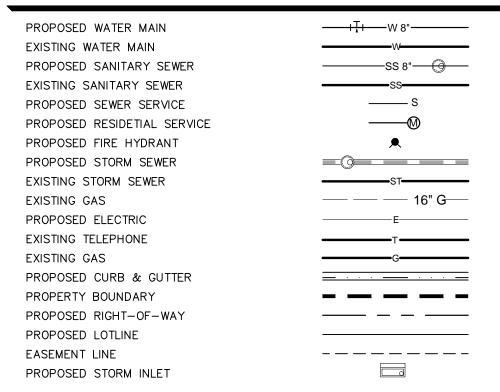
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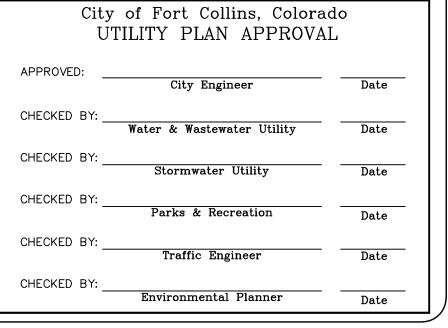
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(IN FEET)
1 inch = 50 ft.
SHEET SIZE 24x36





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REV REVISION DESCRIPTION

- NOT FOR CONSTRUCTION

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HARTFORD
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SUITE A

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DESIGNED BY: SCALE:

J. Prelog 1"=50'

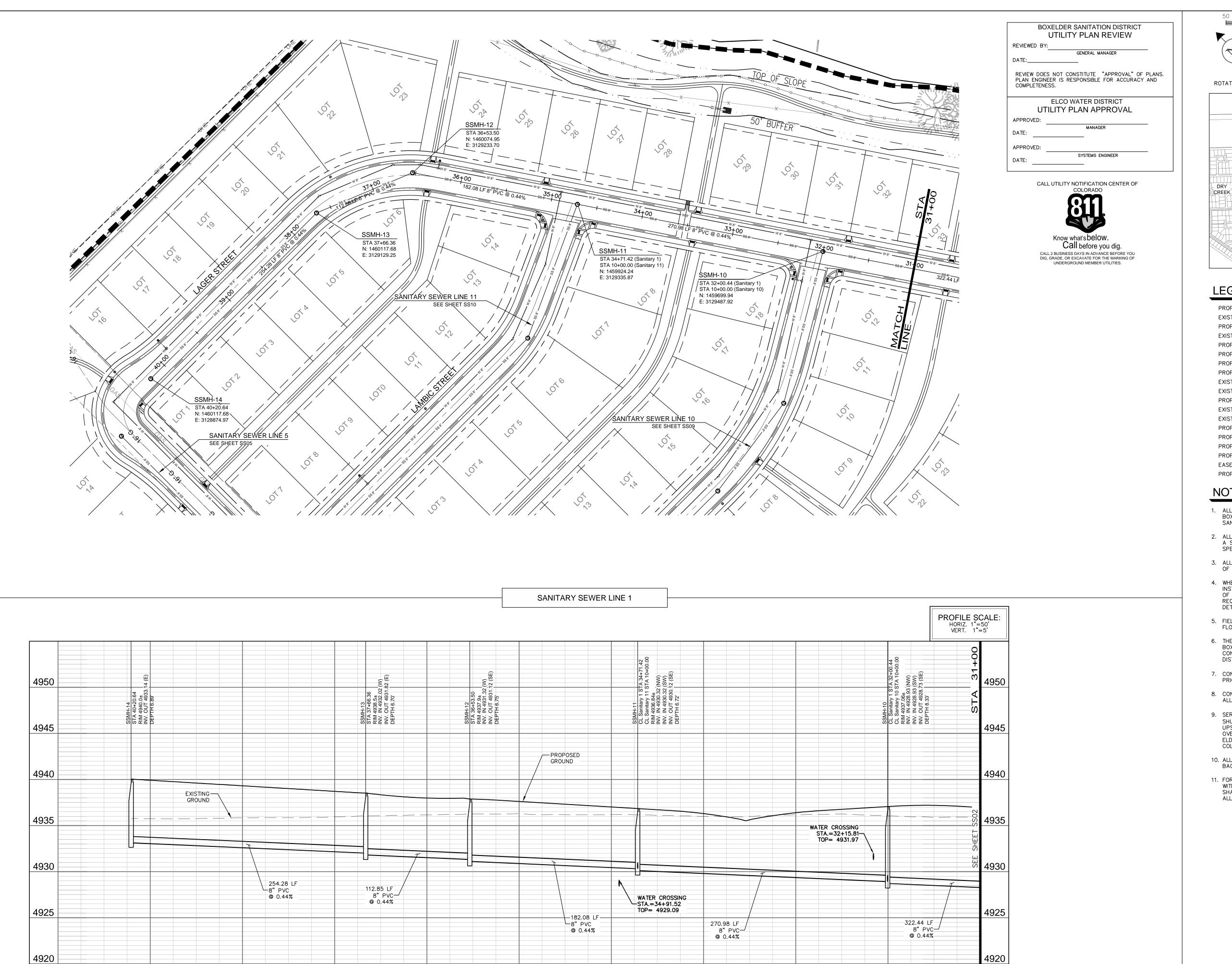
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R. Van Uffelen

N. Whitcomb

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Sheet SS02



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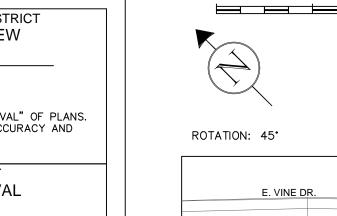
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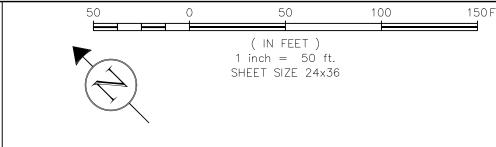
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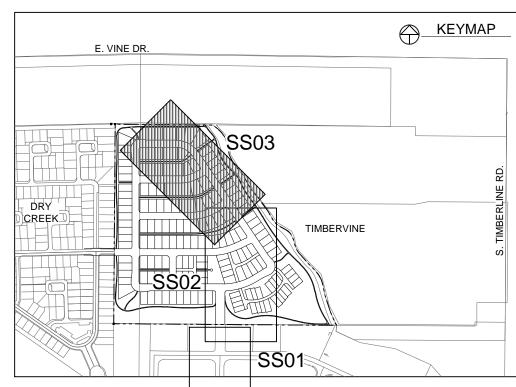
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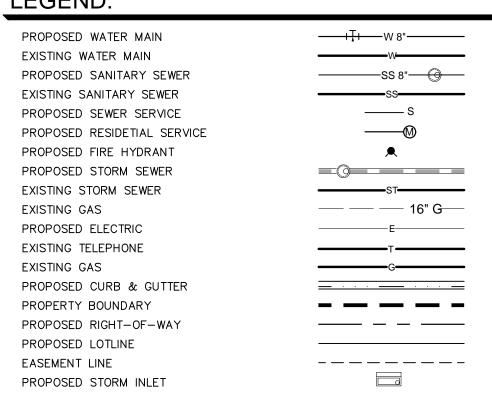
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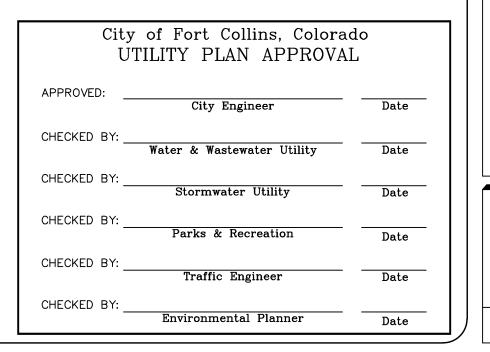
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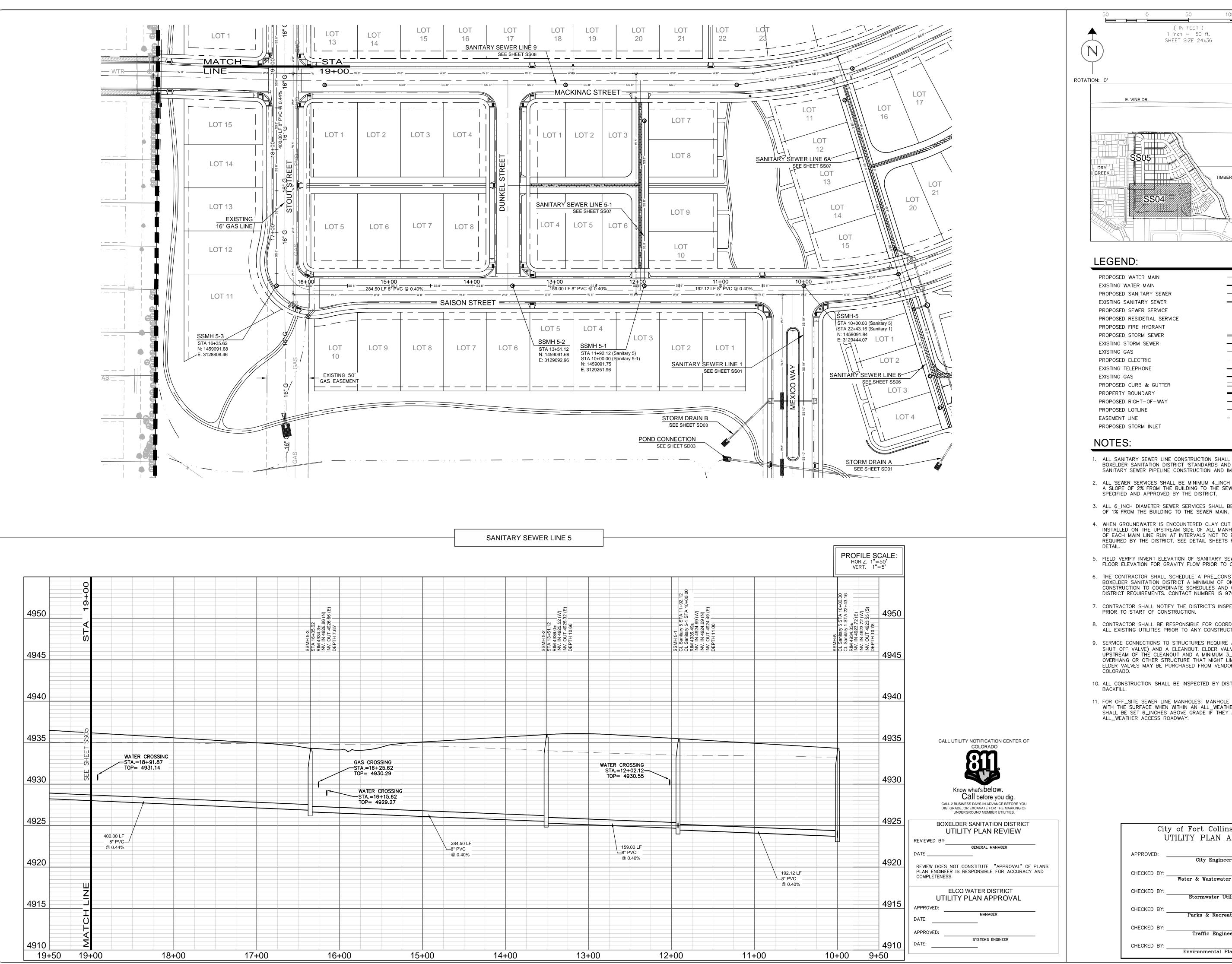
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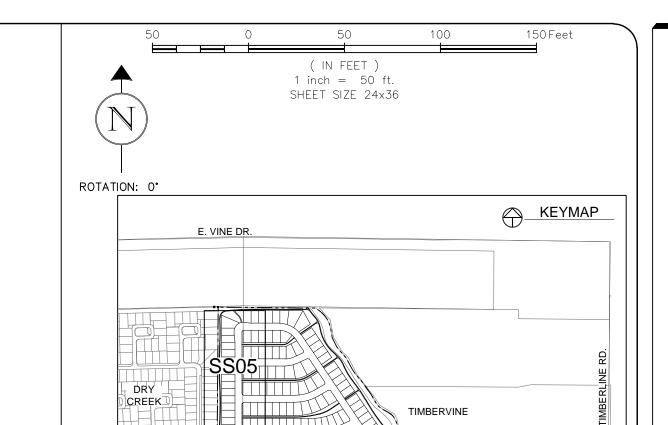
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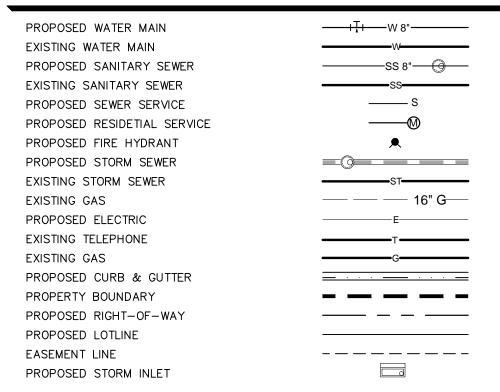


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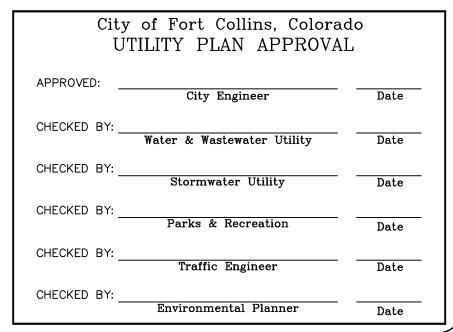
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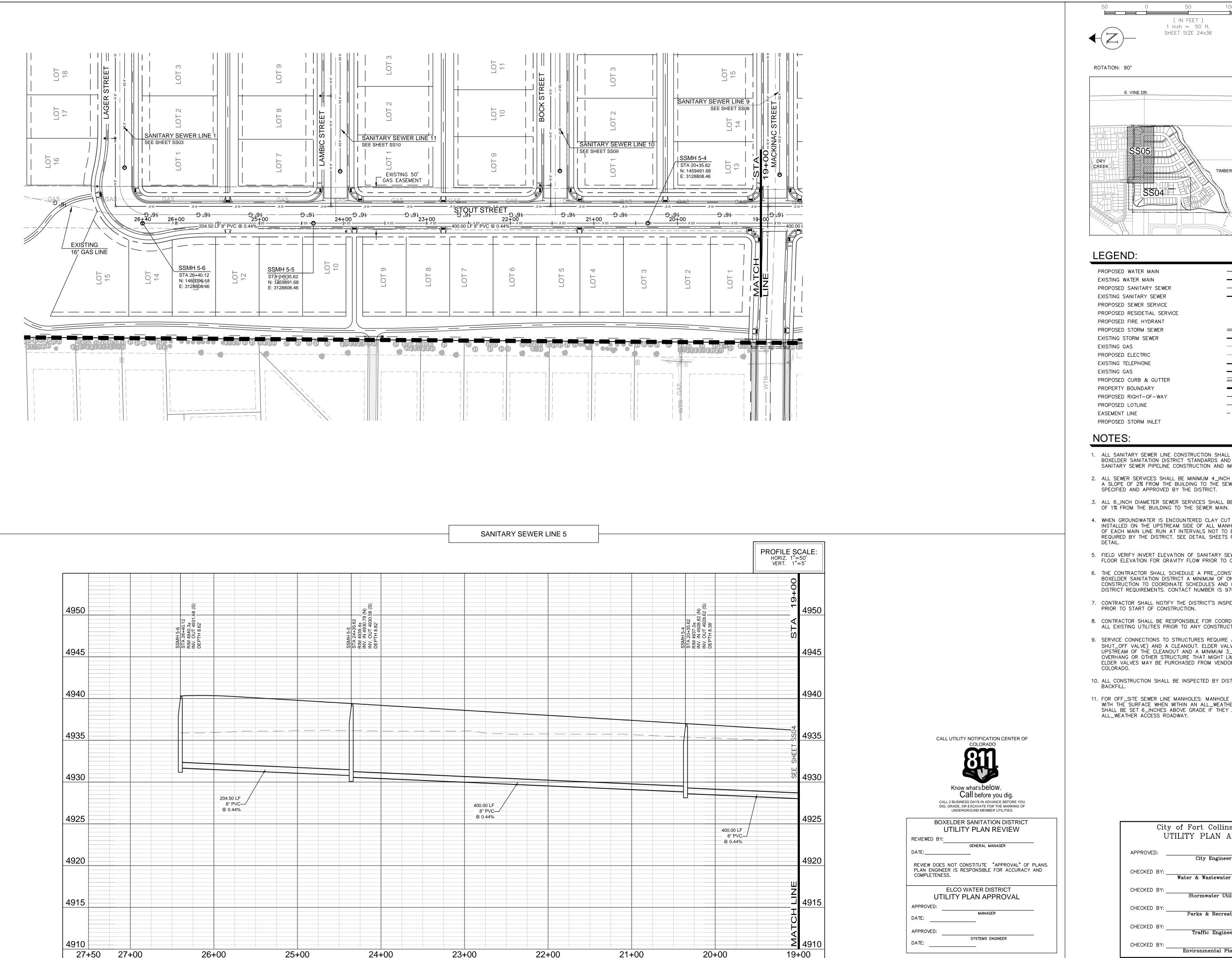


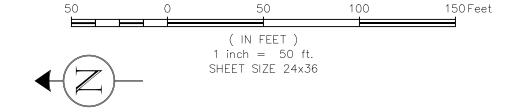
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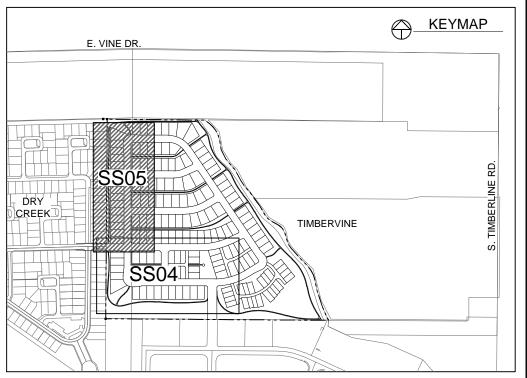
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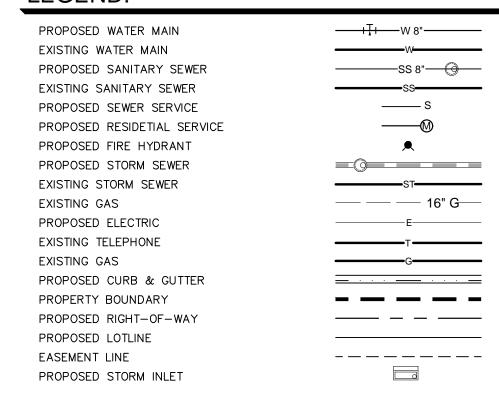
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SS04

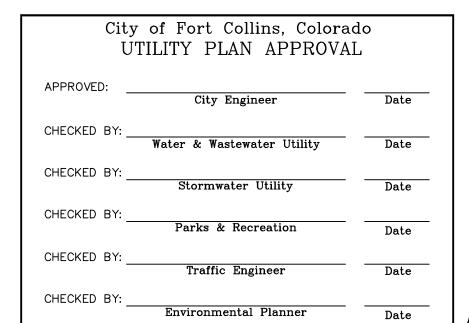








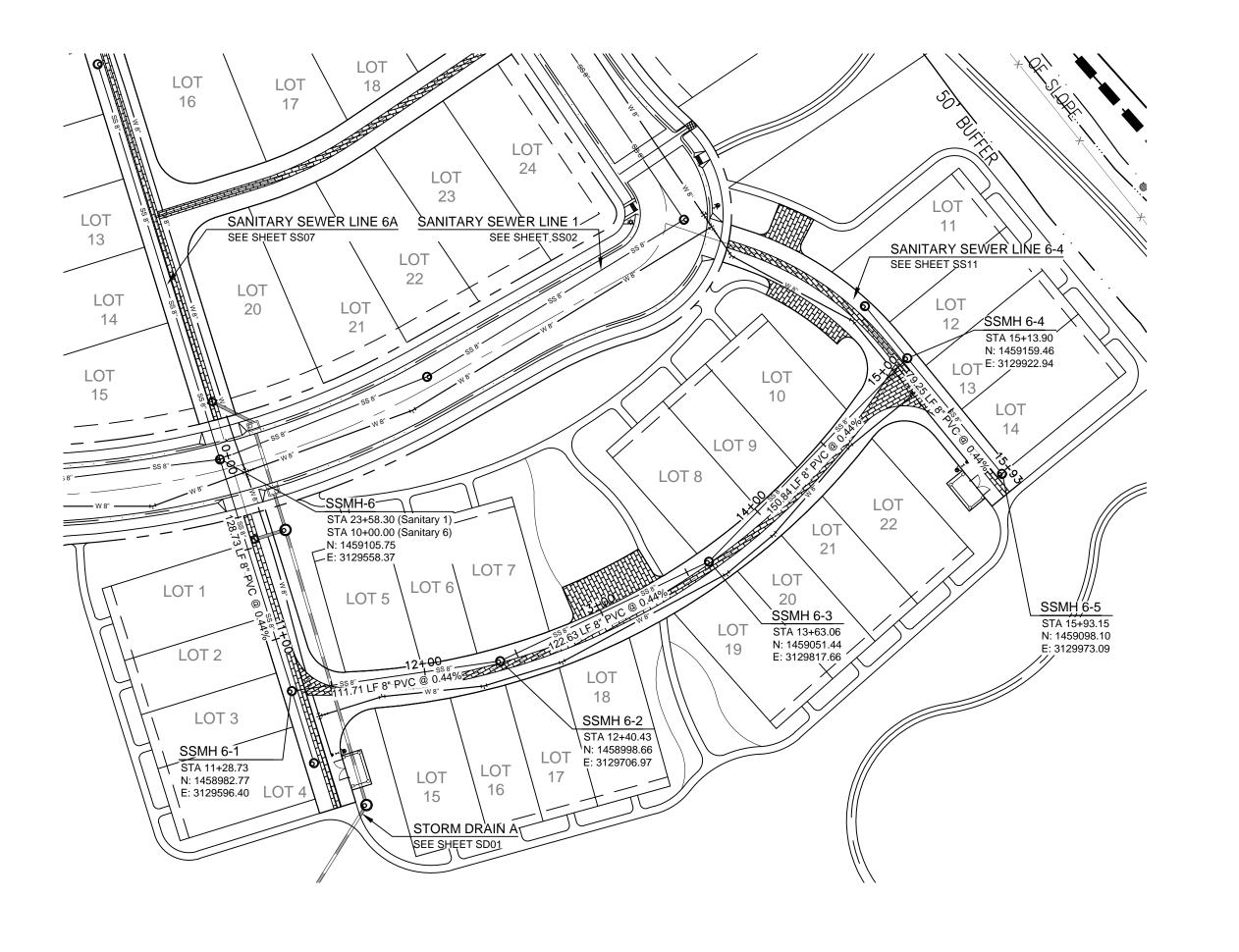
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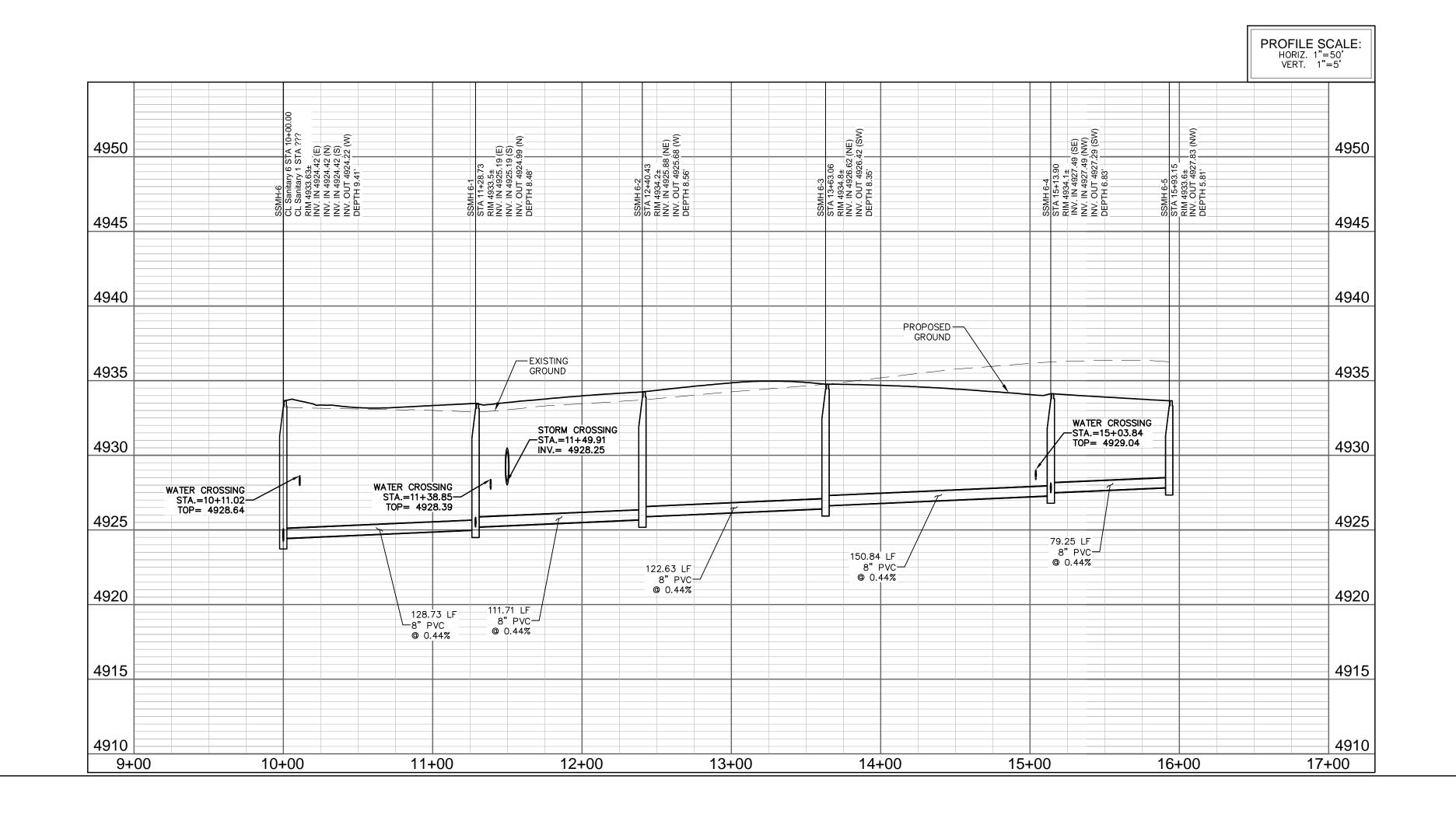


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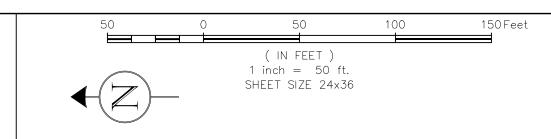
Sheet SS05



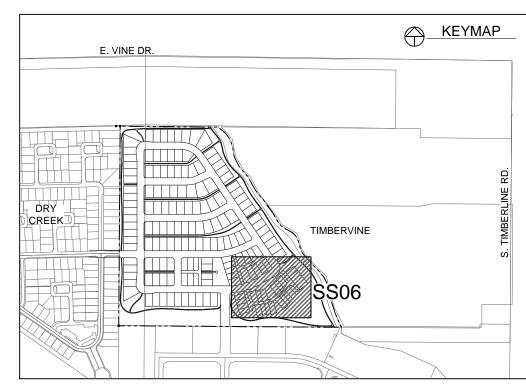




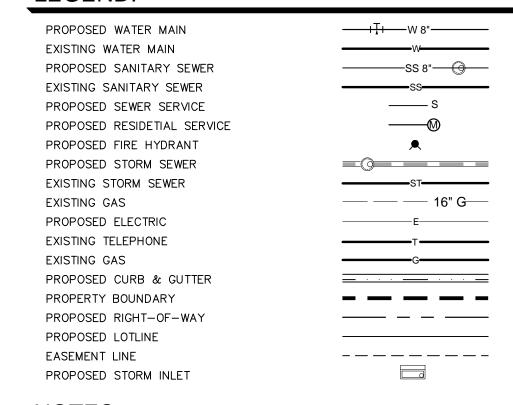




ROTATION: 90°

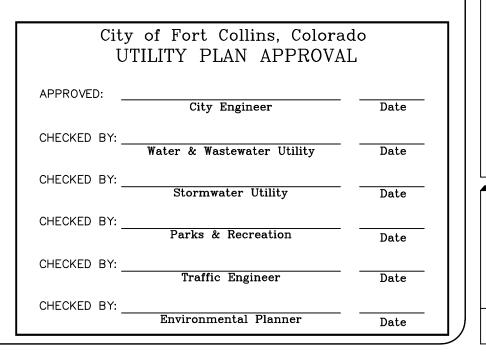


LEGEND:



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HOLDINGS, LLC HARTFORD COMPANIES 1218 WEST ASH STREET SUITE A

Planning. Architecture. Engineering. 3760 E. 15th Street, Suite 202 Loveland, CO 80538 303.770.8884 O 303.770.3636 F www.gallowayUS.com

DESIGNED BY: SCALE:

J. Prelog 1"=50'

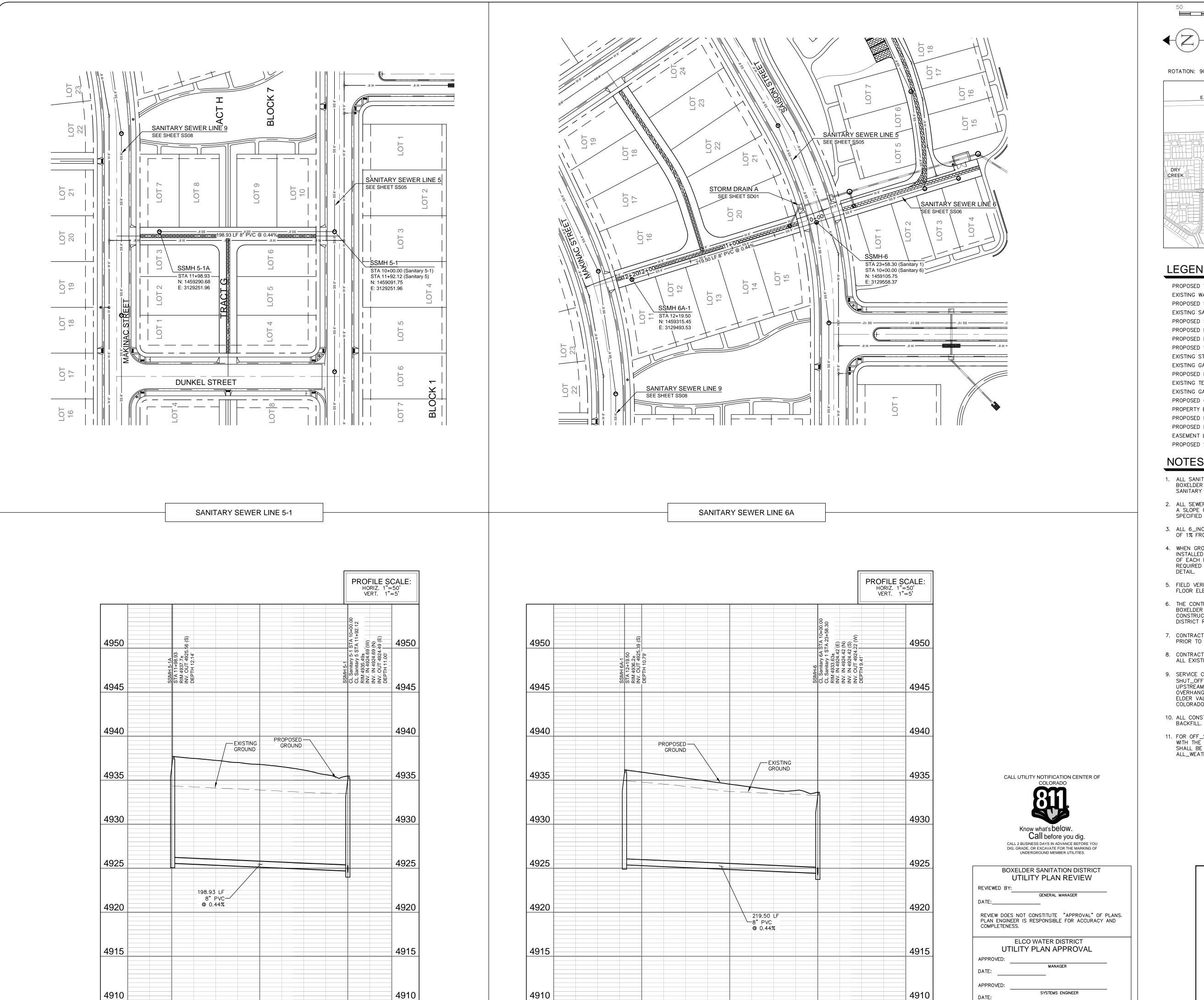
DRAWN BY: REVIEWED BY:

R. Van Uffelen

N. Whitcomb

TIMBERVINE ARY SEWER LINE IN AND PROFILE

Sheet SS06



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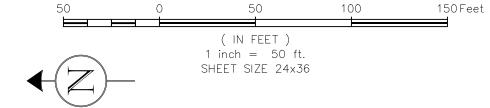
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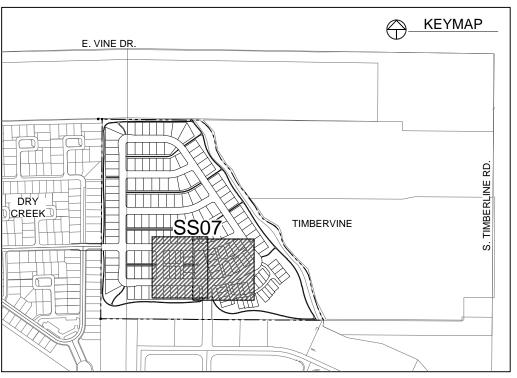
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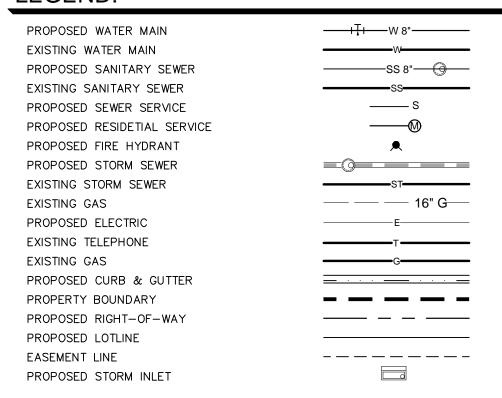
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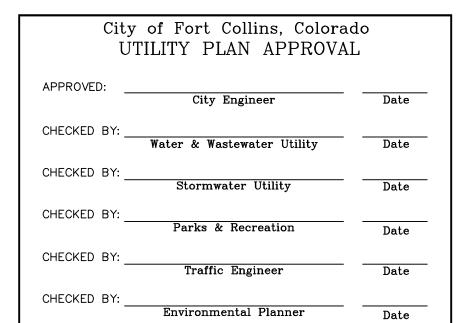
ROTATION: 90°



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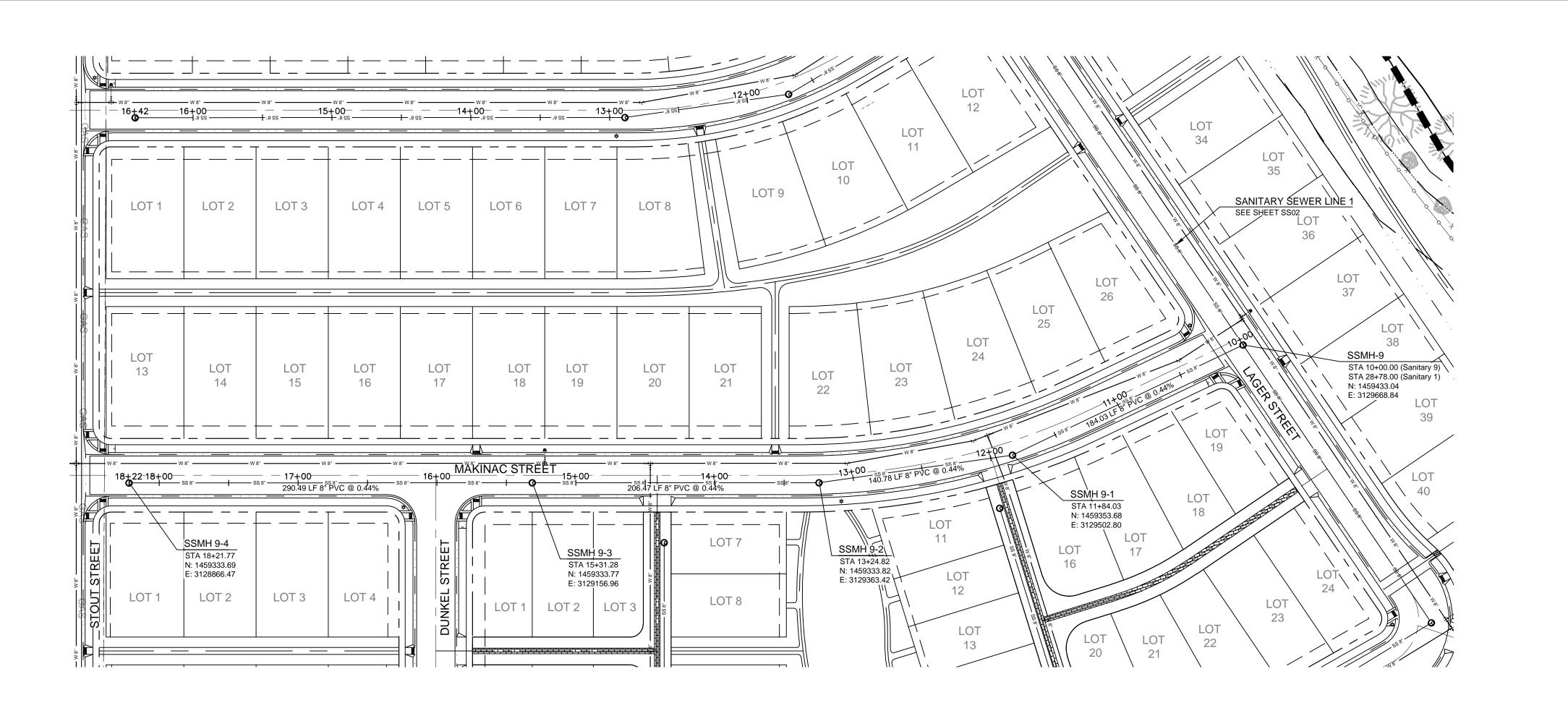


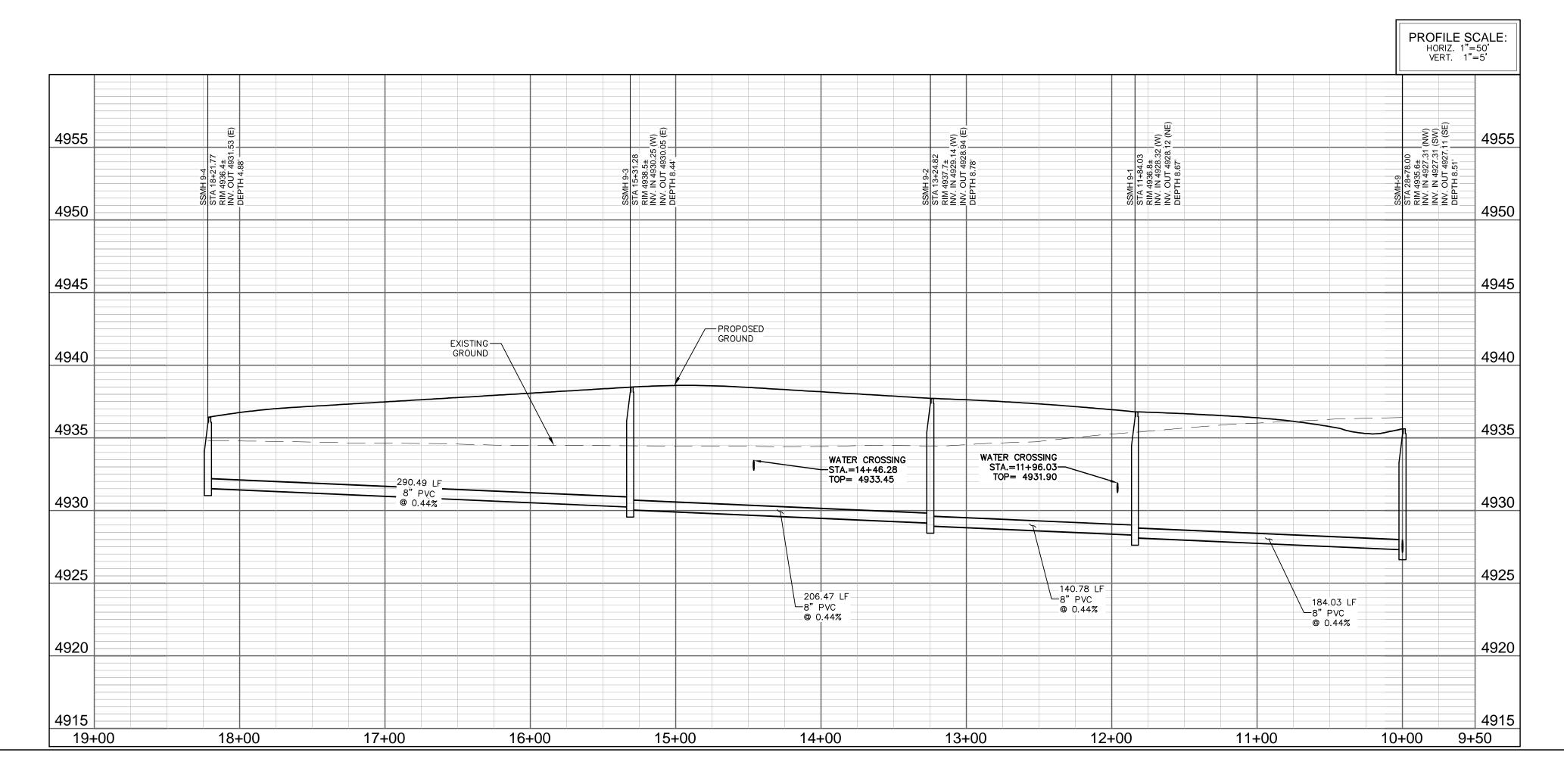
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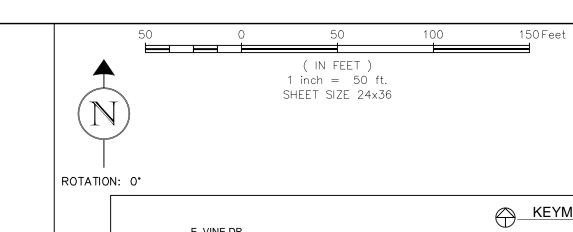
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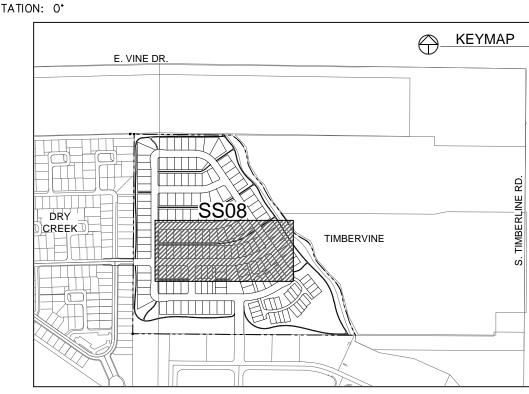




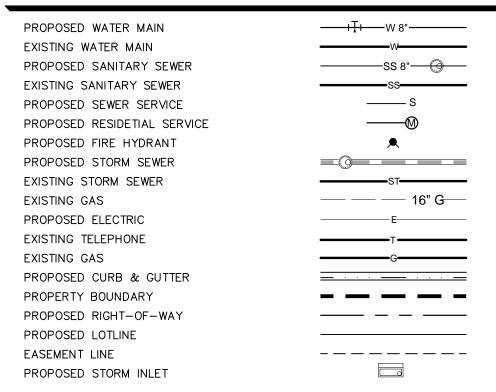






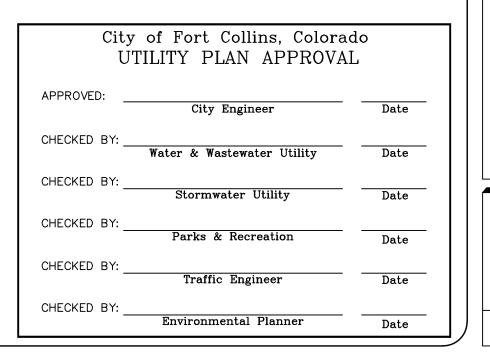


LEGEND:



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HOLDINGS, LLC
HARTFORD
COMPANIES

1218 WEST ASH STREET
SUITE A

Planning. Architecture. Engineering. 3760 E. 15th Street, Suite 202 Loveland, CO 80538 303.770.8884 O 303.770.3636 F www.gallowayUS.com

JESIGNED BY: SCALE:

J. Prelog 1"=50'

DRAWN BY: REVIEWED BY:

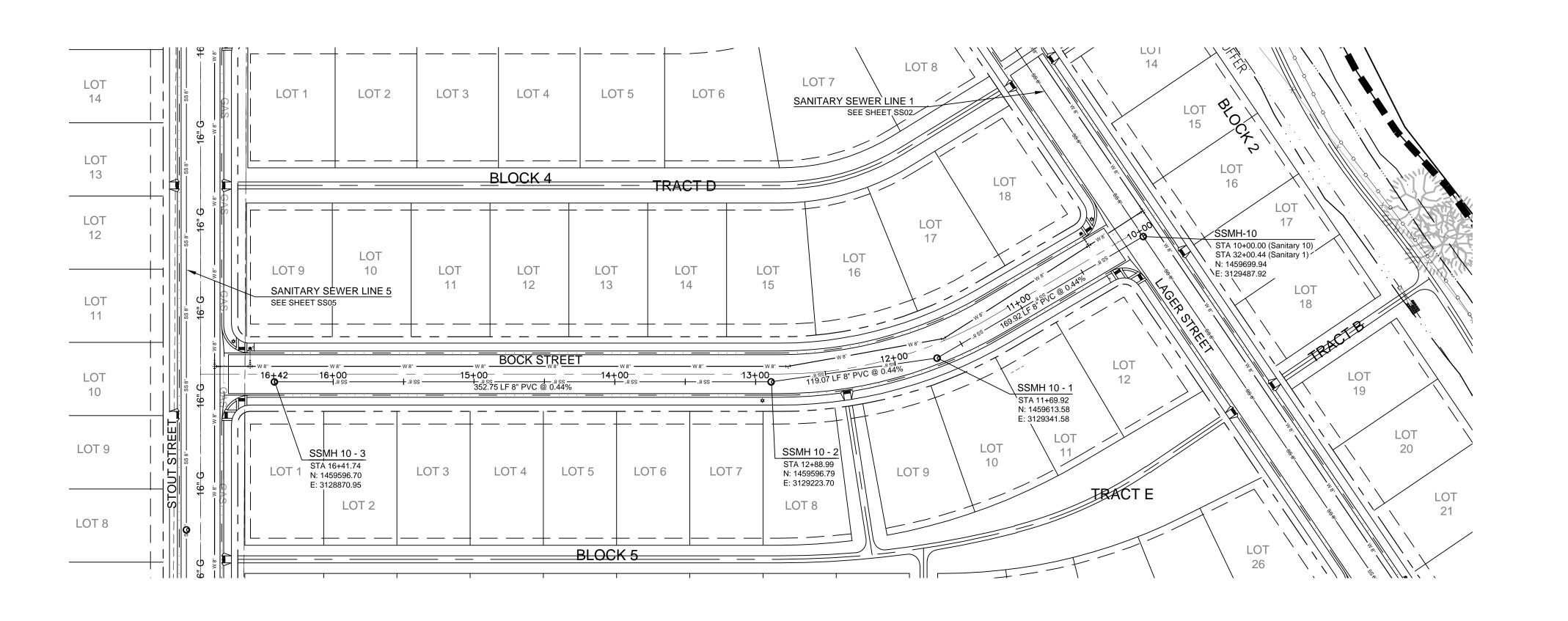
R. Van Uffelen

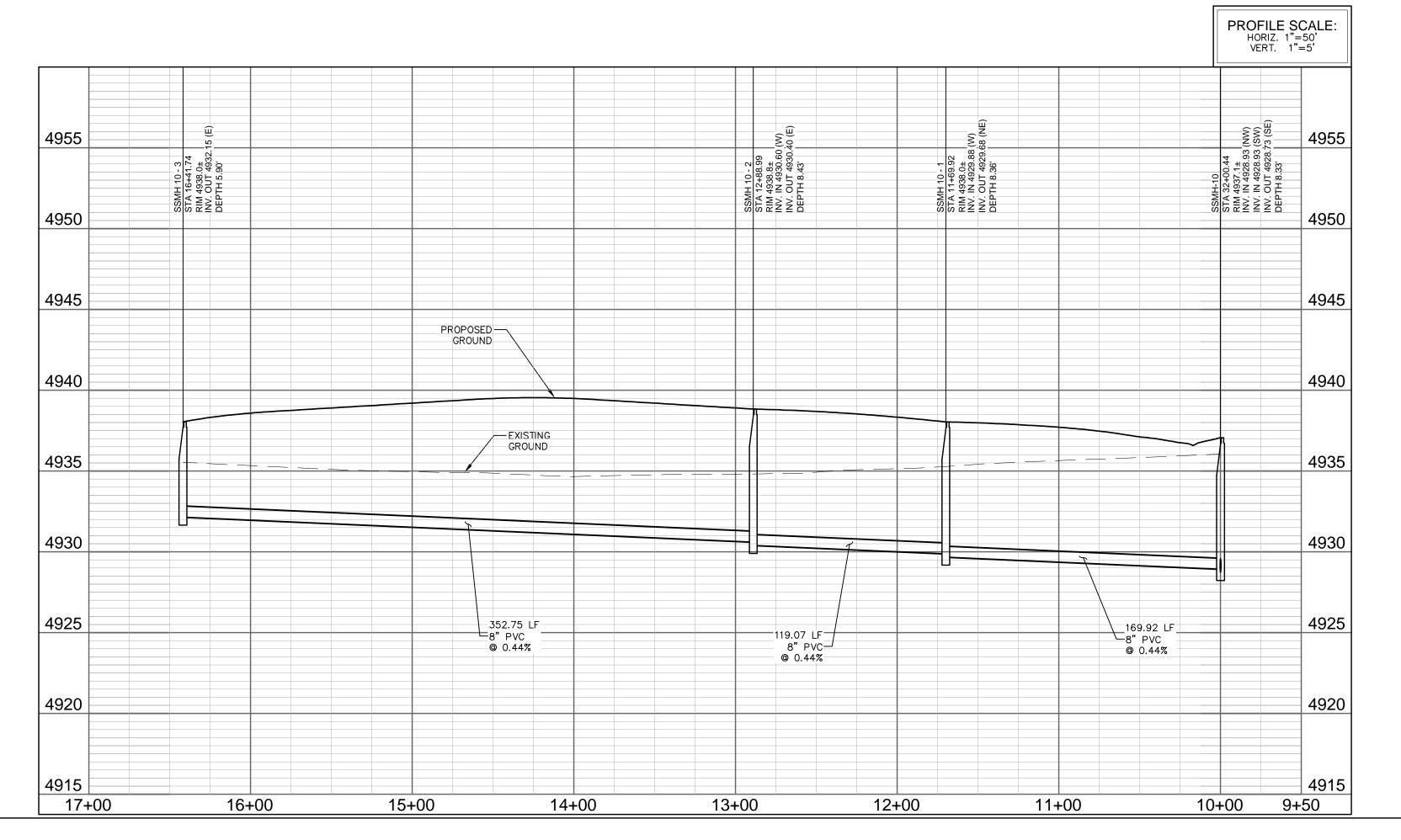
N. Whitcomb

EWER LINES 9

TIMBERVIN SANITARY SEWER PLAN AND PRO

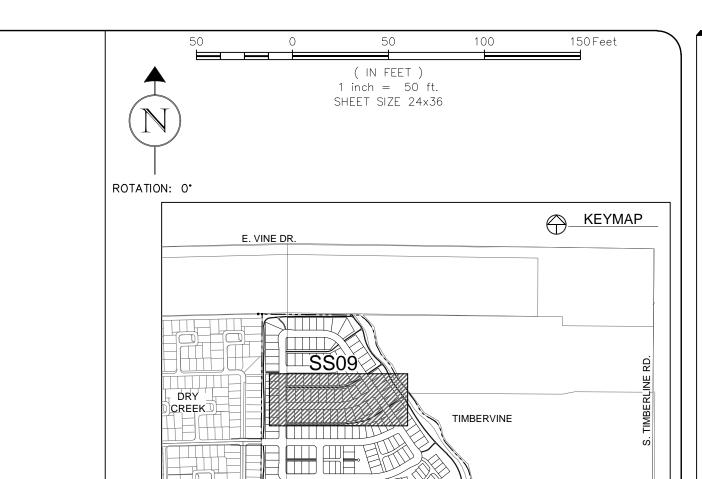
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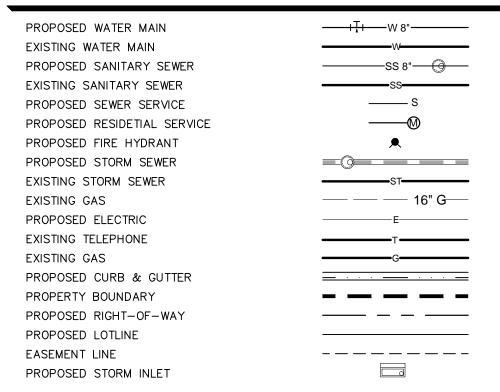




	BOXELDER SANITATION DISTRICT
	UTILITY PLAN REVIEW
REVIEWE	D BY:
	GENERAL MANAGER
DATE:	
PLAN E	DOES NOT CONSTITUTE "APPROVAL" OF PLANS. NGINEER IS RESPONSIBLE FOR ACCURACY AND TENESS.
	ELCO WATER DISTRICT
	ELCO WATER DISTRICT UTILITY PLAN APPROVAL
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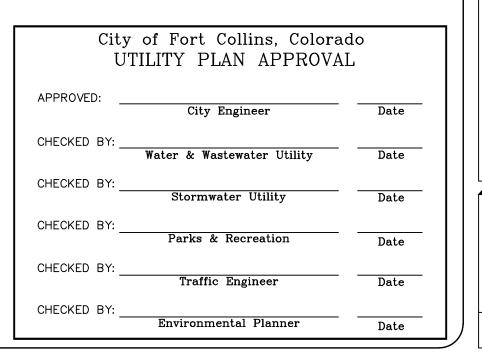


LEGEND:



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REVISION DESCRIPTION

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HOLDINGS, LLC HARTFORD COMPANIES 1218 WEST ASH STREET SUITE A

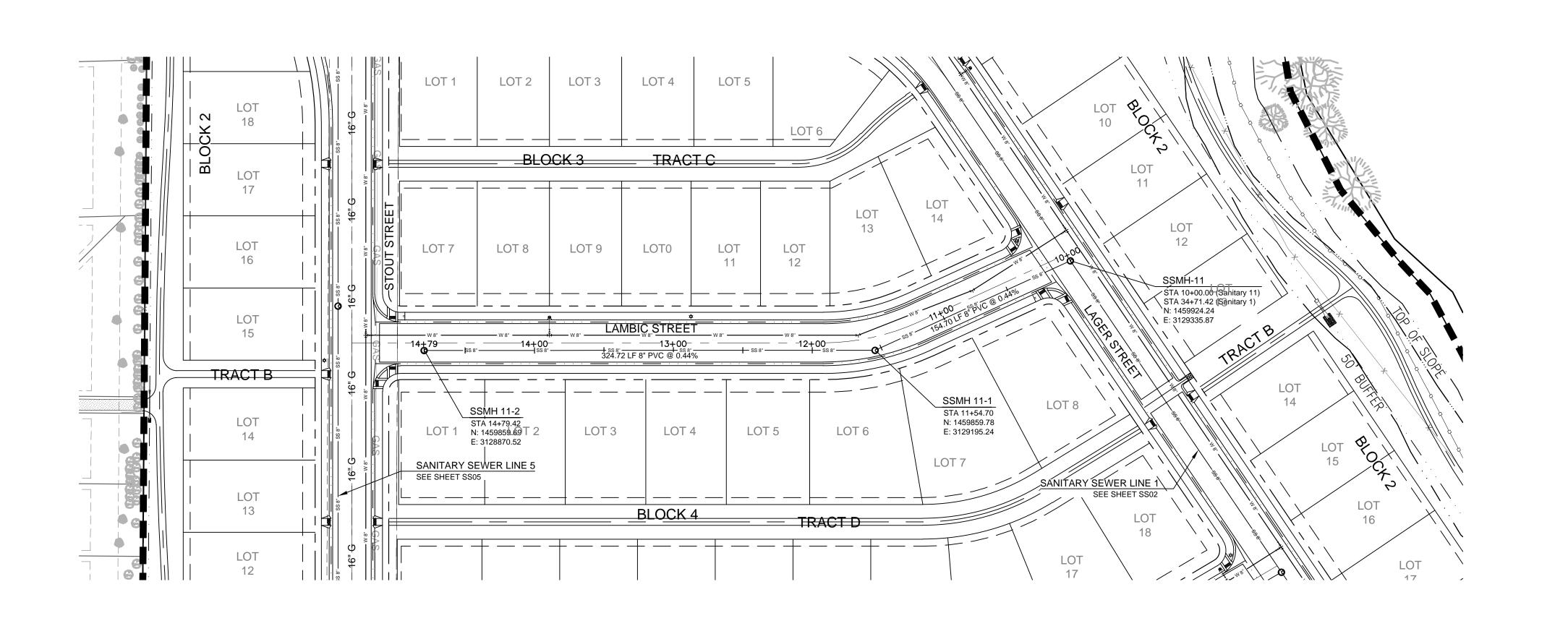


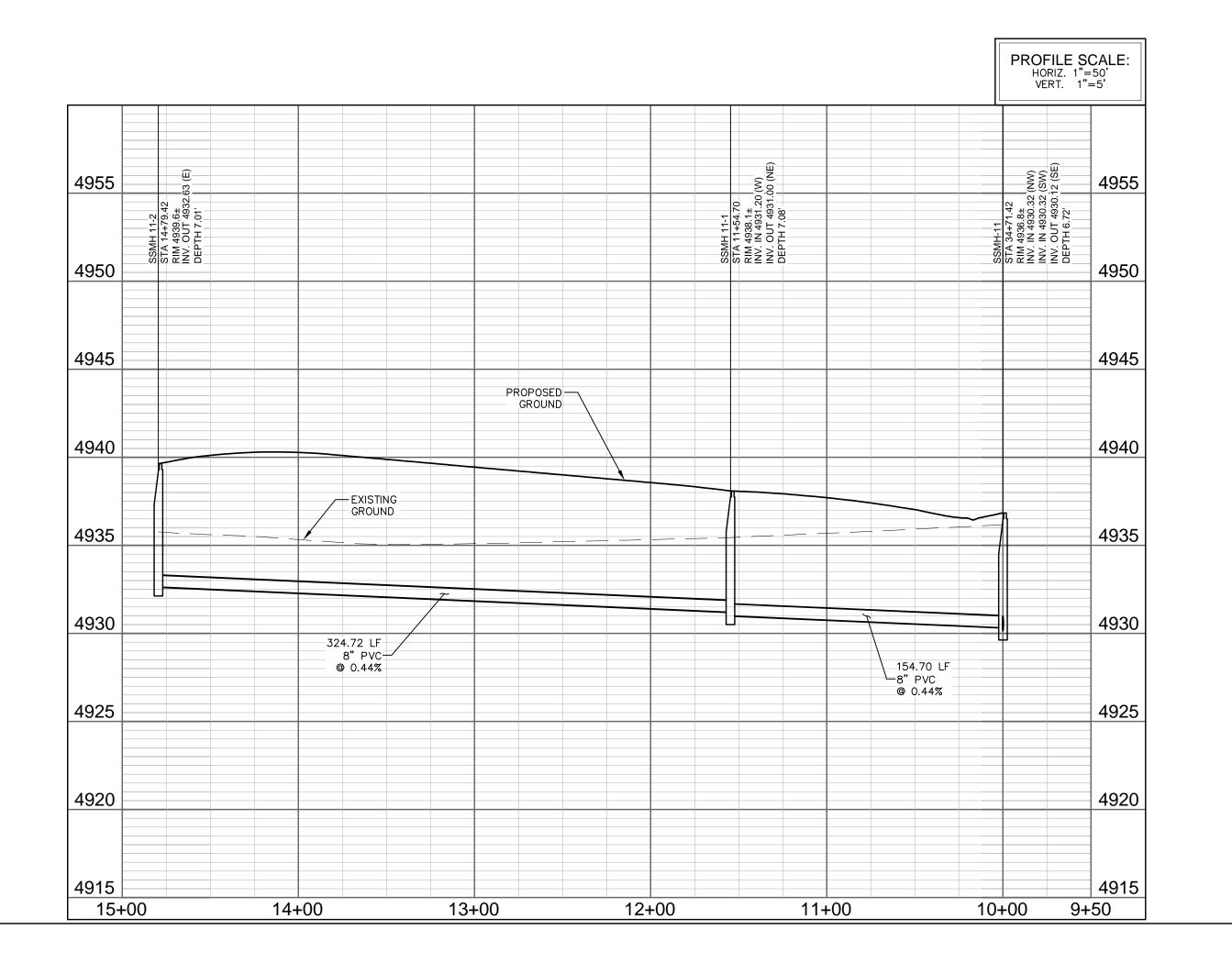
PROJECT #:
SPHLV0001.01 JUNE 18, 2014
DESIGNED BY: SCALE:
J. Prelog 1"=50'
DRAWN BY: REVIEWED BY:
R. Van Uffelen
N. Whitcomb

TIMBERVINE
RY SEWER LINES
IN AND PROFILE

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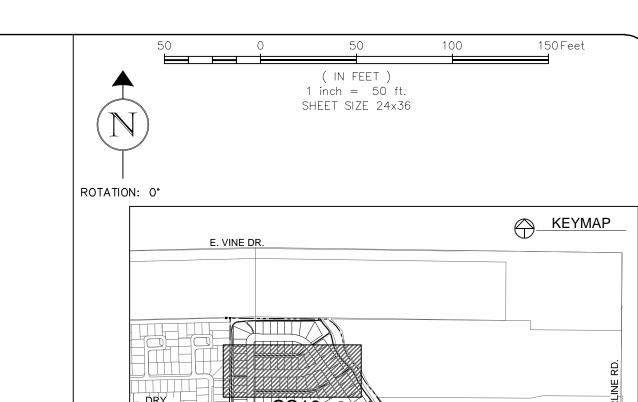
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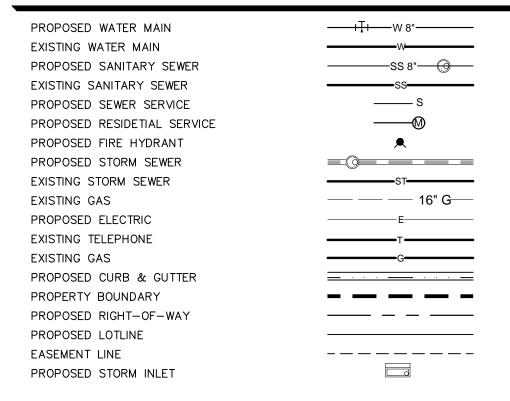


BOXELDER SANITATION DISTRICT					
UTILITY PLAN REVIEW					
O HEIT I E ATTICE VIE V					
REVIEWED BY:					
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DATE:					
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ELCO WATER DISTRICT					
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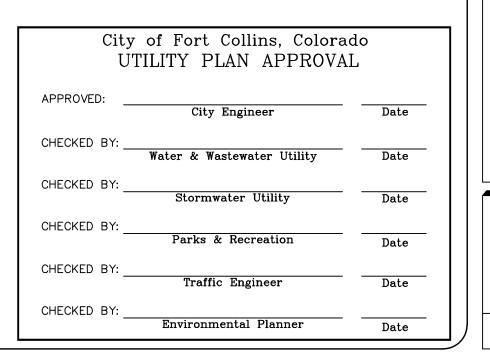
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LEGEND:



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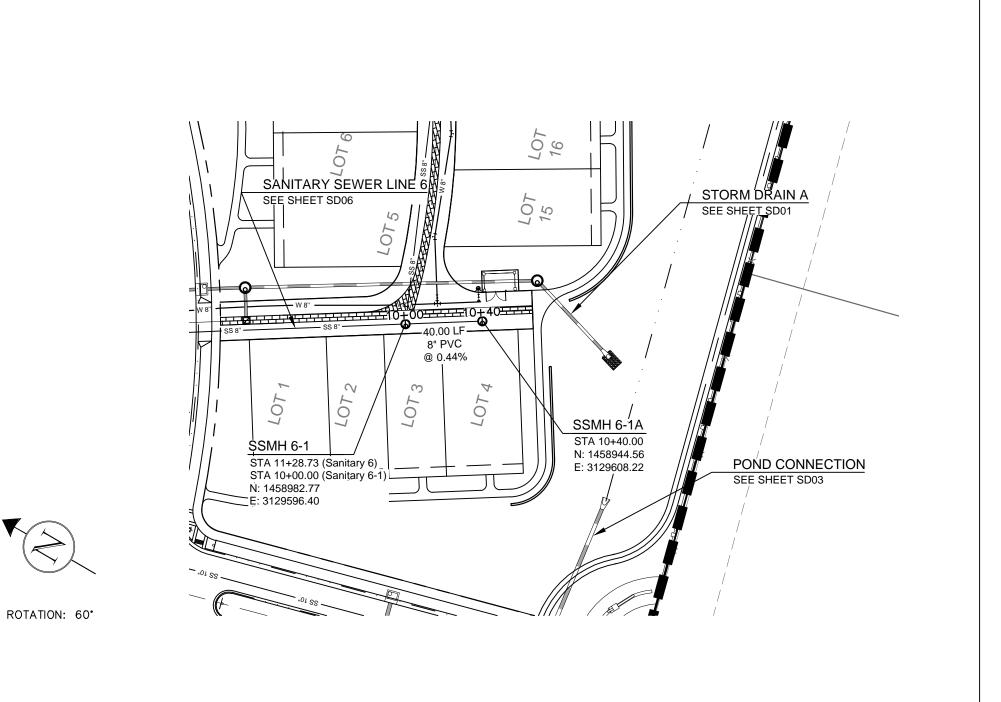
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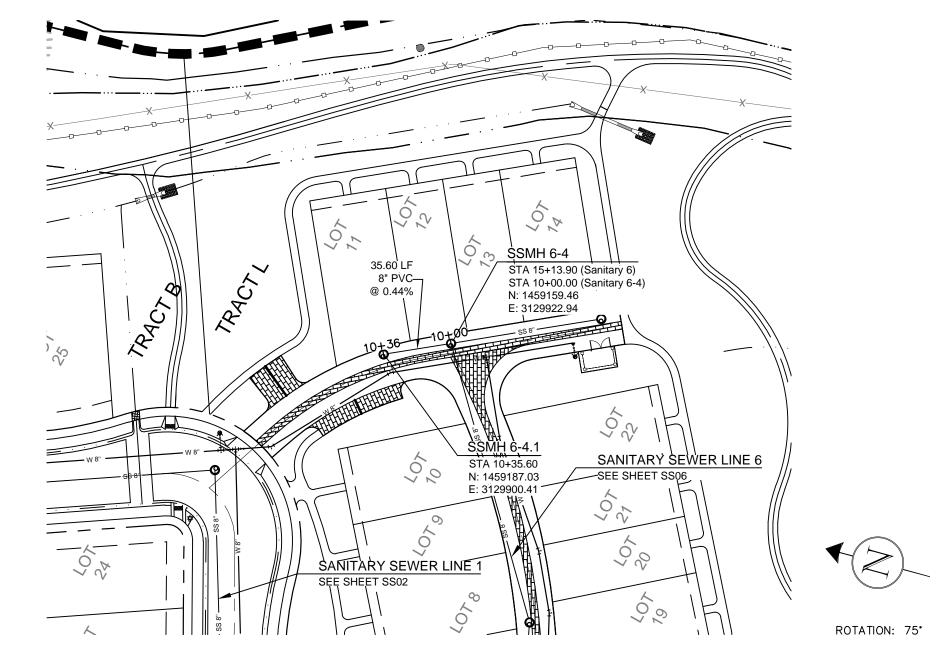




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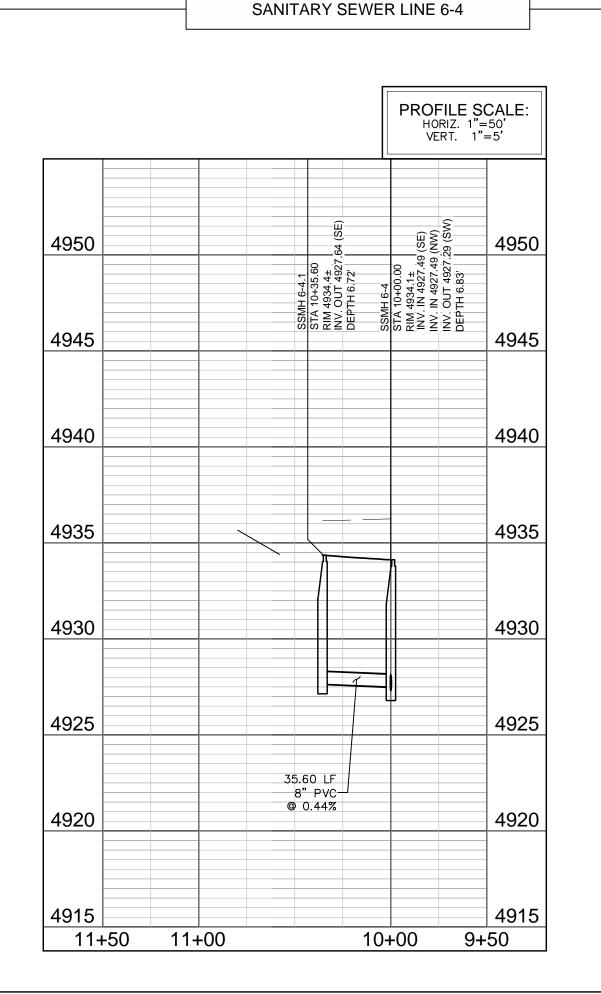
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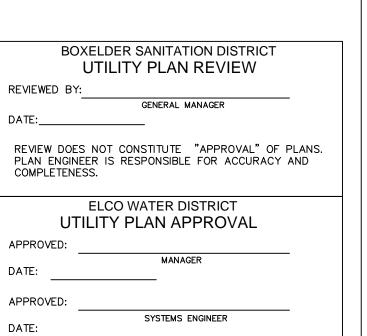


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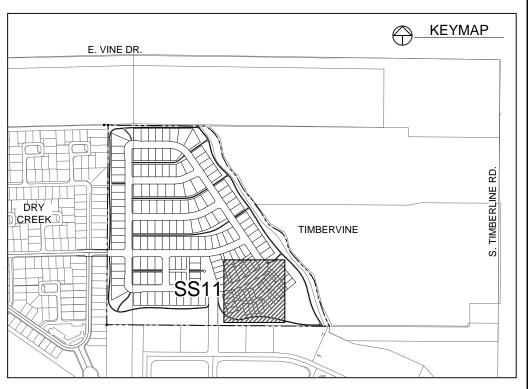
HORIZ. 1"=50'
VERT. 1"=5' 4945 SSMH 6-1 STA 10+00.00 RIM 4933.5± INV. IN 4925.1 INV. OUT 492. DEPTH 8.48 SSMH 6-1A STA 10+40.00 RIM 4933.7± RIM 4933.7± RIM 4933.7± DEPTH 8.31' 4940 4935 4935 -PROPOSED GROUND 4930 4930 -EXISTING GROUND 4925 40.00 LF ^V8" PVC @ 0.44% 4920 4920 4915 4915 4910 4910 9+50 10+00 11+00 11+50



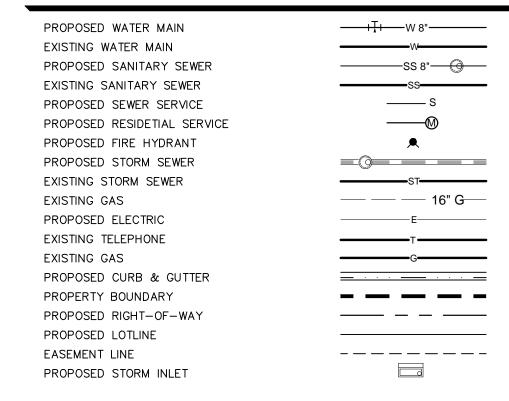




100 (IN FEET) 1 inch = 50 ft.SHEET SIZE 24x36



LEGEND:



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- 1. ALL SANITARY SEWER LINE CONSTRUCTION SHALL CONFORM TO THE LATEST BOXELDER SANITATION DISTRICT STANDARDS AND SPECIFICATIONS FOR SANITARY SEWER PIPELINE CONSTRUCTION AND IMPROVEMENTS."
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- 3. ALL 6_INCH DIAMETER SEWER SERVICES SHALL BE CONSTRUCTED AT A SLOPE OF 1% FROM THE BUILDING TO THE SEWER MAIN.
- 4. WHEN GROUNDWATER IS ENCOUNTERED CLAY CUT OFF WALLS SHALL BE INSTALLED ON THE UPSTREAM SIDE OF ALL MANHOLES, IN THE MID_SECTION OF EACH MAIN LINE RUN AT INTERVALS NOT TO EXCEED 300_FEET, OR AS REQUIRED BY THE DISTRICT. SEE DETAIL SHEETS FOR CLAY CUT_OFF WALL
- 5. FIELD VERIFY INVERT ELEVATION OF SANITARY SEWER AND BASEMENT FINISHED FLOOR ELEVATION FOR GRAVITY FLOW PRIOR TO CONSTRUCTING FOUNDATIONS.
- 6. THE CONTRACTOR SHALL SCHEDULE A PRE_CONSTRUCTION MEETING WITH BOXELDER SANITATION DISTRICT A MINIMUM OF ONE WEEK BEFORE CONSTRUCTION TO COORDINATE SCHEDULES AND CLARIFY ANY ADDITIONAL DISTRICT REQUIREMENTS. CONTACT NUMBER IS 970_498_0604.
- 7. CONTRACTOR SHALL NOTIFY THE DISTRICT'S INSPECTOR FORTY_EIGHT HOURS PRIOR TO START OF CONSTRUCTION.
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FIELD LOCATES OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- 9. SERVICE CONNECTIONS TO STRUCTURES REQUIRE AN ELDER VALVE (SEWER SHUT_OFF VALVE) AND A CLEANOUT. ELDER VALVES MUST BE INSTALLED UPSTREAM OF THE CLEANOUT AND A MINIMUM 3_FEET FROM ANY WALL, OVERHANG OR OTHER STRUCTURE THAT MIGHT LIMIT ACCESS TO THE VALVE. ELDER VALVES MAY BE PURCHASED FROM VENDORS IN FORT COLLINS,
- 10. ALL CONSTRUCTION SHALL BE INSPECTED BY DISTRICT INSPECTOR PRIOR TO BACKFILL.
- 11. FOR OFF_SITE SEWER LINE MANHOLES: MANHOLE RIMS SHALL BE SET FLUSH WITH THE SURFACE WHEN WITHIN AN ALL_WEATHER ACCESS ROADWAY, RIMS SHALL BE SET 6_INCHES ABOVE GRADE IF THEY ARE NOT WITHIN AN ALL_WEATHER ACCESS ROADWAY.

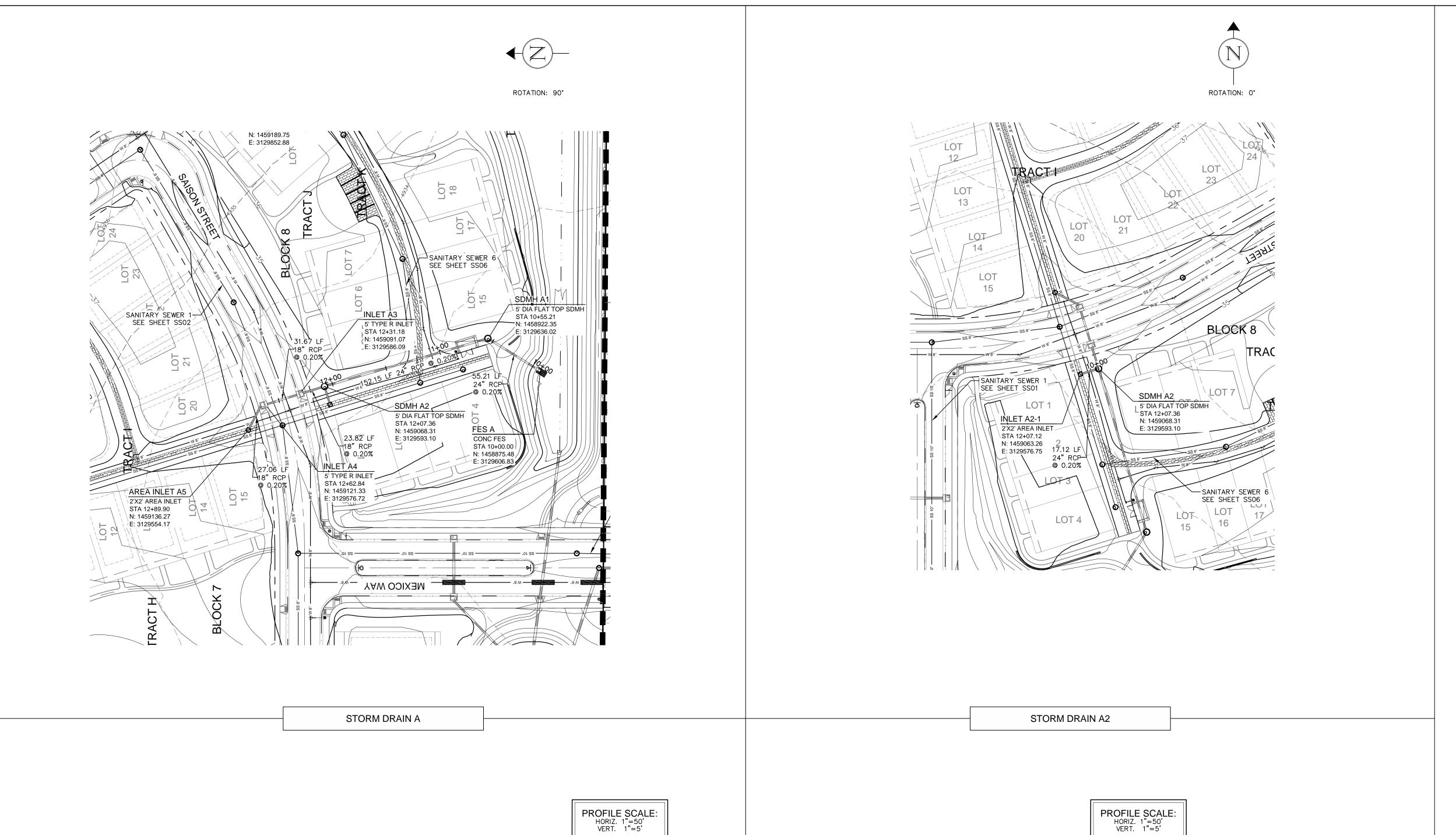
City of Fort Collins, Colorado UTILITY PLAN APPROVAL				
APPROVED:	City Engineer	Date		
CHECKED BY: Wat	ter & Wastewater Utility			
CHECKED BY:	Stormwater Utility			
CHECKED BY:	Parks & Recreation	 Date		
CHECKED BY:	Traffic Engineer	Date		
CHECKED BY:	Environmental Planner	 Date		

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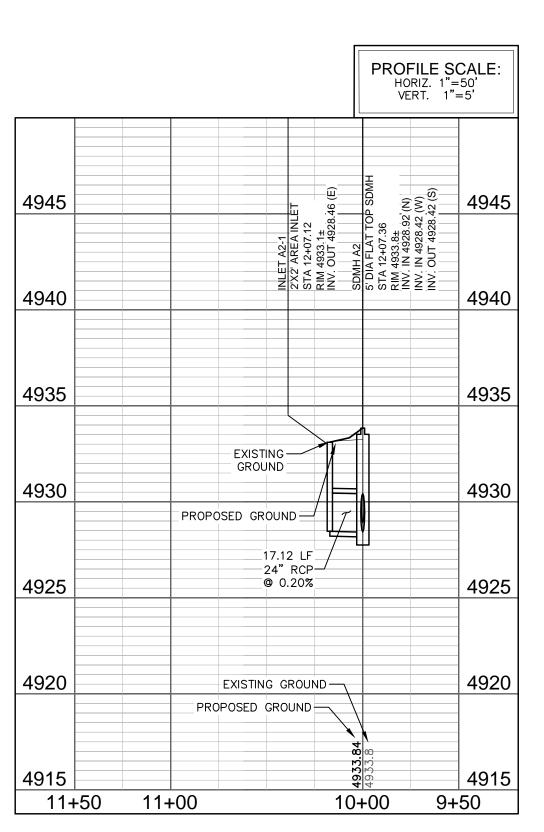
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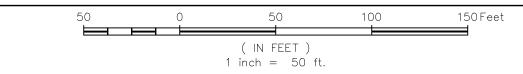
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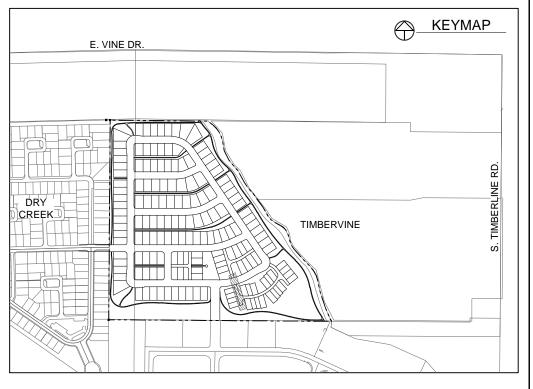
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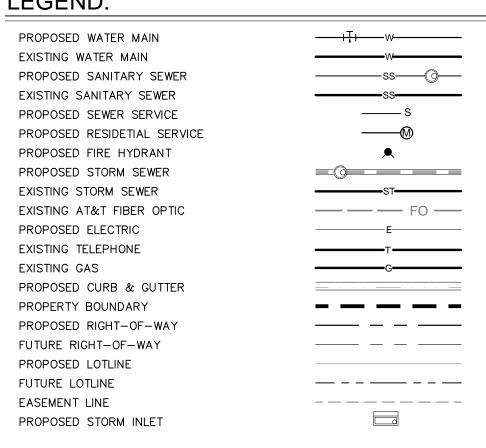
4940 PROPOSED GROUND 4935 4935 4930 4930 @ 0.20% 18" RCP 4925 ___@ 0.20% _ WATER CROSSING STA.=12+81.98-/ WATER CROSSING -24" RCP-INV.= 4927.41 WATER CROSSING STA.=11+07.65 @ 0.20% ─STA.=12+43.56 INV.= 4926.47 152.15 LF INV.= 4927.27 ____24" RCP @ 0.20% 4920 4920 - 18" RCP-@ 0.20% SANITARY CROSSING └STA.=12+55.15 INV.= 4924.52 PROPOSED GROUND 4915 -EXISTING GROUND-4933.19 4933.13 4933.13 4932.8 4932.78 4932.66 4932.76 4932.76 4910 4910 11+00 10+00 9+00 14+00 13+00 12+00





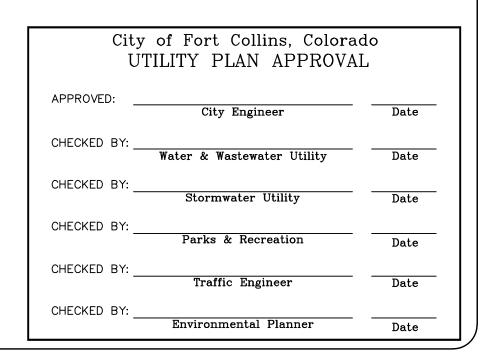


LEGEND:



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- 5. ALL STORM MANHOLES LOCATED IN SIDEWALKS AND TRAILS SHALL HAVE PEDESTRIAN RATED LIDS.
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- 7. SEE DETAILS FOR RIPRAP PAD SIZING.
- 8. PROVIDE WATER TIGHT JOINTS PER ASTM C443 AT ALL CIRCULAR STORM PIPE.
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HARTFORD COMPANIES

1218 WEST ASH STREE

SUITE A

Planning. Architecture. Engineering. 3760 E. 15th Street, Suite 202 Loveland. CO 80538

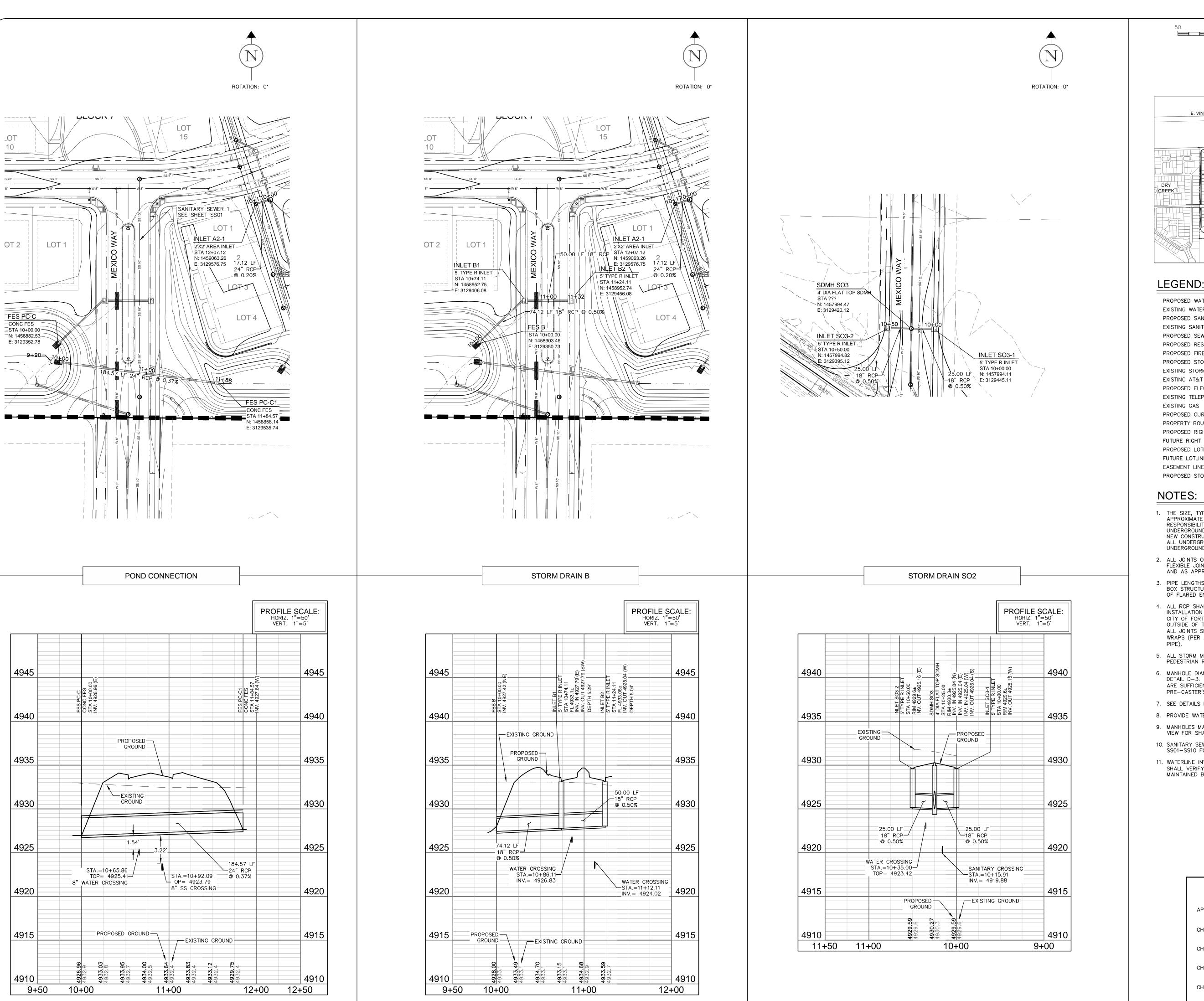
SIGNED BY: SCALE:

J. Prelog 1"=50'

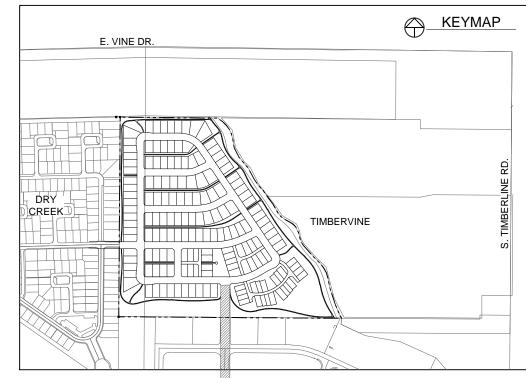
AWN BY: REVIEWED BY:
R. Van Uffelen
N. Whitcomb

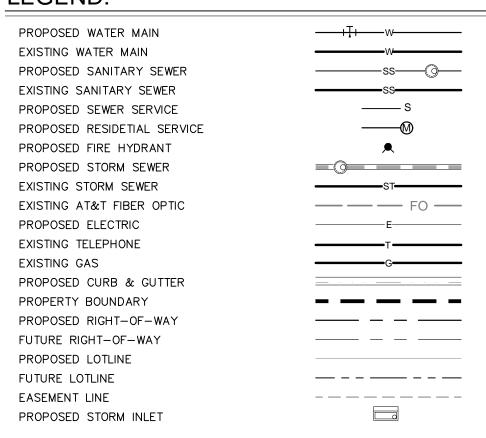
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Sheet SD01

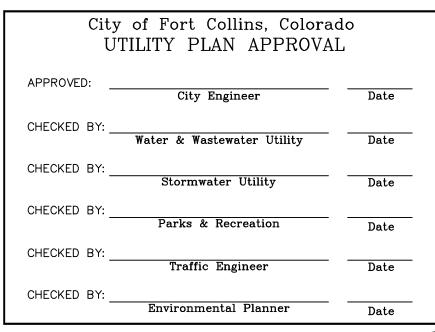


(IN FEET) 1 inch = 50 ft.





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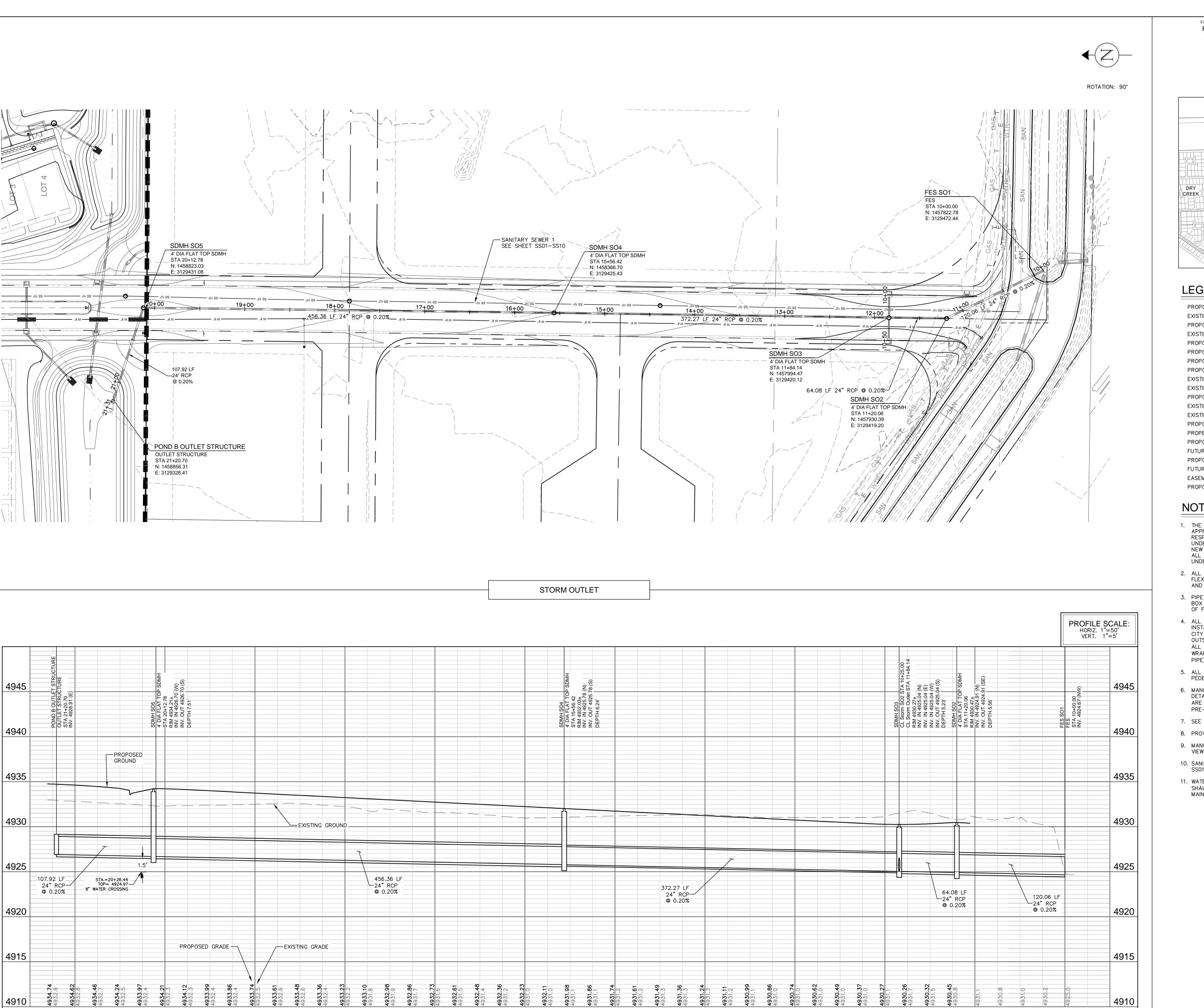
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STORM DRAIN E

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20+00

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18+00

17+00

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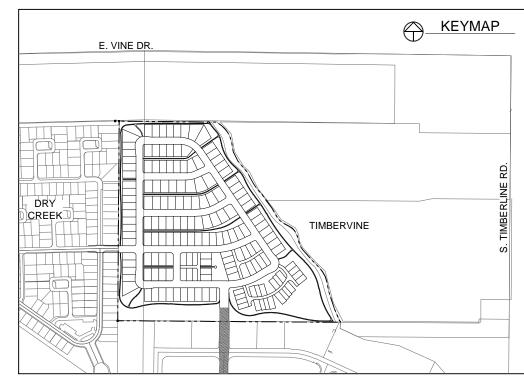
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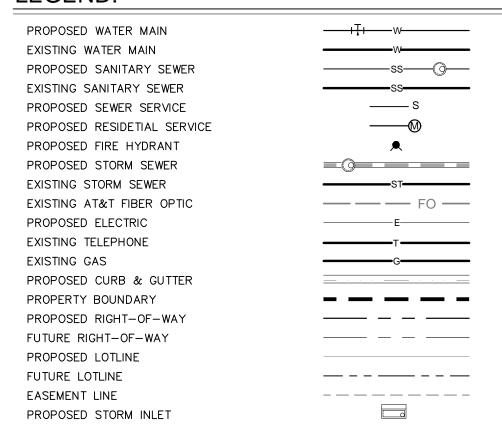
12+00

11+00

(IN FEET) 1 inch = 40 ft.



LEGEND:



NOTES:

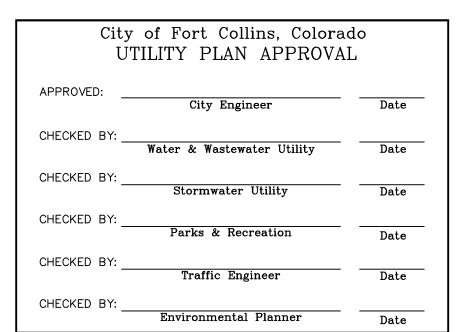
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4910

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10+00

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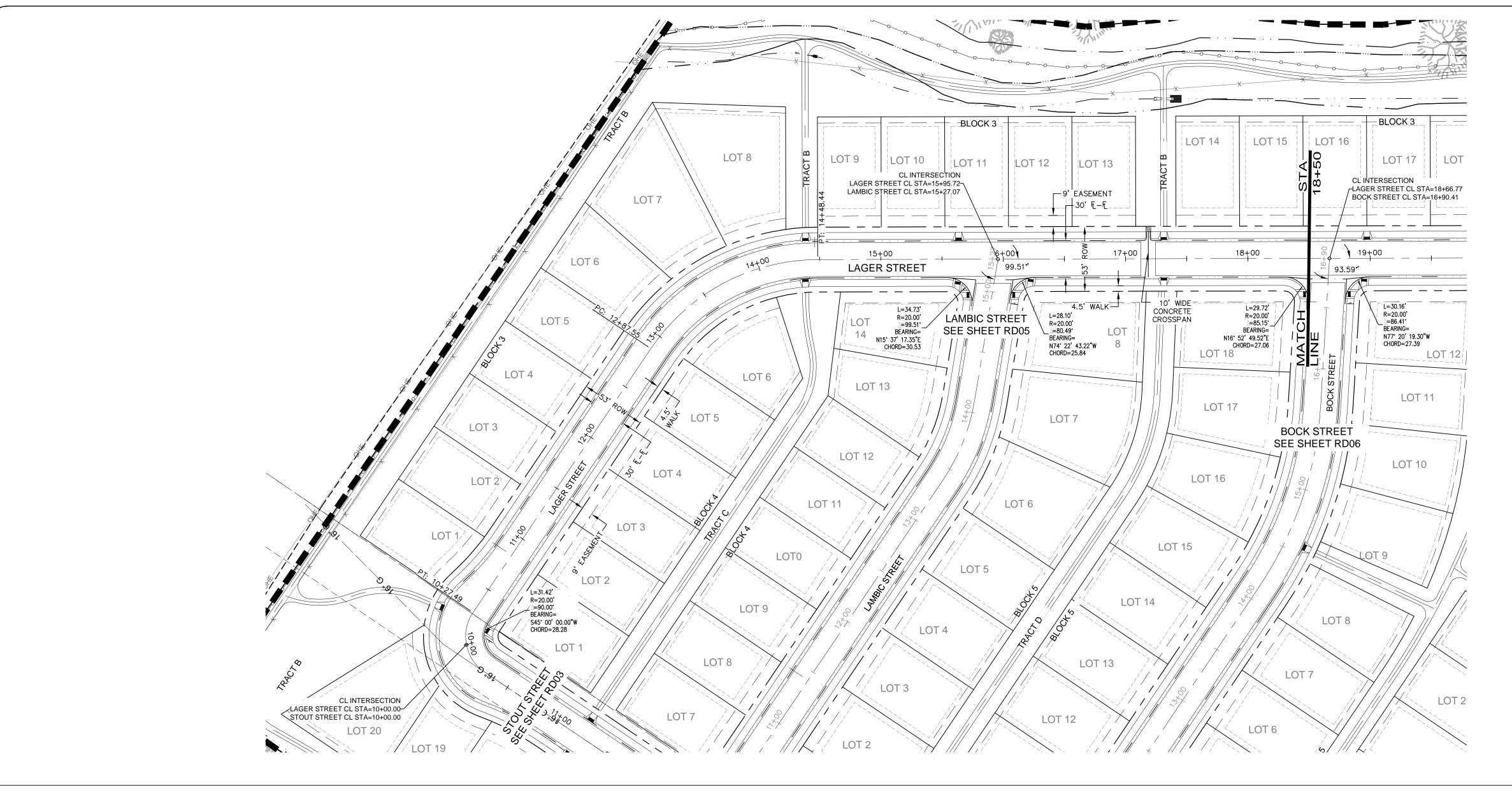


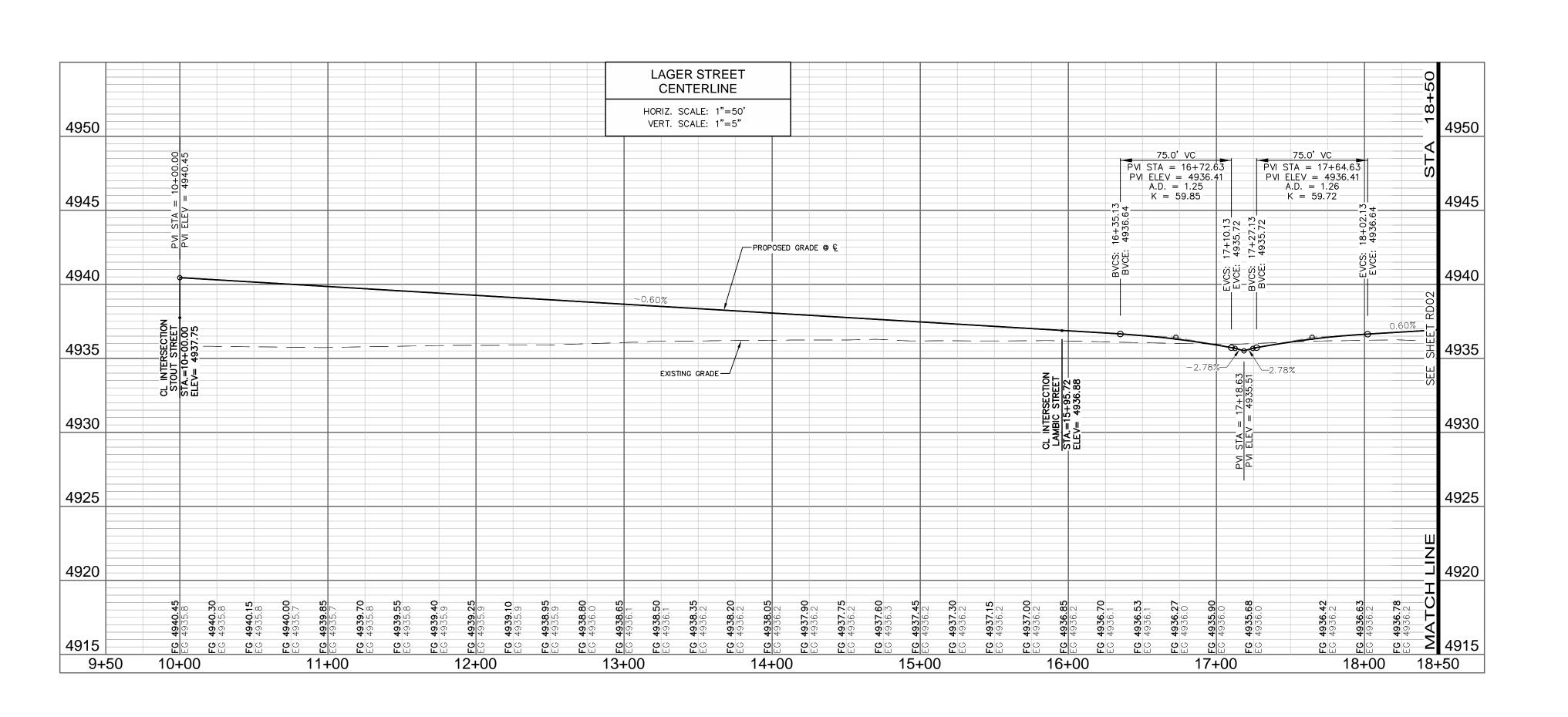


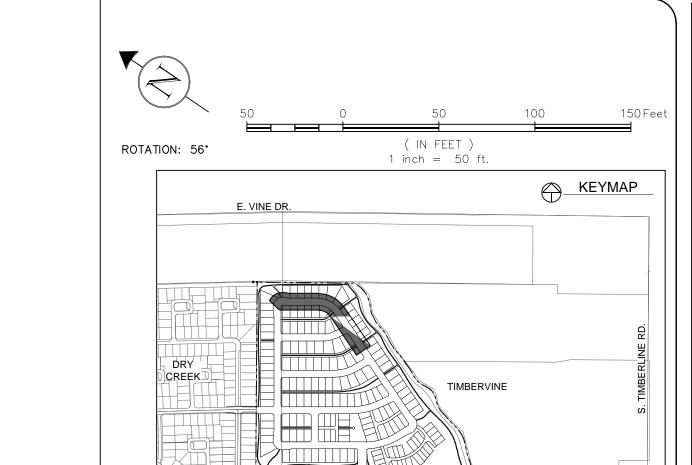
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DRAIN OUTLE AND PROFILE TIMBERVINE

Sheet SD03







PROPOSED CURB & GUTTER PROPOSED CENTERLINE PROPOSED RIGHT-OF-WAY PROPERTY BOUNDARY PROPOSED LOT LINE EASEMENT LINE SAWCUT LINE PROPOSED STORM SEWER PROPOSED STORM INLET EXISTING EDGE OF ASPHALT PROPOSED CONCRETE CROSSPAN (TYP.) PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

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- 2. SEE SOILS REPORT FOR PAVEMENT AND SUBGRADE PREPARATION, DESIGN AND RECOMMENDATIONS.

3. MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO 1/4" BELOW FINISHED

LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS. 4. EXPANSION JOINTS SHALL BE PROVIDED IN ALL SIDEWALKS AT MAXIMUM

GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT

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- 9. PCR INFORMATION IS PROVIDED FOR FLOWLINE.
- 10. SEE RDXX-RDXX FOR INTERSECTION DETAILS.

APPROVED:

CHECKED BY: ___

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- 11. ALL SPOTS ARE AT FLOW LINE UNLESS NOTED OTHERWISE.
- 12. ELEVATIONS SHOWN HAVE BEEN ABBREVIATED. THE ENTIRE ELEVATION IS THE ELEVATION SHOWN PLUS 4800 OR 4900 FEET (96.97 = 4896.97 AND OR 00.71 = 4900.71).

City of Fort Collins, Colorado

UTILITY PLAN APPROVAL

City Engineer

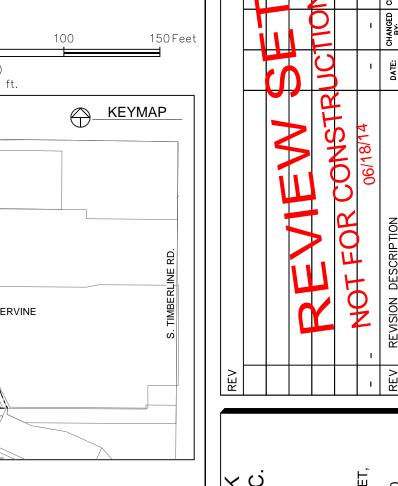
Parks & Recreation

Environmental Planner

Date

Date

CHECKED BY: _______ Water & Wastewater Utility





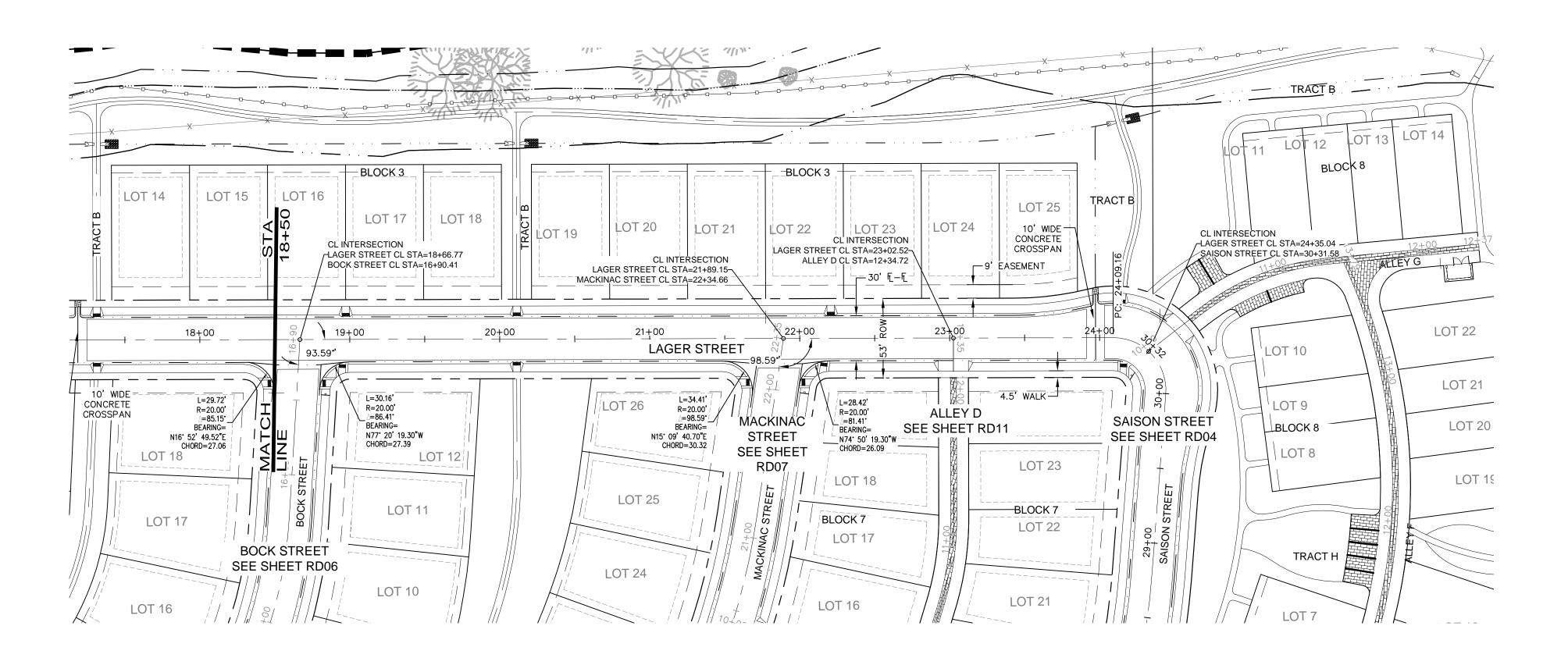
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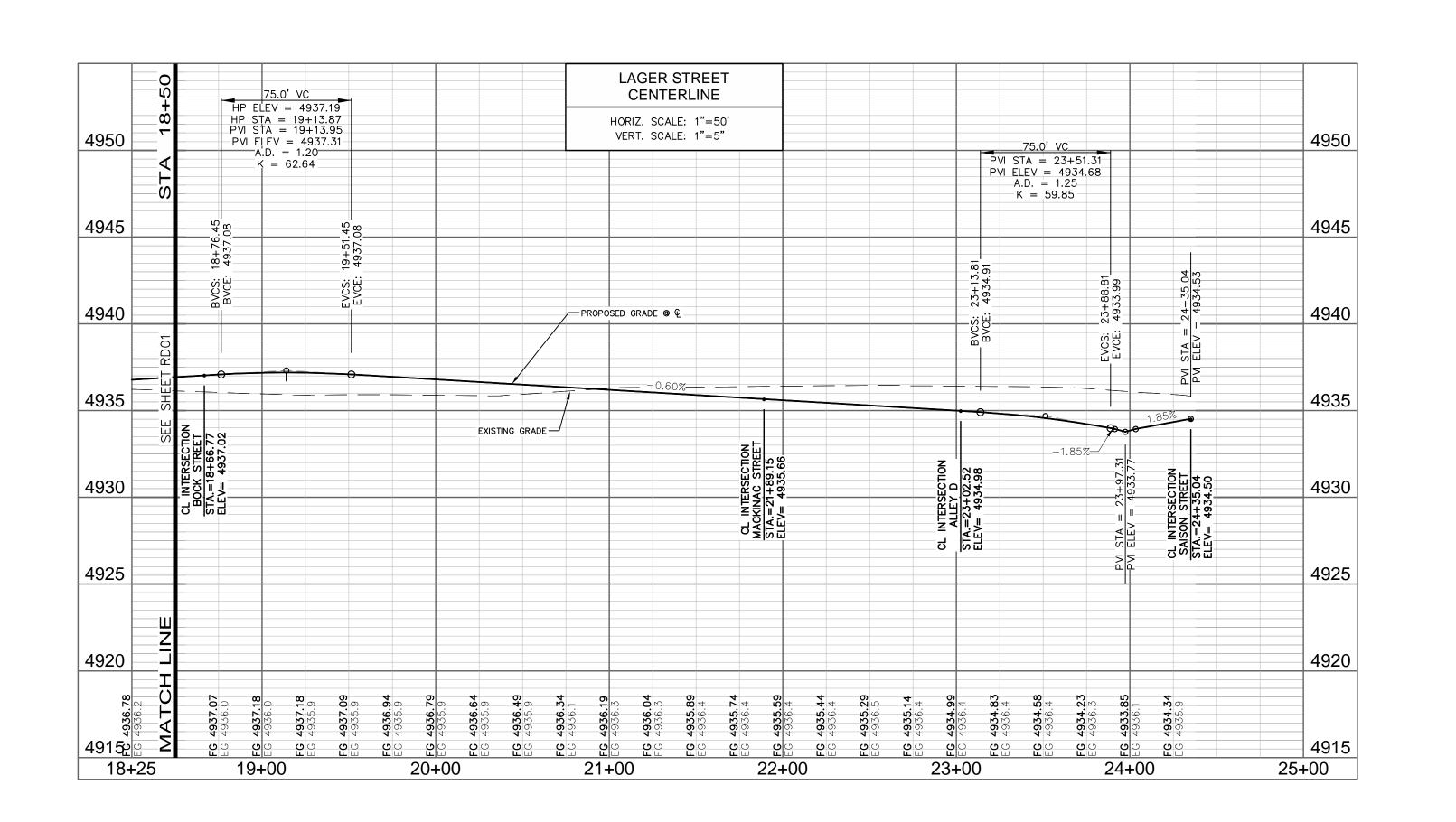
DATE: JUNE 18, 2014	SCALE:	1"=50'	REVIEWED BY:	vel
PROJECT #: SPHLV0001.01	DESIGNED BY:	J. Allen	DRAWN BY:	J. Allen
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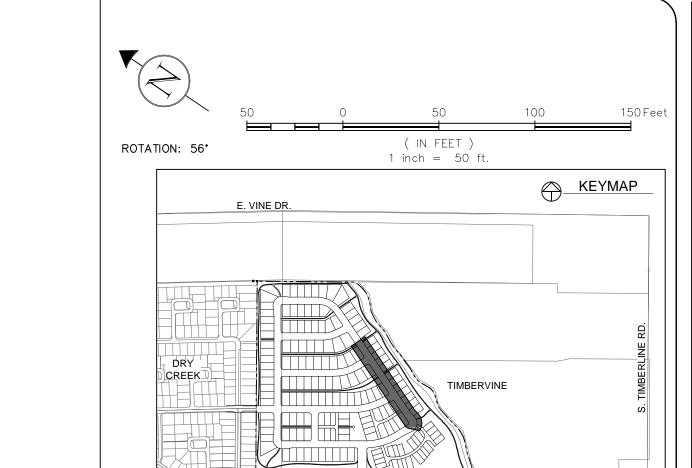
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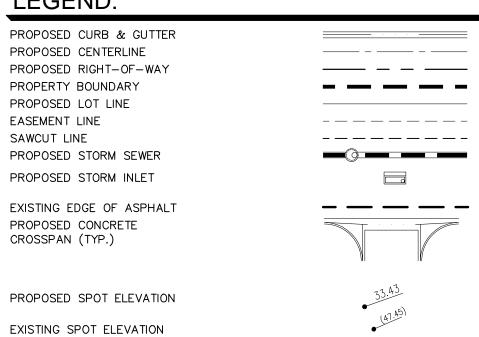
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RD01









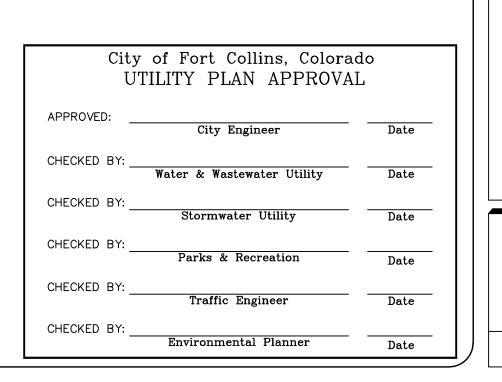
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HOLDINGS, LLC.
HARTFORD
GOMPANTES

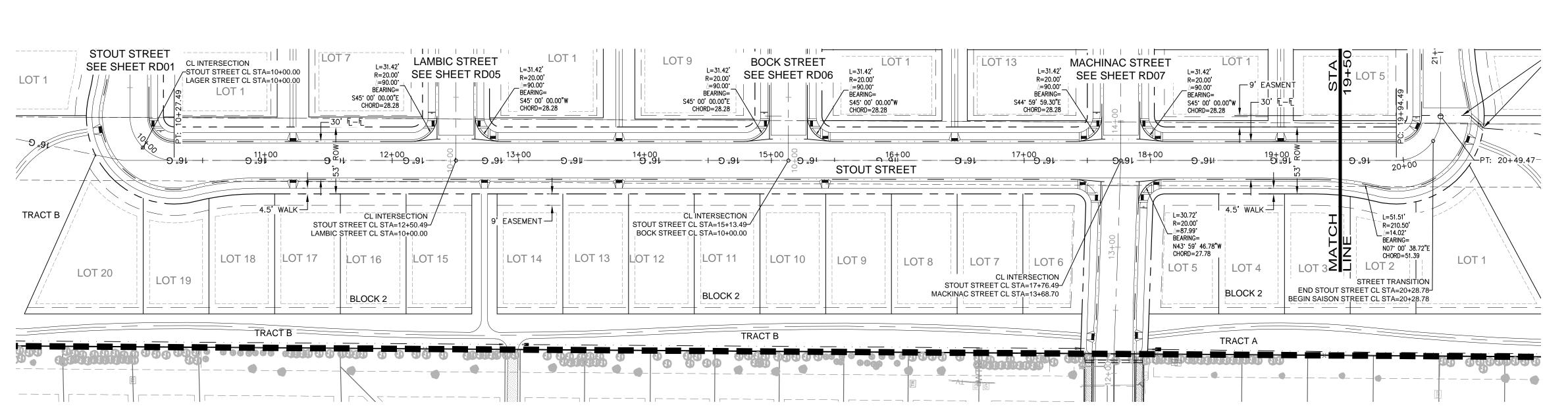
1218 WEST ASH STREET,
SUITE A

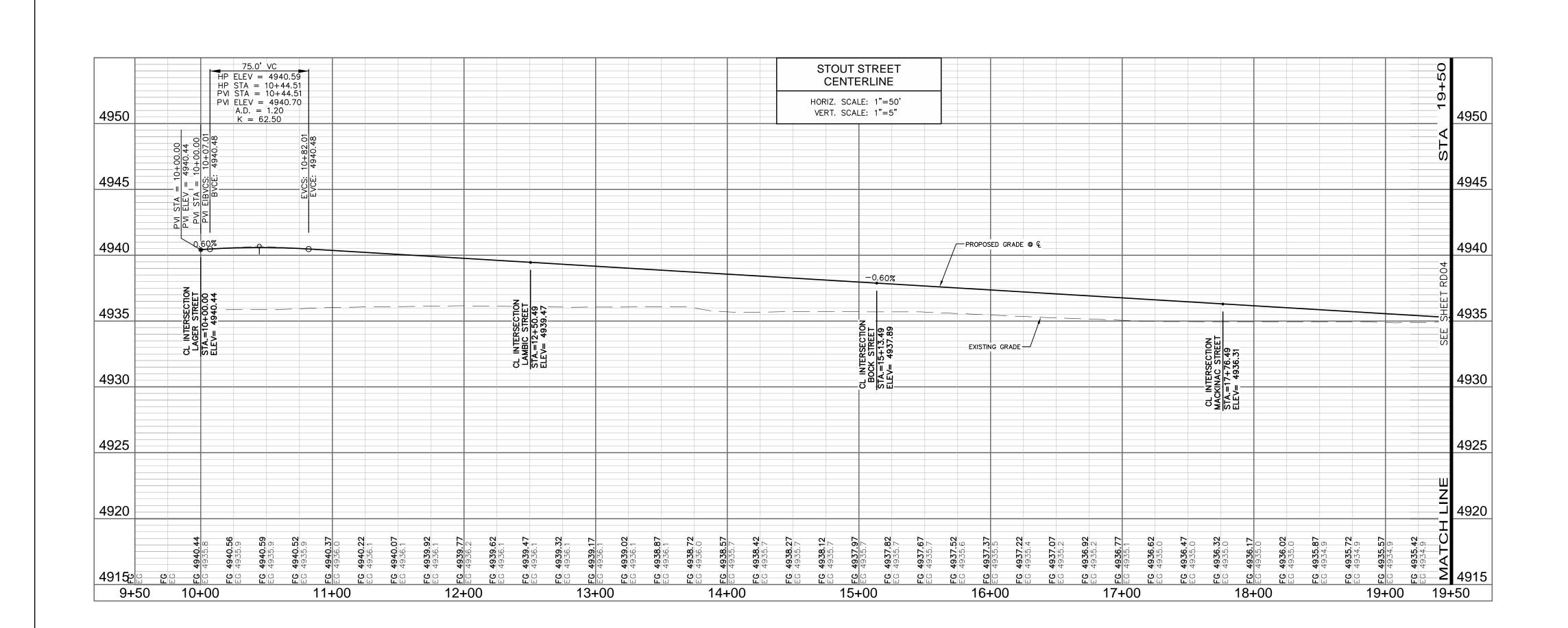
Planning. Architecture. Engineering. 3760 E. 15th Street, Suite 202 Loveland, CO 80538 303.770.8884 O 303.770.3636 F www.gallowayUS.com

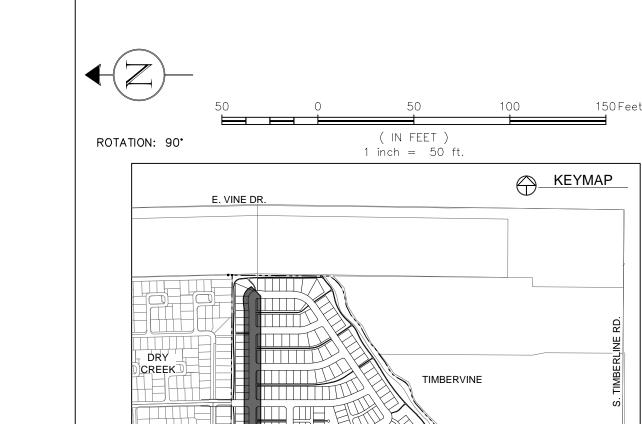
PROJECT #: DATE:
SPHLV0001.01 JUNE 18, 2014
DESIGNED BY: SCALE:
J. Allen
J. Allen
J. Allen
J. Allen

TIMBERVINE
LAGER STREET
LAN AND PROFIL

Sheet RD02







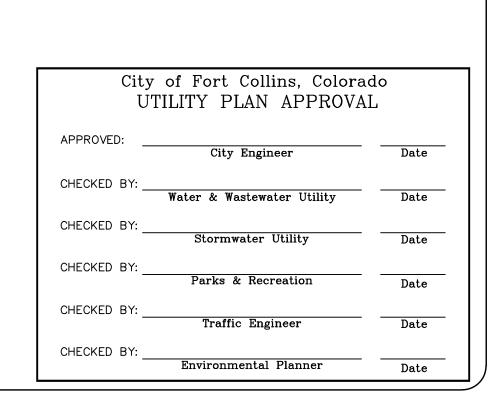
PROPOSED CURB & GUTTER PROPOSED CENTERLINE PROPOSED RIGHT-OF-WAY PROPERTY BOUNDARY PROPOSED LOT LINE EASEMENT LINE SAWCUT LINE PROPOSED STORM SEWER PROPOSED STORM INLET EXISTING EDGE OF ASPHALT PROPOSED CONCRETE CROSSPAN (TYP.) PROPOSED SPOT ELEVATION EXISTING SPOT ELEVATION

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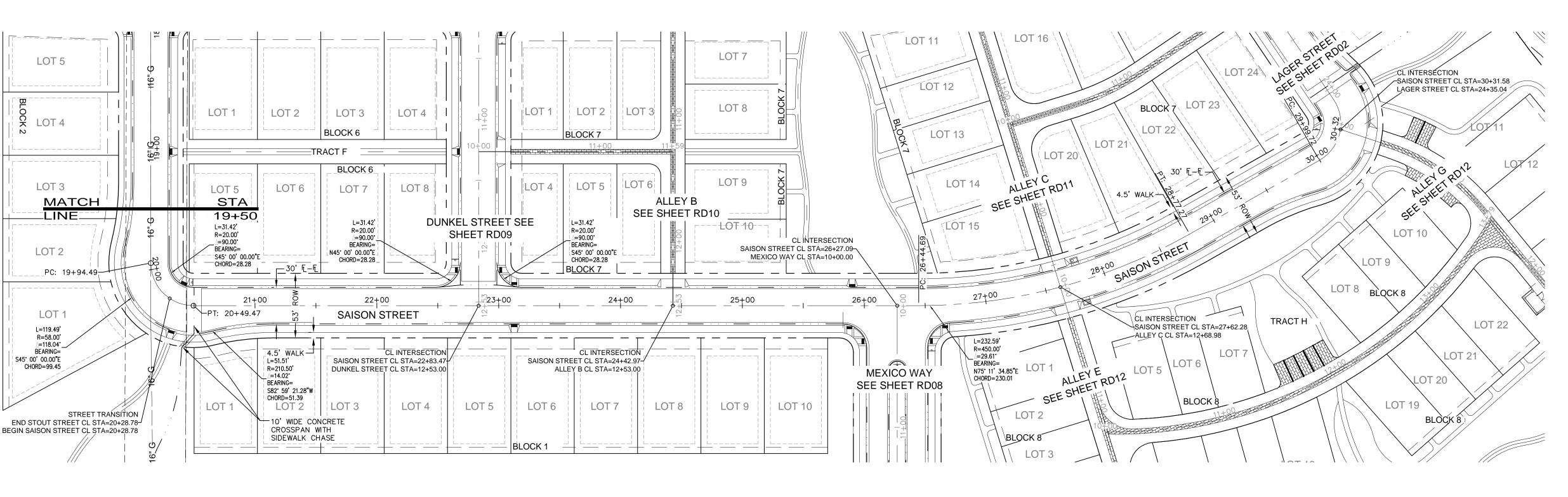


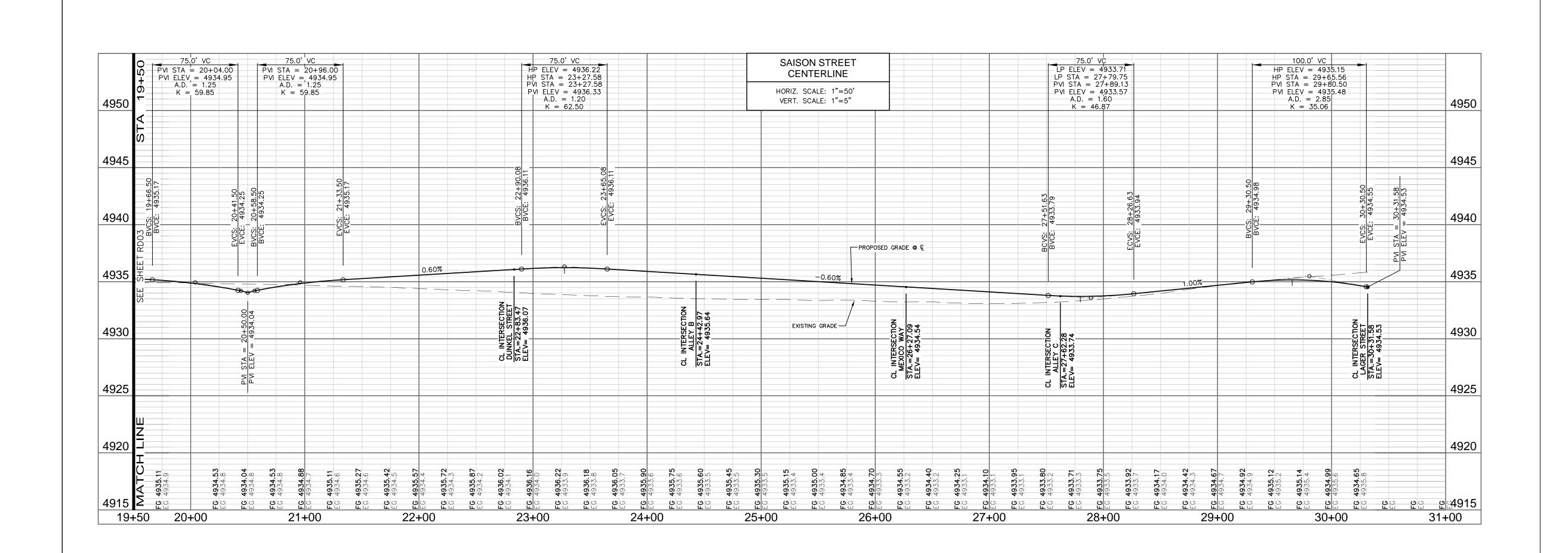


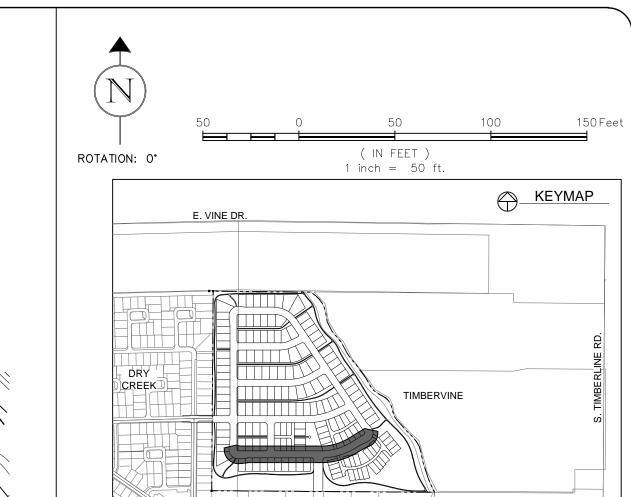
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Sheet RD03

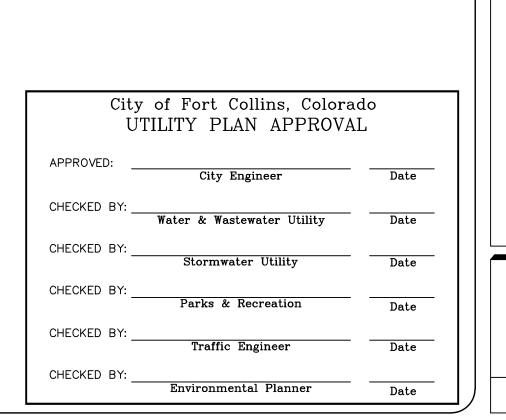






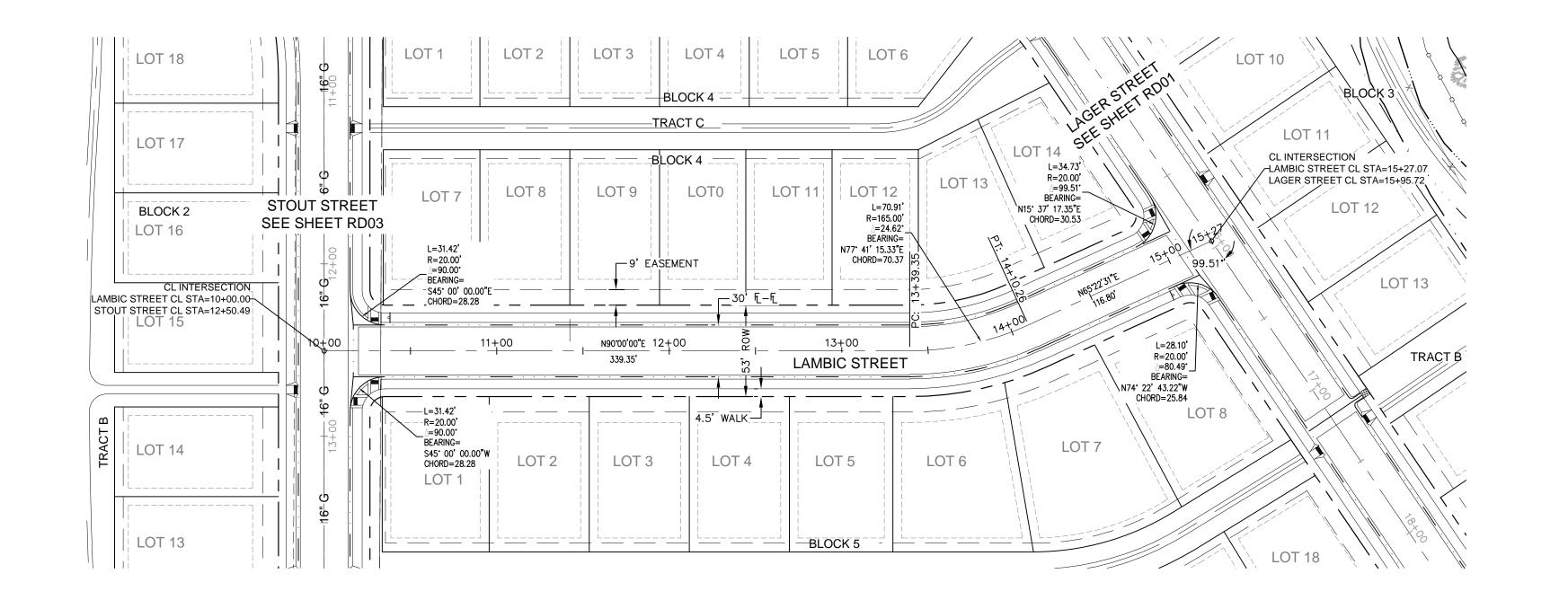
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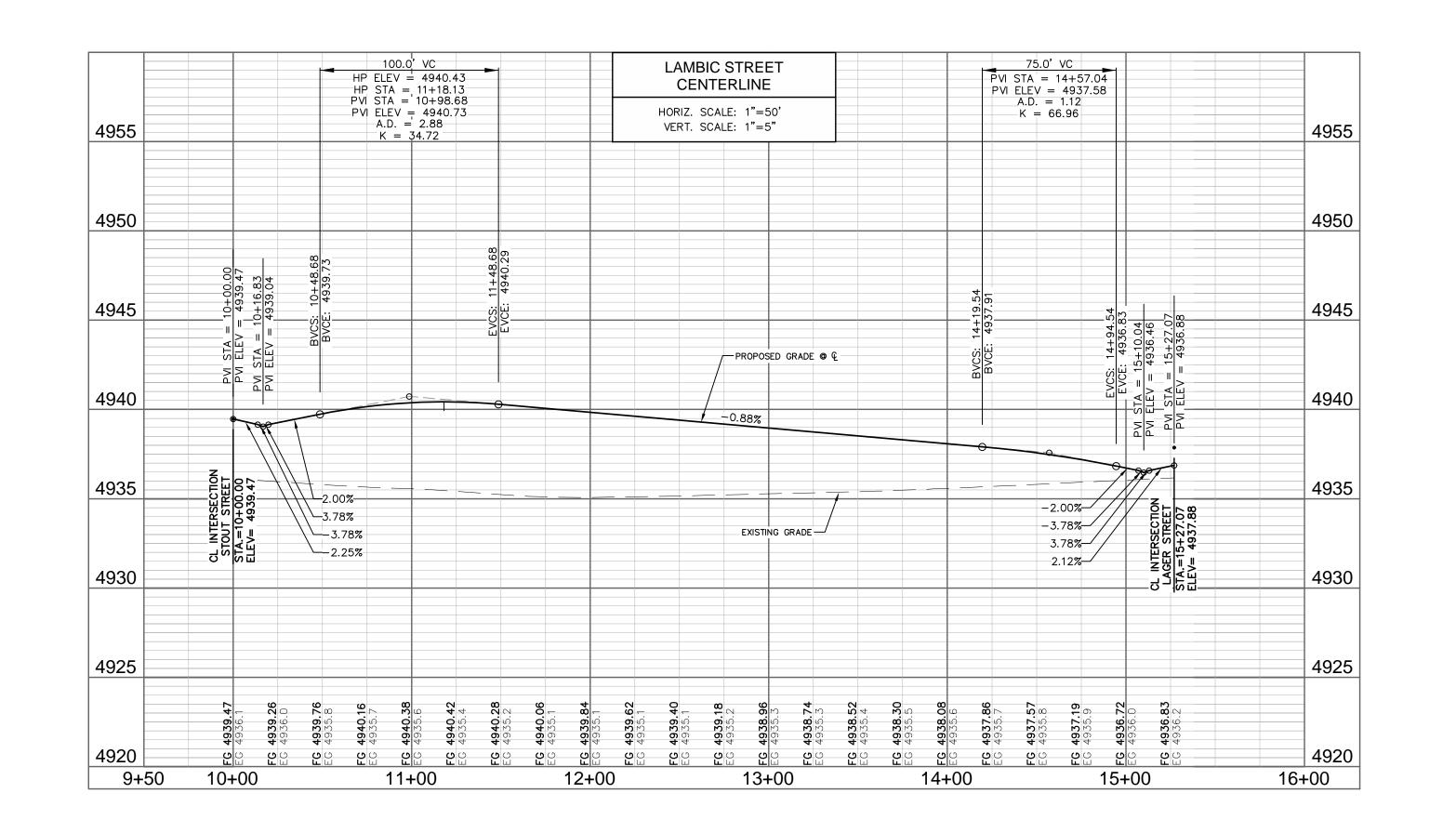
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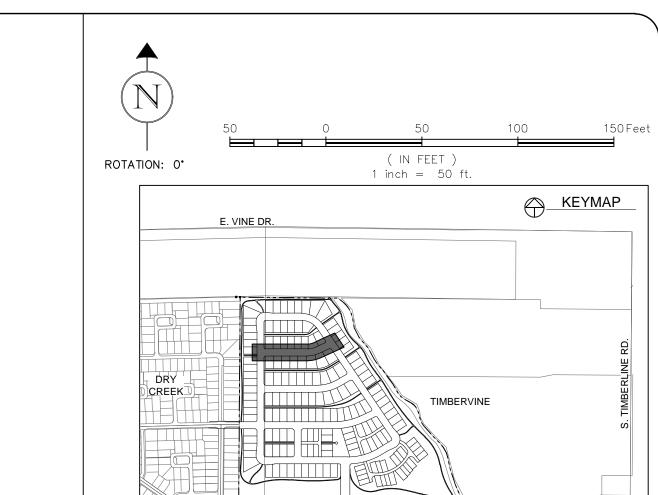


TIMBERVINE

Sheet RD04







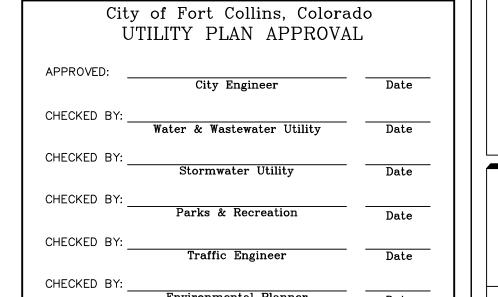
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Environmental Planner

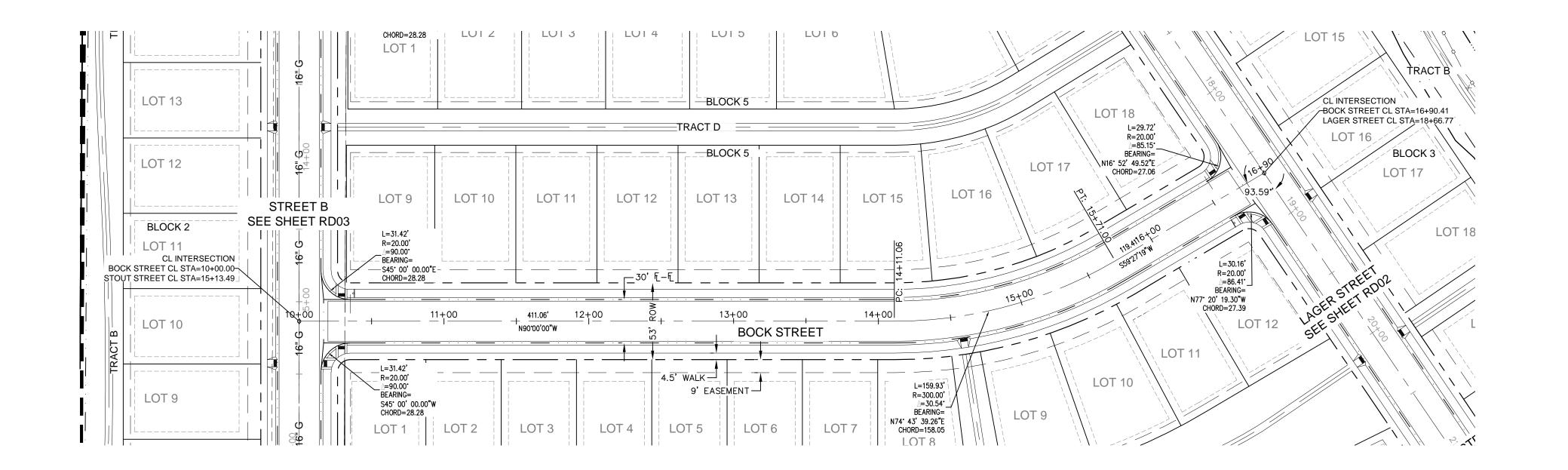
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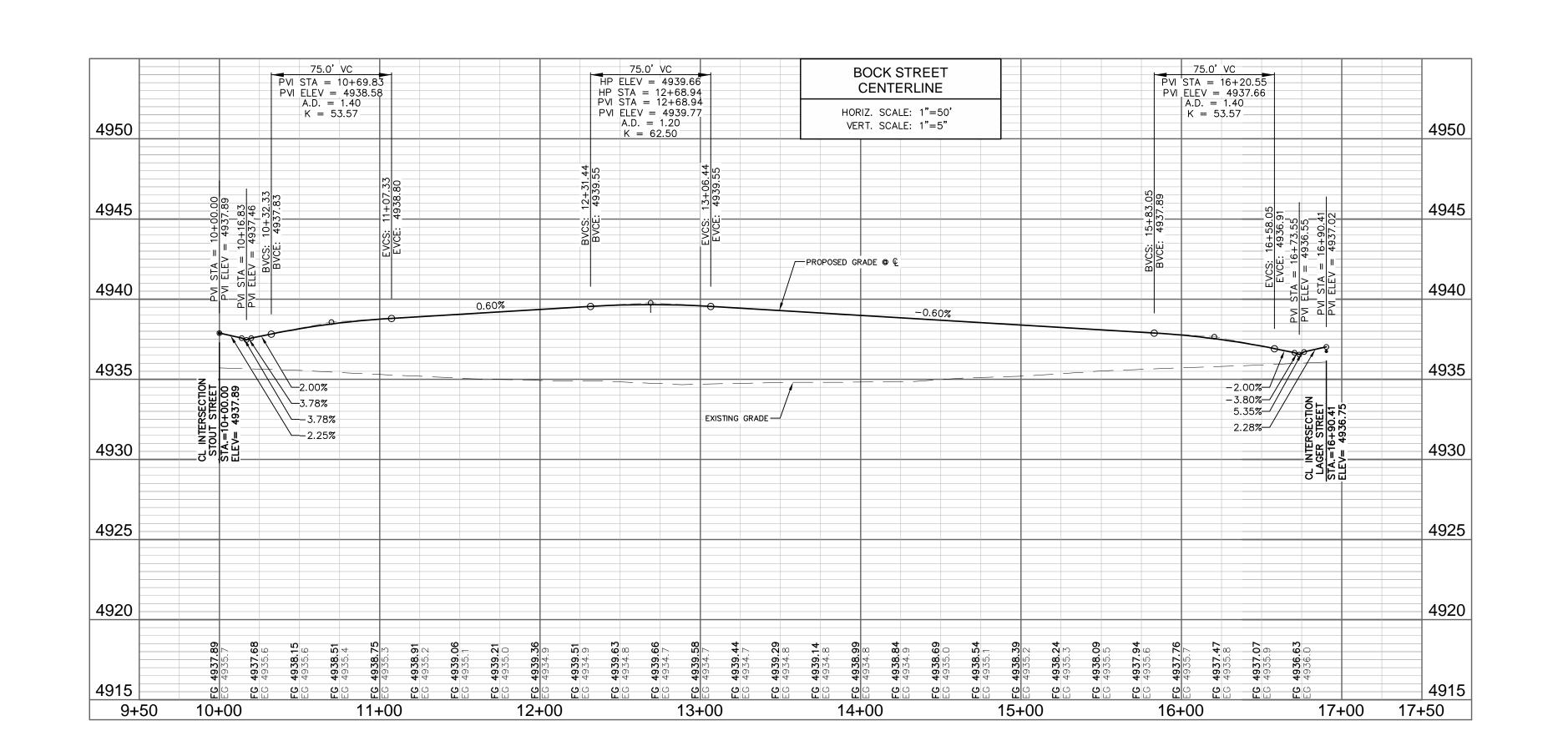


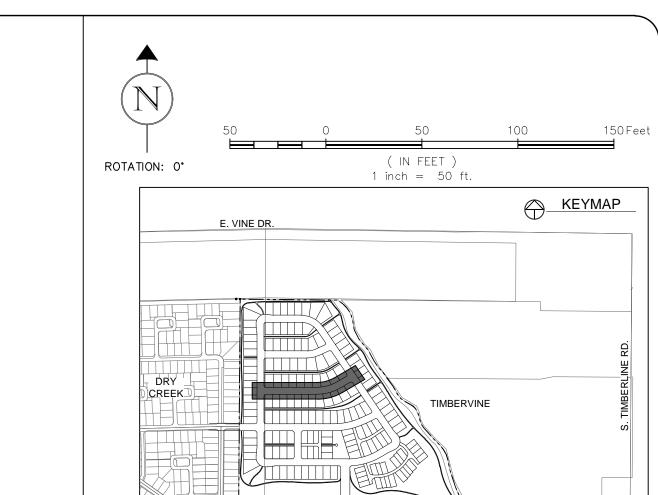
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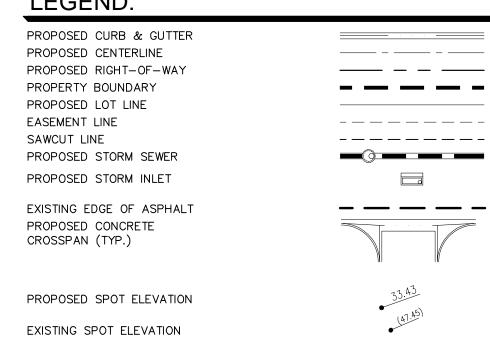
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Sheet RD05





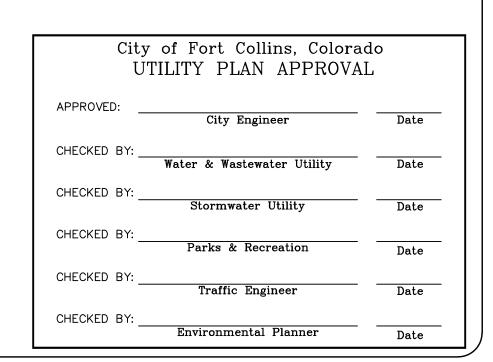




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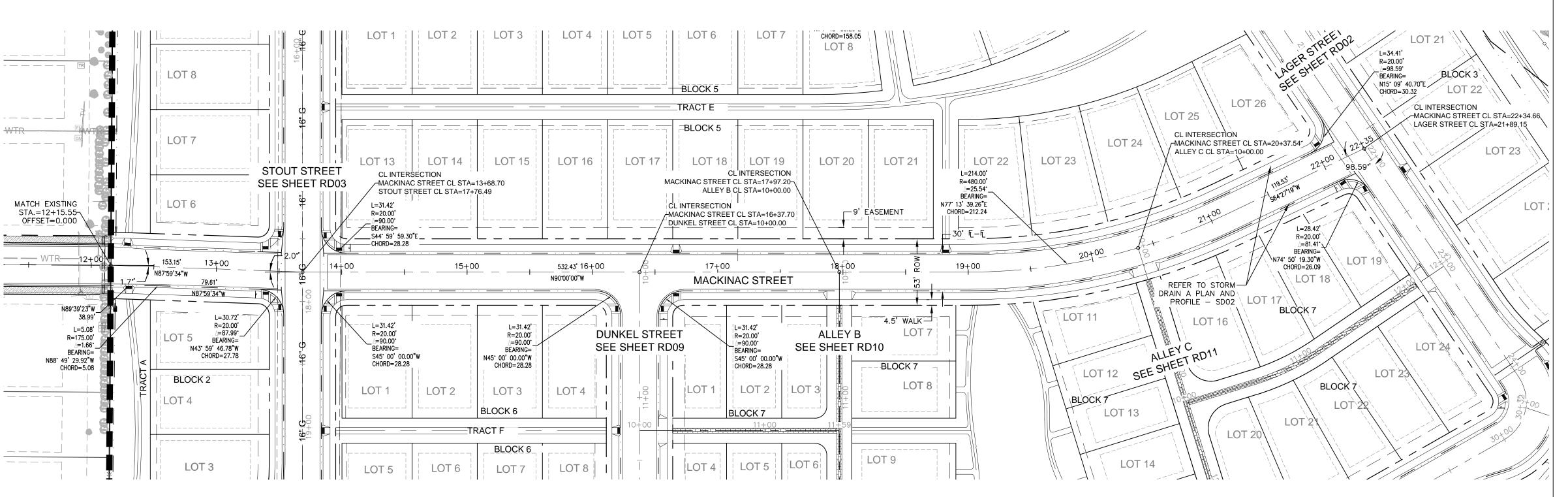


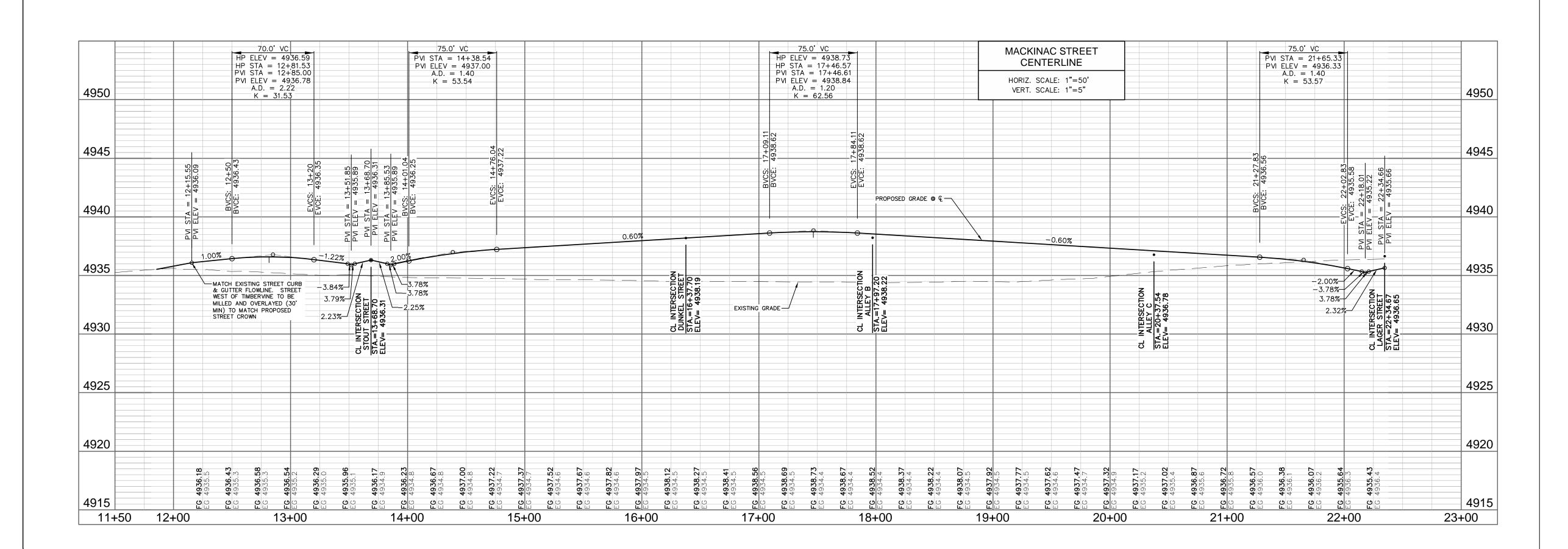


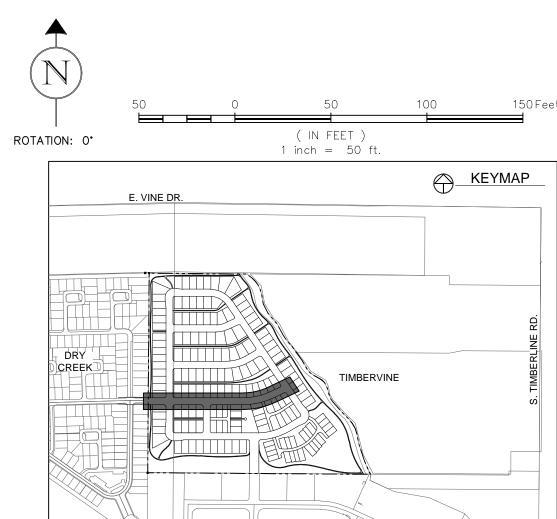
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PROJECT #: SPHLV0001.01	DESIGNED BY:	J. Allen	DRAWN BY:	J. Allen

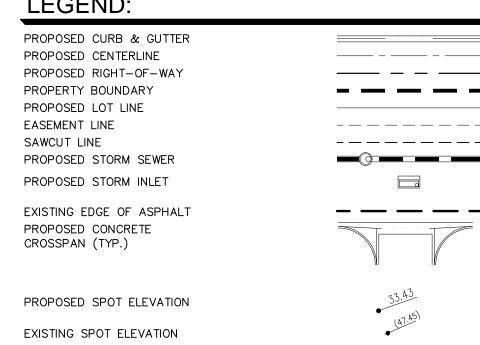
TIMBERVINE

Sheet RD06



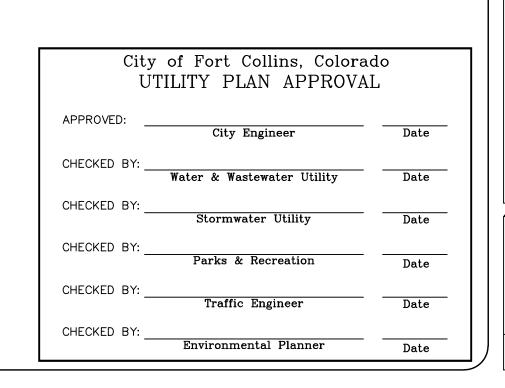






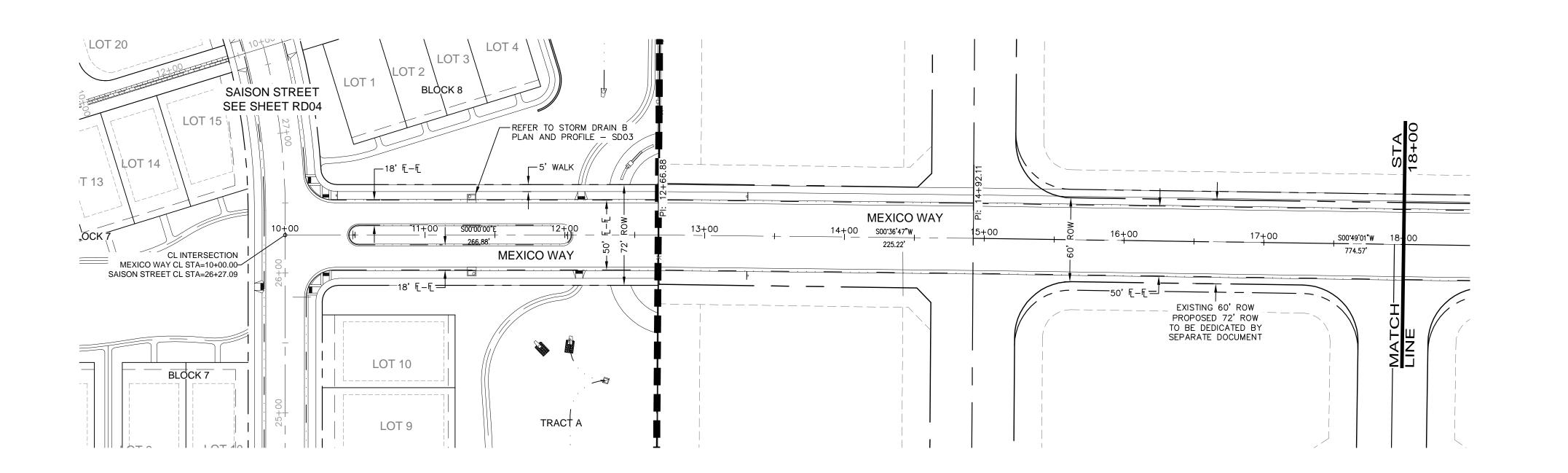
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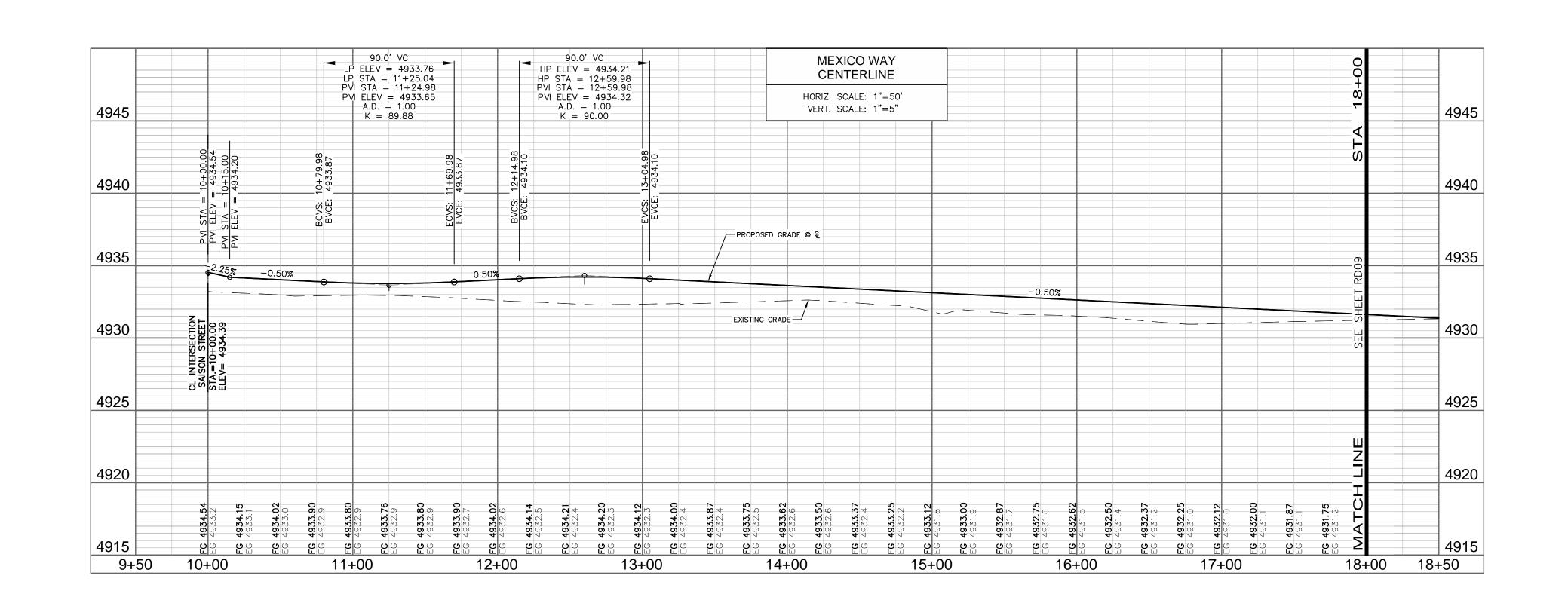
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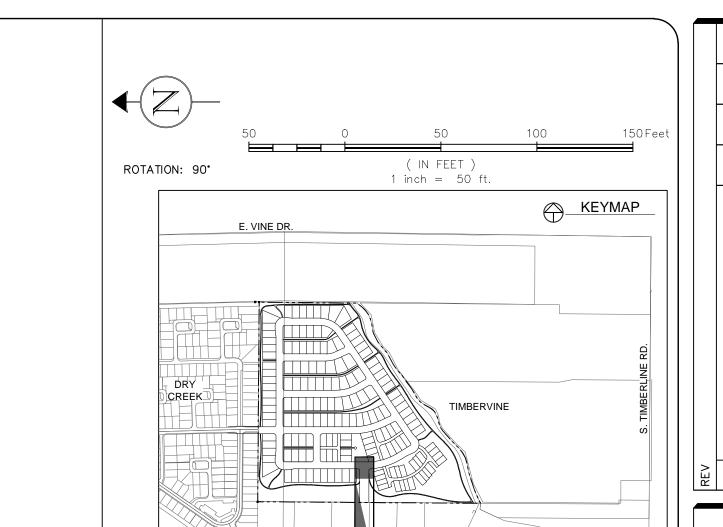


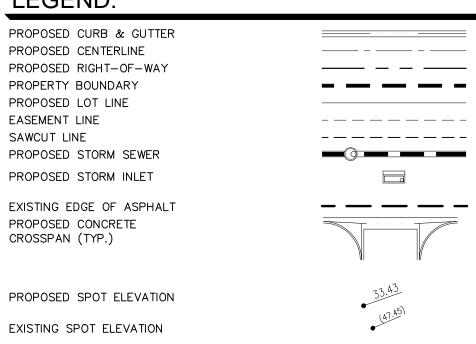
TIMBERVIN

Sheet RD07

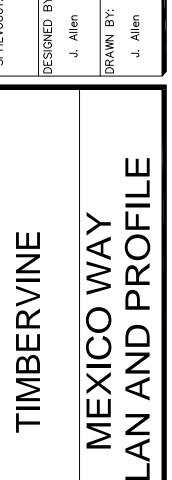








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Sheet RD08

Of 41 Sheets

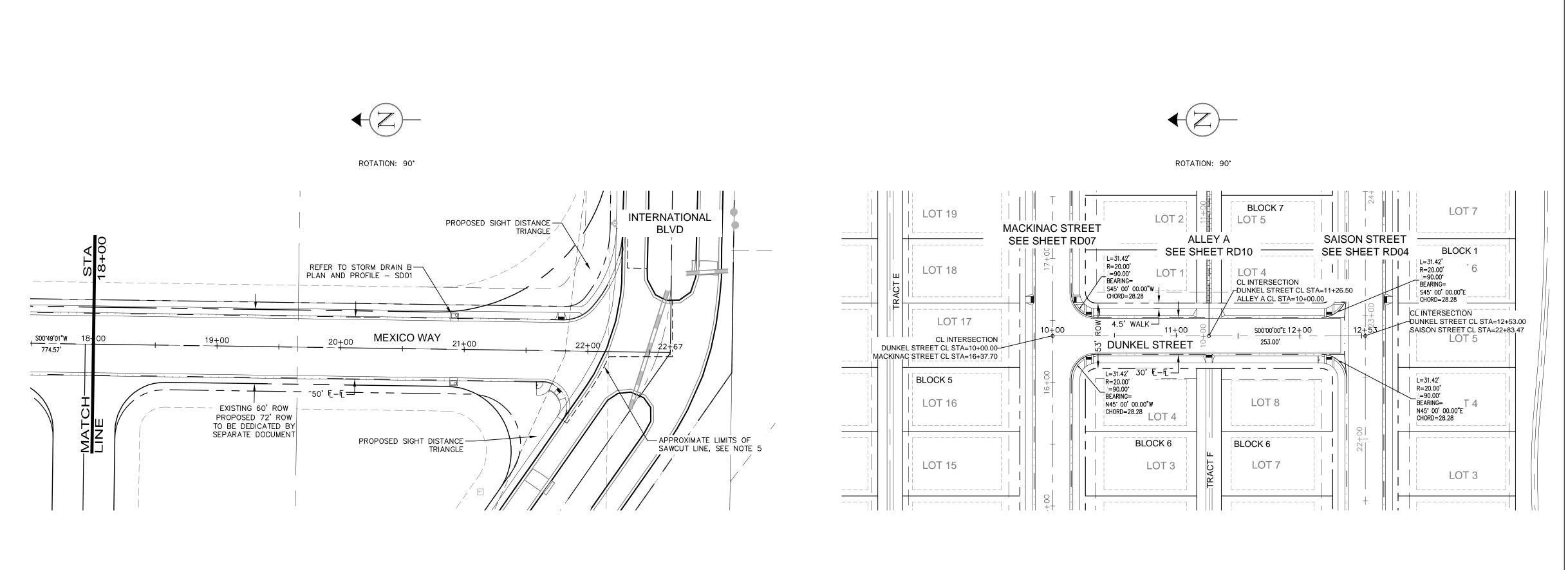
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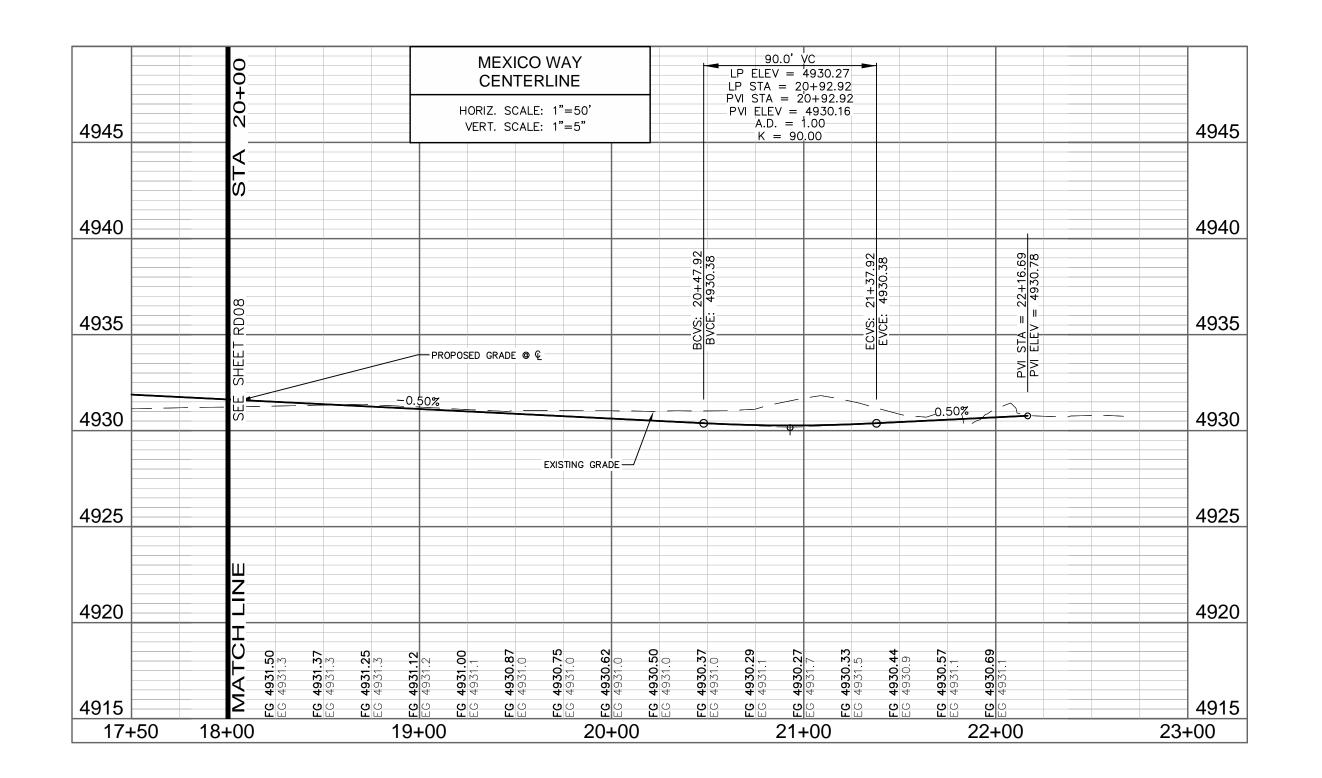
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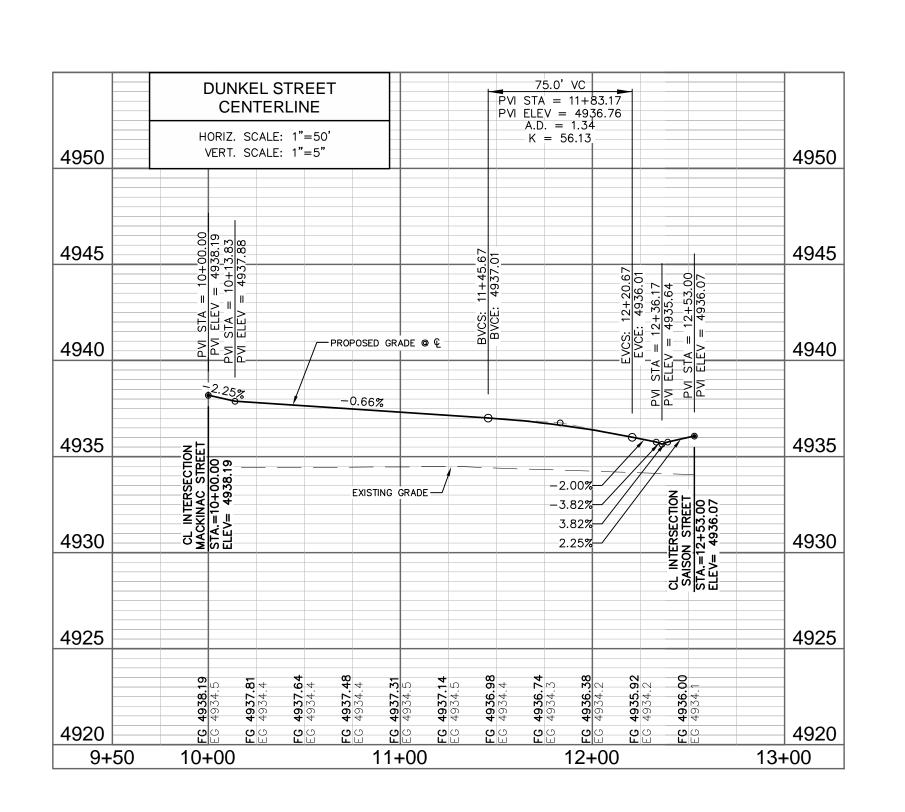
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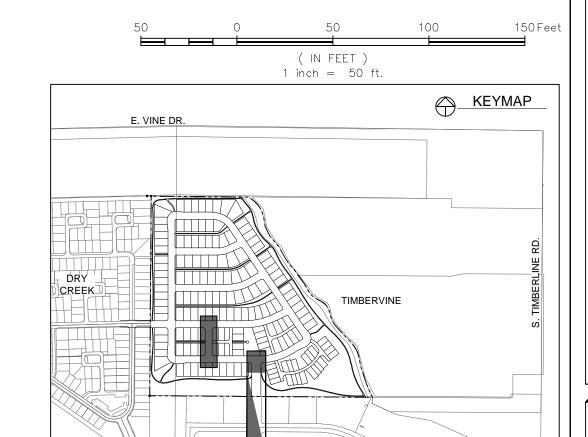
City of Fort Collins, Colorado

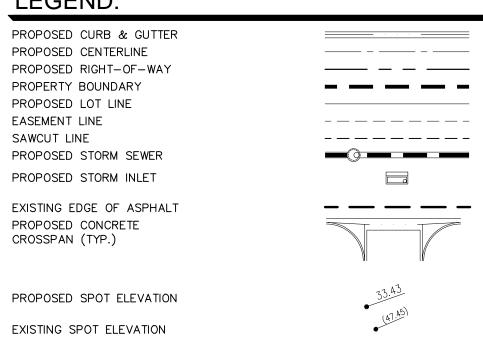
1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES





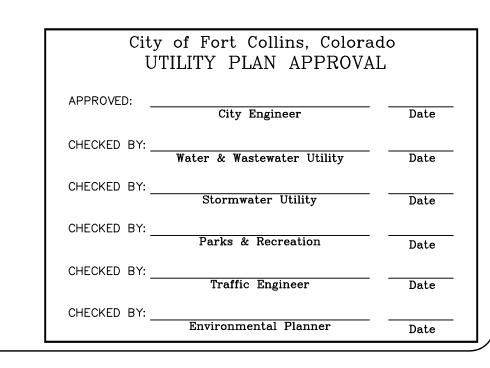


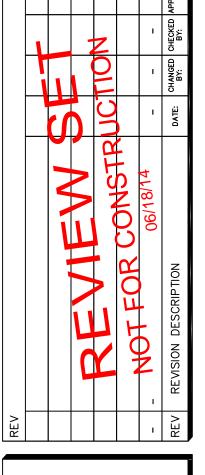




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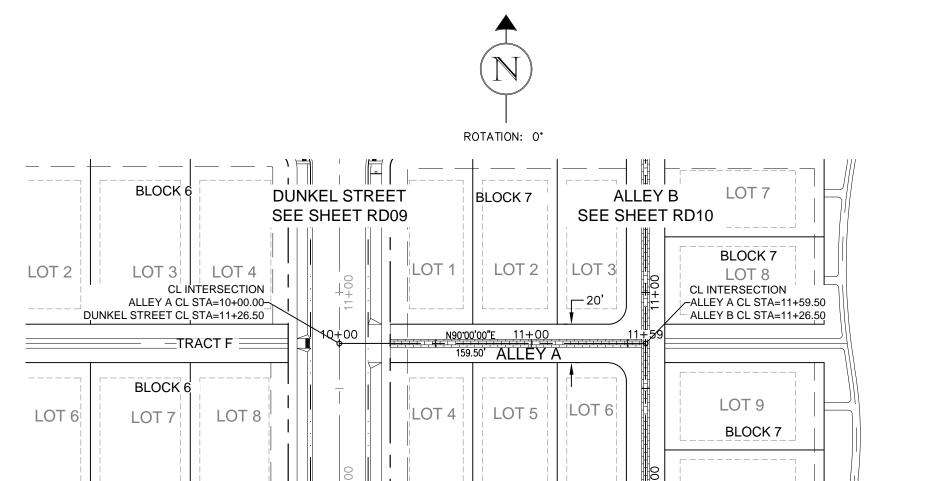


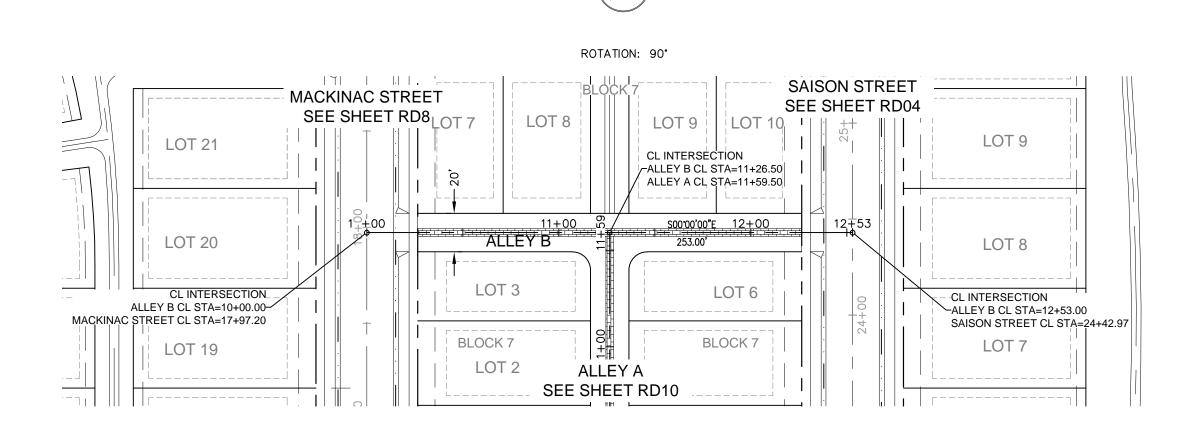


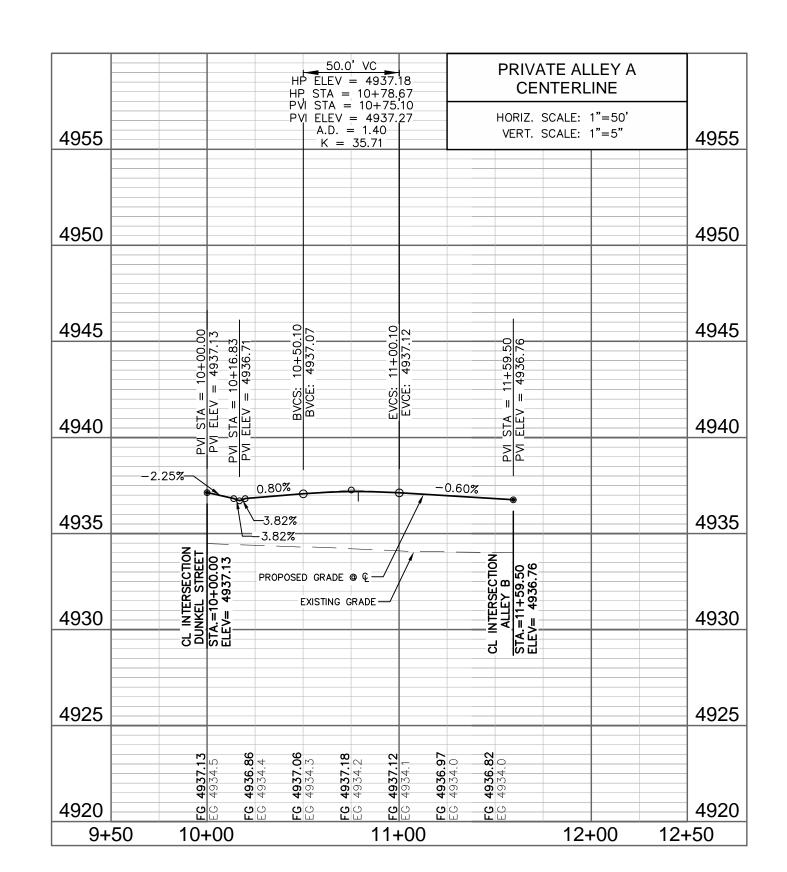
SPHLV0001.01	SPHLV0001.01 JUNE 18, 2014
 DESIGNED BY:	SCALE:
J. Allen	1"=50'
DRAWN BY: J. Allen	REVIEWED BY: R. Van Uffelen

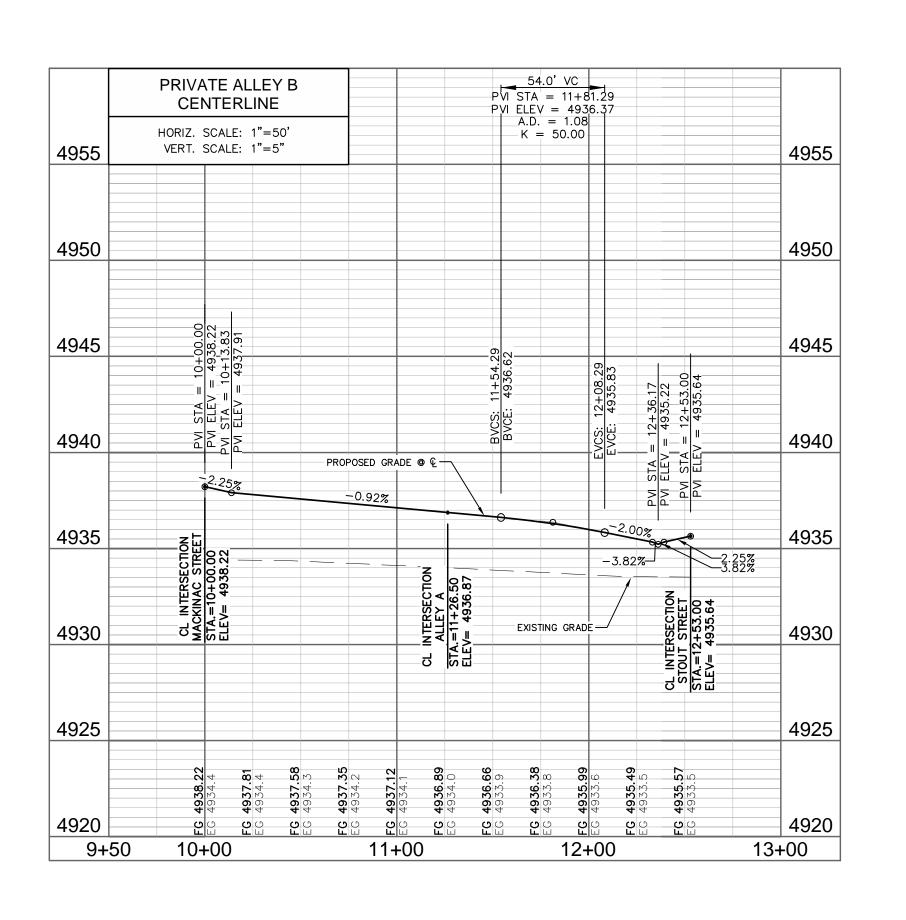
DUNKEL PROFILE TIMBERVIN AND MEXICO STREET F

Sheet

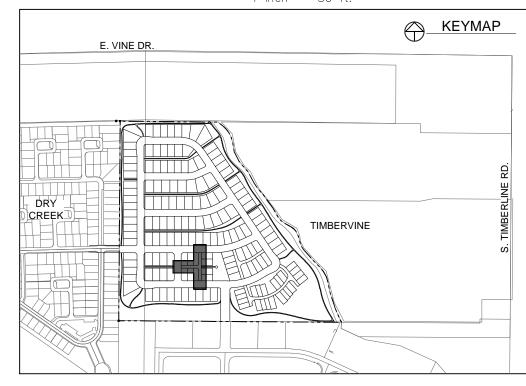












1 inch = 50 ft.

LEGEND:

PROPOSED CURB & GUTTER PROPOSED CENTERLINE PROPOSED RIGHT-OF-WAY PROPERTY BOUNDARY PROPOSED LOT LINE EASEMENT LINE ______ SAWCUT LINE PROPOSED STORM SEWER PROPOSED STORM INLET EXISTING EDGE OF ASPHALT PROPOSED CONCRETE CROSSPAN (TYP.) PROPOSED SPOT ELEVATION EXISTING SPOT ELEVATION

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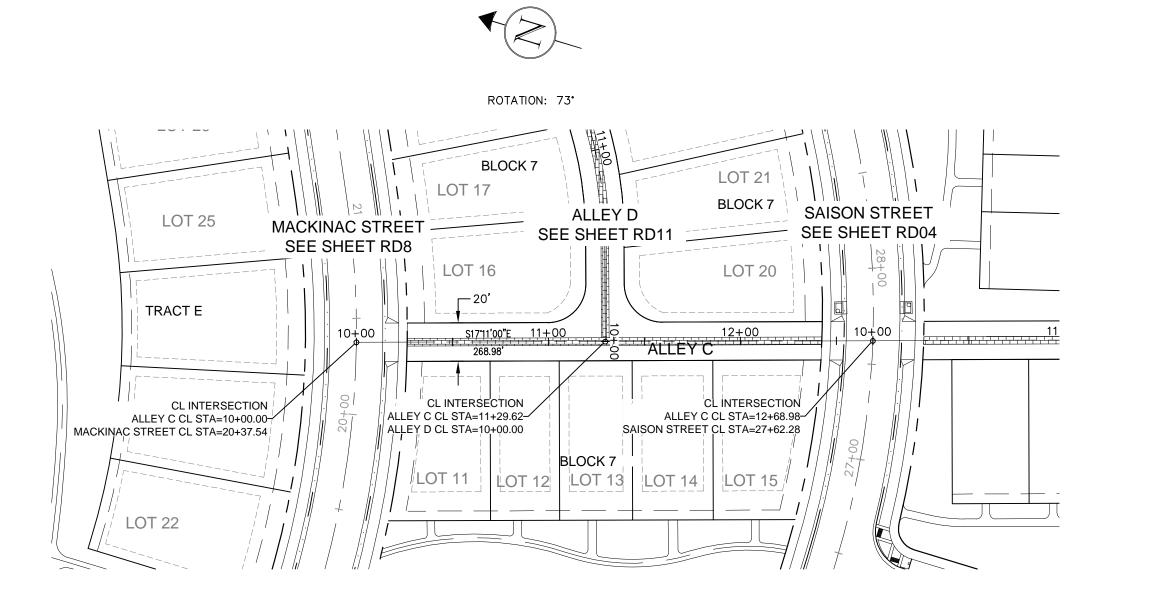
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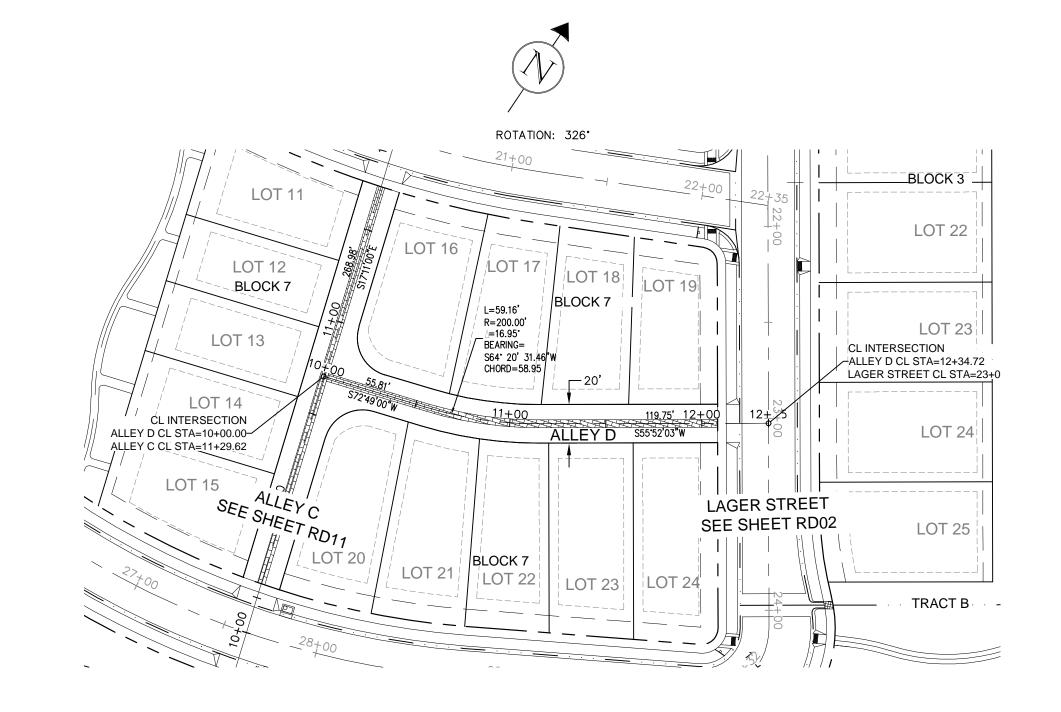
City of Fort Collins, Colorado UTILITY PLAN APPROVAL				
APPROVED:	City Engineer	Date		
CHECKED BY:	Water & Wastewater Utility			
	Stormwater Utility			
CHECKED BY:	Parks & Recreation	Date		
CHECKED BY:	Traffic Engineer			
CHECKED BY:	Environmental Planner			

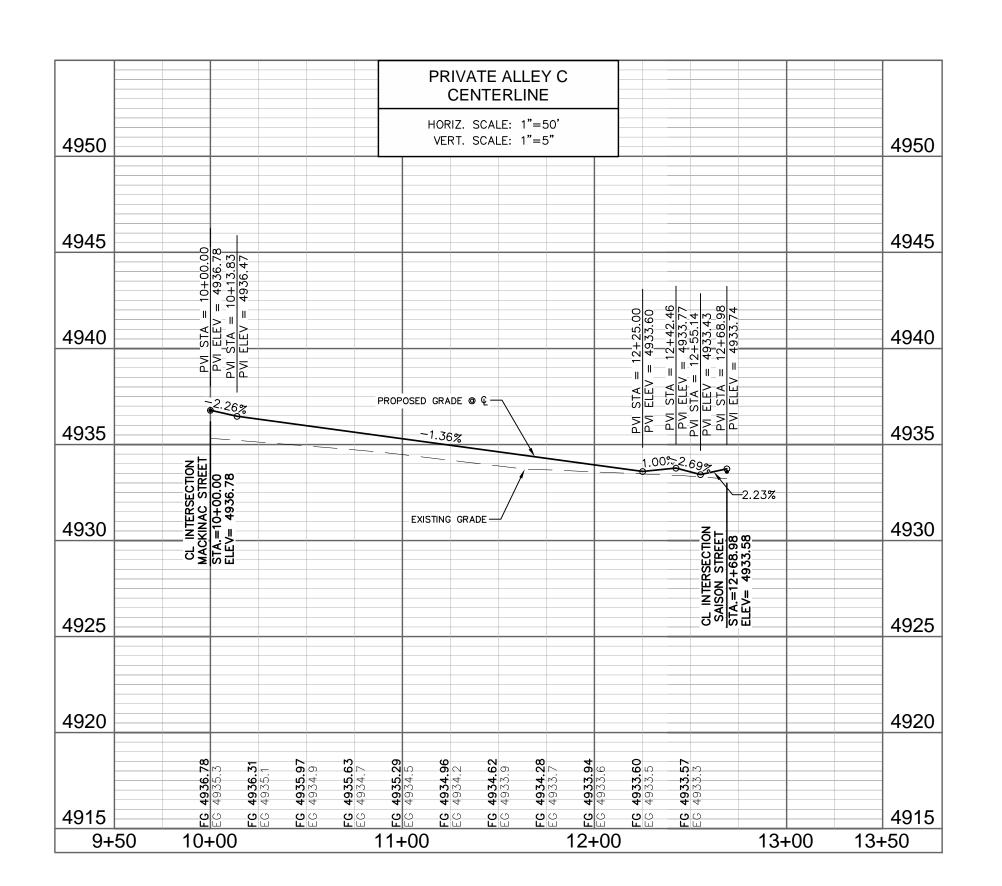
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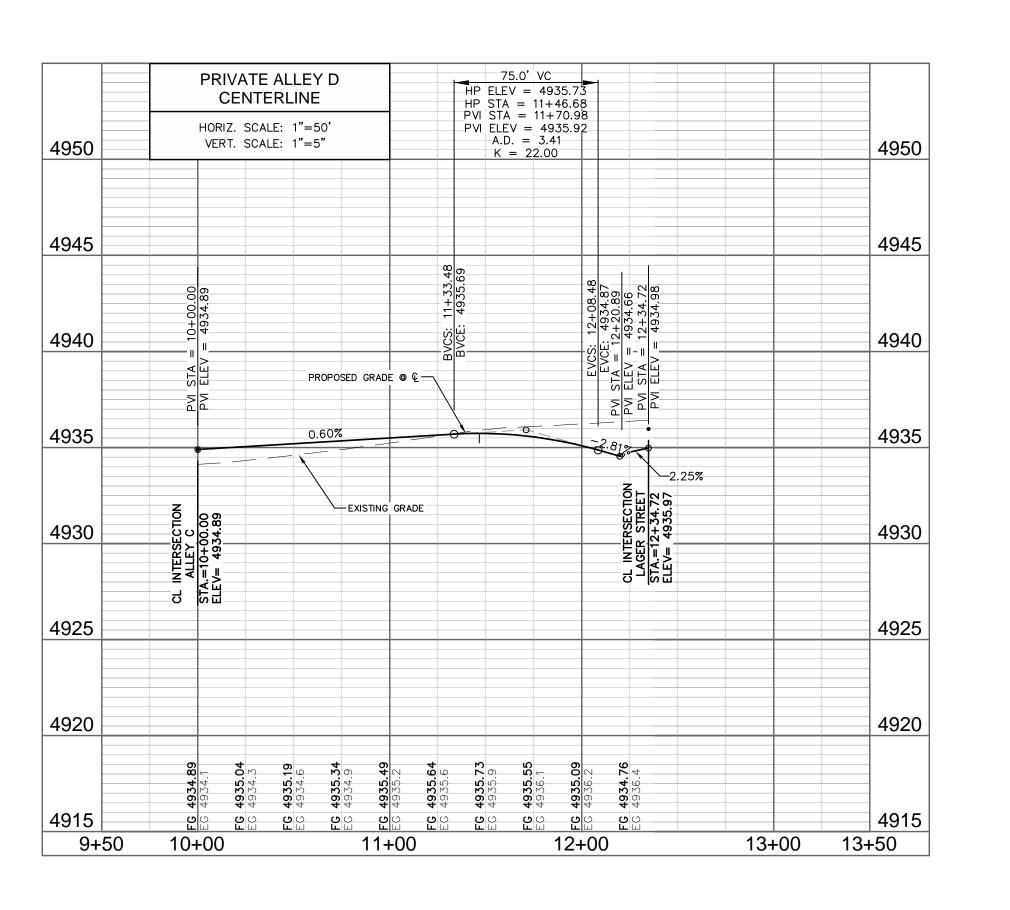
TIMBERVIN

Sheet RD10

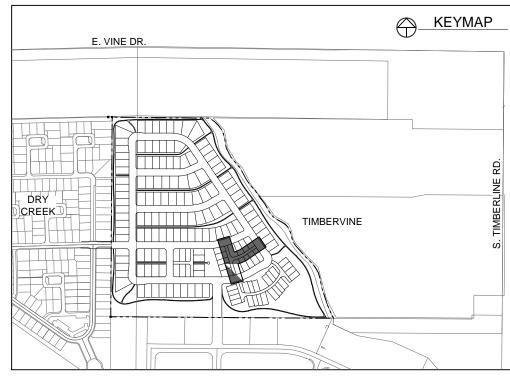






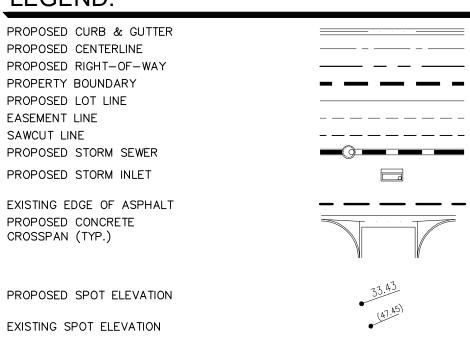






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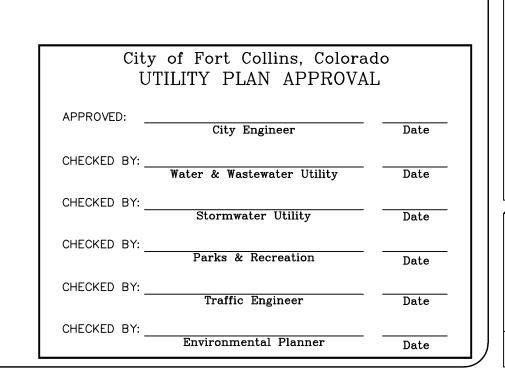
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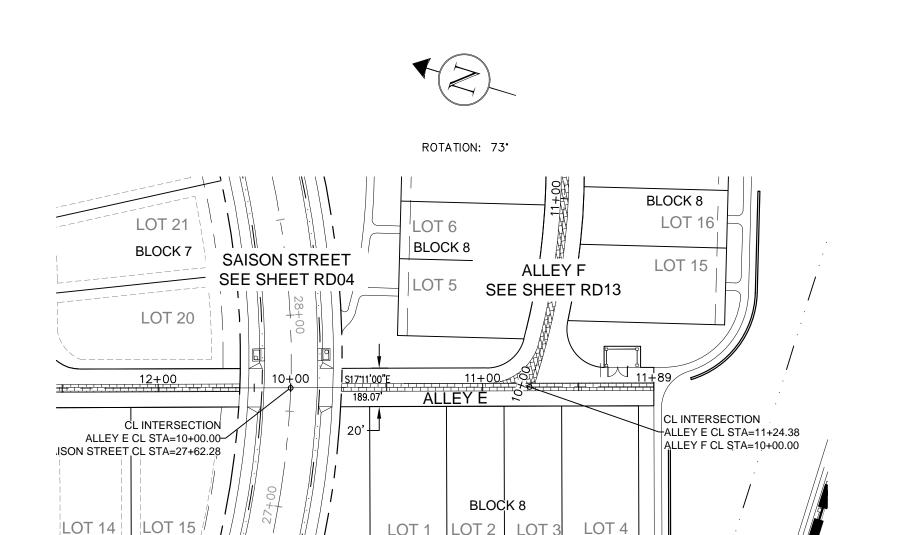
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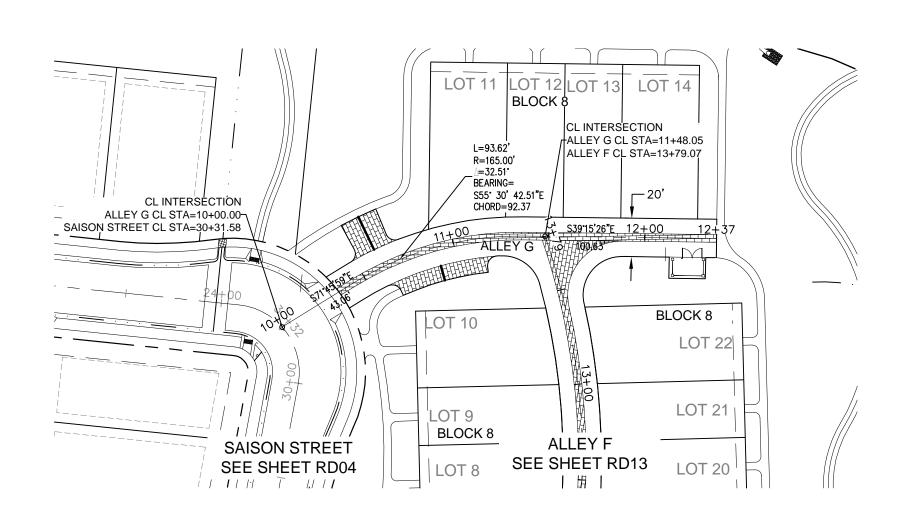


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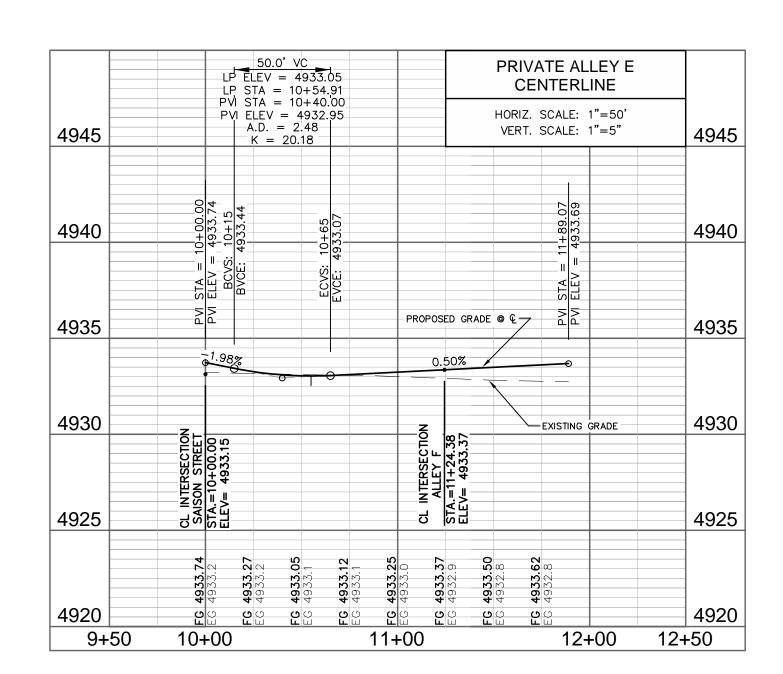
TIMBERVIN

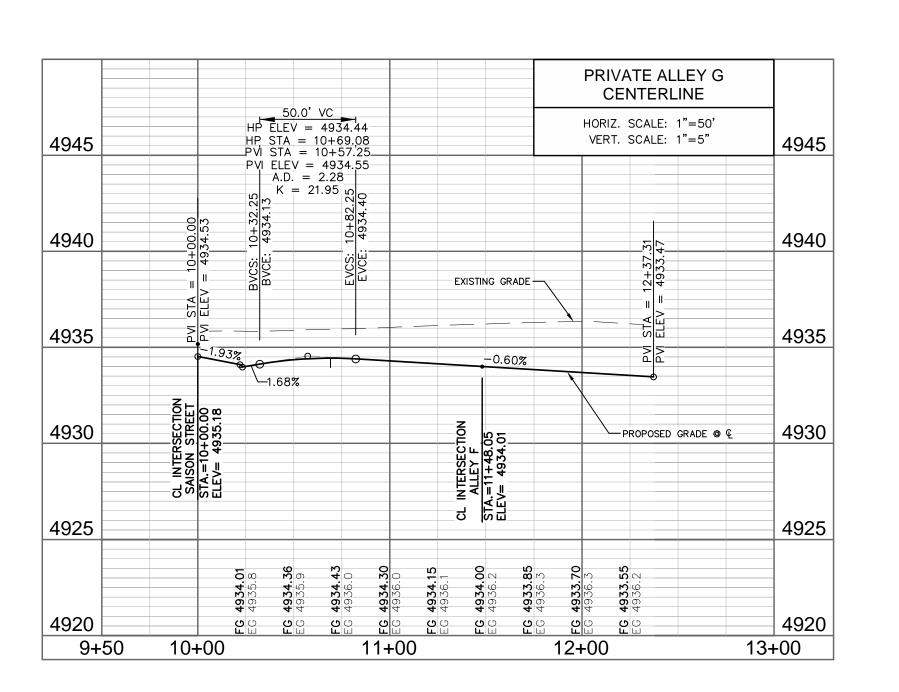
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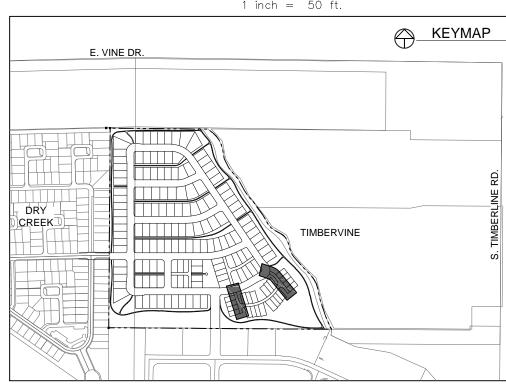


ROTATION: 50°



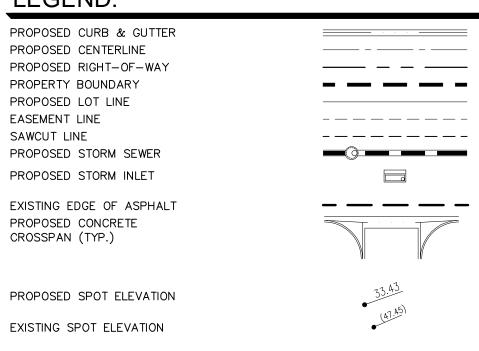




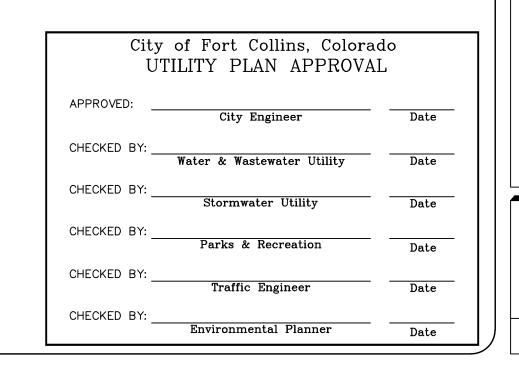


1 inch = 50 ft.

LEGEND:



- 1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- 2. SEE SOILS REPORT FOR PAVEMENT AND SUBGRADE PREPARATION, DESIGN AND RECOMMENDATIONS.
- 3. MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO 1/4" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- 4. EXPANSION JOINTS SHALL BE PROVIDED IN ALL SIDEWALKS AT MAXIMUM SPACING OF 50 FEET.
- LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
- 6. CONTRACTOR SHALL ADJUST EXISTING SANITARY SEWER MANHOLES AND SUBDRAIN CLEANOUTS WITHIN THE RIGHT-OF-WAY PER CITY STANDARDS.
- 7. SEE SHEET CV01 FOR TYPICAL SECTIONS.
- 8. ALL ELEVATIONS ARE AT THE FLOWLINE OF CURB AND GUTTER OR BACK OF SIDEWALK UNLESS NOTED OTHERWISE ON THE PLANS.
- 9. PCR INFORMATION IS PROVIDED FOR FLOWLINE.
- 10. SEE RDXX-RDXX FOR INTERSECTION DETAILS.
- 11. ALL SPOTS ARE AT FLOW LINE UNLESS NOTED OTHERWISE.
- 12. ELEVATIONS SHOWN HAVE BEEN ABBREVIATED. THE ENTIRE ELEVATION IS THE ELEVATION SHOWN PLUS 4800 OR 4900 FEET (96.97 = 4896.97 AND OR 00.71 = 4900.71).





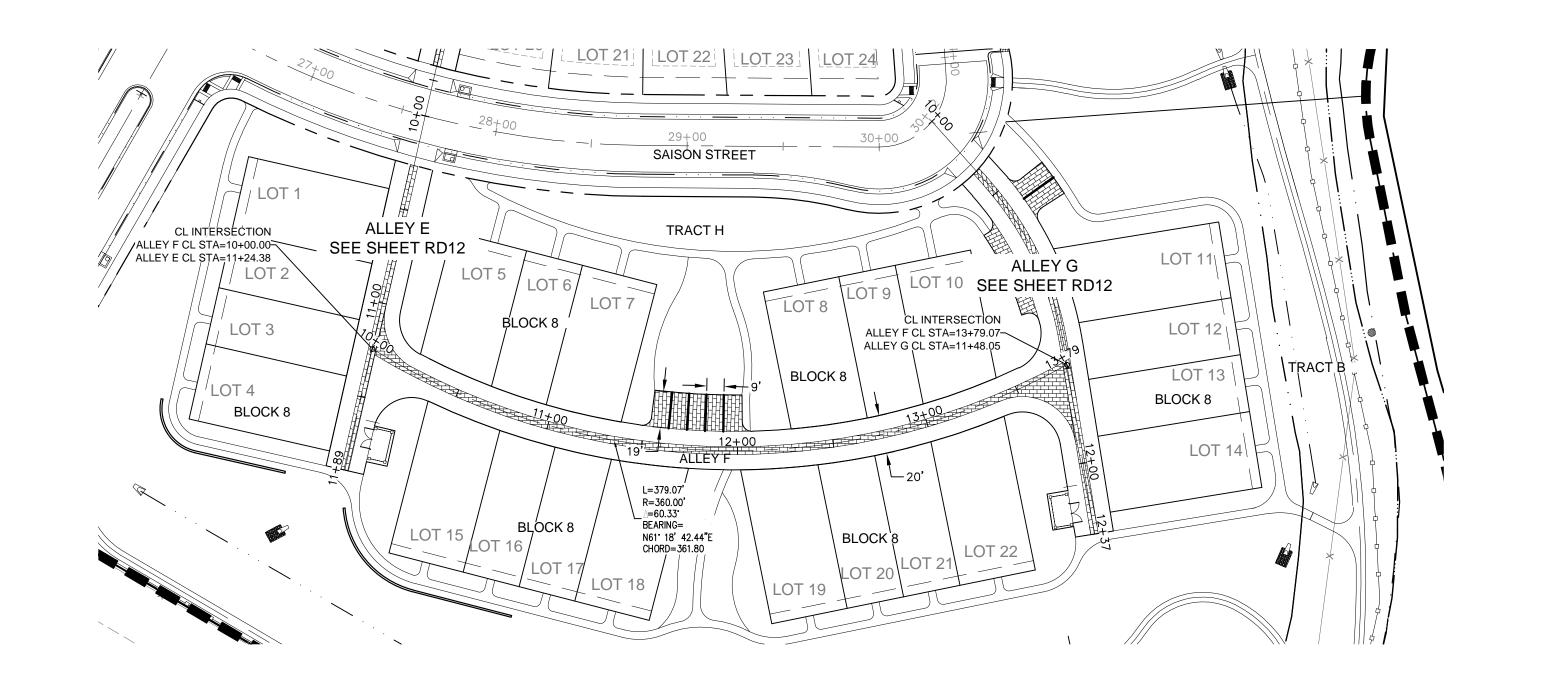


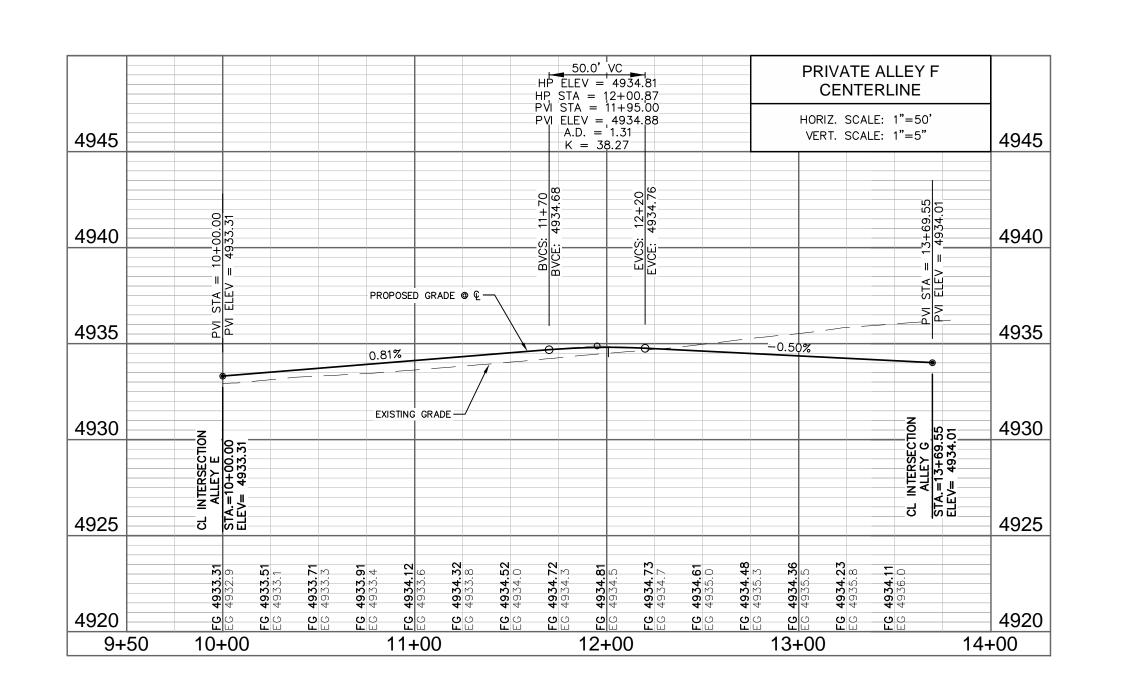


DATE: JUNE 18, 2014	SCALE:	1"=50'	REVIEWED BY: R. Van Uffelen	
PROJECT #: SPHLV0001.01	DESIGNED BY:	J. Allen	DRAWN BY:	J. Allen

TIMBERVINE

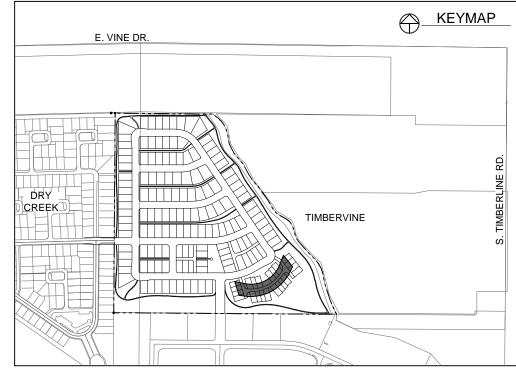
Sheet







ROTATION: 330° (IN FEET) 1 inch = 50 ft.



LEGEND:

PROPOSED CURB & GUTTER PROPOSED CENTERLINE PROPOSED RIGHT-OF-WAY PROPERTY BOUNDARY PROPOSED LOT LINE EASEMENT LINE _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ SAWCUT LINE PROPOSED STORM SEWER PROPOSED STORM INLET EXISTING EDGE OF ASPHALT PROPOSED CONCRETE CROSSPAN (TYP.) PROPOSED SPOT ELEVATION EXISTING SPOT ELEVATION

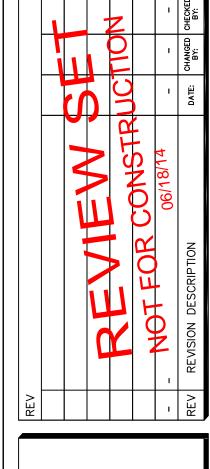
NOTES:

- 1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- 2. SEE SOILS REPORT FOR PAVEMENT AND SUBGRADE PREPARATION, DESIGN AND RECOMMENDATIONS.

3. MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO 1/4" BELOW FINISHED

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City of Fort Collins, Colorado UTILITY PLAN APPROVAL				
APPROVED: City Engineer				
CHECKED BY: Water & Wastewater Uti	lity Date			
CHECKED BY: Stormwater Utility				
CHECKED BY: Parks & Recreation				
CHECKED BY: Traffic Engineer				
CHECKED BY: Environmental Planne	r Date			



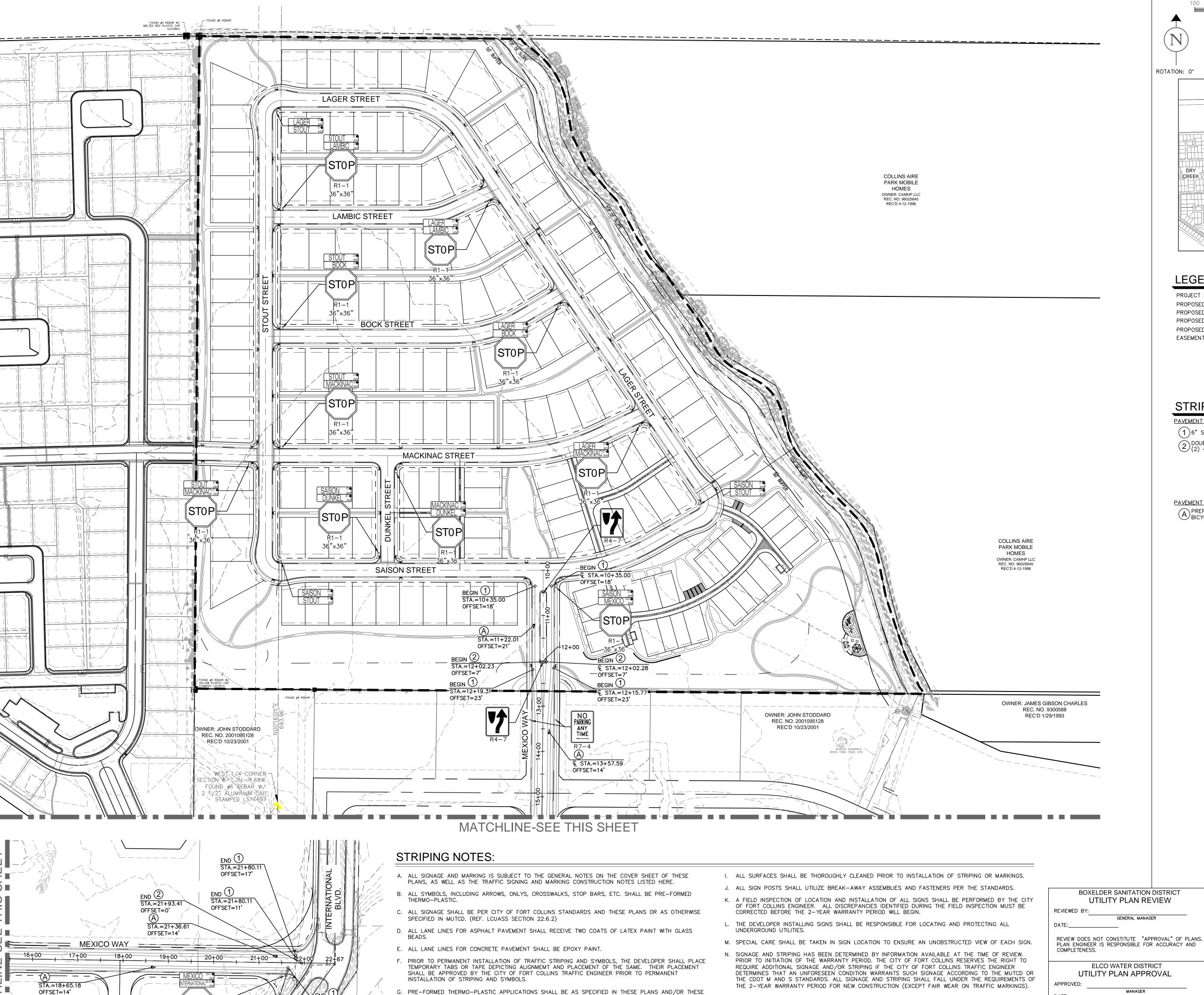




DATE: JUNE 18, 2014	SCALE:	1"=50'	REVIEWED BY: R. Van Uffelen
PROJECT #: SPHLV0001.01	DESIGNED BY:	J. Allen	DRAWN BY: J. Allen

TIMBERVIN

Sheet



H. EPOXY APPLICATIONS SHALL BE APPLIED AS SPECIFIED IN CDOT STANDARD SPECIFICATIONS FOR ROAD

AND BRIDGE CONSTRUCTION.

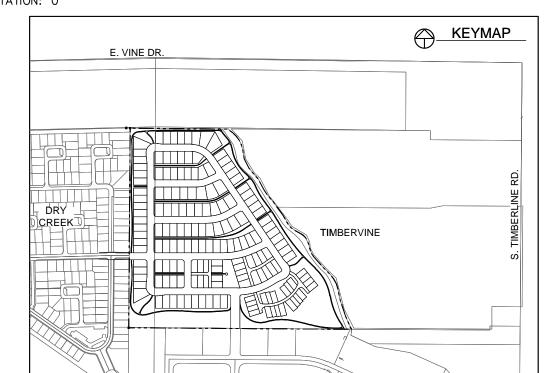
€ STA.=21+63.98

OFFSET=11'

STA.=21+63.98// OFFSET=17'

R1-1

(IN FEET) 1 inch = 100 ft.SHEET SIZE 24x36 E. VINE DR.



LEGEND:

PROJECT BOUNDARY PROPOSED CURB & GUTTER PROPOSED CENTERLINE PROPOSED RIGHT-OF-WAY PROPOSED LOT LINE EASEMENT LINE _ __ _ _ _ _

> CALL UTILITY NOTIFICATION CENTER OF COLORADO

> > Know what's below.
> > Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU

UNDERGROUND MEMBER UTILITIES.

APPROVED:

CHECKED BY

CHECKED BY:

CHECKED BY:

APPROVED:

O. SLEEVES FOR SIGN POSTS SHALL BE REQUIRED FOR USE IN ISLANDS/MEDIANS. REFER TO CHAPTER 14,

TRAFFIC CONTROL DEVICES, FOR ADDITIONAL DETAIL.

DIG, GRADE, OR EXCAVATE FOR THE MARKING OF

City of Fort Collins, Colorado

UTILITY PLAN APPROVAL

City Engineer

Water & Wastewater Utility

Stormwater Utility

Date

Date

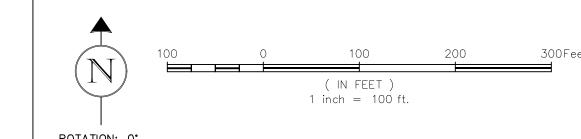
STRIPING LEGEND:

PAVEMENT STRIPING (1)6" SOLID WHITE LINE DOUBLE YELLOW LINE
(2) 4" SOLID LINES; 4" APART

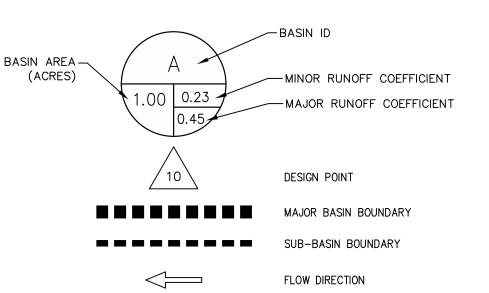
PAVEMENT MARKINGS A PREFORMED PLASTIC PAVEMENT MARKING BICYCLIST AND ARROW **TIMBERVIN**

Sheet RD14





LEGEND:	
PROPOSED MAJOR CONTOUR	5013
PROPOSED MINOR CONTOUR FXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED RIGHT-OF-WAY	
FUTURE RIGHT-OF-WAY	
PROPOSED LOTLINE	
FUTURE LOTLINE	
EASEMENT LINE	



FOR DRAINAGE REVIEW ONLY NOT FOR CONSTRUCTION

		POND SUMMARY					
	POND	WATER QUALITY VOLUME (FT³)	DETENTION VOLUME (FT³)	TOTAL VOLUME (FT³)	100-YR WSEL (FT)	PEAK RELEASE RATE (CFS)	
İ	Α		76,407	76,407		8.70	
	В	32,575	73,479	106,054	4929.13	7.84	

City of Fort Collin UTILITY PLAN	
APPROVED: City Enginee	er Date
CHECKED BY:Water & Wastewate	er Utility Date
CHECKED BY:Stormwater Ut	tility Date
CHECKED BY: Parks & Recrea	ation Date
CHECKED BY:	eer Date
CHECKED BY:Environmental P	lanner Date

D

TIMBERVINE

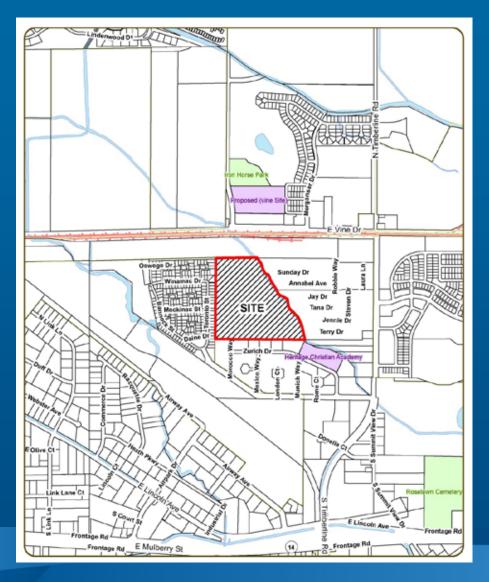
DR01

Type I Administrative Hearing July 7, 2014

Timbervine - Project Development Plan #140002



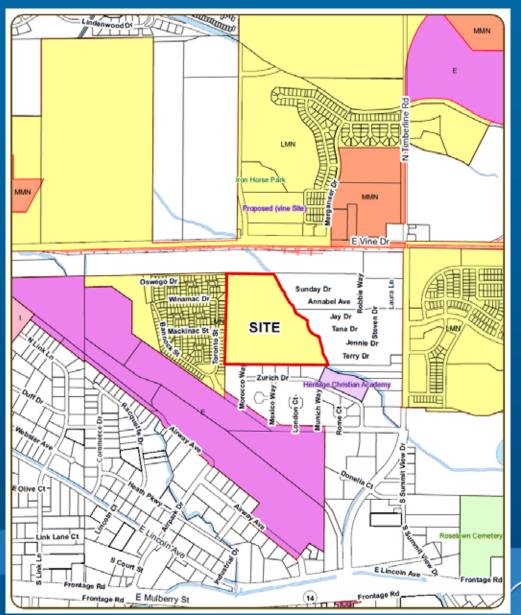
Timbervine – Project Development Plan



Context Map







Existing Zoning



















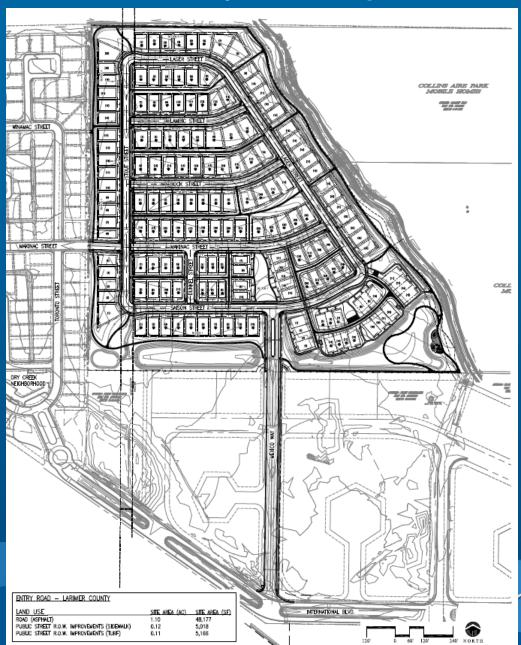




Project Description:

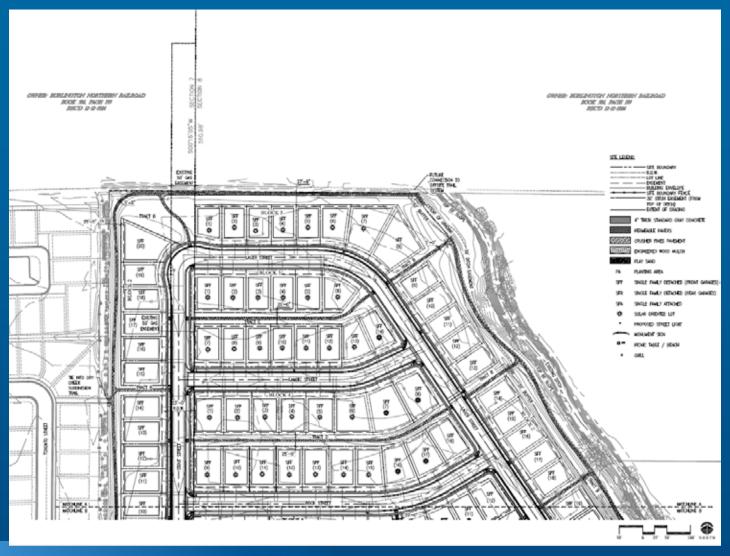
- Request for PDP for 167 dwelling units on 39.19 acres (Type I Administrative Review)
- Access via Mexico Way and Makinac Street
- Housing Types: 121 single-family detached, 24 SF detached (Alley), and 22 SF attached townhouses
- One acre neighborhood park
- Parcel zoned Low Density Mixed-Use Neighborhood (L-M-N)





Overall Site Plan



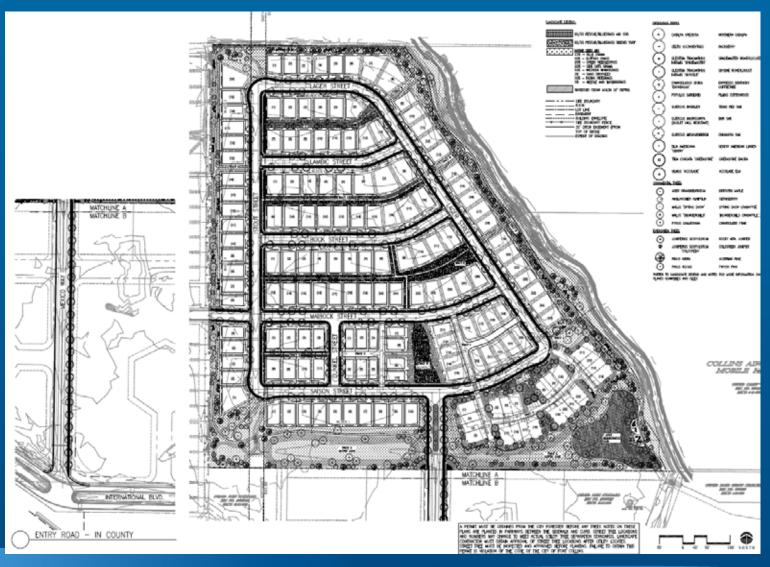




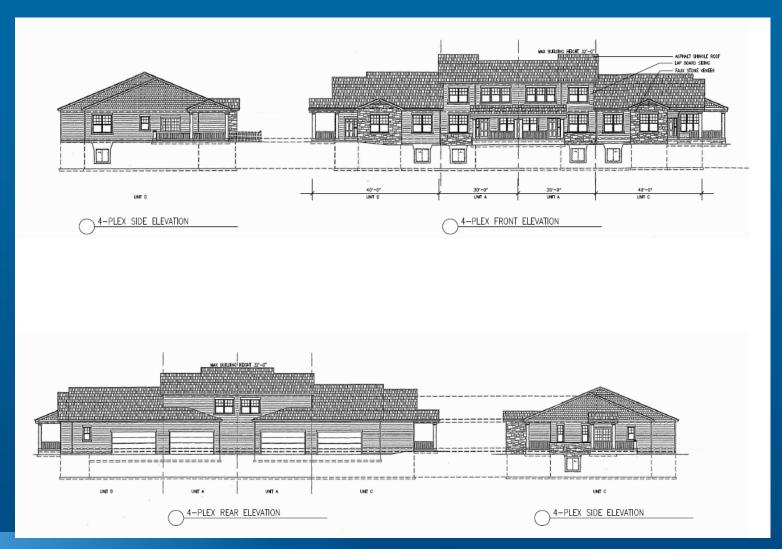


Site Plan (South portion)













Timbervine – Project Development Plan Article Four Districts:

<u>Division 4.5 – Low Density Mixed-use Neighborhoods (L-M-N)</u>

- Provides two land uses: Single-Family detached/attached dwellings permitted in L-M-N District, subject to Type I Review
- Net residential density of 5.5 dwelling units per acre
- Provides three housing types for projects containing 20 acres or more
- Interconnected street network/blocks less than 12 acres
- One acre neighborhood park



<u>Article Three – General Development Standards:</u>

- Division 3.2 Site Planning and Design Standards
- Division 3.3 Engineering Standards
- Division 3.4 Natural Area Standards
- Division 3.5 Building Standards
- Division 3.6 Transportation and Circulation



Staff Findings:

- The request represents a P.D.P. processed as Type 1
 Review continues to comply with Division 2 standards
- Continues to comply with Division 4.5 L-M-N standards
- Continues to comply with General Development Standards in Article Three



Staff Recommendation:

Staff recommends approval of the Timbervine P.D.P. # 140002



Type I Administrative Hearing July 7, 2014

