



ITEM NO 1
MEETING DATE Nov. 2, 2015
STAFF Clay Frickey

ADMINISTRATIVE HEARING OFFICER

STAFF REPORT

PROJECT: Raw Urth Designs, PDP150007

APPLICANT: Curtis Koldeway
Hauser Architects
3780 E 15th St.
Loveland CO, 80538

OWNERS: Sasick Properties LLC
PO Box 369
Bellvue, CO 80512

PROJECT DESCRIPTION:

This is a request for a Project Development Plan for Raw Urth Designs to construct a two story, 15,405 square foot building. The proposed building will be used by a metal fabrication company that will be relocating from their existing building in Bellvue. Within the new building will be a showroom to display work for builders and designers, offices, an art gallery, and their metal fabrication shop. The building is located on the northwest corner of Conifer Street and Red Cedar Drive. The north side of the building will contain a privacy fence to screen their on-site storage, dumpster, and mechanical equipment. The parcel is located in the (I) Industrial zone district.

RECOMMENDATION: Staff recommends approval of Raw Urth Designs, PDP150007.

EXECUTIVE SUMMARY:

Staff finds the proposed Raw Urth Designs Project Development Plan complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The Project Development Plan complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Project Development Plan complies with relevant standards of Article 3 – General Development Standards.

- The Project Development Plan complies with relevant standards located in Division 4.28 Industrial (I) of Article 4 – Districts.

COMMENTS:

1. Background

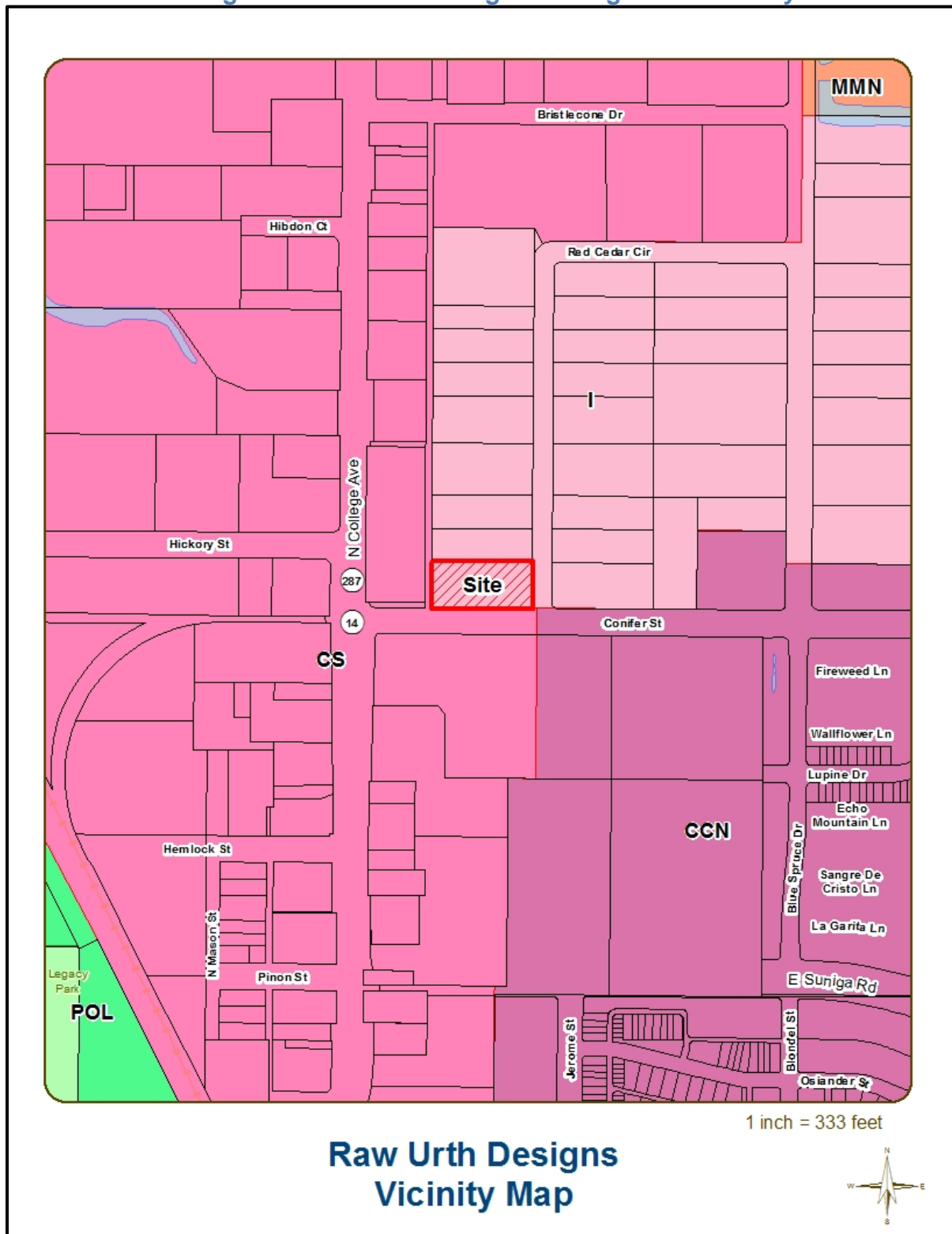
The property was annexed into the City of Fort Collins as part of the Pine Tree Park Annexation in November 1972. The site was originally platted as Lot 20 of the Evergreen Park Replat in March 1974.

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Industrial (I)	Light industrial, office
South	Service Commercial (CS), Community Commerical – North College (CCN)	Retail, residential
East	Industrial (I)	Outdoor storage, vehicle repair, day shelter
West	Service Commercial (CS)	Motel, vehicle repair

A zoning and site vicinity map is presented on the following page.

Figure 1: Raw Urth Designs Zoning & Site Vicinity



2. Compliance with Article 3 of the Land Use Code – General Development Standards:

The project complies with all applicable General Development Standards as follows:

A. *Division 3.2.1 – Landscaping and Tree Protection*

The proposed landscaping is consistent with requirements of the Land Use Code in regards to the addition of street trees, parking lot landscaping, and landscape screening from adjacent uses.

B. *Section 3.2.2(C)(4)(b) - Bicycle Parking Space Requirements*

The minimum number of bicycle parking spaces required for Industrial uses is 4. The Raw Urth site will provide one bike rack that contains 5 bicycle parking spaces.

C. *Section 3.2.2(C)(5) - Walkways*

Walkways must be provided to link sidewalks with building entries through parking lots. These walkways must also provide direct connections to off-site pedestrian and bicycle destinations. The Raw Urth site provides a connecting walkway that runs along the southern perimeter of the parking lot that satisfies this standard.

D. *Section 3.2.2(D)(1) - Access and Parking Lot Requirements; Pedestrian/Vehicle Separation*

To the maximum extent feasible, pedestrians and vehicles shall be separated through provision of a sidewalk or walkway. Where complete separation of pedestrian and vehicles is not feasible, potential hazards shall be minimized by using landscaping, bollards, special paving, lighting, and other means to clearly delineate pedestrian areas. Raw Urth separates pedestrians from vehicles by providing a sidewalk separated from the driving and parking area via curb.

E. *Section 3.2.2(E) - Parking Lot Layout*

The proposed parking lot layout is consistent with requirements of the Land Use Code in regards to circulation routes, orientation, landscaped islands, and points of conflict.

F. Section 3.2.2(J) - *Setbacks*

The proposed parking lot is setback further than the 10-foot minimum from non-arterial streets and 5-foot minimum along a lot line required per the Land Use Code.

G. Section 3.2.2(K)(2) – *Nonresidential Parking Requirements*

The minimum, maximum, and proposed parking are contained in the tables below. Raw Urth is providing parking within the range of required parking and thus meets the requirements of the Land Use Code.

Table 1: Raw Urth Parking

Use	Min. Parking	Max. Parking	Parking Provided
Industrial (17 employees)	.5 per employee = 9 spaces	.75 per employee = 13 spaces	9 spaces

H. Section 3.2.2(K)(5) - *Handicap Parking*

Parking lots with less than 25 spaces must provide at least 1 handicap parking space. The parking lot proposed is less than 25 spaces and provides 1 handicap parking space.

I. Section 3.2.3 - *Solar Access, Orientation, Shading*

All developments must be designed to accommodate active and/or passive solar installations and must not deny adjacent properties access to sunshine. The proposed building is designed and located to minimize the casting of shadows on adjacent properties and could accommodate future active and/or passive solar installations.

J. Section 3.2.4 - *Site Lighting*

The proposed lighting plan is consistent with the requirements of the Land Use Code in regards to the general standard, lighting levels, and design standards.

K. Section 3.2.5 - *Trash and Recycling Enclosures*

Trash and recycling enclosures must be provided in locations abutting refuse collection or storage areas, designed to allow walk-in access without having to open the main service gate, screened from public view,

and constructed on a concrete pad. The proposed trash and recycling enclosure design satisfies the standards.

L. *Section 3.5.1(E) - Building Materials*

All proposed buildings shall use similar materials to existing buildings in the neighborhood or use similar architectural characteristics if dissimilar materials are proposed. The proposed building uses similar materials and architectural details to the existing buildings in the area. The proposed materials include split face concrete masonry units, metal roofing, decorative wood lattice, and sun shades.

M. *Section 3.5.1(I) - Outdoor Storage Areas/Mechanical Equipment*

The proposed plan is consistent with the requirements of the Land Use Code in regards to the location of outdoor storage, screening of storage areas, and screening of rooftop mechanical equipment from public view.

N. *Section 3.6.6 – Emergency Access*

For the Raw Urth site, an emergency access easement is proposed that runs through the parking lot entrance to the northern edge of the site with a turnaround located in the paved outdoor storage area. The emergency access easement ensures emergency vehicles can gain proper access and maneuvering to reach all portions of the proposed building.

3. **Compliance with Article 4 of the Land Use Code – Industrial (I), Division 4.28:**

The project complies with all applicable Article 4 standards as follows:

A. *Section 4.28(B)(2) – Permitted Uses*

The proposed uses, light industrial and office, are permitted in the Industrial zone district and are consistent with the district's intent to provide a wide range of commercial and industrial operations.

B. *Section 4.28(D)(1) – Dimensional Standards*

Non-residential structures are limited to four stories in height. The Project Development Plan/Final Plan proposes a two-story structure.

C. Section 4.28(E)(2)(b) – Development Standards – Orientation

Along arterial streets, buildings shall be sited so that a building abuts the required thirty-foot deep landscaped yard for at least 30% of the building frontage. This building face may not consist of a blank wall. The entire building's southern side abuts the landscape yard and features a series of architectural features including windows, changes of plane, changes of materials, and varied roof lines to break up the mass.

D. Section 4.28(E)(2)(c) – Development Standards – Building Character and Color

New building color shades shall be neutral, with a medium or dark color range, and not white, bright or reflective. The proposed materials are all neutral and are not white, bright or reflective.

E. Section 4.28(E)(3)(a)(2) – Development Standards – Screening

The property abuts a non-residential zone district boundary and arterial street to the south, which necessitates a thirty-foot deep landscape yard. The proposed landscape yard is thirty feet in depth and provides ample landscape features to act as a buffer to the industrial activity on-site.

F. Section 4.28(E)(3)(b) – Storage and Operational Areas

Storage, loading and work operations must be screened from view along district boundary lines and public streets in the I District. The proposed site plan shows a 6-foot high solid fence surrounding the storage, loading and work area.

4. Findings of Fact/Conclusion:

In evaluating the request for the Raw Urth Designs, PDP150007, Staff makes the following findings of fact:

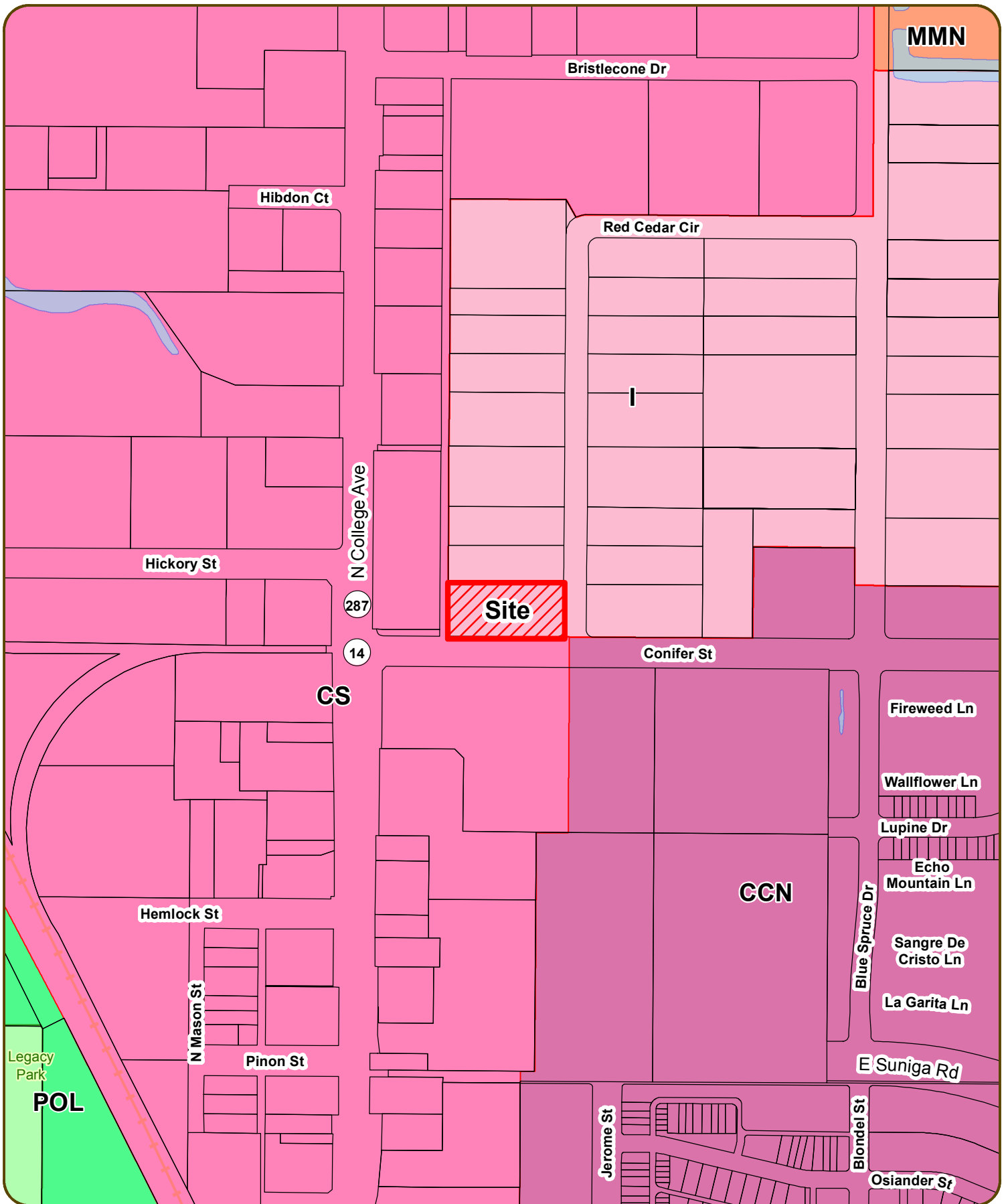
- A. The Project Development Plan complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The Project Development Plan complies with relevant standards located in Article 3 – General Development Standards.
- C. The Project Development Plan complies with relevant standards located in Division 4.28 Industrial (I) of Article 4 – Districts.

RECOMMENDATION:

Staff recommends approval of the Raw Urth Designs, PDP150007.

ATTACHMENTS:

1. Zoning & Site Vicinity Map
2. Applicant's Statement of Planning Objectives
3. Raw Urth Planning Document Set (Site Plan, Landscape Plan, Elevations & Photometric Plan)



1 inch = 333 feet

Raw Urth Designs Zoning & Vicinity Map



**Raw Urth Designs
1313 Blue Spruce Dr.
FORT COLLINS, CO 80524**

STATEMENT OF PLANNING OBJECTIVES

June 9th, 2015

Owner: Amy Sasick, Raw Urth
Contractor: Steve Lesondak. Lesondak Construction, LLC
Architect/Planner: Alan Hauser, AIA; Hauser Architects, PC
Landscape Architect: Tim Briggs, Site Design
Civil Engineer: Tricia Kroetch, PE; North Star Design, Inc.

LEGAL DESCRIPTION

LOT 20, BLOCK 3, EVERGREEN PARK REPLAT 1 SITUATED IN THE NORTHWEST ONE-QUARTER SECTION 1, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN. CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

PROJECT DETAILS

Zoning – (I) Industrial. This is a new 15,405 square foot fully sprinkled type V-B building that will consist of 10,097 square foot warehouse and 4,616 square feet of office space that includes a second story space.

Total Lot Area (both lots combined)	40,452 SF or 0.928650 Acres
Building Footprint Area	12,420 SF (30%)
Parking, Walks & Drives	15,610 SF (39%)
Landscaped Open Area	12,737 SF (31%)
Total Parking Spaces	9 Spaces (including 1 handicapped accessible space)
Maximum Building Height	29 Feet 4 Inches above finished grade

Total Building Area –	Main Floor	12,420 SF
	Second Floor	2,985 SF
	Total Building Area	15,405 SF

NEIGHBORHOOD MEETING

A neighborhood meeting was not required for this project, this project is subject to Administrative (Type 1) review in the Industrial zone district.

PROJECT STATEMENT/NARRATIVE

This is a moderately sized building on the corner of Conifer and Red Cedar. Currently the site is undeveloped. The new building is two stories constructed out split face CMU block with metal accent panels to add unique character to the look of the building. The primary building materials will consist of CMU block, timber, custom metal panels fabricated by Raw Urth. On the North side of the building we will be providing a privacy fence to screen on site storage, dumpster and mechanical equipment.

We are providing 8 standard parking spaces and 1 handicap accessible space for a total of 9 spaces.

The civil engineering and public improvement construction plans have addressed all applicable comments in the CRT review letter and subsequent staff preliminary review comments. Likewise, the landscape plans have also addressed all applicable and pertinent comments to the maximum extent feasible on this site.

A new five foot wide detached concrete sidewalk will be provided with an eight foot wide landscaped parkway with new landscaping. A 30 foot landscape yard will also be provided on Conifer Street.

The number of employees at the existing facility is currently 17 full time-employees and that number will remain relatively the same at the new facility. The hours of operation will be Monday through Friday 8:00am to 5:00pm.

OWNER'S STATEMENT

Raw Urth is a unique metal company with national and international reach. Working from a small studio on Blue Spruce, Raw Urth has designed, developed and hand crafted Range Hoods, Countertops, Fireplace surrounds and countless one of a kind architectural elements for some of the most spectacular homes between our own backyard in Fort Collins to homes across America, Canada, the Virgin Islands and even a specially transported Range Hood to the heart of Moscow. Working in Steel, Copper, Bronze, Brass, Zinc, Pewter and Stainless, Raw Urth has created a brand and style that is easily recognizable and desired for the customer service, forward thinking design, commitment to green practices, quality of craftsmanship and proprietary, spectacular metal finishes. With only 17 employees, Raw Urth has won regional and national accolades including Luxe's Designers to Watch, Colorado House and Home design team of the year for a project in Evergreen, Sub-zero Wolf national kitchen design winners in both 1st and 2nd Place and published many times over in magazines across the nation.

With the new building, Raw Urth will have the ability to continue growth for the next several years. The space will not only allow for more employees but, better equipment to facilitate new and creating ideas as well as a larger, more inviting and interactive space for Urthlings to enjoy spending time! Within the new building will be a showroom to display work for builders and designers that come to visit from around the country, larger office space, twice the patina/finishing space, art gallery space for openings on First Fridays, large sculpture area out front, a ping pong table and shuffleboard to boot! At the end of the day, the new building is for the people that work at Raw Urth because they are Raw Urth.

PROJECT SCHEDULE

The General Contractor for this project will be Lesondak Construction LCC of Fort Collins. We are anticipating construction to start in the fall of 2015 with project completion sometime early 2016.

RESPONSE TO CONCEPTUAL REVIEW COMMENTS

A Conceptual Review Team Meeting for this project was held on May 13, 2013. We believe that our Project Development Plan complies with all questions and issues raised in the CRT letter.

ALLEY

SHEET INDEX		
SHEET NUMBER	SHEET NAME	PDP SET
A-1	ARCHITECTURAL SITE PLAN	X
A-2	ARCHITECTURAL SITE DETAILS	X
A-3	ELEVATIONS	X

ARCHITECTURAL PDP

GENERAL NOTES

APPLICABLE NOTES FROM THE DEVELOPMENT FINAL PLAN

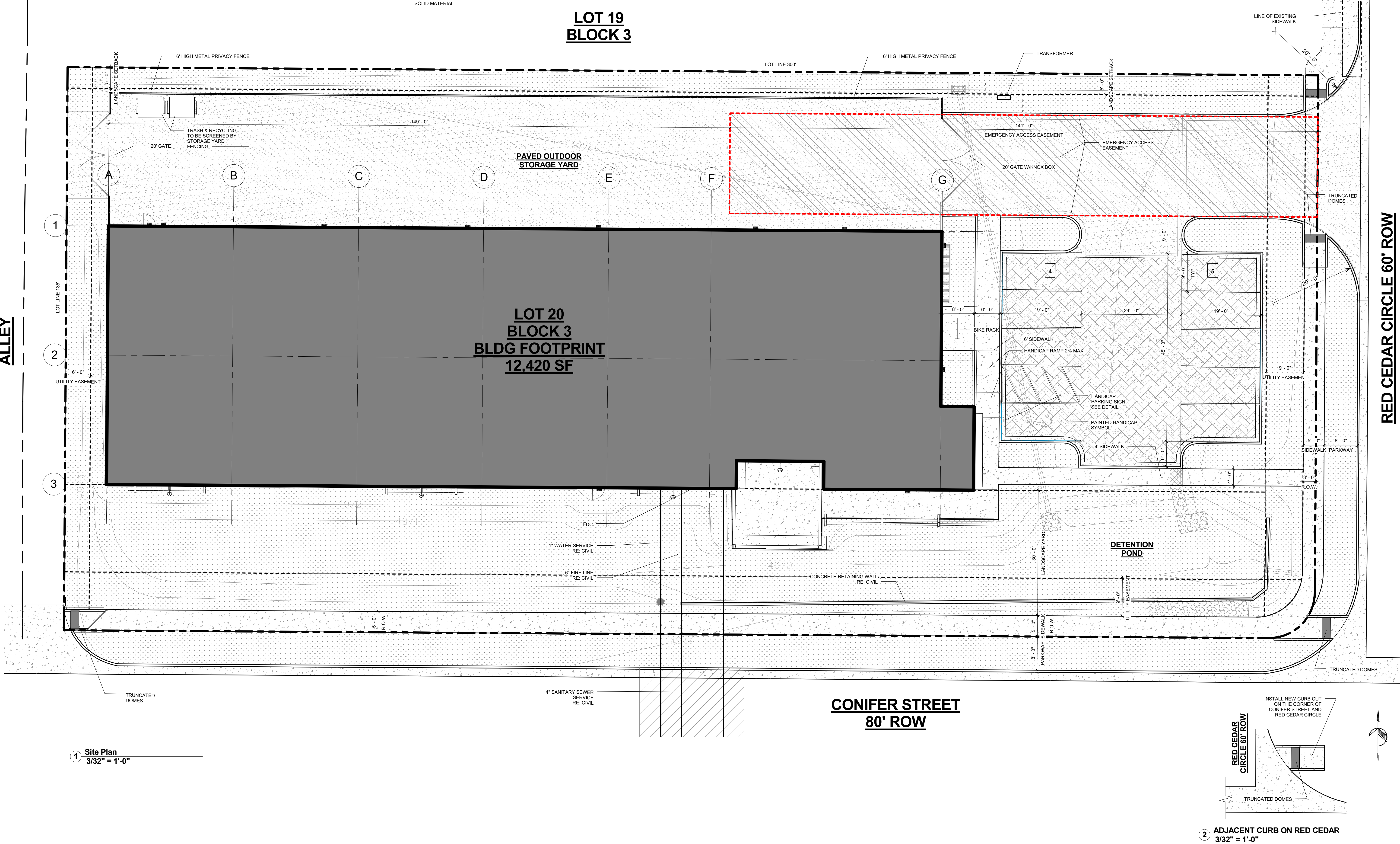
1. ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF ALL BUILDINGS WILL BE LOCATED WITHIN 15' OF ACCESS ROADWAY IN WHICH EMERGENCY FIRE EQUIPMENT CAN BE MANEUVERED OR THE BUILDINGS WILL BE PROVIDED WITH AN APPROVED FIRE EXTINGUISHING SYSTEM.
2. REFER TO UTILITIES PLAN FOR LOCATION OF UTILITIES AND DRAINAGE.
3. SIDEWALKS AND RAMPS WILL CONFORM TO CITY STANDARDS.
4. PROPOSED EXTERIOR LIGHTING WILL BE POLE-MOUNTED LUMINARIES AT DRIVES AND PARKING AREAS. BOTH POLE AND BUILDING MOUNTED FIXTURES WILL FEATURE DOWN-DIRECTIONAL AND SHARP CUTOFF LUMINARIES. ALL WALL MOUNTED LIGHT FIXTURES SHALL BE FULLY SHIELDED TO CONCEAL LIGHT SOURCE.
5. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT IS TO BE FULLY SCREENED FROM PUBLIC VIEW WITH ROOFTOP PARAPET WALLS AND LANDSCAPING. CONDUITS, METERS, VENTS AND OTHER EQUIPMENT ATTACHED TO THE BUILDING OR PROTRUDING FROM THE ROOF SHALL BE PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
6. ALL SIGNAGE TO COMPLY WITH LOCAL SIGN CODE. SIGNS ARE NOT APPROVED WITH THIS PLAN. ALL SIGNS WILL BE APPROVED THROUGH A SEPARATE SIGN PERMIT.
7. THE TRASH ENCLOSURES WILL BE MOUNTED ON CONCRETE AND BE CONSTRUCTED OF MATERIALS TO MATCH THE BUILDINGS. ANY GATES CONSTRUCTED WILL BE OF SOLID MATERIAL.

8. BIKE RACKS ARE TO BE PERMANENTLY ANCHORED TO CONCRETE AND WILL NOT INTERFERE WITH PEDESTRIAN WALKWAYS.
9. ALL HANDICAP PARKING SPACES AND RAMPS ARE TO BE VERIFIED WITH CIVIL ENGINEER FOR GRADING, DRAINAGE, AND ACCESSIBLE ROUTE CONSIDERATIONS. HANDICAP PARKING SPACES SHOULD SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES SHOULD SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND NO MORE THAN 1:48 CROSS SLOPE.
10. ALL INTERNAL PEDESTRIAN WALKWAYS SHALL BE DISTINGUISHED FROM DRIVING SURFACES THROUGH THE USE OF DURABLE LOW-MAINTENANCE SURFACE MATERIALS SUCH AS SCORED CONCRETE TO ENHANCE PEDESTRIAN SAFETY AND COMFORT AS WELL AS THE ATTRACTIVENESS OF THE WALKWAYS.
11. ELECTRICAL TRANSFORMERS AND NATURAL GAS EQUIPMENT SHALL BE FULLY SCREENED FROM PUBLIC VIEW BY A SOLID HEDGE OF PLANT MATERIAL OR AN ENCLOSURE MEETING THE CLEARANCE SPECIFICATIONS OF LIGHT AND POWER. SUCH ENCLOSURE MUST MATCH THE PREDOMINATE MATERIALS OF THE BUILDING BEING SERVED. TRANSFORMERS MUST BE WITHIN TEN FEET OF HARD SURFACE.
12. IN ORDER TO COMPLY WITH OPERATIONAL AND PHYSICAL COMPATIBILITY STANDARDS, THE OUTDOOR STORAGE OF PRODUCTS OR MATERIALS, INCLUDING TIRE DISPLAY RACKS OR USED TIRES SHALL BE SCREENED FROM PUBLIC VIEW. IN ADDITION, VENDING MACHINES SHALL BE PLACED INSIDE BUILDINGS OR BEHIND SCREEN WALLS.

BUILDING SQ. FT. DATA	
MAIN LEVEL	
OFFICE (B) OCCUPANCY	2,323 SF
WAREHOUSE (B-2) OCCUPANCY	10,097 SF
SQUARE FOOTAGE	12,420 SF
SECOND LEVEL	
OFFICE (B) OCCUPANCY	1,763 SF
WAREHOUSE (B-2) OCCUPANCY	1,470 SF
SQUARE FOOTAGE	3,233 SF
TOTAL BUILDING SQUARE FOOTAGE	15,653 SF
TYPE V-B CONSTRUCTION (SPRINKLED)	

PARKING SUMMARY	
PARKING REQUIRED	
.75 PER EMPLOYEE MAX	@ 17 EMPLOYEES = 13 SPACES
.5 PER EMPLOYEE MIN	@ 17 EMPLOYEES = 9 SPACES
TOTAL ON SITE PARKING	3 SPACES
TOTAL PROVIDED	9 SPACES
ALL PARKING SPACES ARE STANDARD SIZE SPACES (INCLUDES 1 HANDICAP SPACE AND 5 BYCYCLE SPACES)	

LAND USE DATA TABLE		
	TOTAL	
BUILDING FOOTPRINT	12,420 SF	30%
PAVED AREAS (PARKING, WALKS & DRIVE)	15,610 SF	39%
AREA OF LANDSCAPING	12,737 SF	31%
TOTAL LOT AREA:	40,452 SF	
	928650 ACRES	
ZONING: (I) INDUSTRIAL		
LEGAL DESCRIPTION		
LOT 20, BLOCK 3, REPLAT (NO. 1) OF EVERGREEN PARK SITUATED IN THE NORTHWEST ONE-QUARTER SECTION 1, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.		



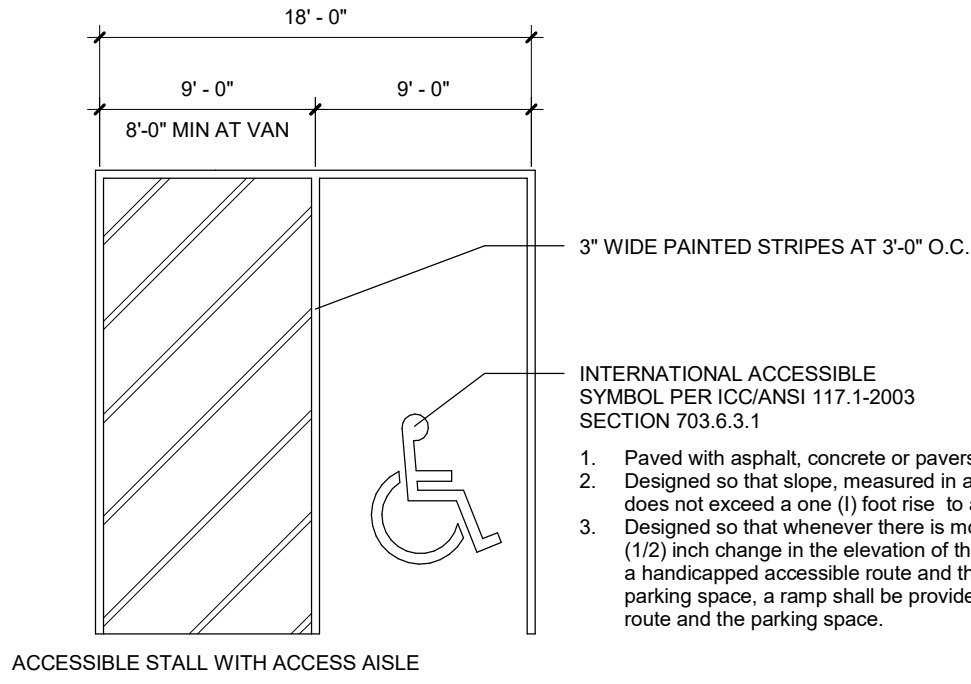
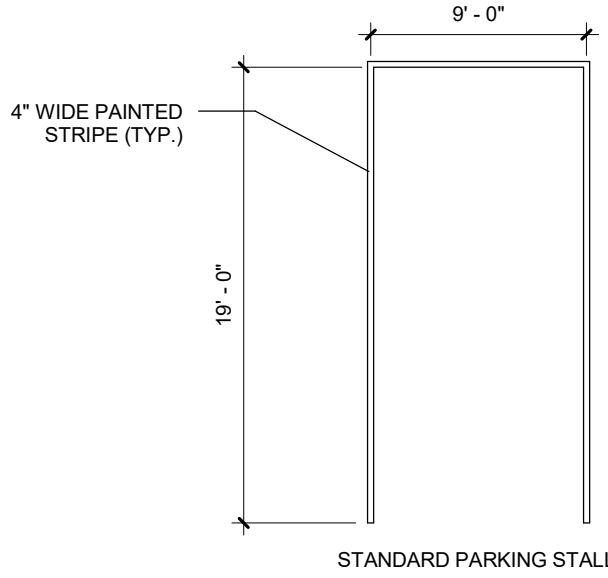
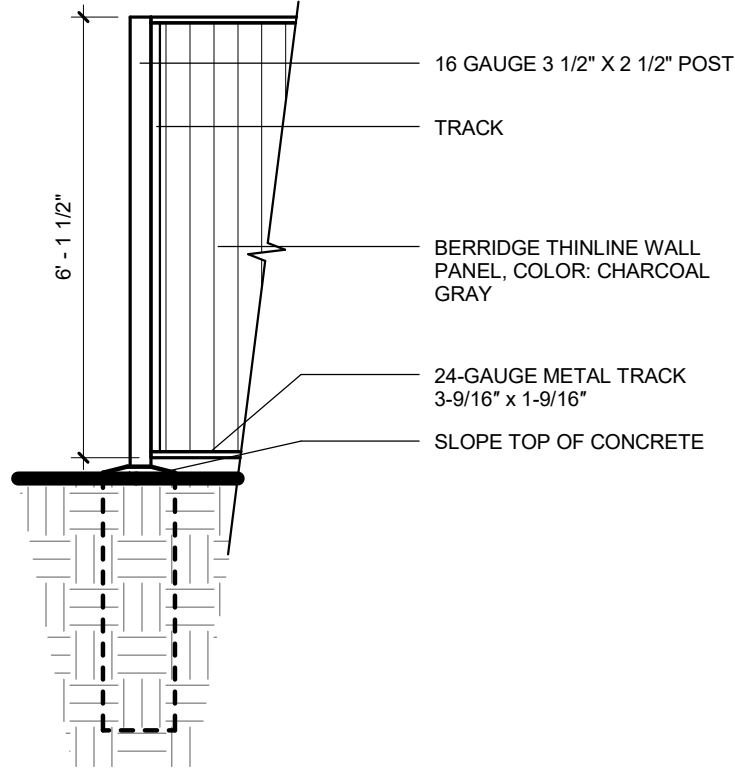
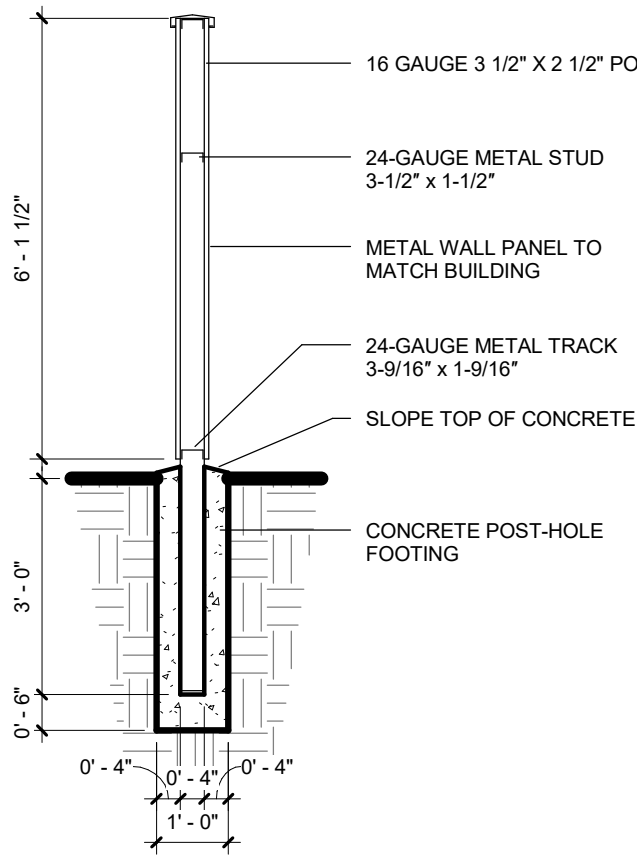
HAUSER
ARCHITECTS
3780 East 15th Street, Suite 201 • Loveland, Colorado 80538
E-mail: info@hauserarchitectspc.com

Sasick Properties, LLC
AMY SASICK
1313 BLUE SPRUCE DR, FORT COLLINS, CO 80524
ARCHITECTURAL SITE PLAN

REVISIONS	DATE	DESCRIPTION
PDP REVISIONS	09/14/2015	

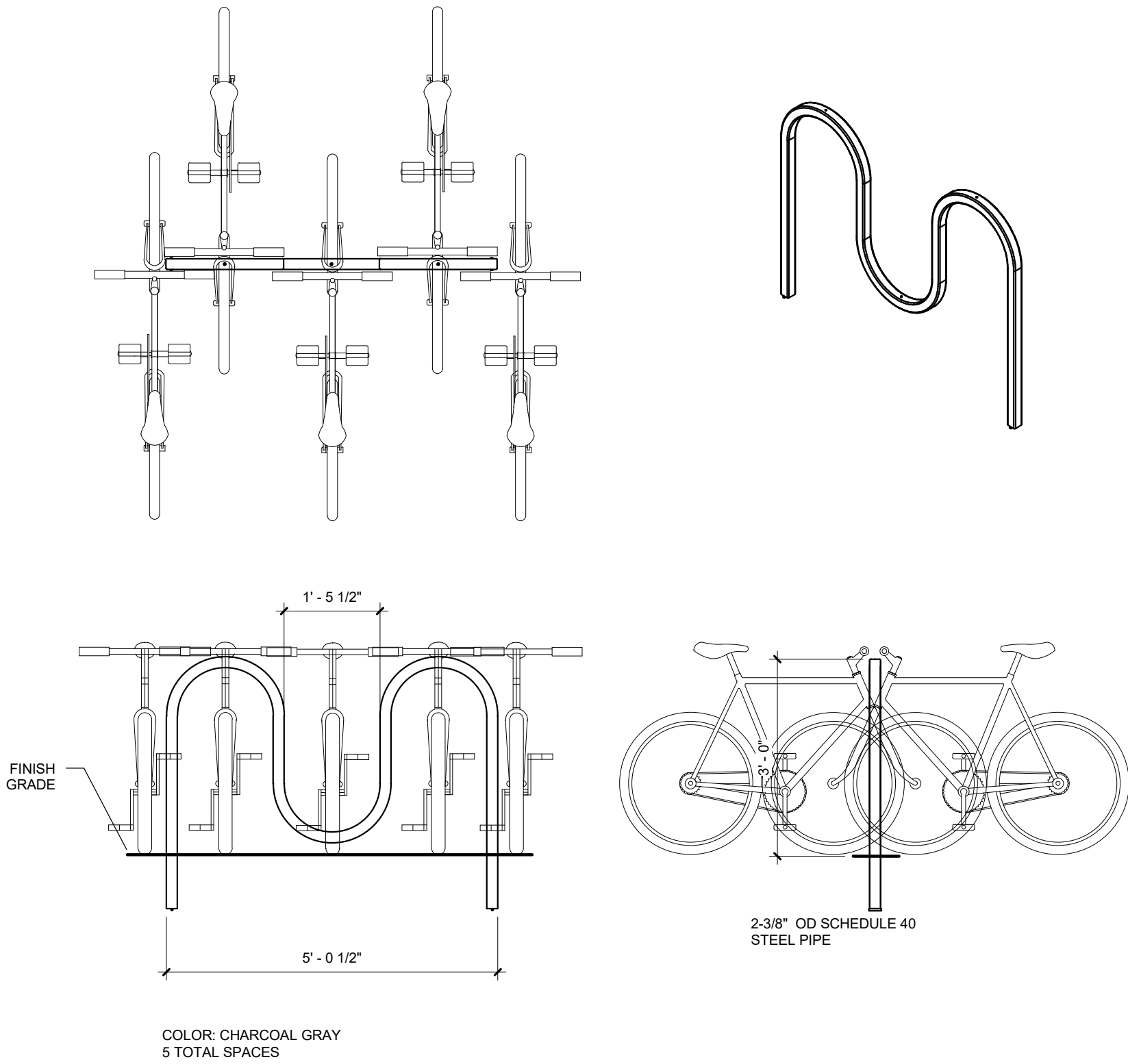
BERRIDGE PRIVACY FENCE NOTES

- 3.01 PREPARATION:**
A. The grade shall be prepared and any surface irregularities removed, which may cause interference with the installation of the fence.
B. Holes shall be excavated for posts to diameter and spacing indicated on drawings and to suite local conditions for proper anchorage and stability.
- 3.02 FENCE INSTALLATION:**
A. Installation shall be in accordance with manufacturer's instructions and details.
B. Posts shall be centered and aligned in excavated holes to proper depth.
C. Concrete shall be placed around posts and vibrated or tamped for consolidation.
D. Vertical and top alignment of posts shall be verified for plumb and true before concrete hardens.
- 3.03 GATE INSTALLATION:**
A. Gates shall be supported by separate posts. Hinged side of gate shall not be attached to building wall.
B. Install gates plumb, level and secure for full width of clear opening.
C. Type and quantity of hinges shall be based on weight, height, and gate usage.

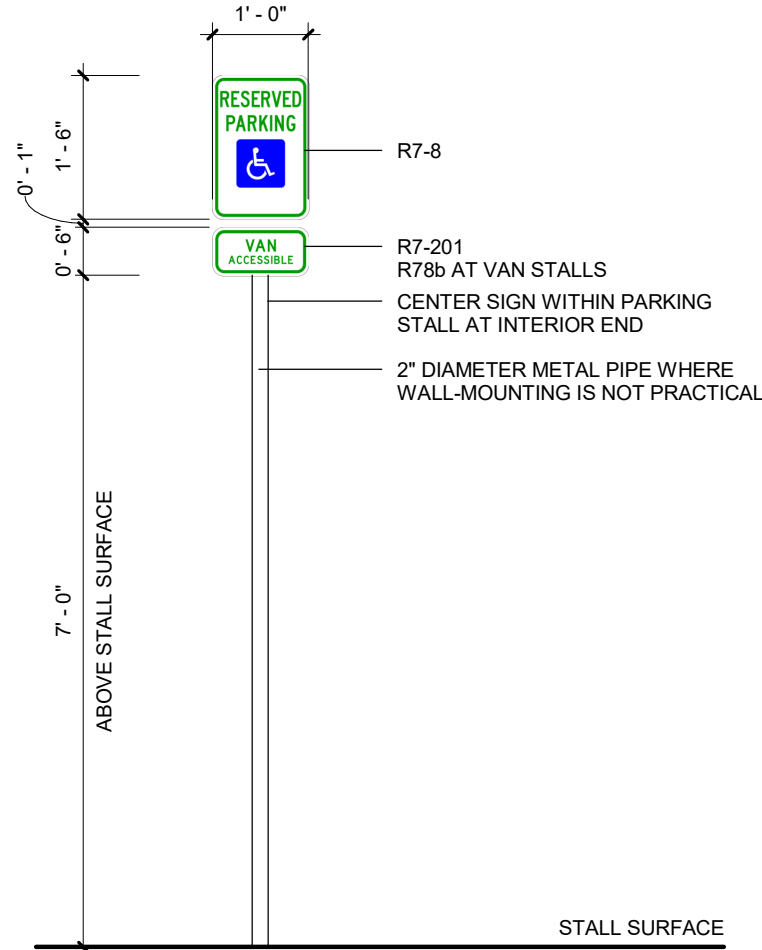


6 PRIVACY FENCE DETAIL
3/8" = 1'-0"

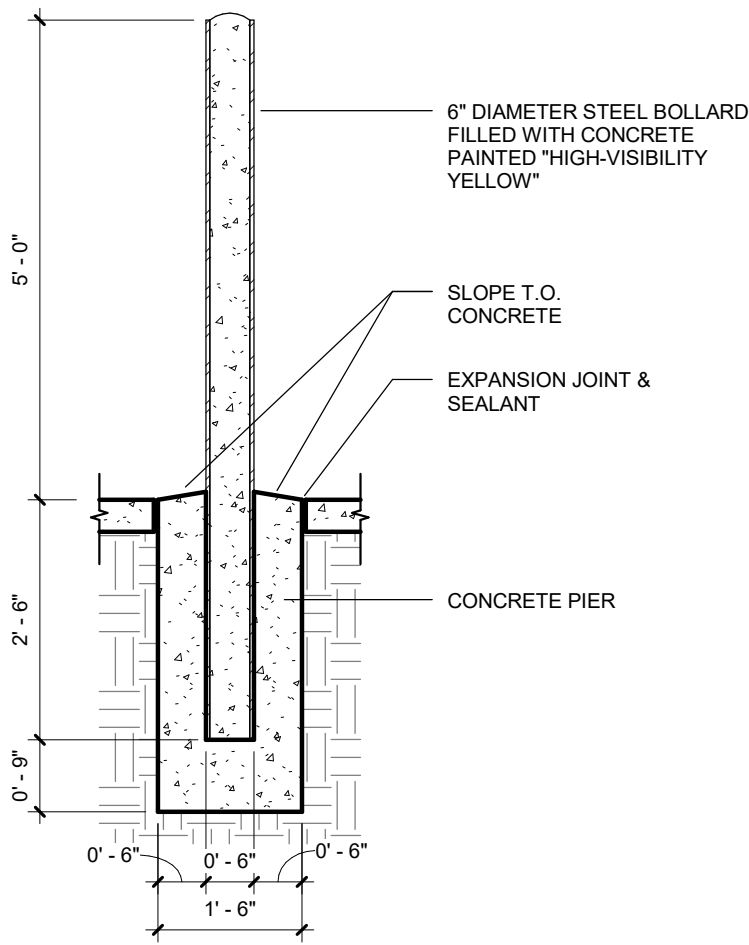
1 PARKING STALL STRIPING
1/8" = 1'-0"



5 BIKE RACK DETAIL
1/2" = 1'-0"



3 ACCESSIBLE PARKING SIGNAGE
1/2" = 1'-0"



4 PIPE BOLLARD TYP.
1/2" = 1'-0"

Sasick Properties, LLC

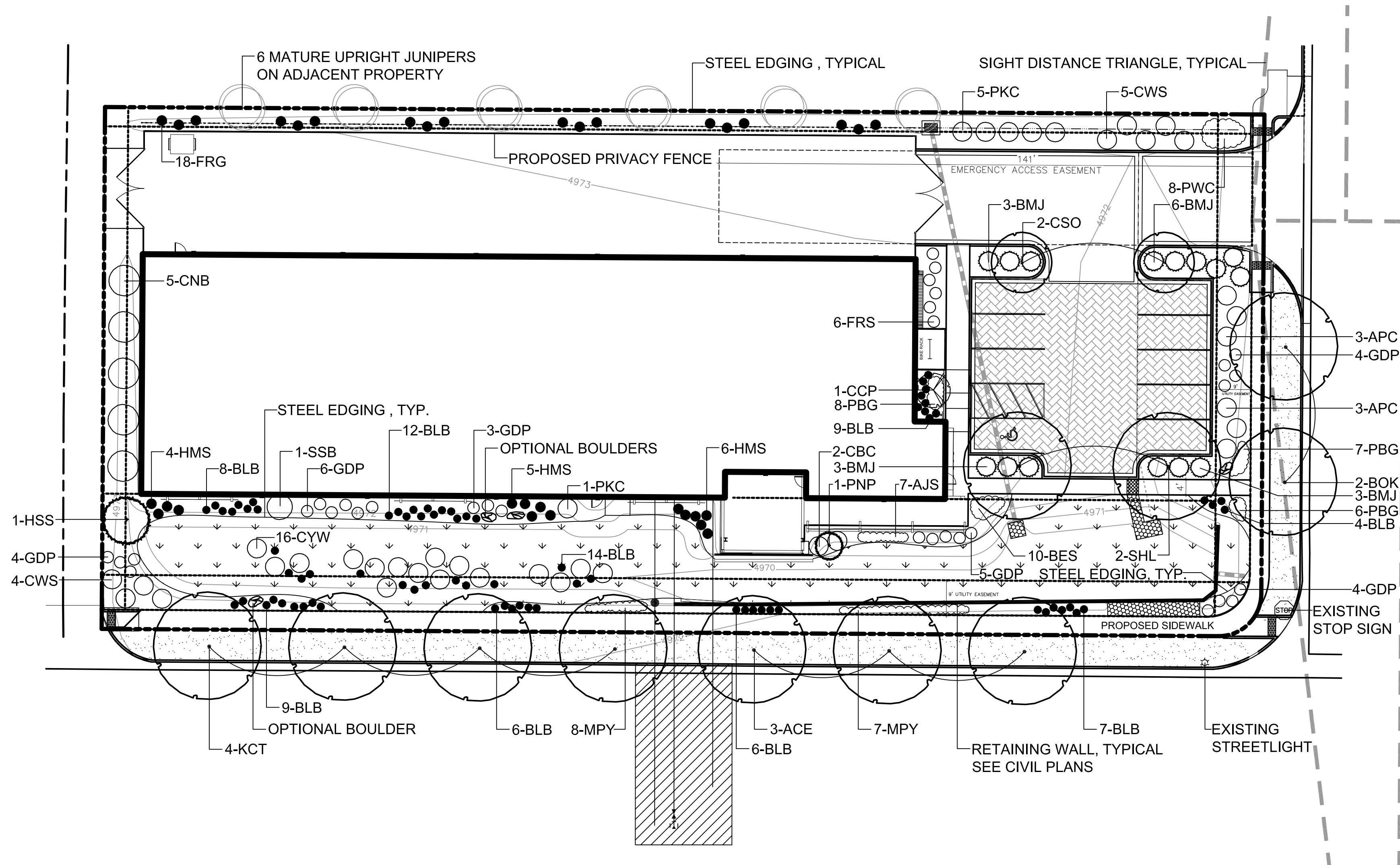
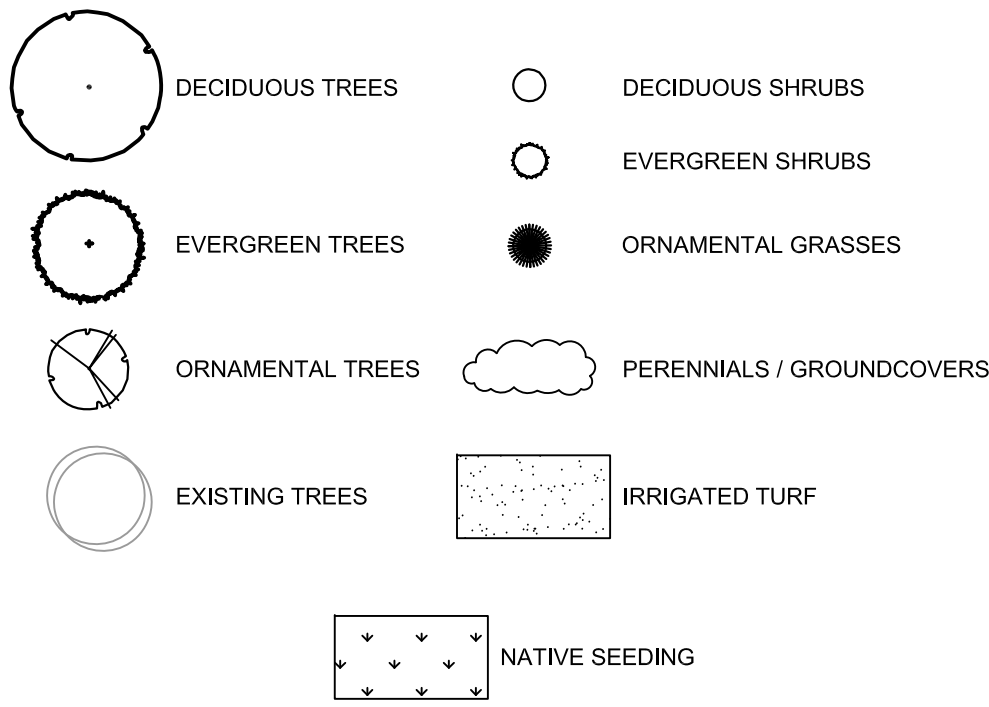
AMY SASICK

1313 BLUE SPRUCE DR, FORT COLLINS, CO 80524

ARCHITECTURAL SITE DETAILS

REVISIONS	09/14/2015
PDP REVISIONS	

SYMBOLS



AREAS FOR LANDSCAPE WATER USAGE

THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENE TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DIGGING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA.

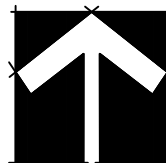
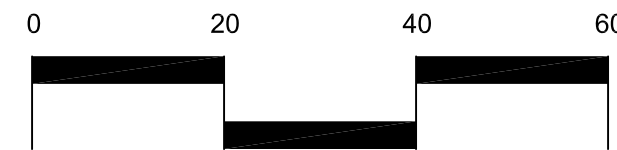
A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREE OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES THE ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.

THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN APPROVAL BY THE CITY FORESTER FOR STREET TREES IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF THE DEVELOPMENT.

HIGH WATER USAGE (IRRIGATED TURF)	3,046	SF
MEDIUM WATER USAGE (DRIP IRRIGATED BEDS)	6,559	SF
LOW WATER USAGE (NON-IRRIGATED NATIVE GRASSES)	5,854	SF

NOTE: ANY REQUIRED LANDSCAPE IRRIGATION SYSTEM PLANS MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.



LANDSCAPE NOTES

1. SOIL PREPARATION - ALL PLANTED AREAS (EXCEPT NATIVE SEEDING) SHALL BE AMENDED WITH 3 CUBIC YARDS OF COMPOST PER 1000 SQUARE FEET. THESE AREAS SHALL BE RIPPED AND ROTOTILLED TO A DEPTH OF 6-8". RESTORE SOIL TO ORIGINAL GRADE AS SHOWN ON THE GRADING PLAN AFTER SOIL PREPARATION IS COMPLETED.
2. SOD - ALL AREAS DESIGNATED AS TURF SHALL BE SODDED WITH DROUGHT TOLERANT KENTUCKY BLUEGRASS BLEND SOD. TURF AREAS SHALL BE FINE GRADED BEFORE SOD IS INSTALLED.
3. EDGING - ALL PLANTING BEDS SHALL BE EDGED WITH ROLLED TOP STEEL EDGING. EDGING SHALL BE HELD IN PLACE WITH STEEL PINS INSTALLED APPROXIMATELY 3' APART.
4. SEEDING - SEEDED AREAS SHALL BE TILLED OR SCARIFIED TO LOOSEN THE SOIL.
5. TREE RINGS - ALL TREES IN LAWN AND SEEDED AREAS SHALL HAVE A 4-FOOT DIAMETER RING OF 4" DEEP SHREDDED REDWOOD MULCH OVER WEED BARRIER FABRIC.
6. BARK MULCH - SHRUB BEDS, PERENNIAL AND GROUNDCOVER PLANTS SHALL RECEIVE 4" OF SHREDDED REDWOOD MULCH, AND NO WEED BARRIER FABRIC.
7. BOULDERS (OPTIONAL) - GRANITE MOSS BOULDERS APPROXIMATELY 2'x3'x4' IN SIZE. USE CARE WHEN HANDLING AND INSTALLING TO PREVENT SCRATCHES AND DAMAGE. INSTALL EACH BOULDER $\frac{1}{3}$ TO $\frac{1}{2}$ INTO THE FINAL GRADE FOR NATURAL APPEARANCE.
8. ANY SUBSTITUTE PLANT MATERIAL OR LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE. ALL PLANT MATERIAL MUST BE FIRST QUALITY AND SHALL COMPLY WITH THE MOST RECENT STANDARDS FOR NURSERY STOCK AS APPROVED BY THE AMERICAN STANDARDS INSTITUTE AND SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
9. PLANTING - FOLLOW PLANTING DETAILS CAREFULLY. ALL PLANTS SHALL BE PRUNED AS NEEDED IMMEDIATELY AFTER INSTALLATION TO PROMOTE VIGOROUS GROWTH. CONTRACTOR SHALL REMOVE TREE STAKING AND WRAP WITHIN 18 MONTHS OF INSTALLATION.
10. CONTRACTOR TO REVIEW AND VERIFY SITE CONDITIONS COMPARED TO PLANS. THESE ARE NOT ENGINEERED DRAWINGS, AND FIELD ADJUSTMENTS MAY BE NECESSARY DUE TO ACTUAL UTILITY LOCATIONS, STRUCTURES, OBJECTS OR CONDITIONS THAT ARE DIFFERENT THAN SHOWN ON THESE PLANS.
13. HAVE ALL UTILITIES LOCATED BEFORE CONSTRUCTION. COORDINATE ALL WORK WITH OTHER TRADES.
14. NO TREES ARE TO BE PLANTED WITHIN 10' OF WATER MAINS AND 6' OF SERVICE LINES. NO SHRUBS ARE TO BE PLANTED WITHIN 4' OF WATER MAINS AND SERVICE LINES.

LANDSCAPE MUST BE IN COMPLIANCE WITH SECTIONS 12-130 THROUGH 132 OF THE FORT COLLINS MUNICIPAL CODE "DIVISION 2. SOIL AMENDMENT".

THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF TREE PLANTING IN ROW IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN APPROVAL BY THE CITY FORESTER FOR STREET TREES IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF THE DEVELOPMENT.

TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. ORGANIC SOIL AMENDMENTS SHALL ALSO BE INCORPORATED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 3.8.21.

ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING IN EACH PHASE SHALL EITHER BE INSTALLED OR THE INSTALLATION SHALL BE SECURED WITH A LETTER OF CREDIT, ESCROW OR PERFORMANCE BOND FOR ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE VALUE OF THE LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.

TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER (NOT THE CITY OF FORT COLLINS) OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.

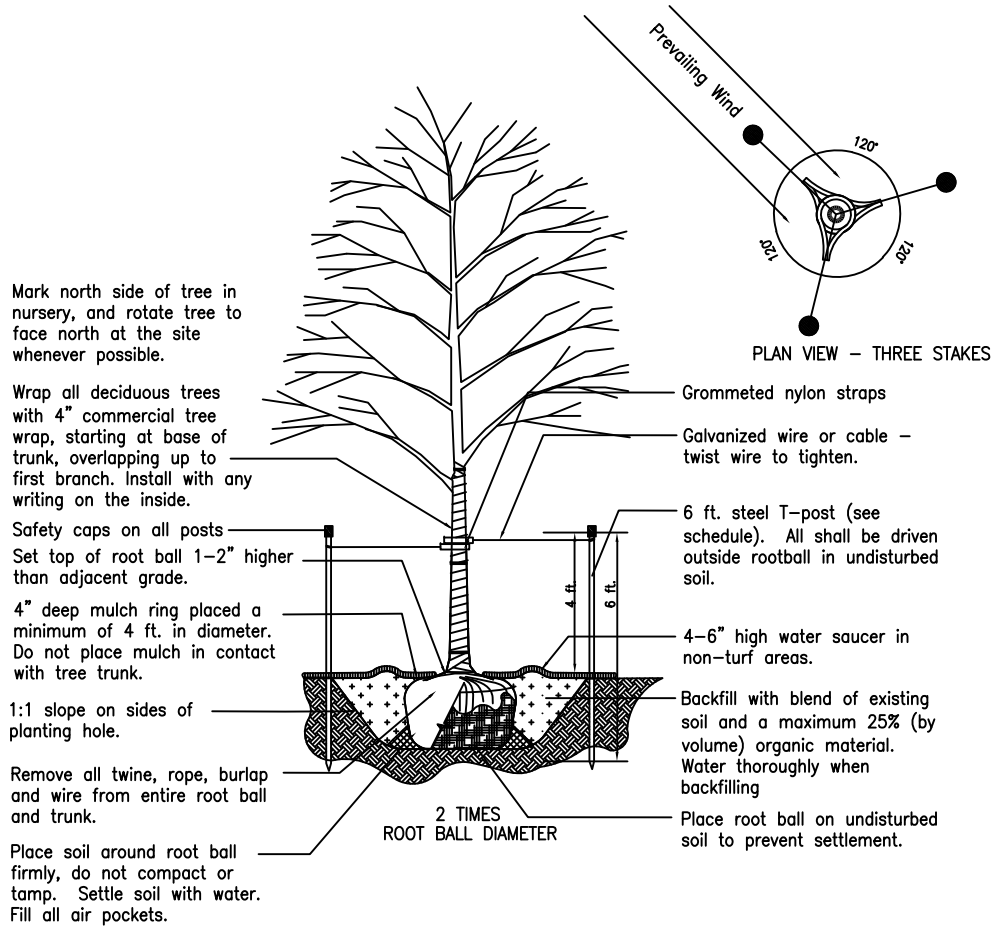
ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED BASED ON THE REQUIREMENTS OF THE CITY OF FORT COLLINS LAND USE CODE.

NATIVE SEEDING NOTES

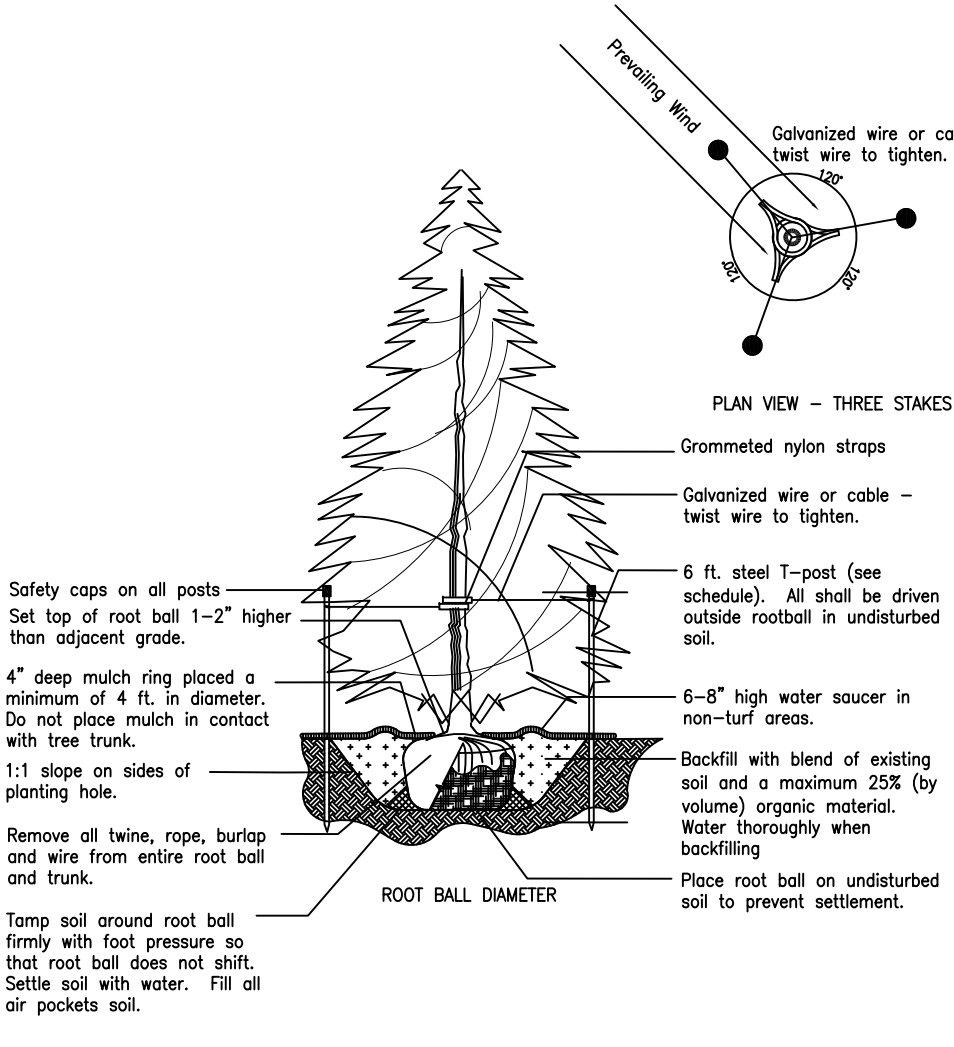
AREAS DESIGNATED AS NATIVE GRASS SEED SHALL BE DRILLED WITH NATIVE PRAIRIE MIX @ 3# /1000 SF FROM PAWNEE BUTTES SEED CO. 970-356-7002. GROUND OF SEEDED AREA SHALL BE CULTIVATED LIGHTLY THEN SEEDED IN TWO DIRECTIONS TO DISTRIBUTE THE SEED EVENLY OVER ENTIRE AREA. AFTER SEEDING, THE AREA SHALL BE CRIMPED WITH STRAW AND PROVIDED WITH TEMPORARY IRRIGATION UNTIL GRASS IS ESTABLISHED. CONTRACTOR SHOULD MONITOR SEEDED AREA FOR PROPER IRRIGATION, EROSION CONTROL AND GERMINATION, RESEEDING AS NEEDED TO OBTAIN EVEN COVERAGE OF GRASS. CONTRACTOR TO REMOVE TEMPORARY IRRIGATION SYSTEM AFTER GRASSES ARE WELL ESTABLISHED.

NATIVE GRASSES SHALL BE CONSIDERED WELL ESTABLISHED WHEN THE AREA CONTAINS AT LEAST 3 GRASS PLANTS PER SQUARE FOOT OF THE SEEDED SPECIES WITH THE GRASS BLADES BEING 3 INCHES OR LONGER, AND IS FREE OF ERODED AREAS AND NOXIOUS WEEDS.

PLANTING DETAILS



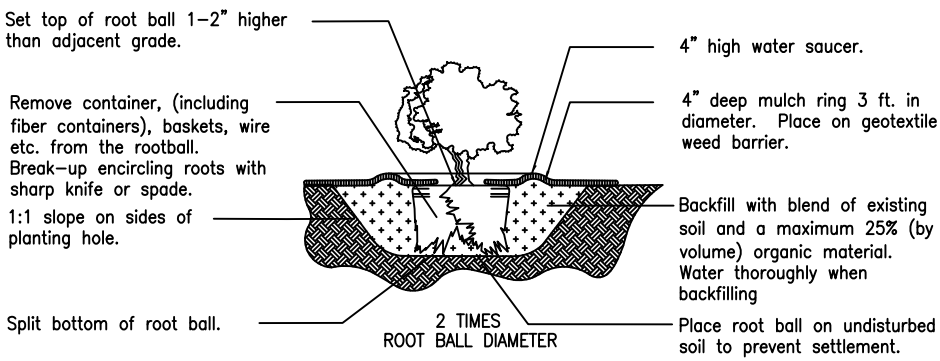
DECIDUOUS TREE - PLANTING DETAIL
SCALE: NOT TO SCALE



Pruning Notes:
(Do not heavily prune the tree at planting. Prune only crossover limbs, co-dominant leaders and broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of buds of branches that extend to the edge of the crown.)

Staking Notes:
(Stake trees as shown, then remove at end of first growing season. Wire or cable shall be min. 12 gauge. Tighten wire or cable only enough to keep from slipping. Allow for some trunk movement. Nylon straps shall be long enough to accommodate 1-2" of growth and buffer all branches from wire.)

EVERGREEN TREE - PLANTING DETAIL
SCALE: NOT TO SCALE



Placement Notes:
(Set shrub plumb. Space plants, and place for best effect.)

Pruning Notes:
(Do not heavily prune the shrub at planting. Prune only dead or broken branches. If form is compromised by pruning, replace shrub.)

SHRUBS - PLANTING DETAIL
SCALE: NOT TO SCALE

PLANT LIST

SYMBOL	NUMBER	NAME	SIZE	TYPE
DECIDUOUS TREES				
BOK	2	BUR OAK Quercus macrocarpa	2" cal.	B&B
SHL	2	SKYLINE HONEYLOCUST Gleditsia triacanthos inermis 'Skyline'	2" cal.	B&B
KCT	4	KENTUCKY COFFEE TREE (SEEDLESS) Gymnocladus dioicus 'Espresso'	2" cal.	B&B
ACE	3	ACCOLADE ELM Ulmus 'Morton'	2" cal.	B&B
CSO	2	CRIMSON SPIRE OAK Quercus 'Crimson Spire'	2" cal.	B&B
ORNAMENTAL TREES				
CCP	1	CHANTICLEER PEAR Pyrus calleryana 'Chanticleer'	1.5" cal.	B&B
EVERGREEN TREES				
HSS	1	HOOPSI SPRUCE Picea pungens 'Hoopsi'	6 ft.	B&B
PNP	1	PINON PINE Pinus edulis	6 ft.	B&B
SHRUBS				
APC	6	ALPINE CURRANT Ribes alpinum	5 gal.	container
GDP	26	GOLD DROP POTENTILLA Potentilla fruticosa 'Gold Drop'	5 gal.	container
FRS	6	FROEBEL SPIREA Spirea x bumalda 'Froebeli'	5 gal.	container
PKC	6	PEKING COTONEASTER Cotoneaster lucidus	5 gal.	container
SSB	1	SASKATOON SERVICEBERRY Amelanchier alnifolia	5 gal.	container
CYW	16	COYOTE WILLOW Salix exigua	5 gal.	container
CNB	5	COPPERTINA NINEBARK Physocarpus opulifolius 'Coppertina'	5 gal.	container
CBC	2	CORAL BEAUTY COTONEASTER Cotoneaster dammeri 'Coral Beauty'	5 gal.	container
CWS	9	CREEPING WESTERN SANDCHERRY Prunus besseyi 'Pawnee Buttes'	5 gal.	container
EVERGREEN SHRUBS				
BMJ	15	BROADMOOR JUNIPER Juniperus sabina 'Broadmoor'	5 gal.	container
ORNAMENTAL GRASSES				
FRG	18	FEATHER REED GRASS Calamagrostis acutiflora 'Karl Foerster'	1 gal.	container
BLB	75	BLAZE LITTLE BLUESTEM Schizachyrium scoparium 'Blaze'	1 gal.	container
HMS	15	HEAVY METAL SWITCHGRASS Panicum virgatum 'Heavy Metal'	1 gal.	container
GROUNDCOVERS & PERENNIALS				
AJS	7	AUTUMN JOY SEDUM Sedum 'Autumn Joy'	4 inch	container
PBG	21	PLUMBAGO Ceratostigma plumbaginoides	4 inch	container
MPY	15	MIXED PASTELS YARROW Achillea 'Summer Pastels'	4 inch	container
BES	10	BLACK EYED SUSAN Rudbeckia fulgida 'Goldsturm'	4 inch	container

CONTRACTOR TO VERIFY ALL PLANT COUNTS

RAW URTH DESIGNS
302 CONIFER STREET,
FORT COLLINS, COLORADO

Landscape Notes
& Details - 1

Date: 5-26-15
Revised: 8-28-15
Revised:
Revised:
Scale:

Sheet:

L-2

of 4

FORT COLLINS PLANT NOTES

PLANT NOTES

- Landscape materials shall be in accordance with AAN specifications for Number One Grade.
- Turf areas shall be irrigated with an automatic pop-up irrigation system. Shrub beds and trees to be irrigated with an automatic drip (trickle) irrigation system. The irrigation plan shall be reviewed and approved by the City of Ft. Collins prior to the issuance of a building permit.
- Trees to be balled and burlapped, unless otherwise noted.
- Landscaping must be installed or secured with an irrevocable letter of credit, Performance Bond, or escrow account for 125% of the valuation of the materials and labor prior to issuance of a Certificate of Occupancy.
- Landscaping shall be installed and maintained by the property owner, including trees and groundcover within the R.O.W. Street Trees shall be maintained by the City of Fort Collins after approval and establishment.
- The following separations shall be provided between trees/shrubs and utilities:
 - 40 feet between shade trees and street lights
 - 15 feet between ornamental trees and streetlights
 - 20 feet between trees and traffic control signs and devices
 - 10 feet between trees and public water and sanitary and storm sewer lines
 - 4 feet between shrubs and public water and sanitary and storm sewer lines
 - 6 feet between trees and water and sewer service lines
 - 4 feet between trees and gas lines
 - 8 feet between trees and driveways or alleys
- Field locate utilities prior to planting.
- To the maximum extent feasible, topsoil that is removed during construction activity shall be conserved for later use on areas requiring re-vegetation and landscaping.
- Shrubs and planting beds to be mulched with 4" depth shredded redwood mulch. No weed barrier shall be placed in these beds.
- Cobble swale areas shall be treated with 6"-12" diameter washed river cobble over non-woven weed barrier.
- The top 6 inches of topsoil will be stripped and stored on site. The soil will then be placed in the planting areas.
- With the exception of areas within the dripline of existing trees, the soil in all landscape areas, including parkways and medians, shall be thoroughly loosened to a depth of not less than eight (8) inches and soil amendment shall be thoroughly incorporated into the soil of all landscape areas to a depth of at least six (6) inches by filling, discing or other suitable method, at a rate of at least three (3) cubic yards of soil amendment per one thousand (1,000) square feet of landscape area.
- The developer shall contact the City forester to inspect all tree plantings at the completion of each phase of the development. All trees need to have been installed as shown on the landscape plan. Approval of street tree planting is required before final approval of each phase. Failure to obtain approval by the City Forester for the street trees in a phase shall result in a hold on certificate of occupancy for future phases of the development.
- Minor changes in street tree species and locations may be made during construction as required by site conditions or availability of material. Overall quality and design concept shall be consistent with approved landscape plans. Any changes will be provided to the Landscape Architect for review and approval as well as the City of Fort Collins.
- All trees pruning and removal shall be performed by a tree services business that holds a current City of Fort Collins arborist license as required by code.

STREET TREE NOTES

- A permit must be obtained from the City Forester before any trees or shrubs as noted on this plan are planted, pruned or removed on the public right-of-way. This includes zones between the sidewalk and curb, medians and other City property. This permit shall approve the location and species to be planted. Failure to obtain this permit may result in replacing or relocating trees and a hold on certificate of occupancy.
- Contact the City Forester to inspect all street tree plantings at the completion of each phase of the development. All trees need to have been installed as shown on the landscape plan. Approval of street tree planting is required before final approval of each phase.
- Street trees shall be supplied and planted by the developer using a qualified landscape contractor.
- The developer shall replace all dead and dying street trees after planting until final maintenance inspection and acceptance by the City of Fort Collins Forestry Division. All street trees in the project must be established of an approved species and of acceptable condition prior to acceptance.
- Street tree locations and numbers may be adjusted to accommodate driveway locations, utility standards, separation between trees, street signs and street lights. Street trees shall be centered in the middle of the parkway. Quantities shown on plan must be installed unless a reduction occurs to meet separation standards.

A FREE PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY STREET TREES ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY/TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATION AFTER UTILITY LOCATES. STREET TREES MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.



RAW URTH DESIGNS
302 CONIFER STREET,
FORT COLLINS, COLORADO

Landscape Notes
& Details - 2

Date: 5-26-15
Revised: 8-28-15
Revised:
Revised:
Scale:

Sheet:

L-3

of 4

LEGEND

- SLEEVING: CLASS 200 PVC PIPE, 2 SIZES LARGER THAN ENCLOSED PIPE
- MAINLINE : 1" CLASS 200 PVC PIPE
- ~ LATERAL PIPE TO EMITTERS: UV RADIATION RESISTANT POLYETHYLENE (1 INCH SIZE, ROUTING SHOWN IS DIAGRAMMATIC)
- UNCONNECTED PIPE CROSSING
- POINT-OF-CONNECTION (P.O.C.) ASSEMBLY
- 1" PRESSURE BACKFLOW PREVENTION DEVICE, CONFIRM LOCATION WITH GC
- REMOTE CONTROL VALVE
RAINBIRD DVF IN 10" ROUND CARSON VALVE BOX
- REMOTE CONTROL VALVE ASSEMBLY FOR DRIP LATERALS
RAINBIRD XCZF 175 PRF IN 12" RECTAGULAR CARSON VALVE BOX
- GATE VALVE ASSEMBLY
- FLUSH CAP ASSEMBLY IN 6" ROUND CARSON VALVE BOX
- POP-UP SPRAY SPRINKLER: RAIN BIRD 1804 1/4" 8 MPR SERIES NOZZLE
- IRRIGATION CONTROLLER UNIT
CONTROLLER: RAIN BIRD ESP12 LXME WITH RAIN SENSOR
CONFIRM LOCATION WITH GC OR OWNER'S REPRESENTATIVE
PROVIDE SMART CONTROLLER DATA INPUT CHART AT CONTROLLER
MOUNT RAIN SENSOR IN OPEN AREA TO RECEIVE WEATHER FROM ALL DIRECTIONS

A1

1" 12.47.0

INDICATES CONTROLLER AND CONTROLLER STATION NUMBER

INDICATES LATERAL DISCHARGE IN GPM (EXCEPT IN DRIP ZONES)

INDICATES REMOTE CONTROL VALVE SIZE IN INCHES

IRRIGATION NOTES

1. SYSTEM DESIGN ASSUMES 60 PSI AND 25 GPM AT POINT OF CONNECTION. VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
2. HAVE ALL UTILITIES LOCATED BEFORE CONSTRUCTION. COORDINATE ALL WORK WITH OTHER TRADES.
3. DRAWINGS ARE DIAGRAMMATIC. INSTALL ALL IRRIGATION COMPONENTS IN LANDSCAPED AREAS WHENEVER POSSIBLE. AVOID CONFLICTS WITH PLANT MATERIALS, ARCHITECTURAL FEATURES AND OBSTRUCTIONS ON SITE.
4. USE ONLY STANDARD TEE AND ELBOW FITTINGS - NO CROSS FITTINGS.
5. INSTALL BACKFLOW PREVENTION DEVICE PER LOCAL CODE.
6. USE 14 GAUGE DIRECT BURY SINGLE CONDUCTOR CONTROL WIRES. PROVIDE 2 ADDITIONAL CONTROL WIRES FROM CONTROLLER TO END OF MAINLINE FOR FUTURE EXPANSION.
7. ALL SHRUB AREAS SHALL BE IRRIGATED USING DRIP IRRIGATION. TREES SHALL BE IRRIGATED WITH 5 EMITTERS, AND 5 GALLON SHRUBS WITH 2 EMITTERS. PERENNIALS AND GROUNDCOVERS SHALL BE IRRIGATED WITH ONE EMITTER PER PLANT.
8. A MASTER SHUT-OFF VALVE SHALL BE INSTALLED DOWNSTREAM OF THE BACKFLOW DEVICE TO SHUT OFF WATER TO THE SYSTEM WHEN NOT OPERATING.
9. IRRIGATION CONTROLLER SHALL BE "SMART" CONTROLLER, USING CLIMATE-BASED OR SOIL MOISTURE-BASED TECHNOLOGY, SELECTED FROM THE IRRIGATION ASSOCIATION'S CURRENT SMART WATER APPLICATION TECHNOLOGIES (SWAT) TESTED PRODUCTS LIST OR OTHER SIMILARLY TESTED PRODUCT LIST. CONTROLLERS SHALL BE INSTALLED AND PROGRAMMED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
10. A RAIN SENSOR SHALL BE INSTALLED ON IRRIGATION CONTROLLER AND INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
11. REMOTE CONTROL VALVES SHALL HAVE FLOW CONTROL.
12. NOTE THE LOCATION OF POINT OF CONNECTION IS BENEATH PAVING. COORDINATE THE CONNECTION WITH GENERAL CONTRACTOR AND PLUMBING CONTRACTOR.
13. COORDINATE FINAL LOCATION OF BACKFLOW PREVENTION DEVICE AND CONTROLLER WITH GENERAL CONTRACTOR.
14. AREAS DESIGNATED AS NATIVE GRASS SEED SHALL BE PROVIDED WITH TEMPORARY IRRIGATION UNTIL GRASS IS ESTABLISHED. CONTRACTOR SHOULD MONITOR SEEDED AREA FOR PROPER IRRIGATION, EROSION CONTROL AND GERMINATION, RESEEDING AS NEEDED TO OBTAIN EVEN COVERAGE OF GRASS. CONTRACTOR TO REMOVE TEMPORARY IRRIGATION SYSTEM AFTER GRASSES ARE WELL ESTABLISHED. NATIVE GRASSES SHALL BE CONSIDERED WELL ESTABLISHED WHEN THE AREA CONTAINS AT LEAST 3 GRASS PLANTS PER SQUARE FOOT OF THE SEEDED SPECIES WITH THE GRASS BLADES BEING 3 INCHES OR LONGER, AND IS FREE OF ERODED AREAS AND NOXIOUS WEEDS.
15. PROVIDE GUARD SHACK ENCLOSURE FOR THE BACKFLOW PREVENTION DEVICE, MODEL GS-1 IN FOREST GREEN WITH OPTIONAL ENCPAD BASE. INSTALL PER MANUFACTURER'S INSTRUCTIONS. SEE DETAIL ON THIS SHEET.

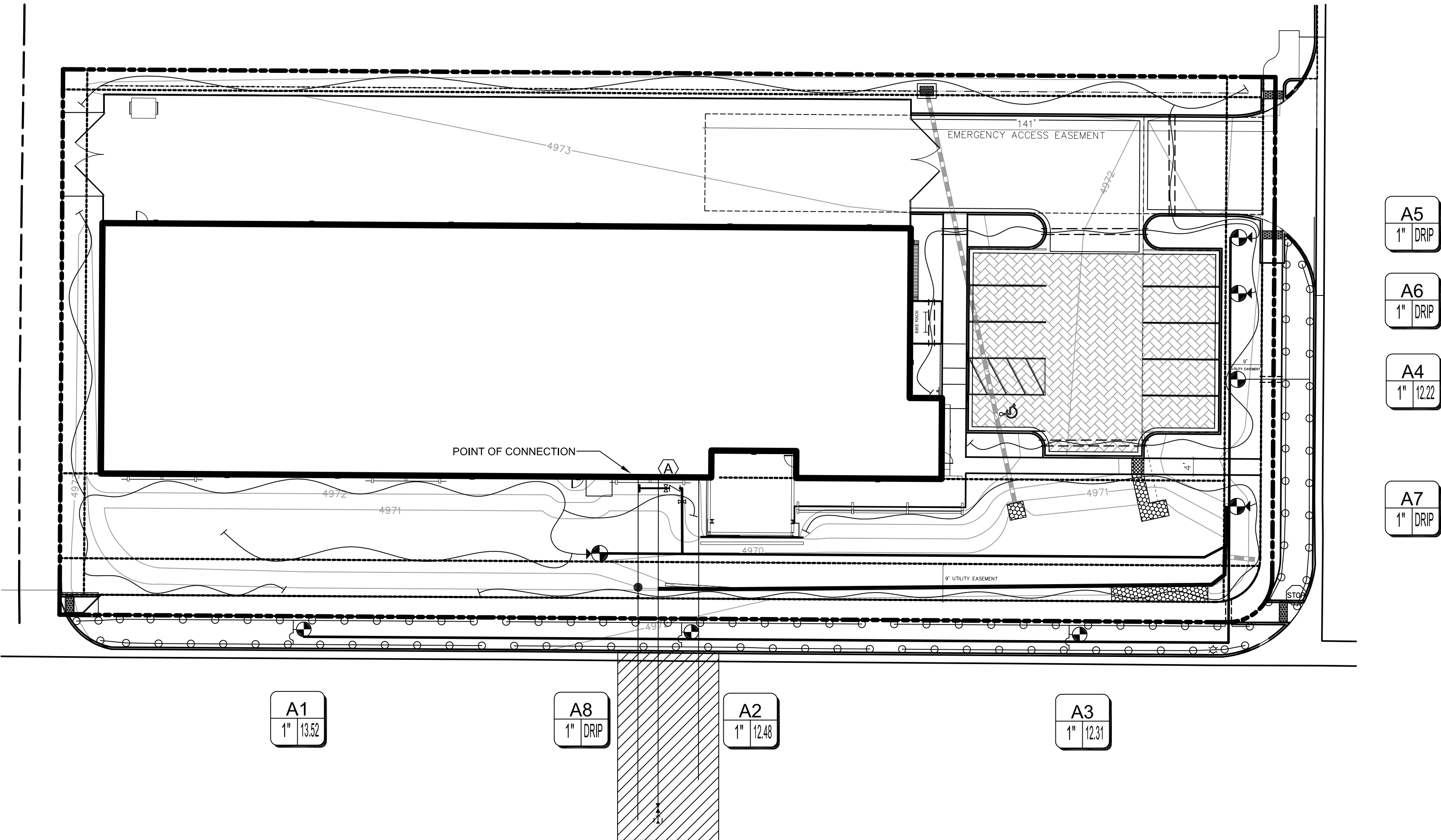
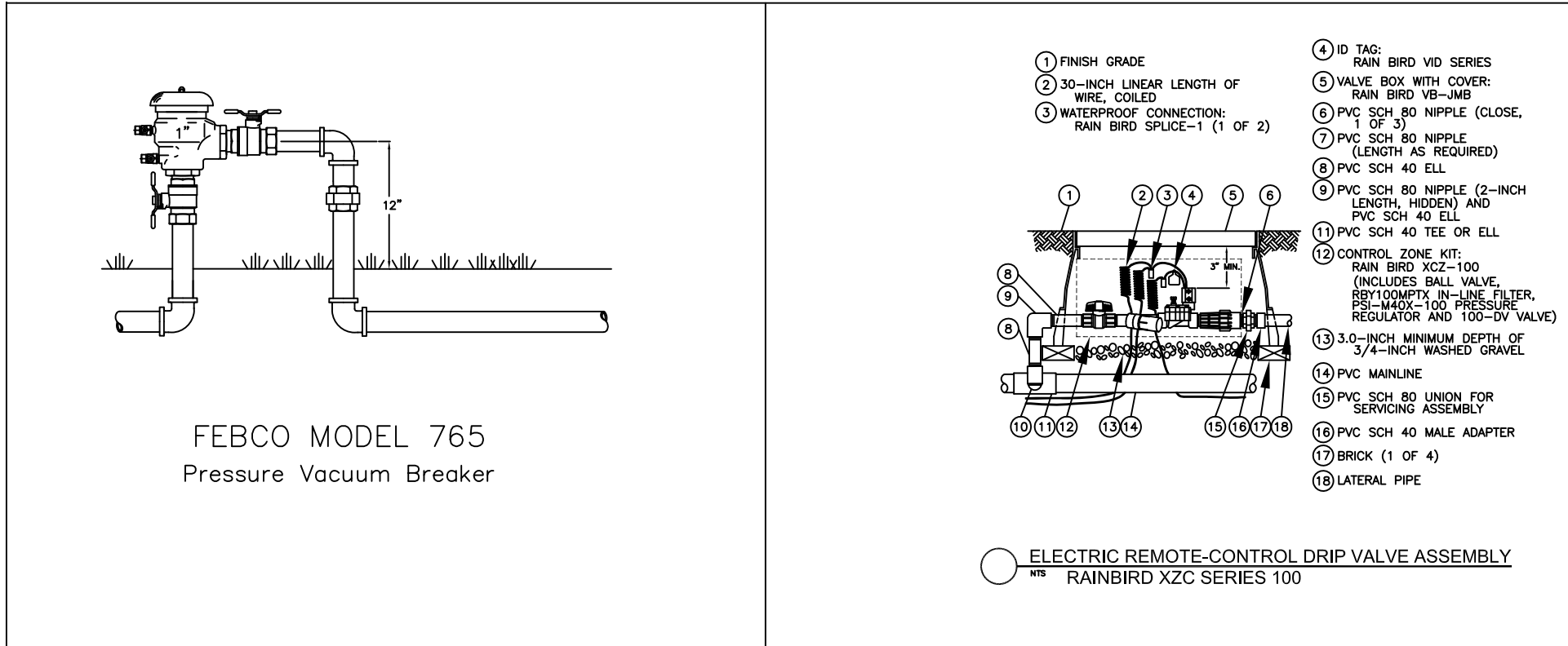
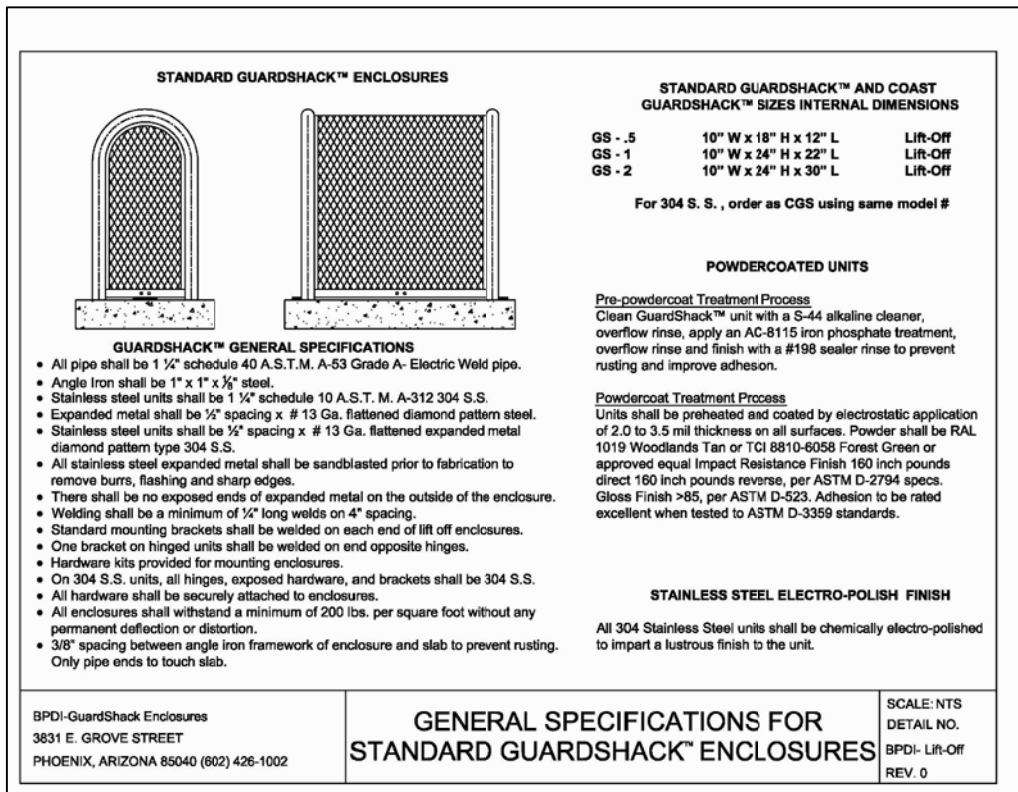
ANNUAL WATER USE CHART

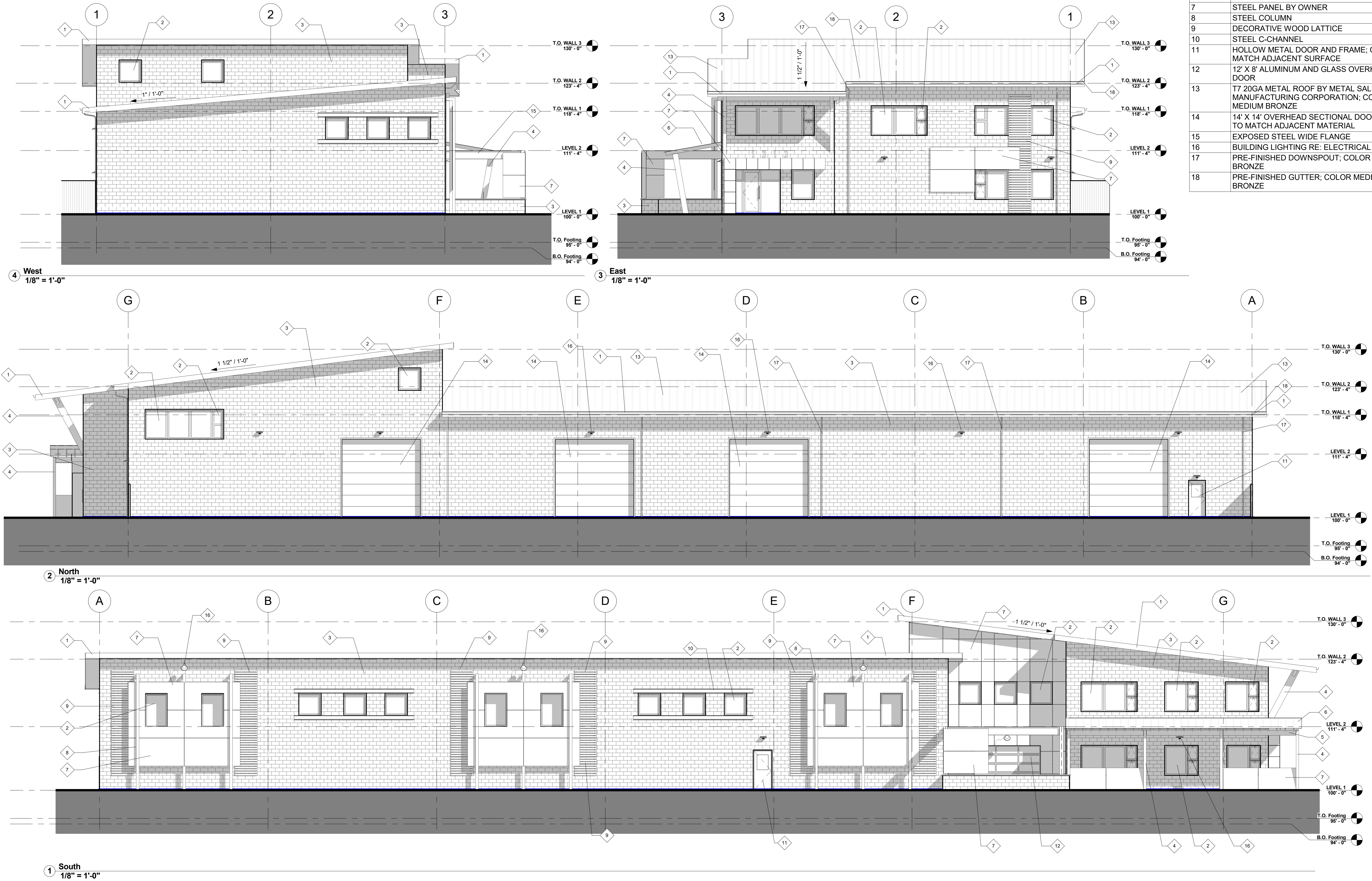
ZONE I.D.	IRRIGATED AREA (SF)	HYDROZONE	WATER USE (GAL. PER S.F.)	TOTAL WATER (GAL.)
A1	783	HIGH	14.94	11,700
A2	790	HIGH	14.21	11,232
A3	696	HIGH	16.13	11,232
A4	777	HIGH	14.45	11,232
A5	2,331	MED	1.85	4,320
A6	1,388	MED	6.30	8,800
A7	862	MED	9.10	7,846
A8	1,978	MED	4.40	8,800
TOTAL	9,605	—	AVG : 7.82	75,162

PRESSURE CALCULATION WORKSHEET

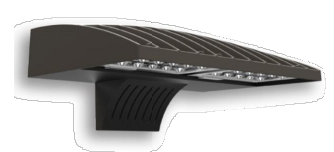
A.	Pressure available at point of connection	60	psi
B.	Pressure loss through the meter	- 4.8	psi
C.	Pressure loss through backflow prevention device	- 12	psi
D.	Pressure loss in mainline pipe from backflow prevention device to remote control valve	- 3	psi
E.	Pressure loss through remote control valve	- 4.2	psi
F.	Pressure loss in lateral pipe from remote control valve to most remote sprinkler	- 5	psi
G.	Elevation change from point-of-connection to most remote sprinkler (0.43 psi per foot of elevation): pressure loss or pressure gain	- + _____	psi
H.	Miscellaneous losses through other valves, strainers, etc. (in some cases this will not be applicable)	-	psi
I.	Total possible pressure loss (add B through H)	- 29.0	psi
J.	Remaining pressure (subtract I from A)	31.0	psi
K.	Minimum pressure required at sprinkler	15	psi
L.	Difference (Subtract K from J. If the value is negative, a booster pump may be needed. If the value is more than +15 psi, pressure reduction may be necessary for this zone, and/or other zones.) * Pressure regulator provided at zone.	16.0	psi

GUARD SHACK DETAIL





Keynote Legend	
Key Value	Keynote Text
1	20 GA. FINISH FASCIA; COLOR MEDIUM BRONZE
2	VINYL WINDOW W/ LOW E INSUL. GLAZING. COLOR: BLACK.
3	12" X 16" X 8" INSULATED SPLIT FACE CMU BLOCK, COLOR; DARK
4	TIMBER COLUMN
5	TIMBER BEAM
6	COLD ROLLED STEEL ROOF
7	STEEL PANEL BY OWNER
8	STEEL COLUMN
9	DECORATIVE WOOD LATTICE
10	STEEL C-CHANNEL
11	HOLLOW METAL DOOR AND FRAME; COLOR TO MATCH ADJACENT SURFACE
12	12' X 8' ALUMINUM AND GLASS OVERHEAD DOOR
13	T7 20GA METAL ROOF BY METAL SALES MANUFACTURING CORPORATION; COLOR MEDIUM BRONZE
14	14' X 14' OVERHEAD SECTIONAL DOOR; PAINT TO MATCH ADJACENT MATERIAL
15	EXPOSED STEEL WIDE FLANGE
16	BUILDING LIGHTING RE: ELECTRICAL
17	PRE-FINISHED DOWNSPOUT; COLOR MEDIUM BRONZE
18	PRE-FINISHED GUTTER; COLOR MEDIUM BRONZE



d'series

Specifications Luminaire

Width: 13-3/4" (34.9 cm)
Depth: 10" (25.4 cm)
Height: 6-3/8" (16.2 cm)

Weight: 12 lbs (5.4 kg)

Back Box (BBW, ELCW)

Width: 13-3/4" (34.9 cm)
Depth: 4" (10.2 cm)
Height: 6-3/8" (16.2 cm)

Weight: 5 lbs (2.3 kg)
Weight: 10 lbs (4.5 kg)

For 3/4" NPT side-entry conduit (BBW only)

Ordering Information


EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD BRONZE FINISH

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options	Other Options	Finish
DSXW1 LED	100 10 LEDs (one engine)	350 530 mA	30K 4000 K	T2S Type I Short	120 ¹	Shipped included	PE Photocentric exit, button type	SHIPPED INCLUDED	DBL00 Dark bronze
	200 20 LEDs (two engines)	700 1000 mA	40K 4000 K	T2M Type I Medium	208 ¹		SE Single size (120, 277 or 347V)		DBL00 Black
			50K 5000 K	T3S Type II Short	240 ¹	BBW Surface-mounted back box (for conduit entry) ¹	DMG 0-10V dimming driver (no controls)	DF Double size (208, 300V 480V)	DNA00 Natural aluminum
			AMBC Amber phosphor converted	T3M Type II Medium	240 ¹		PR 180° motion/ambient light sensor, <1° mag lit ¹	DS50 Sandstone	DW00 White
				T4M Type IV Medium	347 ¹		SPD Separate surge protection ¹	DBL00 Dark bronze	DS50 Sandstone
				TFM Forward Throw Medium	480 ¹		PBN 180° motion/ambient light sensor, 15-30° mag lit ¹	DBL00 Dark bronze	DS50 Sandstone
				ASYDF Asymmetric diffuser			ELCW Emergency luminaire backup (includes exit cap)	DMX00 Textured natural aluminum	DW00 White
							BSW Bird-deterrent spikes	DS500 Textured sandstone	
							WG Wire guard		
							VG Vandal guard		
							DL Diffused drop lens		

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF) option, or photocentric (PE) option.
- Only available with 20C, 200mA or 1000mA. Not available with PR or PBN.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocentric (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PR or PBN).
- PR specifies the Sensor Switch (SS20) 10-100° control. PBN specifies the Sensor Switch (SS20) 4-20° control. See Motion Sensor Switch for details. Includes ambient light sensor. Not available with "PE" option (button type photocentric). Dimming driver standard. Not available with 20 LED/1000 mA configuration (DSXW1 LED 20C 1000).
- Cold weather (COC) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode (ES) has located on product page www.lithonia.com.
- Single line (SF) requires 120, 277 or 347 voltage option. Double line (DF) requires 208, 240 or 480 voltage option. Not available with ELCW.
- Also available as a separate accessory, see Accessories information.
- See the electrical section on page 5 for more details.

TYPE 'BB'
TYPE 'BB1' - EM
TYPE 'BB2' - MOTION SENSOR



PROJECT: RAW URTH
TYPE: GOOSE

ROUND CAMLOCK™ CANOPY

RECTANGULAR CAMLOCK™ CANOPY

SURFACE MOUNT WITH BRACKETS

SPECIFICATIONS

GreenSource Initiative™

Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced on site. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFCs). Use of this product may qualify for GreenSource efficacy and recycling rebates. Consult: www.lithonia.com/greensource for program requirements.

Materials

Furnished in Copper-Free Aluminum (Type 6061-T6).

Style

"D" Style provides dual bend, 90° radius from fixture to stem. Integral, fully adjustable fixture is positioned beneath a 10-3/4" dia. RLM Reflector with 45° cutoff.

Body

Fully machined from solid billet. Unbody design provides enclosed, water-proof wiring and integral heat sink for maximum mechanical strength. High temperature, silicone "V" Ring provides water-tight seal.

KnuKle

The "LOCK" (Locking "V" Ring Compression KnuKle) is comprised of two components. The first is integral to the body and features an interior, machined taper. The second is machined from solid billet and features a second, reverse angle taper. The resultant mechanical taper lock allows a full 180° vertical adjustment without the use of serrated teeth, which inherently limit aiming. High temperature, silicone "V" Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 75 lb. static load prior to movement to ensure decades of optical alignment. Biaxial source control with 360° horizontal rotation in addition to vertical adjustment.

Cap

Fully machined. Accommodates (1) lens or lower media. Flush lens.

Stem

Fully machined, 1" dia. with internal threads for maximum visual appeal. Available in configurable lengths to 48" maximum overall.

Transformer

Integral, Th20 electronic transformer, 105-300VAC primary/voltage, 50/60Hz. Non-Dimming, 20VA maximum load.

Wiring

PVC coated, 18AWG, 150V, 60°C rated and certified to UL 1838 standard.

Hardware

Tamper resistant, stainless steel hardware. "LOCK" aiming screw and canopy mounting screws are additionally black oxide treated for additional corrosion resistance.

Finish

StarGuard®: our exclusive RoHS compliant, 15 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class "A" TOC polyester powder coating.

Warranty

5 year limited warranty.

Certification and Listing

StarGuard® ETL Listed to ANSI/UL Standard 1598. Certified to CAN/CSA Standard C22.2 No. 250 (PNE Rated, RoHS compliant). Suitable for indoor or outdoor use. Suitable for use in wet locations.

PM1™

NEMA 4X / IP66 Rated Enclosure. ETL Listed to ANSI/UL Standard C22.2 No. 94.1/94.2.


RoHS

RoHS compliant. Suitable for indoor or outdoor use. Suitable for use in wet locations. IP66 Rated. Made in USA.

Integration

Universal Power Module™ (PM1) features aluminum extrusion with die cast and caps. Surface mounted with flow through back channel to prevent water and debris collection. Machined aluminum cover with countersunk holes for flush hardware installation. Front access for ease of installation and inspection. (2) 1/2" NPT female conduit entries per end cap for through wiring. Specify Surface Mount (SM), Round Camlock™ Canopy (CR) or Rectangular Camlock™ Canopy (CT).

TYPE 'EE'



Project: RAW URTH

Type: BIKE

Qty: 1

Series **Optics** **Mounting** **Light Engine** **CCT** **Finish** **Voltage** **Options**

BPL R2 W 4TL500 45 BZ 277

Pole Series Height Finish Pole Options

Series	Optics	Mounting	Light Engine	CCT	Finish	Voltage	Options
BPL	R1 Type I	1C Single Double Cluster	4TL350 ¹ 350mA / 40W	30 3000K	WH White	120	HS House Side Shield
	R2 Type II	2C Double Cluster	4TL500 500mA / 56W	45 4500K	BK Black	208	PCT Photocentric Tenon
	R3 Type III	3C Triple Cluster			BZ Bronze	277	DM ¹ Dimming (0-10V)
	R4 Type IV	4C Quadraple Cluster			SV Silver	347	HL ² H-Lo Switching
	R5 Type V	W Wall Mount			SP Specify Premium Color	480	
		P Pendant					

NOTES


- LED Driver - (Not shown) High power factor, high efficiency constant current LED driver, 120-277 VAC input. Protection class IP67, 347/480V with step down transformer.
- Surge Protection - (Not shown) 3-Pole Surge protection device safeguards electrical components from indirect lightning strikes and surges up to 10kA and 10kV, RoHS compliant.
- Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention. All products are tested in accordance with best specifications for coatings from ASTM and PCI.
- Listings and Ratings: Tested to IESNA LM-79-08 and LM-80 test standards at 25° C ambient temperature. Rated for wet locations.

custom molded lenses create IES distribution types I, II, III, IV and V with IDA-Approved "Dark Sky Friendly" performance.

Standard exterior colors are White (WH), Black (BK), Bronze (BZ) and Silver (SV). Selux premium colors (SP) are available, please specify from our Selux color selection guide.

5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the Beta Pendant LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the fixture, LED driver and LED light engine when installed and operated according to Selux instructions. Fixture suitable for ambient temperature of 40° C (104° F). For details and exclusions, see "Selux Terms and Condition of Sale."

Listings and Ratings: Tested to IESNA LM-79-08 and LM-80 test standards at 25° C ambient temperature. Rated for wet locations.



LDN6 40/10 L06/AR 277

Notes: Mounted at 10' AFG

Type: DN

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — 16-gauge galvanized steel mounting/plaster frame with trim clips to mount open conical shape reflector.

Vertically adjustable mounting brackets that use 16-gauge flat bar hangers (included), 1/2" conduit or 1/2" channel 1 bar fasteners. Provides 3 1/4" total adjustment.

Post installation adjustment possible from above or below the ceiling.

Galvanized steel junction box with bottom-hinged access covers and spring latches. Two combination 1/2"-3/4" and three 1/2"-3/4" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out) No. 12 AWG conductors, rated for 90°C.

Secondary housing adjustment system for precise, final ceiling-to-flange alignment.

Maximum 1 1/2" using thickness.

OPTICS — LED light source with diffused lens, recessed in a deep reflector with a 55-degree cutoff. Aluminum full reflectors are optically designed to maximize lumen output and to provide superior glare control. Anodized trim colors for open and wallwash reflectors are available in clear, pewter, wheat or gold. White polyester powder coat also available.

Minimum CR of 48.

ELECTRICAL — High efficiency, e40LED 0-10V dimming driver mounted to the junction box, dims luminaire to 10% of its light output. 1% dimming option available (see E2) ordering options below).

Dimming feature requires two (2) additional low-voltage wires to be pulled.

For compatible dimmers and dimming range, refer to Dimmer Compatibility Chart on page 6.

The system maintains 70% lumen output for more than 50,000 hours.

LISTINGS — CSA certified to US and Canadian safety standards. Open daylight (L06). Wet location listed. Wallwash daylight (LW6). Rated for damp and dry locations only. (E2/E6) 5184" certified.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.selux.com/CustomerResources/terms_and_conditions.asp

Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Note: Specifications subject to change without notice.

LDN6 35/15 L06AR 120

6" OPEN and WALLWASH LED Non-IC New Construction Downlight

Maximum Overall Dimensions — All dimensions are inches (centimeters) unless otherwise indicated.

Lumen package	(A) Height	(B) Frame height	(C) Aperture	(D) Ceiling opening	(E) Outside diameter	(F) Width	(G) Length
600 lm	4-7/16 (114.0)	5-3/4 (14.4)	6-15/16 (17.6)	7-1/8 (18.1)	7-1/2 (19.1)	12-15/16 (32.8)	10-15/16 (27.8)
1000 lm	4-7/16 (114.0)	5-3/4 (14.4)	6-15/16 (17.6)	7-1/8 (18.1)	7-1/2 (19.1)	12-15/16 (32.8)	10-15/16 (27.8)
2000 lm	4-7/16 (114.0)	5-3/4 (14.4)	6-15/16 (17.6)	7-1/8 (18.1)	7-1/2 (19.1)	12-15/16 (32.8)	10-15/16 (27.8)

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 L06AR 120

LDN6	Color temperature	Lumens	Reflector	Trim color	Finish	Voltage	Options
LDN6	277 2700 K	600 600 lumens	L06 Open daylight	Clear	(blank)	120	EL Emergency battery pack with integral test switch ⁴
	30/ 3000 K	10 1000 lumens	LW6 Wallwash daylight ¹	PR Pewter	LD	277	ELR Emergency battery pack with remote test switch ⁴
	35/ 3500 K	15 1500 lumens		GR Gold	LS	347 ¹	SF Single face
	40/ 4000 K	20 2000 lumens		WR White ¹			TRW White painted flange ¹
				BR Black ¹			TRBL Black painted flange
							NPSR0EZ 6-light* dimming pack controls 0-10V e40LED drivers. Refer to T3-533.
							NPSR0EZ 6-light* dimming pack controls 0-10V e40LED drivers. ER controls features on emergency circuit. Refer to T3-633.
							RRL RELOC* ready luminaire connectors enables a simple and consistent factory installed option across all ABG luminaire brands. Refer to B8, for complete nomenclature.
							E21 e40LED dims to 1% of e40LED output
							CP Chicago platinum ^{1,5}

Accessories: Order as separate catalog number.

EAC SS58 375 Compact interruptible emergency AC power system

EAC SS58 125 Compact interruptible emergency AC power system


G468 1Z Oversized trim ring with 8" outside diameter¹⁰

SCA6 Sloped ceiling adapter. Refer to T3-534 for more options.

Notes

- Approximate lumen output.
- Overall height varies by lumen package. Reference dimension chart on page 1.
- Rated for damp and dry locations only.
- Not available with finishes.
- Not available with emergency options.
- For dimensional changes, refer to chart on page 4. Not available with CP option.
- Not available with WR white trim color.
- For use with generator supply (EL power). Will require an emergency hot feed and normal hot feed.
- 277 volt CP products require marked spacing. Install with minimal spacing between: (a) Center-to-center of adjacent luminaire 2 ft. (b) Top of luminaire to overhead building member 3 ft. (c) Luminaire center to side of building member 1 ft. Refer to T3-534 for more options.
- Refer to T3-534 for more options.

TYPE 'DD'



PROJECT: RAW URTH
TYPE: GOOSE

CATALOG NUMBER: SN-48-D-LED-e23-WFL-A9-BZP-PM1-SM

SOURCE: EC to reinforce wall where sign light to be mounted.

CATALOG NUMBER LOGIC

Example: SN - 24 - D - LED - e23 - MFL - A4 - BZP - 12 - 11 - PM1 - CT - MB

Series **SN** - Sign Star™

Stem Length **24** - 18", 24", 30", 36", 42", 48" (Specify in inches)

Style **D** - Dual bend, 90° Radius with 45° RLM Reflector

Source **LED** - "e" Technology with Integral Driver

LED Type **e23** - 8W/LED/27K, **e22** - 8W/LED/3K

Optics¹ **NSP** - Narrow Spot (Red Indicator) **SP** - Spot (Green Indicator) **MFL** - Medium Flood (Yellow Indicator) **WFL** - Wide Flood (Blue Indicator)

Adjust-e-Lume® Output Intensity¹⁰ (Choose factory setting) **23** Standard, **A8, A9, A6, A5, A4, A3, A2, A1**

¹⁰ Refer to Adjust-e-Lume® photography to determine desired intensity.

Finish

Powder Coat Color	Satin	Whistle	ABP	Antique Brass Powder	CAG	Cascade Mountain Granite	BMG	Rocky Mountain Granite
Bronze	BZP	BZW	AMG	Alabaster Mountain Granite	CB	Cashed Ice	SDS	Sonoran Desert Sandstone
Black	BLP	BLW	ACW	Antique White	CM	Crain	SAG	Santa Mountain Granite
White (Gloss)	WHP	WHW	BCM	Black Chrome	HUG	Hunter Green	TFG	Textured Forest
Aluminum	SAP	—	BGE	Beige	NDS	Nogara Desert Sandstone	WCP	Weathered Copper
Verde	—	VER	BPP	Brown Patina Powder	NBP	Natural Brass Powder	WIR	Weathered Iron
			CAP	Cap Anodized Powder	OCF	Cold Copper		

Lens Type **13** - Soft Focus Lens

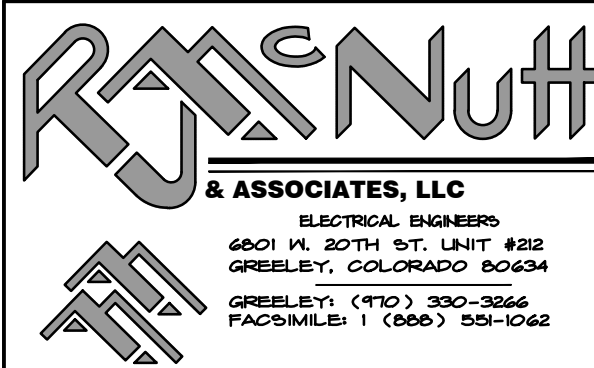
Shielding **11** - Honeycomb Baffle

Transforming Style **PM1** - Universal Power Module™ with Th20 Electronic Transformer (105-300VAC, 50/60 Hz, Non-Dimming)

Mounting **SM** - Surface Mount **CR** - Round Camlock™ **CT** - Rectangular Camlock™

Options **MB** - Mounting Brackets (for CR and CT only)

DRIVER DATA				Dimmable				Operation Ambient Temperature			
12VAC/DC 50/60Hz				250mA (non-dimmed)				-22°F to 134°F (-30°C - 50°C)			
Magnetic Low Voltage Dimmer											
LM79 DATA				L70 DATA				*OPTICAL DATA			
BK No.	CCT (Typ.)	Input Watts (Typ.)	CRI (Typ.)	Minimum Rated Life (hrs.)	70% of Initial Lumen (L70)	Beam Type	Angle	CBPC	Visual Indicator		
e38	2700K	8.4	90	50,000	50,000	Narrow Spot	14°	3694	Red Dot		
e23	3100K	8.4	90	50,000	50,000	Spot	18°	2456	Green Dot		
e25	4100K	8.4	75	50,000	50,000	Medium Flood	29°	1335	Yellow Dot		
e27	Amber (560nm)	7.9	—	50,000	50,000	Wide Flood	36°	747	Blue Dot		



Ray Nutt & Associates, LLC

ELECTRICAL ENGINEERS

6601 W. 20TH ST., UNIT #212
GREENSBY, COLORADO 80134
GREENSBY, (710) 330-2664
FACSIMILE 1 (866) 551-0262



RAW URTH DESIGNS



HAUSER ARCHITECTS

3780 East 15th Street, Suite 201 • Loveland, Colorado 80538
970.669.8220
E-mail: info@hauserarchitectspc.com

RAW URTH DESIGNS

AMY SASICK

1313 BLUE SPRUCE DR, FORT COLLINS, CO 80524

CUT SHEETS

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/15	PHOTOMETRIC REVISED
2	08/20/15	PHOTOMETRIC REVISED

SHEET E2P