

ITEM NO ____2_ MEETING DATE <u>May 14, 2014</u> STAFF <u>Holland</u> HEARING OFFICER

STAFF REPORT

- **PROJECT:** Plum and Shields Extra Occupancy Rental House, PDP #130053 and Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L) Table A.
- APPLICANT: Cathy Mathis TB Group 444 Mountain Avenue Berthoud, Colorado 80513
- OWNER: 801 Shields, LLC 1155 15th Avenue Longmont, CO 80501

PROJECT DESCRIPTION:

This is a request for a Project Development Plan to convert an existing 3-story building formerly used as a group home facility (formerly occupied by Turning Point) to an extra occupancy rental house. The site is located on .413 acres at 801 South Shields Street and is in the Community Commercial (C-C) Zone District and the TOD Overlay District. The project includes a reconfiguration of the existing parking area with new a new trash enclosure, landscaping, sidewalks and street improvements. The project proposes an occupancy limit of 20 residents with 15 off-street parking spaces and 21 bicycle spaces.

The project includes two modifications of standard that address Section 3.2.2(J) requesting a reduction in setbacks for parking and Section 3.2.2(L), Table A, requesting a reduction in dimensional standards for two-way drive isles.

RECOMMENDATION:

Approval of the Project Development Plan and Modifications of Standard

EXECUTIVE SUMMARY:

The Plum and Shields Extra Occupancy Rental House and Modifications of Standard comply with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The P.D.P. complies with process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L) Table 'A' meet the applicable requirements of Section 2.8.2(H), and the granting of these modifications would not be detrimental to the public good.
- The P.D.P. complies with relevant standards located in Division 4.18, Community Commercial District (C-C) of Article 4 Districts.
- The P.D.P. complies with relevant standards located in Article 3 General Development Standards, subject to approval of the two Modifications of Standard.

COMMENTS:

1. <u>Background:</u>

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	(C-C) Community Commercial	Gamma Phi Beta Greek Housing
South	(C-C) Community Commercial	Lutheran Campus Ministry at CSU
East	Colorado State University Campus	Moby Arena parking lot
West	(C-C) Community Commercial	1109 West Plum Street – 4 unit multi-family building

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Land Use History:

- The property was annexed in May 1958 as part of the First South Shields Street Consolidated Annexation.
- The existing building located at the site was originally constructed in the 1960's and operated as a fraternity house. The fraternity use was later abandoned, and a minor amendment was approved to change the use to a group home, known as Turning Point for Youth and Family Development. The minor amendment was approved in 1999 and provided some improvements to the building façade and site layout.

2. <u>Compliance with Community Commercial (C-C) Standards</u>:

The project complies with all applicable C-C standards with the following relevant comments provided:

A. Section 4.18(A) – Purpose

The proposed land use is consistent with the purpose of the Community Commercial District, which is described as follows:

The Community Commercial District provides a combination of retail, offices, services, cultural facilities, civic uses and higher density housing. Multi-story buildings are encouraged to provide a mix of residential and nonresidential uses. Offices and dwellings are encouraged to locate above ground-floor retail and services.

B. Section 4.18(B) – Permitted Uses

The proposed Extra Occupancy Rental House land use is consistent with the permitted uses in the Community Commercial District. An Extra Occupancy Rental House use with more than five tenants is considered a <u>residential use</u> in the zone district subject to a Type 1 administrative review.

C. Section 4.18(F) – Development Standards for the Transit-Oriented Development (TOD) Overlay Zone.

The project is located within the T.O.D. Overlay Zone and is subject to the requirements of Division 3.10 of the L.U.C. Compliance with the relevant provisions of this section is discussed in subsequent pages of this staff report.

D. Section 4.18(E) – Building Height

The project's existing 3-story building height is in compliance with this section which limits the height of buildings to a maximum of 5 stories.

3. <u>Compliance with Article 3 of the Land Use Code – General Development</u> <u>Standards</u>

The project complies with all applicable General Development Standards with the following relevant comments provided:

- A. Section 3.2.1 Landscaping
 - The site contains five existing trees along West Plum and South Shields Streets that will be preserved and protected with the proposed renovation of the site. Five existing trees are being removed from the site, with four of the five trees in poor condition and one in fair condition. No mitigation is required for the removal of the existing trees due a combination of poor condition and undesirable species type.
 - The applicant has coordinated with the City Forester to evaluate and accommodate the existing trees on the site. Of particular concern is the existing 46 inch caliper Cottonwood in the northwest corner of the site. A realignment of the existing entrance drive and street sidewalk in the northwest corner is proposed to preserve and provide space for this Cottonwood to the extent feasible.
 - Three additional street trees are provided along the West Plum Street frontage, and will be located in tree grates to reinforce an urban character of the area and to help provide some buffer space between pedestrians and the street.
 - Additional smaller ornamental trees are proposed along the north building frontage to soften the building façade, provide transition and enhance the pedestrian oriented, human scale of the streetscape.
 - To the maximum extent feasible, "Full Tree Stocking" is provided along all high use and high visibility areas of the development in accordance with the standards of this section.
 - Ground cover areas in parking lots and at building foundations are planted with deciduous, evergreen and ornamental landscape material in accordance with the minimum requirements. Trees and shrubs are planted in the parking lot interior and perimeter in conformance with the minimum requirements.

- B. Section 3.2.2 Access, Circulation and Parking
 - Section 3.2.2(K)(j) Required off-street parking for Extra Occupancy Rental Houses. The project use is limited to 20 occupants and provides a total of 15 off-street parking spaces in accordance with the minimum quantity of this section, which requires 0.75 parking spaces per tenant. The site plan also stipulates that a Resident Manager will be present at the building and that a parking space will be available for this manager.
 - One handicap parking space is provided in accordance with the minimum requirement in Section 3.2.2(K)(5).
 - With the exception of the minimum required drive isle width for two-way traffic, the project is in compliance with the minimum required dimensions for off-street parking areas, as outlined in Table A and B of Section 3.2.2(L). The applicant is requesting a Modification of Standard to reduce the minimum drive isle width, and this request is discussed in detail on subsequent pages of this staff report.
- C. Section 3.2.2(C)(6) Direct On-Site Access to Pedestrian and Bicycle Connections

The project is providing an extensive re-configuration of the parking area, and this re-configuration enables a new 6 foot sidewalk to be constructed which provides a direct connection from the building's entrance to the existing sidewalk along South Shields Street in accordance with the requirements of this section. Fixed bicycle parking is planned in accordance with the minimum quantity and is placed appropriately along the building frontage. Enclosed bicycle parking is provided within the building in accordance with the minimum quantity required.

D. Section 3.2.5 – Trash and Recycling Enclosures

In accordance with the requirements of this section, the project provides a new fully screened trash enclosure location with walk-in access to recycling and waste containers. The enclosure is designed with durable materials that are compatible with the building structure.

E. Section 3.5.2 – Residential Building Standards

3.5.2(B) General Standard. No changes are proposed to the existing building design. The existing building remains in compliance with the general standard of this section, which requires that buildings shall include human-scaled elements, architectural articulation and shall place a high priority on building entries and

their relationship to the street. The building design complies with these standards by providing a clearly defined building entrance and improving the direct access to the street. The building facades comply with this standard by providing appropriate variation in massing and form as well as appropriate variation in material placement, pattern and selection.

Although the L.U.C. does not mandate conformance to a particular building style, the building's existing form and materials are an appropriate reflection of a midcentury modern design indicative of the period in which the building was originally constructed.

3.5.2(D) Orientation to a Connecting Walkway. The project complies with this standard by providing a direct connecting walkway, 6 feet in width, which connects the primary entrance to the street sidewalk.

3.5.2(E)(1) Setback from Arterial Streets. The project complies with this section because the building is set back more than 30 feet from the South Shields Street right-of-way.

3.5.2(E)(2) Setback from Nonarterial Streets. The project complies with this section because the building is set back more than 15 feet from the West Plum Street right-of-way.

F. Section 3.6.4 Transportation Level of Service Requirements

Staff has reviewed the proposed project and has determined that the vehicular, pedestrian and bicycle facilities proposed with this P.D.P are consistent with the standards contained in Part II of the City of Fort Collins Multi-modal Transportation Level of Service Manual. Additionally, due to the fact that the proposed use does not increase the total motor vehicular traffic from what was approved with prior uses, a separate Traffic Impact Study was not required by Traffic Operations staff.

G. Section 3.10 Development Standards for the Transit Oriented Development (TOD) Overlay Zone

3.10.4(C) Streetscape. The project complies with this standard by providing formal streetscape improvements along West Plum Street including a ten foot wide sidewalk with street trees in tree grates.

3.10.5(A) Articulation. The project complies with this standard by providing exterior building walls that are subdivided and proportioned to a human scale using projections, overhangs and recesses in order to add architectural interest

and variety and avoid the effect of a single, massive wall with no relation to human size.

3.10.5(B) Rooflines. The project complies with this standard by providing a flatroofed building design that features a three-dimensional cornice treatment on all walls facing streets or connecting walkways.

3.10.5(C) Materials and Colors. The project complies with this standard by:

(1) Providing high quality exterior building materials including stone, painted concrete masonry and stucco systems;

(2) Incorporating stone veneer, stucco and concrete masonry in a manner that highlights the articulation of the massing and the base and top of the building;

(3) Providing appropriate material facade colors that are low reflectance, subtle and earth tone colors.

MODIFICATIONS OF STANDARD:

Land Use Code Modification Criteria:

"The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

(1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or

(2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or

(3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography,

or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

4. <u>Modification of Standard Request to Section 3.2.2(J) which requires that</u> parking be set back from a lot line a minimum width of 5 feet at any point.

A. Description of the Modification:

The applicant has submitted a request for approval of a Modification of Standard to 3.2.2(J) to have a landscaped parking setback ranging from 0 feet to 7.5 feet along the southern property line.

B. The standard:

3.2.2(J) **Setbacks.** Any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet shall be set back from the street right-of-way and the side and rear yard lot line (except a lot line between buildings or uses with collective parking) consistent with the provisions of this Section, according to the following table":

	Minimum average of entire landscaped setback area (feet)	Minimum width of setback at any point (feet)
Along an arterial street	15	5
Along a nonarterial street	10	5
Along a lot line	5	5

C. Applicant's Justification:

The applicant has provided the following justification narrative:

"The project is attempting to utilize an existing building and site to the maximum extent feasible. The property has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes.

Because of these factors, the landscape setback area along the south property line ranges from 0' to 7.5'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a landscaped setback ranging from 0' to 7.5' along the south property line.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2 for the following reasons:

The proposed plan provides a solid privacy fence along roughly ½ of the length of the vehicle use area, thus providing additional screening.

The property is unsightly and the landscaping is in poor shape. The new owners intend to enhance the plantings all throughout the entire site. Currently there is virtually no landscape along the south property line. New plant material will be added in the strip.

The intent of the required 5' vehicular use area setback is to provide sufficient space for visual screening and to enhance the appearance of the vehicle use area, The proposed landscape area, although smaller than allowed, will provide a softened edge of landscape interior to the parking area while mitigating the visual impact to the property to the south."

D. Staff Finding for the Modification:

Staff finds that the request for the Modification of Standard to Section 3.2.2(J) Setbacks is justified by the applicable standards in 2.8.2(H). The granting of the Modification would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal,

inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project includes a privacy fence in combination with a varied landscape edge that provide screening and enhance the visual quality of the parking area while mitigating the visual impact to the property adjacent to the south, and the overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

(J) Improving the design, quality and character of new development;

(L) Encouraging the development of vacant properties within established areas and;

(O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

5. <u>Modification of Standard Request to Section 3.2.2(L) Table A.</u>

1) Description of the Modification:

The applicant has submitted a request for approval of a Modification of Standard to Section 3.2.2(L), Table A Standard Vehicle Dimensions to permit a two-way drive aisle width of 18.6 feet instead of 24 feet.

2) The standard:

Section 3.2.2(L) Parking Stall Dimensions. Off-street parking areas for automobiles shall meet the following minimum standards for long- and short-term parking of standard and compact vehicles:

Standard Vehicle Dimensions in feet								
Α	В	С	D	Ε	F	G		
0°	8	23	8	23	20	12		
30°	8.5	20	17.4	17	20	15		
45°	8.5	20	20.2	12	20	15		

TABLE A

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60°	9	19	21	10.4	24	20
90°	9	19	19	9	<mark>24</mark> *	20**

A-Angle of Parking

B-Stall Width

C-Stall Length

D-Stall Depth

E-Curb Length

F-Two-Way Drive Aisle Width

G-One-Way Drive Aisle Width

* When garages are located along a driveway and are opposite other garages or buildings, the driveway width must be increased to 28 feet.

** When an overhand is allowed to reduce stall depth, aisle width must be increased to 22 feet.

3) Applicant's Justification:

The applicant has provided the following justification narrative:

"The project is attempting to utilize an existing building and site to the maximum extent feasible. The site has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes. Off-street parking is critical for the success of this project, therefore, in addition to 11 head-in spaces, there are 4 parallal parking spaces located along the south side of the parking area.

Because of these factors, the two-way drive asile width is 18.6' instead of 24'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a two-way drive aisle be 18.6'.

Justification:

We feel that the granting of this modification of standards would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant. Below is the justification:

- The parking area as modified provides off-street parking, which is desirable. The off-street spaces help reduce on-street parking, therefore providing a benefit to the adjacent neighborhoods.
- The intent of the 24' wide drive aisle width is to allow cars to have ample room to back out of a parking space. We feel that, although not ideal, the benefits of the parking stalls outweigh the inconvenience of having a narrower drive aisle."

4) Staff Finding for the Modification:

Staff finds that the request for the Modification of Standard to Section 3.2.2(L), *Table A Standard Vehicle Dimensions* is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has an existing building location with limited space to the south of the building for parking, sidewalk access and landscaping. This narrow constricted area represents an exceptional physical condition and undue hardship not caused by the applicant, and the strict application of the 24 foot drive isle dimensional standard would render the off-street parking area infeasible. In order to accommodate a new sidewalk that is 6 feet in width, landscaping along the building facade and new

parking stalls that meet the dimensional requirements, the space remaining for the drive isle is narrow. Additionally, staff finds that while the drive isle dimension of 18.6 feet may represent a condition that is less convenient for residents, sufficient space exists with the reduced dimension to enter and exit the parking spaces. While some additional maneuvering may be required by motorists, this inconvenience is not detrimental to the public good.

Staff also finds that the request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project accommodates a new sidewalk that is 6 feet in width, new landscaping along the building facade and new parking stalls that meet the dimensional requirements, and that the reduced drive isle width is nominal and allows a better overall configuration of site plan elements. The overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

(J) Improving the design, quality and character of new development;

(L) Encouraging the development of vacant properties within established areas and;

(O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

6. <u>Neighborhood Meeting</u>

Although the use proposed does not require a City neighborhood meeting, a meeting was held on March 24, 2014 at the Lutheran Campus Ministry adjacent to the south of the proposed project. The meeting was attended by five citizens who received written notification of the neighborhood meeting. A summary of the questions and concerns expressed at the meeting is as follows:

 Increase in motor vehicle traffic along West Plum Street and at the intersection of West Plum and South Shields Streets adjacent to the property. Concern was expressed related to the cumulative impact of new student housing projects along West Plum Street and that no additional travel lanes are proposed at the intersection to alleviate the increase in motor vehicular traffic. Plum and Shields Extra Occupancy Rental House, PDP #130053 and Modifications of Standard Administrative Hearing, May 14, 2014 Page 14

- Concern that adequate off-street parking be provided, and that residents and guests of the proposed facility will park on adjacent properties without permission.
- 3) Concern that the proposed extra occupancy rental use will be a dwelling condition that may promote and encourage public nuisances such as excessive noise. Concern that the use's living situation will be unsupervised and therefore will attract nuisance behavior.

Citizens at the meeting requested that the total occupancy be reduced from the 37 occupants originally proposed at the neighborhood meeting, and that the facility provide and on-site manager.

7. <u>Findings of Fact/Conclusion</u>

In evaluating the Plum and Shields Extra Occupancy Rental House Project Development Plan, staff makes the following findings of fact:

A. The Modification of Standard to Section 3.2.2(J) Setbacks is justified by the applicable standards in 2.8.2(H). The granting of the Modification would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project includes a privacy fence in combination with a varied landscape edge that provide screening and enhance the visual quality of the parking area while mitigating the visual impact to the property adjacent to the south, and the overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

(J) Improving the design, quality and character of new development;

(L) Encouraging the development of vacant properties within established areas and;

(O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

B. The Modification of Standard to Section 3.2.2(L), Table A Standard Vehicle Dimensions is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has an existing building location with limited space to the south of the building for parking, sidewalk access and landscaping. This narrow constricted area represents an exceptional physical condition and undue hardship not caused by the applicant, and the strict application of the 24 foot drive isle dimensional standard would render would render the off-street parking area infeasible. In order to accommodate a new sidewalk that is 6 feet in width, landscaping along the building facade and new parking stalls that meet the dimensional requirements, the space remaining for the drive isle is narrow. Additionally, staff finds that while the drive isle dimension of 18.6 feet may represent a condition that is less convenient for residents, sufficient space exists with the reduced dimension to enter and exit the parking spaces. While some additional maneuvering may be required by motorists, this inconvenience is not detrimental to the public good and;

Staff also finds that the request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project accommodates a new sidewalk that is 6 feet in width, new landscaping along the building facade and new parking stalls that meet the

dimensional requirements, and that the reduced drive isle width is nominal and allows a better overall configuration of site plan elements. The overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

(J) Improving the design, quality and character of new development;

(L) Encouraging the development of vacant properties within established areas and;

(O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

- C. The P.D.P. complies with the process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 Administration.
- D. The P.D.P. complies with relevant standards located in Division 4.18, Community Commercial District (C-C) of Article 4 – Districts.
- E. The P.D.P. complies with relevant standards located in Article 3 General Development Standards, subject to approval of the two Modifications of Standard.

RECOMMENDATION:

Approval of Plum and Shields Extra Occupancy Rental House Project Development Plan, PDP #130053, and Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L) Table A.

ATTACHMENTS:

- 1. Site Plan
- 2. Landscape Plan
- 3. Utility Plans
- 4. Applicant's Modification Requests
- 5. Letters from residents
- 6. Hearing Notice



General Notes:

- 1. ALL SIGNS SHALL BE REQUIRED TO APPLY FOR SIGN PERMIT.
- GRADES AND PROPOSED GRADES.
- 3. JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.
- EQUIVALENT TO THAT CONDITION PRIOR TO START OF WORK.
- WEATHER THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO THAT EQUIVALENT TO EXISTING CONDITIONS AT NO EXPENSE TO THE OWNER / CITY.

- SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
- BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1987.
- ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- 11. THE MAXIMUM OCCUPANCY FOR THIS EXTRA OCCUPANCY RENTAL HOUSE SHALL BE LIMITED TO 20 TENANTS.
- 12. AN ON-SITE RESIDENT MANAGER SHALL BE REQUIRED AT ALL TIMES IN CONJUNCTION WITH THIS EXTRA OCCUPANCY RENTAL HOUSE USE. THE WORDS "RESIDENT MANAGER" AND THE MANAGER'S TELEPHONE NUMBER CONTACT INFORMATION SHALL BE POSTED AND PROMINENTLY VISIBLE AT THE BUILDING ENTRY. IN ORDER TO ENSURE THAT ONE PARKING SPACE IS AVAILABLE FOR THE RESIDENT MANAGER, THE OCCUPANCY OF RESIDENT MANAGER SHALL BE COUNTED TOWARDS THE MAXIMUM OCCUPANCY OF THE BUILDING.



Land-Use Statistics

TOTAL BUILDING GROSS S.F.: 12,508 S TOTAL STORIES: 3 AAXIMUM OCCUPANTS PERMITTED: 20 AROSS AREA COVERAGE SULLDING FOOTPRINT		IMERCIAL	
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SEAL

GROUP

PLUM & SHIELDS **GREEK HOUSING** 801 South Shields

PROJECT TITLE

Fort Collins, Colorado

PREPARED FOR

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ORTH, RANGE 69 COLORADO	SITE PLAN 1 OF 3 LANDSCAPE NOTES 2 OF 3 LANDSCAPE PLAN 3 OF 3	Site F
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	0 10' 15' 20'	
	SCALE 1" = 10'-0"	NORTH SHEET



REVISIONS

Staff Comme

OF 3



Landscape Plan



Existing Tree Schedule

COMMON NAME	SIZE	CONDITION	TO BE REMOVED	MITIGATION REQUIRED
1. LINDEN	22"	POOR	YES	0
2. COTTONWOOD	46"	GOOD	NO	0
3. SIBERIAN ELM	34"	POOR	YES	0
4. RED OAK	4"	FAIR	NO	0
5. BUR OAK	9"	GOOD	NO	0
6. BUR OAK	11"	FAIR MINUS	NO	0
7. CRABAPPLE	5"	POOR	YES	0
8. CRABAPPLE	4"	POOR	YES	0
9. CRABAPPLE	4"	FAIR	YES	0
10. SPRUCE	8"	FAIR	NO	0

TOTAL MITIGATION 0 TREES

Plant Schedule

KEY	QTY	RATIO	COMMON NAME	BOTANICAL NAME
SHADE CANOPY	TREES -	5		
	3	18.8%	HONEYLOCUST, SHADEMASTER	Gleditsia triacanthos inermis 'Shademaster'
$\left(+ \right)$	2	12.5%	LINDEN, REDMOND	Tilia americana 'Redmond'
EVERGREEN TREE	S -	6		
million and the second	6	37.5%	SPRUCE, FASTIGIATE NORWAY	Picea abies 'Cupressina'
ORNAMENTAL TRE	EES -	5		
	5	31.3%	MAPLE, FLAME AMUR	Acer ginnala 'Flame'
DECIDUOUS SHRUBS -		75		
(o	12	-	CHOKEBERRY, BRILLIANT RED	aronia arbutifolia 'Brilliantissima
(\neq)	12	-	DOGWOOD, REDTWIG	Cornus baileyi
\bigcirc	10	-	EUONYMUS, COMPACT BURNING BUSH	Euonymus alatus compacta
	10	-	LILAC, DWARF KOREAN	Syringa meyeri 'Palibin'
\bigcirc	23	-	SPIREA, BLUE MIST	Caryopteris x clandonensis 'Blu Mist'
	8	-	SUMAC, THREE LEAF	Rhus trilobata
PERENNIALS / GRASSES -		324		
\bigotimes	131	-	GRASS, AVENA	Helichtotrichon sempervirens
<i>¥</i>	14	-	GRASS, BLONDE AMBITION GRAMA	Bouteloua gracilis 'Blonde Ambition'
Ø	134	-	GRASS, FEATHER REED	Calamagrostis acutiflora 'Karl Foerster'
×	45	-	GRASS, RED SWITCH SHENANDOAH	Panicum virgatum 'Shenandoa











SHEET $\mathbf{3}$ of $\mathbf{3}$

Landscape Notes

GRADES



- 2. MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTE FRONT OF FDC.
- 3. IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY W OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT.
- 4. ALL LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME OWN BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE. TREES AND VEGE IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKIN BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDIT
- 5. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING
- 6. EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL. 7. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND WALL FOUNDATIONS AND A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOS
- 8. PRIOR TO FINE GRADING, SOD AREAS AND PLANTING BEDS, SHALL BE THOROUGHLY LOOSENED AND TILLE. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROC LARGER THAN 3 INCHES IN ANY DIRECTION, ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THORO INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. DO NOT CULTIVATE SOIL WITHIN THE DRIP LIN EXISTING TREES TO RETAIN.
- 9. UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- 10. ONCE COMPACTED AND FINE GRADED ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE ANI REMOVED FROM SITE.
- 11. SOD TO BE 100% COLORADO GROWN BLUEGRASS BLEND SPECIFICALLY GROWN FOR LOW WATER AND HIGH TRAFFIC LAWN APPLICATIONS WITH MINIMUM THREE (3 IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM. ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATIONS.
- 12. ALL TREES SHRUBS AND PERENNIAL SHRUB BEDS OUTSIDE OF IRRIGATED AREAS ARE TO BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM. PERENNIAL SHRUB BEDS BE IRRIGATED BY 6" POP-UP SPRAY HEADS. IRRIGATION SYSTEM TO BE DESIGNED AND BUILT BY CONTRACTOR.
- 13. A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PU RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- 14. THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHAS FAILURE TO OBTAIN APPROVAL BY THE CITY FORESTER FOR STREET TREES IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHA THE DEVELOPMENT.
- 15. ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS. ALL PLANTS SHOWN IN DETAILS. A-GRADE OR NO. 1 GRADE, FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY AMERICA ASSOCIATION OF NURSERYMEN STANDARDS.
- 16. IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS SHALL BE PROMPTLY REPLACED BASED ON THE REQUIREMENTS OF THE FORT COLLINS LAND USE CODES AND REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE CITY.
- 17. CHANGES IN PLANT SPECIES OF PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE CITY PRIOR TO INSTALLATION OF REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- 18. ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED.
- 19. ALL PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BIODEGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT, PRIOR TO PLANTING.
- 20. ALL SHRUB BEDS SHALL HAVE MINIMUM 5" DEPTH SHREDDED CEDAR MULCH NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. A CONTINUOUS LAYER OF TYPAR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4' O.C. IN ALL DIRECTIONS.
- 21. EDGING BETWEEN GRASS TYPES AND SHRUB BEDS / ROCK COBBLE SHALL BE DURA-EDGE HEAVY DUTY STEEL EDGER MIN. 14 GA x 4" WITH ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN CEDAR MULCH / COBBLE TRANSITIONS.
- 22. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING IN EACH PHASE SHALL EITHER BE INSTALLED OR THE INSTALLATION SHALL BE SECURED WITH A LETTER OF CREDIT, ESCROW OR PERFORMANCE BOND FOR ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE VALUE OF THE LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- 23. TREE GRATES TO CITY STANDARDS WILL BE INSTALLED FOR TREES IN THE SIDEWALK. MANUFACTURER: IRONSMITH. MODEL #: 6018-1 STARBUST TREE GRATE 60" X60". 24. HEALTHY, MATURE TREES THAT ARE REMOVED BY THE APPLICANT OR BY ANYONE ACTING ON BEHALF OF OR WITH THE APPROVAL OF THE APPLICANT SHALL BE REPLACED WITH NOT LESS THAN ONE (1) OR MORE THAN SIX (6) REPLACEMENT TREES SUFFICIENT TO MITIGATE THE LOSS OF VALUE OF THE REMOVED TREE. THE APPLICANT SHALL SELECT EITHER THE CITY FORESTER OR A QUALIFIED LANDSCAPE APPRAISER TO DETERMINE SUCH LOSS BASED UPON AN APPRAISAL OF THE REMOVED TREE.
- 25. LANDSCAPING WITHIN THE R.O.W. IS RESTRICTED TO PLANTS THAT DO NOT EXCEED 24 INCHES IN HEIGHT MEASURED FROM THE STREET FLOWLINE (TREES EXCEPTED). IF THE LANDSCAPING WITHIN THE R.O.W. EXCEEDS THIS HEIGHT OR CREATES A SIGHT DISTANCE CONCERN THE PROPERTY OWNER SHALL BE REQUIRED TO TRIM THE LANDSCAPE MATERIAL
- 26. DEVELOPER SHALL ENSURE THAT SITE PLAN AND LANDSCAPE PLAN AND UTILITY PLANS ARE COORDINATED SO THAT THE GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPING ELEMENTS AS SHOWN ON THE APPROVED PLANS.
- 27. ALL LANDSCAPE PLANTINGS INSTALLED WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT SIGHT DISTANCE AND INTERSECTION SIGHT TRIANGLE STANDARDS IN CHAPTERS 7 THROUGH 9 OF THE LARIMER COUNTY URBAN AREA STREET STANDARDS. TREE CANOPIES SHOULD NOT OBSTRUCT VISIBILITY OF TRAFFIC RELATED REGULATORY SIGNAGE.
- 27. PRUNING OF ANY OFF-SITE TREES THAT HAVE CANOPY THAT EXTENDS OVER THE PROJECT SHALL ONLY OCCUR BASED ON AN EVALUATION AND RECOMMENDATION OF A PRIVATE ISA CERTIFIED ARBORIST AND WITH THE APPROVAL OF THE ADJACENT PROPERTY OWNER OR THEIR DESIGNATED REPRESENTATIVE. TREE PRUNING SHALL BE BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE.
- 28. STREET TREES SHALL BE INSTALLED BY THE DEVELOPER AT TIME OF CO, UNLESS TIME OF YEAR LIMITS TREE PLANTING, IN WHICH CASE STREET TREES SHALL BE PLANTED WITHIN 6 MONTHS OF CO.
- 29. THE DEVELOPER SHALL REPLACED DEAD OR DYING STREET TREES AFTER PLANTING UNIT FINAL INSPECTION AND ACCEPTANCE FOR MAINTENANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES MUST BE ESTABLISHED, AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.

NOTE:

CEDAR MULCH

BE 36" DIA.

TREE RING SHALL



GROUND COVER & SHRUB PLANTING DETAIL

DECIDUOUS TREE PLANTING DETAIL

Plant List

KEY	QTY	RATIO	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	SIZE	INSTALLATION NOTES
SHADE	TREES -	5						
	3	18.8%	HONEYLOCUST, SHADEMASTER	Gleditsia triacanthos inermis 'Shademaster'	50'	40'	2" cal. BB	BALANCED, WELL BRANCHED N STRAIGHT TRUNK & CENTRAL LEADER
$\left(+ \right)$	2	12.5%	LINDEN, REDMOND	Tilia americana 'Redmond'	50'	40'	3" cal. BB	BALANCED, WELL BRANCHED STRAIGHT TRUNK & CENTRAL LEADER
EVERGREEN TRE	ES -	6						
and the second	6	37.5%	SPRUCE, FASTIGIATE NORWAY	Picea abies 'Cupressina'	20'	6'	6'-8' BB	FULL SPECIMEN, EVENLY AND WELL BRANCHED W/ STRAIGH TRUNK & TOP LEADER
ORNAMENTAL TR	EES -	5						
	5	31.3%	MAPLE, FLAME AMUR	Acer ginnala 'Flame'	20'	20'	1.5" cal. BB	BALANCED, WELL BRANCHED STRAIGHT TRUNK & CENTRAL LEADER
DECIDUOUS SHRU	JBS -	75						
(o	12	-	CHOKEBERRY, BRILLIANT RED	aronia arbutifolia 'Brilliantissima'	6'	6'	5 Gallon	24" (h) FULL SPECIMEN, EVENL AND WELL BRANCHED
(\neq)	12	-	DOGWOOD, REDTWIG	Cornus baileyi	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENI AND WELL BRANCHED
Ŏ	10	-	EUONYMUS, COMPACT BURNING BUSH	Euonymus alatus compacta	7'	7'	5 Gallon	12" (h) FULL SPECIMEN, EVEN AND WELL BRANCHED
	10	-	LILAC, DWARF KOREAN	Syringa meyeri 'Palibin'	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENI AND WELL BRANCHED
	23	-	SPIREA, BLUE MIST	Caryopteris x clandonensis 'Blue Mist'	4'	3'	5 Gallon	24" (h) FULL SPECIMEN, EVENI AND WELL BRANCHED
	8	-	SUMAC, THREE LEAF	Rhus trilobata	5'	5'	5 Gallon	24" (h) FULL SPECIMEN, EVEN AND WELL BRANCHED
PERENNIALS / GR	ASSES -	324						
\bigotimes	131	-	GRASS, AVENA	Helichtotrichon sempervirens	2'	2'	1 Gallon	WELL ROOTED AND ESTABLISHED
茶	14	-	GRASS, BLONDE AMBITION GRAMA	Bouteloua gracilis 'Blonde Ambition'	2'	2'	1 Gallon	WELL ROOTED AND ESTABLISHED
Ø	134	-	GRASS, FEATHER REED	Calamagrostis acutiflora 'Karl Foerster'	4'	2'	1 Gallon	WELL ROOTED AND ESTABLISHED
8	45	_	GRASS, RED SWITCH SHENANDOAH	Panicum virgatum 'Shenandoah'	3'	18"	1 Gallon	WELL ROOTED AND ESTABLISHED

WIRE, TYP NOTE: THE WIRE BETWEEN THE STAKE AND THE TREE MUST HAVE SLACK

TREE TRUNK

- T-POST

GROMMETED NYLON STRAP, TYP.



CONIFER TREE PLANTING DETAIL

PER LUC 3.2.1 (E)(5): TOTAL PARKING AREA = 5,432 SF X 6% = PARKING LOT AREA LANDSCAPE =

Tree Protection Notes

1. WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.

2. ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS.

3. PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING REES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL E NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.

4. DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE, WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES. 5. NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.

6. LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE 'RIBBONED OFF', RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.

7. THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW.

AUGER DISTANCE FROM FACE OF TREE (FEET) TREE DIAMETER AT BREAST HEIGHT (INCHES)

0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
OVER 19	15

8. SEE APPROVED LANDSCAPE PLAN FOR SPECIFIC LOCATIONS OF TREES TO BE REMOVED, AND TREES TO BE PROTECTED.

9. EXISTING TREES MARKED FOR PROTECTION AND PRESERVATION SHALL NOT BE REMOVED OR MITIGATED.

10. HEAVY EQUIPMENT SHOULD NOT BE ALLOWED TO COMPACT OVER THE SOIL OVER THE ROOT ZONE OF EXISTING TREES. 11. AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID DAMAGE

12. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTH FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE THE ROOTS HAVE A CHANCE TO DRY OUT AND WATER THE TREE IMMEDIATELY.

13. SIDEWALK DEMOLITION WILL NOT INCLUDE ANY OVER EXCAVATION IN ORDER TO PROTECT EXISTING TREES.

Irrigation Notes

- 1. ENTIRE IRRIGATION SYSTEM WITH RAIN SENSOR TO BE DESIGNED FOR LANDSCAPE SHOWN ON PLAN AND BUILT BY CONTRACTOR UTILIZING EXISTING IRRIGATION SYSTEM. IRRIGATION CONTRACTOR SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM.
- 2. ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM
- 3. ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF POP-UP IRRIGATED AREAS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. IRRIGATION SYSTEM AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- 4. QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLES SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- 5. ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- 6. COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- 7. ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

Hydrozone Table

ZONE	AREA		WATER USE	GALLONS
HIGH	837	SF	18 GAL/SF	15,066 GAL
MODERATE	3,857	SF	10 GAL/SF	38,570 GAL.
VERY LOW	0	SF	3 GAL/SF	0 GAL
TOTAL / AVERAGE	4,694	SF	53,636 GAL	11.4 GAL/SF

Landscape Legend



Parking Lot Area Landscape

325 SF REQUIRED 537 SF PROVIDED



444 Mountain Ave. | те. 970.532.5891 Berthoud,CO 80513 | WEB TBGroup.us

SEAL____

PLUM & SHIELDS GREEK HOUSING 801 South Shiel

PROJECT TITLE

Fort Collins, Colorado PREPARED FOR

Staff Comments3.5.14Staff Comments3.25.14	4
December 20, 2013	
SHEET_TITLE	
Landscape Notes, Details Schedules	8

REVISIONS_____DATE

SHEET 2 OF

SHEET INFORMATION

UTILITY PLANS FOR PLUM & SHIELDS GREEK HOUSING LOT 1, TURNING POINT, LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7



PROJECT TEAM:







NE

PROJECT BENCHMARKS:

BENCHMARK #1:

City of Fort Collins Benchmark 19-97 At the southeast corner of West Elizabeth and Shields Street, on a concrete traffic signal base. Elevation=5022.56 NGVD 29 (Unadjusted)

BENCHMARK #2:

City of Fort Collins Benchmark 20-97 At the southwest corner of West Elizabeth and Constitution Avenue, on a concrete traffic signal

base. Elevation=5046.97 NGVD 29 (Unadjusted)

Basis of Bearings

Basis of Bearings is the East Line of Northeast Quarter Corner Section 15, Township 7 North, Range 69 West. (Assumed Bearing)

ORIGINAL FIELD SURVEY BY:

ORIGINAL FIELD SURVEY: NORTHERN ENGINEERING SERVICES DATE: November 21, 2008

ADDITIONAL FIELD SURVEYS: NORTHERN ENGINEERING SERVICES DATE: December 2008; August 2011

DISCLAIMER STATEMENT:

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

CERTIFICATION STATEMENT:

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes, respectively; and that I am fully responsible for the accuracy of all design. revisions. and record conditions that I have noted on these plans.

NORTH, RANGE 69 WEST OF THE 6TH P.M. CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

CONTACT INFORMATION

PLANNER/

444 Mountain Avenue

Jim Birdsall

TB Group

DEVELOPER/APPLICANT 801 Shields, LLC Lance Dehning 1155 15th Avenue Longmont, CO 80501 720-327-8050

LANDSCAPE ARCHITECT

Berthoud, Colorado 80513 (970) 532-5891 SITE ENGINEER NORTHERN Northern Engineering Service Nick Haws, PE, LEED AP Northern Engineering Services, Inc.

ENGINEERING 200 South College Avenue, Suite 10 Fort Collins, Colorado 80524 (970) 221-4158

SURVEYOR **NORTHERN** Northern Engineering Services, Inc. Gary Gilliland, PLS 200 South College Avenue, Suite 10 Fort Collins, Colorado 80524 (970) 221-4158

UTILITY CONTACT LIST: *

UTILITY COMPANY

GAS-----Xcel Energy----ELECTRIC----- City of Fort Collins Light & Power-- Doug Martine CABLE----- Comcast----TELECOM.-----CenturyLink----WATER------ City of Fort Collins Utilities------ Roger Buffington (970) 221-6700 WASTEWATER--City of Fort Collins Utilities------ Roger Buffington (970) 221-6700 STORMWATER- City of Fort Collins Utilities------ Glen Schlueter (970) 221-6700 FIBER OPTICS-- Colorado State University------ Kurt Davis

* This list is provided as a courtesy reference only. Northern Engineering Services assumes no responsibility for the accuracy or completeness of this list. In no way shall this list relinquish the Contractor's responsibility for locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of Colorado (UNCC) at 811 for additional information.

** The underground utility locates provided by SiteWise, LLC are based upon the best available information at the time of locating. Contractor acknowledges that it is common for underground facility owner maps to have errors and omissions of data shown. Consequently, it is the Contractor's sole responsibility to field verify the location of all utilities prior to construction, and notify the Engineer of any discrepancies found.



SUBSURFACE UTILITY LOCATES** SiteWise, LLC 7000 N. Broadway Building 3, Suite 306 Denver, Colorado 80221

SHEET INDEX

COVER SHEET

PAVING PLAN

GRADING & UTILITY PLAN

CONSTRUCTION DETAILS

DRAINAGE EXHIBIT

GENERAL & CONSTRUCTION NOTES

EXISTING CONDITIONS & DEMOLITION PLAN

C000

C001

C100

C200

C300

C500

C400-C40²

PHONE NUMBER Stephanie Rich (970) 225-7828 (970) 224-6152 -- Don Kapperman (970) 567-0245 -- William Johnson (970) 490-7501 (970) 491-0187



No. Revisions: P. Date:	REVERUCTION	NOT FOR CUN2014 MARCH 5, 2014
NODTUEDN Provided by Northern	ENGINEERING and are not to be used for any type of construction unless signed and sealed by	PHONE: 970.221.4158 FAX: 970.221.4159 The employ of Northern www.northernengineering.com Engineering Services, Inc.
DATE: MARCH 5, 2014		REVIEWED BY: N. Haws Fort Collins, Colorado 80524
PROJECT: DAT 970-001 MAR	DESIGNED BY: SCALE: A. Reese NA	DRAWN BY: REV A. Reese N. H
PLUM & SHIELDS GREEK HOUSING		COVER SHEET
C	Sheet	-

Of 8 Sheets

COLORADC Know what's below. Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

A. GENERAL NOTES

- 1. All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Larimer County Urban Area Street Standards and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the City of Fort Collins.
- 2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- 3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
- 4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
- 5. All storm sewer construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
- 6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for unknown underground utilities.
- 7. The Developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- 8. The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
- 9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
- 10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
- 11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a pre-construction meeting may be required prior to commencement of any work.
- 12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.
- 13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water Utility.
- 14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
- 15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.
- 16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
- 17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
- 18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
- 19. All recommendations of the" Drainage Letter Report for Plum & Shields Greek Housing" dated March 5, 2014by Northern Engineering shall be followed and implemented.
- 20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
- 21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the the City of Fort Collins street inspector.
- 22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable.
- 23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the the City of Fort Collins Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
- 24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the City of Fort Collins Engineer approves the final report.
- 25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.
- 26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
- 27. Portions of Larimer County are within overlay districts. The Larimer County Flood Plain Resolution should be referred to for additional criteria for roads within these districts.
- 28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.
- 29. Prior to the commencement of any construction, the contractor shall contact the Local Entity Forester to schedule a site inspection for any tree removal requiring a permit.
- 30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
- 31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority. (The the City of Fort Collins, Larimer County, Colorado), for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by thE construction activities.
- 32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact the City of Fort Collins Traffic Operations Department, who will temporarily remove or relocate the sign at no cost to the contractor, however, if the contractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.
- 33. The Developer is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Development's local street operations. In addition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.

- 34. There shall be no site construction activities on Saturdays, unless specifically approved by the City of Fort Collins Engineer, and no site construction activities on Sundays or holidays, unless there is prior written approval by the City of Fort Collins.
- 35. The Developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.
- 36. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built record drawings.
- 37. The Developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.
- 38. If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Developer shall contact the Designer and the City of Fort Collins Engineer immediately.
- 39. The Developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and available to the Larimer County's Inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the City of Fort Collins Engineer.
- 40. The Designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks (2) for the project as well as the basis of bearings. The information shall be as follows:

City of Fort Collins Benchmark19-97

At the southeast corner of West Elizabeth and Shields Street, on a concrete traffic signal base. Elevation=5022.56 NGVD 29 (Unadjusted)

City of Fort Collins Benchmark20-97

At the southwest corner of West Elizabeth and Constitution Avenue, on a concrete traffic signal base. Elevation=5046.97 NGVD 29 (Unadjusted)

Basis of Bearings

Basis of Bearings is the East Line of Northeast Quarter Corner Section 15, Township 7 North, Range 69 West. (Assumed Bearing)

- 41. All stationing is based on centerline of roadways unless otherwise noted.
- 42. Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
- 43. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be done in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of need for a complete overlay shall be made by the Larimer County Engineer and/or the City of Fort Collins Inspector at the time the cuts are made.
- 44. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.
- 45. Standard Handicap ramps are to be constructed at all curb returns and at all "T" intersections.
- 46. After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
- 47. The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: N.A.
- 48. Approved Variances are listed as follows:

CONSTRUCTION NOTES

a. None at this time

A. Grading and Erosion Control Notes

- 1. The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.
- 2. There shall be no earth-disturbing activity outside the limits designated on the accepted plans.
- 3. All required perimeter silt and construction fencing shall be installed prior any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
- 4. At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.
- 5. Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.
- 6. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City/County.

7. In order to minimize erosion potential, all temporary (structural) erosion control measures shall:

- a. Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.
- b. Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector. c. Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.
- When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.
- The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of way, and make sure streets and walkways are cleaned at the end of each working day.
- 10. All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.
- 11. No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.
- 12. The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the City/County or Homeowners Association (HOA).
- 13. City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and federal regulations.
- 14. A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.
- 15. Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City.

- B. Street Improvement Notes

- are not allowed.
- cut the new asphalt overlay work.
- per the Right-of-Way Work Permit traffic control plan.

- C. Traffic Signing and Pavement Marking Construction Notes
- Notes listed here.

E. Utility Notes

- construction
- utility.
- Water Detail 25.

- D. Storm Drainage Notes
- followed and implemented.
- Agreement.

1. All street construction is subject to the General Notes on the cover sheet of these plans as well as the Street Improvements Notes listed here.

2. A paving section design, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval, prior to any street construction activity, (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.

3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the City of Fort Collins Engineer in Fort Collins.

4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the City of Fort Collins Engineer.

5. Ft. Collins only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings

6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the Inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete overlay shall be made by the City of Fort Collins Engineer. All overlay work shall be coordinated with adjacent landowners such that future projects do not

7. All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as

8. The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of asphalt. Gutters that hold more than 1/4 inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.

9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less that 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive pumping or deformation, as determined by the City of Fort Collins Engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The City of Fort Collins Engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be preformed in the presence of an Inspector.

1. All signage and marking is subject to the General Notes on the cover sheet of these plans, as well as the Traffic Signing and Marking Construction

2. All symbols, including arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.

3. All signage shall be per the City of Fort Collins Standards and these plans or as otherwise specified in MUTCD.

4. All lane lines for asphalt pavement shall receive two coats of latex paint with glass beads.

5. All lane lines for concrete pavement should be epoxy paint.

6. Prior to permanent installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and placement of the same. Their placement shall be approved by the City of Fort Collins Traffic Engineer prior to permanent installation of striping and symbols.

7. Pre-formed thermo-plastic applications shall be as specified in these Plans and/or these Standards.

8. Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.

9. All surfaces shall be thoroughly cleaned prior to installation of striping or markings

10. All sign posts shall utilize break-away assemblies and fasteners per the Standards.

11. A field inspection of location and installation of all signs shall be performed by the City of Fort Collins Traffic Engineer. All discrepancies identified during the field inspection must be corrected before the 2-year warranty period will begin.

12. The Developer installing signs shall be responsible for locating and protecting all underground utilities

13. Special care shall be taken in sign location to ensure an unobstructed view of each sign.

14. Signage and striping has been determined by information available at the time of review. Prior to initiation of the warranty period, the City of Fort Collins Traffic Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Traffic Engineer determines that an unforeseen condition warrants such signage according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the 2-year warranty period for new construction (except fair wear on traffic markings).

15. Sleeves for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Traffic Control Devices, for additional detail.

1. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).

2. All recommendations of the "Drainage Letter Report for Plum & Shields Greek Housing" dated March 5, 2014by Northern Engineering shall be

3. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must by submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall by submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development

1. All waterline and sanitary sewer construction shall conform to the City of Fort Collins Utility standards and specifications current to date of

2. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the water

3. Water mains shall be poly-wrapped D.I.P, or PVC with tracer wire.

4. HDPE pipe may be used for 1-1/2 and 2 inch water services. The pipe shall meet the standards of AWWA 901, NSF Standard 61 and ASTM. The HDPE pipe shall be SDR 9 having a pressure rating of 200 psi. Stiffeners shall be used at all fittings and connections. Tracer wire shall be installed with the HDPE service, and shall extend up the curb stop. The curb stop shall be covered with a metal box and tracer wire test lid per City

> CALL UTILITY NOTIFICATION CENTER COLORADC

> > Know what's below.

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	Engineering Services, Inc. and are not to be used for any type of construction unless signed and sealed by	a Professional Engineer in the employ of Northern Engineering Services, Inc.
NODTUEDN	ENGINEERING	PHONE: 970.221.4158 FAX: 970.221.4159 www.northernengineering.com
		200 South College Avenue, Suite 010 Fort Collins, Colorado 80524
DATE: MARCH 5, 2014	SCALE: NA	REVIEWED BY: N. Haws
PROJECT: 970-001	DESIGNED BY: A. Reese	DRAWN BY: A. Reese
PLUM & SHIELDS GREEK HOUSING		GENERAL & CONSTRUCTION NOTES
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	Date: October 28, 2013	
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	4. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO) SCALE.
	 CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO TH EXISTING SITE SURVEY. 	
	 REFER TO LANDSCAPE PLANS FOR TREE PROTECTION AND MITIGATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY FIELD LOCK 	
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- 13. REFER TO PLANS BY TB GROUP FOR ADDITIONAL INFORMATION.

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- 2. REFER TO PLANS BY TB GROUP FOR ADDITIONAL HARDSCAPE INFORMATION.
- 3. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PAVER SECTION AND INSTALLATION.
- 4. THE ENTIRE PERIMETER OF THE PERMEABLE PAVER AREAS SHALL RECEIVE SOME FORM OF EDGE RESTRAINT. FOLLOW MANUFACTURER'S RECOMMENDATIONS AND DETAILS ON THIS SHEET.



PAVING SECTIONS (PRIVATE AREAS OUTSIDE ROW)







	SCREEN SLOT TABLE							
	A	В	С	D	Е	F		
PIPE SIZE	ROWS OF SLOTS	SLOT LENGTH	MAXIMUM SLOT WIDTH	APPROX. SLOT/ROW PER FOOT	APPROX. SLOT SPACING	OPEN AREA PER FOOT		
6"	3 (MIN.) - 6 (MAX.)	1.38"-2.35"	0.032"	14	1/2"-3/4"	1.98-3.15 SQ. IN.		
NOI	······································							

"SLOTTED PVC" AND "PERFORATED PVC" SHALL MEAN THE SAME THING WHEN REFERRING TO UNDERDRAINS IN THIS PLAN SET.

DIMENSIONS FOR SLOTTED PVC PIPE

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SQ. IN.

Of 8 Sheets



LID SUMMARY TABLES:

Basin	4	asin Area q. ft.)	Treat Ty	ment pe	LID	?	Percent	
N	7	7785	No	ne	no		0%	
S (Roof)	2	2387	Infiltration	n Garden	yes		13%	
S (Parking)		375	Permeab	le Pavers	yes		2%	
Totals	1	7971	-	-	-		15%	
Pavement		Ar (sq.		L	.ID ?	P	ercent	
Traditional							65%	
Concrete/Aspl	nalt		691 no				0070	
Permeable Pav	/ers	37	375 ye		yes	35%		
Totals		1,0	.066 -		-			
	 Pavement includes all "new/additional" pavement beyond the existing condition. Only pavement areas exposed to surface rainwater are included. 							
New Paving	R	oof Area		ea ated	Treatm Type		Percent	
1066			37	75	Permeable	Pavers	35%	
-		3052	19	09	Infiltration C	Garden	63%	

	DEVELOPED RUNOFF SUMMARY TABLE								
DESIGN POINT	BASIN ID	TOTAL AREA (acres)	C2	C10	C100	2-yr Tc (min)	10-yr Tc (min)	100-yr Tc (min)	Q2 (cfs)
N	N	0.18	0.65	0.65	0.81	5.0	5.0	5.0	0.3
S	S	0.23	0.84	0.84	1.00	5.2	5.2	5.1	0.6

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April 3, 2014

Jason Holland Current Planning Department 281 North College Ave. Fort Collins, CO 80524

Re: Plum & Shields Greek Housing

Please accept this request for a Modification of Standards to **Section 3.2.2(J)** and **Section 3.2.2(L)**, **Table A** of the Land Use Code.

Background

The proposed project is located in the vacant Turning Point building, at the southwest corner of Shields Street and Plum Street. The intent of the project is to utilize the existing building for an extra occupancy rental house with 20 occupants. The infrastructure, utilities, paving, and parking are all in place; however, there will be changes to the parking lot and significant upgrades to the landscaping. New sidewalks, a trash enclosure and bike racks will be added. The project will provide 15 off-street parking spaces. The project will also construct an additional 2' to the attached concrete sidewalk along the street frontage of Plum Street. There are also plans to remove the existing fence and wall along the north and east sides of the building and replace them with landscaping to create visual interest and a more engaging experience for pedestrians walking to and from campus.

The 0.413-acre site is in the C-C zoning district, the TOD Overlay district and in the Campus West Community Commercial District Planning Study Report. According to the Purpose Statement contained within Article 4 of the Land Use Code, "The Community Commercial District provides a combination of retail, offices, services, cultural facilities, civic uses and higher density housing..."

The area surrounding the site contains a mix of single-family homes, apartment buildings, sorority houses, a church, and retail uses. The proposed project is located within walking and biking distance to CSU and other destinations in the Campus West area. A growing trend in the Campus West area is the redevelopment of older properties as the market becomes stronger for revitalization.

This modification requested is in accordance with the review procedures set forth in Section 2.8.2(H) of the Land Use Code as follows:

Modification to section 3.2.2(J)

<u>Code Language:</u> Section 3.2.2(J) Setbacks. Any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet shall be set back from the street right-of-way and the side and rear yard lot line (except a lot line between buildings or uses with collective parking) consistent with the provisions of this Section, according

to the following table:

	Minimum average of entire landscaped setback area (feet)	Minimum width of setback at any point (feet)
Along an arterial		
street	15	5
Along a		
nonarterial street	10	5
Along a lot line	5	5
_		

<u>Requested Modification:</u> The project is attempting to utilize an existing building and site to the maximum extent feasible. The property has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes.

Because of these factors, the landscape setback area along the south property line ranges from 0' to 7.5'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a landscaped setback ranging from 0' to 7.5' along the south property line.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a **nominal**, **inconsequential way** when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2 for the following reasons:

- The proposed plan provides a solid privacy fence along roughly ½ of the length of the vehicle use area, thus providing additional screening.
- The property is unsightly and the landscaping is in poor shape. The new owners intend to enhance the plantings all throughout the entire site. Currently there is virtually no landscape along the south property line. New plant material will be added in the strip.
- The intent of the required 5' vehicular use area setback is to provide sufficient space for visual screening and to enhance the appearance of the vehicle use area, The proposed landscape area, although smaller than allowed, will provide a softened edge of landscape interior to the parking area while mitigating the visual impact to the property to the south.

Modification to section 3.2.2(L)Table A

<u>Code Language:</u> Section 3.2.2(L), Table A Standard Vehicle Dimensions states that the drive aisle width for two-way traffic be a minimum of 24'.

<u>Requested Modification:</u> The project is attempting to utilize an existing building and site to the maximum extent feasible. The site has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes. Off-street parking is critical for the success of this project, therefore, in addition to 11 head-in spaces, there are 4 parallal parking spaces located along the south side of the parking area.

Because of these factors, the two-way drive asile width is 18.6' instead of 24'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a two-way drive aisle be 18.6'.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant. Below is the justification:

- The parking area as modified provides off-street parking, which is desirable. The off-street spaces help reduce on-street parking, therefore providing a benefit to the adjacent neighborhoods.
- The intent of the 24' wide drive aisle width is to allow cars to have ample room to back out of a parking space. We feel that, although not ideal, the benefits of the parking stalls outweigh the inconvenience of having a narrower drive aisle.

Jason Holland

From:	Ward Stanford
Sent:	Tuesday, April 01, 2014 9:19 AM
To:	Jason Holland; 'suebrown1953@hotmail.com'
Subject:	RE: Cumulative impact of new Plum Street projects on traffic
Follow Up Flag:	Follow up
Flag Status:	Flagged

Hello Ms. Brown,

To date the various projects have not caused the Shields and Plum intersections' level of service to drop below City policies. The studies look at traffic being generated by a development proposal during the rush hours, when traffic volumes are highest. There is also an expectation that a higher percentage of students may use alternative modes of travel (walk, bike or bus) than typical apartment or residential homeowners since there is limited on-campus parking and limited on-street parking available in the surrounding neighborhoods. Even though there are those afore mentioned expectations the traffic study reviews the development as if most of the traffic will be motor vehicle traffic.

Due to the amount of development taking place on Plum and some general background growth in general we do expect to have to make signal timing adjustments in the future and will be watching the intersection as the developments start taking on residents.

I hope this helps but if you would like to talk further please feel free to contact me at the number below.

Kind regards,

Ward Stanford

Traffic Systems Engineer City of Fort Collins Traffic Operations 970-221-6630 <u>wstanford@fcgov.com</u>

From: Jason Holland
Sent: Monday, March 31, 2014 12:04 PM
To: 'suebrown1953@hotmail.com'
Cc: Ward Stanford
Subject: Cumulative impact of new Plum Street projects on traffic Importance: High

Sue,

I wanted to follow up with you on your questions regarding traffic on Plum Street and Shields. I believe your concern from last week's neighborhood meeting involved the cumulative effect of new student housing projects on Plum Street such as The District and Scott Plaza, and whether the additional traffic these projects are anticipated to generate will trigger any requirement for new street improvements that would help improve traffic flow and safety in this area. I have included Ward Stanford in this email so that we can provide you with more information on this subject.

Thanks, Jason

Jason Holland

From:	Sue <suebrown1953@hotmail.com></suebrown1953@hotmail.com>
Sent:	Monday, March 31, 2014 3:39 PM
To:	Jason Holland
Cc:	Ward Stanford
Subject:	Re: Cumulative impact of new Plum Street projects on traffic

Thank you so much for your email – I appreciate your follow-up. Ward, I would love to discuss further with you. You can contact me at 704-607-2279. Thank you!!

From: Jason Holland Sent: Monday, March 31, 2014 12:04 PM To: mailto:suebrown1953@hotmail.com Cc: Ward Stanford Subject: Cumulative impact of new Plum Street projects on traffic

Sue,

I wanted to follow up with you on your questions regarding traffic on Plum Street and Shields. I believe your concern from last week's neighborhood meeting involved the cumulative effect of new student housing projects on Plum Street such as The District and Scott Plaza, and whether the additional traffic these projects are anticipated to generate will trigger any requirement for new street improvements that would help improve traffic flow and safety in this area. I have included Ward Stanford in this email so that we can provide you with more information on this subject.

Thanks, Jason

Jason Holland, PLA | City Planner City of Fort Collins 281 North College Avenue Fort Collins, CO 80522 970.224.6126 jholland@fcgov.com



PUBLIC HEARING NOTICE

April 30, 2014

Dear Property Owner or Resident:

This letter is being sent to let you know about a development proposal near your property and to invite you to the public hearing where you can provide the hearing officer with your comments regarding this proposal. Specific information about this proposal is to the right and on the back of this letter. We welcome and encourage your participation, as your input is an important part of the development review process.

Check out our online guide of your ways to participate in the development review process by visiting fcgov.com/CitizenReview. You may also contact me or Sarah Burnett, Neighborhood Development Review Liaison, at 970-224-6076 or <u>sburnett@fcgov.com</u>. Sarah is available to assist residents who have questions about the review process and how to participate.

You received this notice because records from the Larimer County Assessor's Office indicate you own property near the proposed development site. Because of the lag time in recordkeeping, or because of rental situations, some neighbors may be missed. Please feel free to notify your neighbors of the neighborhood meeting so they can attend.

Public comment is encouraged during all phases of the review process. If you are unable to attend the hearing, but would like to provide input, please feel free to write me at the address below or e-mail me at <u>jholland@fcgov.com</u>. If you have questions at any time, please feel free to contact us.

Sincerely,

Jason Holland, PLA | City Planner City of Fort Collins 281 North College Avenue Fort Collins, CO 80522 970.224.6126 jholland@fcgov.com

The City of Fort Collins will make reasonable accommodations for access to City services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call 970-220-6750 for assistance.

Esta es una notificación sobre la reunión de su vecindario o sobre una audiencia pública sobre el desarrollo o proyecto en la propiedad cerca de donde usted es el dueño de propiedad. Si usted desea que esta notificación sea traducida al español sin costo alguno, favor enviar un correo electrónico en español a la siguiente dirección electrónica: titlesix@fcgov.com. Development Review Center 281 North College Avenue PO Box 580 Fort Collins, CO 80522-0580 970-221-6750 <u>fcgov.com/DevelopmentReview</u>

HEARING TIME AND LOCATION

Wednesday May 14, 2014 5:00 p.m. (This is scheduled as the 2nd item on the agenda.) Conference Room A 281 North College Avenue, Fort Collins

PROPOSAL NAME & LOCATION

Plum & Shields Extra Occupancy Rental House

801 S. Shields Street (please see map on reverse)

PROPOSAL DESCRIPTION

- Existing 3-story building
- Building formerly used as a group home operated by Turning Point
- Building also formerly used as a Greek housing facility
- 20 occupants proposed
- 15 on-site parking spaces proposed
- Modification requests to Section
 3.2.2(J) addressing a reduction in setbacks for parking and Section
 3.2.2(L), Table A, addressing a reduction in dimensional standards for two-way drive isles.

ZONING INFORMATION

Community Commercial District (C-C)

HELPFUL RESOURCES

- Hearing Notice, Plans, and Staff Report: <u>fcgov.com/ReviewAgendas</u> (for administrative hearings)
- Information About the Review Process:

fcqov.com/CitizenReview