



ITEM NO 2
MEETING DATE May 14, 2014
STAFF Holland
HEARING OFFICER

STAFF REPORT

PROJECT: Plum and Shields Extra Occupancy Rental House, PDP #130053 and Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L) Table A.

APPLICANT: Cathy Mathis
TB Group
444 Mountain Avenue
Berthoud, Colorado 80513

OWNER: 801 Shields, LLC
1155 15th Avenue
Longmont, CO 80501

PROJECT DESCRIPTION:

This is a request for a Project Development Plan to convert an existing 3-story building formerly used as a group home facility (formerly occupied by Turning Point) to an extra occupancy rental house. The site is located on .413 acres at 801 South Shields Street and is in the Community Commercial (C-C) Zone District and the TOD Overlay District. The project includes a reconfiguration of the existing parking area with new a new trash enclosure, landscaping, sidewalks and street improvements. The project proposes an occupancy limit of 20 residents with 15 off-street parking spaces and 21 bicycle spaces.

The project includes two modifications of standard that address Section 3.2.2(J) requesting a reduction in setbacks for parking and Section 3.2.2(L), Table A, requesting a reduction in dimensional standards for two-way drive isles.

RECOMMENDATION:

Approval of the Project Development Plan and Modifications of Standard

EXECUTIVE SUMMARY:

The Plum and Shields Extra Occupancy Rental House and Modifications of Standard comply with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The P.D.P. complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L) Table ‘A’ meet the applicable requirements of Section 2.8.2(H), and the granting of these modifications would not be detrimental to the public good.
- The P.D.P. complies with relevant standards located in Division 4.18, Community Commercial District (C-C) of Article 4 – Districts.
- The P.D.P. complies with relevant standards located in Article 3 – General Development Standards, subject to approval of the two Modifications of Standard.

COMMENTS:

1. Background:

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	(C-C) Community Commercial	Gamma Phi Beta Greek Housing
South	(C-C) Community Commercial	Lutheran Campus Ministry at CSU
East	Colorado State University Campus	Moby Arena parking lot
West	(C-C) Community Commercial	1109 West Plum Street – 4 unit multi-family building

Land Use History:

- The property was annexed in May 1958 as part of the First South Shields Street Consolidated Annexation.
- The existing building located at the site was originally constructed in the 1960's and operated as a fraternity house. The fraternity use was later abandoned, and a minor amendment was approved to change the use to a group home, known as Turning Point for Youth and Family Development. The minor amendment was approved in 1999 and provided some improvements to the building façade and site layout.

2. Compliance with Community Commercial (C-C) Standards:

The project complies with all applicable C-C standards with the following relevant comments provided:

A. Section 4.18(A) – Purpose

The proposed land use is consistent with the purpose of the Community Commercial District, which is described as follows:

The Community Commercial District provides a combination of retail, offices, services, cultural facilities, civic uses and higher density housing. Multi-story buildings are encouraged to provide a mix of residential and nonresidential uses. Offices and dwellings are encouraged to locate above ground-floor retail and services.

B. Section 4.18(B) – Permitted Uses

The proposed Extra Occupancy Rental House land use is consistent with the permitted uses in the Community Commercial District. An Extra Occupancy Rental House use with more than five tenants is considered a residential use in the zone district subject to a Type 1 administrative review.

C. Section 4.18(F) – Development Standards for the Transit-Oriented Development (TOD) Overlay Zone.

The project is located within the T.O.D. Overlay Zone and is subject to the requirements of Division 3.10 of the L.U.C. Compliance with the relevant provisions of this section is discussed in subsequent pages of this staff report.

D. Section 4.18(E) – Building Height

The project's existing 3-story building height is in compliance with this section which limits the height of buildings to a maximum of 5 stories.

3. Compliance with Article 3 of the Land Use Code – General Development Standards

The project complies with all applicable General Development Standards with the following relevant comments provided:

A. Section – 3.2.1 Landscaping

- The site contains five existing trees along West Plum and South Shields Streets that will be preserved and protected with the proposed renovation of the site. Five existing trees are being removed from the site, with four of the five trees in poor condition and one in fair condition. No mitigation is required for the removal of the existing trees due a combination of poor condition and undesirable species type.
- The applicant has coordinated with the City Forester to evaluate and accommodate the existing trees on the site. Of particular concern is the existing 46 inch caliper Cottonwood in the northwest corner of the site. A realignment of the existing entrance drive and street sidewalk in the northwest corner is proposed to preserve and provide space for this Cottonwood to the extent feasible.
- Three additional street trees are provided along the West Plum Street frontage, and will be located in tree grates to reinforce an urban character of the area and to help provide some buffer space between pedestrians and the street.
- Additional smaller ornamental trees are proposed along the north building frontage to soften the building façade, provide transition and enhance the pedestrian oriented, human scale of the streetscape.
- To the maximum extent feasible, "Full Tree Stocking" is provided along all high use and high visibility areas of the development in accordance with the standards of this section.
- Ground cover areas in parking lots and at building foundations are planted with deciduous, evergreen and ornamental landscape material in accordance with the minimum requirements. Trees and shrubs are planted in the parking lot interior and perimeter in conformance with the minimum requirements.

B. Section 3.2.2 – Access, Circulation and Parking

- *Section 3.2.2(K)(j) – Required off-street parking for Extra Occupancy Rental Houses.* The project use is limited to 20 occupants and provides a total of 15 off-street parking spaces in accordance with the minimum quantity of this section, which requires 0.75 parking spaces per tenant. The site plan also stipulates that a Resident Manager will be present at the building and that a parking space will be available for this manager.
- One handicap parking space is provided in accordance with the minimum requirement in Section 3.2.2(K)(5).
- With the exception of the minimum required drive isle width for two-way traffic, the project is in compliance with the minimum required dimensions for off-street parking areas, as outlined in Table A and B of Section 3.2.2(L). The applicant is requesting a Modification of Standard to reduce the minimum drive isle width, and this request is discussed in detail on subsequent pages of this staff report.

C. Section 3.2.2(C)(6) – Direct On-Site Access to Pedestrian and Bicycle Connections

The project is providing an extensive re-configuration of the parking area, and this re-configuration enables a new 6 foot sidewalk to be constructed which provides a direct connection from the building's entrance to the existing sidewalk along South Shields Street in accordance with the requirements of this section. Fixed bicycle parking is planned in accordance with the minimum quantity and is placed appropriately along the building frontage. Enclosed bicycle parking is provided within the building in accordance with the minimum quantity required.

D. Section 3.2.5 – Trash and Recycling Enclosures

In accordance with the requirements of this section, the project provides a new fully screened trash enclosure location with walk-in access to recycling and waste containers. The enclosure is designed with durable materials that are compatible with the building structure.

E. Section 3.5.2 – Residential Building Standards

3.5.2(B) General Standard. No changes are proposed to the existing building design. The existing building remains in compliance with the general standard of this section, which requires that buildings shall include human-scaled elements, architectural articulation and shall place a high priority on building entries and

their relationship to the street. The building design complies with these standards by providing a clearly defined building entrance and improving the direct access to the street. The building facades comply with this standard by providing appropriate variation in massing and form as well as appropriate variation in material placement, pattern and selection.

Although the L.U.C. does not mandate conformance to a particular building style, the building's existing form and materials are an appropriate reflection of a mid-century modern design indicative of the period in which the building was originally constructed.

3.5.2(D) Orientation to a Connecting Walkway. The project complies with this standard by providing a direct connecting walkway, 6 feet in width, which connects the primary entrance to the street sidewalk.

3.5.2(E)(1) Setback from Arterial Streets. The project complies with this section because the building is set back more than 30 feet from the South Shields Street right-of-way.

3.5.2(E)(2) Setback from Nonarterial Streets. The project complies with this section because the building is set back more than 15 feet from the West Plum Street right-of-way.

F. Section 3.6.4 Transportation Level of Service Requirements

Staff has reviewed the proposed project and has determined that the vehicular, pedestrian and bicycle facilities proposed with this P.D.P are consistent with the standards contained in Part II of the City of Fort Collins Multi-modal Transportation Level of Service Manual. Additionally, due to the fact that the proposed use does not increase the total motor vehicular traffic from what was approved with prior uses, a separate Traffic Impact Study was not required by Traffic Operations staff.

G. Section 3.10 Development Standards for the Transit Oriented Development (TOD) Overlay Zone

3.10.4(C) Streetscape. The project complies with this standard by providing formal streetscape improvements along West Plum Street including a ten foot wide sidewalk with street trees in tree grates.

3.10.5(A) Articulation. The project complies with this standard by providing exterior building walls that are subdivided and proportioned to a human scale using projections, overhangs and recesses in order to add architectural interest

and variety and avoid the effect of a single, massive wall with no relation to human size.

3.10.5(B) Rooflines. The project complies with this standard by providing a flat-roofed building design that features a three-dimensional cornice treatment on all walls facing streets or connecting walkways.

3.10.5(C) Materials and Colors. The project complies with this standard by:

- (1) Providing high quality exterior building materials including stone, painted concrete masonry and stucco systems;
- (2) Incorporating stone veneer, stucco and concrete masonry in a manner that highlights the articulation of the massing and the base and top of the building;
- (3) Providing appropriate material facade colors that are low reflectance, subtle and earth tone colors.

MODIFICATIONS OF STANDARD:

Land Use Code Modification Criteria:

"The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

- (1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or
- (2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or
- (3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography,

or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

4. **Modification of Standard Request to Section 3.2.2(J) which requires that parking be set back from a lot line a minimum width of 5 feet at any point.**

A. **Description of the Modification:**

The applicant has submitted a request for approval of a Modification of Standard to 3.2.2(J) to have a landscaped parking setback ranging from 0 feet to 7.5 feet along the southern property line.

B. **The standard:**

3.2.2(J) **Setbacks.** *Any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet shall be set back from the street right-of-way and the side and rear yard lot line (except a lot line between buildings or uses with collective parking) consistent with the provisions of this Section, according to the following table":*

	<i>Minimum average of entire landscaped setback area (feet)</i>	<i>Minimum width of setback at any point (feet)</i>
Along an arterial street	15	5
Along a nonarterial street	10	5
Along a lot line	5	5

C. **Applicant's Justification:**

The applicant has provided the following justification narrative:

"The project is attempting to utilize an existing building and site to the maximum extent feasible. The property has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes.

Because of these factors, the landscape setback area along the south property line ranges from 0' to 7.5'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a landscaped setback ranging from 0' to 7.5' along the south property line.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2 for the following reasons:

The proposed plan provides a solid privacy fence along roughly ½ of the length of the vehicle use area, thus providing additional screening.

The property is unsightly and the landscaping is in poor shape. The new owners intend to enhance the plantings all throughout the entire site. Currently there is virtually no landscape along the south property line. New plant material will be added in the strip.

The intent of the required 5' vehicular use area setback is to provide sufficient space for visual screening and to enhance the appearance of the vehicle use area. The proposed landscape area, although smaller than allowed, will provide a softened edge of landscape interior to the parking area while mitigating the visual impact to the property to the south."

D. Staff Finding for the Modification:

Staff finds that the request for the Modification of Standard to Section 3.2.2(J) Setbacks is justified by the applicable standards in 2.8.2(H). The granting of the Modification would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal,

inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project includes a privacy fence in combination with a varied landscape edge that provide screening and enhance the visual quality of the parking area while mitigating the visual impact to the property adjacent to the south, and the overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

(J) Improving the design, quality and character of new development;

(L) Encouraging the development of vacant properties within established areas and;

(O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

5. Modification of Standard Request to Section 3.2.2(L) Table A.

1) Description of the Modification:

The applicant has submitted a request for approval of a Modification of Standard to *Section 3.2.2(L), Table A Standard Vehicle Dimensions* to permit a two-way drive aisle width of 18.6 feet instead of 24 feet.

2) The standard:

Section 3.2.2(L) Parking Stall Dimensions. Off-street parking areas for automobiles shall meet the following minimum standards for long- and short-term parking of standard and compact vehicles:

TABLE A

Standard Vehicle					Dimensions in feet	
A	B	C	D	E	F	G
0°	8	23	8	23	20	12
30°	8.5	20	17.4	17	20	15
45°	8.5	20	20.2	12	20	15

60°	9	19	21	10.4	24	20
90°	9	19	19	9	24*	20**

A-Angle of Parking

B-Stall Width

C-Stall Length

D-Stall Depth

E-Curb Length

F-Two-Way Drive Aisle Width

G-One-Way Drive Aisle Width

** When garages are located along a driveway and are opposite other garages or buildings, the driveway width must be increased to 28 feet.*

*** When an overhand is allowed to reduce stall depth, aisle width must be increased to 22 feet.*

3) Applicant's Justification:

The applicant has provided the following justification narrative:

"The project is attempting to utilize an existing building and site to the maximum extent feasible. The site has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes. Off-street parking is critical for the success of this project, therefore, in addition to 11 head-in spaces, there are 4 parallel parking spaces located along the south side of the parking area.

Because of these factors, the two-way drive aisle width is 18.6' instead of 24'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a two-way drive aisle be 18.6'.

Justification:

We feel that the granting of this modification of standards would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant. Below is the justification:

- The parking area as modified provides off-street parking, which is desirable. The off-street spaces help reduce on-street parking, therefore providing a benefit to the adjacent neighborhoods.*
- The intent of the 24' wide drive aisle width is to allow cars to have ample room to back out of a parking space. We feel that, although not ideal, the benefits of the parking stalls outweigh the inconvenience of having a narrower drive aisle."*

4) Staff Finding for the Modification:

Staff finds that the request for the Modification of Standard to *Section 3.2.2(L), Table A Standard Vehicle Dimensions* is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has an existing building location with limited space to the south of the building for parking, sidewalk access and landscaping. This narrow constricted area represents an exceptional physical condition and undue hardship not caused by the applicant, and the strict application of the 24 foot drive isle dimensional standard would render the off-street parking area infeasible. In order to accommodate a new sidewalk that is 6 feet in width, landscaping along the building facade and new

parking stalls that meet the dimensional requirements, the space remaining for the drive isle is narrow. Additionally, staff finds that while the drive isle dimension of 18.6 feet may represent a condition that is less convenient for residents, sufficient space exists with the reduced dimension to enter and exit the parking spaces. While some additional maneuvering may be required by motorists, this inconvenience is not detrimental to the public good.

Staff also finds that the request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project accommodates a new sidewalk that is 6 feet in width, new landscaping along the building facade and new parking stalls that meet the dimensional requirements, and that the reduced drive isle width is nominal and allows a better overall configuration of site plan elements. The overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

(J) Improving the design, quality and character of new development;

(L) Encouraging the development of vacant properties within established areas and;

(O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

6. Neighborhood Meeting

Although the use proposed does not require a City neighborhood meeting, a meeting was held on March 24, 2014 at the Lutheran Campus Ministry adjacent to the south of the proposed project. The meeting was attended by five citizens who received written notification of the neighborhood meeting. A summary of the questions and concerns expressed at the meeting is as follows:

- 1) Increase in motor vehicle traffic along West Plum Street and at the intersection of West Plum and South Shields Streets adjacent to the property. Concern was expressed related to the cumulative impact of new student housing projects along West Plum Street and that no additional travel lanes are proposed at the intersection to alleviate the increase in motor vehicular traffic.

- 2) Concern that adequate off-street parking be provided, and that residents and guests of the proposed facility will park on adjacent properties without permission.
- 3) Concern that the proposed extra occupancy rental use will be a dwelling condition that may promote and encourage public nuisances such as excessive noise. Concern that the use's living situation will be unsupervised and therefore will attract nuisance behavior.

Citizens at the meeting requested that the total occupancy be reduced from the 37 occupants originally proposed at the neighborhood meeting, and that the facility provide and on-site manager.

7. Findings of Fact/Conclusion

In evaluating the Plum and Shields Extra Occupancy Rental House Project Development Plan, staff makes the following findings of fact:

- A. The Modification of Standard to Section 3.2.2(J) Setbacks is justified by the applicable standards in 2.8.2(H). The granting of the Modification would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(4):

The plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

The request satisfies Criteria 2.8.2(H)(4) because the project includes a privacy fence in combination with a varied landscape edge that provide screening and enhance the visual quality of the parking area while mitigating the visual impact to the property adjacent to the south, and the overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

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(L) Encouraging the development of vacant properties within established areas and;

(O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

- B. The Modification of Standard to *Section 3.2.2(L), Table A Standard Vehicle Dimensions* is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has an existing building location with limited space to the south of the building for parking, sidewalk access and landscaping. This narrow constricted area represents an exceptional physical condition and undue hardship not caused by the applicant, and the strict application of the 24 foot drive isle dimensional standard would render the off-street parking area infeasible. In order to accommodate a new sidewalk that is 6 feet in width, landscaping along the building facade and new parking stalls that meet the dimensional requirements, the space remaining for the drive isle is narrow. Additionally, staff finds that while the drive isle dimension of 18.6 feet may represent a condition that is less convenient for residents, sufficient space exists with the reduced dimension to enter and exit the parking spaces. While some additional maneuvering may be required by motorists, this inconvenience is not detrimental to the public good and;

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dimensional requirements, and that the reduced drive isle width is nominal and allows a better overall configuration of site plan elements. The overall plan is consistent with the policies of the Land Use Code described in Section 1.2.2 by:

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(L) Encouraging the development of vacant properties within established areas and;

(O) Encouraging a wide variety of housing opportunities at various densities that are well-served by public transportation for people of all ages and abilities.

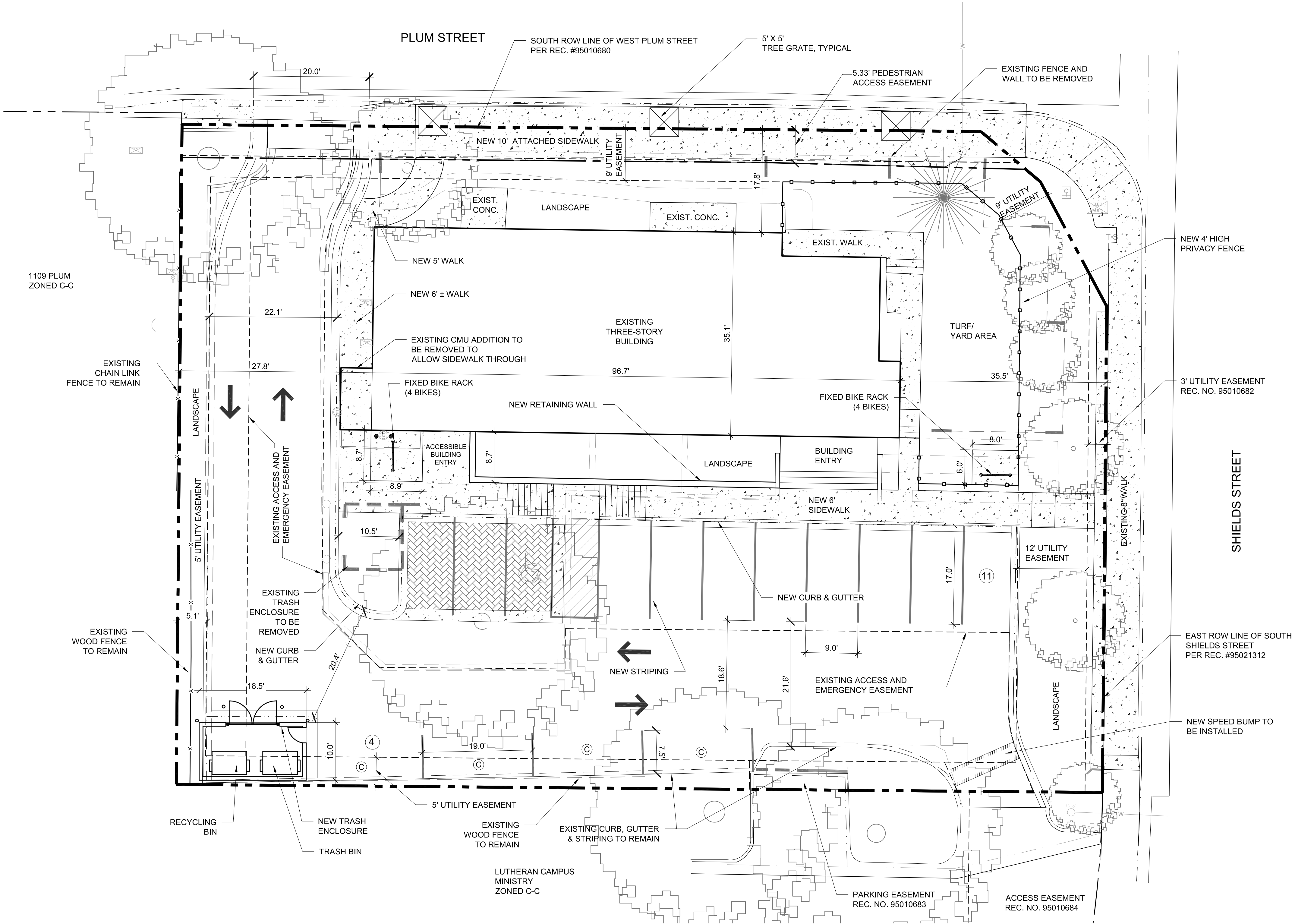
- C. The P.D.P. complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- D. The P.D.P. complies with relevant standards located in Division 4.18, Community Commercial District (C-C) of Article 4 – Districts.
- E. The P.D.P. complies with relevant standards located in Article 3 – General Development Standards, subject to approval of the two Modifications of Standard.

RECOMMENDATION:

Approval of Plum and Shields Extra Occupancy Rental House Project Development Plan, PDP #130053, and Modifications of Standard to Sections 3.2.2(J) and 3.2.2(L) Table A.

ATTACHMENTS:

- 1. Site Plan
- 2. Landscape Plan
- 3. Utility Plans
- 4. Applicant's Modification Requests
- 5. Letters from residents
- 6. Hearing Notice



LOT 1, TURNING POINT, LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7
NORTH, RANGE 69 WEST OF THE 6TH P.M.
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

PROJECT TEAM:

801 Shields, LLC
Lance Dehning
1155 15th Avenue
Longmont, CO 80501
720-327-8050

Jim Birdsall
TB Group
444 Mountain Avenue
Berthoud, Colorado 80513
(970) 532-5891

Northern Engineering Services, Inc.
Nick Haws, PE, LEED AP
200 South College Avenue, Suite 10
Fort Collins, Colorado 80524
(970) 221-4158

Northern Engineering Services, Inc.
Gary Gilliland, PLS
200 South College Avenue, Suite 10
Fort Collins, Colorado 80524
(970) 221-4158

GAS	Xcel Energy	Stephanie Rich	(970) 225-7828
ELECTRIC	City of Fort Collins Light & Power	Doug Martine	(970) 224-6152
CABLE	Comcast	Don Kapperman	(970) 567-0245
TELECOM	CenturyLink	William Johnson	(970) 490-7501
WATER	City of Fort Collins Utilities	Roger Buffington	(970) 221-6700
WASTEWATER	City of Fort Collins Utilities	Roger Buffington	(970) 221-6700
STORMWATER	City of Fort Collins Utilities	Glen Schlueter	(970) 221-6700
FIBER OPTICS	Colorado State University	Kurt Davis	(970) 491-0187

* This list is provided as a courtesy reference only. Northern Engineering Services assumes no responsibility for the accuracy or completeness of this list. In no way shall this list relinquish the Contractor's responsibility for locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of Colorado (UNCC) at 811 for additional information.

** The underground utility locates provided by SiteWise, LLC are based upon the best available information at the time of locating. Contractor acknowledges that it is common for underground facility owner maps to have errors and omissions of data shown. Consequently, it is the Contractor's sole responsibility to field verify the location of all utilities prior to construction, and notify the Engineer of any discrepancies found.

SiteWise, LLC
7000 N. Broadway
Building 3, Suite 306
Denver, Colorado 80221
(303) 650-8680



City of Fort Collins Benchmark 19-97
At the southeast corner of West Elizabeth and Shields Street, on a concrete traffic signal base.
Elevation=5022.56 NGVD 29 (Unadjusted)

City of Fort Collins Benchmark 20-97
At the southwest corner of West Elizabeth and Constitution Avenue, on a concrete traffic signal base.
Elevation=5046.97 NGVD 29 (Unadjusted)

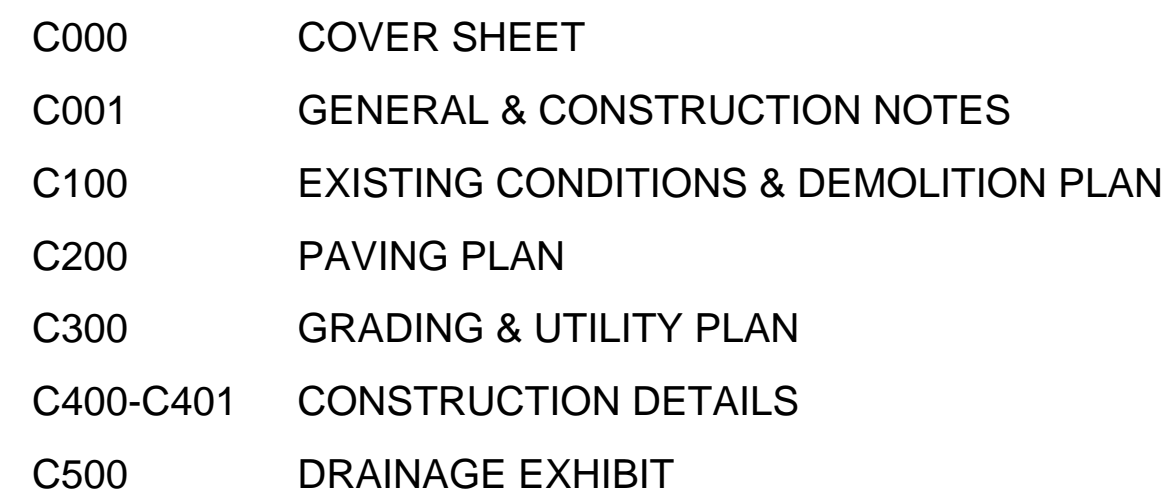
Basis of Bearings
Basis of Bearings is the East Line of Northeast Quarter Corner Section 15, Township 7 North, Range 69 West. (Assumed Bearing)

ORIGINAL FIELD SURVEY:
NORTHERN ENGINEERING SERVICES
DATE: November 21, 2008

ADDITIONAL FIELD SURVEYS:
NORTHERN ENGINEERING SERVICES
DATE: December 2008; August 2011

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes, respectively; and that I am fully responsible for the accuracy of all design, revisions, and record conditions that I have noted on these plans.



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY:	_____	_____
	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date

PLUM & SHIELDS GREEK HOUSING


COVER SHEET

Sheet
C000

Of 8 Sheets

These drawings are instruments of service provided by Northern Engineering Services, Inc. and are not to be used for any type of construction unless signed and sealed by a Professional Engineer in the employ of Northern

**NORTHERN
ENGINEERING**



100 South College Avenue, Suite 010

PROJECT: 970-001	DATE: MARCH 5, 2014
DESIGNED BY: A. Reese	SCALE: NA
DRAWN BY: A. Reese	REVIEWED BY: N. Howe

No. _____ Revisions: _____ Date: _____

REVIEW SET

NOT FOR CONSTRUCTION

NOT FOR OCT 5, 2014

DRAWING FILENAME: D:\Projects\1970-001\p970-001_COVR.dwg DATE: Mar 05, 2014 - 11:22am CAD OPERATOR: andy
LIST OF XREFS: [NES--xborder]

1. All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Larimer County Urban Area Street Standards and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the City of Fort Collins.
2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
5. All storm sewer construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for unknown underground utilities.
7. The Developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
8. The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a pre-construction meeting may be required prior to commencement of any work.
12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.
13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water Utility.
14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.
16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
19. All recommendations of the "Drainage Letter Report for Plum & Shields Creek Housing" dated March 5, 2014 by Northern Engineering shall be followed and implemented.
20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the City of Fort Collins street inspector.
22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable.
23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the City of Fort Collins Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the City of Fort Collins Engineer approves the final report.
25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.
26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
27. Portions of Larimer County are within overlay districts. The Larimer County Flood Plain Resolution should be referred to for additional criteria for roads within these districts.
28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.
29. Prior to the commencement of any construction, the contractor shall contact the Local Entity Forester to schedule a site inspection for any tree removal requiring a permit.
30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority. (The City of Fort Collins, Larimer County, Colorado), for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact the City of Fort Collins Traffic Operations Department, who will temporarily remove or relocate the sign at no cost to the contractor, however, if the contractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.
33. The Developer is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Development's local street operations. In addition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.

- City of Fort Collins Benchmark 20-97
At the Southwest corner of West Elizabeth and Constitution Avenue, on a concrete traffic signal base.
Elevation=5046.97 NGVD 29 (Unadjusted)
- Basin of Bearings
Basin of Bearings is the East Line of Northeast Quarter Corner Section 15, Township 7 North, Range 69 West. (Assumed Bearing)
41. All stationing is based on centerline of roadways unless otherwise noted.
42. Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
43. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be done in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of when for a complete overlay shall be made by the Larimer County Engineer and/or the City of Fort Collins Inspector at the time the cuts are made.
44. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.
45. Standard Handicap ramps are to be constructed at all curb returns and at all "T" intersections.
46. After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
47. The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: N.A.
48. Approved Variances are listed as follows:
a. None at this time

1. The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.
2. There shall be no earth-disturbing activity outside the limits designated on the accepted plans.
3. All required perimeter silt and construction fencing shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
4. At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.
5. Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.
6. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City/County.
7. In order to minimize erosion potential, all temporary (structural) erosion control measures shall:
 - a. Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.
 - b. Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector.
 - c. Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.
8. When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.
9. The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of way, and make sure streets and walkways are cleaned at the end of each working day.
10. All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.
11. No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.
12. The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the City/County or Homeowners Association (HOA).
13. City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and federal regulations.
14. A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.
15. Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City.

1. All waterline and sanitary sewer construction shall conform to the City of Fort Collins Utility standards and specifications current to date of construction.
2. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the water utility.
3. Water mains shall be poly-wrapped D.I.P. or PVC with tracer wire.
4. HDPE pipe shall be used for 1-1/2 and 2 inch water services. The pipe shall meet the standards of AWWA 901, NSF Standard 61 and ASTM. The HDPE pipe shall be SDR 9 having a pressure rating of 200 psi. Stiffeners shall be used at all fittings and connections. Tracer wire shall be installed with the HDPE service, and shall extend up the curb stop. The curb stop shall be covered with a metal box and tracer wire test lid per City Water Detail 25.

<h2 style="margin: 0;">City of Fort Collins, Colorado</h2> <h3 style="margin: 0;">UTILITY PLAN APPROVAL</h3>		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

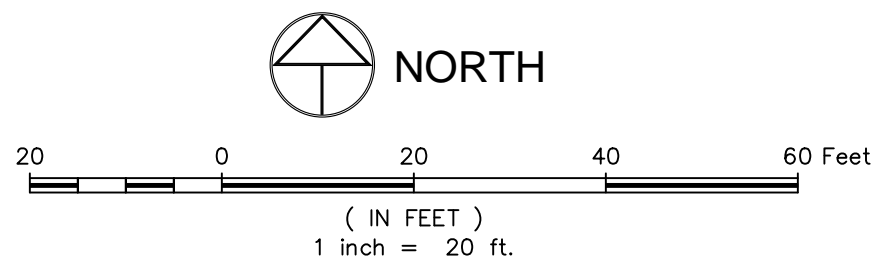
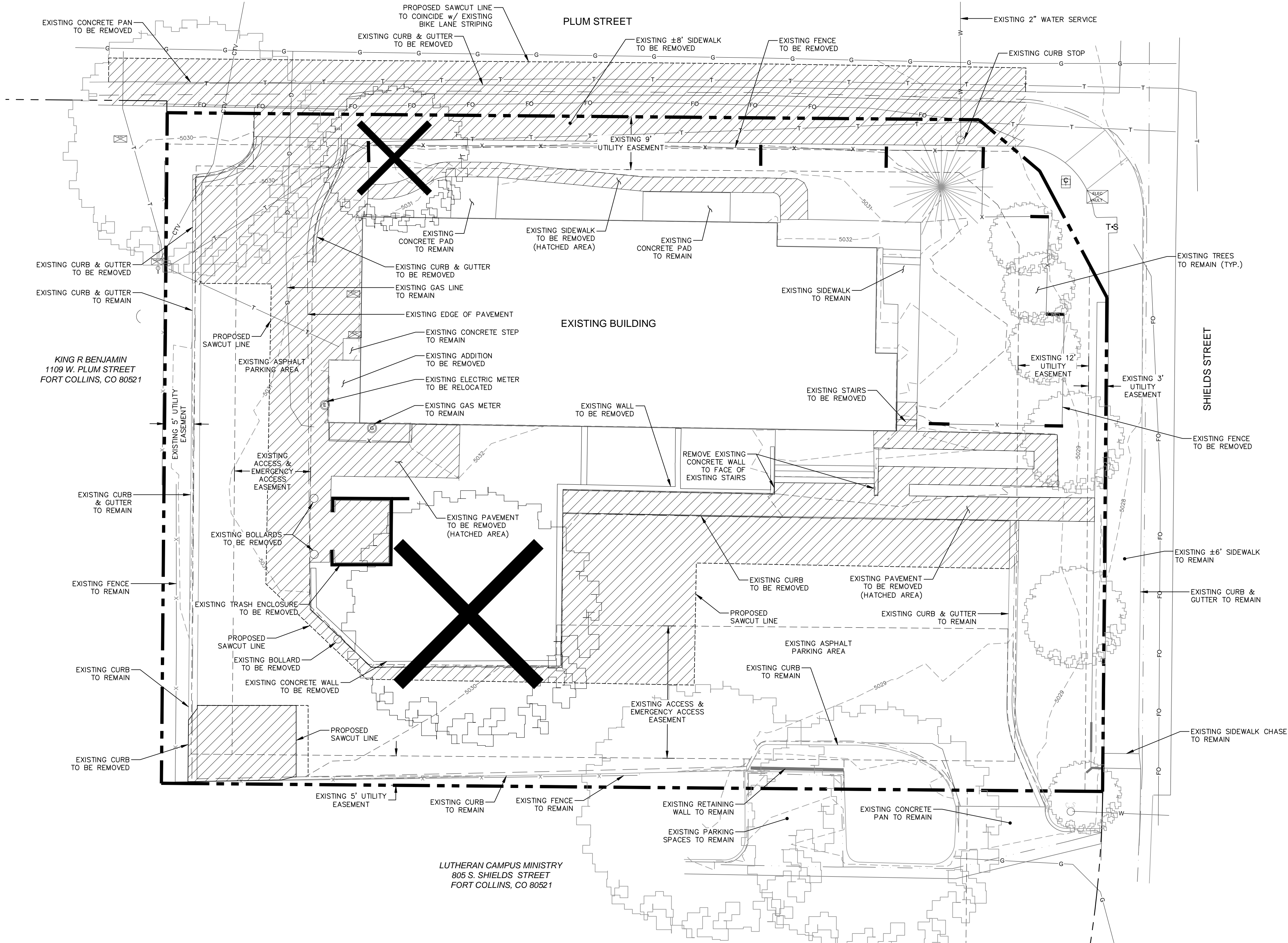
CALL UTILITY NOTIFICATION CENTER OF
COLORADO

811

Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES.

Sheet
C001
Of 8 Sheets



LEGEND:

PROPERTY BOUNDARY	---
EXISTING LOT LINE	---
EXISTING RIGHT-OF-WAY	---
EXISTING MAJOR CONTOUR	---5015---
EXISTING MINOR CONTOUR	---5013---
EXISTING STORM SEWER	---ST---
EXISTING TELEPHONE	---T---
EXISTING GAS	---G---
EXISTING SANITARY SEWER	---SS---
EXISTING WATER	---W---
EXISTING ELECTRIC	---E---
EXISTING FENCE	---X---
SAWCUT LINE	---
EXISTING ELECTRIC VAULT	⊠
EXISTING FIRE HYDRANT	⊠
EXISTING IRRIGATION BOX	⊠
EXISTING WATER METER	⊠
EXISTING GAS METER	⊠
EXISTING TELEPHONE PEDESTAL	⊠
EXISTING MONITORING WELL	⊠
EXISTING TREES (TO REMAIN)	⊠
EXISTING TREES (TO BE REMOVED)	⊠
APPROXIMATE LIMITS OF CONCRETE/ ASPHALT REMOVAL	⊠

FIELD SURVEY BY:

Northern Engineering Services, Inc.
Project No. 970-001
Date: October 28, 2013

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIAL.
3. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE. THE CITY OF FORT COLLINS STREET DEPARTMENT OPERATES A CRUSHING OPERATION THAT WILL ACCEPT CONCRETE MATERIAL AT NO COST FOR CRUSHING AND RE-USE AS RECYCLED AGGREGATE. THIS OPERATION IS LOCATED AT 1380 HOFFMAN MILL ROAD AND CAN BE REACHED AT (970) 482-1249.
4. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
5. CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE EXISTING SITE SURVEY.
6. REFER TO LANDSCAPE PLANS FOR TREE PROTECTION AND MITIGATION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY FIELD LOCATES AND POT-HOLING OF SUBSURFACE UTILITIES.
8. CONTRACTOR SHALL COORDINATE ANY NECESSARY TELEPHONE AND ELECTRIC LOWERING (OR RE-ROUTING) WITH THE RESPECTIVE UTILITY PROVIDER(S).

CALL UTILITY NOTIFICATION CENTER OF
COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

PLUM & SHIELDS GREEK HOUSING
EXISTING CONDITIONS &
DEMOLITION PLAN

Sheet
C100

Of 8 Sheets

Revisions:
No. 1
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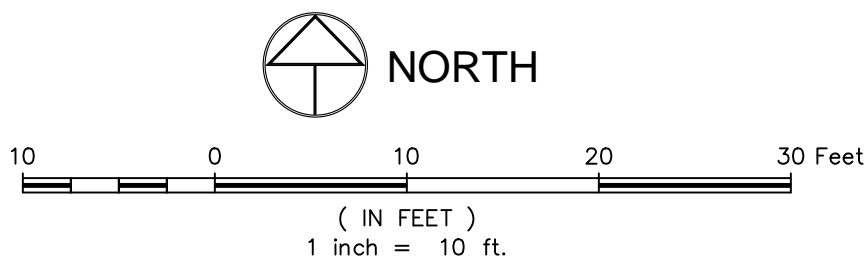
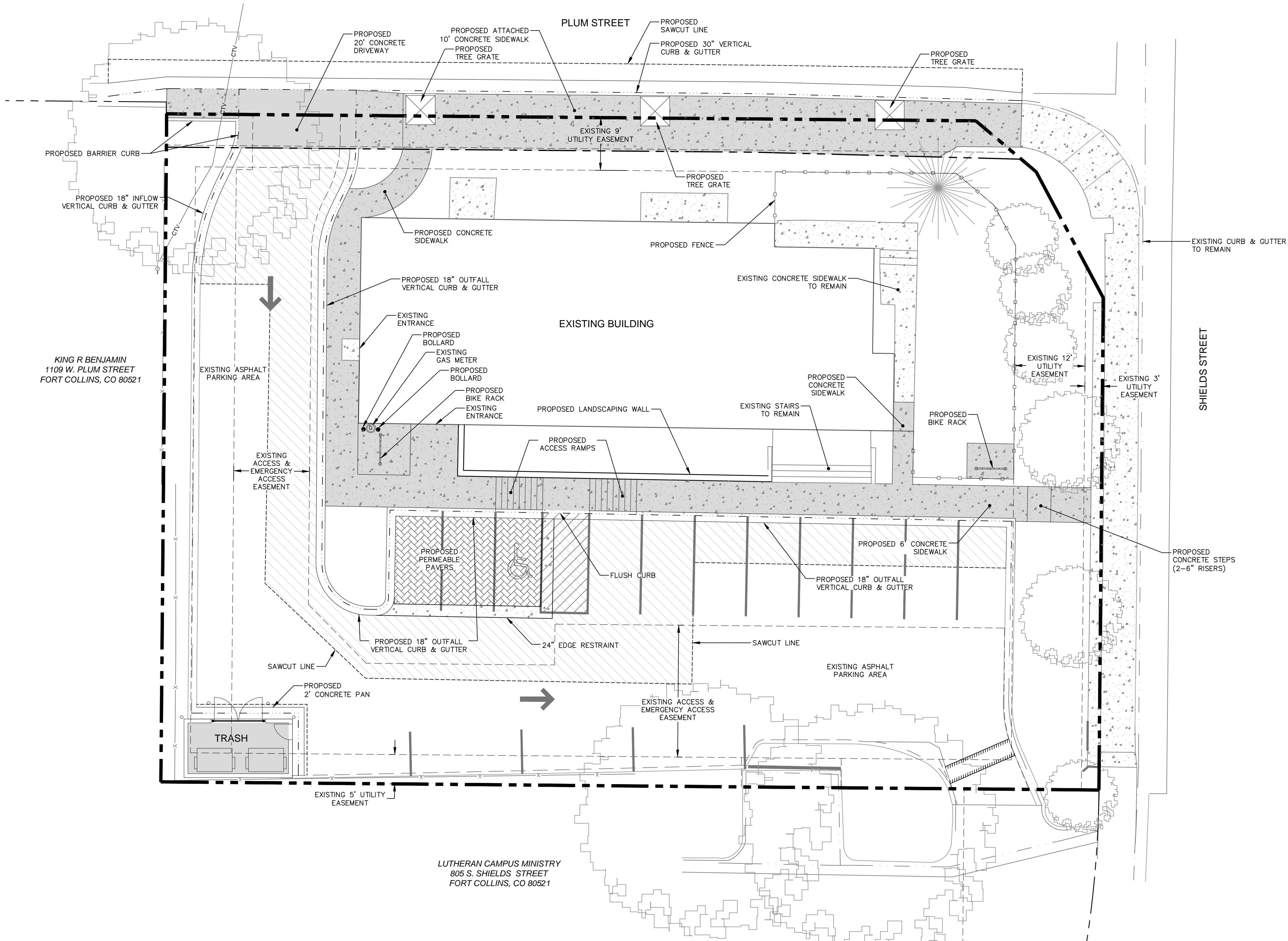
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for the use of the
contractor. The contractor
is responsible for verifying
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drawings and for obtaining
all necessary permits and
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**NORTHERN
ENGINEERING**
N
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524
PHONE: 970.221.4158 FAX: 970.221.4159
www.northernengineering.com

NE
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524
PHONE: 970.221.4158 FAX: 970.221.4159
www.northernengineering.com

DATE: MARCH 5, 2014
PROJECT: 970-001
DESIGNED BY: A. Reese
DRAWN BY: A. Reese
REVIEWED BY: N. Hays

DRAWING FILENAME: D:\Projects\970-001\Drawings\970-001_PAVE.dwg DATE: Mar 05, 2014 - 11:24am CAD OPERATOR: arly
LIST OF SHEETS: [970-001_A001] [970-001_A002] [970-001_A003] [970-001_A004] [970-001_A005]



LEGEND:

PROPOSED CURB & GUTTER	
PROPOSED FLUSH CURB	
PROPERTY BOUNDARY	
EASEMENTS	
EXISTING ROW	
NON-VEHICULAR HARDSCAPE	
ASPHALT PAVING	
PERMEABLE PAVERS	

NOTES:

- SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION REGARDING CURBS AND PAVEMENT SECTIONS.
- PAVEMENT MARKINGS SHALL BE PER CITY STANDARDS AND PROJECT SPECIFICATION MANUAL.
- PAVEMENT SECTIONS TO BE DESIGNED BY A LICENSED GEOTECHNICAL ENGINEER.
- REFER TO SITE AND LANDSCAPE PLANS FOR PAVERS, DECORATIVE PAVING, SCORING, ETC.

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
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CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

PLUM & SHIELDS GREEK HOUSING

PAVING PLAN

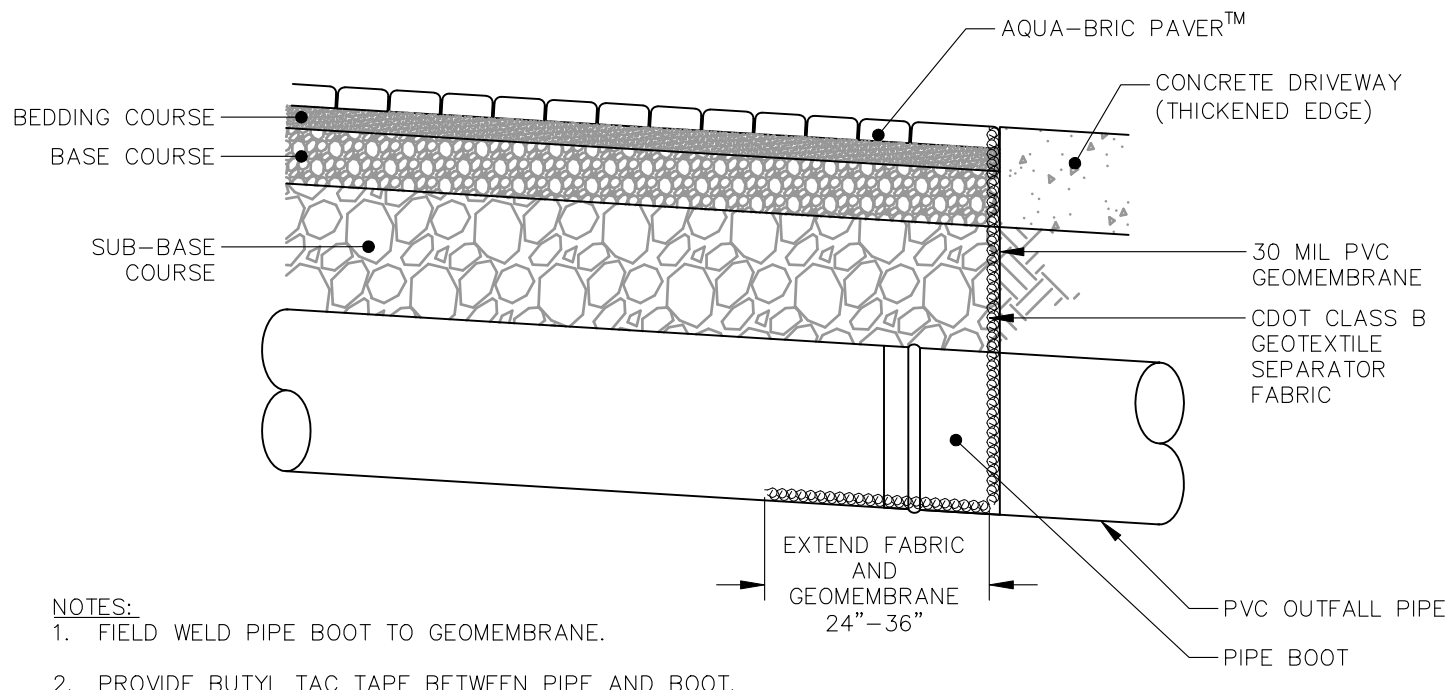
Sheet
C200
Of 8 Sheets

Revisions:
No. _____
Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
MARCH 5, 2014

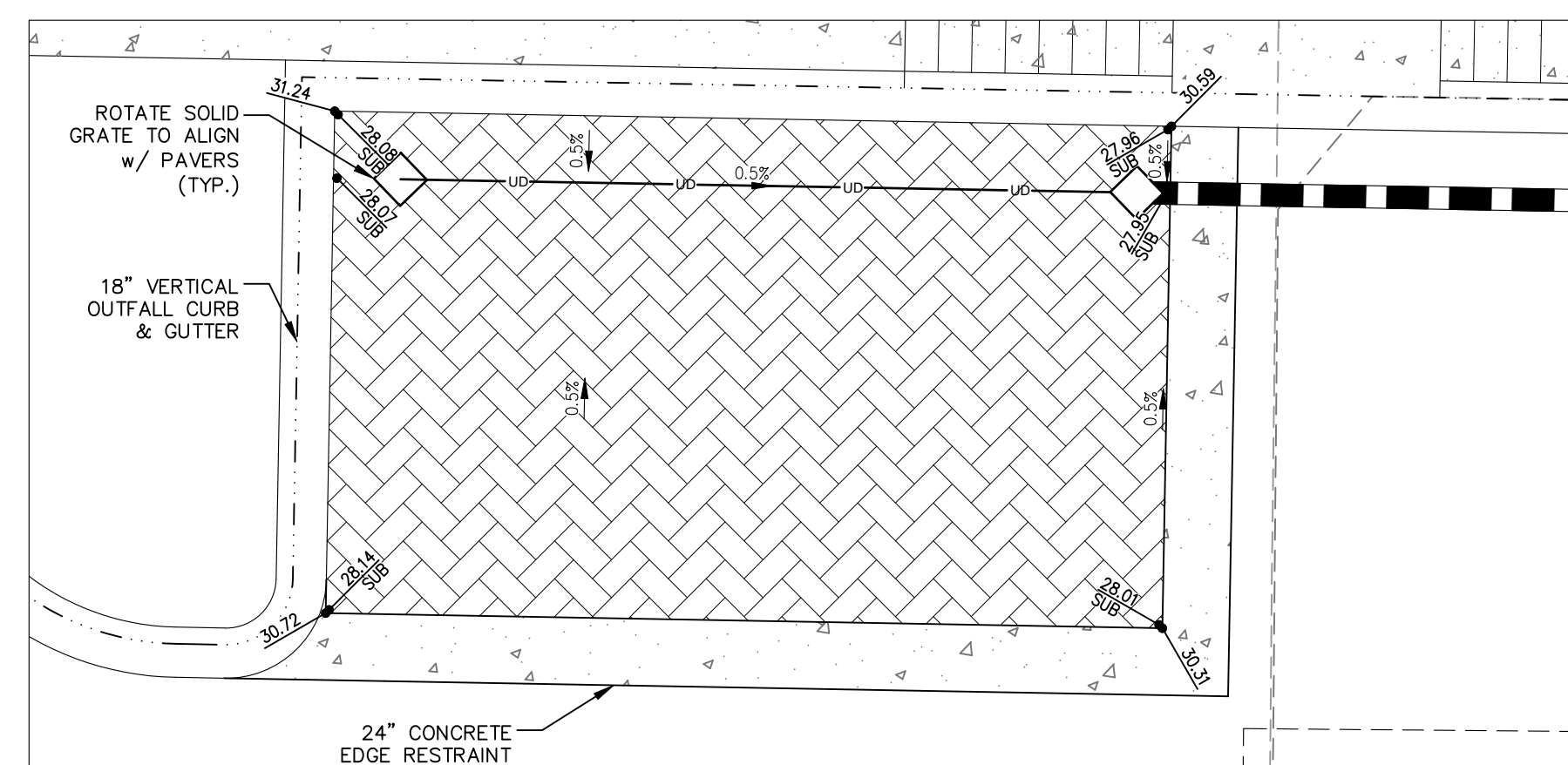
These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the employee of Northern Engineering Services, Inc.

NORTHERN ENGINEERING
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200 South College Avenue, Suite 010
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PHONE: 970.221.4158 FAX: 970.221.4159
www.northernengineering.com

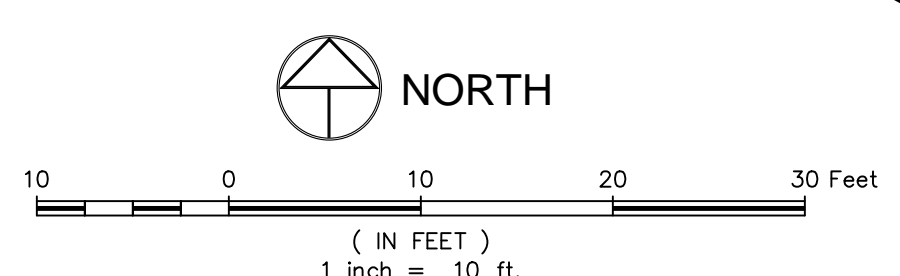
PROJECT:	970-001	DATE:	MARCH 5, 2014
DESIGNED BY:	A. Reese	SCALE:	1"=10'
DRAWN BY:	A. Reese	REVIEWED BY:	N. Haws



NOT TO SCALE



SCALE 1"=5'



LEGEND:

PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED VERTICAL CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING RIGHT OF WAY	
EXISTING LOT LINE	
EASEMENT LINE	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER	
EXISTING FIRE HYDRANT	
PROPOSED STORM SEWER	
EXISTING STORM SEWER	
EXISTING ELECTRIC	
EXISTING TELEPHONE	
EXISTING GAS	
PROPOSED SPOT ELEVATION	
EXISTING SPOT ELEVATION	
PROPOSED SLOPES	
PROPOSED ASPHALT PATCH	
PROPOSED PERMEABLE PAVERS	

NOTES:

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FILLING ALL UNKNOWN UNDERGROUND UTILITIES.
- REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
- ALL PROJECT DATA IS ON THE CITY OF FORT COLLINS VERTICAL DATUM; NGVD 29 (UNADJUSTED). SEE COVER SHEET FOR BENCHMARK REFERENCES.
- ALL CURB SPOTS ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE PER THE CITY OF FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS LATEST EDITION.
- ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
- MAINTAIN 10" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS AND SERVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY FIELD LOCATES AND POT-HOLING OF SUBSURFACE UTILITIES. ENGINEER AND CITY SHALL BE NOTIFIED OF ANY POTENTIAL CONFLICTS.
- CONTRACTOR SHALL COORDINATE ANY NECESSARY TELEPHONE AND ELECTRIC LOWINGS (OR RE-ROUTING) WITH THE RESPECTIVE UTILITY PROVIDERS.
- LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.

CALL UTILITY NOTIFICATION CENTER OF
COLORADO

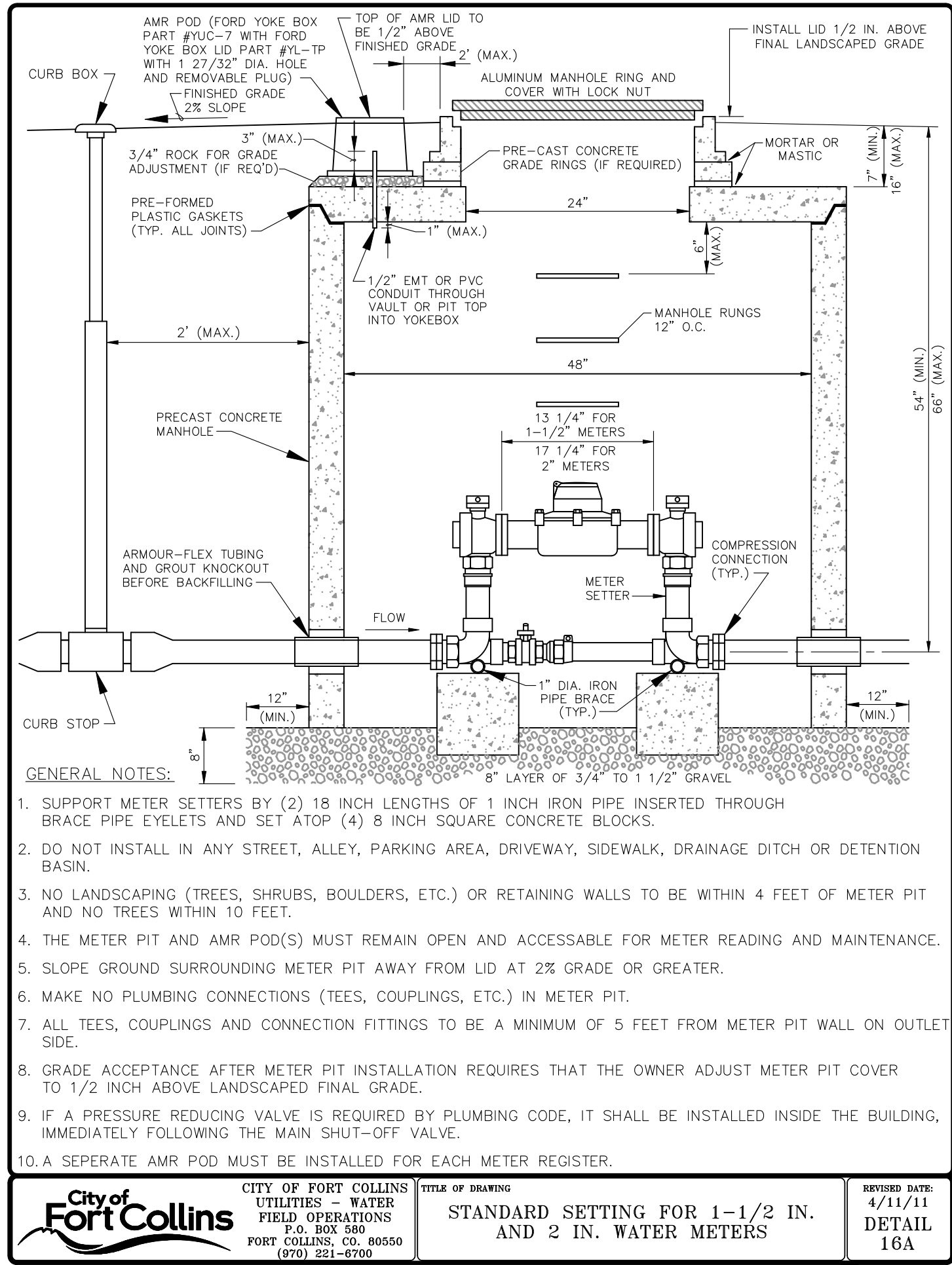


**Know what's below.
Call before you dig.**

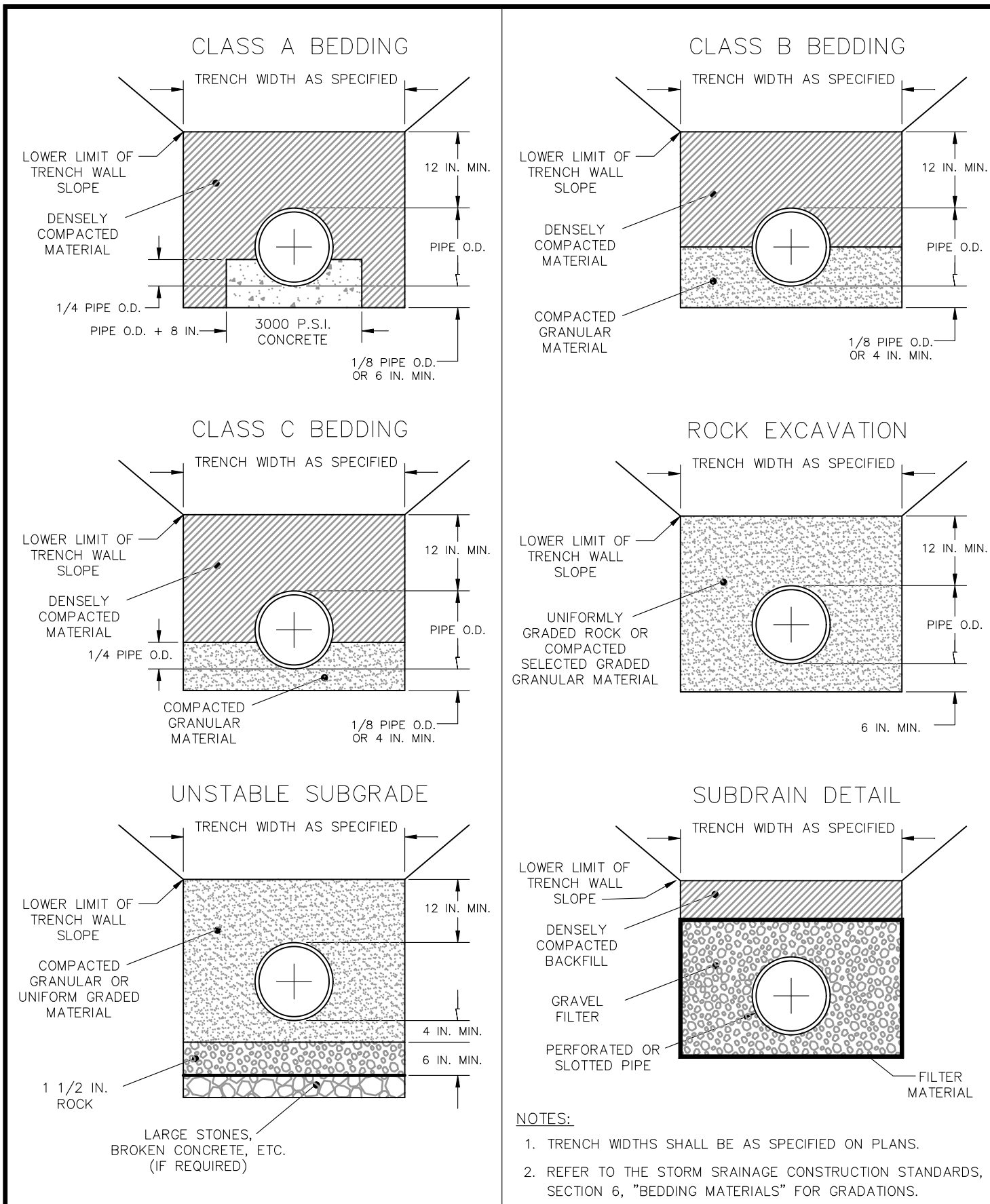
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

**City of Fort Collins, Colorado
UTILITY PLAN APPROVAL**

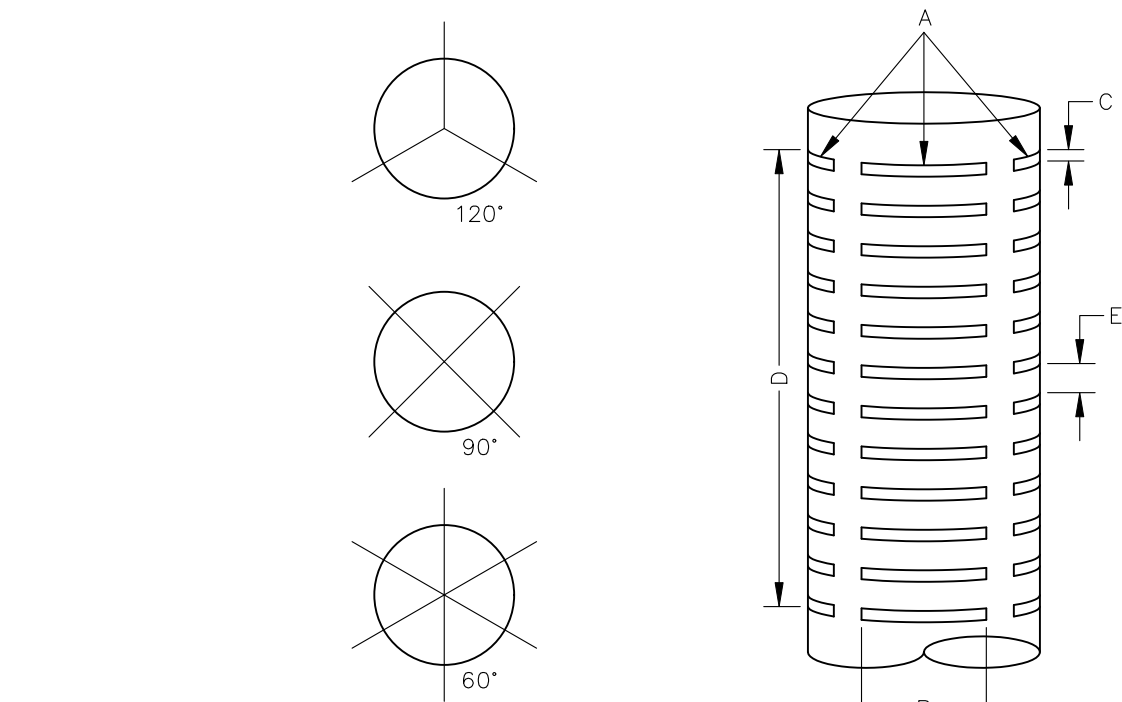
APPROVED:	City Engineer	Date
CHIECKED BY:	Water & Wastewater Utility	Date
CHIECKED BY:	Stormwater Utility	Date
CHIECKED BY:	Parks & Recreation	Date
CHIECKED BY:	Traffic Engineer	Date
CHIECKED BY:	Environmental Planner	Date



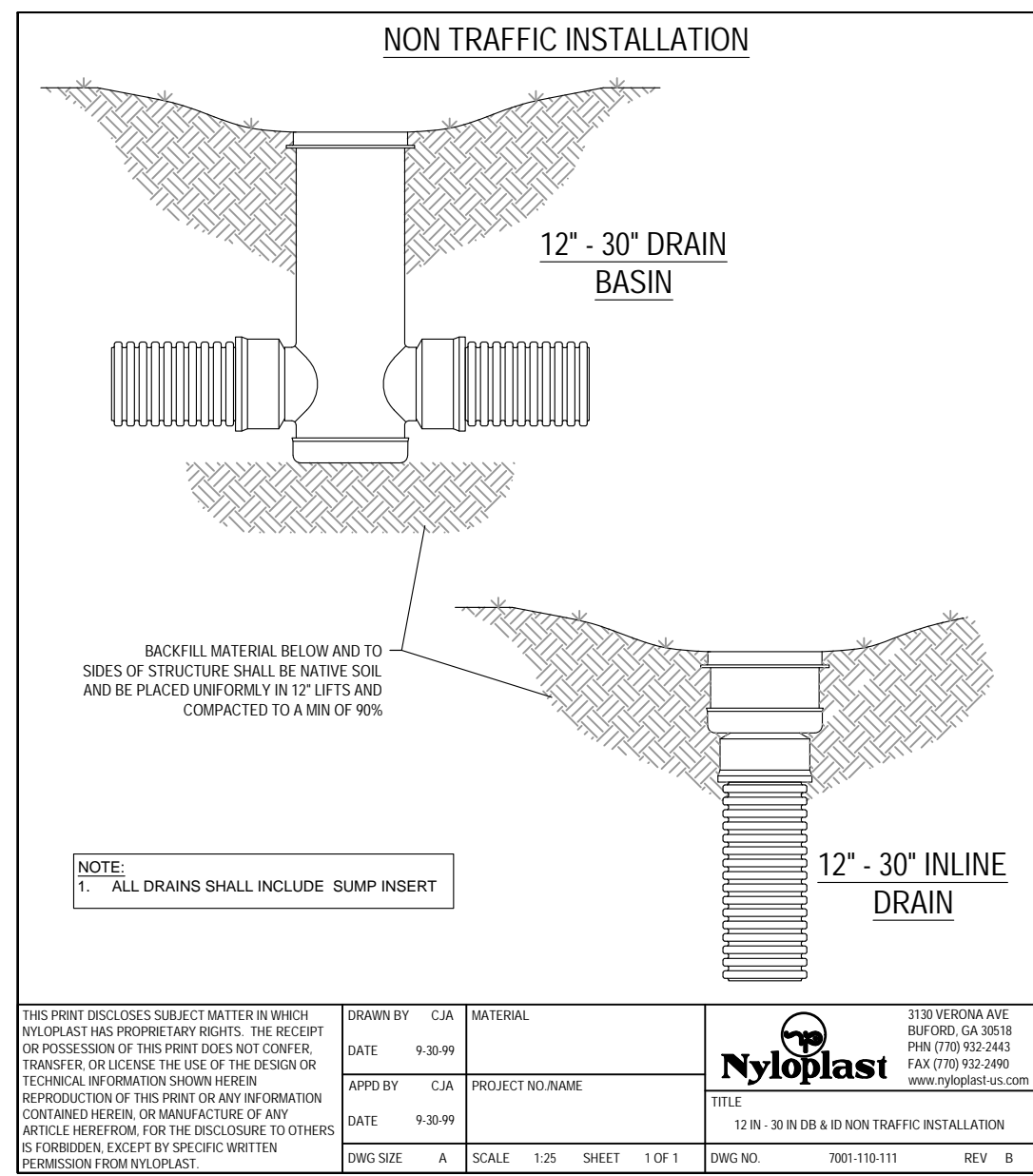
201 STANDARD SETTING FOR 1 1/2" & 2" WATER METERS
C401 NOT TO SCALE



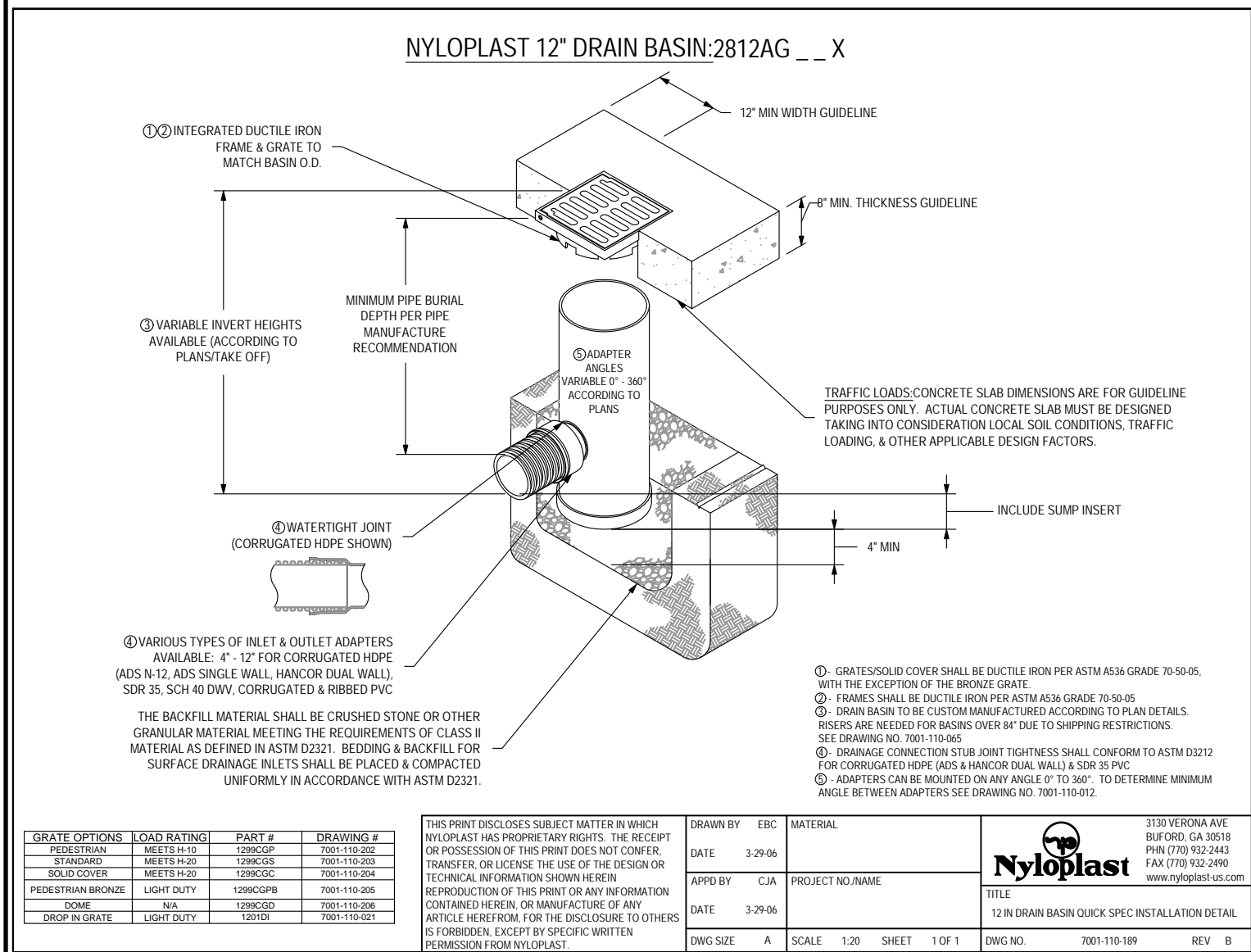
202 STORMWATER BEDDING REQUIREMENTS
C401 NOT TO SCALE



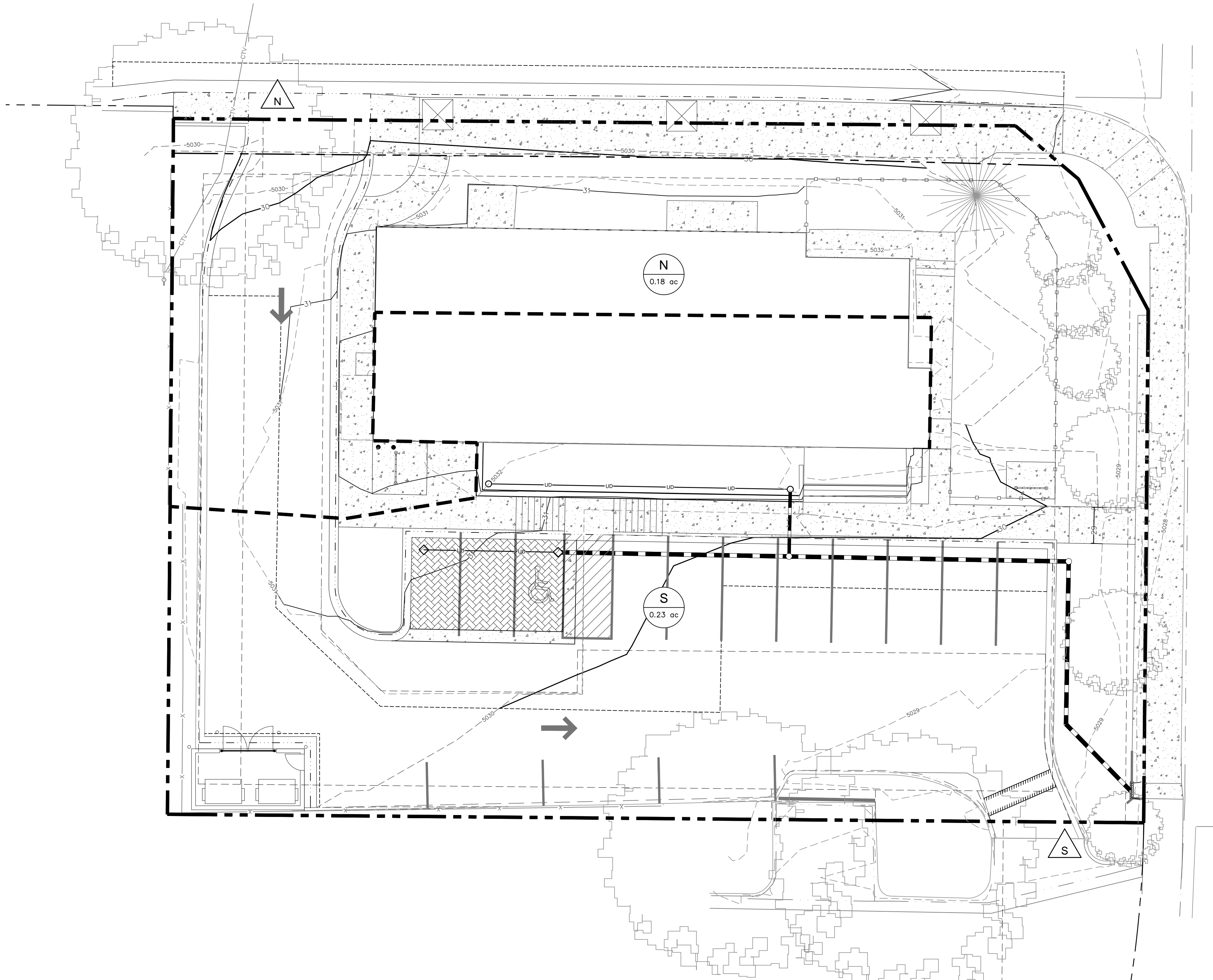
203 DIMENSIONS FOR SLOTTED PVC PIPE
C401 NOT TO SCALE



204 DRAIN BASIN INSTALLATION (LANDSCAPED AREAS)
C401 NOT TO SCALE



DRAWING FILENAME: D:\Projects\970-001\Drawings\970-001_LID.dwg DATE: Mar 05, 2014 - 12:27pm CAD OPERATOR: eny
LIST OF SHEETS: [970-001_LID] [970-001_LID] [970-001_LID] [970-001_LID] [970-001_LID] [970-001_LID] [970-001_LID] [970-001_LID] [970-001_LID] [970-001_LID]



LID SUMMARY TABLES:

Basin	Basin Area (sq. ft.)	Treatment Type	LID ?	Percent
N	7795	None	no	0%
S (Roof)	2387	Infiltration Garden	yes	13%
S (Parking)	375	Permeable Pavers	yes	2%
Totals	17971	-	-	15%

Pavement	Area (sq. ft.)	LID ?	Percent
Traditional Concrete/Asphalt	691	no	65%
Permeable Pavers	375	yes	35%
Totals	1,066	-	100%

1. Pavement includes all "new/additional" pavement beyond the existing condition.
2. Only pavement areas exposed to surface rainwater are included.

New Paving	Roof Area	Area Treated	Treatment Type	Percent
1066		375	Permeable Pavers	35%
-	3052	1909	Infiltration Garden	63%

DEVELOPED RUNOFF SUMMARY TABLE

DESIGN POINT	BASIN ID	TOTAL AREA (acres)	C2	C10	C100	2-yr Tc (min)	10-yr Tc (min)	100-yr Tc (min)	Q2 (cfs)	Q10 (cfs)	Q100 (cfs)
N	N	0.18	0.65	0.65	0.81	5.0	5.0	5.0	0.3	0.6	1.4
S	S	0.23	0.84	0.84	1.00	5.2	5.2	5.1	0.6	1.0	2.3

FOR DRAINAGE REVIEW ONLY
NOT FOR CONSTRUCTION

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	_____	_____	_____
	City Engineer		Date
CHECKED BY:	_____	_____	_____
	Water & Wastewater Utility		Date
CHECKED BY:	_____	_____	_____
	Stormwater Utility		Date
CHECKED BY:	_____	_____	_____
	Parks & Recreation		Date
CHECKED BY:	_____	_____	_____
	Traffic Engineer		Date
CHECKED BY:	_____	_____	_____
			Date

NOTES:

- REFER TO THE "DRAINAGE LETTER REPORT FOR SHIELDS & PLUM GREEK HOUSING" BY NORTHERN ENGINEERING, DATED MARCH 5, 2014 FOR ADDITIONAL INFORMATION.

BENCHMARK/BASIS OF BEARING

BENCHMARK #1:

City of Fort Collins Benchmark 19-97
At the southeast corner of West Elizabeth and Shields Street, on a concrete traffic signal base.
Elevation=5022.56

BENCHMARK #2:

City of Fort Collins Benchmark 20-97
At the southwest corner of West Elizabeth and Constitution Avenue, on a concrete traffic signal base.
Elevation=5046.97

Basis of Bearings

Basis of Bearings is the East Line of Northeast Quarter Corner Section 15, Township 7 North, Range 69 West. (Assumed Bearing)

LEGEND:

PROPOSED STORM SEWER	---
PROPOSED UNDERDRAIN	UD
PROPOSED INLET	93
PROPOSED CONTOUR	4953
EXISTING CONTOUR	---
PROPOSED SWALE	---
PROPOSED CURB & GUTTER	---
PROPERTY BOUNDARY	---
DESIGN POINT	A
FLOW ARROW	---
DRAINAGE BASIN LABEL	A 0.67 BASIN AREA (AC)
DRAINAGE BASIN BOUNDARY	---
PROPOSED SWALE SECTION	1
PROPOSED MODULAR BLOCK PAVERS	---

PLUM & SHIELDS GREEK HOUSING

DRAINAGE EXHIBIT

Sheet
C500

Of 8 Sheets

NORTHERN
ENGINEERING

NE

DATE: MARCH 5, 2014
PROJECT: 970-001
DESIGNED BY: A. Reese
DRAWN BY: A. Reese
SCALE: 1"=10'
REVIEWED BY: N. Haws

Revisions:
No. _____
Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
MARCH 5, 2014

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Engineering Services, Inc.
for the use of the
client. They are not to
be used for any type of construction
unless signed and sealed by
the Engineer of Northern
Engineering Services, Inc.

April 3, 2014

Jason Holland
Current Planning Department
281 North College Ave.
Fort Collins, CO 80524

Re: Plum & Shields Greek Housing

Please accept this request for a Modification of Standards to **Section 3.2.2(J)** and **Section 3.2.2(L), Table A** of the Land Use Code.

Background

The proposed project is located in the vacant Turning Point building, at the southwest corner of Shields Street and Plum Street. The intent of the project is to utilize the existing building for an extra occupancy rental house with 20 occupants. The infrastructure, utilities, paving, and parking are all in place; however, there will be changes to the parking lot and significant upgrades to the landscaping. New sidewalks, a trash enclosure and bike racks will be added. The project will provide 15 off-street parking spaces. The project will also construct an additional 2' to the attached concrete sidewalk along the street frontage of Plum Street. There are also plans to remove the existing fence and wall along the north and east sides of the building and replace them with landscaping to create visual interest and a more engaging experience for pedestrians walking to and from campus.

The 0.413-acre site is in the C-C zoning district, the TOD Overlay district and in the Campus West Community Commercial District Planning Study Report. According to the Purpose Statement contained within Article 4 of the Land Use Code, "The Community Commercial District provides a combination of retail, offices, services, cultural facilities, civic uses and higher density housing..."

The area surrounding the site contains a mix of single-family homes, apartment buildings, sorority houses, a church, and retail uses. The proposed project is located within walking and biking distance to CSU and other destinations in the Campus West area. A growing trend in the Campus West area is the redevelopment of older properties as the market becomes stronger for revitalization.

This modification requested is in accordance with the review procedures set forth in Section 2.8.2(H) of the Land Use Code as follows:

Modification to section 3.2.2(J)

Code Language: Section 3.2.2(J) Setbacks. Any vehicular use area containing six (6) or more parking spaces or one thousand eight hundred (1,800) or more square feet shall be set back from the street right-of-way and the side and rear yard lot line (except a lot line between buildings or uses with collective parking) consistent with the provisions of this Section, according

to the following table:

	<i>Minimum average of entire landscaped setback area (feet)</i>	<i>Minimum width of setback at any point (feet)</i>
Along an arterial street	15	5
Along a nonarterial street	10	5
Along a lot line	5	5

Requested Modification: The project is attempting to utilize an existing building and site to the maximum extent feasible. The property has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes.

Because of these factors, the landscape setback area along the south property line ranges from 0' to 7.5'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a landscaped setback ranging from 0' to 7.5' along the south property line.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a **nominal, inconsequential way** when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2 for the following reasons:

- The proposed plan provides a solid privacy fence along roughly ½ of the length of the vehicle use area, thus providing additional screening.
- The property is unsightly and the landscaping is in poor shape. The new owners intend to enhance the plantings all throughout the entire site. Currently there is virtually no landscape along the south property line. New plant material will be added in the strip.
- The intent of the required 5' vehicular use area setback is to provide sufficient space for visual screening and to enhance the appearance of the vehicle use area. The proposed landscape area, although smaller than allowed, will provide a softened edge of landscape interior to the parking area while mitigating the visual impact to the property to the south.

Modification to section 3.2.2(L)Table A

Code Language: Section 3.2.2(L),Table A Standard Vehicle Dimensions states that the drive aisle width for two-way traffic be a minimum of 24'.

Requested Modification: The project is attempting to utilize an existing building and site to the maximum extent feasible. The site has several fixed physical constraints, including the existing building, the new sidewalk width, parking stall depth and drive aisle width, all of which are at their minimum sizes. Off-street parking is critical for the success of this project, therefore, in addition to 11 head-in spaces, there are 4 parallel parking spaces located along the south side of the parking area.

Because of these factors, the two-way drive aisle width is 18.6' instead of 24'.

Given the above, we respectfully request that the Plum & Shields Greek Housing project be allowed to have a two-way drive aisle be 18.6'.

Justification

We feel that the granting of this modification of standards would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant. Below is the justification:

- The parking area as modified provides off-street parking, which is desirable. The off-street spaces help reduce on-street parking, therefore providing a benefit to the adjacent neighborhoods.
- The intent of the 24' wide drive aisle width is to allow cars to have ample room to back out of a parking space. We feel that, although not ideal, the benefits of the parking stalls outweigh the inconvenience of having a narrower drive aisle.

Jason Holland

From: Ward Stanford
Sent: Tuesday, April 01, 2014 9:19 AM
To: Jason Holland; 'suebrown1953@hotmail.com'
Subject: RE: Cumulative impact of new Plum Street projects on traffic

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Ms. Brown,

To date the various projects have not caused the Shields and Plum intersections' level of service to drop below City policies. The studies look at traffic being generated by a development proposal during the rush hours, when traffic volumes are highest. There is also an expectation that a higher percentage of students may use alternative modes of travel (walk, bike or bus) than typical apartment or residential homeowners since there is limited on-campus parking and limited on-street parking available in the surrounding neighborhoods. Even though there are those afore mentioned expectations the traffic study reviews the development as if most of the traffic will be motor vehicle traffic.

Due to the amount of development taking place on Plum and some general background growth in general we do expect to have to make signal timing adjustments in the future and will be watching the intersection as the developments start taking on residents.

I hope this helps but if you would like to talk further please feel free to contact me at the number below.

Kind regards,

Ward Stanford

Traffic Systems Engineer
City of Fort Collins
Traffic Operations
970-221-6630
wstanford@fcgov.com

From: Jason Holland
Sent: Monday, March 31, 2014 12:04 PM
To: 'suebrown1953@hotmail.com'
Cc: Ward Stanford
Subject: Cumulative impact of new Plum Street projects on traffic
Importance: High

Sue,

I wanted to follow up with you on your questions regarding traffic on Plum Street and Shields. I believe your concern from last week's neighborhood meeting involved the cumulative effect of new student housing projects on Plum Street such as The District and Scott Plaza, and whether the additional traffic these projects are anticipated to generate will trigger any requirement for new street improvements that would help improve traffic flow and safety in this area. I have included Ward Stanford in this email so that we can provide you with more information on this subject.

Thanks,
Jason

Jason Holland

From: Sue <suebrown1953@hotmail.com>
Sent: Monday, March 31, 2014 3:39 PM
To: Jason Holland
Cc: Ward Stanford
Subject: Re: Cumulative impact of new Plum Street projects on traffic

Thank you so much for your email – I appreciate your follow-up. Ward, I would love to discuss further with you. You can contact me at 704-607-2279. Thank you!!

From: [Jason Holland](#)
Sent: Monday, March 31, 2014 12:04 PM
To: <mailto:suebrown1953@hotmail.com>
Cc: [Ward Stanford](#)
Subject: Cumulative impact of new Plum Street projects on traffic

Sue,

I wanted to follow up with you on your questions regarding traffic on Plum Street and Shields. I believe your concern from last week's neighborhood meeting involved the cumulative effect of new student housing projects on Plum Street such as The District and Scott Plaza, and whether the additional traffic these projects are anticipated to generate will trigger any requirement for new street improvements that would help improve traffic flow and safety in this area. I have included Ward Stanford in this email so that we can provide you with more information on this subject.

Thanks,
Jason

Jason Holland, PLA | City Planner
City of Fort Collins
281 North College Avenue
Fort Collins, CO 80522
970.224.6126
jholland@fcgov.com



PUBLIC HEARING NOTICE

April 30, 2014

Dear Property Owner or Resident:

This letter is being sent to let you know about a development proposal near your property and to invite you to the public hearing where you can provide the hearing officer with your comments regarding this proposal. Specific information about this proposal is to the right and on the back of this letter. We welcome and encourage your participation, as your input is an important part of the development review process.

Check out our online guide of your ways to participate in the development review process by visiting fcgov.com/CitizenReview. You may also contact me or Sarah Burnett, Neighborhood Development Review Liaison, at 970-224-6076 or sburnett@fcgov.com. Sarah is available to assist residents who have questions about the review process and how to participate.

You received this notice because records from the Larimer County Assessor's Office indicate you own property near the proposed development site. Because of the lag time in recordkeeping, or because of rental situations, some neighbors may be missed. Please feel free to notify your neighbors of the neighborhood meeting so they can attend.

Public comment is encouraged during all phases of the review process. If you are unable to attend the hearing, but would like to provide input, please feel free to write me at the address below or e-mail me at jholland@fcgov.com. If you have questions at any time, please feel free to contact us.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Holland".

Jason Holland, PLA | City Planner
City of Fort Collins
281 North College Avenue
Fort Collins, CO 80522
970.224.6126
jholland@fcgov.com

The City of Fort Collins will make reasonable accommodations for access to City services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call 970-220-6750 for assistance.

Esta es una notificación sobre la reunión de su vecindario o sobre una audiencia pública sobre el desarrollo o proyecto en la propiedad cerca de donde usted es el dueño de propiedad. Si usted desea que esta notificación sea traducida al español sin costo alguno, favor enviar un correo electrónico en español a la siguiente dirección electrónica: titlesix@fcgov.com.

Development Review Center
281 North College Avenue
PO Box 580
Fort Collins, CO 80522-0580
970-221-6750
fcgov.com/DevelopmentReview

HEARING TIME AND LOCATION

Wednesday May 14, 2014
5:00 p.m. (This is scheduled as the 2nd item on the agenda.)
Conference Room A
281 North College Avenue, Fort Collins

PROPOSAL NAME & LOCATION

Plum & Shields Extra Occupancy Rental House

801 S. Shields Street (please see map on reverse)

PROPOSAL DESCRIPTION

- Existing 3-story building
- Building formerly used as a group home operated by Turning Point
- Building also formerly used as a Greek housing facility
- 20 occupants proposed
- 15 on-site parking spaces proposed
- Modification requests to Section 3.2.2(J) addressing a reduction in setbacks for parking and Section 3.2.2(L), Table A, addressing a reduction in dimensional standards for two-way drive isles.

ZONING INFORMATION

Community Commercial District (C-C)

HELPFUL RESOURCES

- Hearing Notice, Plans, and Staff Report: fcgov.com/ReviewAgendas (for administrative hearings)
- Information About the Review Process: fcgov.com/CitizenReview