



SITE NOTES:

Property Lines, Easements and all Metes and Bounds Information provided by:
Intermill Land Surveying, Inc. Project # P-13-7461.

Parcel Number: 47232-15-028

Existing Zoning: M-M-N

Parcel Size: Gross Area - 2.18 Acres (94,912 s.f.)

DWELLING UNITS

Type A - 8 (2 Story, 3 Bed Room, 2442 s.f.)
Type B - 8 (2 Story, 3 Bed Room, 2672 s.f.)
Type C - 2 (2 Story, 3 Bed Room, 2642 s.f.)
Total 18

Maximum Building Height = 29'-0"

18 Units/2.18 Acres = 8 Dwelling Units per Acre

FLOOR AREA RATIO

Total Floor Area = 50,696 s.f.
Lot Size = 94,912 s.f.
Floor Area Ratio = 53%

LOT COVERAGE

Building coverage = 31,312 s.f. / 94,912 s.f. = 33%
Driveway/Parking = 24,137 s.f. / 94,912 s.f. = 25%
Open space/Landscape = 33,032 s.f. / 94,912 s.f. = 35%

PARKING

CAR: 9 Common Spaces, including 1 HC space.
Typical Space: 9'-0"W x 22'-0"L
HC Space: 9'-0"W x 22'-0"L with adjacent striped area at 9'-0"W x 22'-0"L.
(Each Dwelling Unit has a 2-Car Garage)

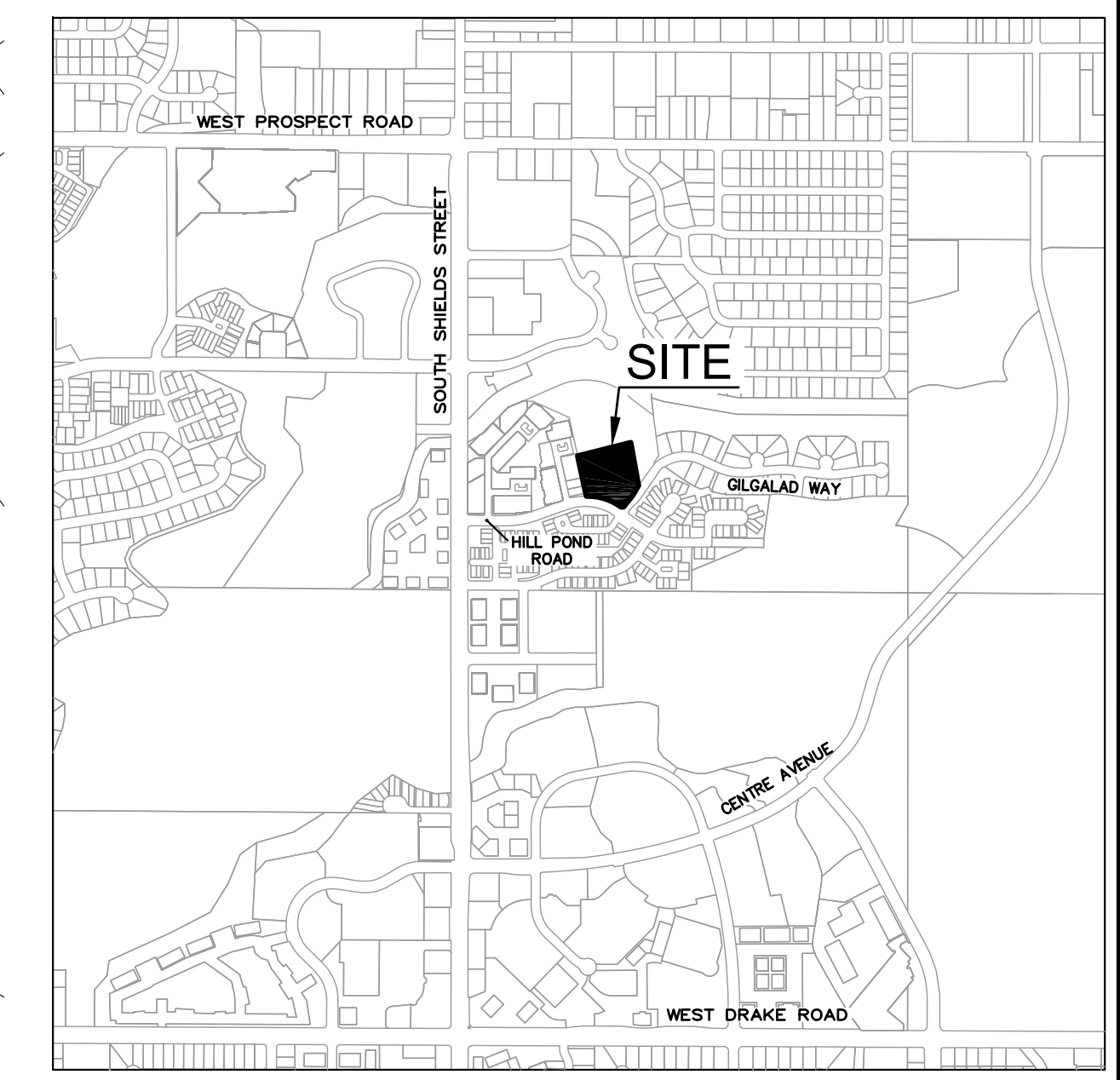
BICYCLE: 2 Multi-family buildings with 9 Bedrooms each
18 Bicycle parking spaces required total
2 Fixed Racks (4 bicycles each) = 8 spaces (40% +/-)
6 Garages for enclosed parking = 10 spaces (60% +/-)

LANDSCAPE LEGEND

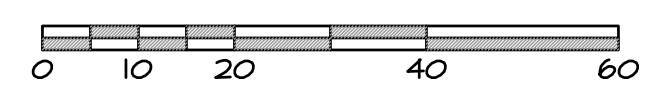
diameter

24"(C) ● : Existing Tree to Remain
18"(D) ○ : Existing Tree to be Removed

coniferous
deciduous
(See Landscape Drawings for detailed Mitigation Plan)



1 SITE PLAN
SCALE: 1" = 20'-0"



2 VICINITY MAP
NO SCALE

SITE PLAN

John Dangler
ARCHITECTS & PLANNERS
4 ASSOCIATES, P.C.

5336 highcastle court fort collins, colorado 80525 (970) 223-1512

Hill Pond Residences

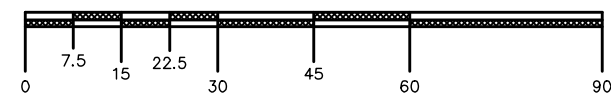
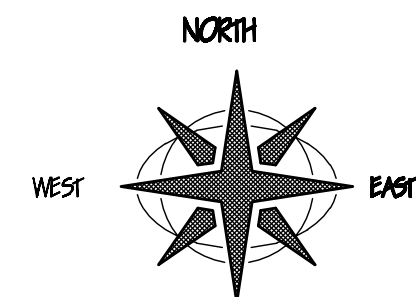
910 Hill Pond Road
Fort Collins, Colorado

by	jhd
date	9.17.2014
revisions	
sheet	1 of 1

ALTA / ACSM LAND TITLE SURVEY

FOR A PORTION OF TRACT "H", THIRD REPLAT OF HILL POND ON SPRING CREEK, FIRST FILING, SITUATE IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

SHEET 2 OF 2



ORIGINAL SCALE : 1" = 30'

Date of Initial Preparation: September 26, 2013

STATEMENT OF LINEAR UNITS USED:
Linear Units Used for this survey - U.S. Survey Feet

BASIS OF BEARINGS STATEMENT: Basis of Bearings for this survey are based on an assumed bearing of North-South (North 00°00'00" East) on the West line of the Northwest Quarter of Section 23, Township 7 North, Range 69 West of the 6th P.M., County of Larimer, State of Colorado.
Note: Monumentation of said line as shown on Map.

C1 CURVE DATA:
Rec./Calc.:
D=90°00'00" R=20.00'
L=31.42' C=28.28'
CB: S79°27'15"W

C2 CURVE DATA:
Rec./Calc.:
D=33°17'17" R=362.08'
L=210.36' C=207.42'
CB: N72°11'24"W

C3 CURVE DATA:
Calc./Meas:
D=07°53'48" R=156.00'
L=21.50' C=21.48'
CB: S40°30'21"W

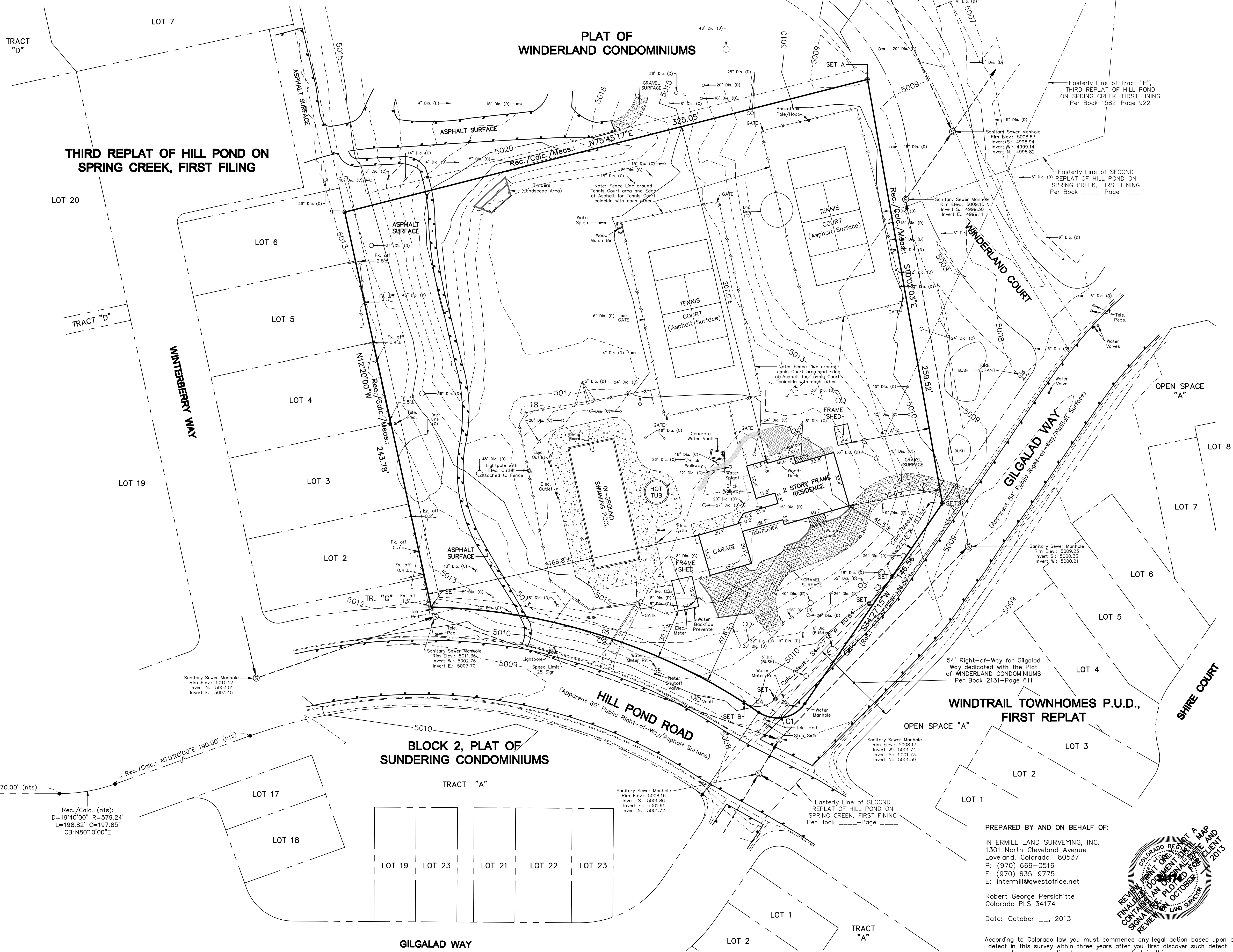
C4 CURVE DATA:
Calc./Meas:
D=78°19'19" R=15.00'
L=20.50' C=18.95'
CB: S83°36'54"W

C5 CURVE DATA:
Calc./Meas:
D=31°36'37" R=362.08'
L=199.76' C=197.24'
CB: N73°01'44"W

NW COR.
S23-7-69

BASIS OF BEARINGS: The West line of the NW 1/4 of S23-7N-69W bears N00°00'00"E 2846.12' (Meas-nts)
Rec./Calc.: N00°00'00"E 2846.12' (nts)

W. 1/4 COR.
S23-7-69



PREPARED BY AND ON BEHALF OF:
INTERMILL LAND SURVEYING, INC.
1301 North Cleveland Avenue
Loveland, Colorado 80537
P: (970) 669-0516
F: (970) 635-9775
E: intermill@questoffice.net

Robert George Persichitte
Colorado PLS 34174
Date: October 2013



According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

DATE: _____

BY: _____

REVISIONS: _____

INTERMILL LAND SURVEYING, INC.
1301 NORTH CLEVELAND AVENUE
LOVELAND, COLORADO 80537
BUS: (970)-669-0516 / FAX (970)-635-9775

CLIENT:
CATAMOUNT PROPERTIES, LTD.

TITLE:
ALTA / ACSM LAND TITLE SURVEY
PORT. OF TR. "H", THIRD REPLAT OF HILL POND ON SPRING CREEK, FIRST FILING

DRAWN BY: RGP	
CHECKED BY: _____	
APPROVED BY: _____	
DATE: 09-26-2013	
SCALE: 1"=30'	
PROJECT NO.: P-13-7461	
SHEET 2	OF 2











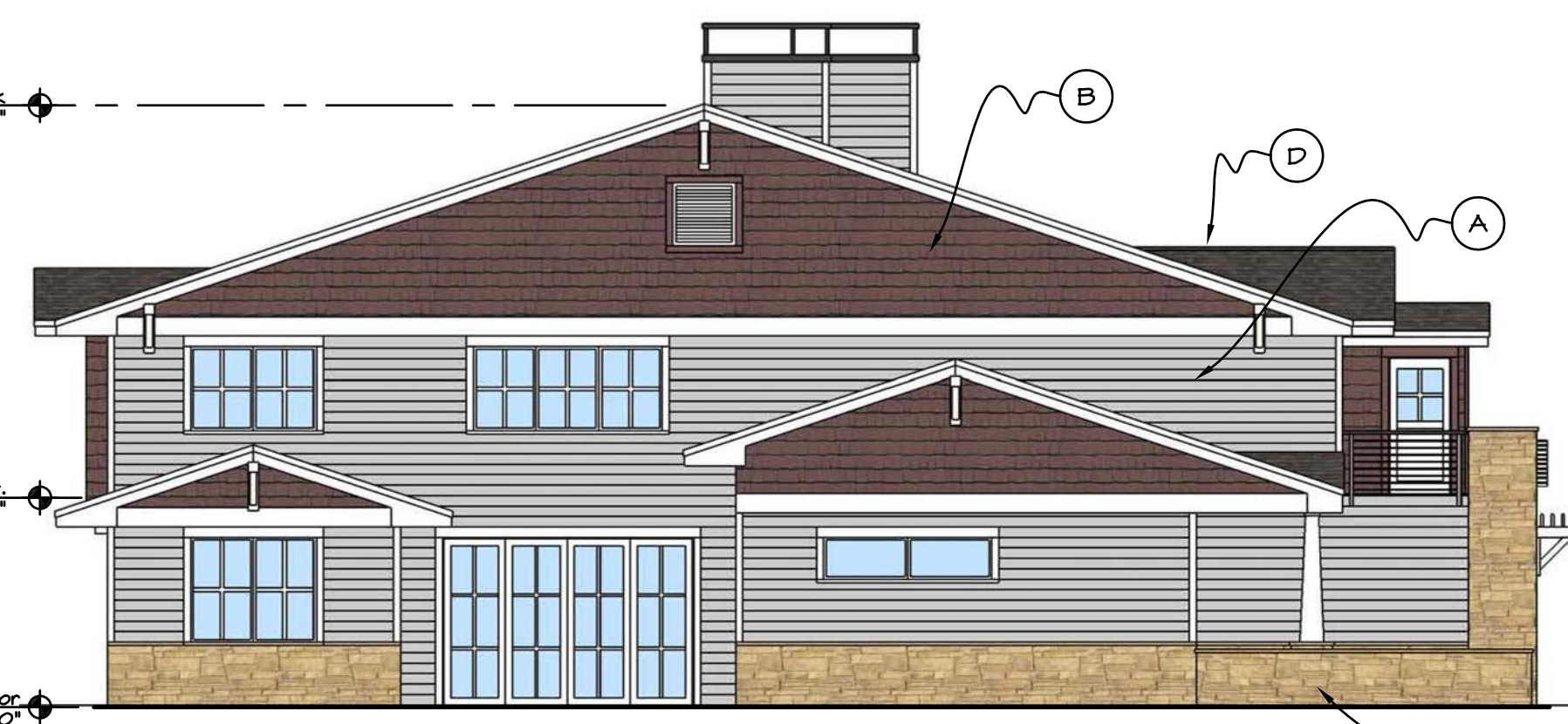
1 STREET VIEW
NO SCALE

MATERIALS NOTES

(A) Fiber Cement Board Lap Siding	(C) Synthetic Stone Veneer
(B) Fiber Cement Board Shake Siding	(D) Asphalt Shingles



2 TRIPLEX FRONT ELEVATION
SCALE: 1/8" = 1'-0"



3 DUPLEX/TRIPLEX LEFT ELEVATION
SCALE: 1/8" = 1'-0"



4 DUPLEX FRONT ELEVATION
SCALE: 1/8" = 1'-0"



5 TRIPLEX REAR ELEVATION
SCALE: 1/8" = 1'-0"



6 DUPLEX/TRIPLEX RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



7 DUPLEX REAR ELEVATION
SCALE: 1/8" = 1'-0"



TREE PROTECTION NOTES:

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- HEAVY EQUIPMENT SHOULD NOT BE ALLOWED TO COMPACT OVER THE ROOT ZONE OF EXISTING TREES.
- AVOID CUTTING SURFACE ROOTS WHENEVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID DAMAGE.
- ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTH FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE THE ROOTS HAVE A CHANCE TO DRY OUT AND WATER THE TREE IMMEDIATELY.
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- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A 4" DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE, WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
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Tree Diameter at Breast Height (inches)	Auger Distance From Face of Tree (feet)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
Over 19	15

TREE NO.	SPECIES	SIZE	CONDITION	REMOVE	MITIGATION VALUE
2	GREEN ASH	18"	FAIR	X	2.0
6	LANCELEAF COTTONWOOD	23	POOR	X	0.0
7	LANCELEAF COTTONWOOD	24	POOR +	X	2.0
8	LANCELEAF COTTONWOOD	48	DEAD	X	0.0
9	LANCELEAF COTTONWOOD	31"	POOR +	X	2.5
10	AMERICAN PLUM	2"	FAIR	X	0.0
11	LANCELEAF COTTONWOOD	36"	FAIR	X	0.0
14	GREEN ASH	17"	FAIR	X	1.5
15	BLACK LOCUST	7"	FAIR	X	1.0
16	GREEN ASH	12"	POOR	X	1.0
17	AMERICAN PLUM	8"	FAIR	X	1.0
18	BLUE SPRUCE	4"	FAIR +	X	0.0
19	LANCELEAF COTTONWOOD	47"	FAIR -	X	4.0
20	LANCELEAF COTTONWOOD	46"	POOR	X	0.0
21	LANCELEAF COTTONWOOD	65"	FAIR	X	4.0
22	AUSTRIAN PINE	18"	FAIR	X	3.0
23	AUSTRIAN PINE	14"	FAIR	X	2.0
28	ROCKY MOUNTAIN JUNIPER	15" MULTISTEM	FAIR	X	2.0
30	AUSTRIAN PINE	16"	FAIR -	X	2.0
31	BLUE SPRUCE	9"	POOR	X	1.0
32	AUSTRIAN PINE	24"	FAIR	X	2.5
35	HYBRID COTTONWOOD	30"	FAIR -	X	3.0
38	PLAINS COTTONWOOD	52"	POOR	X	0.0
43	ASPEN		POOR	X	1.0
44	ASPEN	3	POOR	X	0.0
45	BLUE SPRUCE	20"	GOOD	X	2.5
46	BLUE SPRUCE	20"	GOOD	X	2.5
47	ASPEN - CLUSTER OF 8	ALL UNDER 6"	POOR	X	0.0
48	BLUE SPRUCE	12"	FAIR +	X	1.5
49	BLUE SPRUCE	17"	FAIR	X	1.5
50	BLUE SPRUCE	10"	FAIR -	X	1.0
51	BLUE SPRUCE	12"	FAIR	X	1.5
52	BLUE SPRUCE	12"	FAIR	X	1.5
53	BLUE SPRUCE	16"	GOOD	X	2.0
54	BLUE SPRUCE	17"	GOOD -	X	2.0
55	ROCKY MOUNTAIN JUNIPER	10'	FAIR -	X	1.0
56	ROCKY MOUNTAIN JUNIPER	12"	FAIR -	X	1.0
57	BLUE SPRUCE	20"	GOOD -	X	3.5
58	GREEN ASH	27"	FAIR	X	2.5
59	PONDEROSA PINE	18"	FAIR	X	1.5
60	BLACK LOCUST	2 STEMS - 9"	FAIR	X	1.0
61	AUSTRIAN PINE	13"	FAIR -	X	1.5
62	AUSTRIAN PINE	17"	FAIR	X	2.5
63	UPRIGHT JUNIPER	5"	FAIR -	X	0.0
64	UPRIGHT JUNIPER	5"	FAIR -	X	0.0
65	UPRIGHT JUNIPER	6"	FAIR -	X	0.0
66	UPRIGHT JUNIPER	6"	FAIR -	X	0.0
67	ROCKY MOUNTAIN JUNIPER	11"	POOR	X	1.0
68	ROCKY MOUNTAIN JUNIPER	10"	POOR	X	1.0
69	ROCKY MOUNTAIN JUNIPER	7"	POOR	X	1.0
70	ROCKY MOUNTAIN JUNIPER	8"	POOR	X	1.0
71	ROCKY MOUNTAIN JUNIPER	8"	POOR	X	1.0
72	ROCKY MOUNTAIN JUNIPER	9"	POOR	X	1.0
TOTAL MITIGATION REQUIRED					72.0



landscape architecture + urban design + planning
outside la
boulder / steamboat springs, co
p. 303.617.6256
970.367.1160
osla@osla.com

HILL POND RESIDENCES
910 Hill Pond Road
Fort Collins, Colorado

NOTICE DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor, and the landscape architect. Design and construction are complex. Although the landscape architect and their consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the landscape architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the landscape architect shall relieve the landscape architect from responsibility for all consequences. Changes made from the plans without consent of the landscape architect are unauthorized, and shall relieve the landscape architect of responsibility for all consequences arising out of such changes.

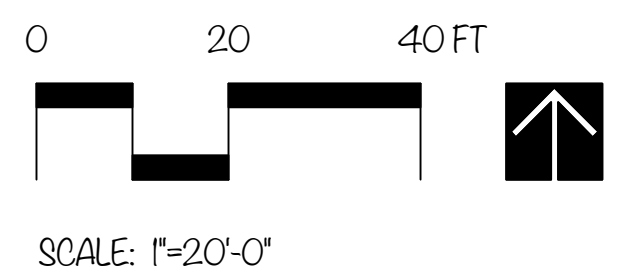
Issue Date: 09/17/14
dwn by: osla
rev'd by: osla

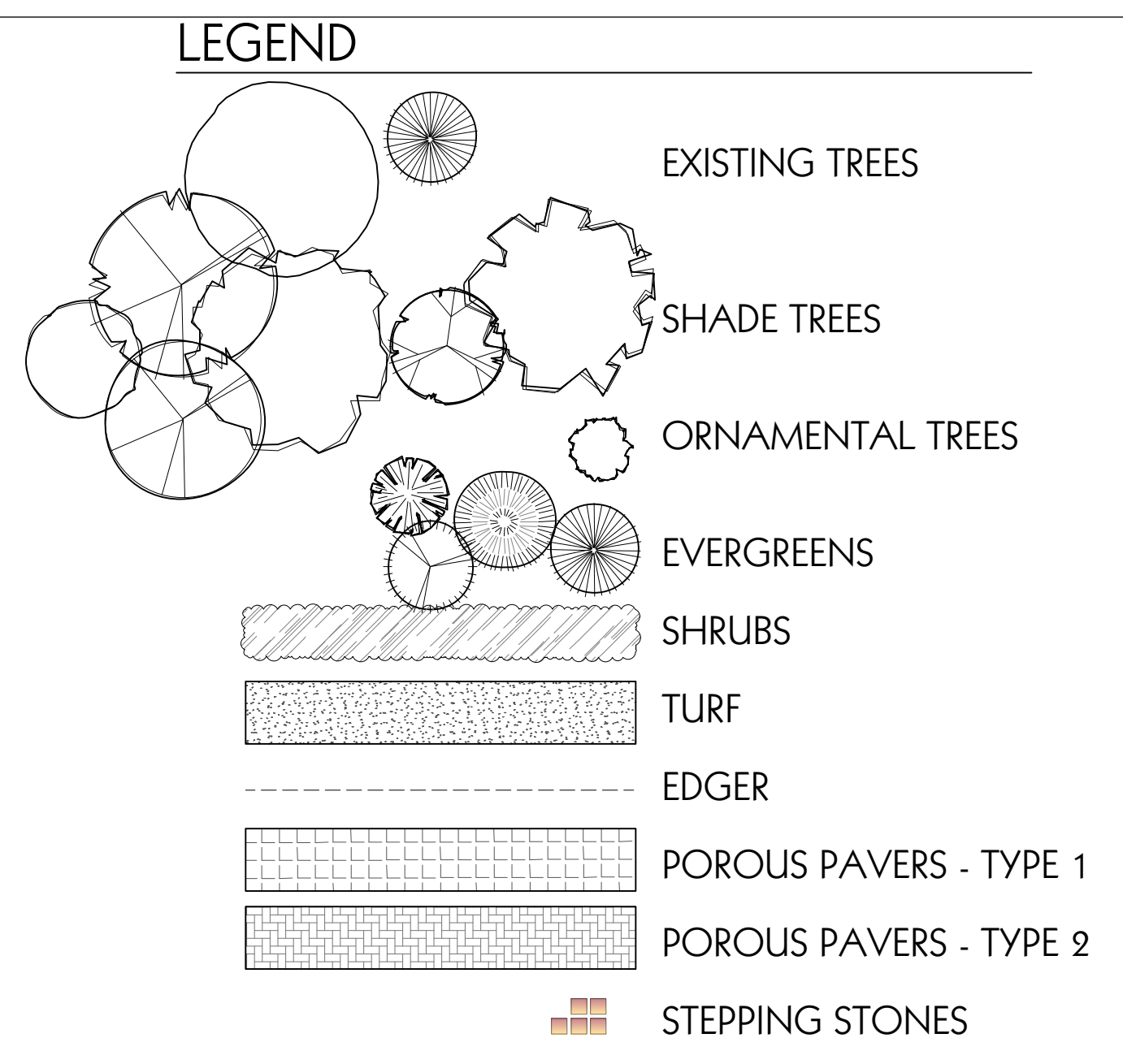
Revisions

No.	Description

Sheet No.
TREE MITIGATION PLAN
L0.0

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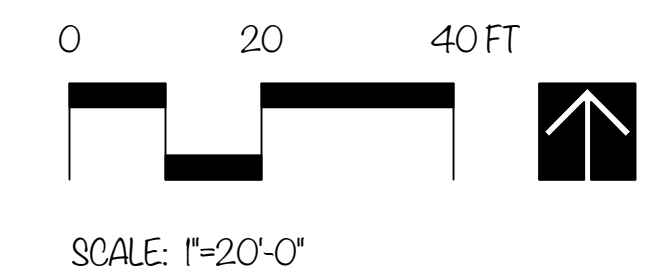




- ### LANDSCAPE NOTES:
- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
 - TREES SHALL NOT BE PLANTED CLOSER THAN 4' TO ANY GAS LINE CLOSER THAN 6' TO ANY WATER OR SEWER SERVICE LINE, AND NO CLOSER THAN 10' TO ANY WATER OR SEWER MAIN. TREE PLANTING SHALL BE COORDINATED WITH PUBLIC SERVICE COMPANY. A HORIZONTAL DISTANCE OF 40' BETWEEN STREET TREES AND STREET LIGHTS AND 15' BETWEEN ORNAMENTAL TREES AND STREET LIGHTS SHALL BE MAINTAINED. SHRUBS ARE NOT TO BE PLANTED WITH 4' OF ANY WATER OR SEWER MAINS. PLANT MATERIALS SHALL BE ADJUSTED IN THE FIELD TO MAINTAIN THE ABOVE CLEARANCES.
 - A PERMIT MUST BE OBTAINED FROM CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND THE CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
 - LANDSCAPING SHALL BE INSTALLED OR SECURED WITH A LETTER OF CREDIT, ESCROW, OR A PERFORMANCE BOND FOR 125% OF THE VALUE OF THE LANDSCAPING AND INSTALLATION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTINGS IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
 - LANDSCAPING WITH PUBLIC ROW AND COMMON OPEN SPACE AREAS SHALL BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE OWNER.
 - DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
 - ALL LANDSCAPE AREA WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. AN IRRIGATION PLAN, REVIEWED AND APPROVED BY THE WATER UTILITIES, WILL BE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - ALL TURF AREA TO BE IRRIGATED WITH AN AUTOMATIC POP-UP SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, ARE TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRIGLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
 - ALL SHRUB BEDS TO BE MULCHED WITH A 3" LAYER OF SPECIFIED MULCH OR COBBLE OVER WEEK BARRIER.
 - EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/8" X 4" STEEL SET LEVEL WITH TOP OF SOD.
 - IRRIGATED TURF TO BE SODDED WITH REVELLE BLUEGRASS.
 - TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.
 - THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN 8" AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST 6" BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST 3 CUBIC YARDS OF SOIL AMENDMENT PER 1,000 SF OF LANDSCAPE AREA. TO PROTECT EXISTING TREES FROM ROOT DAMAGE, SO NOT CULTIVATE MORE THAN 2" DEEP WITH DROP ZONE OF EXISTING TREES.
 - STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED AND MAINTAINED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES.
 - ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORS WHERE REQUIRED BY CODE.

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Issue Date: 09/17/14
dwn by: osls
rev'd by: osls

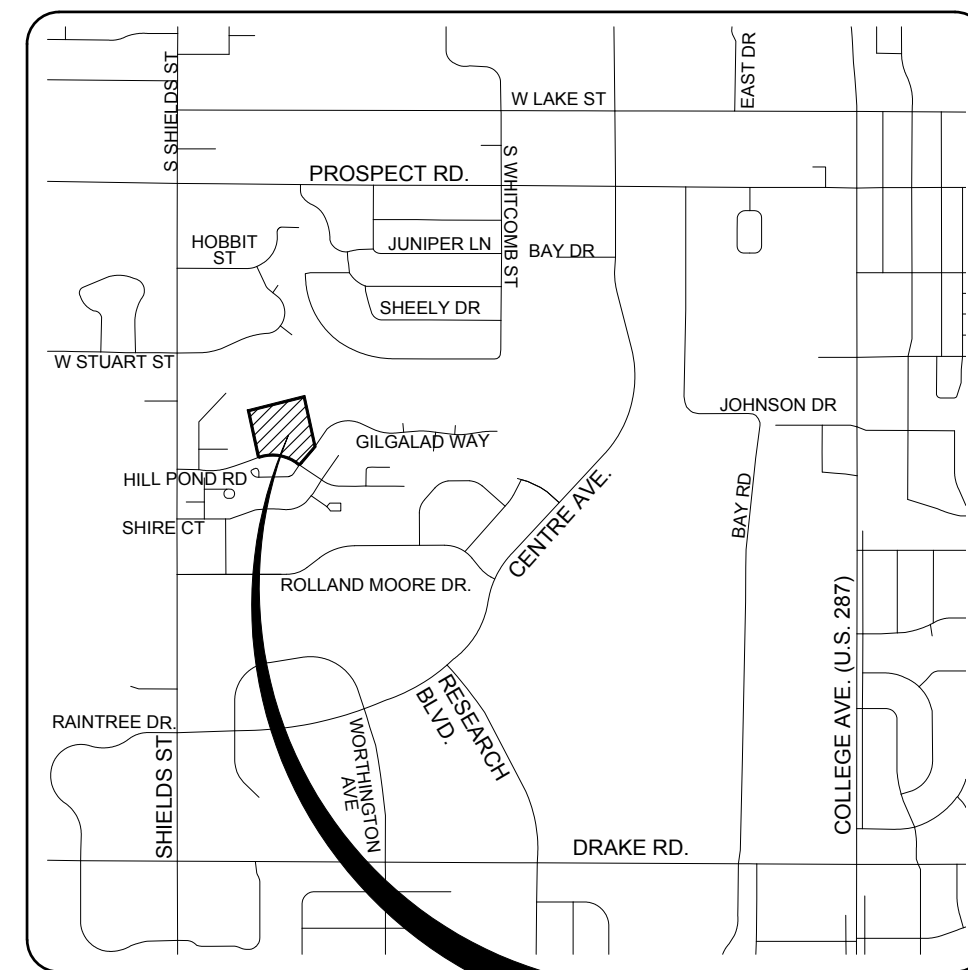
Revisions

No.	Description

UTILITY PLANS FOR HILL POND RESIDENCES

FOR A PORTION OF TRACT "H", THIRD REPLAT OF HILL POND ON SPRING CREEK, FIRST FILING, LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

SEPTEMBER 2014



PROJECT LOCATION



VICINITY MAP

1"=1500'

PROJECT BENCHMARKS:

BENCHMARK #1:
City of Fort Collins Benchmark 01-93
NGVD29 Elevation = 5023.27 (NAVD88 Elevation = 5026.44)

BENCHMARK #2:
City of Fort Collins Benchmark 29-92
NGVD29 Elevation = 5022.50 (NAVD88 Elevation = 5025.67)

Project Datum
All elevations referenced in these plans refer to the NGVD 29 (Unadjusted) datum.

Basis of Bearing
The Basis of Bearings is the Easterly line of Tract "H", Third Replat of Hill Pond on Spring Creek, First Filing as bearing South 12° 20' 00" East (assumed bearing).

ORIGINAL FIELD SURVEY BY:

Intermill Land Surveying, Inc.
Project No. P-13-7461
Date: October 28, 2013

DISCLAIMER STATEMENT:

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

CERTIFICATION STATEMENT:

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes, respectively, and that I am fully responsible for the accuracy of all design, revisions, and record conditions that I have noted on these plans.

CONTACT INFORMATION

PROJECT TEAM:



OWNER/APPLICANT
Catamount Properties Ltd.
Chuck Bailey
7302 Rozena Street
Longmont, Colorado 80503
(303) 884-1021



ARCHITECT
John Dengler & Associates, P.C.
Jonathan Day
5336 Highcastle Court
Fort Collins, CO 80525
(970) 223-1512



LANDSCAPE ARCHITECT
Outside LA, LLC
Sandi Gibson
2623 Burgess Creek Road
Steamboat Springs, Colorado 80487
(970) 871-9629



SITE ENGINEER
Northern Engineering Services, Inc.
Nick Haws, PE, LEED AP
301 North Howes Street, Suite 100
Fort Collins, Colorado 80521
(970) 221-4158



SURVEYOR
Intermill Land Surveying, Inc.
Robert George Parschitte PLS
1301 Cleveland Avenue
Loveland, Colorado 80537
(970) 669-0516



GEOTECH
CLT | Thompson, Inc.
David M. Nasuatka, PE
351 Linden Street, Suite 140
Fort Collins, Colorado 80524
(970) 206-9455

UTILITY CONTACT LIST: *

UTILITY COMPANY	PHONE NUMBER
GAS-----Xcel Energy-----	Stephanie Rich (970) 225-7857
ELECTRIC-----City of Fort Collins Light & Power-----	Doug Martine (970) 224-6152
CABLE-----Comcast-----	Don Kapperman (970) 567-0425
TELECOM-----CenturyLink-----	William Johnson (970) 377-6401
WATER-----City of Fort Collins Utilities-----	Roger Buffington (970) 221-6700
WASTEWATER-----City of Fort Collins Utilities-----	Roger Buffington (970) 221-6700
STORMWATER-----City of Fort Collins Utilities-----	Glen Schlueter (970) 221-6700

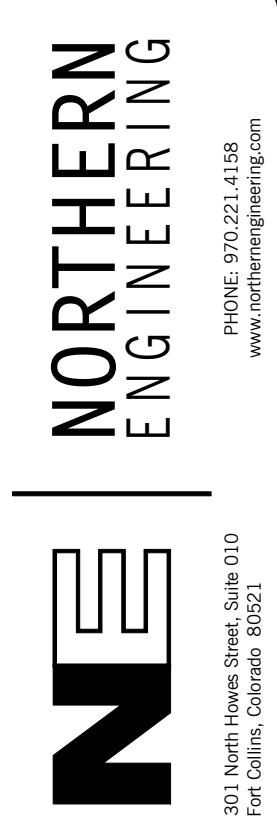
* This list is provided as a courtesy reference only. Northern Engineering Services assumes no responsibility for the accuracy or completeness of this list. In no way shall this list relinquish the Contractor's responsibility for locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of Colorado (UNCC) at 811 for additional information.

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CS2	GENERAL & CONSTRUCTION NOTES
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PV1	PRIVATE STRIPING & PAVING PLAN
U1	UTILITY PLAN
SS1	SANITARY SEWER PLAN & PROFILE
G1	GRADING PLAN
D1	UTILITY DETAILS
D2-D3	SITE DETAILS
D4	DRAINAGE DETAILS
DR1	DRAINAGE EXHIBIT
EC1	EROSION CONTROL PLAN
EC2	EROSION CONTROL DETAILS

No.	Revisions:
	DATE: REVIEW SET
	NOT FOR CONSTRUCTION
	08/11/2014

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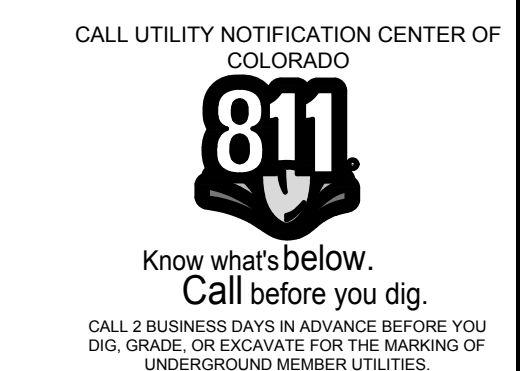


DATE: September 17, 2014	SCALE: N/A	REVIEWED BY: N. Haws
PROJECT: 620-004	DESIGNED BY: A. Reese	DRAWN BY: B. Ruch

HILL POND RESIDENCES
COVER SHEET

Sheet
CS1

Of 14 Sheets



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date _____

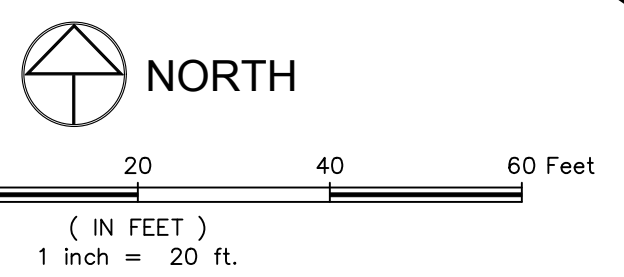
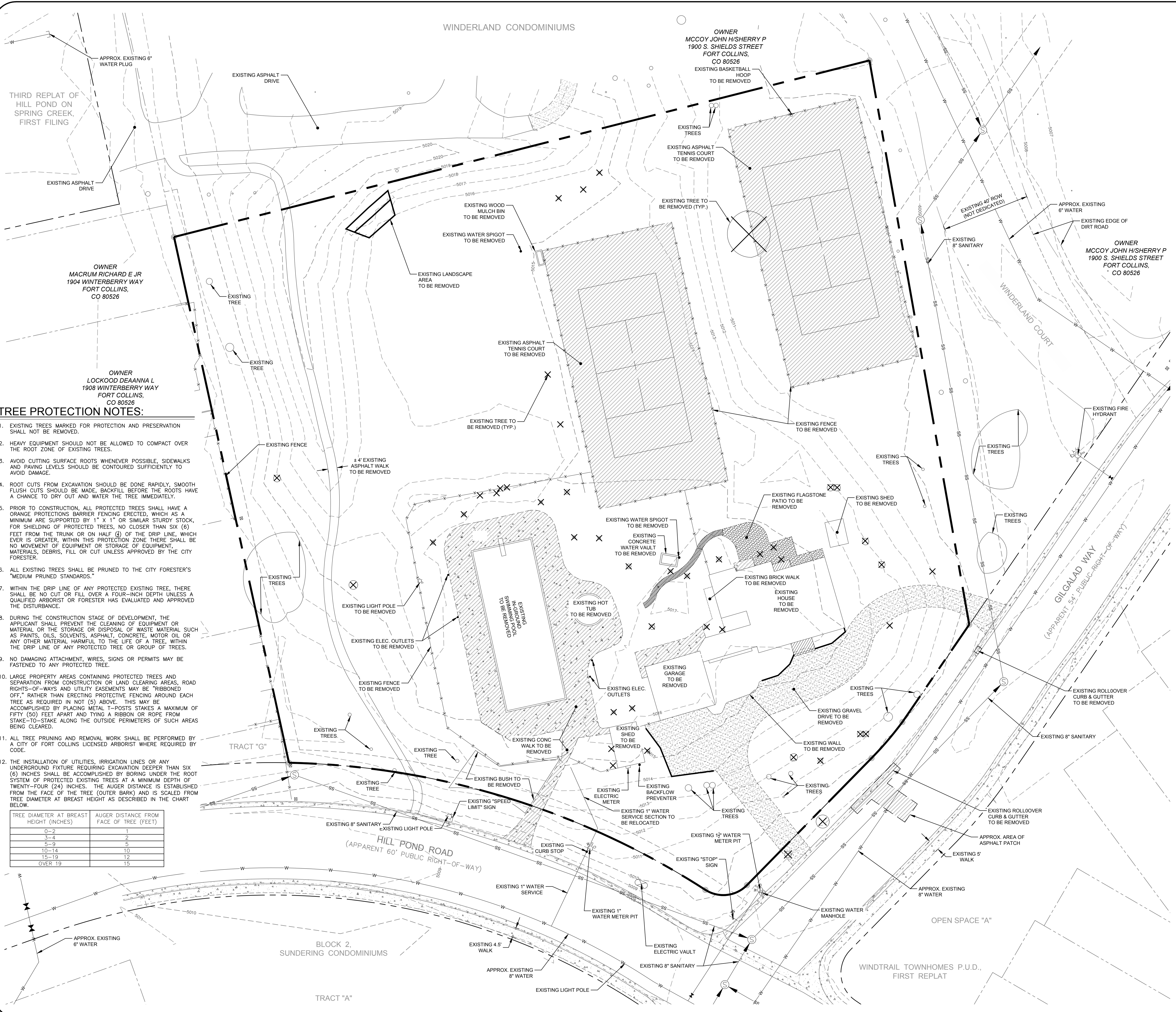
CHECKED BY: _____ Water & Wastewater Utility _____ Date _____

CHECKED BY: _____ Stormwater Utility _____ Date _____

CHECKED BY: _____ Parks & Recreation _____ Date _____

CHECKED BY: _____ Traffic Engineer _____ Date _____

CHECKED BY: _____ Environmental Planner _____ Date _____



LEGEND:

PROPERTY BOUNDARY	---
EXISTING RIGHT-OF-WAY	---
EXISTING MAJOR CONTOUR	-5015
EXISTING MINOR CONTOUR	-5013
EXISTING STORM SEWER	ST
EXISTING SANITARY SEWER	SS
EXISTING WATER	W
EXISTING FENCE	X
EXISTING ELECTRIC VAULT	⊗
EXISTING FIRE HYDRANT	⊗
EXISTING VALVE	⊗
EXISTING WATER METER	⊗
EXISTING TELEPHONE PEDESTAL	*
EXISTING TREES (TO REMAIN)	○
EXISTING TREES (TO BE REMOVED)	⊗
EXISTING PAVEMENT TO BE REMOVED	▨

FIELD SURVEY BY:
 ORIGINAL FIELD SURVEY:
 INTERMILL LAND SURVEYING, INC.
 PROJECT NO. P-13-7461
 DATE: OCTOBER 28, 2013

SUBSURFACE EXPLORATION BY:
 PRELIMINARY GEOTECHNICAL INVESTIGATION
 PROPOSED HILLPOND PROJECT
 NORTH OF HILLPOND ROAD AND GILGALAD WAY
 FORT COLLINS COLORADO
 PROJECT NO. FC06692-115
 DATE: SEPTEMBER 16, 2014

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIAL.
 - CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE. THE CITY OF FORT COLLINS STREET DEPARTMENT OPERATES A CRUSHING OPERATION THAT WILL ACCEPT CONCRETE MATERIAL AT NO COST FOR CRUSHING AND RE-USE AS RECYCLED AGGREGATE. THIS OPERATION IS LOCATED AT 1380 HOFFMAN MILL ROAD AND CAN BE REACHED AT (970) 482-1249.
 - ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
 - CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE EXISTING SITE SURVEY.
 - LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
 - REFER TO LANDSCAPE PLANS FOR TREE PROTECTION AND MITIGATION.
 - ADDITIONAL TREES NOT SHOWN ON THESE PLANS MAY EXIST AND MAY REQUIRE REMOVAL. COORDINATION OF WHICH TREES ARE TO REMAIN AND WHICH ARE TO BE REMOVED SHOULD BE COORDINATED WITH THE CITY FORESTER. REFER TO LANDSCAPE PLANS AND TREE MITIGATION PLAN FOR ADDITIONAL INFORMATION.

TREE PROTECTION NOTES:

- EXISTING TREES MARKED FOR PROTECTION AND PRESERVATION SHALL NOT BE REMOVED.
- HEAVY EQUIPMENT SHOULD NOT BE ALLOWED TO COMPACT OVER THE ROOT ZONE OF EXISTING TREES.
- AVOID CUTTING SURFACE ROOTS WHENEVER POSSIBLE, SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID DAMAGE.
- ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY, SMOOTH FLUSH CUTS SHOULD BE MADE, BACKFILL BEFORE THE ROOTS HAVE A CHANCE TO DRY OUT AND WATER THE TREE IMMEDIATELY.
- PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE AN ORANGE PROTECTION BARRIER FENCING ERRECTED, WHICH AS A MINIMUM ARE SUPPORTED BY 1" X 1" OR SIMILAR STURDY STOCK, FOR SHIELDING OF PROTECTED TREES, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ON HALF (1/2) OF THE DRIP LINE, WHICH EVER IS GREATER, WITHIN THIS PROTECTION ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, FILL OR CUT UNLESS APPROVED BY THE CITY FORESTER.
- ALL EXISTING TREES SHALL BE PRUNED TO THE CITY FORESTER'S "MEDIUM PRUNED STANDARDS."
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE, WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATION FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAYS AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERRECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN NOT (5) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POSTS STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING A RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- ALL TREE PRUNING AND REMOVAL WORK SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORIST WHERE REQUIRED BY CODE.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW.

TREE DIAMETER AT BREAST HEIGHT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (FEET)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
OVER 19	15

CALL UTILITY NOTIFICATION CENTER OF COLORADO

Know what's below.
 Call before you dig.
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date _____

CHECKED BY: _____ Water & Wastewater Utility _____ Date _____

CHECKED BY: _____ Stormwater Utility _____ Date _____

CHECKED BY: _____ Parks & Recreation _____ Date _____

CHECKED BY: _____ Traffic Engineer _____ Date _____

CHECKED BY: _____ Environmental Planner _____ Date _____

Revisions: [Table with 2 columns: No., Description]

These drawings are instruments of service provided by Northern Engineering, Inc. for any type of construction unless signed and sealed by the employee of Northern Engineering Services, Inc.

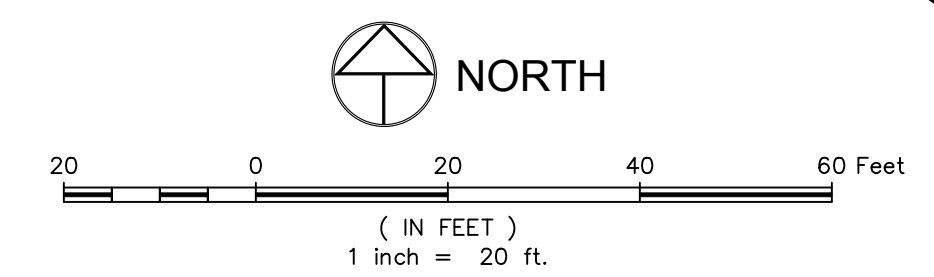
REVIEW SET
NOT FOR CONSTRUCTION
 09171264

NORTHERN ENGINEERING
 301 North Howard Street, Suite 1010
 Fort Collins, Colorado 80521
 PHONE: 970.221.4158
 www.northernengineering.com

HILL POND RESIDENCES
EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT: 620-004
 DATE: September 17, 2014
 DESIGNED BY: A. Reese
 DRAWN BY: E. Rich
 SCALE: 1" = 20'
 REVIEWED BY: N. Haws

SHEET
EX1
 Of 14 Sheets



LEGEND:

PROPOSED VERTICAL CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING RIGHT-OF-WAY	
EASEMENTS	
PERMEABLE PAVERS	
CONCRETE PAVING	
ASPHALT PATCH	

- NOTES:**
- SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION REGARDING CURBS AND PAVEMENT SECTIONS.
 - PAVEMENT MARKINGS SHALL BE PER CITY STANDARDS AND PROJECT SPECIFICATION MANUAL.
 - PERMEABLE PAVER AREAS SHALL HAVE EDGE RESTRAINTS ALONG ENTIRE PERIMETER IN ACCORDANCE WITH DETAILS AND MANUFACTURER RECOMMENDATIONS.
 - EXTRA CARE SHOULD BE TAKEN TO PREVENT THE STORAGE OF SOILS OR OTHER MATERIALS DIRECTLY ON THE PAVER SURFACE.
 - LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.

Revisions:
 NO. 1
 DATE: 08/17/2014
REVIEW SET
NOT FOR CONSTRUCTION
 081712614

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NORTHERN ENGINEERING

 301 North Howell Street, Suite 1010
 Fort Collins, Colorado 80521
 PHONE: 970.231.4158
 www.northernengineering.com

DATE: September 17, 2014	DESIGNED BY: A. Reese	SCALE: 1" = 20'	REVIEWED BY: N. Howe
PROJECT: 620-004	DRAWN BY: B. Ruch		

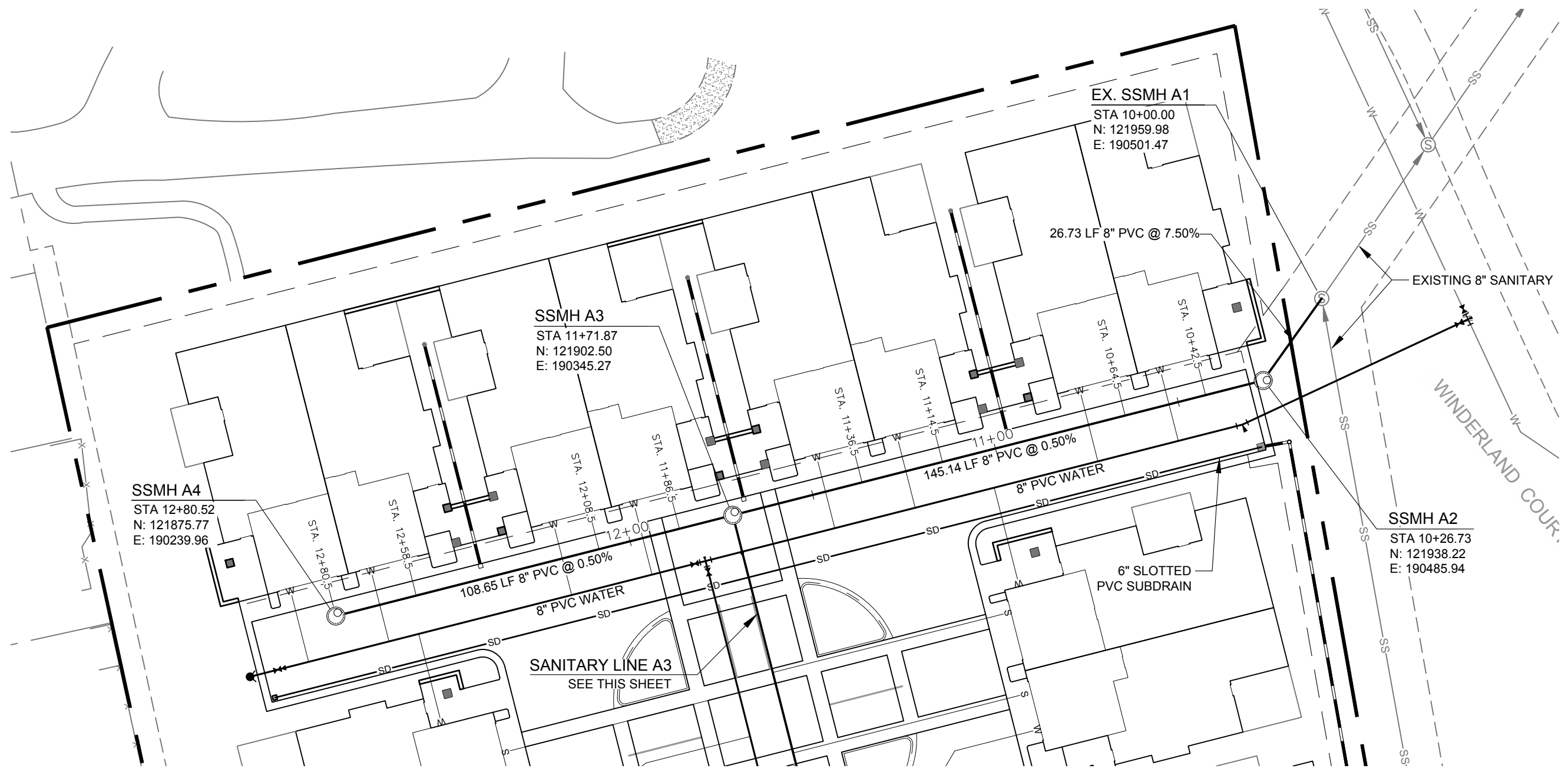
HILL POND RESIDENCES
PRIVATE STRIPING & PAVING PLAN



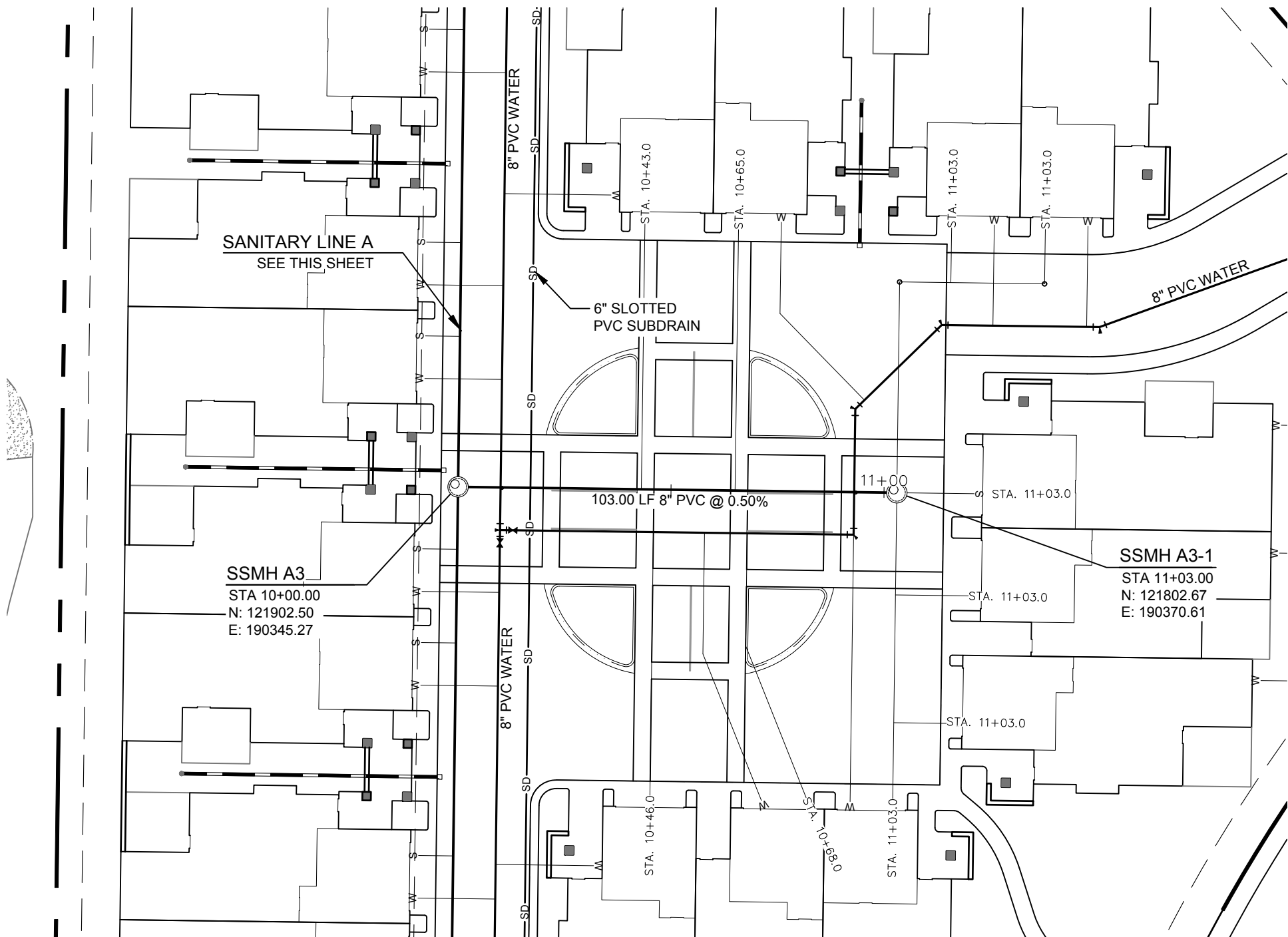
City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

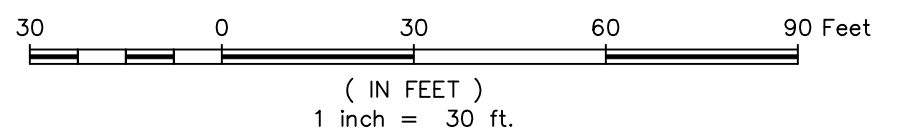
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SANITARY SEWER LINE A



SANITARY SEWER LINE A3

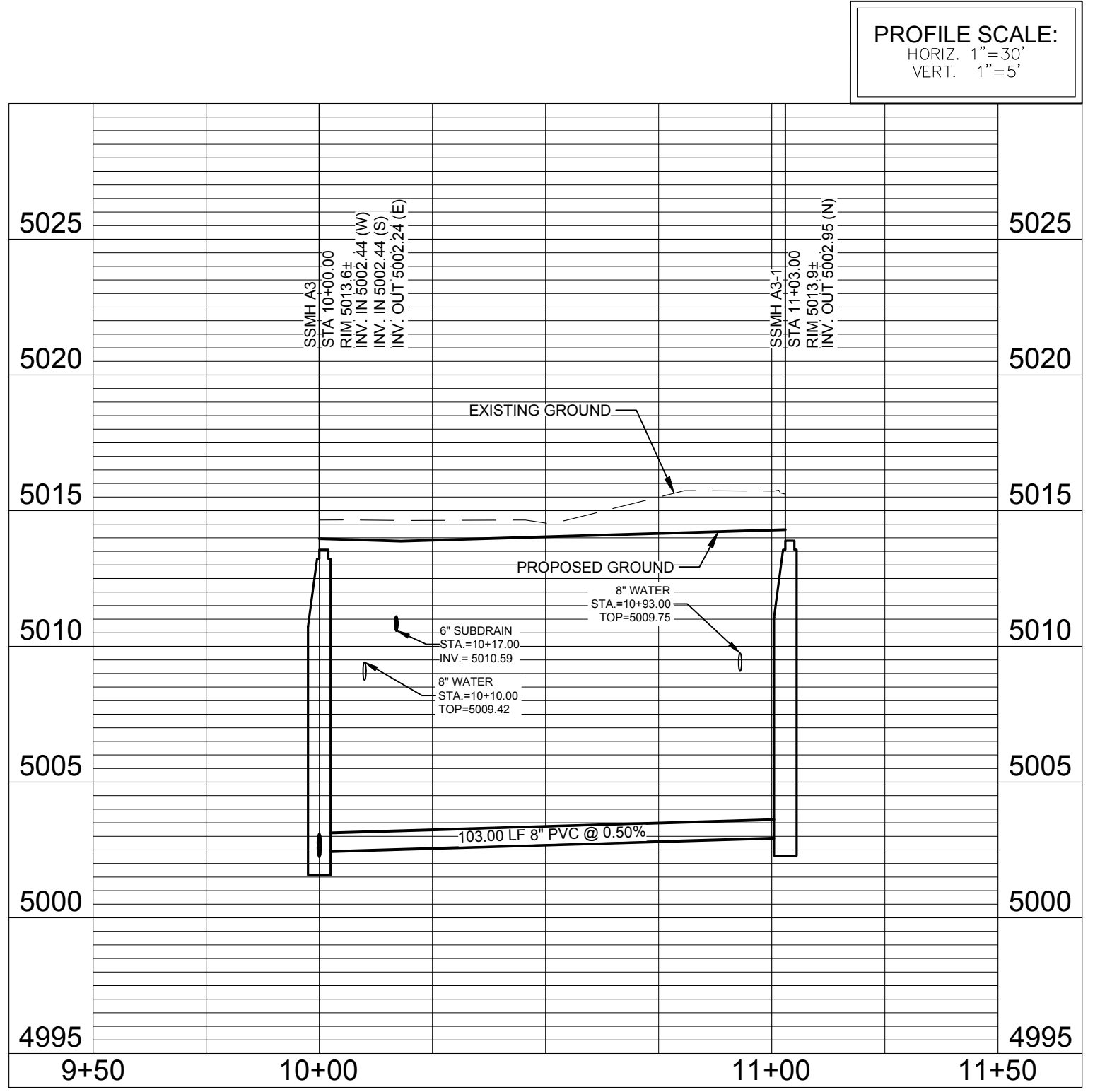
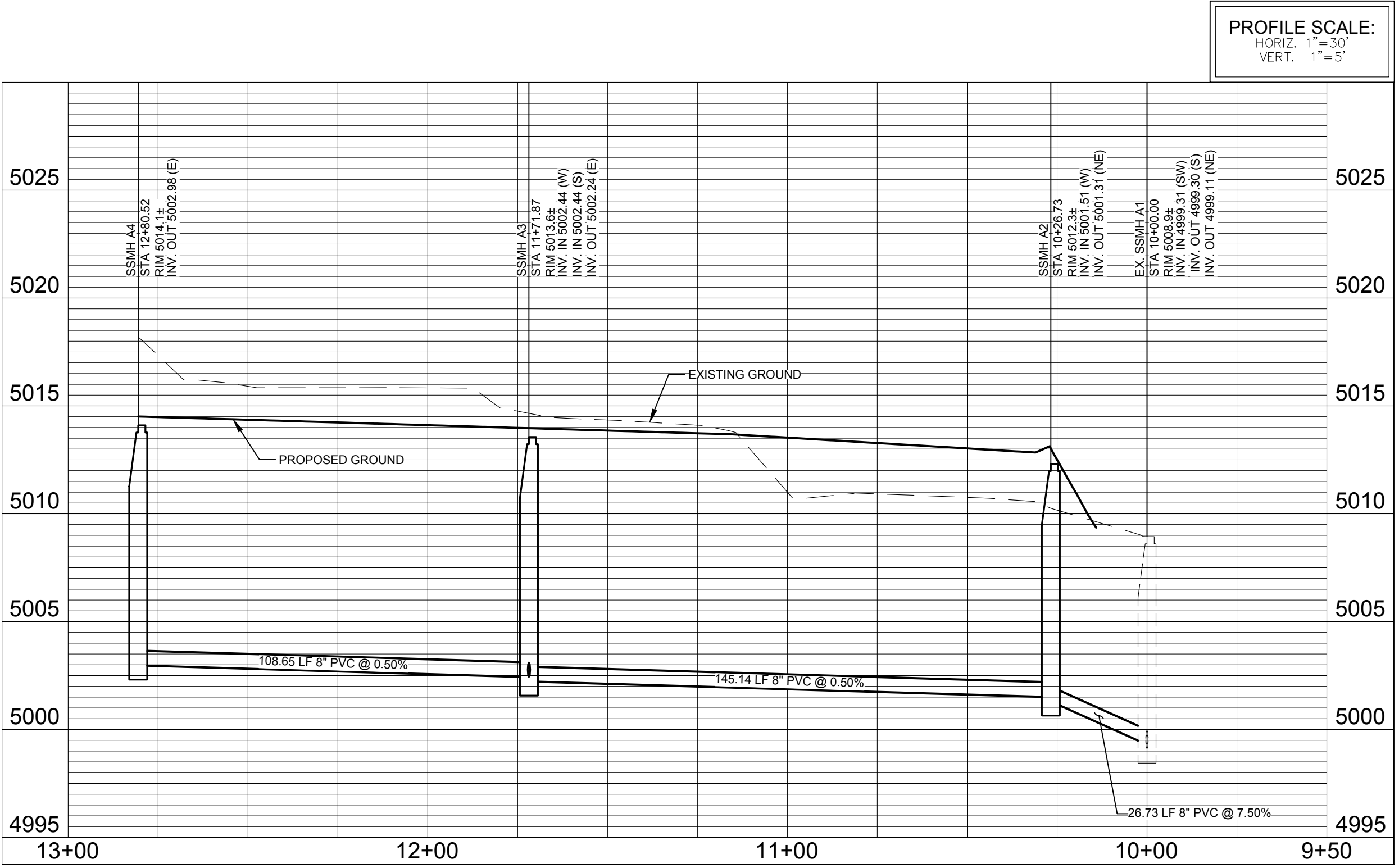


LEGEND:

EXISTING WATER MAIN	— W —
EXISTING SANITARY SEWER	— S —
PROPOSED SEWER SERVICE	— S —
PROPOSED WATER SERVICE & CURB STOP	— W —
PROPOSED FIRE HYDRANT	●
EXISTING FIRE HYDRANT	⊕
PROPOSED SUBDRAIN	— SD —
EXISTING STORM SEWER	— ST —
PROPOSED ELECTRIC/TELEPHONE/GAS	— E/T/G —
EXISTING TELEPHONE	— T —
EXISTING GAS	— G —
PROPOSED CURB & GUTTER	— C/G —
PROPERTY BOUNDARY	— P —
PROPOSED RIGHT OF WAY	— R/W —
PROPOSED LOTLINE	— L —
EASEMENT LINE	— E —
APPROXIMATE GAS METER LOCATION	□ G M

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER THE CITY OF FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS LATEST EDITION.
3. ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
4. UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
5. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
6. REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
7. ALL MULTI-FAMILY WATER SERVICES TO BE 1 1/2". ALL MULTI-FAMILY SEWER SERVICES TO BE 4". SEWER SIZE TO BE CONFIRMED WITH PLUMBING ENGINEER PRIOR TO CONSTRUCTION.
8. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

Revisions:
 No. _____
 Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
 081171264

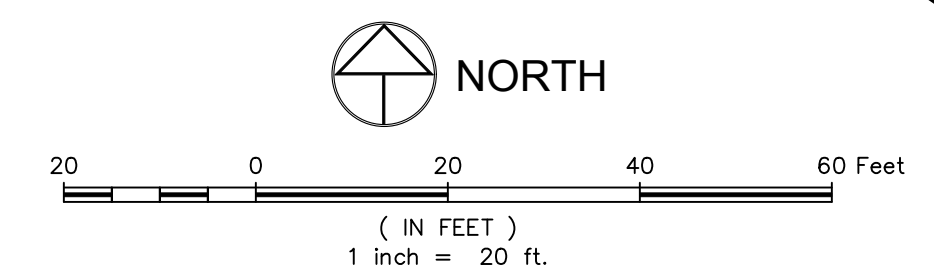
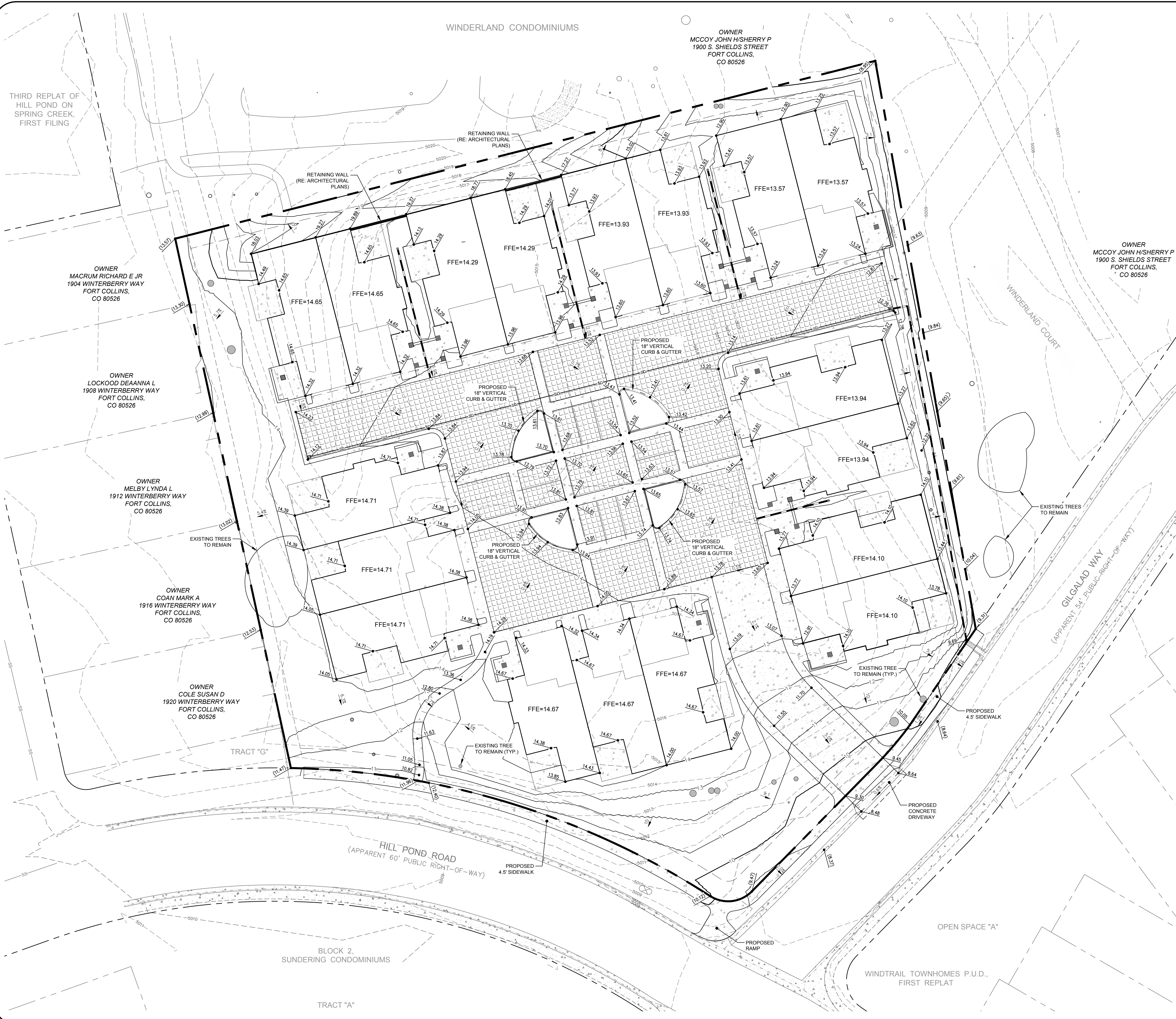
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NORTHERN ENGINEERING
 301 North Hovea Street, Suite 1010
 Fort Collins, Colorado 80521
 PHONE: 970.231.4158
 www.northernengineering.com

PROJECT:	620-004
DATE:	September 17, 2014
DESIGNED BY:	A. Reese
SCALE:	1" = 30'
DRAWN BY:	B. Ruch
REVIEWED BY:	N. Haws

HILL POND RESIDENCES
SANITARY SEWER PLAN AND PROFILE

DRAWING FILENAME: D:\projects\620004\620004.dwg DATE: Sep 17 2014 11:33am CAD OPERATOR: NAW
 LIST OF SHEETS: P:\Drawings\620004\620004.dwg



LEGEND:

PROPOSED CONTOUR	— 3 —
EXISTING CONTOUR	- 5013 -
PROPOSED UNDERDRAIN	— 80 —
PROPOSED SWALE	— 100 —
PROPOSED PVC STORM	— 120 —
PROPOSED OUTFALL VERTICAL CURB AND GUTTER	— 140 —
PROPERTY BOUNDARY	— 160 —
PROPOSED SPOT ELEVATION	13.43
EXISTING SPOT ELEVATION	13.69
PROPOSED SLOPES	2.0%
ELECTRIC TRANSFORMER	⊗

- NOTES:**
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 2. REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
 3. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
 4. THE TOP OF FOUNDATION ELEVATIONS SHOWN ARE THE MINIMUM ELEVATIONS REQUIRED FOR PROTECTION FROM THE 100-YEAR STORM.
 5. PROPOSED CURB LIP SHALL MATCH EXISTING ASPHALT ON SPRINGFIELD DRIVE TO ENSURE EXISTING STREET CROSS-SLOPES AND FLOWLINE GRADES MATCH EXISTING CONDITION.



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

Revisions:
 No. _____
 Description _____
 Date _____
REVIEW SET
NOT FOR CONSTRUCTION
 0811712614

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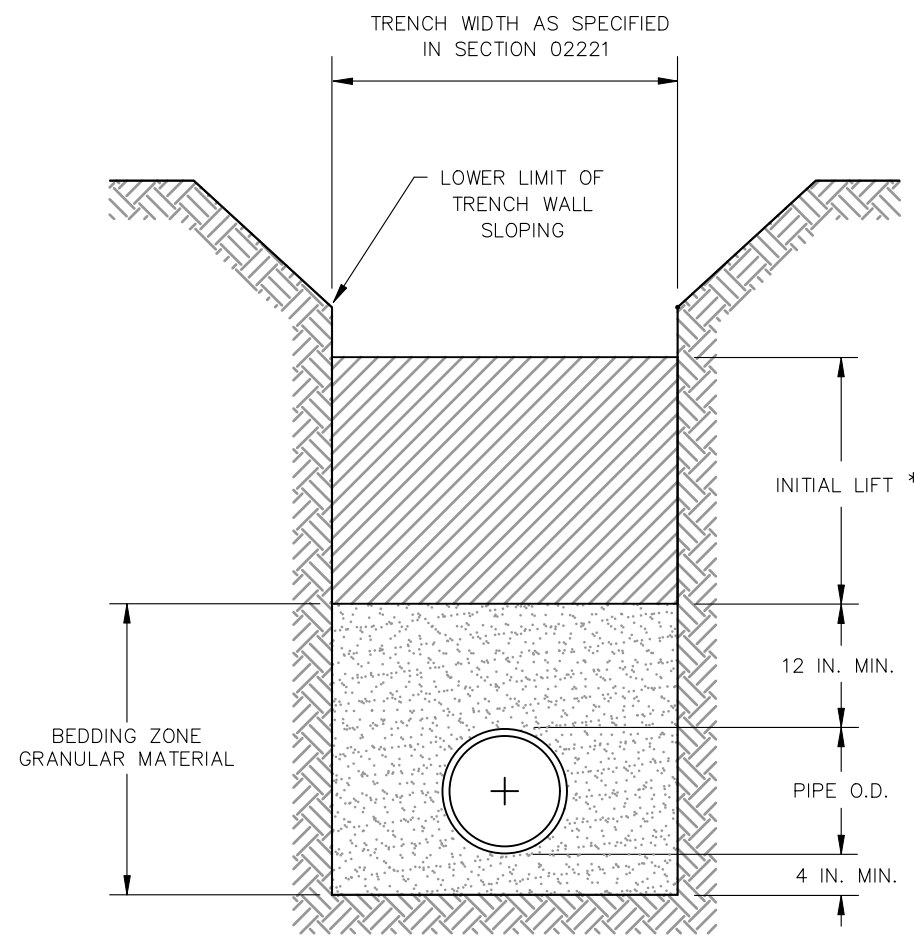
NORTHERN ENGINEERING
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 PHONE: 970.231.4158
 www.northernengineering.com

DATE:	September 17, 2014
DESIGNED BY:	A. Reese
SCALE:	1" = 20'
REVIEWED BY:	N. Hovea
PROJECT:	620-004
DRAWN BY:	B. Ruch

HILL POND RESIDENCES
 GRADING PLAN

Sheet
G1
 Of 14 Sheets

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* INITIAL LIFT SHALL NOT EXCEED 2 FEET IN DEPTH.

NOTE:
GRANULAR BEDDING MATERIAL SHALL BE A MINIMUM OF 4 INCHES BELOW BOTTOM OF PIPE AND A MINIMUM OF 12 INCHES ABOVE TOP OF PIPE.

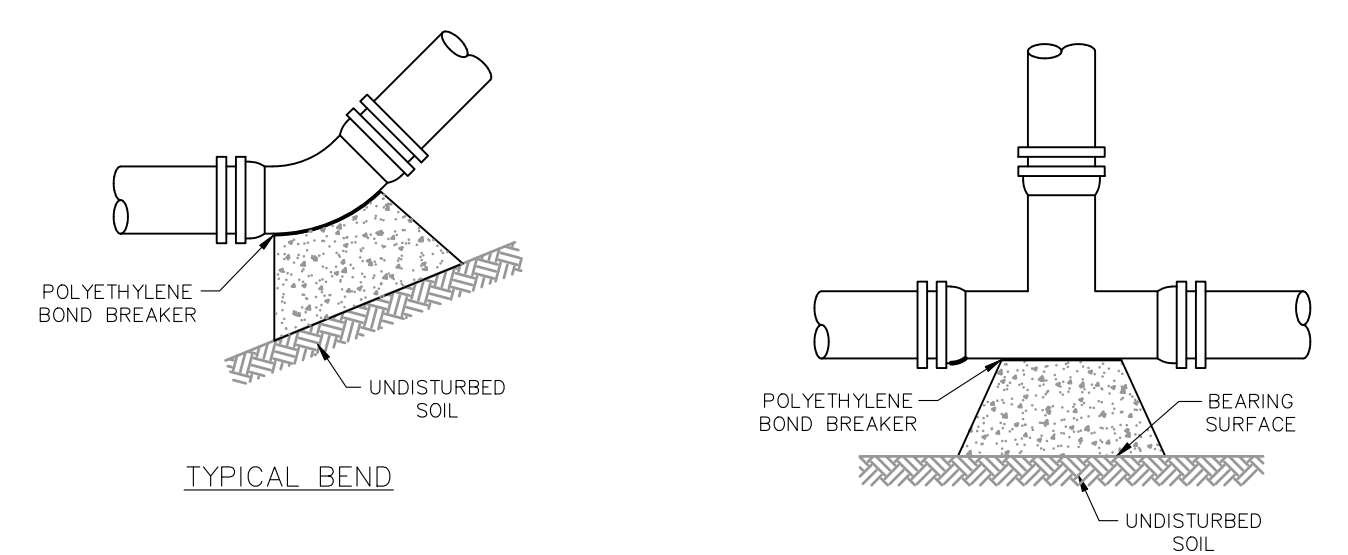
City of Fort Collins CITY OF FORT COLLINS UTILITIES - WATER FIELD OPERATIONS P.O. BOX 580 FORT COLLINS, CO. 80550 (970) 221-6700

TITLE OF DRAWING: WATER MAIN BEDDING REQUIREMENTS (DIP & PVC)

REVISED DATE: 4/8/11

DETAIL: 1

100 WATER MAIN BEDDING REQUIREMENTS NOT TO SCALE



TYPICAL CROSS-SECTION

PIPE SIZE	MINIMUM BEARING SURFACE AREA (SQ. FT.)				TEE OR DEAD END
	11	1/4"	22	1/2"	
6"	1.0	1.5	2.5	4.5	3.5
8"	1.5	2.5	4.5	8.0	5.5
12"	3.0	4.5	9.0	16.5	12.0
16"	4.8	9.6	18.9	34.7	24.5

BEARING SURFACES ARE A MINIMUM REQUIREMENT AND DO NOT RELIEVE DESIGN ENGINEER OF RESPONSIBILITY TO DESIGN EACH THRUST BLOCK.

GENERAL NOTES:

- Bearing surface areas shown in chart are minimum.
- All fittings to be wrapped with polyethylene.
- Pipe installed under conditions different from those normally encountered shall require thrust blocks designed for those particular conditions.
- Thrust blocks on pipe larger than 16 inches diameter shall be designed for conditions existing at the installation site.
- Refer to Section 03300 for concrete requirements.

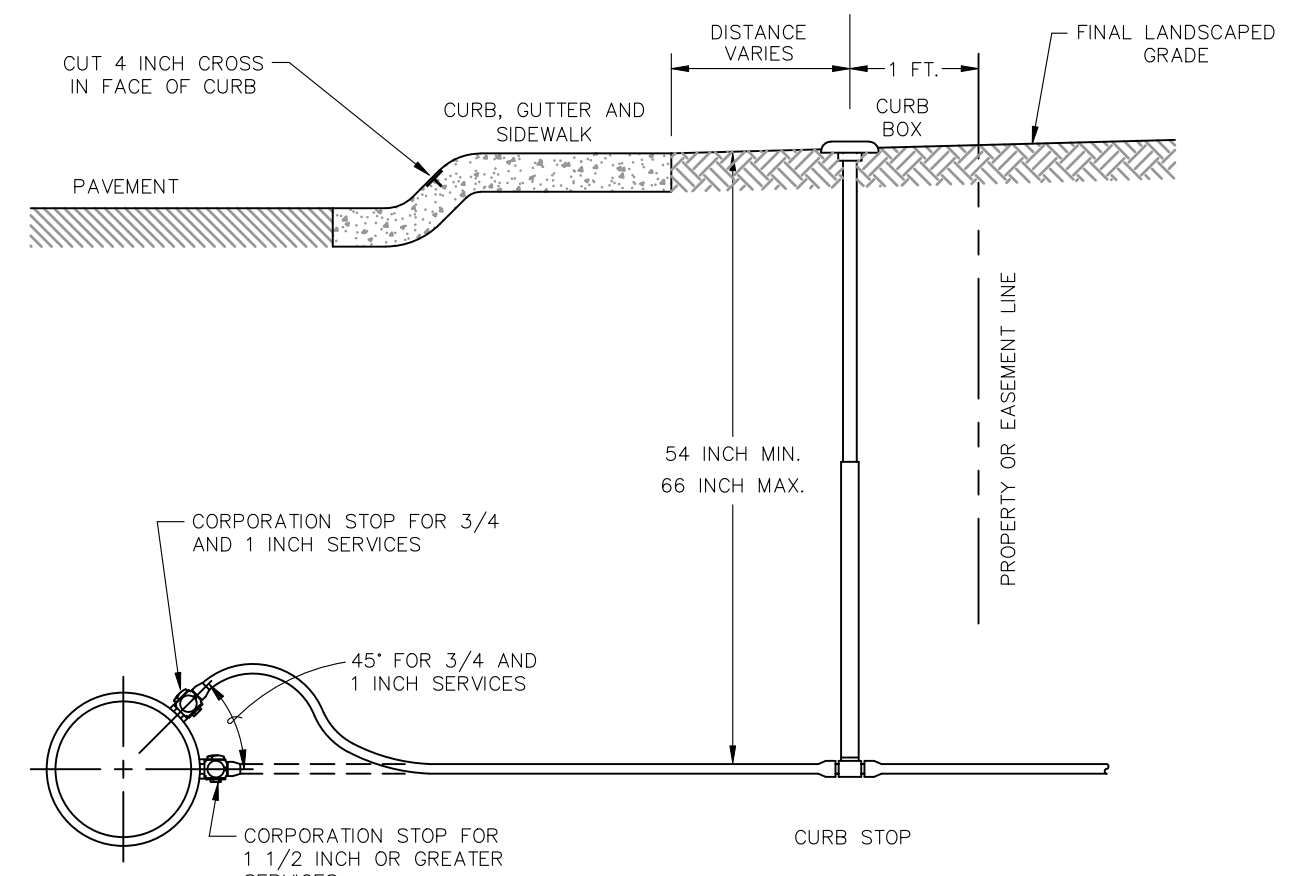
City of Fort Collins CITY OF FORT COLLINS UTILITIES - WATER FIELD OPERATIONS P.O. BOX 580 FORT COLLINS, CO. 80550 (970) 221-6700

TITLE OF DRAWING: STANDARD CONCRETE THRUST BLOCKS

REVISED DATE: 4/8/11

DETAIL: 2

101 STANDARD THRUST BLOCK NOT TO SCALE



GENERAL NOTES

- Use direct tap (as shown) for 3/4 inch and 1 inch services unless water main is PVC, in which case, use a tapping saddle.
- Install 1 1/2 inch and 2 inch services with tapped tee and corporation stop at time of construction or use a tapping saddle.
- Locate curb box and meter pit according to the approved utility drawings.
- The City is responsible for maintaining the water main, corporation stop, and service piping up to and including the curb stop. The owner is responsible for service from the curb stop, including the outlet coupling to the building.
- No couplings allowed between curb stop and meter setting.
- Use type K copper for the service from the corporation stop to a minimum of 5 feet past the meter pit.
- No landscaping (shrubs, boulders, etc.), retaining walls or fences allowed within 4 feet of the curb stop and meter pit, and no trees within 10 feet of curb and meter pit.
- All residential water service shall be installed in the center of the lot unless otherwise approved by the Utility.
- All water and sanitary sewer service shall have a minimum horizontal separation of ten feet.

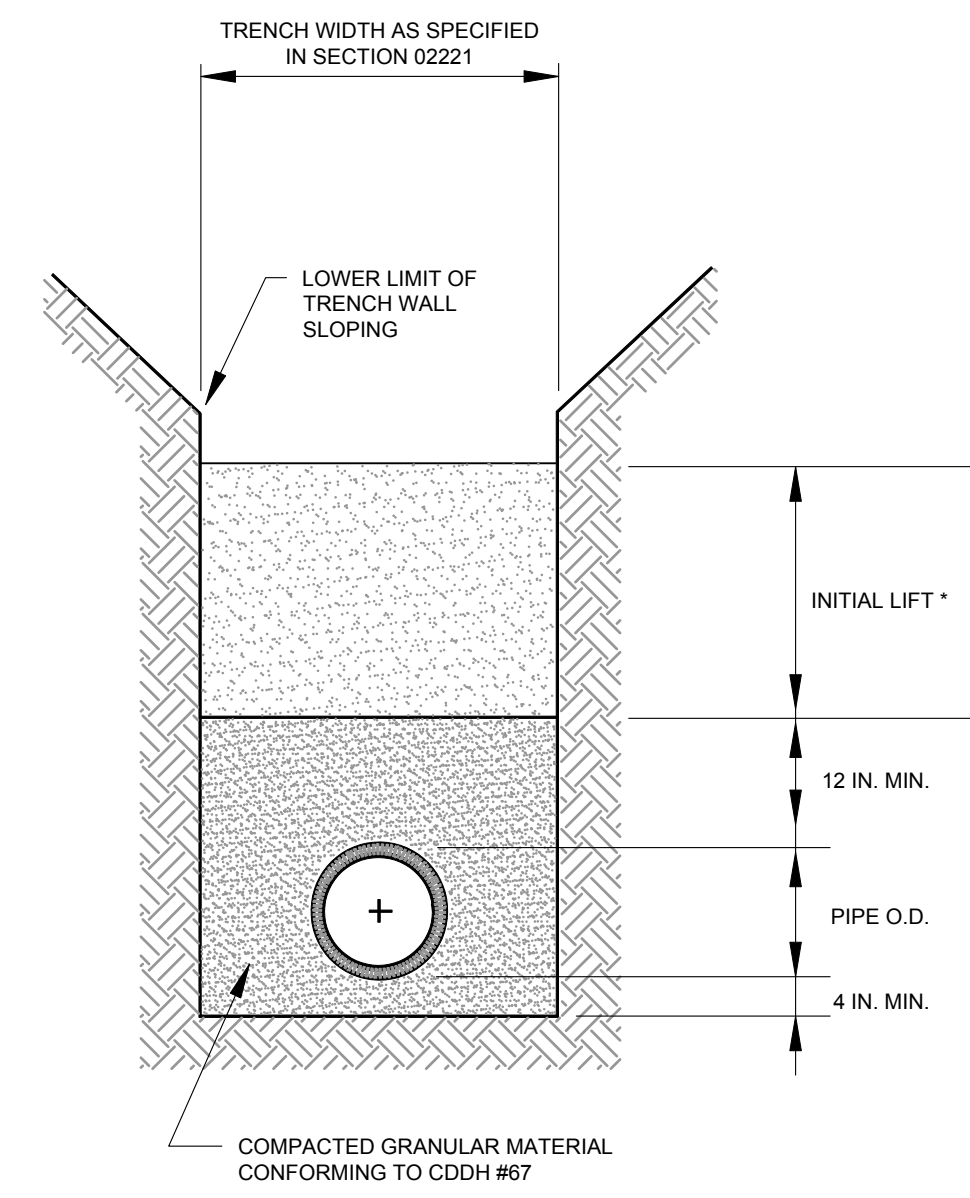
City of Fort Collins CITY OF FORT COLLINS UTILITIES - WATER FIELD OPERATIONS P.O. BOX 580 FORT COLLINS, CO. 80550 (970) 221-6700

TITLE OF DRAWING: TYPICAL WATER SERVICE

REVISED DATE: 4/12/11

DETAIL: 1

102 TYPICAL WATER SERVICE NOT TO SCALE



* COMPACTED GRANULAR MATERIAL CONFORMING TO CDDH #67

City of Fort Collins CITY OF FORT COLLINS UTILITIES - WATER FIELD OPERATIONS P.O. BOX 580 FORT COLLINS, CO. 80550 (970) 221-6700

TITLE OF DRAWING: SEWER CONSTRUCTION DETAILS

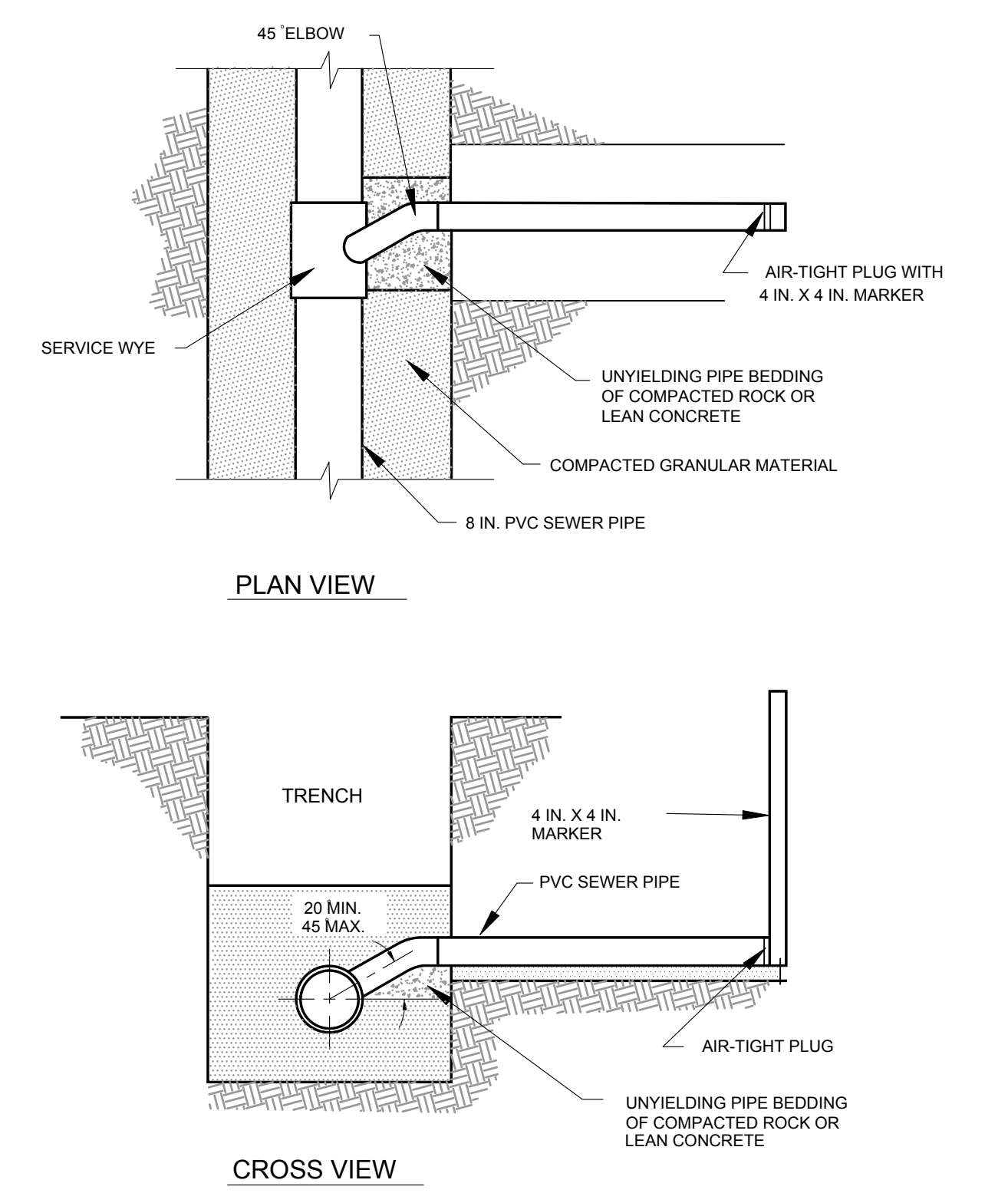
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DATE REVISED: 4/11/11

DRAWN BY: NEJ

DETAIL: WW-1

103 BEDDING REQUIREMENTS NOT TO SCALE



NOTE: WYE CONNECTION NOT ALLOWED ON VCP

City of Fort Collins CITY OF FORT COLLINS UTILITIES - WATER FIELD OPERATIONS P.O. BOX 580 FORT COLLINS, CO. 80550 (970) 221-6700

TITLE OF DRAWING: SEWER CONSTRUCTION DETAILS

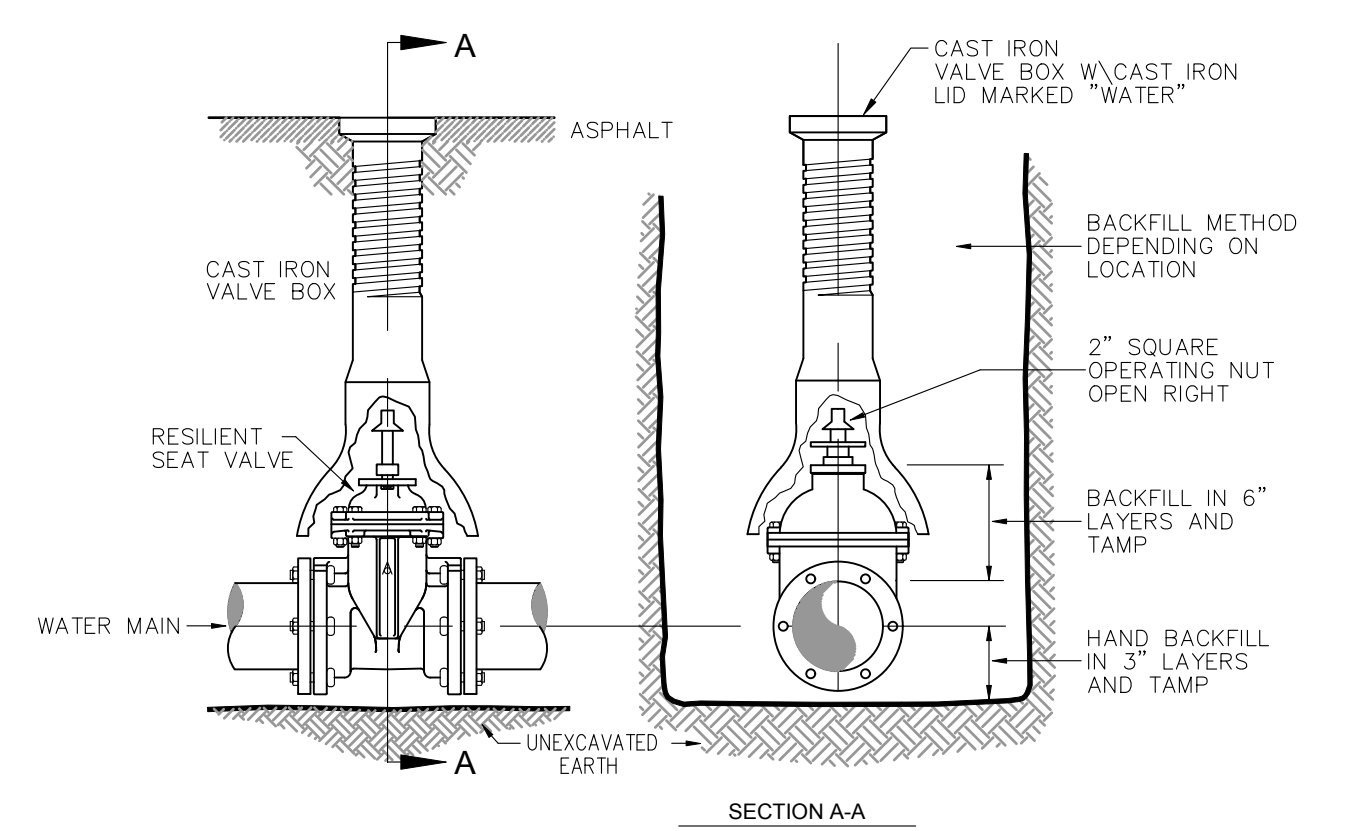
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DATE REVISED: 4/11/11

DRAWN BY: NEJ

DETAIL: WW-9

104 SERVICE WYE DETAIL NOT TO SCALE



ALL VALVES TO BE RESILIENT SEAT, EPOXY COATED INSIDE AND OUT PER CITY OF FORT COLLINS AND AWWA SPECS.

ALL VALVE BOXES TO BE OF CAST IRON CONSTRUCTION, TWO PIECE THREADED ADJUSTABLE DESIGN PER CITY OF FORT COLLINS SPECS.

ALL VALVES TO BE 8 MIL POLY WRAPPED, T-BOLTS, NUTS AND RODS TO BE TAR COATED BEFORE WRAPPED.

City of Fort Collins CITY OF FORT COLLINS UTILITIES - WATER FIELD OPERATIONS P.O. BOX 580 FORT COLLINS, CO. 80550 (970) 221-6700

TITLE OF DRAWING: SEWER CONSTRUCTION DETAILS

APPROVED: [Signature]

DATE REVISED: 4/11/11

DRAWN BY: NEJ

DETAIL: WW-9

105 VALVE ASSEMBLY BOX NOT TO SCALE

CALL UTILITY NOTIFICATION CENTER OF COLORADO

811

Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date _____

CHECKED BY: _____ Water & Wastewater Utility _____ Date _____

CHECKED BY: _____ Stormwater Utility _____ Date _____

CHECKED BY: _____ Parks & Recreation _____ Date _____

CHECKED BY: _____ Traffic Engineer _____ Date _____

CHECKED BY: _____ Environmental Planner _____ Date _____

Revisions: _____

NO. _____

DATE: September 17, 2014

PROJECT: 620-004

DESIGNED BY: A. Reese

DRAWN BY: B. Ruch

SCALE: N/A

REVIEWED BY: N. Howe

HILL POND RESIDENCES

UTILITY DETAILS

Sheet D1

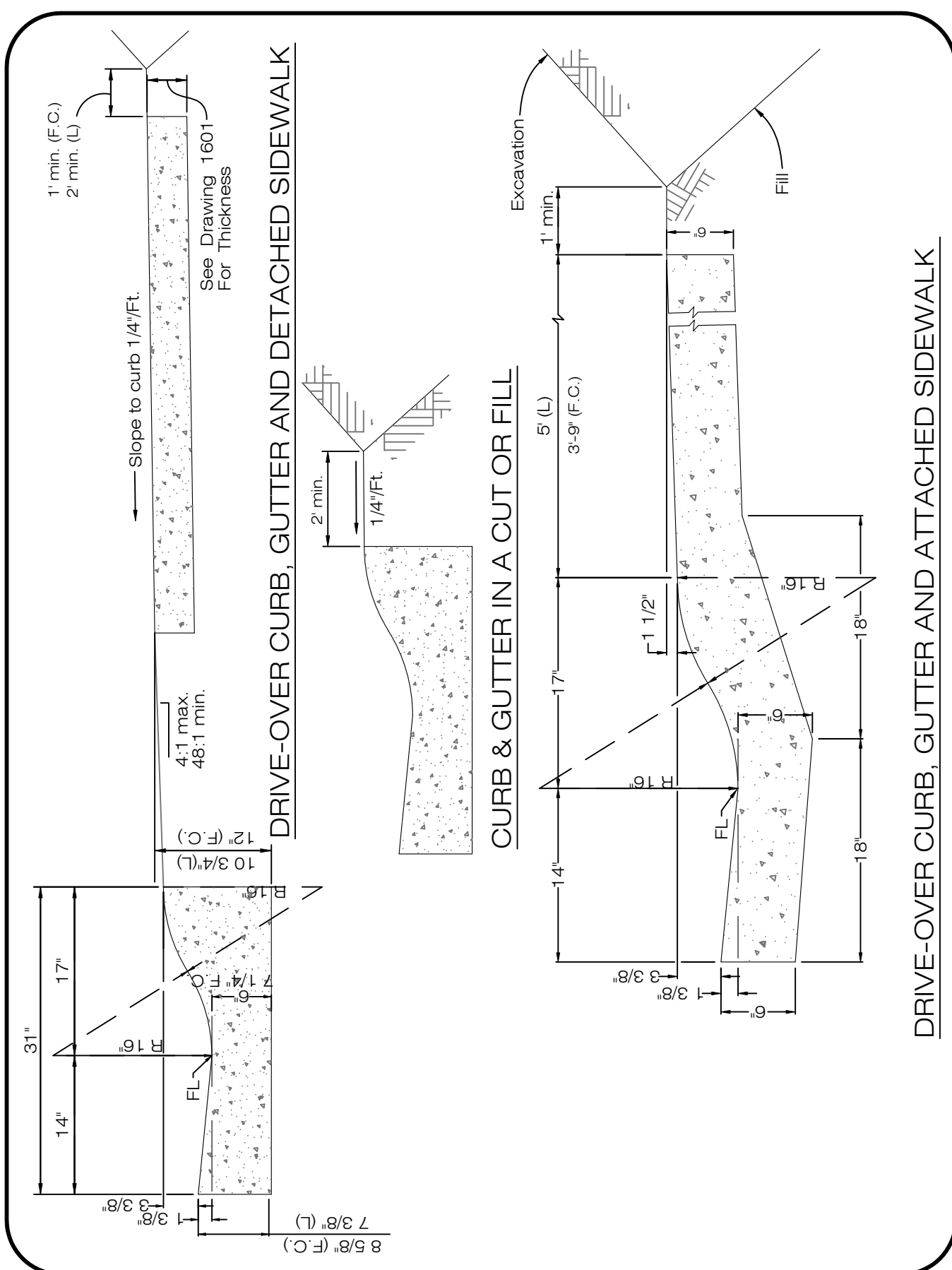
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NORTHERN ENGINEERING

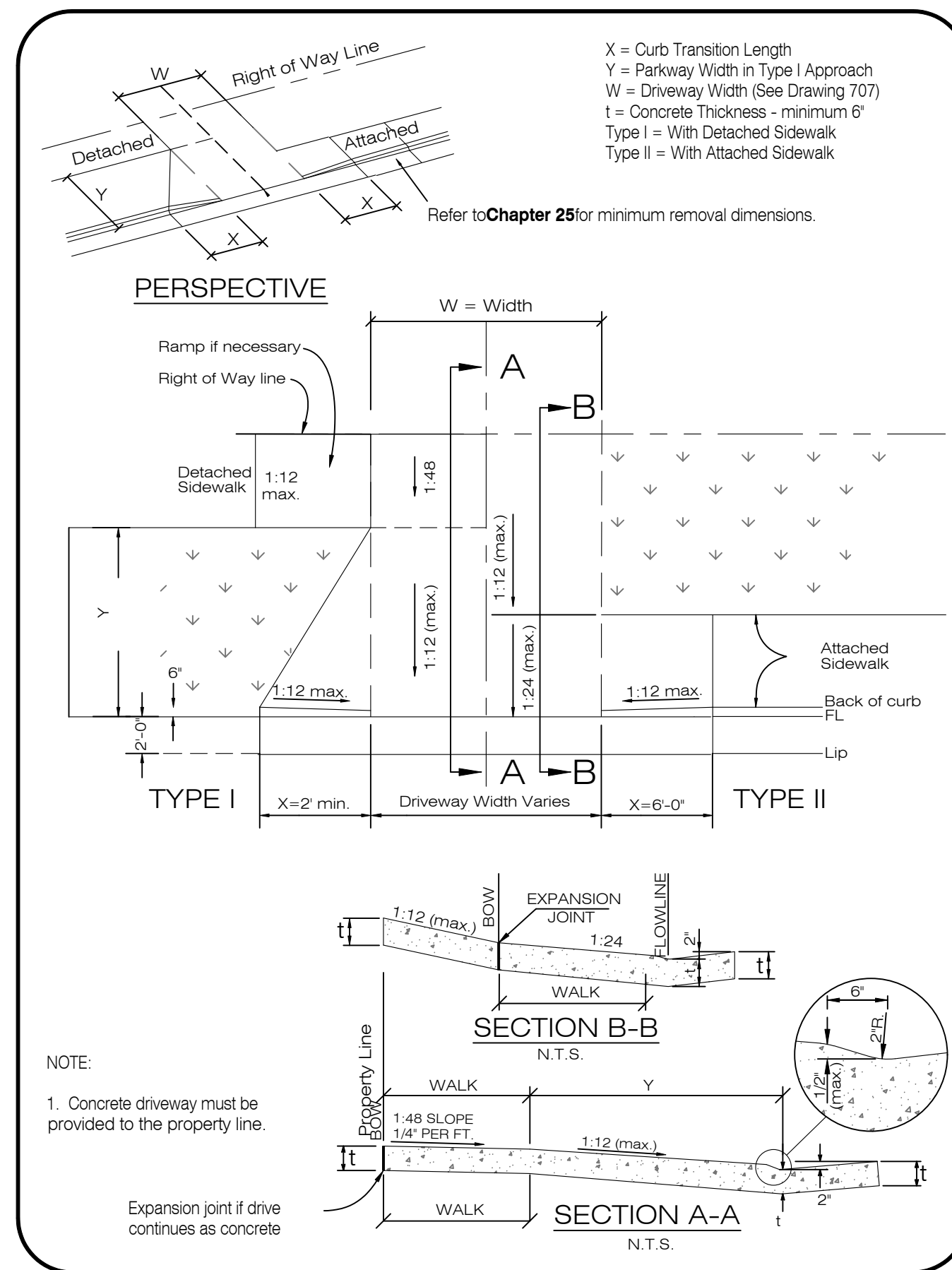
PHONE: 970.231.4158
www.northernengineering.com

301 North Howe Street, Suite 1010
Fort Collins, Colorado 80521



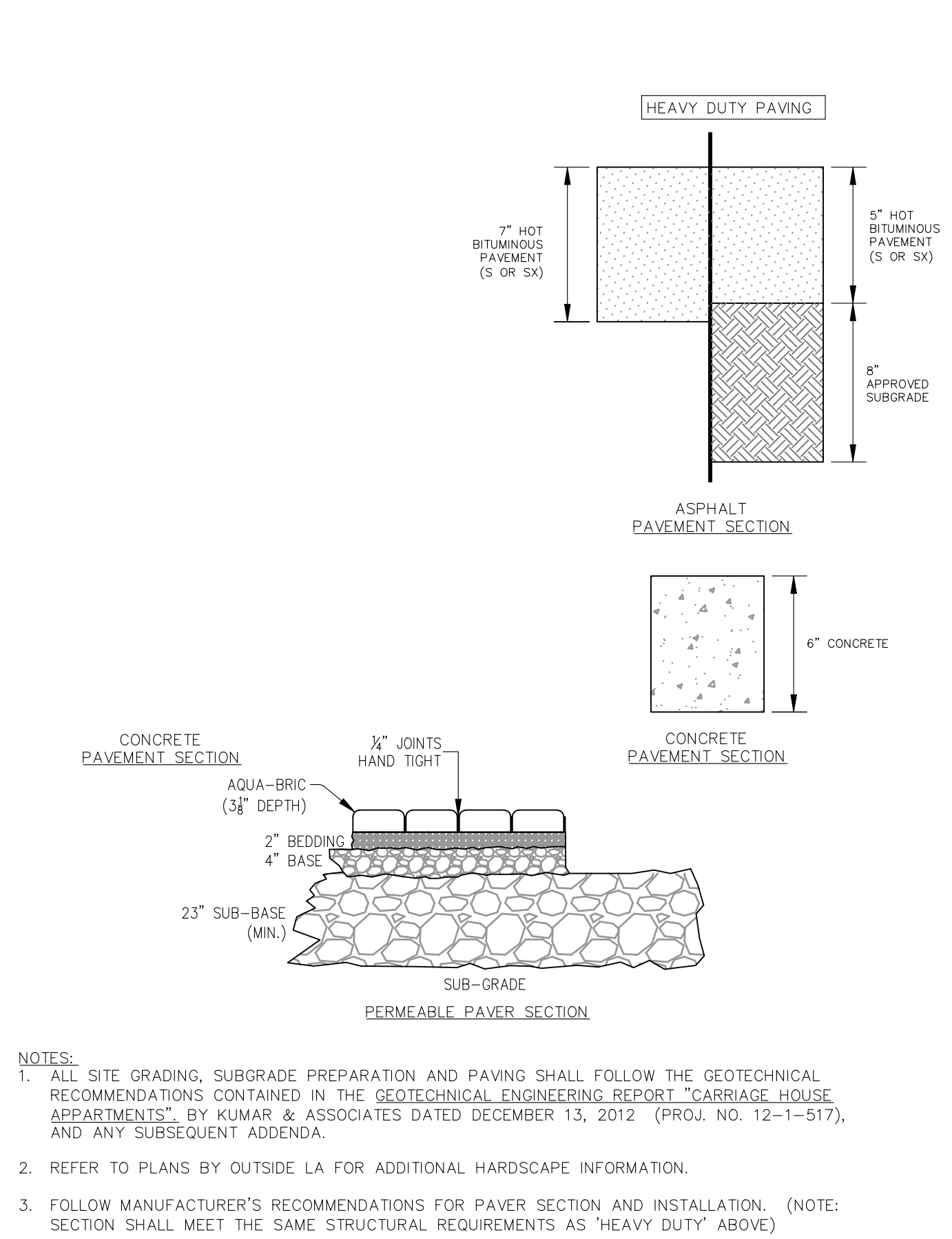
CURB AND GUTTER/SIDEWALK			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/01/02	DRAWING 702

200 CURB AND GUTTER / SIDEWALK NOT TO SCALE



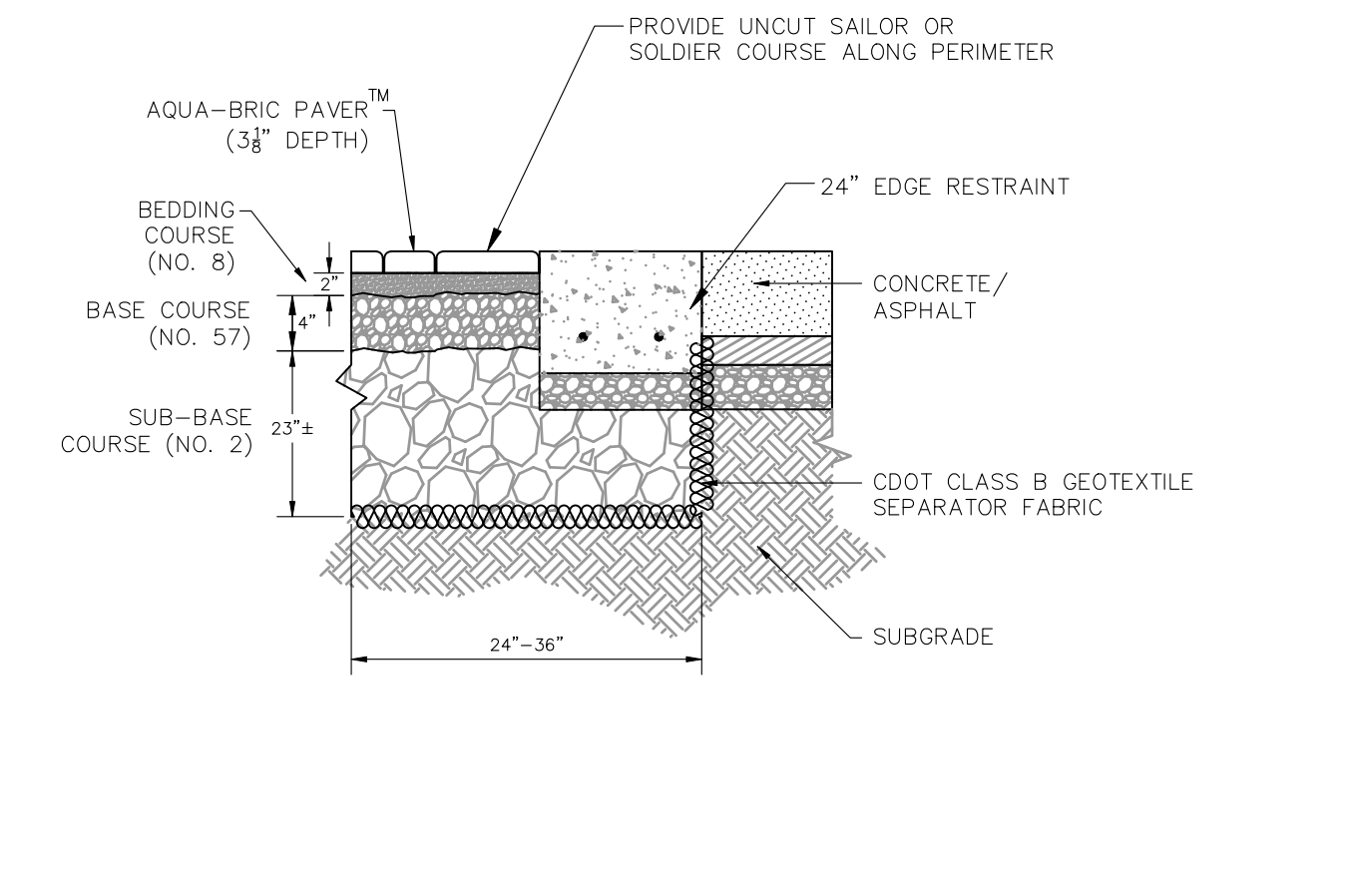
STANDARD DRIVEWAY APPROACH (TYPES I & II)			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 04/01/07	DRAWING 706

201 STANDARD DRIVEWAY APPROACH (TYPES I & II) NOT TO SCALE

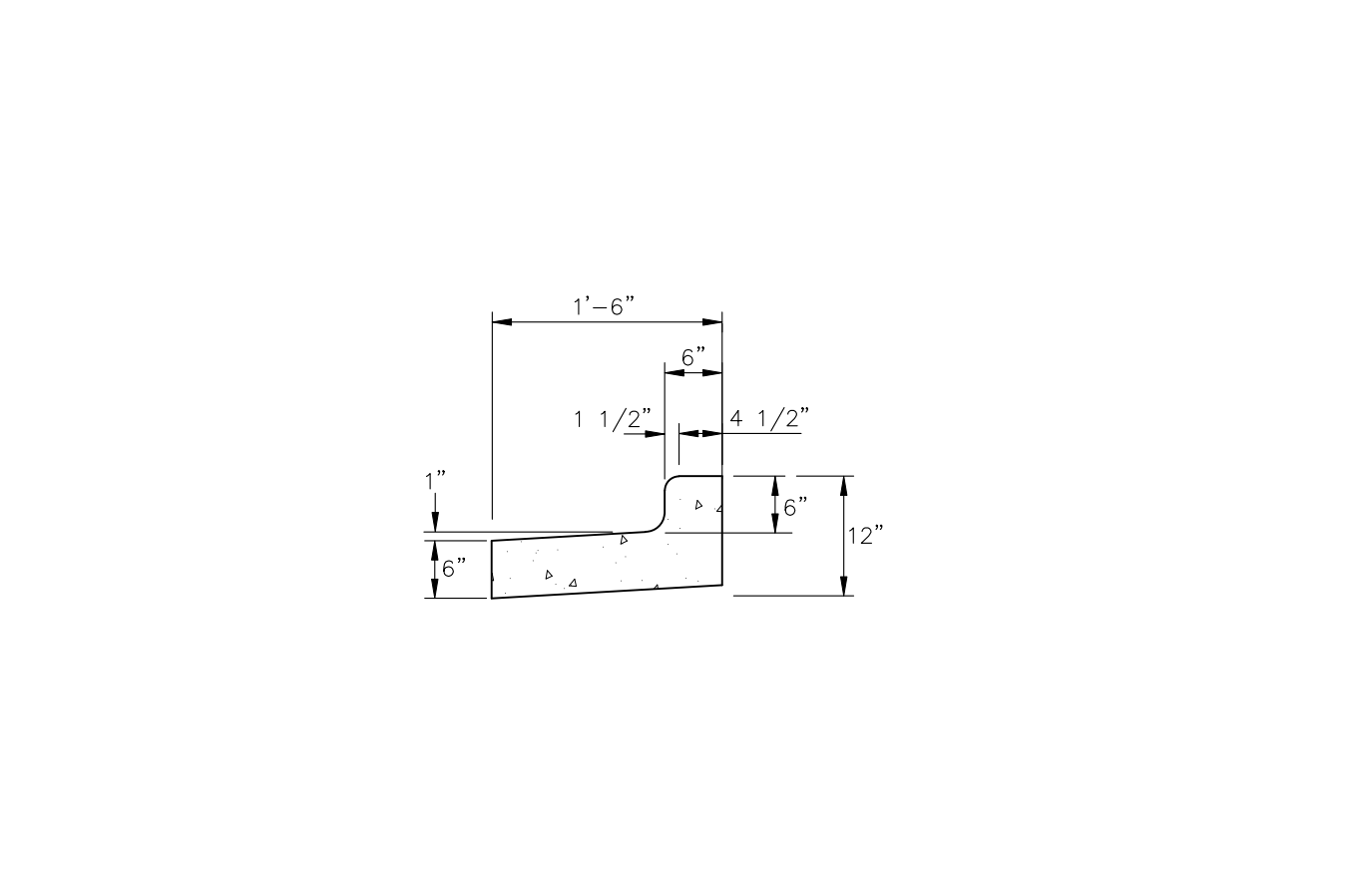


PAVING SECTIONS (PRIVATE AREAS OUTSIDE ROW)			
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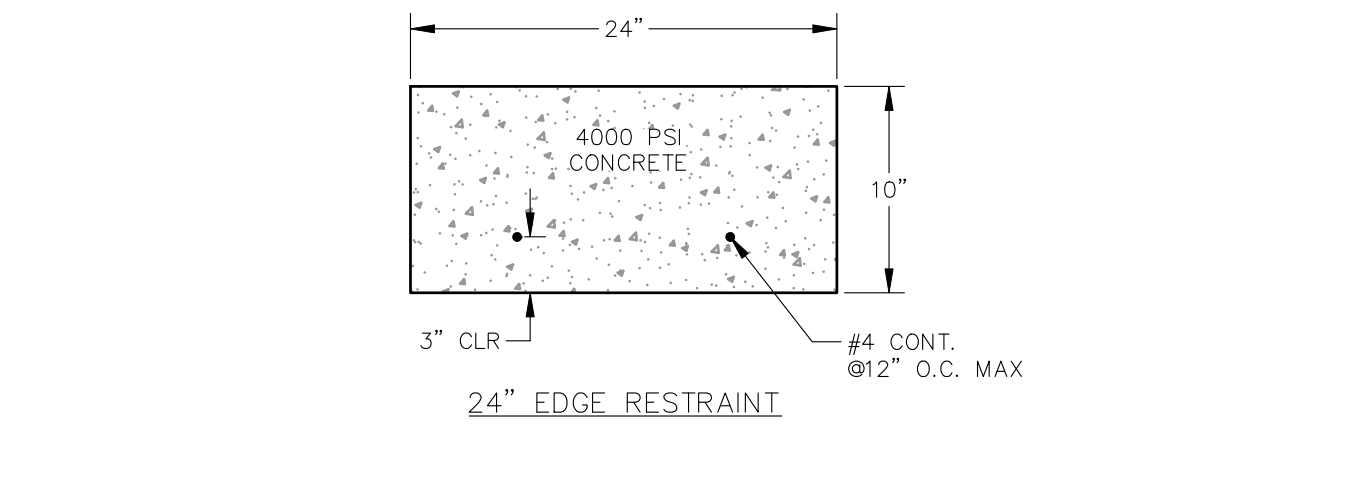
203 PAVING SECTIONS (PRIVATE AREAS OUTSIDE ROW) NOT TO SCALE



204 PERMEABLE PAVER SECTION (ABUTTING PAVEMENT) NOT TO SCALE



206 PRIVATE OUTFALL VERTICAL CURB & GUTTER NOT TO SCALE



205 PERMEABLE PAVER EDGE RESTRAINT NOT TO SCALE



City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED BY: _____	City Engineer	_____ Date
CHECKED BY: _____	Water & Wastewater Utility	_____ Date
CHECKED BY: _____	Stormwater Utility	_____ Date
CHECKED BY: _____	Parks & Recreation	_____ Date
CHECKED BY: _____	Traffic Engineer	_____ Date
CHECKED BY: _____	Environmental Planner	_____ Date

Revisions: _____
Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
081171604

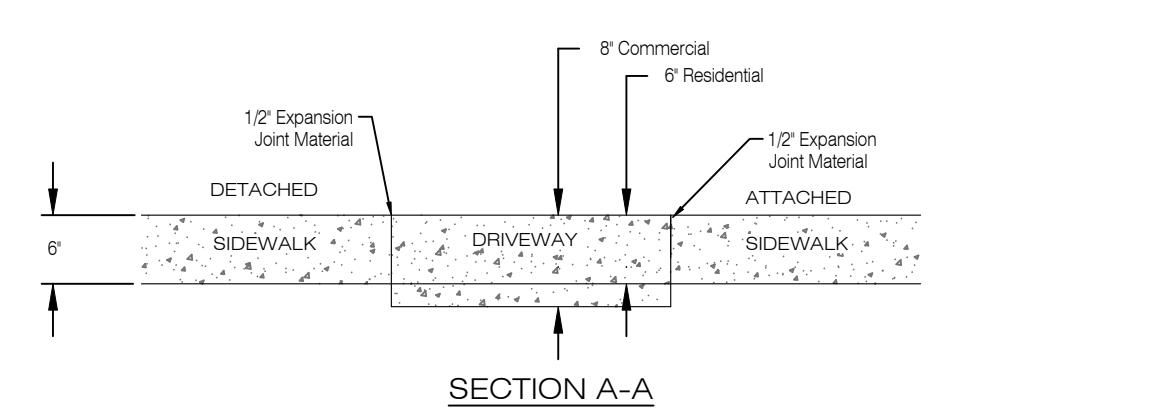
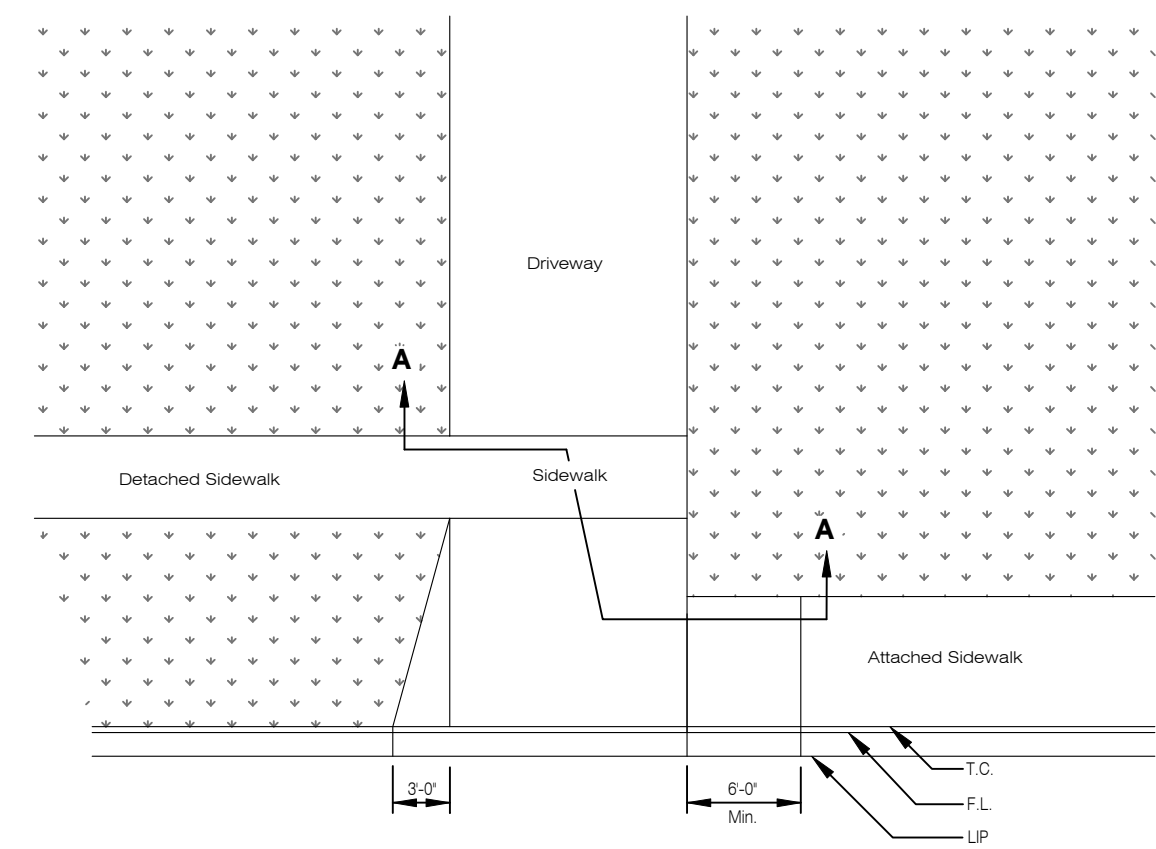
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NORTHERN ENGINEERING
301 North Hovea Street, Suite 1010
Fort Collins, Colorado 80521
PHONE: 970.221.4158
www.northernengineering.com

PROJECT: 620-004	DATE: September 17, 2014	SCALE: N/A	REVIEWED BY: N. Haws
DESIGNED BY: A. Reese			DRAWN BY: B. Ruch

HILL POND RESIDENCES
SITE DETAILS

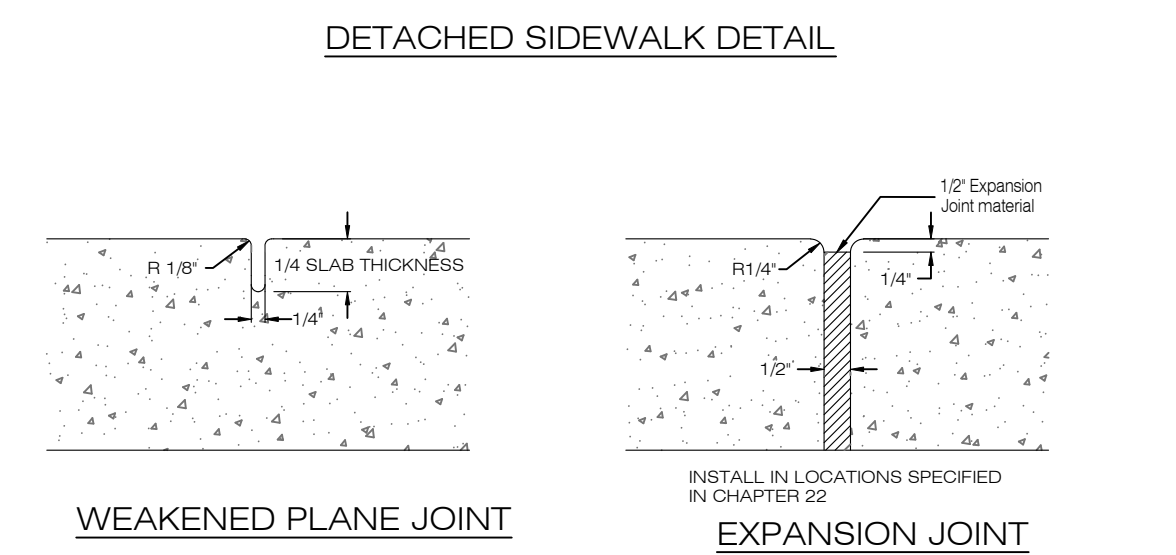
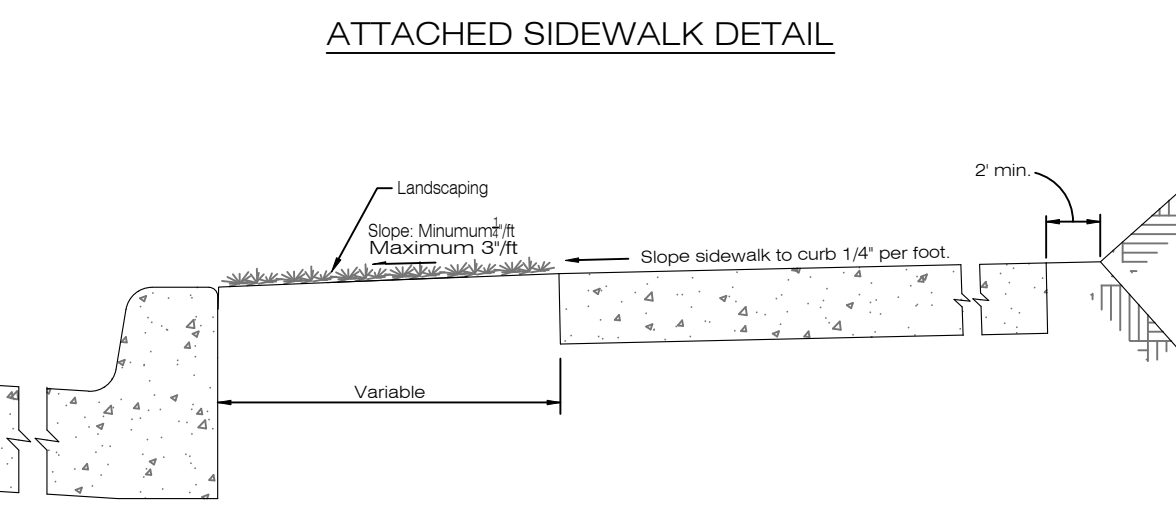
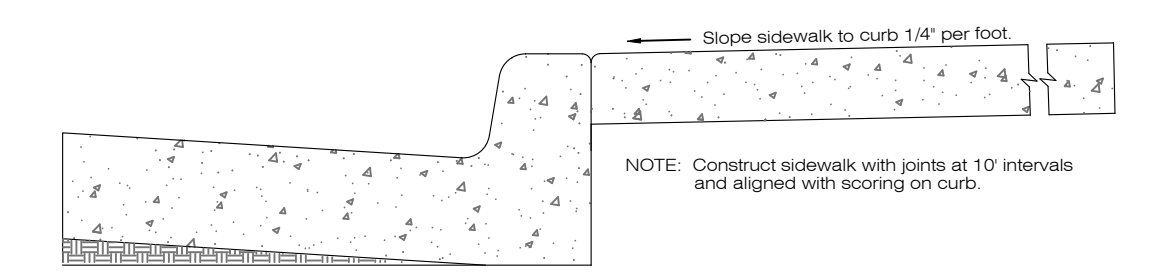
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D2
Of 14 Sheets



NOTE:
 1. Sidewalk grade shall remain consistent across driveway.
 2. For driveway design requirements, see **CONST. DWG. 706 & 707**.
 3. This detail applies to Residential & Commercial driveways.

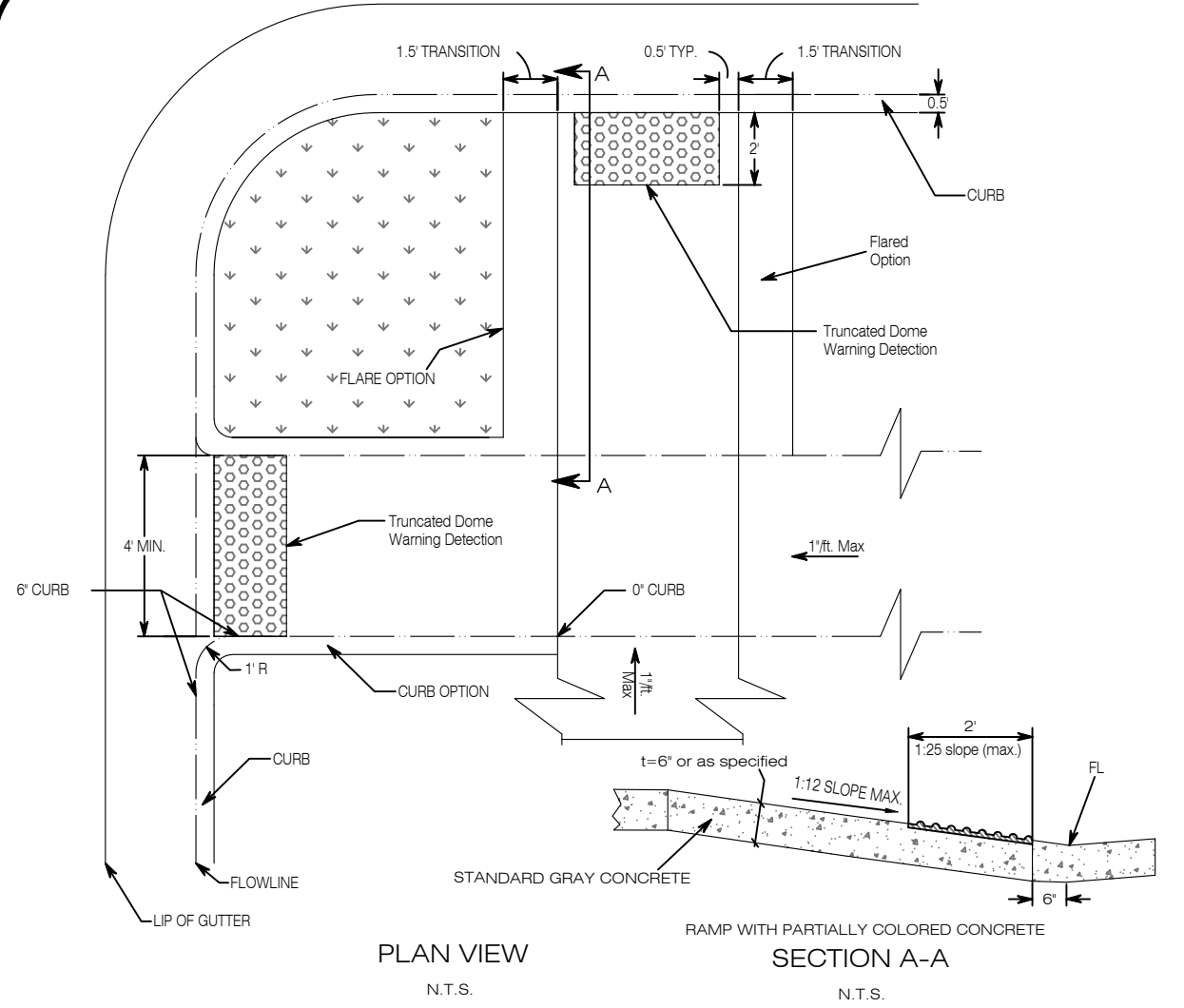
STANDARD SIDEWALK			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 04/01/07	DRAWING 1601

300 STANDARD SIDEWALK NOT TO SCALE



SIDEWALK DETAIL			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 04/01/07	DRAWING 1602

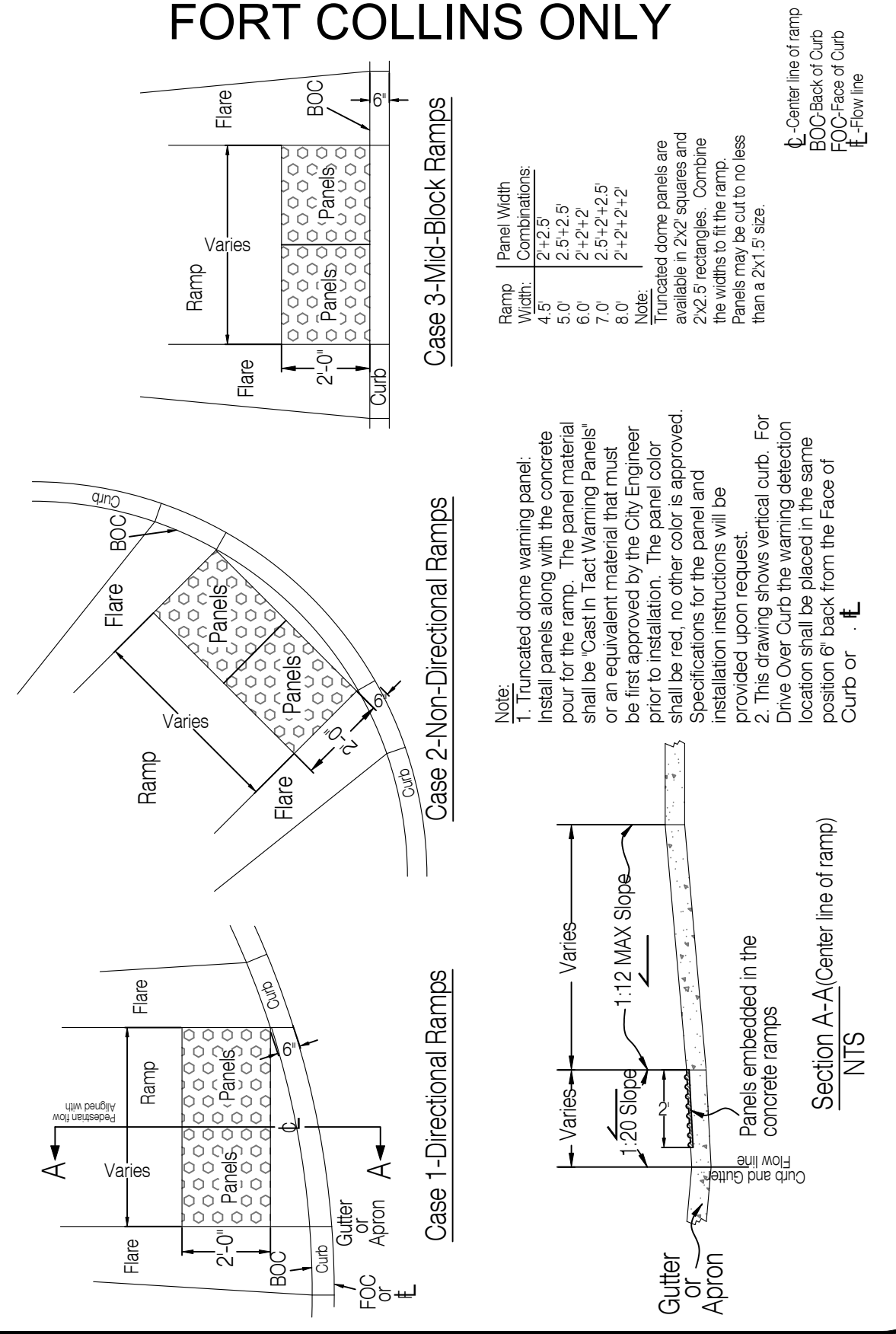
301 SIDEWALK DETAIL NOT TO SCALE



NOTES:
 1. NO JOINTS ARE ALLOWED IN THE FLOWLINE. SIX INCH WIDE CURB OR 'DUMMY JOINT' MAY BE TOOLED NO CLOSER THAN 6 INCHES FROM FLOWLINE AS SHOWN.
 2. MINIMUM CONCRETE THICKNESS IS 6 INCHES.
 3. JOINT PATTERN TO BE ACCORDING TO INTERSECTION GUTTER DETAIL OR AS DETERMINED BY THE LOCAL ENTITY.
 4. WOOD FLOAT FINISH IS REQUIRED OVER THE SLOPED SURFACE OF RAMP AND FLARES.
 5. A 6 INCH WIDE CURB MAY BE POURED AT THE BACK OF THE RAMP AS SHOWN IF REQUIRED. IF CURB IS USED IT SHALL MATCH THE CURB AND GUTTER STYLE OF ADJACENT CURB AND GUTTER.
 6. MINIMUM RAMP WIDTH SHALL BE FOUR FEET, OR THE SAME AS THE WIDEST ADJACENT SIDEWALK, WHICHEVER IS GREATER, UP TO A MAXIMUM WIDTH OF 8 FEET.
 7. THE RAMP LANDING MAY BE POURED MONOLITHIC WITH THE ADJACENT TRANSITIONS PROVIDED THAT AN APPROVED 'SHAKE-ON' PIGMENT BE USED TO COLOR THE LANDING AREA.
 8. T = THICKNESS (AS SPECIFIED ON PLANS OR LOCAL ENTITY ENGINEER).

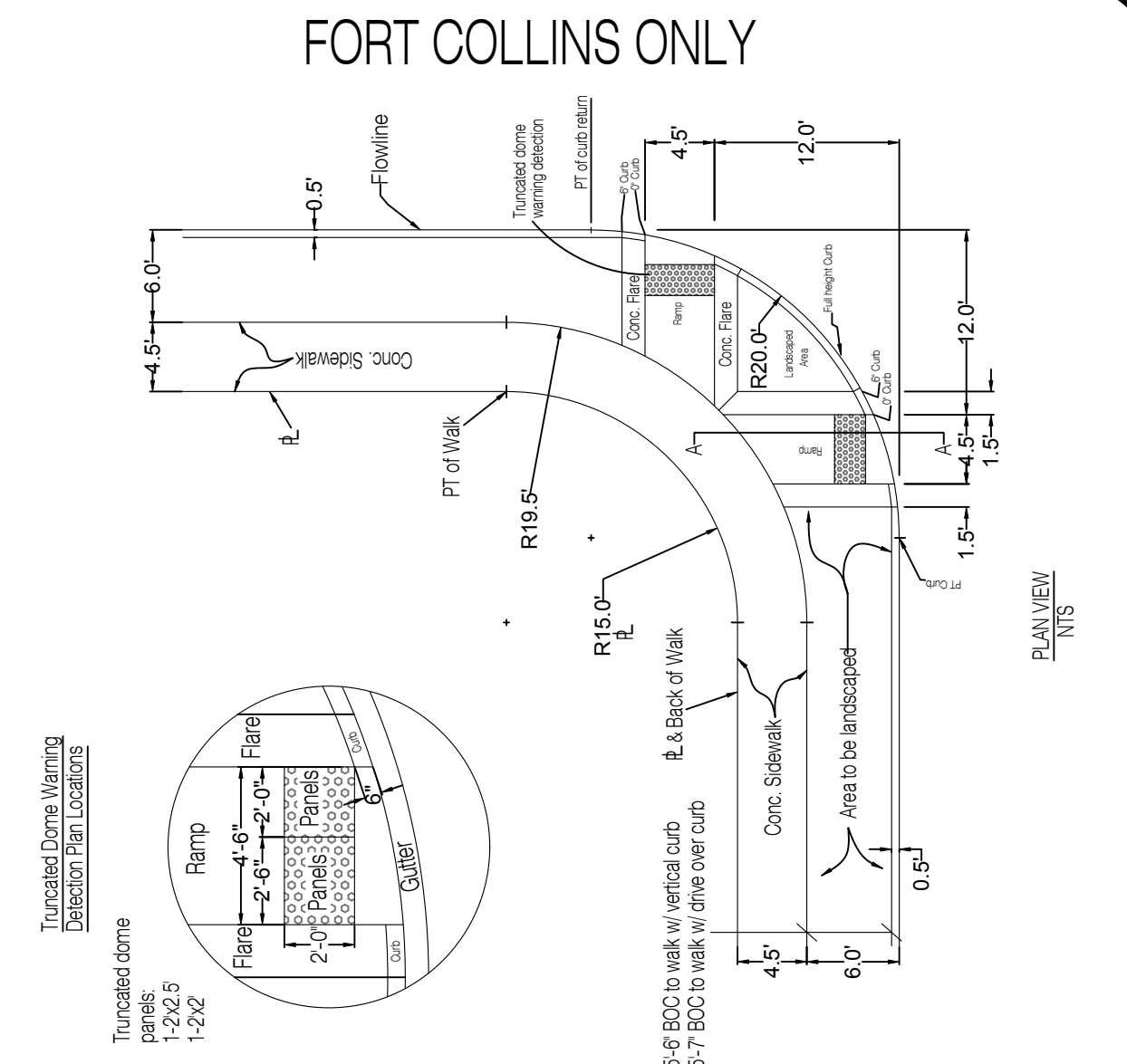
PEDESTRIAN RAMP DETAIL (For New Const. & Alterations)			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 04/01/07	DRAWING 1606

302 PEDESTRIAN RAMP DETAIL NOT TO SCALE



TRUNCATED DOME WARNING FOR ACCESS RAMPS			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 04/01/07	DRAWING 1607

303 TRUNCATED DOME WARNING FOR ACCESS RAMPS NOT TO SCALE



NOTE:
 1. Ramp slopes shall be in accordance with the local jurisdiction.
 2. Truncated dome warning panels shall be installed along with the concrete pour to the ramp. The panels shall be installed in the concrete before the concrete is poured. The panels shall be installed in the concrete before the concrete is poured. The panels shall be installed in the concrete before the concrete is poured.
 3. Each ramp shall slope perpendicular to the street in which the ramp is provided to cross.
 4. Refer to standard drawing 1606 on the Larimer County Urban Area Street Standards for other necessary information to construct these ramps that is not specified on this drawing.
 5. Connect the ramps and walk on the corner area all drains to the street.

RESIDENTIAL LOCAL STREET ACCESS RAMPS			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 04/01/07	DRAWING 1606(a)

304 RESIDENTIAL LOCAL STREET ACCESS RAMPS NOT TO SCALE

City of Fort Collins, Colorado UTILITY PLAN APPROVAL			
APPROVED:	City Engineer	Date	
CHECKED BY:	Water & Wastewater Utility	Date	
CHECKED BY:	Stormwater Utility	Date	
CHECKED BY:	Parks & Recreation	Date	
CHECKED BY:	Traffic Engineer	Date	
CHECKED BY:	Environmental Planner	Date	



Revisions:
 No. Description
 1. REVIEW SET
 NOT FOR CONSTRUCTION
 08/17/2014

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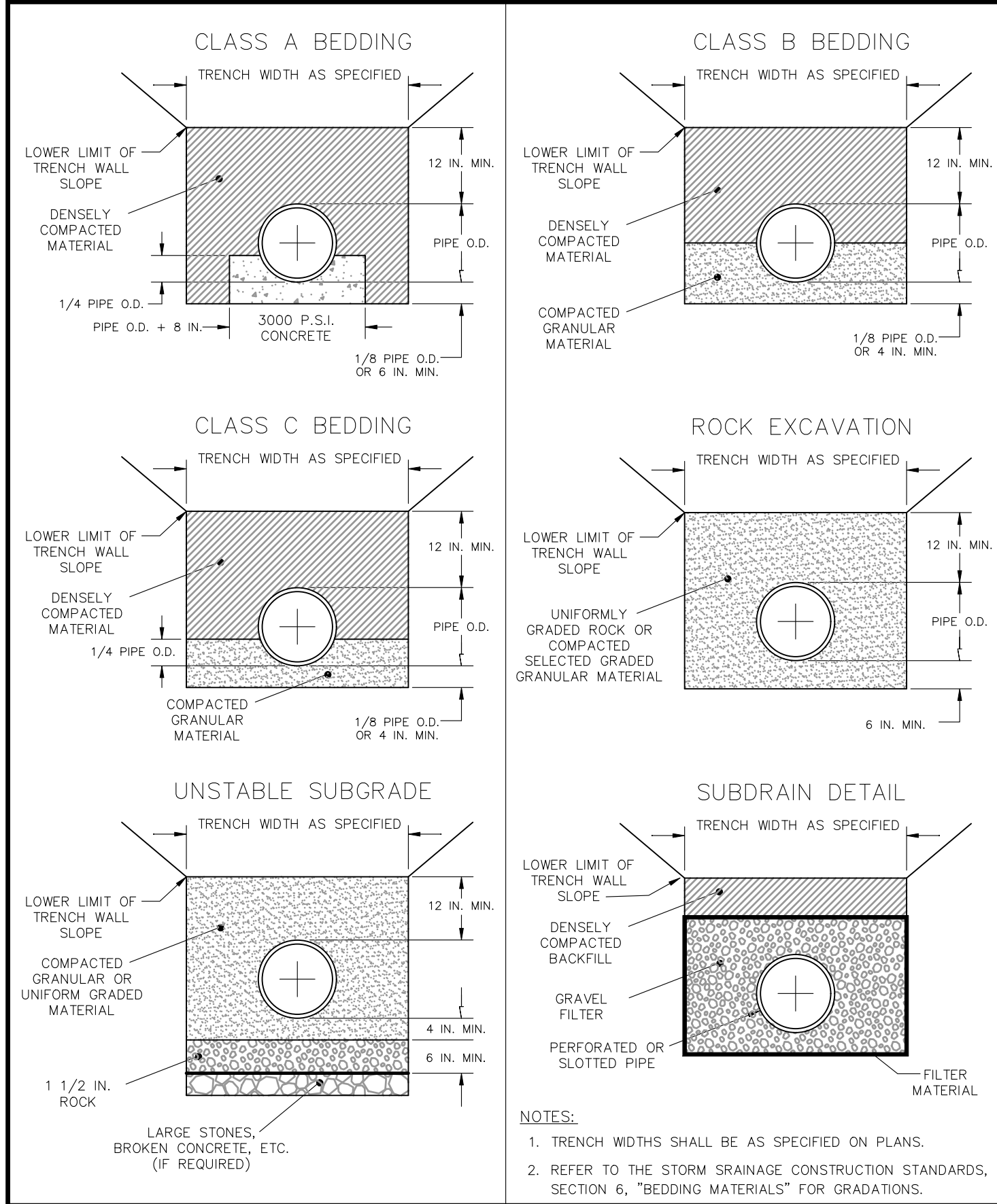
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 301 North Hovea Street, Suite 1010
 Fort Collins, Colorado 80521

PROJECT: 620-004	DATE: September 17, 2014
DESIGNED BY: A. Reese	SCALE: N/A
DRAWN BY: B. Ruch	REVIEWED BY: N. Howe

HILL POND RESIDENCES
 SITE DETAILS

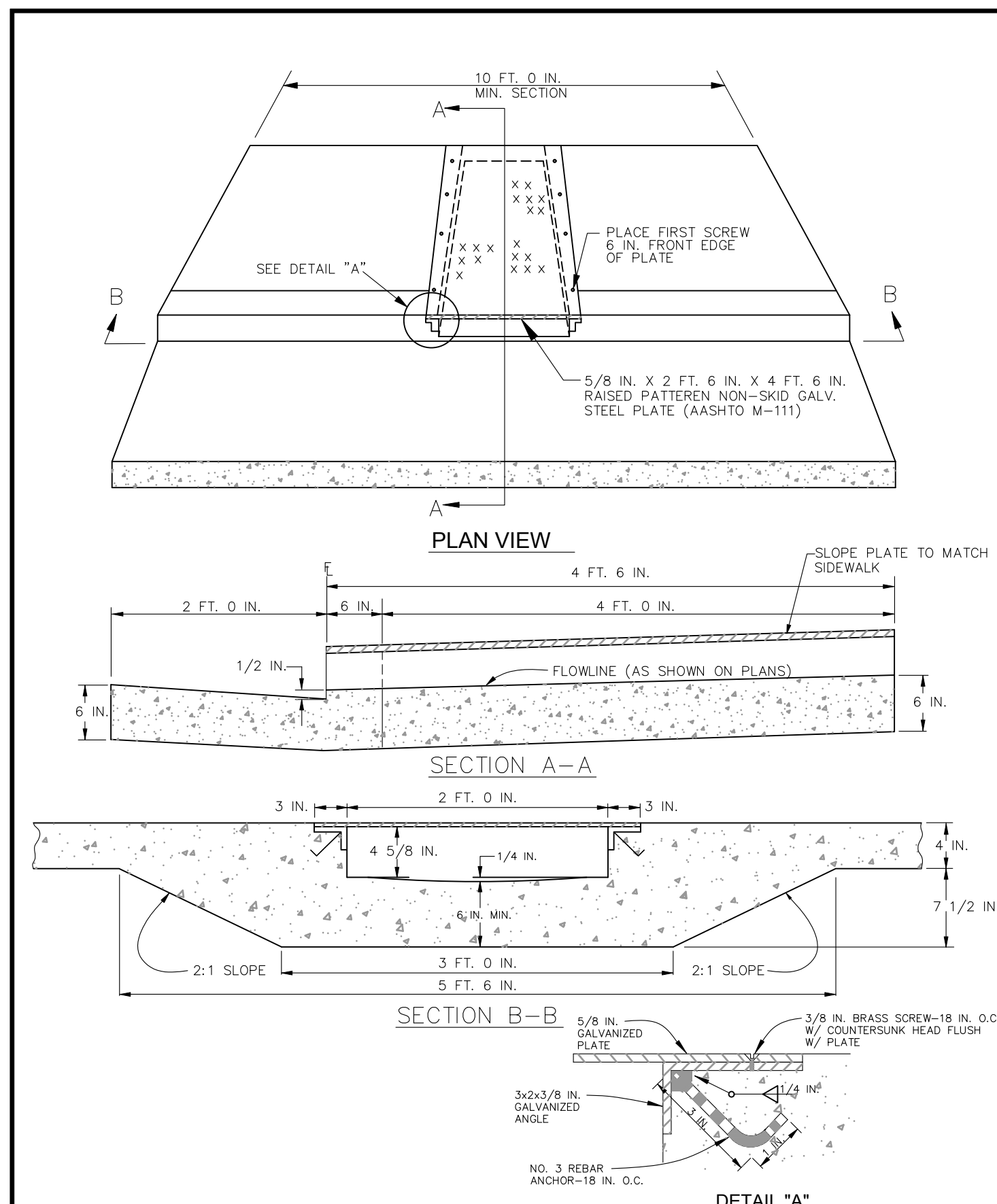
Sheet D3
 Of 14 Sheets



STORMWATER BEDDING REQUIREMENTS

City of Fort Collins	CITY OF FORT COLLINS UTILITIES	STORMWATER CONSTRUCTION DETAILS	APPROVED: DATE: 1/12/00 DRAWN BY: SKC	DETAIL D-1
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400 **STORM BEDDING REQUIREMENTS** NOT TO SCALE



METAL SIDEWALK CULVERT FOR VERT. CURB & GUTTER AND SIDEWALK

City of Fort Collins	CITY OF FORT COLLINS UTILITIES	STORMWATER CONSTRUCTION DETAILS	APPROVED: DATE: 12/12/00 DRAWN BY: NBJ	DETAIL D-10
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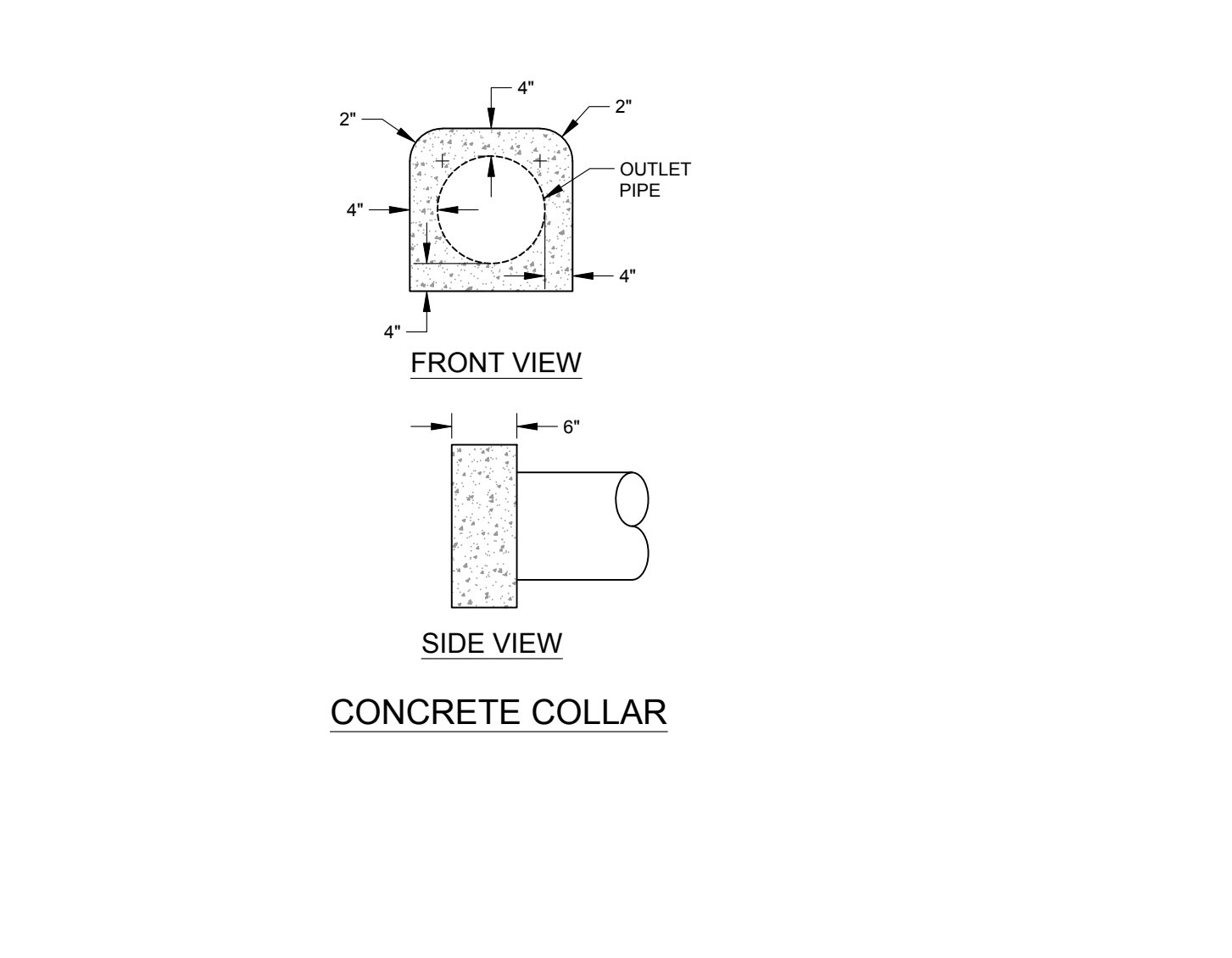
401 **SIDEWALK CHASE** NOT TO SCALE

SCREEN SLOT TABLE

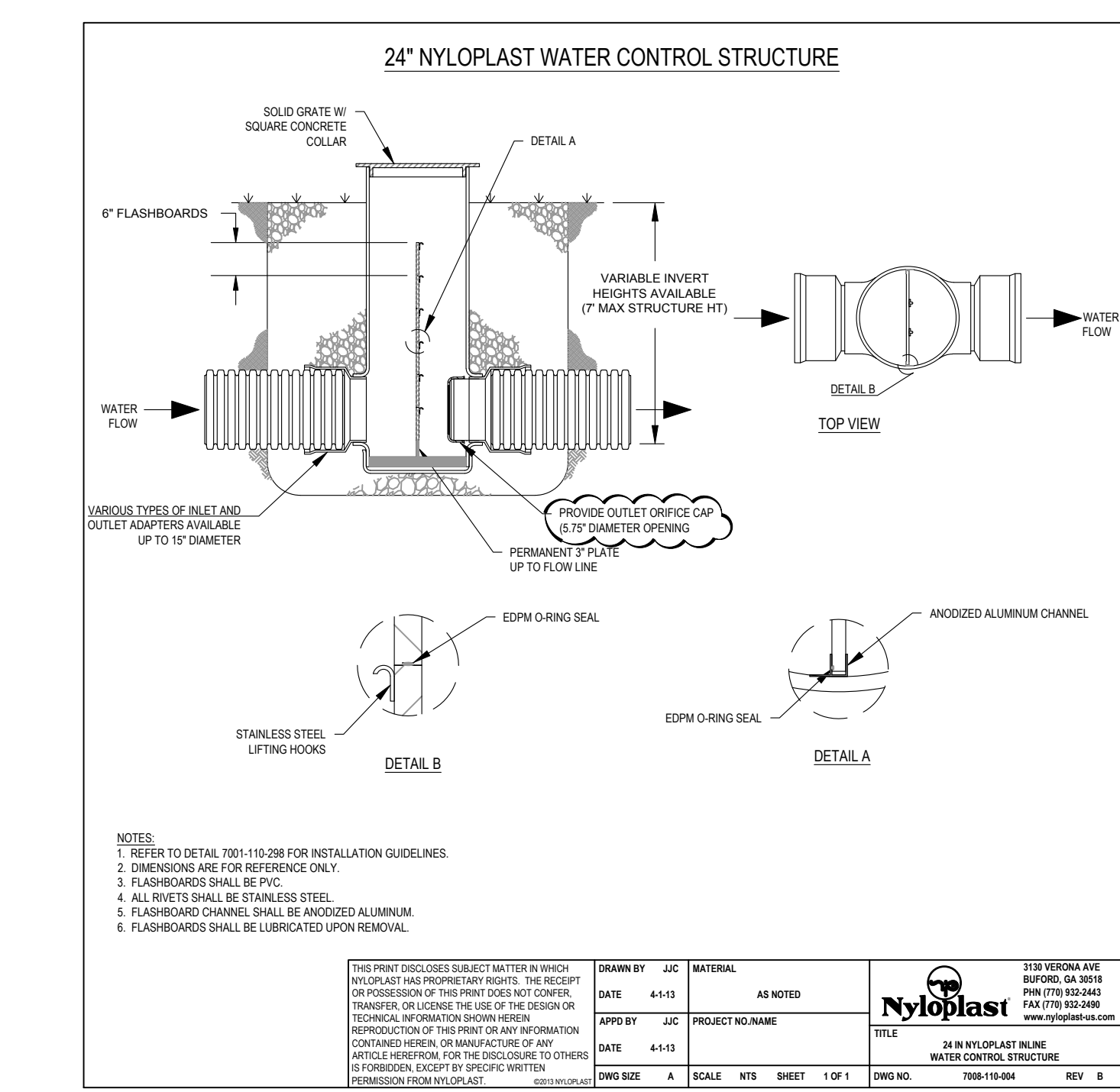
PIPE SIZE	A	B	C	D	E	F
6"	3 (MIN.) - 6 (MAX.)	1.38"-2.35"	0.032"	14	1/2"-3/4"	1.98-3.15 SQ. IN.

NOTES:
"SLOTTED PVC" AND "PERFORATED PVC" SHALL MEAN THE SAME THING WHEN REFERRING TO UNDERDRAINS IN THIS PLAN SET.

402 **DIMENSIONS FOR SLOTTED PVC PIPE** NOT TO SCALE



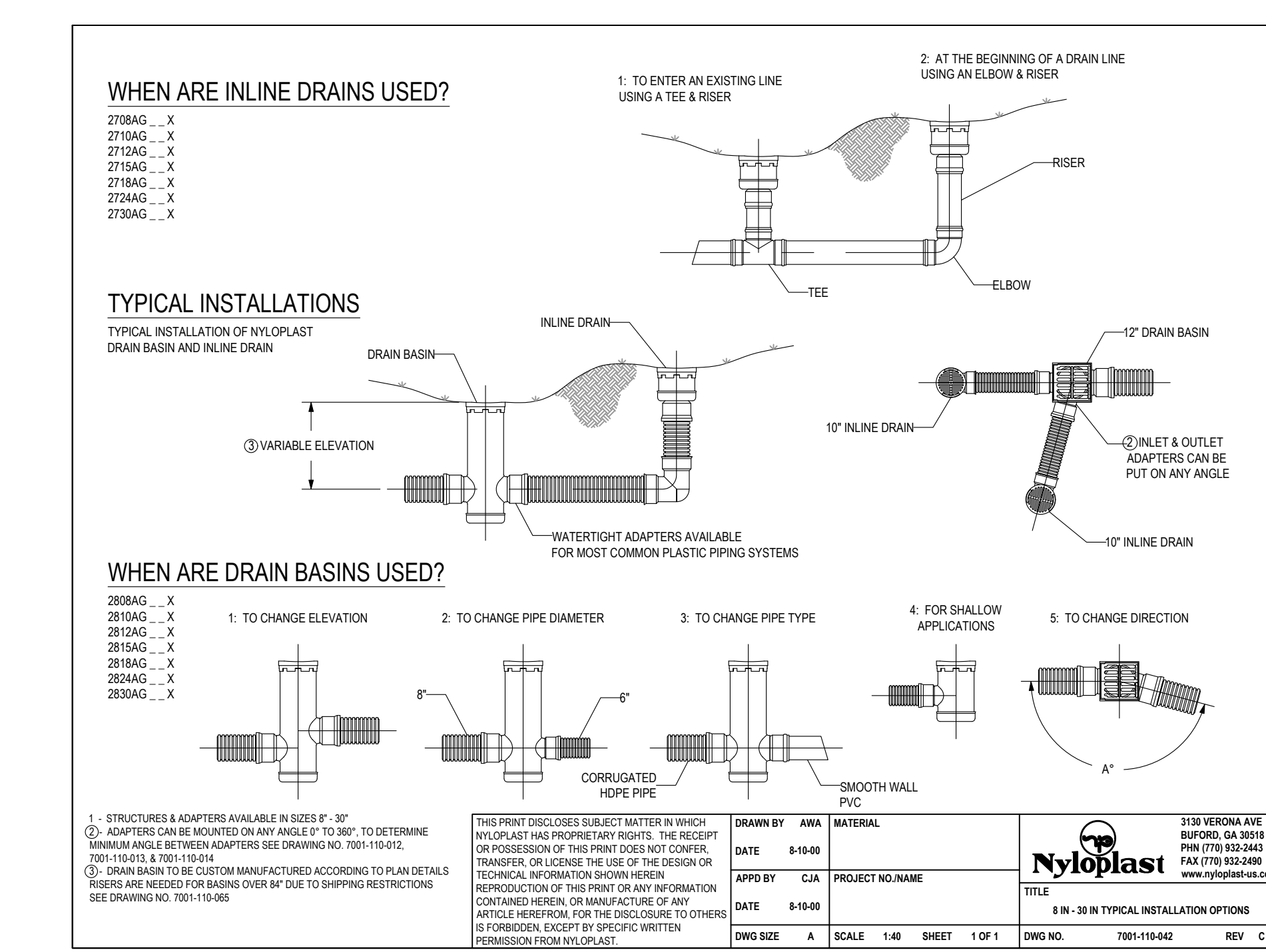
403 **CONCRETE COLLAR** NOT TO SCALE



24" NYLOPLAST WATER CONTROL STRUCTURE

City of Fort Collins	CITY OF FORT COLLINS UTILITIES	STORMWATER CONSTRUCTION DETAILS	APPROVED: DATE: 1/12/00 DRAWN BY: SKC	DETAIL D-1
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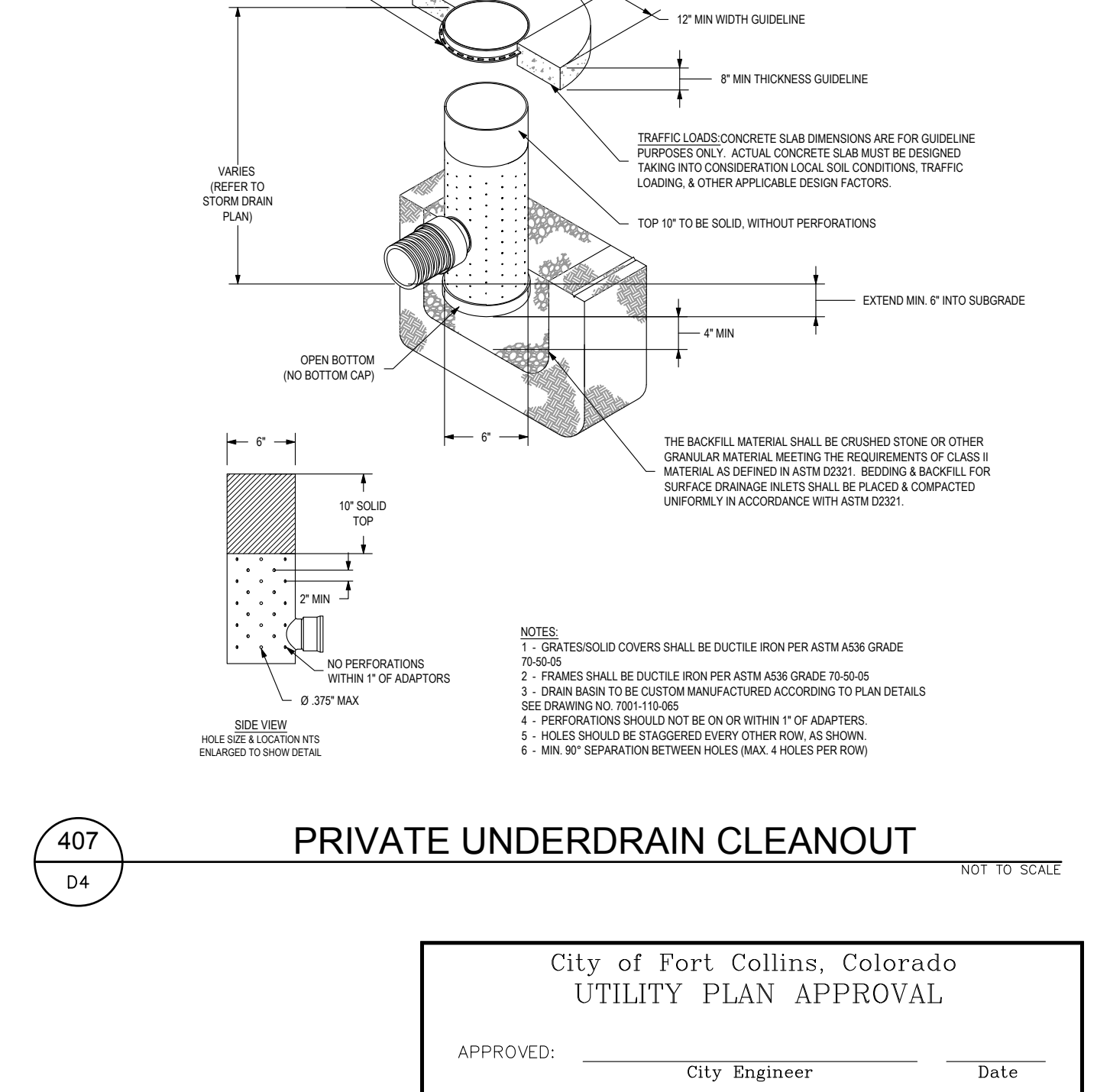
205 **WQ CONTROL BASIN** NOT TO SCALE



TYPICAL INSTALLATION OPTIONS

City of Fort Collins	CITY OF FORT COLLINS UTILITIES	STORMWATER CONSTRUCTION DETAILS	APPROVED: DATE: 12/12/00 DRAWN BY: NBJ	DETAIL D-10
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406 **TYPICAL INSTALLATION OPTIONS** NOT TO SCALE



City of Fort Collins, Colorado

UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date _____

CHECKED BY: _____ Water & Wastewater Utility _____ Date _____

CHECKED BY: _____ Stormwater Utility _____ Date _____

CHECKED BY: _____ Parks & Recreation _____ Date _____

CHECKED BY: _____ Traffic Engineer _____ Date _____

CHECKED BY: _____ Environmental Planner _____ Date _____

407 **PRIVATE UNDERDRAIN CLEANOUT** NOT TO SCALE

Revisions: _____
Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
08/17/2014

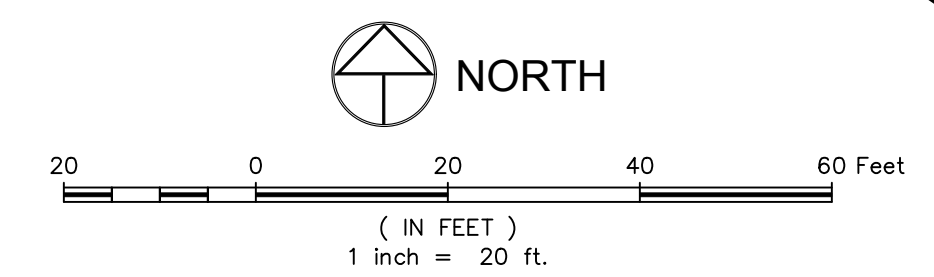
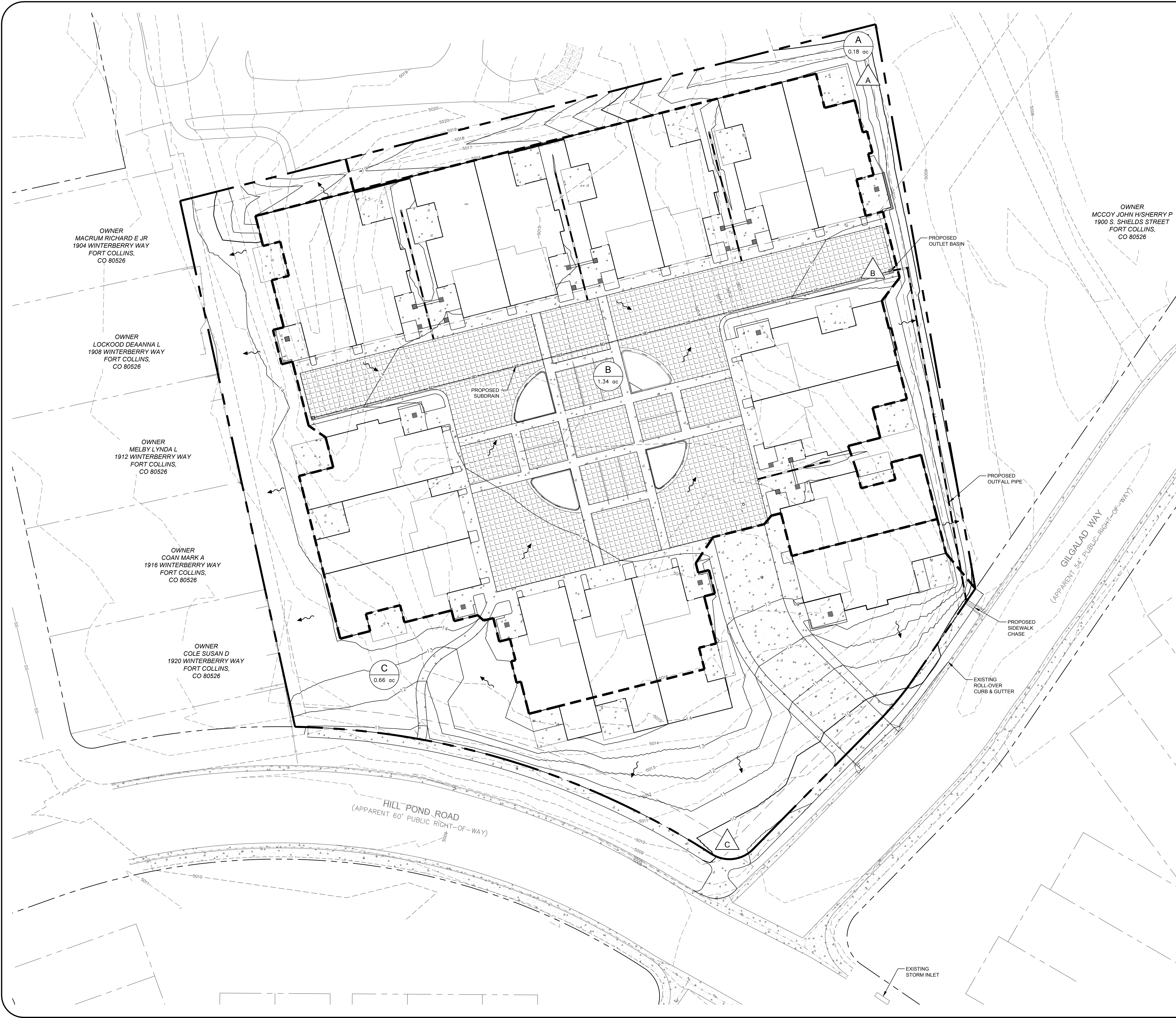
These drawings are instruments of service provided by Northern Engineering Services, Inc. for the use of any type of construction unless signed and sealed by the professional engineer in the employ of Northern Engineering Services, Inc.

NORTHERN ENGINEERING
PHONE: 970.231.4158
301 North Hovea Street, Suite 1010
Fort Collins, Colorado 80521

DATE: September 17, 2014
PROJECT: 620-004
DESIGNED BY: A. Reese
SCALE: N/A
DRAWN BY: B. Ruch
REVIEWED BY: N. Howe

HILL POND RESIDENCES
DRAINAGE DETAILS
Sheet D4
Of 14 Sheets





LEGEND:

PROPOSED STORM SEWER	
PROPOSED SUBDRAIN	
PROPOSED INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
DESIGN POINT	
FLOW ARROW	
DRAINAGE BASIN LABEL	
DRAINAGE BASIN BOUNDARY	
PROPOSED SWALE SECTION	
PROPOSED PERMEABLE PAVERS	

- NOTES:**
- REFER TO THE "PRELIMINARY DRAINAGE REPORT FOR HILL POND RESIDENCES" BY NORTHERN ENGINEERING, DATED SEPTEMBER 17, 2014 FOR ADDITIONAL INFORMATION.

BENCHMARK/BASIS OF BEARING

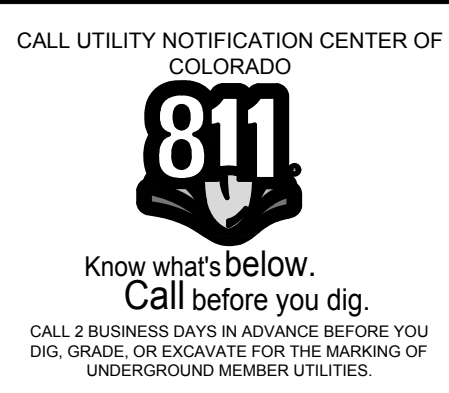
BENCHMARK #1:
City of Fort Collins Benchmark 01-93
NGVD29 Elevation = 5023.27 Unadjusted
(NAVD88 Elevation = 5026.44)

BENCHMARK #2:
City of Fort Collins Benchmark 29-92
NGVD29 Elevation = 5022.50 Unadjusted
(NAVD88 Elevation = 5025.67)

Project Datum:
All elevations referenced in these plans refer to the NGVD 29 (Unadjusted) datum.

Basis of Bearing:
The Basis of Bearings is the Easterly line of Tract "H", Third Replat of Hill Pond on Spring Creek, First Filing as bearing South 12° 20' 00" East (assumed bearing).

**FOR DRAINAGE REVIEW ONLY
NOT FOR CONSTRUCTION**



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED BY: _____	City Engineer	_____	Date
CHECKED BY: _____	Water & Wastewater Utility	_____	Date
CHECKED BY: _____	Stormwater Utility	_____	Date
CHECKED BY: _____	Parks & Recreation	_____	Date
CHECKED BY: _____	Traffic Engineer	_____	Date
CHECKED BY: _____	Environmental Planner	_____	Date

REVIEW SET
NOT FOR CONSTRUCTION

Revisions: _____
N.O. _____

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the Engineer of Northern Engineering Services, Inc.

NORTHERN ENGINEERING

301 North Hovea Street, Suite 1010
Fort Collins, Colorado 80521
PHONE: 970.221.4158
www.northernengineering.com

PROJECT: 620-004	DATE: September 17, 2014	SCALE: 1" = 20'	REVIEWED BY: N. Haws
DESIGNED BY: A. Reese	DRAWN BY: B. Ruch		

HILL POND RESIDENCES
DRAINAGE EXHIBIT

Sheet
DR1

Of 14 Sheets

DRAWING FILENAME: D:\projects\620000\620004\620004_01.dwg, LAYOUT NAME: DR1, DATE: 09/17/2014, 11:38am, CDD OPERATOR: baw
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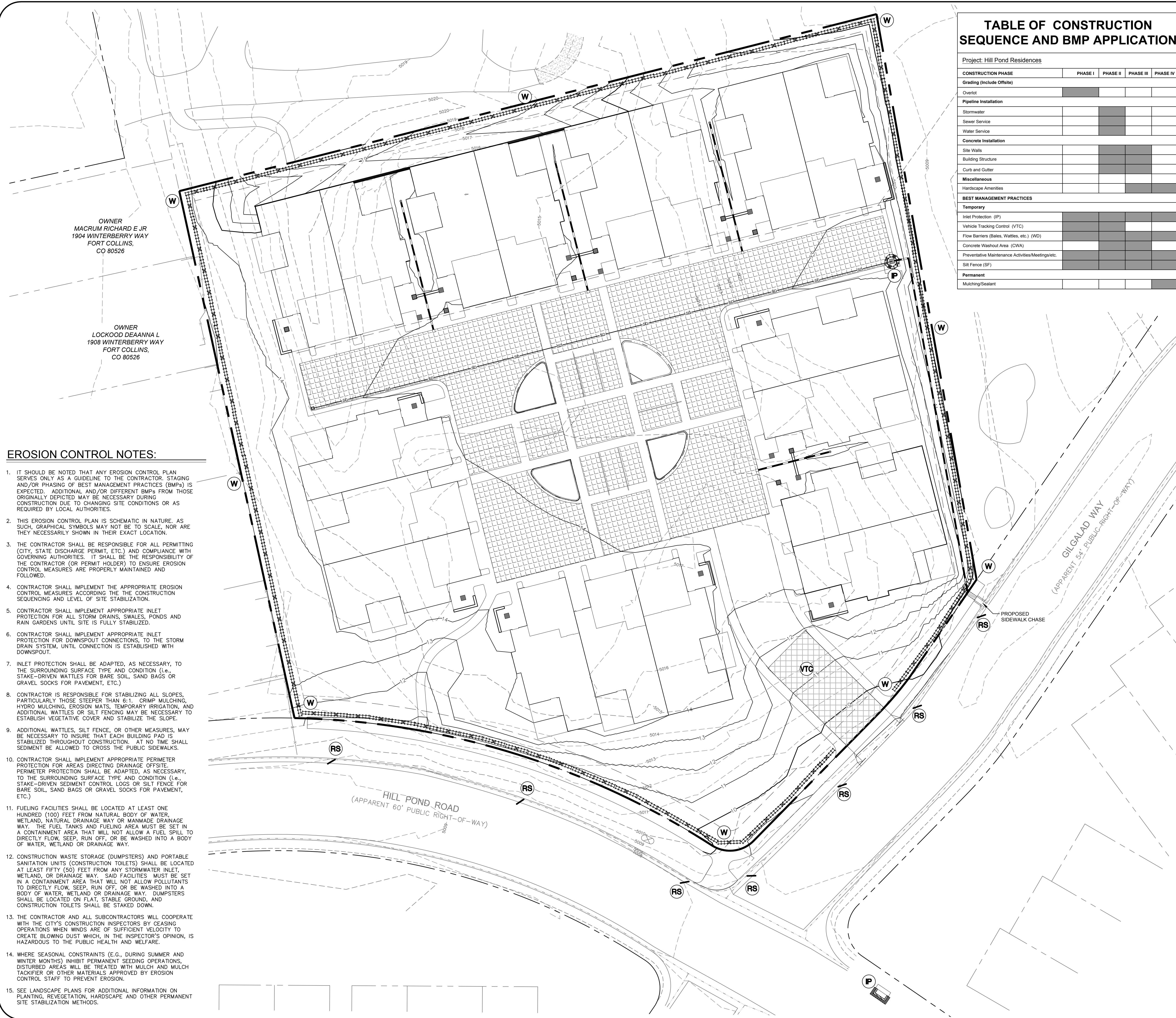
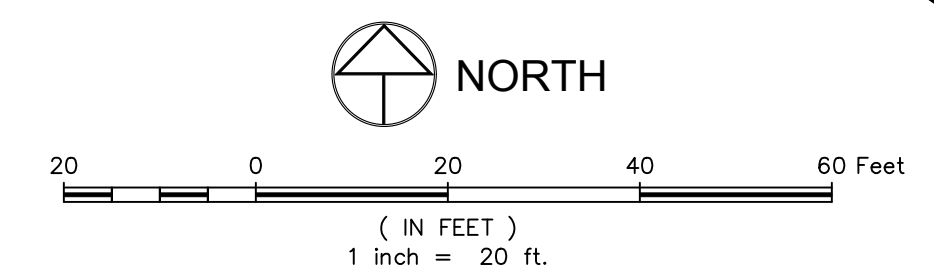


TABLE OF CONSTRUCTION SEQUENCE AND BMP APPLICATION

CONSTRUCTION PHASE	PHASE I	PHASE II	PHASE III	PHASE IV
Grading (Include Offsite)				
Overlot				
Pipeline Installation				
Stormwater				
Sewer Service				
Water Service				
Concrete Installation				
Site Walls				
Building Structure				
Curb and Gutter				
Miscellaneous				
Hardscape Amenities				
BEST MANAGEMENT PRACTICES				
Temporary				
Inlet Protection (IP)				
Vehicle Tracking Control (VTC)				
Flow Barriers (Bales, Wattles, etc.) (WB)				
Concrete Washout Area (CWA)				
Preventative Maintenance Activities/Meetings/etc.				
Silt Fence (SF)				
Permanent				
Mulching/Sealant				



LEGEND:

- PROPOSED STORM SEWER
- PROPOSED SUBDRAIN
- PROPOSED INLET
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SWALE
- PROPOSED CURB & GUTTER
- PROPERTY BOUNDARY
- SILT FENCE
- INLET PROTECTION
- WATTLE PROTECTION
- ROCK SOCK
- VEHICLE TRACKING PAD
- CONCRETE WASHOUT AREA

NOTE:
ALL BMP'S SHOWN ON THIS PLAN ARE GRAPHIC REPRESENTATIONS ONLY. FINAL DETERMINATION OF SIZE AND LOCATION SHALL BE DETERMINED BY THE CONTRACTOR AND DOCUMENTED ON THE DYNAMIC SITE PLAN.

FIELD SURVEY BY:
ORIGINAL FIELD SURVEY: INTERMILL LAND SURVEYING, INC.
PROJECT NO. P-13-7461
DATE: OCTOBER 26, 2013

BENCHMARKS:
BENCHMARK #1:
City of Fort Collins Benchmark 01-93
NGVD29 Elevation= 5023.27
BENCHMARK #2:
City of Fort Collins Benchmark 29-92
NGVD29 Elevation= 5022.50

- GENERAL NOTES:**
- CONTRACTOR SHALL IMMEDIATELY STABILIZE ALL DISTURBED SLOPES BY CRIMP MULCHING OR SIMILAR METHODS (AS APPLICABLE).
 - TOTAL DISTURBED AREA = 2.18 ACRES
 - SWMP ADMINISTRATOR:
Contact _____
Company _____
Address _____
Phone _____
 - CONTRACTOR TO PROVIDE VEHICLE TRACKING CONTROL FOR CONCRETE WASHOUT AREA IF ACCESS IS OFF PAVEMENT.
 - SEE "GRADING & EROSION CONTROL NOTES" ON SHEET CS2 OF THE UTILITY PLAN SET FOR HILL POND RESIDENCES PREPARED BY NORTHERN ENGINEERING DATED SEPTEMBER 17, 2014 FOR ADDITIONAL INFORMATION.
 - REFER TO THE "STORM WATER MANAGEMENT PLAN & EROSION CONTROL REPORT FOR HILL POND RESIDENCES" BY NORTHERN ENGINEERING, DATED SEPTEMBER 17, 2014 FOR ADDITIONAL INFORMATION.

EROSION CONTROL NOTES:

- IT SHOULD BE NOTED THAT ANY EROSION CONTROL PLAN SERVES ONLY AS A GUIDELINE TO THE CONTRACTOR. STAGING AND/OR PHASING OF BEST MANAGEMENT PRACTICES (BMPs) IS EXPECTED. ADDITIONAL AND/OR DIFFERENT BMPs FROM THOSE ORIGINALLY DEPICTED MAY BE NECESSARY DURING CONSTRUCTION DUE TO CHANGING SITE CONDITIONS OR AS REQUIRED BY LOCAL AUTHORITIES.
- THIS EROSION CONTROL PLAN IS SCHEMATIC IN NATURE. AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE, NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING (CITY, STATE DISCHARGE PERMIT, ETC.) AND COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (OR PERMIT HOLDER) TO ENSURE EROSION CONTROL MEASURES ARE PROPERLY MAINTAINED AND FOLLOWED.
- CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION CONTROL MEASURES ACCORDING TO THE CONSTRUCTION SEQUENCING AND LEVEL OF SITE STABILIZATION.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR ALL STORM DRAINS, SWALES, PONDS AND RAIN GARDENS UNTIL SITE IS FULLY STABILIZED.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR DOWNSPOUT CONNECTIONS, TO THE STORM DRAIN SYSTEM, UNTIL CONNECTION IS ESTABLISHED WITH DOWNSPOUT.
- INLET PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (i.e., STAKE-DRIVEN WATTLES FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT, ETC.).
- CONTRACTOR IS RESPONSIBLE FOR STABILIZING ALL SLOPES, PARTICULARLY THOSE STEEPER THAN 6:1. CRIMP MULCHING, HYDRO MULCHING, EROSION MATS, TEMPORARY IRRIGATION, AND ADDITIONAL WATTLES OR SILT FENCING MAY BE NECESSARY TO ESTABLISH VEGETATIVE COVER AND STABILIZE THE SLOPE.
- ADDITIONAL WATTLES, SILT FENCE, OR OTHER MEASURES, MAY BE NECESSARY TO INSURE THAT EACH BUILDING PAD IS STABILIZED THROUGHOUT CONSTRUCTION. AT NO TIME SHALL SEDIMENT BE ALLOWED TO CROSS THE PUBLIC SIDEWALKS.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE PERIMETER PROTECTION FOR AREAS DIRECTING DRAINAGE OFFSITE. PERIMETER PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (i.e., STAKE-DRIVEN SEDIMENT CONTROL LOGS OR SILT FENCE FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT, ETC.).
- FUELING FACILITIES SHALL BE LOCATED AT LEAST ONE HUNDRED (100) FEET FROM NATURAL BODY OF WATER, WETLAND, NATURAL DRAINAGE WAY OR MANMADE DRAINAGE WAY. THE FUEL TANKS AND FUELING AREA MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW POLLUTANTS TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY.
- CONSTRUCTION WASTE STORAGE (DUMPSTERS) AND PORTABLE SANITATION UNITS (CONSTRUCTION TOILETS) SHALL BE LOCATED AT LEAST FIFTY (50) FEET FROM ANY STORMWATER INLET, WETLAND, OR DRAINAGE WAY. SAID FACILITIES MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW POLLUTANTS TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY. DUMPSTERS SHALL BE LOCATED ON FLAT, STABLE GROUND, AND CONSTRUCTION TOILETS SHALL BE STAKED DOWN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WILL COOPERATE WITH THE CITY'S CONSTRUCTION INSPECTORS BY CEASING OPERATIONS WHEN WINDS ARE OF SUFFICIENT VELOCITY TO CREATE BLOWING DUST WHICH, IN THE INSPECTOR'S OPINION, IS HAZARDOUS TO THE PUBLIC HEALTH AND WELFARE.
- WHERE SEASONAL CONSTRAINTS (E.G., DURING SUMMER AND WINTER MONTHS) INHIBIT PERMANENT SEEDING OPERATIONS, DISTURBED AREAS WILL BE TREATED WITH MULCH AND MULCH TACKIFIER OR OTHER MATERIALS APPROVED BY EROSION CONTROL STAFF TO PREVENT EROSION.
- SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON PLANTING, REVEGETATION, HARDSCAPE AND OTHER PERMANENT SITE STABILIZATION METHODS.

Revisions:
 No. _____
 Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
 09/17/2014

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NORTHERN ENGINEERING

NE

301 North Hovea Street, Suite 010
Fort Collins, Colorado 80521
PHONE: 970.231.4158
www.northernengineering.com

PROJECT: 620-004	DATE: September 17, 2014	SCALE: 1" = 20'	REVIEWED BY: N. Haws
DESIGNED BY: A. Reese			DRAWN BY: B. Ruch

HILL POND RESIDENCES
 EROSION CONTROL PLAN
 Sheet EC1
 Of 14 Sheets

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date _____

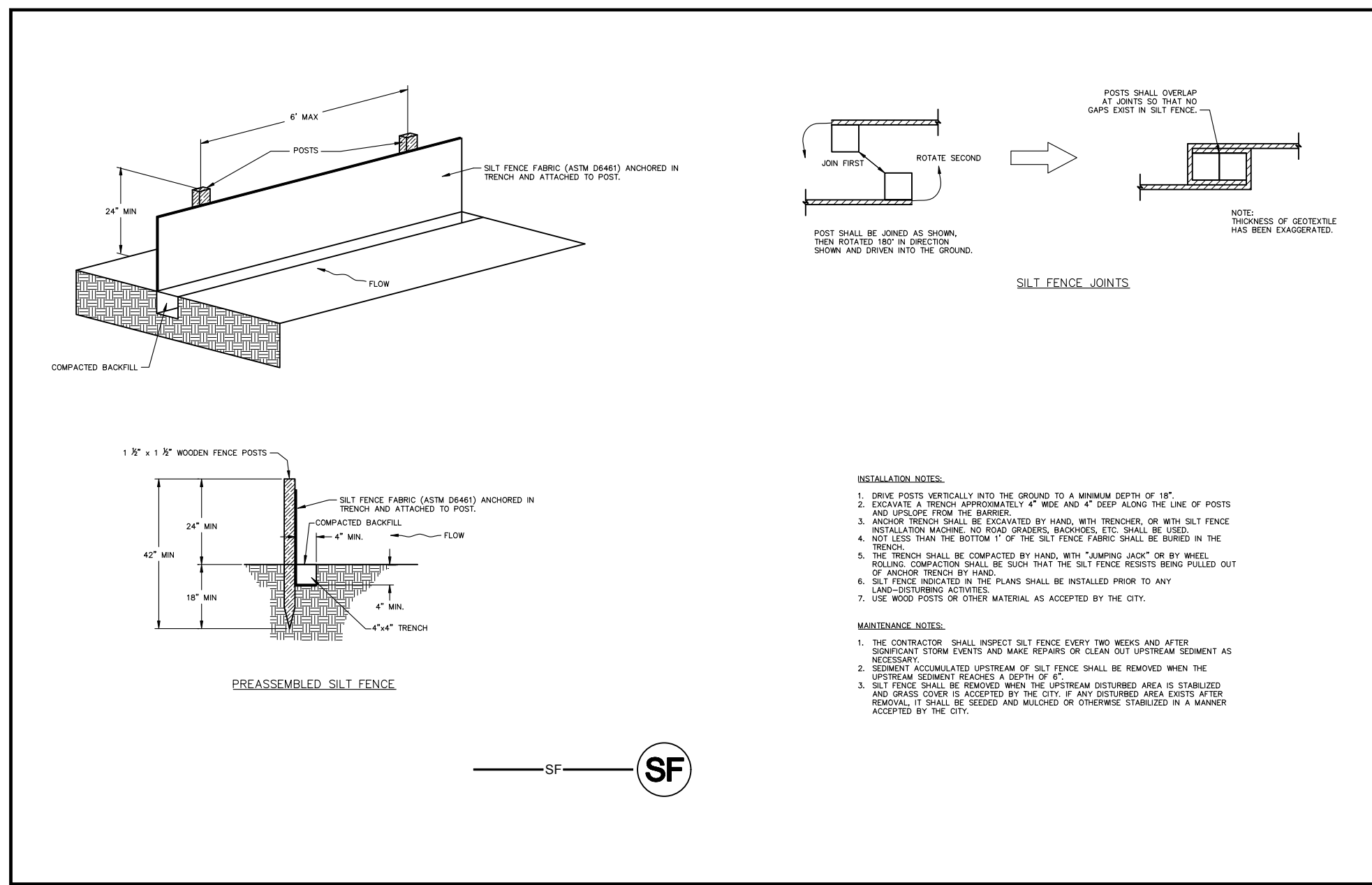
CHECKED BY: _____ Water & Wastewater Utility _____ Date _____

CHECKED BY: _____ Stormwater Utility _____ Date _____

CHECKED BY: _____ Parks & Recreation _____ Date _____

CHECKED BY: _____ Traffic Engineer _____ Date _____

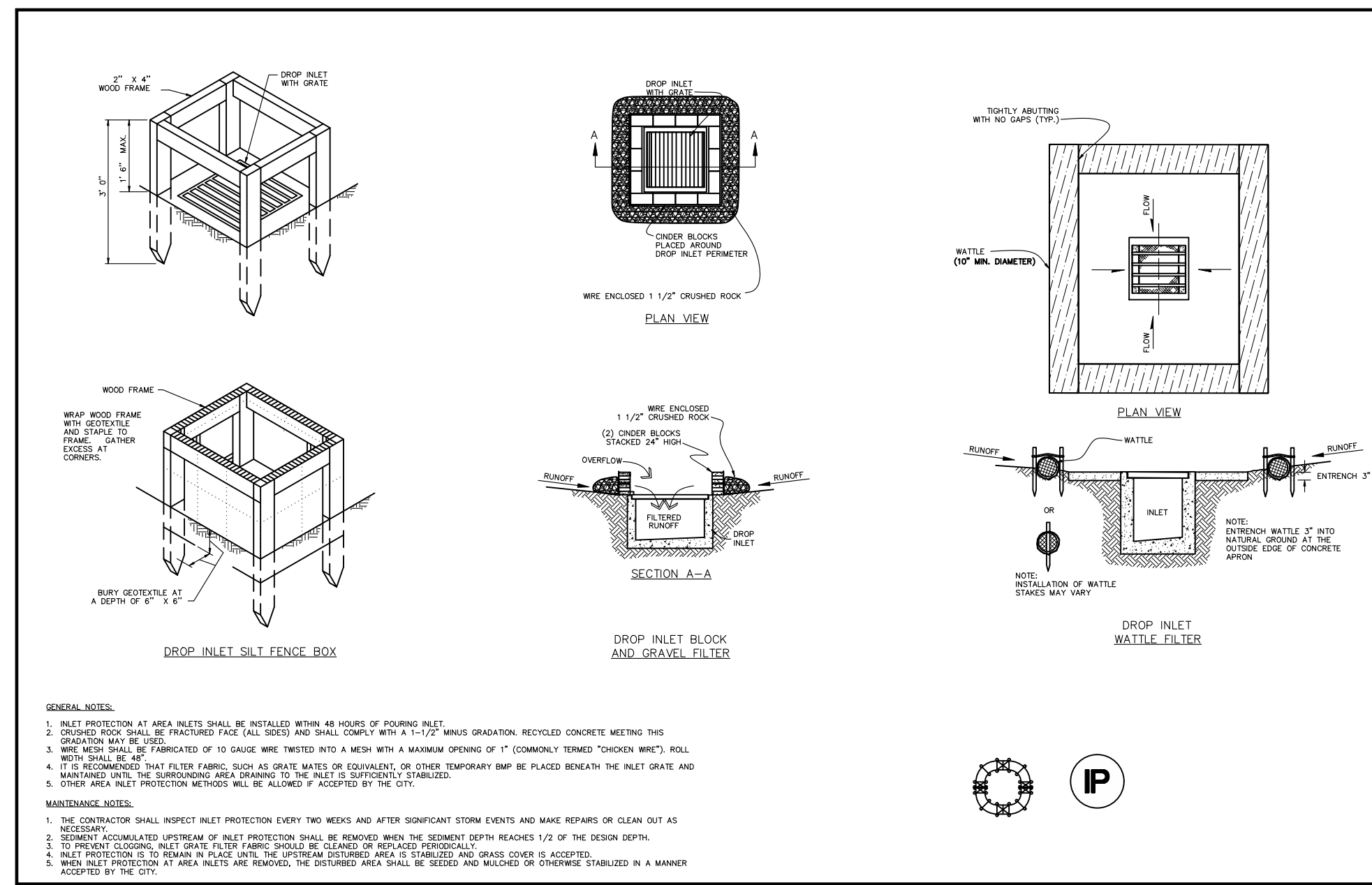
CHECKED BY: _____ Environmental Planner _____ Date _____



SILT FENCE

01
EC2

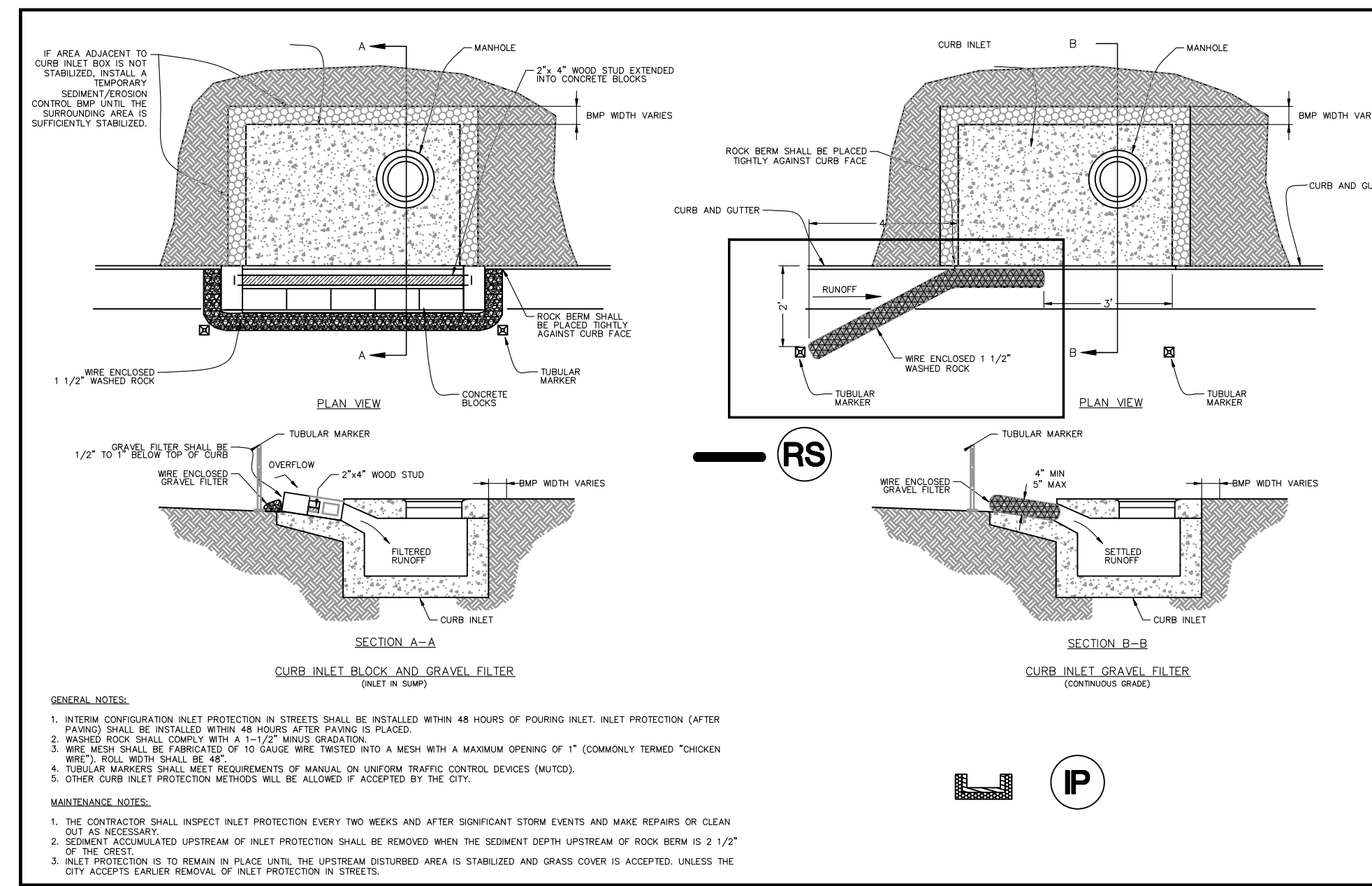
NOT TO SCALE



DROP INLET PROTECTION

02
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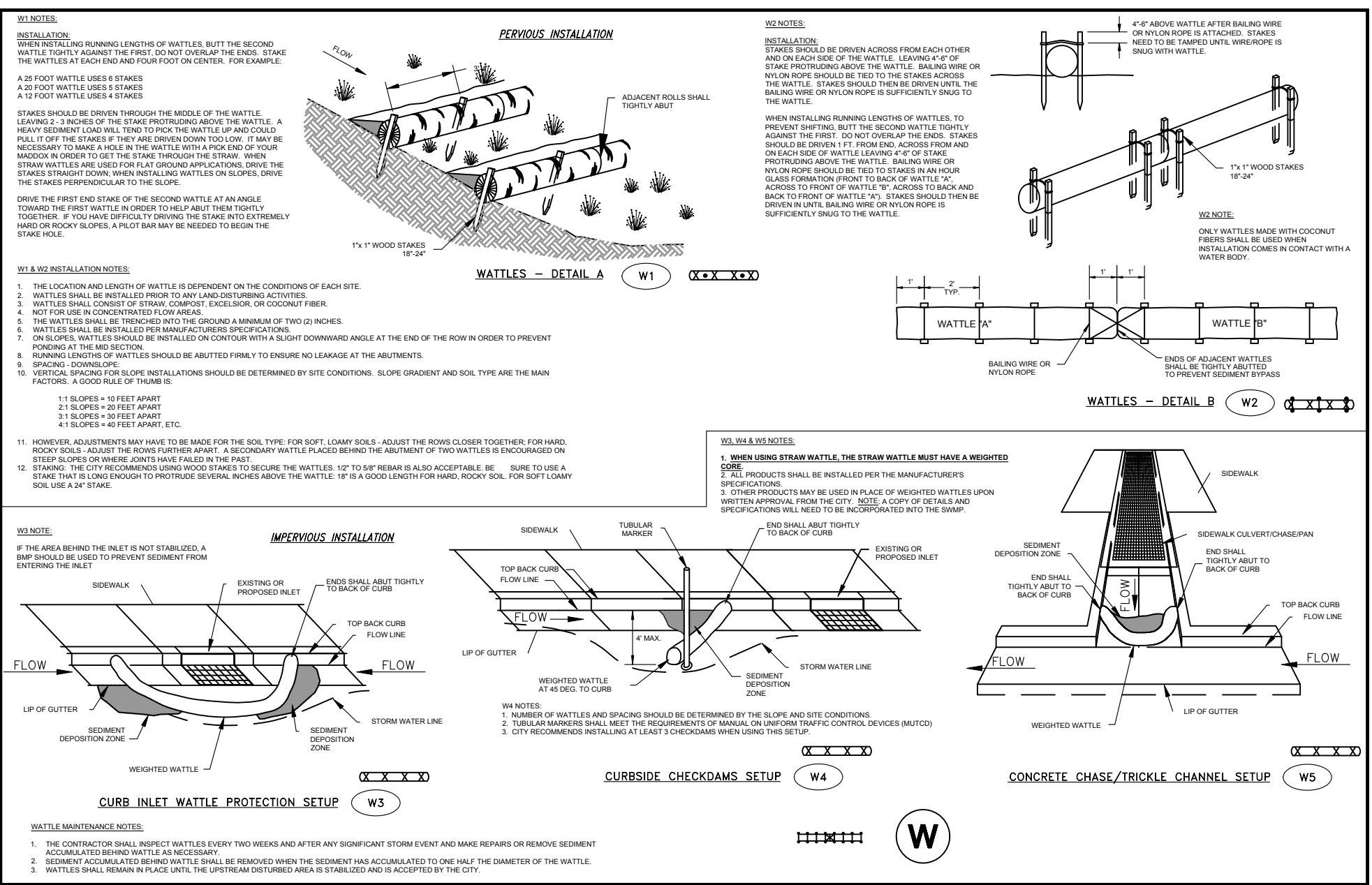
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CURB INLET PROTECTION

03
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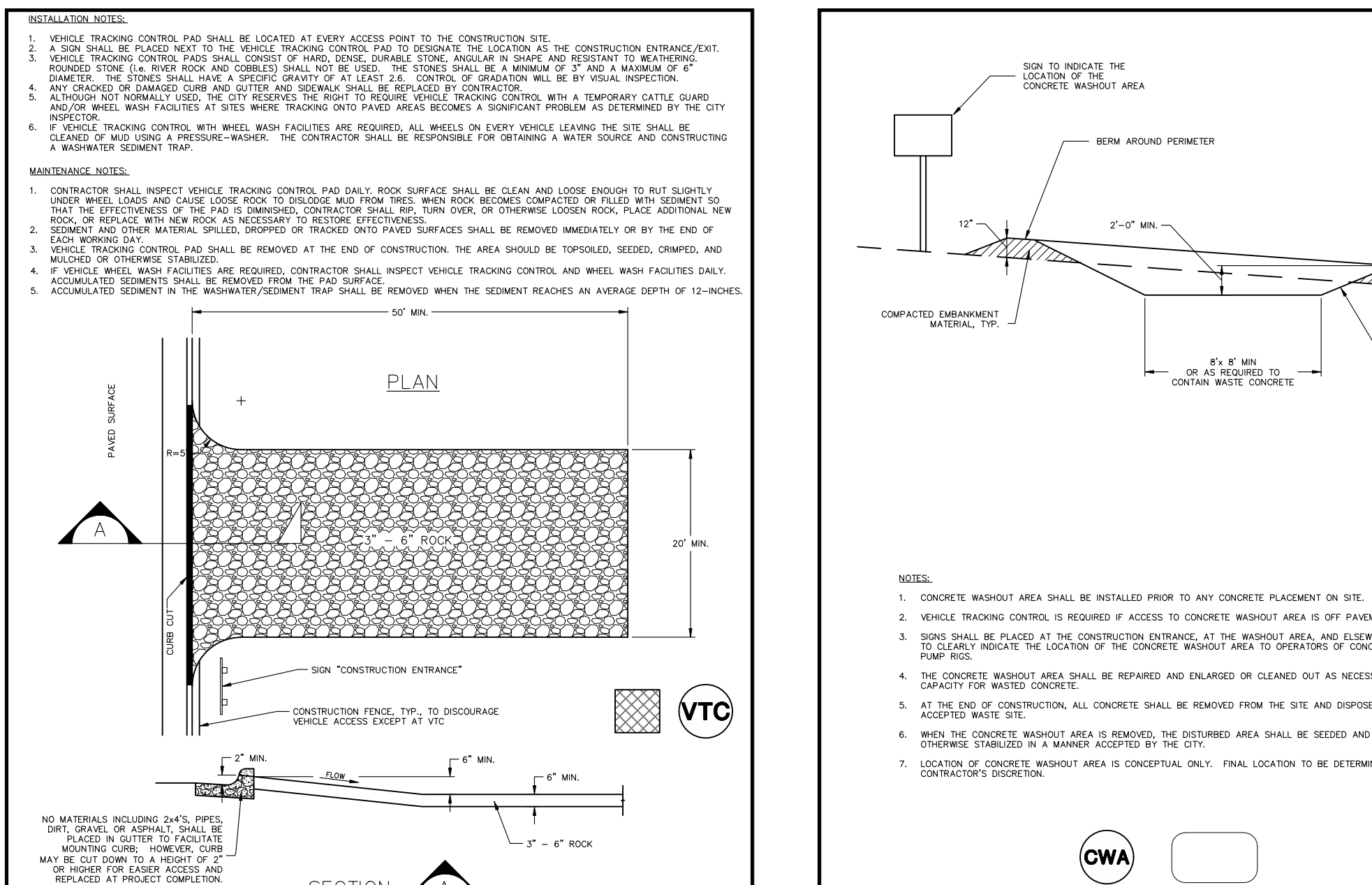
NOT TO SCALE



WATTLE INSTALLATION

04
EC2

NOT TO SCALE



VEHICLE CONTROL TRACKING PAD

05
EC2

NOT TO SCALE



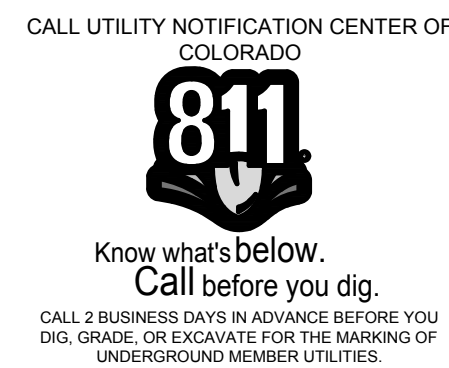
CONCRETE WASHOUT AREA

06
EC2

NOT TO SCALE

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date



Revisions: **REVIEW SET**
NOT FOR CONSTRUCTION
 081171644

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NORTHERN ENGINEERING
 301 North Hovea Street, Suite 1010
 Fort Collins, Colorado 80521
 PHONE: 970.221.4158
 www.northernengineering.com

PROJECT:	620-004	DATE:	September 17, 2014
DESIGNED BY:	A. Reese	SCALE:	N/A
DRAWN BY:	A. Reese	REVIEWED BY:	N. Howe

HILL POND RESIDENCES
 EROSION CONTROL DETAILS

Sheet
EC2
 Of 14 Sheets

DRAWING FILENAME: D:\projects\620\620-004\620-004.dwg DATE: 09/17/2014 11:38:00 AM USER: ARES
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