

ITEM NO MEETING DATE

May 14, 2014

STAFF

Holland

HEARING OFFICER

STAFF REPORT

PROJECT: Plum and Shields Extra Occupancy Rental House, PDP #130053

and Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L)

Table A.

APPLICANT: Cathy Mathis

TB Group

444 Mountain Avenue Berthoud, Colorado 80513

OWNER: 801 Shields, LLC

1155 15th Avenue Longmont, CO 80501

PROJECT DESCRIPTION:

This is a request for a Project Development Plan to convert an existing 3-story building formerly used as a group home facility (formerly occupied by Turning Point) to an extra occupancy rental house. The site is located on .413 acres at 801 South Shields Street and is in the Community Commercial (C-C) Zone District and the TOD Overlay District. The project includes a reconfiguration of the existing parking area with new a new trash enclosure, landscaping, sidewalks and street improvements. The project proposes an occupancy limit of 20 residents with 15 off-street parking spaces and 21 bicycle spaces.

The project includes two modifications of standard that address Section 3.2.2(J) requesting a reduction in setbacks for parking and Section 3.2.2(L), Table A, requesting a reduction in dimensional standards for two-way drive isles.

RECOMMENDATION:

Approval of the Project Development Plan and Modifications of Standard

EXECUTIVE SUMMARY:

The Plum and Shields Extra Occupancy Rental House and Modifications of Standard comply with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The P.D.P. complies with process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L) Table 'A' meet the applicable requirements of Section 2.8.2(H), and the granting of these modifications would not be detrimental to the public good.
- The P.D.P. complies with relevant standards located in Division 4.18, Community Commercial District (C-C) of Article 4 Districts.
- The P.D.P. complies with relevant standards located in Article 3 General Development Standards, subject to approval of the two Modifications of Standard.

COMMENTS:

1. Background:

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	(C-C) Community Commercial	Gamma Phi Beta Greek Housing
South	(C-C) Community Commercial	Lutheran Campus Ministry at CSU
East	Colorado State University Campus	Moby Arena parking lot
West	(C-C) Community Commercial	1109 West Plum Street – 4 unit multi-family building

Land Use History:

- The property was annexed in May 1958 as part of the First South Shields Street Consolidated Annexation.
- The existing building located at the site was originally constructed in the 1960's and operated as a fraternity house. The fraternity use was later abandoned, and a minor amendment was approved to change the use to a group home, known as Turning Point for Youth and Family Development. The minor amendment was approved in 1999 and provided some improvements to the building façade and site layout.

2. Compliance with Community Commercial (C-C) Standards:

The project complies with all applicable C-C standards with the following relevant comments provided:

A. Section 4.18(A) – Purpose

The proposed land use is consistent with the purpose of the Community Commercial District, which is described as follows:

The Community Commercial District provides a combination of retail, offices, services, cultural facilities, civic uses and higher density housing. Multi-story buildings are encouraged to provide a mix of residential and nonresidential uses. Offices and dwellings are encouraged to locate above ground-floor retail and services.

B. Section 4.18(B) – Permitted Uses

The proposed Extra Occupancy Rental House land use is consistent with the permitted uses in the Community Commercial District. An Extra Occupancy Rental House use with more than five tenants is considered a <u>residential use</u> in the zone district subject to a Type 1 administrative review.

C. Section 4.18(F) – Development Standards for the Transit-Oriented Development (TOD) Overlay Zone.

The project is located within the T.O.D. Overlay Zone and is subject to the requirements of Division 3.10 of the L.U.C. Compliance with the relevant provisions of this section is discussed in subsequent pages of this staff report.

D. Section 4.18(E) – Building Height

The project's existing 3-story building height is in compliance with this section which limits the height of buildings to a maximum of 5 stories.

3. <u>Compliance with Article 3 of the Land Use Code – General Development Standards</u>

The project complies with all applicable General Development Standards with the following relevant comments provided:

A. Section - 3.2.1 Landscaping

- The site contains five existing trees along West Plum and South Shields Streets that will be preserved and protected with the proposed renovation of the site. Five existing trees are being removed from the site, with four of the five trees in poor condition and one in fair condition. No mitigation is required for the removal of the existing trees due a combination of poor condition and undesirable species type.
- The applicant has coordinated with the City Forester to evaluate and accommodate the existing trees on the site. Of particular concern is the existing 46 inch caliper Cottonwood in the northwest corner of the site. A realignment of the existing entrance drive and street sidewalk in the northwest corner is proposed to preserve and provide space for this Cottonwood to the extent feasible.
- Three additional street trees are provided along the West Plum Street frontage, and will be located in tree grates to reinforce an urban character of the area and to help provide some buffer space between pedestrians and the street.
- Additional smaller ornamental trees are proposed along the north building frontage to soften the building façade, provide transition and enhance the pedestrian oriented, human scale of the streetscape.
- To the maximum extent feasible, "Full Tree Stocking" is provided along all high use and high visibility areas of the development in accordance with the standards of this section.
- Ground cover areas in parking lots and at building foundations are planted with deciduous, evergreen and ornamental landscape material in accordance with the minimum requirements. Trees and shrubs are planted in the parking lot interior and perimeter in conformance with the minimum requirements.

B. Section 3.2.2 - Access, Circulation and Parking

- Section 3.2.2(K)(j) Required off-street parking for Extra Occupancy Rental Houses. The project use is limited to 20 occupants and provides a total of 15 off-street parking spaces in accordance with the minimum quantity of this section, which requires 0.75 parking spaces per tenant. The site plan also stipulates that a Resident Manager will be present at the building and that a parking space will be available for this manager.
- One handicap parking space is provided in accordance with the minimum requirement in Section 3.2.2(K)(5).
- With the exception of the minimum required drive isle width for two-way traffic, the project is in compliance with the minimum required dimensions for off-street parking areas, as outlined in Table A and B of Section 3.2.2(L). The applicant is requesting a Modification of Standard to reduce the minimum drive isle width, and this request is discussed in detail on subsequent pages of this staff report.

C. Section 3.2.2(C)(6) – Direct On-Site Access to Pedestrian and Bicycle Connections

The project is providing an extensive re-configuration of the parking area, and this re-configuration enables a new 6 foot sidewalk to be constructed which provides a direct connection from the building's entrance to the existing sidewalk along South Shields Street in accordance with the requirements of this section. Fixed bicycle parking is planned in accordance with the minimum quantity and is placed appropriately along the building frontage. Enclosed bicycle parking is provided within the building in accordance with the minimum quantity required.

D. Section 3.2.5 – Trash and Recycling Enclosures

In accordance with the requirements of this section, the project provides a new fully screened trash enclosure location with walk-in access to recycling and waste containers. The enclosure is designed with durable materials that are compatible with the building structure.

E. Section 3.5.2 – Residential Building Standards

3.5.2(B) General Standard. No changes are proposed to the existing building design. The existing building remains in compliance with the general standard of this section, which requires that buildings shall include human-scaled elements, architectural articulation and shall place a high priority on building entries and

their relationship to the street. The building design complies with these standards by providing a clearly defined building entrance and improving the direct access to the street. The building facades comply with this standard by providing appropriate variation in massing and form as well as appropriate variation in material placement, pattern and selection.

Although the L.U.C. does not mandate conformance to a particular building style, the building's existing form and materials are an appropriate reflection of a midcentury modern design indicative of the period in which the building was originally constructed.

- 3.5.2(D) Orientation to a Connecting Walkway. The project complies with this standard by providing a direct connecting walkway, 6 feet in width, which connects the primary entrance to the street sidewalk.
- 3.5.2(E)(1) Setback from Arterial Streets. The project complies with this section because the building is set back more than 30 feet from the South Shields Street right-of-way.
- 3.5.2(E)(2) Setback from Nonarterial Streets. The project complies with this section because the building is set back more than 15 feet from the West Plum Street right-of-way.

F. Section 3.6.4 Transportation Level of Service Requirements

Staff has reviewed the proposed project and has determined that the vehicular, pedestrian and bicycle facilities proposed with this P.D.P are consistent with the standards contained in Part II of the City of Fort Collins Multi-modal Transportation Level of Service Manual. Additionally, due to the fact that the proposed use does not increase the total motor vehicular traffic from what was approved with prior uses, a separate Traffic Impact Study was not required by Traffic Operations staff.

- G. Section 3.10 Development Standards for the Transit Oriented Development (TOD) Overlay Zone
- 3.10.4(C) Streetscape. The project complies with this standard by providing formal streetscape improvements along West Plum Street including a ten foot wide sidewalk with street trees in tree grates.
- 3.10.5(A) Articulation. The project complies with this standard by providing exterior building walls that are subdivided and proportioned to a human scale using projections, overhangs and recesses in order to add architectural interest

and variety and avoid the effect of a single, massive wall with no relation to human size.

- 3.10.5(B) Rooflines. The project complies with this standard by providing a flatroofed building design that features a three-dimensional cornice treatment on all walls facing streets or connecting walkways.
- 3.10.5(C) Materials and Colors. The project complies with this standard by:
 - (1) Providing high quality exterior building materials including stone, painted concrete masonry and stucco systems;
 - (2) Incorporating stone veneer, stucco and concrete masonry in a manner that highlights the articulation of the massing and the base and top of the building:
 - (3) Providing appropriate material facade colors that are low reflectance, subtle and earth tone colors.

MODIFICATIONS OF STANDARD:

Land Use Code Modification Criteria:

"The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

- (1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or
- (2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or
- (3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography,

or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

4. <u>Modification of Standard Request to Section 3.2.2(J) which requires that parking be set back from a lot line a minimum width of 5 feet at any point.</u>

A. Description of the Modification:

The applicant has submitted a request for approval of a Modification of Standard to 3.2.2(J) to have a landscaped parking setback ranging from 0 feet to 7.5 feet along the southern property line.

B. The standard:

3.2.2(J) **Setbacks.** Any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet shall be set back from the street right-of-way and the side and rear yard lot line (except a lot line between buildings or uses with collective parking) consistent with the provisions of this Section, according to the following table":

	Minimum average of entire landscaped setback area (feet)	Minimum width of setback at any point (feet)
Along an arterial street	15	5
Along a nonarterial street	10	5
Along a lot line	5	5

C. Applicant's Justification:

The applicant has provided the following justification narrative:

"The project is attempting to utilize an existing building and site to the maximum extent feasible. The property has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes.

Because of these factors, the landscape setback area along the south property line ranges from 0' to 7.5'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a landscaped setback ranging from 0' to 7.5' along the south property line.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2 for the following reasons:

The proposed plan provides a solid privacy fence along roughly ½ of the length of the vehicle use area, thus providing additional screening.

The property is unsightly and the landscaping is in poor shape. The new owners intend to enhance the plantings all throughout the entire site. Currently there is virtually no landscape along the south property line. New plant material will be added in the strip.

The intent of the required 5' vehicular use area setback is to provide sufficient space for visual screening and to enhance the appearance of the vehicle use area, The proposed landscape area, although smaller than allowed, will provide a softened edge of landscape interior to the parking area while mitigating the visual impact to the property to the south."

D. Staff Finding for the Modification:

Staff finds that the request for the Modification of Standard to Section 3.2.2(J) Setbacks is justified by the applicable standards in 2.8.2(H). The granting of the Modification would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal,

inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project includes a privacy fence in combination with a varied landscape edge that provide screening and enhance the visual quality of the parking area while mitigating the visual impact to the property adjacent to the south, and the overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

- (J) Improving the design, quality and character of new development;
- (L) Encouraging the development of vacant properties within established areas and;
- (O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

5. Modification of Standard Request to Section 3.2.2(L) Table A.

1) Description of the Modification:

The applicant has submitted a request for approval of a Modification of Standard to Section 3.2.2(L), Table A Standard Vehicle Dimensions to permit a two-way drive aisle width of 18.6 feet instead of 24 feet.

2) The standard:

Standard Vehicle

Section 3.2.2(L) Parking Stall Dimensions. Off-street parking areas for automobiles shall meet the following minimum standards for long- and short-term parking of standard and compact vehicles:

Dimensions in feet

TABLE A

A	В	C	D	E	F	G
0°	8	23	8	23	20	12
30°	8.5	20	17.4	17	20	15
45°	8.5	20	20.2	12	20	15

60°	9	19	21	10.4	24	20
90°	9	19	19	9	<mark>24</mark> *	20**

A-Angle of Parking

B-Stall Width

C-Stall Length

D-Stall Depth

E-Curb Length

F-Two-Way Drive Aisle Width

G-One-Way Drive Aisle Width

3) Applicant's Justification:

The applicant has provided the following justification narrative:

"The project is attempting to utilize an existing building and site to the maximum extent feasible. The site has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes. Off-street parking is critical for the success of this project, therefore, in addition to 11 head-in spaces, there are 4 parallal parking spaces located along the south side of the parking area.

Because of these factors, the two-way drive asile width is 18.6' instead of 24'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a two-way drive aisle be 18.6'.

Justification:

^{*} When garages are located along a driveway and are opposite other garages or buildings, the driveway width must be increased to 28 feet.

^{**} When an overhand is allowed to reduce stall depth, aisle width must be increased to 22 feet.

We feel that the granting of this modification of standards would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant. Below is the justification:

- The parking area as modified provides off-street parking, which is desirable. The off-street spaces help reduce on-street parking, therefore providing a benefit to the adjacent neighborhoods.
- The intent of the 24' wide drive aisle width is to allow cars to have ample room to back out of a parking space. We feel that, although not ideal, the benefits of the parking stalls outweigh the inconvenience of having a narrower drive aisle."

4) Staff Finding for the Modification:

Staff finds that the request for the Modification of Standard to Section 3.2.2(L), Table A Standard Vehicle Dimensions is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has an existing building location with limited space to the south of the building for parking, sidewalk access and landscaping. This narrow constricted area represents an exceptional physical condition and undue hardship not caused by the applicant, and the strict application of the 24 foot drive isle dimensional standard would render the off-street parking area infeasible. In order to accommodate a new sidewalk that is 6 feet in width, landscaping along the building facade and new

parking stalls that meet the dimensional requirements, the space remaining for the drive isle is narrow. Additionally, staff finds that while the drive isle dimension of 18.6 feet may represent a condition that is less convenient for residents, sufficient space exists with the reduced dimension to enter and exit the parking spaces. While some additional maneuvering may be required by motorists, this inconvenience is not detrimental to the public good.

Staff also finds that the request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project accommodates a new sidewalk that is 6 feet in width, new landscaping along the building facade and new parking stalls that meet the dimensional requirements, and that the reduced drive isle width is nominal and allows a better overall configuration of site plan elements. The overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

- (J) Improving the design, quality and character of new development;
- (L) Encouraging the development of vacant properties within established areas and:
- (O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

6. Neighborhood Meeting

Although the use proposed does not require a City neighborhood meeting, a meeting was held on March 24, 2014 at the Lutheran Campus Ministry adjacent to the south of the proposed project. The meeting was attended by five citizens who received written notification of the neighborhood meeting. A summary of the questions and concerns expressed at the meeting is as follows:

1) Increase in motor vehicle traffic along West Plum Street and at the intersection of West Plum and South Shields Streets adjacent to the property. Concern was expressed related to the cumulative impact of new student housing projects along West Plum Street and that no additional travel lanes are proposed at the intersection to alleviate the increase in motor vehicular traffic.

- Concern that adequate off-street parking be provided, and that residents and guests of the proposed facility will park on adjacent properties without permission.
- 3) Concern that the proposed extra occupancy rental use will be a dwelling condition that may promote and encourage public nuisances such as excessive noise. Concern that the use's living situation will be unsupervised and therefore will attract nuisance behavior.

Citizens at the meeting requested that the total occupancy be reduced from the 37 occupants originally proposed at the neighborhood meeting, and that the facility provide and on-site manager.

7. Findings of Fact/Conclusion

In evaluating the Plum and Shields Extra Occupancy Rental House Project Development Plan, staff makes the following findings of fact:

A. The Modification of Standard to Section 3.2.2(J) Setbacks is justified by the applicable standards in 2.8.2(H). The granting of the Modification would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project includes a privacy fence in combination with a varied landscape edge that provide screening and enhance the visual quality of the parking area while mitigating the visual impact to the property adjacent to the south, and the overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

- (J) Improving the design, quality and character of new development;
- (L) Encouraging the development of vacant properties within established areas and;

- (O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.
- B. The Modification of Standard to Section 3.2.2(L), Table A Standard Vehicle Dimensions is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has an existing building location with limited space to the south of the building for parking, sidewalk access and landscaping. This narrow constricted area represents an exceptional physical condition and undue hardship not caused by the applicant, and the strict application of the 24 foot drive isle dimensional standard would render would render the off-street parking area infeasible. In order to accommodate a new sidewalk that is 6 feet in width, landscaping along the building facade and new parking stalls that meet the dimensional requirements, the space remaining for the drive isle is narrow. Additionally, staff finds that while the drive isle dimension of 18.6 feet may represent a condition that is less convenient for residents, sufficient space exists with the reduced dimension to enter and exit the parking spaces. While some additional maneuvering may be required by motorists, this inconvenience is not detrimental to the public good and;

Staff also finds that the request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project accommodates a new sidewalk that is 6 feet in width, new landscaping along the building facade and new parking stalls that meet the

dimensional requirements, and that the reduced drive isle width is nominal and allows a better overall configuration of site plan elements. The overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

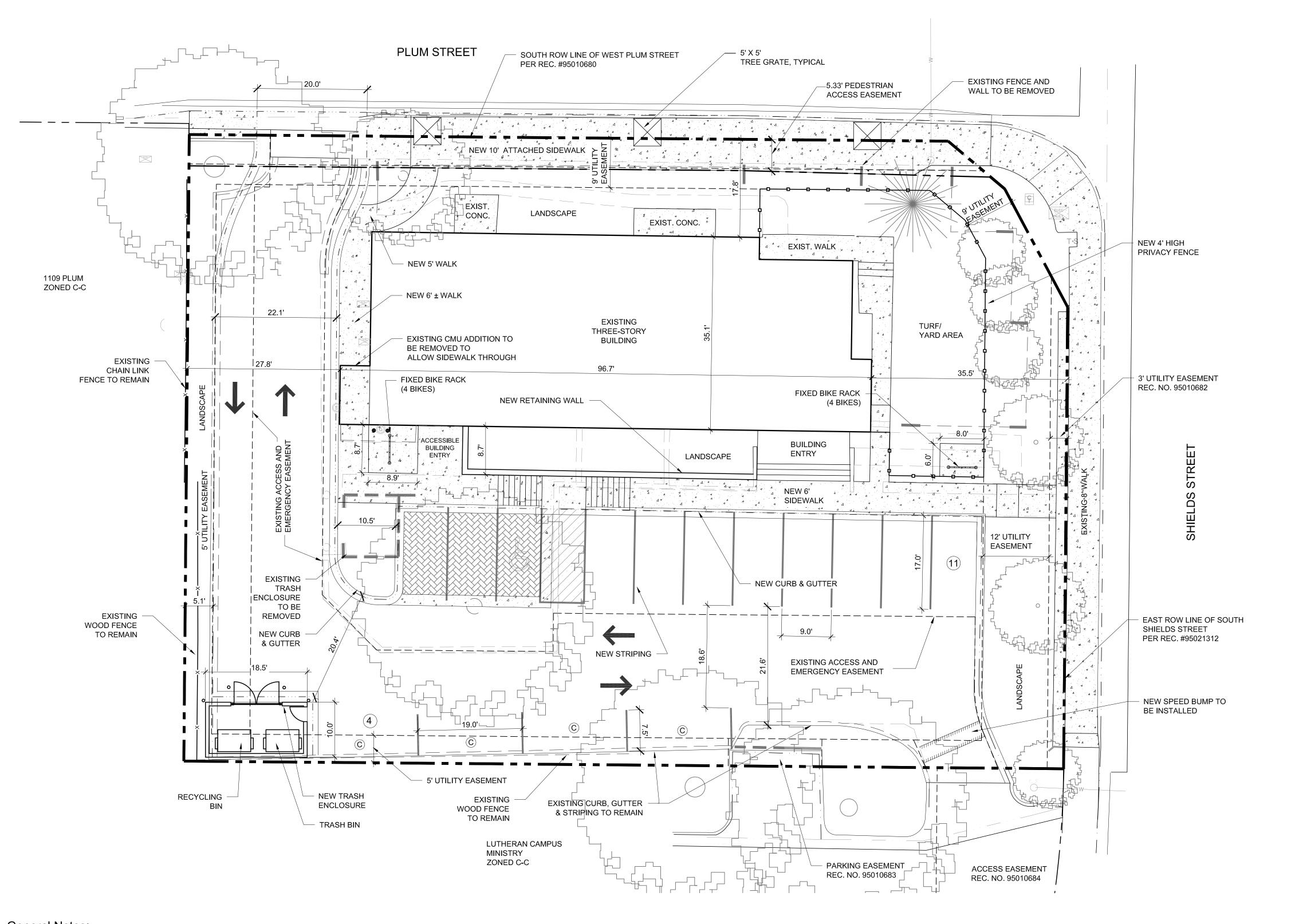
- (J) Improving the design, quality and character of new development;
- (L) Encouraging the development of vacant properties within established areas and;
- (O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.
- C. The P.D.P. complies with the process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 Administration.
- D. The P.D.P. complies with relevant standards located in Division 4.18, Community Commercial District (C-C) of Article 4 Districts.
- E. The P.D.P. complies with relevant standards located in Article 3 General Development Standards, subject to approval of the two Modifications of Standard.

RECOMMENDATION:

Approval of Plum and Shields Extra Occupancy Rental House Project Development Plan, PDP #130053, and Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L) Table A.

ATTACHMENTS:

- 1. Site Plan
- 2. Landscape Plan
- 3. Utility Plans
- 4. Applicant's Modification Requests
- 5. Letters from residents
- 6. Hearing Notice



Vicinity Map: NOT TO SCALE NORTH W Myrtle St **PROJECT** LOCATION Baystone Dr North Dr

Land-Use Statistics

EXISTING ZONING:	C-C- COMMUNITY COMMERCIAL	
GROSS LAND AREA:	17,990 SF .413 AC	
NUMBER OF BUILDINGS:	1	
NUMBER OF BEDROOMS:	21	
LAND USE:	EXISTING: GROUP HOME PROPOSED: EXTRA OCCUPANCY RENTAL HOUSE	
TOTAL BUILDING GROSS S.F.:	12,508 SF (ESTIMATED)	
TOTAL STORIES:	3	
MAXIMUM OCCUPANTS PERMITTED:	20	
GROSS AREA COVERAGE		
	SQUARE FEET ACRES % OF	
BUILDING FOOTPRINT	3,117 0.07 17%	
LANDSCAPE AREA	4,575 0.11 27%	
PAVED DRIVE AND PARKING	7,639 0.17 42%	
SIDEWALKS/HARDSCAPE	2.451 0.06 14%	

OFF-STREET PARKING:

USE:	REQUIRED:	PROVIDED:
EXTRA OCCUPANCY RENTAL HOUSE OCC HABITABLE FLOOR SPACE.	CUPANCY LIMIT = 1 TENA	NT / 350 S.F. (
TOTAL MIN. HABITABLE FLOOR SPACE PE MAXIMUM NUMBER OF TENANTS		= 0 / 350 S.F.)
PARKING SPACES REQUIRED	15 (20 X	.75)
PARKING SPACES PROVIDED:		
STANDARD SPACES (9' X 17') ACCESSIBLE SPACE (8' X 17')	10 1	

BICYCLE PARKING

RESIDENTIAL BICYCLE SPACES REQUIR	ED:
1 SPACE PER BEDROOM	21 SPACES
60% ENCLOSED	13 SPACES
40% FIXED	8 SPACES
TOTAL	21 SPACES
RESIDENTIAL BICYCLE SPACES PROVIDI	ED:
ENCLOSED WITHIN BUILDING	13 SPACES
FIXED RACKS	8 SPACES
TOTAL	21 SPACES

Legend

G	HANDICAP PARKING STALL
	EASEMENT LINE
	PROPERTY LINE
-00000	FENCE LINE
	BIKE RACK

General Notes:

- 1. ALL SIGNS SHALL BE REQUIRED TO APPLY FOR SIGN PERMIT.
- 2. PROPOSED GRADES SHALL MATCH OR IMPROVE EXISTING GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING WHILE PROVIDING A SMOOTH TRANSITION BETWEEN ALL ADJACENT UNDISTURBED GRADES AND PROPOSED GRADES.
- 3. JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.
- 4. SOILS DISTURBED ADJACENT TO WORK AREA, INCLUDING AREAS OUTSIDE OF CONSTRUCTION LIMITS, DUE TO NEW CONSTRUCTION ARE TO BE REGRADED AND SURFACE CONDITIONS REPAIRED AND SEEDED EQUIVALENT TO THAT CONDITION PRIOR TO START OF WORK.
- 5. PROTECT EXISTING SURFACES BOTH INSIDE AND OUTSIDE OF CONSTRUCTION LIMITS, DURING CONSTRUCTION. IF GRADES, CONCRETE OR ASPHALT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS OR WEATHER THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO THAT EQUIVALENT TO EXISTING CONDITIONS AT NO EXPENSE TO THE OWNER / CITY.
- 6. CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- 7. THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT CONSIDERED OR CHANGED AFTER PLANS WERE SUBMITTED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE CITY OF FORT COLLINS IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
- 8. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1987.
- 10. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- 11. THE MAXIMUM OCCUPANCY FOR THIS EXTRA OCCUPANCY RENTAL HOUSE SHALL BE LIMITED TO 20 TENANTS.
- 12. AN ON-SITE RESIDENT MANAGER SHALL BE REQUIRED AT ALL TIMES IN CONJUNCTION WITH THIS EXTRA OCCUPANCY RENTAL HOUSE USE. THE WORDS "RESIDENT MANAGER" AND THE MANAGER'S TELEPHONE NUMBER CONTACT INFORMATION SHALL BE POSTED AND PROMINENTLY VISIBLE AT THE BUILDING ENTRY. IN ORDER TO ENSURE THAT ONE PARKING SPACE IS AVAILABLE FOR THE RESIDENT MANAGER, THE OCCUPANCY OF RESIDENT MANAGER SHALL BE COUNTED TOWARDS THE MAXIMUM OCCUPANCY OF THE BUILDING.

Owner's Certification of Approval:

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS THE _____ DAY OF

(Printed Name) NOTARIAL CERTIFICATE STATE OF COLORADO) COUNTY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY (PRINTED NAME) THIS _____ DAY OF __

MY COMMISSION EXPIRES:__ NOTARY PUBLIC

Planning and Zoning Approval:

BY THE PLANNING AND ZONING BOARD OF THE CITY OF FORT COLLINS, COLORADO THIS_____DAY OF _______.

CHAIR OF THE PLANNING AND ZONING BOARD

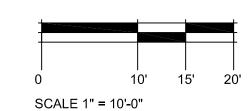
Legal Description:

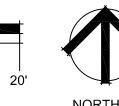
TURNING POINT

LOCATED IN THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 69 WEST, OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, COLORADO

Sheet Index:

SITE PLAN LANDSCAPE NOTES 2 OF 3 LANDSCAPE PLAN 3 OF 3





SHEET

landscape architecture planning illustration

444 Mountain Ave. | TEL 970.532.5891 Berthoud,CO 80513 | WEB TBGroup.us

PROJECT TITLE

PLUM & SHIELDS

GREEK HOUSING

801 South Shields

Fort Collins, Colorado

PREPARED FOR

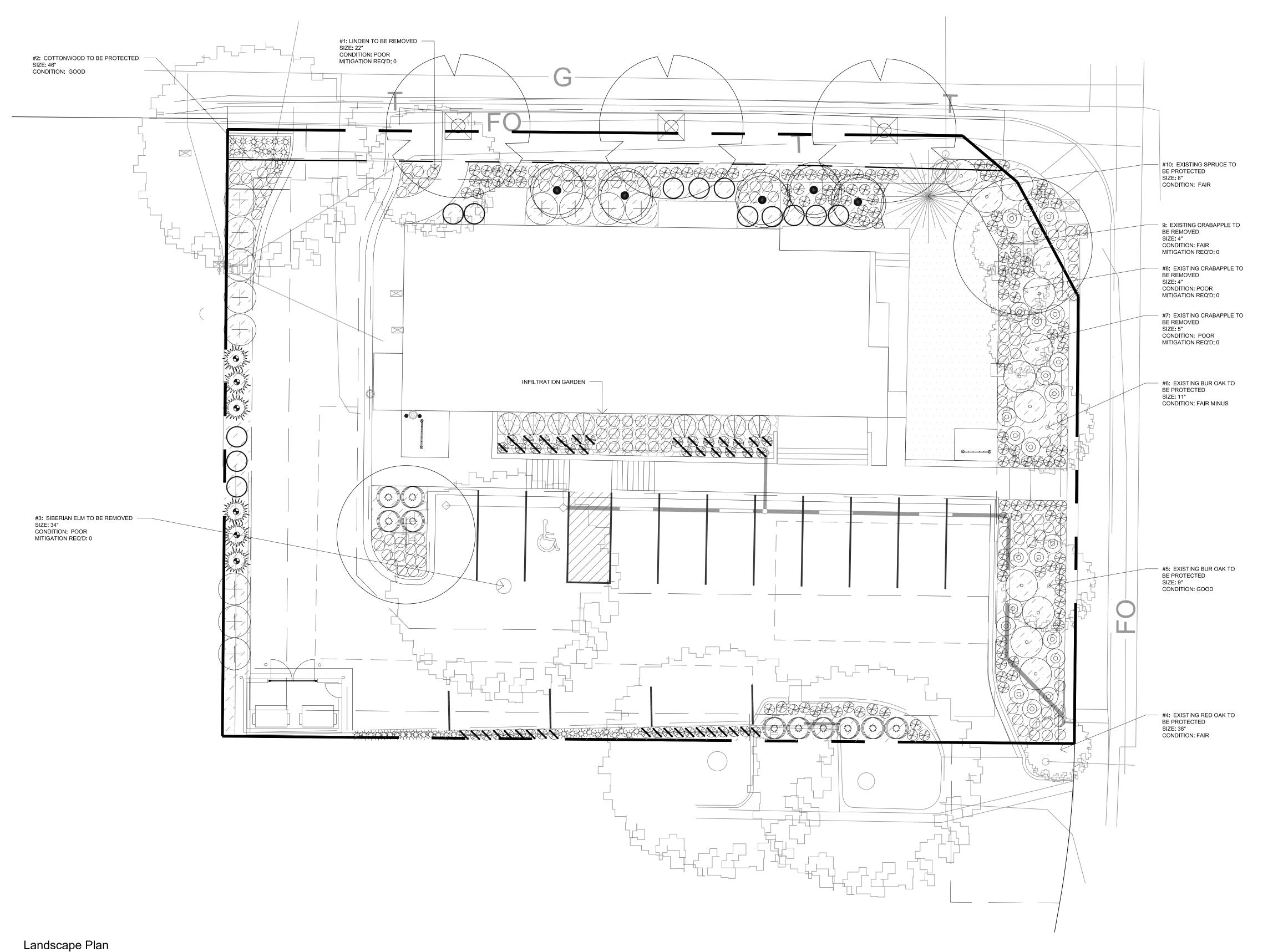
SEAL ____

December 20, 2013

Site Plan

SHEET TITLE

SHEET INFORMATION



Plant Schedule

KEY	QTY	RATIO	COMMON NAME	BOTANICAL NAME
SHADE CANOPY TREES - 5		5		
3		18.8%	HONEYLOCUST, SHADEMASTER	Gleditsia triacanthos inermis 'Shademaster'
(+)	2	12.5%	LINDEN, REDMOND	Tilia americana 'Redmond'
EVERGREEN TRE	ES -	6		
and the second of the second o	6	37.5%	SPRUCE, FASTIGIATE NORWAY	Picea abies 'Cupressina'
ORNAMENTAL TR	REES -	5		
•	5	31.3%	MAPLE, FLAME AMUR	Acer ginnala 'Flame'
DECIDUOUS SHRI	JBS -	75		
0	12	-	CHOKEBERRY, BRILLIANT RED	aronia arbutifolia 'Brilliantissima'
(+)	12	-	DOGWOOD, REDTWIG	Cornus baileyi
	10	-	EUONYMUS, COMPACT BURNING BUSH	Euonymus alatus compacta
	10	-	LILAC, DWARF KOREAN	Syringa meyeri 'Palibin'
	23	-	SPIREA, BLUE MIST	Caryopteris x clandonensis 'Blue Mist'
	8	-	SUMAC, THREE LEAF	Rhus trilobata
PERENNIALS / GR	RASSES -	324		
\otimes	131	-	GRASS, AVENA	Helichtotrichon sempervirens
茶	14	-	GRASS, BLONDE AMBITION GRAMA	Bouteloua gracilis 'Blonde Ambition'
\varnothing	134	-	GRASS, FEATHER REED	Calamagrostis acutiflora 'Karl Foerster'
	45	-	GRASS, RED SWITCH SHENANDOAH	Panicum virgatum 'Shenandoah'

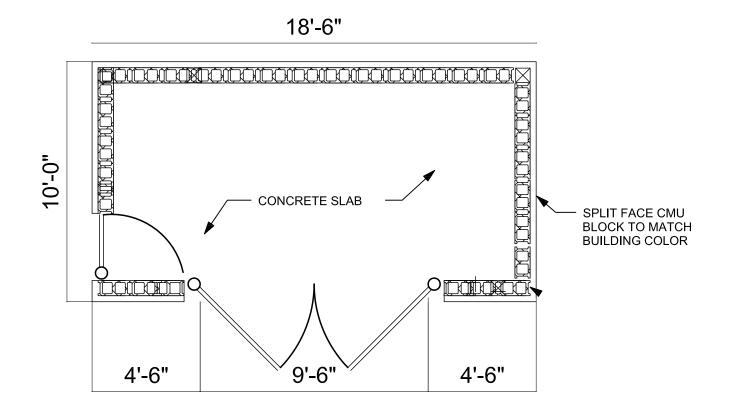


SEAL ____

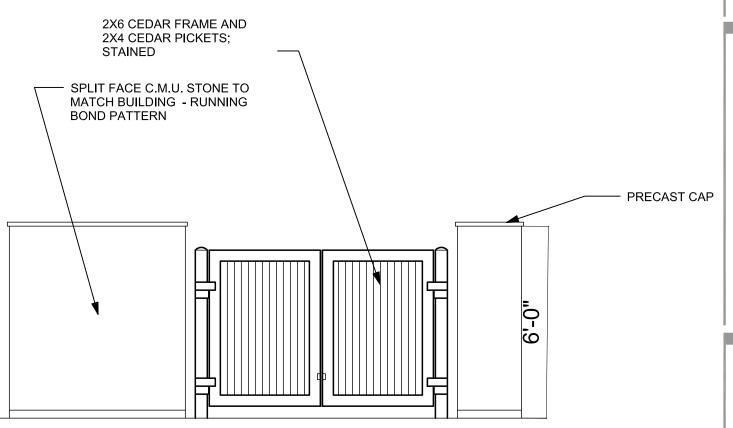
PROJECT TITLE PLUM & SHIELDS GREEK HOUSING 801 South Shields

Fort Collins, Colorado

PREPARED FOR



TRASH ENCLOSURE PLAN



December 20, 2013

SHEET_TITLE----

Landscape Plan

SHEET INFORMATION

SHEET 3 OF 3

Existing Tree Schedule

SCALE 1" = 10'-0"

СО	MMON NAME	SIZE	CONDITION	TO BE REMOVED	MITIGATION REQUIRED
1.	LINDEN	22"	POOR	YES	0
2.	COTTONWOOD	46"	GOOD	NO	0
3.	SIBERIAN ELM	34"	POOR	YES	0
4.	RED OAK	4"	FAIR	NO	0
5.	BUR OAK	9"	GOOD	NO	0
6.	BUR OAK	11"	FAIR MINUS	NO	0
7.	CRABAPPLE	5"	POOR	YES	0
8.	CRABAPPLE	4"	POOR	YES	0
9.	CRABAPPLE	4"	FAIR	YES	0
10.	SPRUCE	8"	FAIR	NO	0
				TOTAL MITIGAT	TION 0 TREES

NORTH

TRASH ENCLOSURE ELEVATION
3" = 1'-0"

Plant List

QTY

RATIO

COMMON NAME

1. STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET AND FIFTEEN (15) FEET RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER MAINS, SIX (6) FEET FROM WATER AND SEWER SERVICE LINES, FOUR (4) FEET FROM GAS UTILITIES, EIGHT (8) FEET FROM ANY DRIVEWAY AND TWENTY (20) FEET FROM SIGNS AND TRAFFIC CONTROL DEVICES.

- 2. MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTED IN
- 3. IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY WITH OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT.
- 4. ALL LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE. TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- 5. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- 6. EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
- 7. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND WALL FOUNDATIONS AND A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOSED
- 8. PRIOR TO FINE GRADING, SOD AREAS AND PLANTING BEDS, SHALL BE THOROUGHLY LOOSENED AND TILLE. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIRECTION, ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. DO NOT CULTIVATE SOIL WITHIN THE DRIP LINE OF EXISTING TREES TO RETAIN.
- 9. UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT OUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- 10. ONCE COMPACTED AND FINE GRADED ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE AND
- 11. SOD TO BE 100% COLORADO GROWN BLUEGRASS BLEND SPECIFICALLY GROWN FOR LOW WATER AND HIGH TRAFFIC LAWN APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM. ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATIONS.
- 12. ALL TREES SHRUBS AND PERENNIAL SHRUB BEDS OUTSIDE OF IRRIGATED AREAS ARE TO BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM. PERENNIAL SHRUB BEDS SHALL BE IRRIGATED BY 6" POP-UP SPRAY HEADS. IRRIGATION SYSTEM TO BE DESIGNED AND BUILT BY CONTRACTOR.
- 13. A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- 14. THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN APPROVAL BY THE CITY FORESTER FOR STREET TREES IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF
- 15. ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS. ALL PLANTS SHALL BE A-GRADE OR NO. 1 GRADE, FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- 16. IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS SHALL BE PROMPTLY REPLACED BASED ON THE REQUIREMENTS OF THE FORT COLLINS LAND USE CODES AND REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE CITY.
- 17. CHANGES IN PLANT SPECIES OF PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE CITY PRIOR TO INSTALLATION OF REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- 18. ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED.
- 19. ALL PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BIODEGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT, PRIOR TO PLANTING.
- 20. ALL SHRUB BEDS SHALL HAVE MINIMUM 5" DEPTH SHREDDED CEDAR MULCH NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. A CONTINUOUS LAYER OF TYPAR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4' O.C. IN ALL DIRECTIONS.
- 21. EDGING BETWEEN GRASS TYPES AND SHRUB BEDS / ROCK COBBLE SHALL BE DURA-EDGE HEAVY DUTY STEEL EDGER MIN. 14 GA x 4" WITH ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN CEDAR MULCH / COBBLE TRANSITIONS.
- 22. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING IN EACH PHASE SHALL EITHER BE INSTALLED OR THE INSTALLATION SHALL BE SECURED WITH A LETTER OF CREDIT, ESCROW OR PERFORMANCE BOND FOR ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE VALUE OF THE LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- 23. TREE GRATES TO CITY STANDARDS WILL BE INSTALLED FOR TREES IN THE SIDEWALK. MANUFACTURER: IRONSMITH. MODEL #: 6018-1 STARBUST TREE GRATE 60" X60".
- 24. HEALTHY, MATURE TREES THAT ARE REMOVED BY THE APPLICANT OR BY ANYONE ACTING ON BEHALF OF OR WITH THE APPROVAL OF THE APPLICANT SHALL BE REPLACED WITH NOT LESS THAN ONE (1) OR MORE THAN SIX (6) REPLACEMENT TREES SUFFICIENT TO MITIGATE THE LOSS OF VALUE OF THE REMOVED TREE. THE APPLICANT SHALL SELECT EITHER THE CITY FORESTER OR A QUALIFIED LANDSCAPE APPRAISER TO DETERMINE SUCH LOSS BASED UPON AN APPRAISAL OF THE REMOVED TREE.
- 25. LANDSCAPING WITHIN THE R.O.W. IS RESTRICTED TO PLANTS THAT DO NOT EXCEED 24 INCHES IN HEIGHT MEASURED FROM THE STREET FLOWLINE (TREES EXCEPTED). IF THE LANDSCAPING WITHIN THE R.O.W. EXCEEDS THIS HEIGHT OR CREATES A SIGHT DISTANCE CONCERN THE PROPERTY OWNER SHALL BE REQUIRED TO TRIM THE LANDSCAPE MATERIAL
- 26. DEVELOPER SHALL ENSURE THAT SITE PLAN AND LANDSCAPE PLAN AND UTILITY PLANS ARE COORDINATED SO THAT THE GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPING ELEMENTS AS SHOWN ON THE APPROVED PLANS.
- 27. ALL LANDSCAPE PLANTINGS INSTALLED WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT SIGHT DISTANCE AND INTERSECTION SIGHT TRIANGLE STANDARDS IN CHAPTERS 7 THROUGH 9 OF THE LARIMER COUNTY URBAN AREA STREET STANDARDS. TREE CANOPIES SHOULD NOT OBSTRUCT VISIBILITY OF TRAFFIC RELATED REGULATORY SIGNAGE.
- 27. PRUNING OF ANY OFF-SITE TREES THAT HAVE CANOPY THAT EXTENDS OVER THE PROJECT SHALL ONLY OCCUR BASED ON AN EVALUATION AND RECOMMENDATION OF A PRIVATE ISA CERTIFIED ARBORIST AND WITH THE APPROVAL OF THE ADJACENT PROPERTY OWNER OR THEIR DESIGNATED REPRESENTATIVE. TREE PRUNING SHALL BE BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE.
- 28. STREET TREES SHALL BE INSTALLED BY THE DEVELOPER AT TIME OF CO, UNLESS TIME OF YEAR LIMITS TREE PLANTING, IN WHICH CASE STREET TREES SHALL BE PLANTED WITHIN 6 MONTHS OF CO.
- 29. THE DEVELOPER SHALL REPLACED DEAD OR DYING STREET TREES AFTER PLANTING UNIT FINAL INSPECTION AND ACCEPTANCE FOR MAINTENANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES MUST BE ESTABLISHED, AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.

SHADE Y CANOPY TREES -BALANCED, WELL BRANCHED W/ Gleditsia triacanthos inermis 18.8% HONEYLOCUST, SHADEMASTER 40' 2" cal. BB STRAIGHT TRUNK & CENTRAL 'Shademaster' BALANCED, WELL BRANCHED W/ 12.5% LINDEN, REDMOND 40' 3" cal. BB STRAIGHT TRUNK & CENTRAL Tilia americana 'Redmond' **EVERGREEN TREES -**FULL SPECIMEN, EVENLY AND 37.5% SPRUCE, FASTIGIATE NORWAY Picea abies 'Cupressina' 6' 6'-8' BB WELL BRANCHED W/ STRAIGHT TRUNK & TOP LEADER ORNAMENTAL TREES BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL 31.3% MAPLE, FLAME AMUR Acer ginnala 'Flame' LEADER DECIDUOUS SHRUBS -24" (h) FULL SPECIMEN, EVENLY 5 Gallon CHOKEBERRY, BRILLIANT RED aronia arbutifolia 'Brilliantissima' AND WELL BRANCHED 24" (h) FULL SPECIMEN, EVENLY DOGWOOD, REDTWIG AND WELL BRANCHED 12" (h) FULL SPECIMEN, EVENLY EUONYMUS, COMPACT BURNING BUSH 5 Gallon Euonymus alatus compacta AND WELL BRANCHED 24" (h) FULL SPECIMEN, EVENLY LILAC, DWARF KOREAN Syringa meyeri 'Palibin' 5 Gallon AND WELL BRANCHED 24" (h) FULL SPECIMEN, EVENLY Caryopteris x clandonensis 'Blue SPIREA, BLUE MIST AND WELL BRANCHED 24" (h) FULL SPECIMEN, EVENLY SUMAC, THREE LEAF 5' 5 Gallon Rhus trilobata AND WELL BRANCHED PERENNIALS / GRASSES -WELL ROOTED AND GRASS, AVENA Helichtotrichon sempervirens ESTABLISHED WELL ROOTED AND Bouteloua gracilis 'Blond 袋 GRASS, BLONDE AMBITION GRAMA 1 Gallon **ESTABLISHED** WELL ROOTED AND Calamagrostis acutiflora 'Karl GRASS, FEATHER REED **ESTABLISHED** WELL ROOTED AND GRASS, RED SWITCH SHENANDOAH Panicum virgatum 'Shenandoah' 18" 1 Gallon **ESTABLISHED**

BOTANICAL NAME

HEIGHT WIDTH

NOTE: THE WIRE BETWEEN THE STAKE AND THE TREE MUST HAVE SLACK NOTE: CEDAR MULCH TREE TREE TRUNK RING SHALL BE 36" DIA. — T-POST — GROMMETED NYLON STRAP, TYP. TIE GROMMETED NYLON STRAPS TO STAKE WITH WIRE. WIRE ENDS SHALL BE BENT BACK TO ELIMINATE BURRS AND WHITE PVC PIPE ALONG ENTIRE LENGTH OF WIRE FOR VISUAL AND SAFETY TOP OF ROOT CROWN TO BE 1" HIGHER THAN TOP OF ROOT CROWN TO BE 1" HIGHER FINISH GRADE THAN FINISH GRADE - DRIVE THREE (3) T-POSTS PER TREE 2" MULCH FOR TREES OVER 6' IN HEIGHT. FINISH GRADE DRIVE TWO (2) T-POSTS FOR TREES 6' IN HEIGHT OR LESS. SPACE ANCHORS EQUALLY AROUND TRUNK. AVOID DAMAGE TO BRANCHES. REMOVE WIRE CAGE AND/OR TWINE. OPEN BURLAP AROUND TRUNK. CUT & REMOVE TOP 1/3 OF BURLAP SLOW RELEASE FERTILIZER TABLET (TYP.) 12" MIN. BACKFILL W/ 2/3 NATIVE SOIL & 1/3 24" GREATER COMPOST. THOROUGHLY WATER THAN DIA. OF SETTLE ROOTBALL **EXISTING SOIL** SECTION

Tree Protection Notes

INSTALLATION NOTES

- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING REES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL E NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE, WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE 'RIBBONED OFF', RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW.

TREE DIAMETER AT BREAST HEIGHT (INCHES) AUGER DISTANCE FROM FACE OF TREE (FEET)

0-2		1
3-4		2
5-9		5
10-14		10
15-19		12
OVER 10		15

- SEE APPROVED LANDSCAPE PLAN FOR SPECIFIC LOCATIONS OF TREES TO BE REMOVED, AND TREES TO BE PROTECTED.
- 9. EXISTING TREES MARKED FOR PROTECTION AND PRESERVATION SHALL NOT BE REMOVED OR MITIGATED.
- 10. HEAVY EQUIPMENT SHOULD NOT BE ALLOWED TO COMPACT OVER THE SOIL OVER THE ROOT ZONE OF EXISTING TREES.
- 11. AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO
- 12. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTH FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE THE ROOTS HAVE A CHANCE TO DRY OUT AND WATER THE TREE IMMEDIATELY.
- 13. SIDEWALK DEMOLITION WILL NOT INCLUDE ANY OVER EXCAVATION IN ORDER TO PROTECT EXISTING TREES.

Irrigation Notes

- 1. ENTIRE IRRIGATION SYSTEM WITH RAIN SENSOR TO BE DESIGNED FOR LANDSCAPE SHOWN ON PLAN AND BUILT BY CONTRACTOR UTILIZING EXISTING IRRIGATION SYSTEM. IRRIGATION CONTRACTOR SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM.
- 2. ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.
- 3. ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF POP-UP IRRIGATED AREAS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. IRRIGATION SYSTEM AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- 4. QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLES SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- 5. ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- 6. COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- 7. ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

11.4 GAL/SF

Hydrozone Table

ZONE	AREA		WATER USE	GALLONS
HIGH	837	SF	18 GAL/SF	15,066 GAL
MODERATE	3,857	SF	10 GAL/SF	38,570 GAL.
VERY LOW	0	SF	3 GAL/SF	0 GAL

53.636 GAL

Landscape Legend

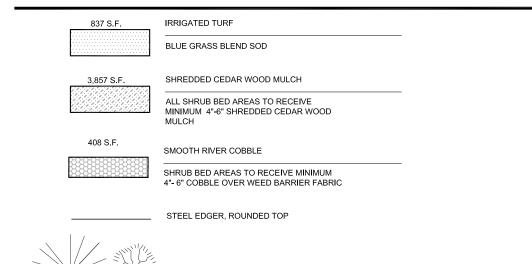
TOTAL / AVERAGE 4.694

Parking Lot Area Landscape

TOTAL PARKING AREA = 5,432 SF X 6% =

PARKING LOT AREA LANDSCAPE =

PER LUC 3.2.1 (E)(5):



325 SF REQUIRED

537 SF PROVIDED

December 20, 2013

SHEET TITLE

DATE

REVISIONS---

Landscape Notes, Details &

landscape architecture | planning | illustration

444 Mountain Ave. | ты. 970.532.5891

Berthoud, CO 80513 | WEB TBGroup.us

PROJECT TITLE

PLUM & SHIELDS

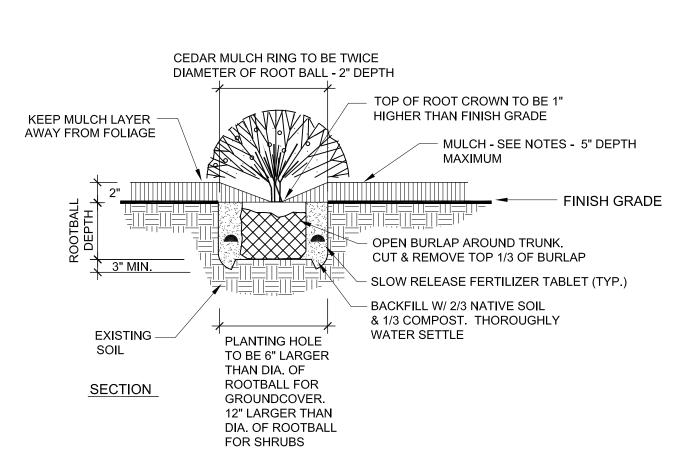
801 South Shields

Fort Collins, Colorado

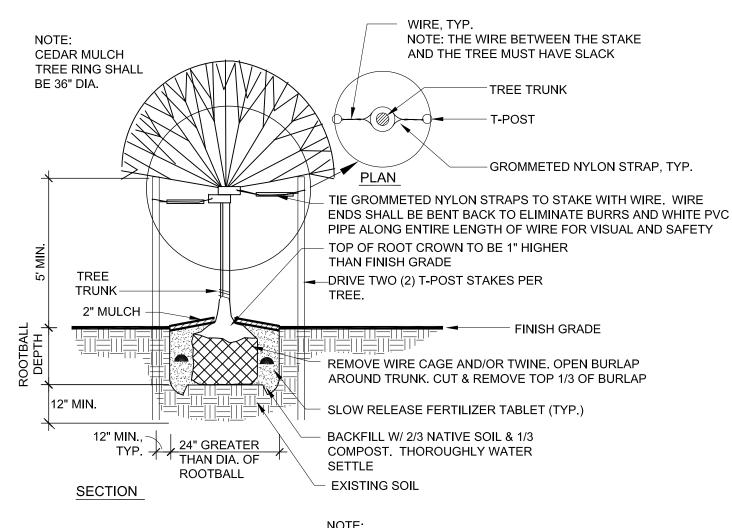
PREPARED FOR

__SEAL____

Schedules SHEET INFORMATION



GROUND COVER & SHRUB PLANTING DETAIL



WIRE BASKETS AND TWINE SHALL BE COMPLETELY REMOVED PRIOR TO TREE INSTALLATION.

DECIDUOUS TREE PLANTING DETAIL

WIRE BASKETS AND TWINE SHALL BE COMPLETELY REMOVED PRIOR TO TREE INSTALLATION.

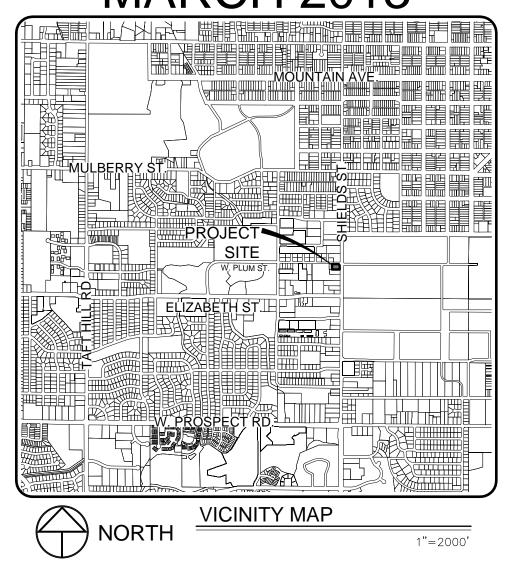
CONIFER TREE PLANTING DETAIL

PLUM & SHIELDS GREEK HOUSING

LOT 1, TURNING POINT, LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M. CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

CONTACT INFORMATION

MARCH 2013



PROJECT BENCHMARKS:

BENCHMARK #1: City of Fort Collins Benchmark 19-97

At the southeast corner of West Elizabeth and Shields Street, on a concrete traffic signal base. Elevation=5022.56 NGVD 29 (Unadjusted)

BENCHMARK #2: City of Fort Collins Benchmark 20-97 At the southwest corner of West Elizabeth and Constitution Avenue, on a concrete traffic signal

Elevation=5046.97 NGVD 29 (Unadjusted) Basis of Bearings is the East Line of Northeast Quarter Corner Section 15, Township 7 North,

ORIGINAL FIELD SURVEY BY:

ORIGINAL FIELD SURVEY: NORTHERN ENGINEERING SERVICES DATE: November 21, 2008

ADDITIONAL FIELD SURVEYS: NORTHERN ENGINEERING SERVICES DATE: December 2008; August 2011

Range 69 West. (Assumed Bearing)

PROJECT TEAM:

DEVELOPER/APPLICANT 801 Shields, LLC

Lance Dehning 1155 15th Avenue Longmont, CO 80501

PLANNER/ LANDSCAPE ARCHITECT

Jim Birdsall TB Group 444 Mountain Avenue Berthoud, Colorado 80513

200 South College Avenue, Suite 10 Fort Collins, Colorado 80524 (970) 221-4158

NORTHERN Gary Gilliland, PLS 200 South College Av

UTILITY CONTACT LIST: *

UTILITY COMPANY	<u> </u>	PHONE NUMBER
GASXcel Energy	Stephanie Rich	(970) 225-7828
ELECTRIC City of Fort Collins Light & Power	Doug Martine	(970) 224-6152
CABLE Comcast	Don Kappermar	n (970) 567-0245
TELECOMCenturyLink	William Johnsor	n (970) 490-7501
WATER City of Fort Collins Utilities	Roger Buffingto	n (970) 221-6700
WASTEWATERCity of Fort Collins Utilities	Roger Buffingto	n (970) 221-6700
STORMWATER- City of Fort Collins Utilities	Glen Schlueter	(970) 221-6700
FIBER OPTICS Colorado State University	Kurt Davis	(970) 491-0187
* This list is previously as a secretary reference and	Northorn Engi	naarina Carviaaa

shall this list relinquish the Contractor's responsibility for locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of Colorado (UNCC) at 811 for additional information. ** The underground utility locates provided by SiteWise, LLC are based upon the best

assumes no responsibility for the accuracy or completeness of this list. In no way

available information at the time of locating. Contractor acknowledges that it is common for underground facility owner maps to have errors and omissions of data shown. Consequently, it is the Contractor's sole responsibility to field verify the location of all utilities prior to construction, and notify the Engineer of any

SUBSURFACE UTILITY LOCATES**



SiteWise, LLC 7000 N. Broadway Building 3, Suite 306

SHEET INDEX

C000 **COVER SHEET**

GENERAL & CONSTRUCTION NOTES C100 **EXISTING CONDITIONS & DEMOLITION PLAN**

PAVING PLAN

GRADING & UTILITY PLAN CONSTRUCTION DETAILS DRAINAGE EXHIBIT

HERNG EERING NORTI ENGINE

DISCLAIMER STATEMENT:

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

CERTIFICATION STATEMENT:

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes, respectively; and that I am fully responsible for the accuracy of all design, revisions, and record conditions that I have noted on

CALL UTILITY NOTIFICATION CENTER OF CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE

City of Fort Collins, Colorad UTILITY PLAN APPROVAL	
APPROVED:City Engineer	 Date
CHECKED BY:Water & Wastewater Utility	Date
CHECKED BY:Stormwater Utility	Date
CHECKED BY:Parks & Recreation	 Date
CHECKED BY:	Date
CHECKED BY:Environmental Planner	Date

Sheet

- 2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- 3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
- 4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
- 5. All storm sewer construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
- 6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for unknown underground utilities.
- 7. The Developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- 8. The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
- 9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
- 10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
- 11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a
- pre-construction meeting may be required prior to commencement of any work.

 12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary
- sewer should be constructed prior to installation of the water lines and dry utilities.

 13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water
- 14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is
- discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
- 15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.
- 16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
- 17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
- 18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
- 19. All recommendations of the Drainage Letter Report for Plum & Shields Greek Housing dated March 5, 2014by Northern Engineering shall be followed and implemented
- 20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
- 21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the the City of Fort Collins street inspector.
- 22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained if applicable
- 23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the the City of Fort Collins Inspector (Fort Collins 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
- 24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the City of Fort Collins Engineer approves the final report.
- 25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.
- 26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
- 27. Portions of Larimer County are within overlay districts. The Larimer County Flood Plain Resolution should be referred to for additional criteria for roads within these districts.
- 28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.
- 29. Prior to the commencement of any construction, the contractor shall contact the Local Entity Forester to schedule a site inspection for any tree removal requiring a permit.
- 30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
- 31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority. (The the City of Fort Collins, Larimer County, Colorado), for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer
- 32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact the City of Fort Collins Traffic Operations Department, who will temporarily remove or relocate the sign at no cost to the contractor, however, if the contractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.

shall be responsible for providing any and all traffic control devices as may be required by thE construction activities.

33. The Developer is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Development's local street operations. In addition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.

- 34. There shall be no site construction activities on Saturdays, unless specifically approved by the City of Fort Collins Engineer, and no site construction activities on Sundays or holidays, unless there is prior written approval by the City of Fort Collins.
- 35. The Developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.
- 36. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built record drawings.
- 37. The Developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.
- 38. If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Developer shall contact the Designer and the City of Fort Collins Engineer immediately.
- 39. The Developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and available to the Larimer County's Inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the City of Fort Collins Engineer.
- 40. The Designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks (2) for the project as well as the basis of bearings. The information shall be as follows:

City of Fort Collins Benchmark19-97

City of Fort Collins Benchmark20-97

At the southeast corner of West Elizabeth and Shields Street, on a concrete traffic signal base. Elevation=5022.56 NGVD 29 (Unadjusted)

At the southwest corner of West Elizabeth and Constitution Avenue, on a concrete traffic signal base. Elevation=5046.97 NGVD 29 (Unadjusted)

Basis of Bearing

Basis of Bearings is the East Line of Northeast Quarter Corner Section 15, Township 7 North, Range 69 West. (Assumed Bearing)

- 41. All stationing is based on centerline of roadways unless otherwise noted.
- 42. Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
- 43. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be done in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of need for a complete overlay shall be made by the Larimer County Engineer and/or the City of Fort Collins Inspector at the time the cuts are made.
- 44. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.
- 45. Standard Handicap ramps are to be constructed at all curb returns and at all "T" intersections.
- 46. After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
- 47. The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: N.A.
- 48. Approved Variances are listed as follows: a. None at this time

CONSTRUCTION NOTES

A. Grading and Erosion Control Notes

- The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.
- 2. There shall be no earth-disturbing activity outside the limits designated on the accepted plans.
- 3. All required perimeter silt and construction fencing shall be installed <u>prior</u>to any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
- 4. At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.
- 5. Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.
- 6. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City/County.
- 7. In order to minimize erosion potential, all temporary (structural) erosion control measures shall:

and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.

- a. Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.
- b. Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector.c. Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.
- 8. When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.
- 9. The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of
- way, and make sure streets and walkways are cleaned at the end of each working day.

 10. All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to
- cause their release into any waters of the United States.

 11. No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering,
- 12. The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and
- before turning the maintenance over to the City/County or Homeowners Association (HOA).
- 13. City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and federal regulations.
- 14. A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.
- 15. Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City.

B. Street Improvement Notes

- 1. All street construction is subject to the General Notes on the cover sheet of these plans as well as the Street Improvements Notes listed here.
- 2. A paving section design, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval, prior to any street construction activity, (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.
- 3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the City of Fort Collins Engineer in Fort Collins.
- 4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the City of Fort Collins Engineer.
- 5. Ft. Collins only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings are not allowed.
- 6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the Inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete overlay shall be made by the City of Fort Collins Engineer. All overlay work shall be coordinated with adjacent landowners such that future projects do not cut the new asphalt overlay work.
- 7. All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as per the Right-of-Way Work Permit traffic control plan.
- 8. The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of asphalt. Gutters that hold more than 1/4 inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.
- 9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less that 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive pumping or deformation, as determined by the City of Fort Collins Engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The City of Fort Collins Engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be preformed in the presence of an Inspector.

C. Traffic Signing and Pavement Marking Construction Notes

- All signage and marking is subject to the General Notes on the cover sheet of these plans, as well as the Traffic Signing and Marking Construction Notes listed here.
- 2. All symbols, including arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.
- 3. All signage shall be per the City of Fort Collins Standards and these plans or as otherwise specified in MUTCD.
- 4. All lane lines for asphalt pavement shall receive two coats of latex paint with glass beads.
- 5. All lane lines for concrete pavement should be epoxy paint.
- 6. Prior to permanent installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and placement of the same. Their placement shall be approved by the City of Fort Collins Traffic Engineer prior to permanent installation of striping and symbols.
- 7. Pre-formed thermo-plastic applications shall be as specified in these Plans and/or these Standards.
- 8. Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.
- 9. All surfaces shall be thoroughly cleaned prior to installation of striping or markings.
- 10. All sign posts shall utilize break-away assemblies and fasteners per the Standards.
- 11. A field inspection of location and installation of all signs shall be performed by the City of Fort Collins Traffic Engineer. All discrepancies identified during the field inspection must be corrected before the 2-year warranty period will begin.
- 12. The Developer installing signs shall be responsible for locating and protecting all underground utilities.
- 13. Special care shall be taken in sign location to ensure an unobstructed view of each sign.
- 14. Signage and striping has been determined by information available at the time of review. Prior to initiation of the warranty period, the City of Fort Collins Traffic Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Traffic Engineer determines that an unforeseen condition warrants such signage according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the 2-year warranty period for new construction (except fair wear on traffic markings).
- 15. Sleeves for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Traffic Control Devices, for additional detail.

D. Storm Drainage Notes

- 1. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
- 2. All recommendations of the "Drainage Letter Report for Plum & Shields Greek Housing" dated March 5, 2014by Northern Engineering shall be followed and implemented.
- 3. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must by submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall by submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.

E. Utility Notes

- 1. All waterline and sanitary sewer construction shall conform to the City of Fort Collins Utility standards and specifications current to date of construction.
- 2. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the water
- 3. Water mains shall be poly-wrapped D.I.P, or PVC with tracer wire.
- 4. HDPE pipe may be used for 1-1/2 and 2 inch water services. The pipe shall meet the standards of AWWA 901, NSF Standard 61 and ASTM. The HDPE pipe shall be SDR 9 having a pressure rating of 200 psi. Stiffeners shall be used at all fittings and connections. Tracer wire shall be installed with the HDPE service, and shall extend up the curb stop. The curb stop shall be covered with a metal box and tracer wire test lid per City Water Detail 25.

CALL UTILITY NOTIFICATION CENTER OF COLORADO

Know what's below.

Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:

City Engineer Date

CHECKED BY:

Water & Wastewater Utility Date

CHECKED BY:

Stormwater Utility Date

CHECKED BY:

Parks & Recreation Date

CHECKED BY:

Traffic Engineer Date

CHECKED BY:

Environmental Planner Date

are No. Kevisions:

Vice hem so, linc.

Sed for riction aled by heer in thern so, linc.

Sed for NARCH 5, 2014

PN Engineering Services, Inc. and are not to be used for any type of construction unless signed and sealed by a Professional Engineer in the employ of Northern Engineering Services, Inc.

NORTHE ENGINEER

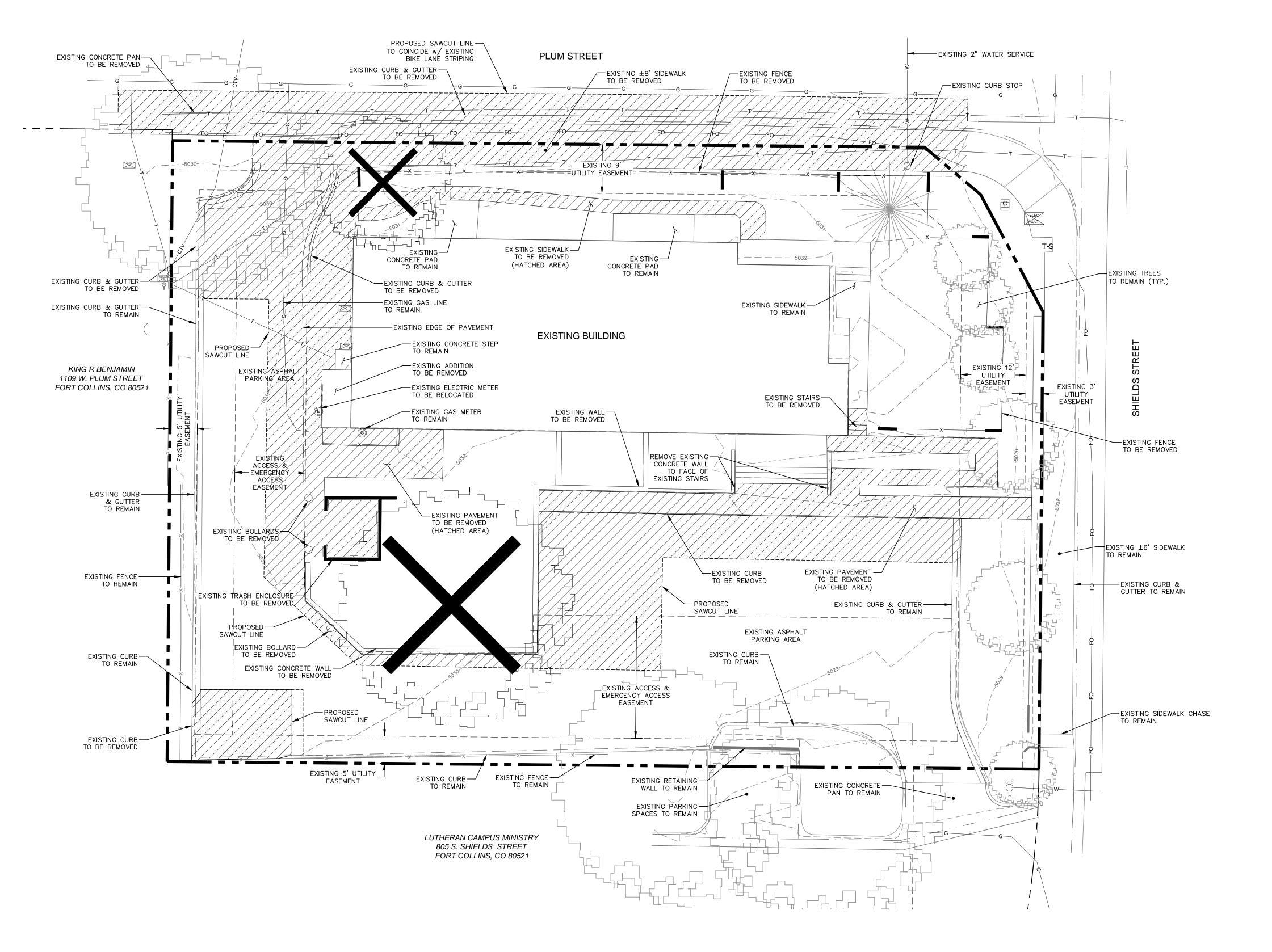
ALE:
VIEWED BY:
Port Collins, Colorad

PROJECT: D
970–001 M
DESIGNED BY: SI
A Reese

Sheet C001

ENE

Of 8 Sheet



60 Feet (IN FEET) 1 inch = 20 ft.

LEGEND:

LLGLIND.	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT—OF—WAY	
EXISTING MAJOR CONTOUR	———— 5015————
EXISTING MINOR CONTOUR	— — — — 5013— — — — —
EXISTING STORM SEWER	ST
EXISTING TELEPHONE	т
EXISTING GAS	G
EXISTING SANITARY SEWER	SS
EXISTING WATER	
EXISTING ELECTRIC	——————————————————————————————————————
EXISTING FENCE	x
SAWCUT LINE	
EXISTING ELECTRIC VAULT	
EXISTING FIRE HYDRANT	
EXISTING IRRIGATION BOX	CONTROL
EXISTING WATER METER	(H2O)
EXISTING GAS METER	
EXISTING TELEPHONE PEDESTAL	
EXISTING MONITORING WELL	(MW)
EXISTING TREES (TO REMAIN)	
EXISTING TREES (TO BE REMOVED)	
APPROXIMATE LIMITS OF CONCRETE/ ASPHALT REMOVAL	

FIELD SURVEY BY:

Northern Engineering Services, Inc. Project No. 970—001 Date: October 28, 2013

NOTES:

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIAL.
- CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE. THE CITY OF FORT COLLINS STREET DEPARTMENT OPERATES A CRUSHING OPERATION THAT WILL ACCEPT CONCRETE MATERIAL AT NO COST FOR CRUSHING AND RE-USE AS RECYCLED AGGREGATE. THIS OPERATION IS LOCATED AT 1380 HOFFMAN MILL ROAD AND CAN BE REACHED AT (970) 482-1249.
- 4. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE. . CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE
- EXISTING SITE SURVEY.
- 6. REFER TO LANDSCAPE PLANS FOR TREE PROTECTION AND MITIGATION.
- . CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY FIELD LOCATES AND POTHOLING OF SUBSURFACE UTILITIES.
- 8. CONTRACTOR SHALL COORDINATE ANY NECESSARY TELEPHONE AND ELECTRIC LOWERING (OR RE-ROUTING) WITH THE RESPECTIVE UTLITY PROVIDER(S).

CALL UTILITY NOTIFICATION CENTER OF



Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado

Ţ	UTILITY PLAN APPROVAL	
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	 Date
CHECKED BY:	Traffic Engineer	 Date
CHECKED BY:	Environmental Planner	 Date
		Date

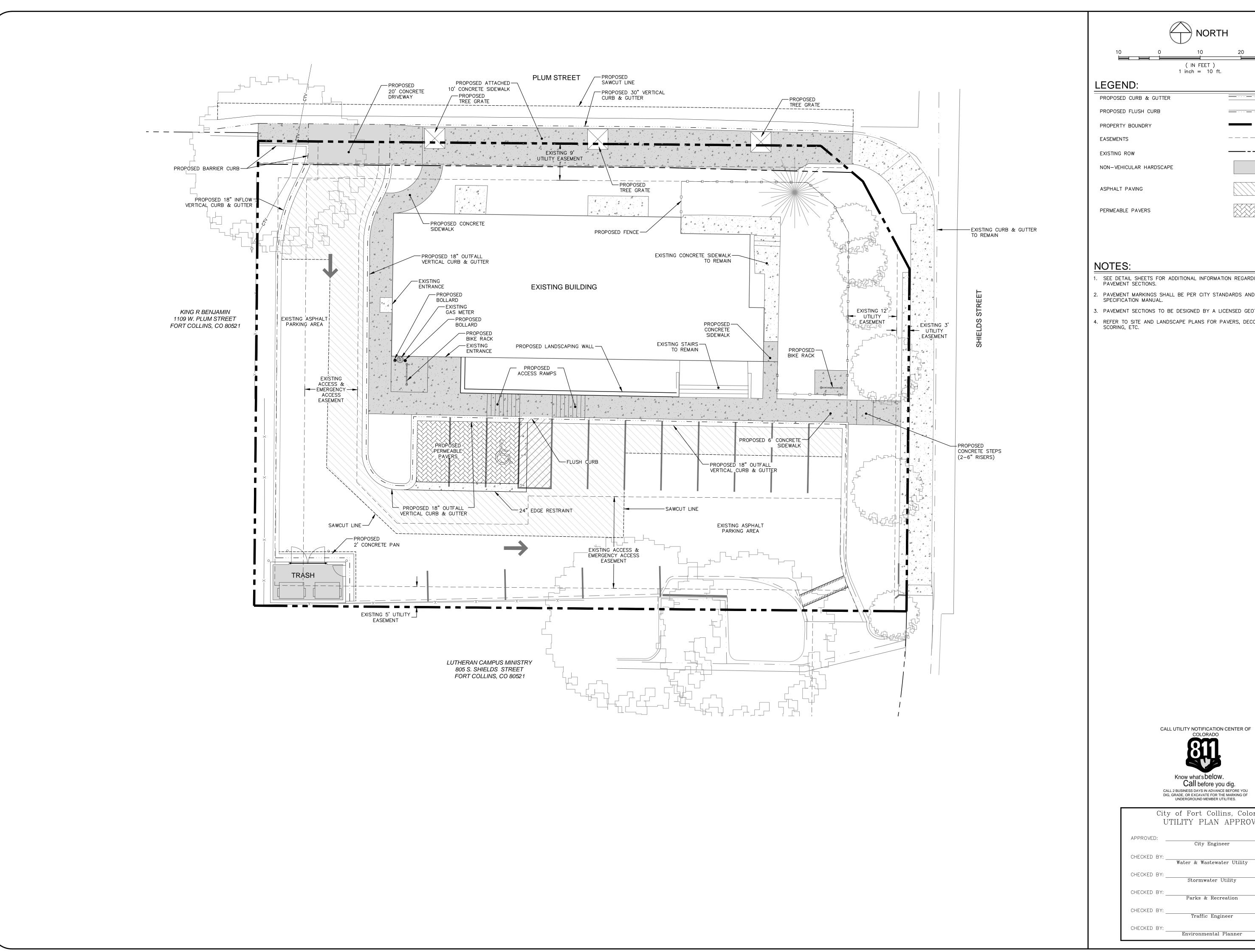
TING (EMOL

 \square

工出

Sheet

Of 8 Sheets



30 Feet (IN FEET) 1 inch = 10 ft.

PROPOSED CURB & GUTTER PROPOSED FLUSH CURB PROPERTY BOUNDRY

SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION REGARDING CURBS AND PAVEMENT SECTIONS.

- . PAVEMENT MARKINGS SHALL BE PER CITY STANDARDS AND PROJECT SPECIFICATION MANUAL.
- 3. PAVEMENT SECTIONS TO BE DESIGNED BY A LICENSED GEOTECHNICAL ENGINEER.
- REFER TO SITE AND LANDSCAPE PLANS FOR PAVERS, DECORATIVE PAVING,

CALL UTILITY NOTIFICATION CENTER OF COLORADO

Know what's below.

Call before you dig.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL

City Engineer

Stormwater Utility

Traffic Engineer

Date

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

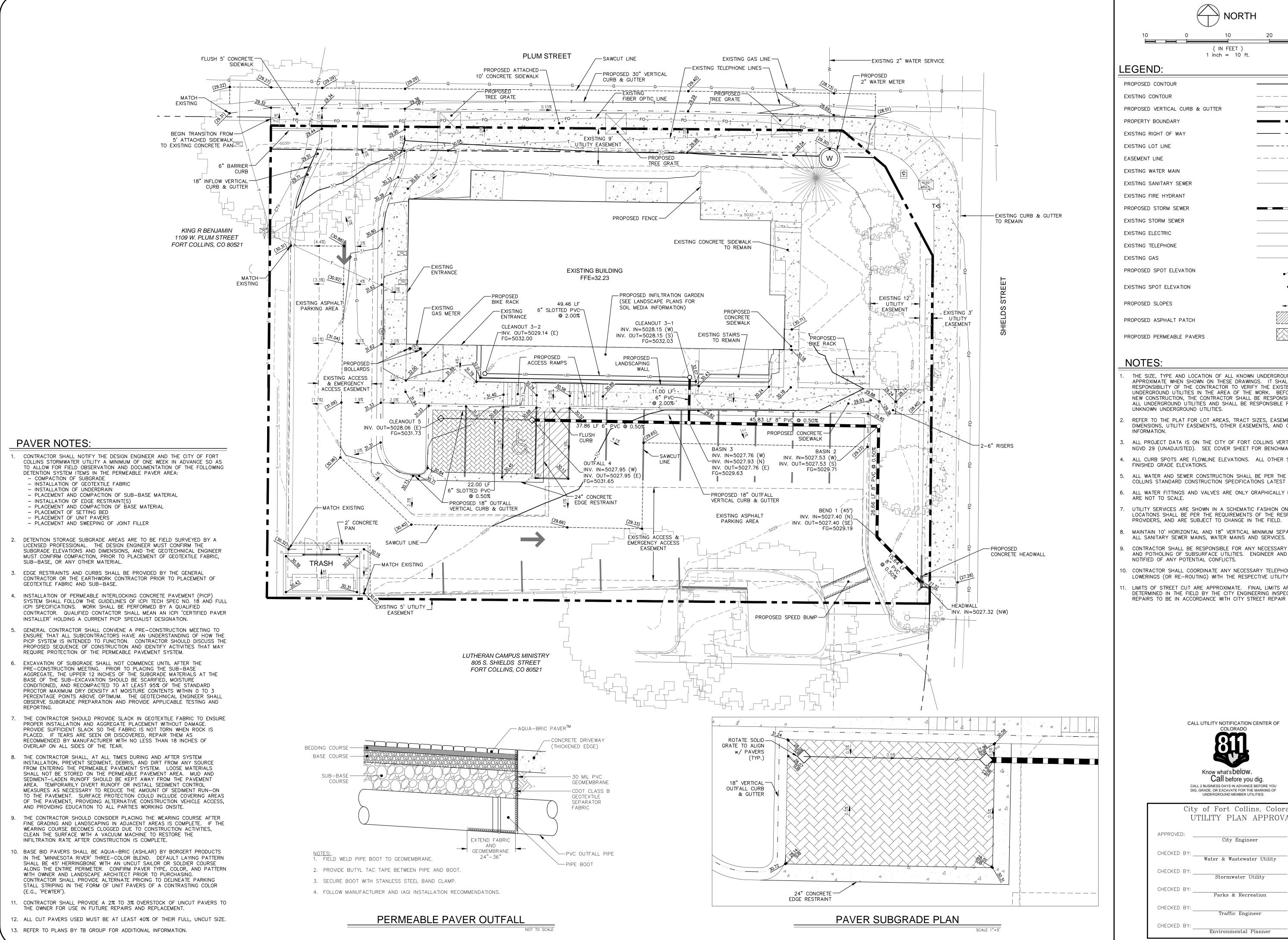
 \square 工出 NOR ENGL



PAVING

Sheet C200

Of 8 Sheets



30 Feet (IN FEET 1 inch = 10 ft.

PROPOSED CONTOUR EXISTING CONTOUR — — — — 5013— — — — PROPOSED VERTICAL CURB & GUTTER PROPERTY BOUNDARY EXISTING RIGHT OF WAY EXISTING LOT LINE EASEMENT LINE EXISTING WATER MAIN EXISTING SANITARY SEWER EXISTING FIRE HYDRANT PROPOSED STORM SEWER EXISTING STORM SEWER EXISTING ELECTRIC EXISTING TELEPHONE PROPOSED SPOT ELEVATION EXISTING SPOT ELEVATION PROPOSED SLOPES

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
- ALL PROJECT DATA IS ON THE CITY OF FORT COLLINS VERTICAL DATUM; NGVD 29 (UNADJUSTED). SEE COVER SHEET FOR BENCHMARK REFERENCES.
- ALL CURB SPOTS ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
- 5. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER THE CITY OF FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS LATEST EDITION.
- ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
- MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY FIELD LOCATES AND POTHOLING OF SUBSURFACE UTILITIES. ENGINEER AND CITY SHALL BE NOTIFIED OF ANY POTENTIAL CONFLICTS.
- 10. CONTRACTOR SHALL COORDINATE ANY NECESSARY TELEPHONE AND ELECTRIC LOWERINGS (OR RE-ROUTING) WITH THE RESPECTIVE UTILITY PROVIDERS.
- LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.

CALL UTILITY NOTIFICATION CENTER OF



DIG, GRADE, OR EXCAVATE FOR THE MARKING OF

UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL City Engineer Water & Wastewater Utility CHECKED BY: Date Stormwater Utility Date CHECKED BY: Environmental Planner Date

Sheet

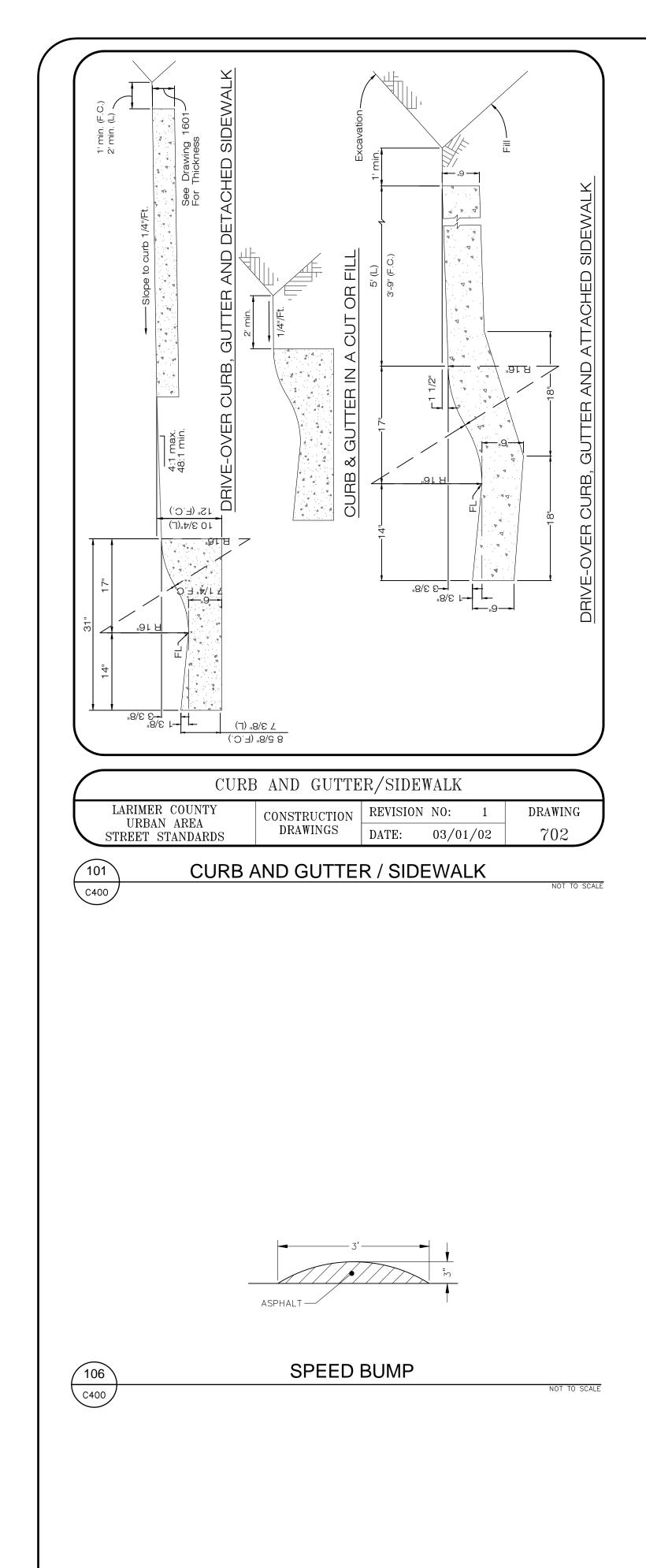
 \square

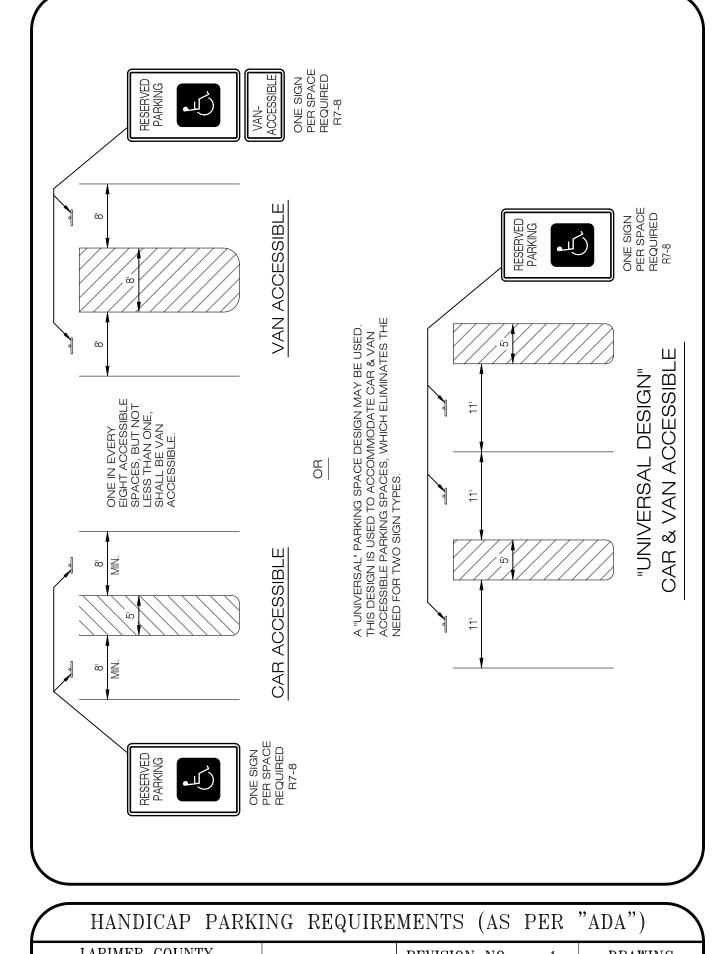
— Ш

OS

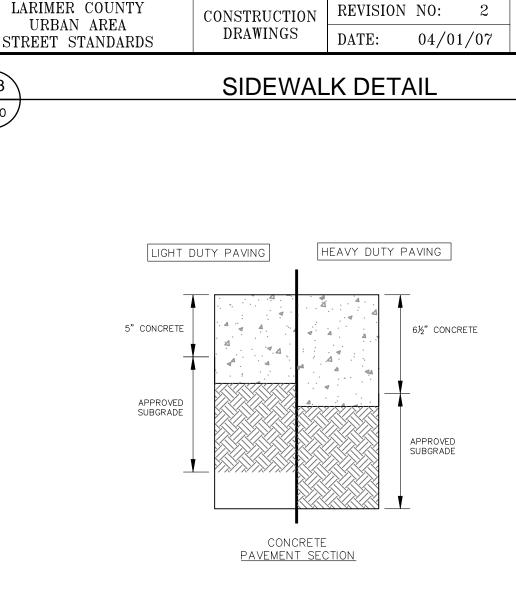
Of 8 Sheets

∞





	HANDICAP PARK	ING REQUIRE	MENTS (AS PER	"ADA")
	LARIMER COUNTY URBAN AREA	CONSTRUCTION	REVISION NO: 1	DRAWING
	STREET STANDARDS	DRAWINGS	DATE: 03/01/02	1407
	102	HANDICAP F	PARKING	
Co	400			NOT TO SCALE



SIDEWALK DETAIL

ATTACHED SIDEWALK DETAIL

DETACHED SIDEWALK DETAIL

R 1/8" / 1/4 SLAB THICKNESS

WEAKENED PLANE JOINT

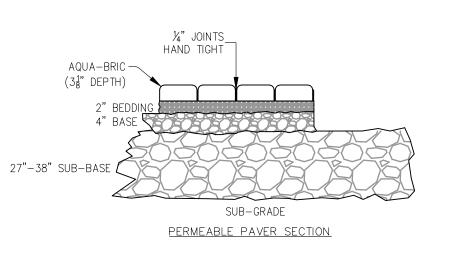
C400

Slope sidewalk to curb 1/4" per foot.

INSTALL IN LOCATIONS SPECIFIED IN CHAPTER 22

EXPANSION JOINT

DRAWING

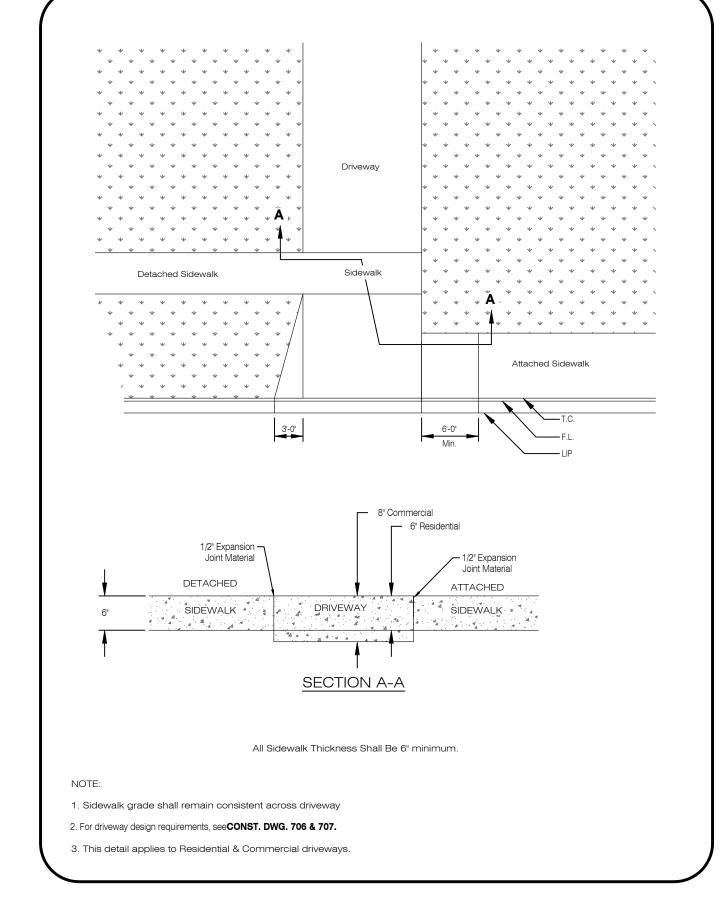


NOTES:

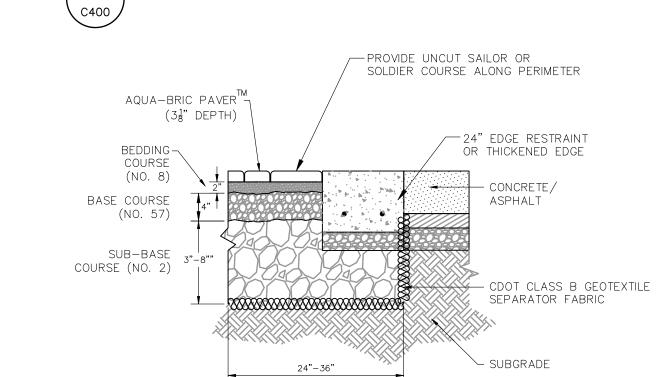
1. ALL SITE GRADING, SUBGRADE PREPARATION AND PAVING SHALL DESIGNED BY A LICENSED GEOTECHNICAL ENGINEER.

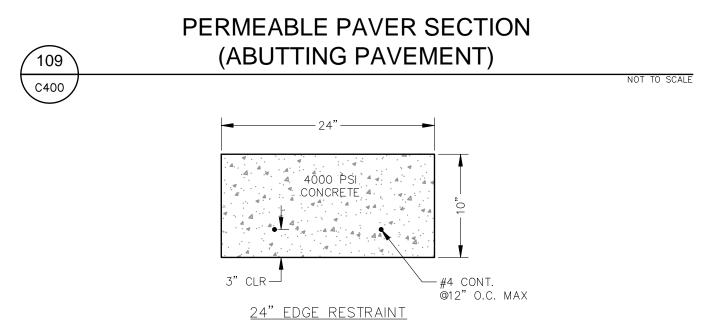
- 2. REFER TO PLANS BY TB GROUP FOR ADDITIONAL HARDSCAPE INFORMATION.
- 3. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PAVER SECTION AND INSTALLATION.
- 4. THE ENTIRE PERIMETER OF THE PERMEABLE PAVER AREAS SHALL RECEIVE SOME FORM OF EDGE
- RESTRAINT. FOLLOW MANUFACTURER'S RECOMMENDATIONS AND DETAILS ON THIS SHEET.

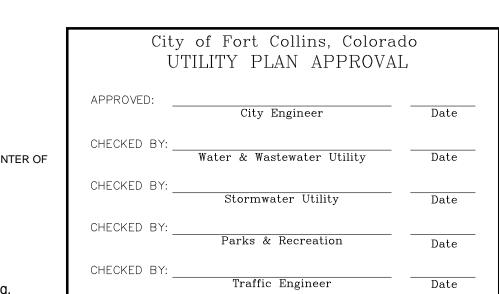
PAVING SECTIONS (PRIVATE AREAS OUTSIDE ROW)



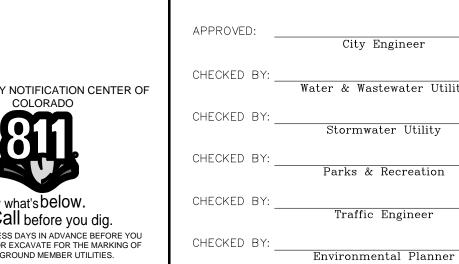
	STANDARD SI	DEWALK			
LARIMER COUNTY URBAN AREA	CONSTRUCTION	REVISION NO: 1		DRAWING	
STREET STANDARDS	DRAWINGS	DATE:	04/01/07	1601	
104 ST	ANDARD SI	DEWAL	 _K		







PERMEABLE PAVER EDGE RESTRAINT C400 /



PRIVATE OUTFALL VERTICAL CURB & GUTTER C400

PRIVATE INFLOW VERTICAL CURB & GUTTER

CALL UTILITY NOTIFICATION CENTER OF Know what's below. Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Sheet Of 8 Sheets

Date

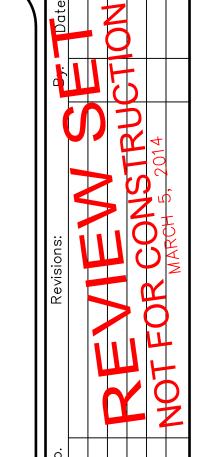
Z_S

工出

NORT ENGINE

C400

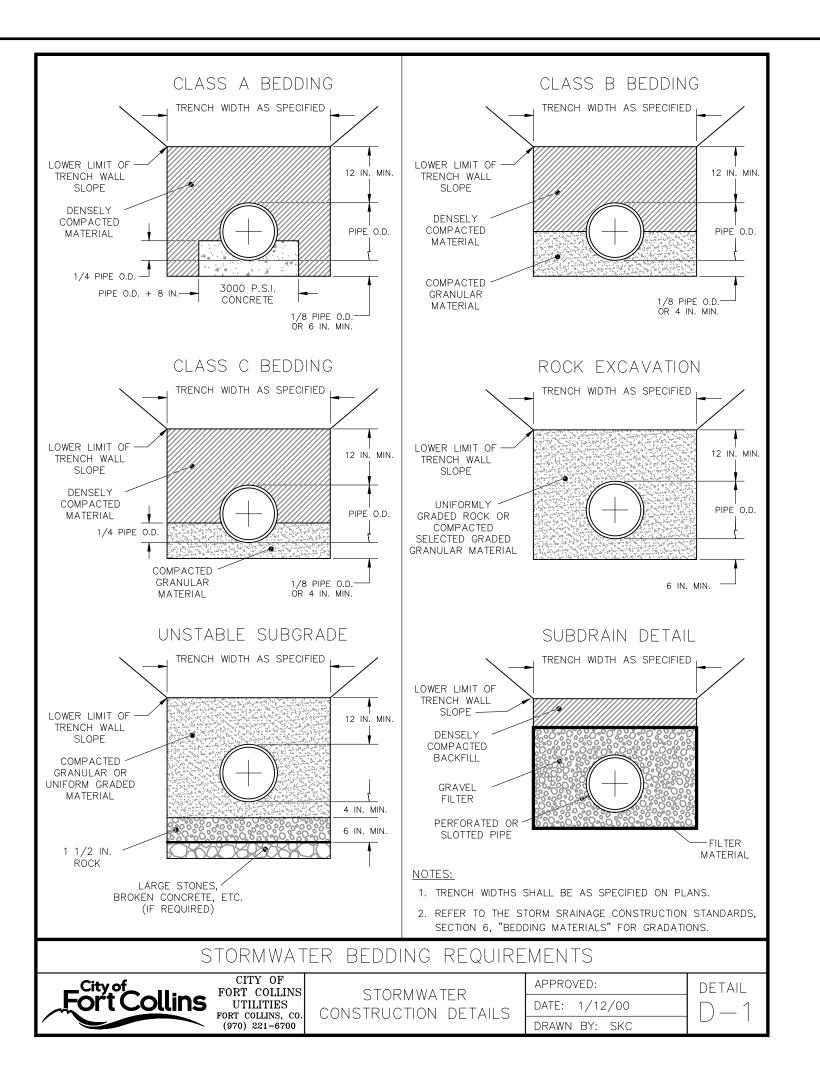
2' CONCRETE PAN



X2 \square 工出







STORMWATER BEDDING REQUIREMENTS

— INSTALL LID 1/2 IN. ABOVE FINAL LANDSCAPED GRADE

REVISED DATE 4/11/11

DETAIL

16A

C401

ALUMINUM MANHOLE RING AND COVER WITH LOCK NUT

-PRE-CAST CONCRETE

13 1/4" FOR 1-1/2" METERS

17 1/4" FOR

2" METERS

METER

SETTER —►

STANDARD SETTING FOR 1-1/2 IN.

AND 2 IN. WATER METERS

- 12" MIN WIDTH GUIDELINE

8" MIN. THICKNESS GUIDELINE

TRAFFIC LOADS:CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE URPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

---- INCLUDE SUMP INSERT

① - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
② - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
③ - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
RISERS ARE NEEDED FOR BASINS OVER 84* DUE TO SHIPPING RESTRICTIONS.
SEE DRAWING NO. 7001-110-065
④ - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212
FOR CORRUGATED HOPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
⑤ - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0* TO 360*. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

CONDUIT THROUGH VAULT OR PIT TOP

INTO YOKEBOX

SUPPORT METER SETTERS BY (2) 18 INCH LENGTHS OF 1 INCH IRON PIPE INSERTED THROUGH

. DO NOT INSTALL IN ANY STREET, ALLEY, PARKING AREA, DRIVEWAY, SIDEWALK, DRAINAGE DITCH OR DETENTION

3. NO LANDSCAPING (TREES, SHRUBS, BOULDERS, ETC.) OR RETAINING WALLS TO BE WITHIN 4 FEET OF METER PIT

. THE METER PIT AND AMR POD(S) MUST REMAIN OPEN AND ACCESSABLE FOR METER READING AND MAINTENANCE.

. ALL TEES, COUPLINGS AND CONNECTION FITTINGS TO BE A MINIMUM OF 5 FEET FROM METER PIT WALL ON OUTLE

. IF A PRESSURE REDUCING VALVE IS REQUIRED BY PLUMBING CODE, IT SHALL BE INSTALLED INSIDE THE BUILDING

3. GRADE ACCEPTANCE AFTER METER PIT INSTALLATION REQUIRES THAT THE OWNER ADJUST METER PIT COVER

(201) STANDARD SETTING FOR $1\frac{1}{2}$ " & 2" WATER METERS

NYLOPLAST 12" DRAIN BASIN:2812AG _ _ X

BRACE PIPE EYELETS AND SET ATOP (4) 8 INCH SQUARE CONCRETE BLOCKS.

6. MAKE NO PLUMBING CONNECTIONS (TEES, COUPLINGS, ETC.) IN METER PIT.

A SEPERATE AMR POD MUST BE INSTALLED FOR EACH METER REGISTER

. SLOPE GROUND SURROUNDING METER PIT AWAY FROM LID AT 2% GRADE OR GREATER.

CITY OF FORT COLLINS TITLE OF DRAWING
UTILITIES - WATER

GRADE RINGS (IF REQUIRED)

- MANHOLE RUNGS

12" O.C.

PART #YUC-7 WITH FORD YOKE BOX LID PART #YL-TP

FINISHED GRADE

AND REMOVABLE PLUG)

\2% SLOPE

3/4" ROCK FOR GRADE

ADJUSTMENT (IF REQ'D)

2' (MAX.)

PRECAST CONCRETE

ARMOUR-FLEX TUBING AND GROUT KNOCKOUT

BEFORE BACKFILLING -

AND NO TREES WITHIN 10 FEET.

TO 1/2 INCH ABOVE LANDSCAPED FINAL GRADE.

Fort Collins UTILITIES - WATER FIELD OPERATIONS P.O. BOX 580

IMMEDIATELY FOLLOWING THE MAIN SHUT-OFF VALVE.

CURB STOP -

C401

①②INTEGRATED DUCTILE IRON

③ VARIABLE INVERT HEIGHTS

AVAILABLE (ACCORDING TO

MATCH BASIN O.D.

DEPTH PER PIPE

RECOMMENDATION

(4) WATERTIGHT JOINT

(CORRUGATED HDPE SHOWN)

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER

GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II

MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR

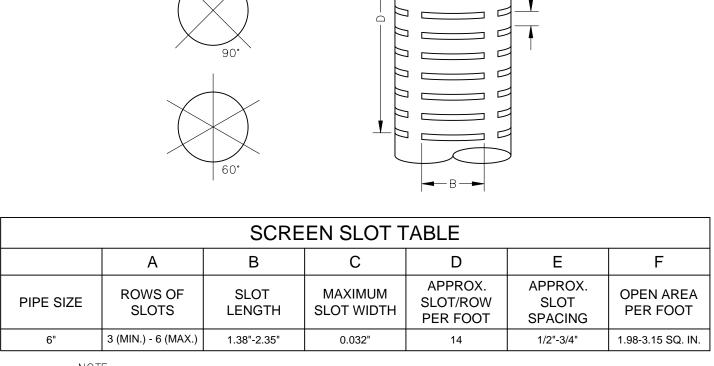
UNIFORMLY IN ACCORDANCE WITH ASTM D2321

(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 12" FOR CORRUGATED HDPE (ADS N-12, ADS SINGLE WALL, HANCOR DUAL WALL),

SDR 35, SCH 40 DWV, CORRUGATED & RIBBED PVC

C401

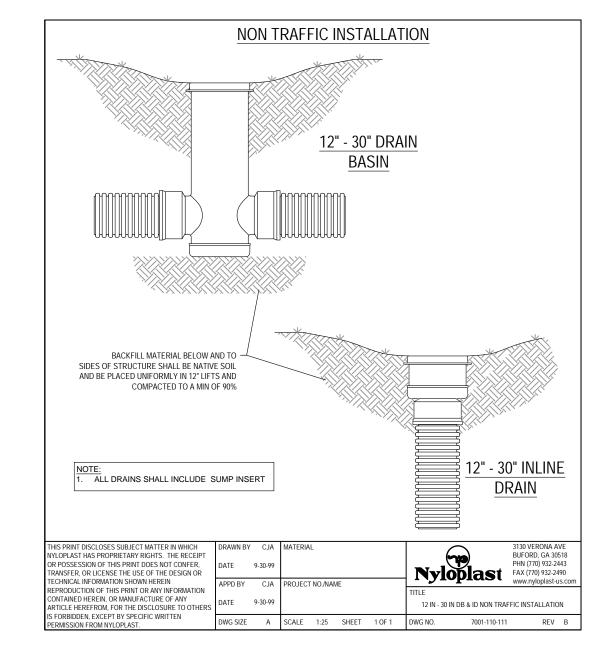
PLASTIC GASKETS (TYP. ALL JOINTS) -



"SLOTTED PVC" AND "PERFORATED PVC" SHALL MEAN THE SAME THING WHEN REFERRING TO UNDERDRAINS IN THIS PLAN SET.

C401

DIMENSIONS FOR SLOTTED PVC PIPE



DRAIN BASIN INSTALLATION (LANDSCAPED AREAS) \ C401 /

> INTEGRATED DUCTILE IRON FRAME & SOLID GRATE TO MATCH

> > (REFER TO STORM DRAIN PLAN)

OPEN BOTTOM

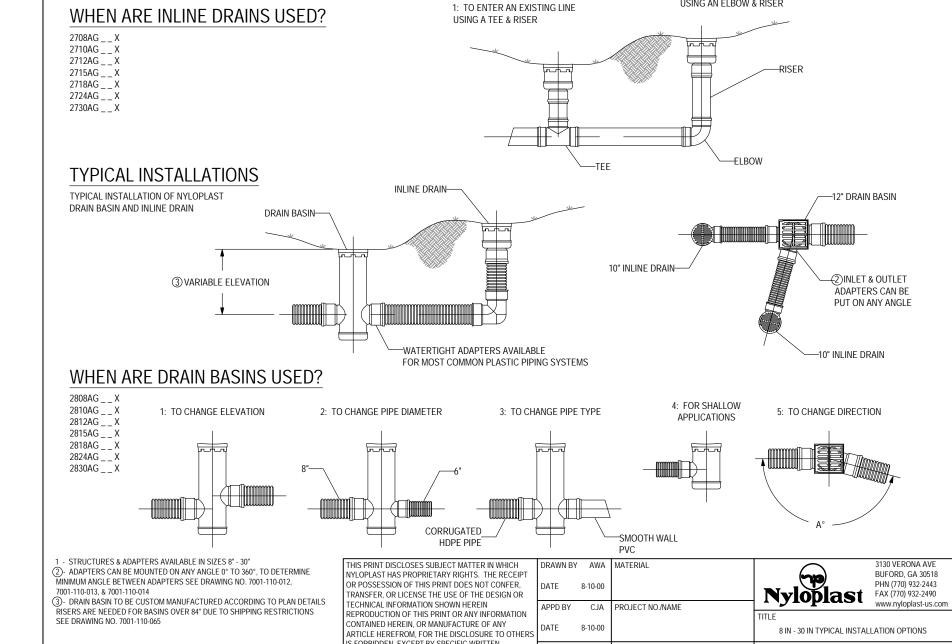
NO PERFORATIONS

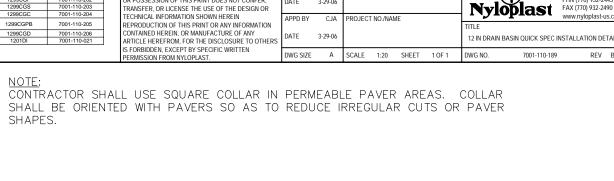
└ Ø .375" MAX

WITHIN 1" OF ADAPTORS

(NO BOTTOM CAP)

2: AT THE BEGINNING OF A DRAIN LINE USING AN ELBOW & RISER 1: TO ENTER AN EXISTING LINE WHEN ARE INLINE DRAINS USED? USING A TEE & RISER 2708AG _ _ X 2710AG _ _ X 2712AG _ _ X 2715AG _ _ X 2718AG _ _ X 2724AG _ _ X 2730AG _ _ X TYPICAL INSTALLATIONS INLINE DRAIN-TYPICAL INSTALLATION OF NYLOPLAST DRAIN BASIN AND INLINE DRAIN —(2)INLET & OUTLET ③ VARIABLE ELEVATION ADAPTERS CAN BE PUT ON ANY ANGLE ---WATERTIGHT ADAPTERS AVAILABLE —10" INLINE DRAIN FOR MOST COMMON PLASTIC PIPING SYSTEMS WHEN ARE DRAIN BASINS USED? 4: FOR SHALLOW 2810AG _ _ X 2812AG _ _ X 2815AG _ _ X 1: TO CHANGE ELEVATION 2: TO CHANGE PIPE DIAMETER 3: TO CHANGE PIPE TYPE 5: TO CHANGE DIRECTION APPLICATIONS 2818AG _ _ X 2824AG _ _ X 2830AG _ _ X CORRUGATED___/ HDPE PIPE STRUCTURES & ADAPTERS AVAILABLE IN SIZES 8" - 30" THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°, TO DETERMINE YLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT BUFORD, GA 30518 MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012, SSESSION OF THIS PRINT DOES NOT CONFER,





DRAIN BASIN INSTALLATION (PAVED AREAS)

TYPICAL INSTALLATION OPTIONS

FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN
RMISSION FROM NYLOPLAST. DWG SIZE A SCALE 1:40 SHEET 1 OF 1 DWG NO. 7001-110-042 REV (

CALL UTILITY NOTIFICATION CENTER OF Know what's **below**. Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU

C401

UTILITY PLAN APPROVAL City Engineer Water & Wastewater Utility CHECKED BY: Date Stormwater Utility CHECKED BY: Date CHECKED BY: Traffic Engineer CHECKED BY: DIG. GRADE. OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES. Environmental Planner Date

12" MIN WIDTH GUIDELINE

- TOP 10" TO BE SOLID, WITHOUT PERFORATIONS

GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE

B - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS

City of Fort Collins, Colorado

2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05

- PERFORATIONS SHOULD NOT BE ON OR WITHIN 1" OF ADAPTERS. 5 - HOLES SHOULD BE STAGGERED EVERY OTHER ROW, AS SHOWN. 6 - MIN. 90° SEPARATION BETWEEN HOLES (MAX. 4 HOLES PER ROW)

SEE DRAWING NO. 7001-110-065

PRIVATE UNDERDRAIN CLEANOUT

- 8" MIN THICKNESS GUIDELINE

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II

MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

- EXTEND MIN. 6" INTO SUBGRADE

TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

NOTES:

REFER TO THE "DRAINAGE LETTER REPORT FOR SHIELDS & PLUM GREEK HOUSING" BY NORTHERN ENGINEERING, DATED MARCH 5, 2014 FOR ADDITIONAL INFORMATION.

93----

— — — — 4953— — — —

 $\sim \rightarrow$

0.67 BASIN AREA (AC)

ERNG RING

工出

NOR ENGL

BENCHMARK/BASIS OF BEARING

BENCHMARK #1: City of Fort Collins Benchmark 19-97 At the southeast corner of West Elizabeth and Shields Street, on a concrete traffic signal base. Elevation=5022.56

BENCHMARK #2: City of Fort Collins Benchmark 20-97

At the southwest corner of West Elizabeth and Constitution Avenue, on a concrete traffic signal base. Elevation=5046.97

Basis of Bearings
Basis of Bearings is the East Line of Northeast Quarter Corner Section 15, Township 7 North, Range 69 West. (Assumed Bearing)

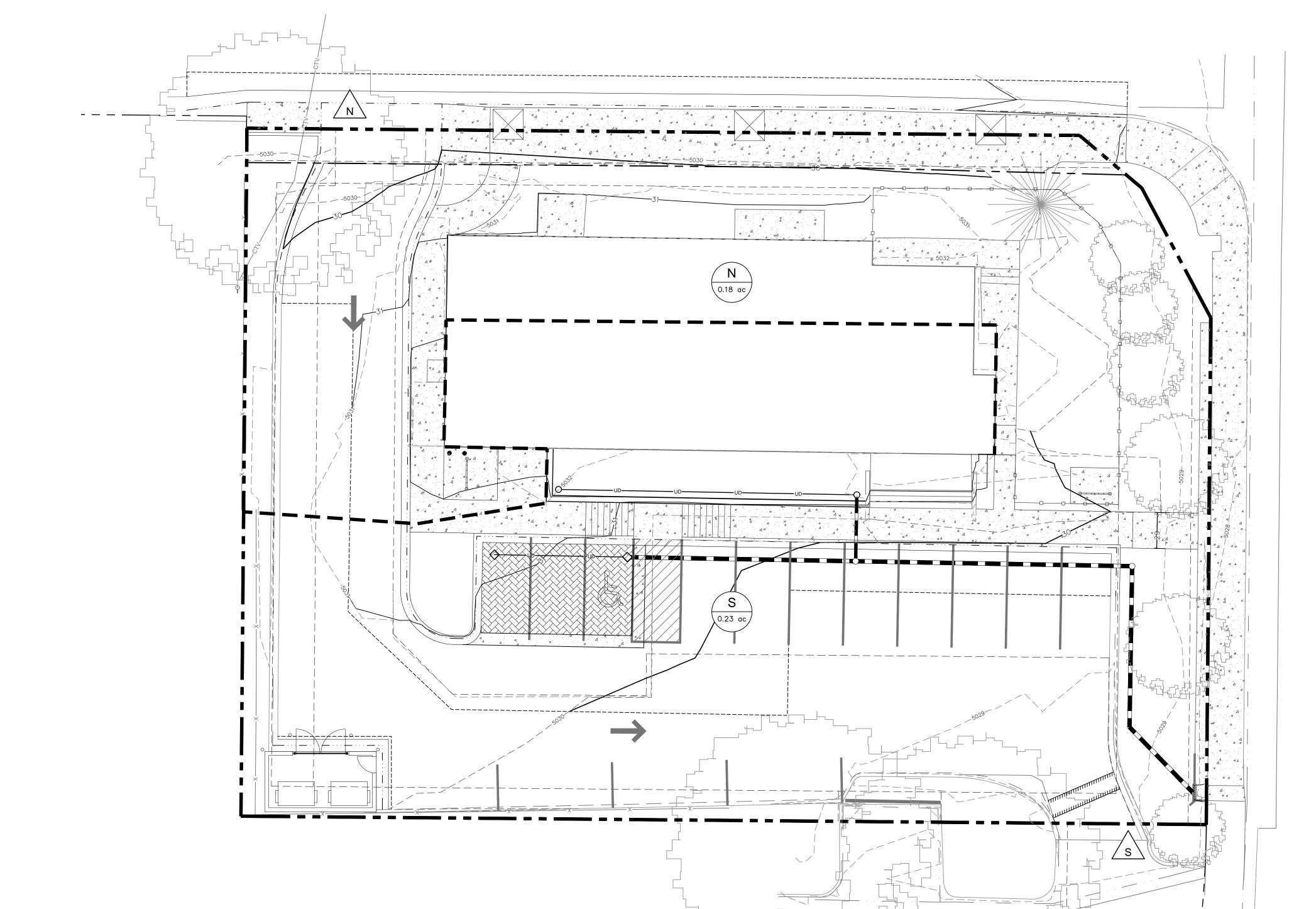
FOR DRAINAGE REVIEW ONLY NOT FOR CONSTRUCTION

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

•	of Fort Collins, Colora TILITY PLAN APPROVA	
APPROVED:	City Engineer	 Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	——————————————————————————————————————
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:		 Date



LID SUMMARY TABLES:

Basin	Basin Area (sq. ft.)	Treatment Type	LID?	Percent
N	7785	None	no	0%
S (Roof)	2387	Infiltration Garden	yes	13%
S (Parking)	375	Permeable Pavers	yes	2%
Totals	17971	-	_	15%

Pavement	Area (sq. ft.)	LID ?	Percent
Traditional Concrete/Asphalt	691	no	65%
Permeable Pavers	375	yes	35%
Totals	1,066	-	100%

New Paving	Roof Area	Area Treated	Treatment Type	Percen	
1066		375	Permeable Pavers	35%	
-	3052	1909	Infiltration Garden	63%	

DEVELOPED RUNOFF SUMMARY TABLE											
SIGN	BASIN ID	TOTAL AREA (acres)	C2	C10	C100	2-yr Tc (min)	10-yr Tc (min)	100-yr Tc (min)	Q2 (cfs)	Q10 (cfs)	Q100 (cfs)
N	N	0.18	0.65	0.65	0.81	5.0	5.0	5.0	0.3	0.6	1.4
S	S	0.23	0.84	0.84	1.00	5.2	5.2	5.1	0.6	1.0	2.3

C500 Of 8 Sheets

EXHIBIT



April 3, 2014

Jason Holland Current Planning Department 281 North College Ave. Fort Collins, CO 80524

Re: Plum & Shields Greek Housing

Please accept this request for a Modification of Standards to **Section 3.2.2(J)** and **Section 3.2.2(L)**, **Table A** of the Land Use Code.

Background

The proposed project is located in the vacant Turning Point building, at the southwest corner of Shields Street and Plum Street. The intent of the project is to utilize the existing building for an extra occupancy rental house with 20 occupants. The infrastructure, utilities, paving, and parking are all in place; however, there will be changes to the parking lot and significant upgrades to the landscaping. New sidewalks, a trash enclosure and bike racks will be added. The project will provide 15 off-street parking spaces. The project will also construct an additional 2' to the attached concrete sidewalk along the street frontage of Plum Street. There are also plans to remove the existing fence and wall along the north and east sides of the building and replace them with landscaping to create visual interest and a more engaging experience for pedestrians walking to and from campus.

The 0.413-acre site is in the C-C zoning district, the TOD Overlay district and in the Campus West Community Commercial District Planning Study Report. According to the Purpose Statement contained within Article 4 of the Land Use Code, "The Community Commercial District provides a combination of retail, offices, services, cultural facilities, civic uses and higher density housing..."

The area surrounding the site contains a mix of single-family homes, apartment buildings, sorority houses, a church, and retail uses. The proposed project is located within walking and biking distance to CSU and other destinations in the Campus West area. A growing trend in the Campus West area is the redevelopment of older properties as the market becomes stronger for revitalization.

This modification requested is in accordance with the review procedures set forth in Section 2.8.2(H) of the Land Use Code as follows:

Modification to section 3.2.2(J)

<u>Code Language:</u> Section 3.2.2(J) Setbacks. Any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet shall be set back from the street right-of-way and the side and rear yard lot line (except a lot line between buildings or uses with collective parking) consistent with the provisions of this Section, according

to the following table:

	Minimum average of entire landscaped setback	Minimum width of setback at any point (feet)
	area (feet)	
Along an arterial		
street	15	5
Along a		
nonarterial street	10	5
Along a lot line	5	5

Requested Modification: The project is attempting to utilize an existing building and site to the maximum extent feasible. The property has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes.

Because of these factors, the landscape setback area along the south property line ranges from 0' to 7.5'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a landscaped setback ranging from 0' to 7.5' along the south property line.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a **nominal**, **inconsequential way** when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2 for the following reasons:

- The proposed plan provides a solid privacy fence along roughly ½ of the length of the vehicle use area, thus providing additional screening.
- The property is unsightly and the landscaping is in poor shape. The new owners intend to enhance the plantings all throughout the entire site. Currently there is virtually no landscape along the south property line. New plant material will be added in the strip.
- The intent of the required 5' vehicular use area setback is to provide sufficient space for visual screening and to enhance the appearance of the vehicle use area. The proposed landscape area, although smaller than allowed, will provide a softened edge of landscape interior to the parking area while mitigating the visual impact to the property to the south.

Modification to section 3.2.2(L)Table A

<u>Code Language:</u> Section 3.2.2(L), Table A Standard Vehicle Dimensions states that the drive aisle width for two-way traffic be a minimum of 24'.

Requested Modification: The project is attempting to utilize an existing building and site to the maximum extent feasible. The site has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes. Off-street parking is critical for the success of this project, therefore, in addition to 11 head-in spaces, there are 4 parallal parking spaces located along the south side of the parking area.

Because of these factors, the two-way drive asile width is 18.6' instead of 24'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a two-way drive aisle be 18.6'.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant. Below is the justification:

- The parking area as modified provides off-street parking, which is desirable. The off-street spaces help reduce on-street parking, therefore providing a benefit to the adjacent neighborhoods.
- The intent of the 24' wide drive aisle width is to allow cars to have ample room to back out
 of a parking space. We feel that, although not ideal, the benefits of the parking stalls
 outweigh the inconvenience of having a narrower drive aisle.

Jason Holland

From: Ward Stanford

Sent: Tuesday, April 01, 2014 9:19 AM

To: Jason Holland; 'suebrown1953@hotmail.com'

Subject: RE: Cumulative impact of new Plum Street projects on traffic

Follow Up Flag: Follow up Flag Status: Flagged

Hello Ms. Brown,

To date the various projects have not caused the Shields and Plum intersections' level of service to drop below City policies. The studies look at traffic being generated by a development proposal during the rush hours, when traffic volumes are highest. There is also an expectation that a higher percentage of students may use alternative modes of travel (walk, bike or bus) than typical apartment or residential homeowners since there is limited on-campus parking and limited on-street parking available in the surrounding neighborhoods. Even though there are those afore mentioned expectations the traffic study reviews the development as if most of the traffic will be motor vehicle traffic.

Due to the amount of development taking place on Plum and some general background growth in general we do expect to have to make signal timing adjustments in the future and will be watching the intersection as the developments start taking on residents.

I hope this helps but if you would like to talk further please feel free to contact me at the number below.

Kind regards,

Ward Stanford

Traffic Systems Engineer City of Fort Collins Traffic Operations 970-221-6630 wstanford@fcgov.com

From: Jason Holland

Sent: Monday, March 31, 2014 12:04 PM **To:** 'suebrown1953@hotmail.com'

Cc: Ward Stanford

Subject: Cumulative impact of new Plum Street projects on traffic

Importance: High

Sue,

I wanted to follow up with you on your questions regarding traffic on Plum Street and Shields. I believe your concern from last week's neighborhood meeting involved the cumulative effect of new student housing projects on Plum Street such as The District and Scott Plaza, and whether the additional traffic these projects are anticipated to generate will trigger any requirement for new street improvements that would help improve traffic flow and safety in this area. I have included Ward Stanford in this email so that we can provide you with more information on this subject.

Thanks, Jason

Jason Holland

From: Sue <suebrown1953@hotmail.com>
Sent: Monday, March 31, 2014 3:39 PM

To: Jason Holland Cc: Ward Stanford

Subject: Re: Cumulative impact of new Plum Street projects on traffic

Thank you so much for your email – I appreciate your follow-up. Ward, I would love to discuss further with you. You can contact me at 704-607-2279. Thank you!!

From: Jason Holland

Sent: Monday, March 31, 2014 12:04 PM **To:** mailto:suebrown1953@hotmail.com

Cc: Ward Stanford

Subject: Cumulative impact of new Plum Street projects on traffic

Sue,

I wanted to follow up with you on your questions regarding traffic on Plum Street and Shields. I believe your concern from last week's neighborhood meeting involved the cumulative effect of new student housing projects on Plum Street such as The District and Scott Plaza, and whether the additional traffic these projects are anticipated to generate will trigger any requirement for new street improvements that would help improve traffic flow and safety in this area. I have included Ward Stanford in this email so that we can provide you with more information on this subject.

Thanks, Jason

Jason Holland, PLA | City Planner City of Fort Collins 281 North College Avenue Fort Collins, CO 80522 970.224.6126 jholland@fcgov.com



PUBLIC HEARING NOTICE

April 30, 2014

Dear Property Owner or Resident:

This letter is being sent to let you know about a development proposal near your property and to invite you to the public hearing where you can provide the hearing officer with your comments regarding this proposal. Specific information about this proposal is to the right and on the back of this letter. We welcome and encourage your participation, as your input is an important part of the development review process.

Check out our online guide of your ways to participate in the development review process by visiting fcgov.com/CitizenReview. You may also contact me or Sarah Burnett, Neighborhood Development Review Liaison, at 970-224-6076 or sburnett@fcgov.com. Sarah is available to assist residents who have questions about the review process and how to participate.

You received this notice because records from the Larimer County Assessor's Office indicate you own property near the proposed development site. Because of the lag time in recordkeeping, or because of rental situations, some neighbors may be missed. Please feel free to notify your neighbors of the neighborhood meeting so they can attend.

Public comment is encouraged during all phases of the review process. If you are unable to attend the hearing, but would like to provide input, please feel free to write me at the address below or e-mail me at jholland@fcgov.com. If you have questions at any time, please feel free to contact us.

Sincerely,

Jason Holland, PLA | City Planner City of Fort Collins 281 North College Avenue Fort Collins, CO 80522 970.224.6126

iholland@fcgov.com

The City of Fort Collins will make reasonable accommodations for access to City services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call 970-220-6750 for assistance.

Esta es una notificación sobre la reunión de su vecindario o sobre una audiencia pública sobre el desarrollo o proyecto en la propiedad cerca de donde usted es el dueño de propiedad. Si usted desea que esta notificación sea traducida al español sin costo alguno, favor enviar un correo electrónico en español a la siguiente dirección electrónica: titlesix@fcgov.com.

Development Review Center 281 North College Avenue PO Box 580 Fort Collins, CO 80522-0580 970-221-6750 fcqov.com/DevelopmentReview

HEARING TIME AND LOCATION

Wednesday May 14, 2014 5:00 p.m. (This is scheduled as the 2nd item on the agenda.) Conference Room A 281 North College Avenue, Fort Collins

PROPOSAL NAME & LOCATION

Plum & Shields Extra Occupancy Rental House

801 S. Shields Street (please see map on reverse)

PROPOSAL DESCRIPTION

- Existing 3-story building
- Building formerly used as a group home operated by Turning Point
- Building also formerly used as a Greek housing facility
- 20 occupants proposed
- 15 on-site parking spaces proposed
- Modification requests to Section 3.2.2(J) addressing a reduction in setbacks for parking and Section 3.2.2(L), Table A, addressing a reduction in dimensional standards for two-way drive isles.

ZONING INFORMATION

Community Commercial District (C-C)

HELPFUL RESOURCES

- Hearing Notice, Plans, and Staff Report: <u>fcgov.com/ReviewAgendas</u> (for administrative hearings)
- Information About the Review Process:

fcgov.com/CitizenReview