

ITEM NO _____1___ MEETING DATE May 14, 2014 STAFF Holland HEARING OFFICER

STAFF REPORT

- **PROJECT:** Geico Office Building, Project Development Plan, PDP #130039 and Modification of Standard to Section 4.26(E)(1)
- APPLICANT: Cathy Mathis TB Group 444 Mountain Avenue Berthoud, Colorado 80513
- OWNER: Steve Allen, LLC 115 E Harmony Rd. Ste. 110 Fort Collins, CO 80525

PROJECT DESCRIPTION:

This is a request for approval of a new 2-story, 6,600 square foot commercial building on a 0.548 acre site in the Harmony Corridor (H-C) zone district. The site is located at the northwest corner of East Harmony Road and South Timberline Road, and includes two lots (2016 and 2024 East Harmony Road), which will be platted into one lot with this Project Development Plan. The project includes a new parking area with 26 parking spaces. The Dixon Canyon Irrigation Lateral is located along the northern boundary of the project. An existing transit stop is located on East Harmony Road near the southwest corner of the site.

The project includes a request for one modification of standard that addresses the *Harmony Corridor Development Standards*; more specifically the requirement for an 80 foot minimum landscaped setback zone along the project's Harmony Road frontage, as measured from the future edge of pavement. The 80 foot setback zone is not required along the South Timberline Road frontage.

RECOMMENDATION:

Approval of Geico Office Building, Project Development Plan, PDP #130039, and Modification of Standard to Section 4.26(E)(1).

EXECUTIVE SUMMARY:

The Geico Office Building P.D.P. and Modification of Standard comply with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The P.D.P. complies with process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Modification of Standard to Section 4.26(E)(1) Harmony Corridor Development Standards meets the applicable requirements of Section 2.8.2(H), and the granting of this modification would not be detrimental to the public good.
- The P.D.P. complies with relevant standards located in Division 4.26, Harmony Corridor District (H-C) of Article 4 – Districts, subject to approval of the Modification of Standard.
- The P.D.P. complies with relevant standards located in Article 3 General Development Standards.

COMMENTS:

1. Background:

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Urban Estate (U-E)	Residential
South	Harmony Corridor (H-C)	Harmony Village Mixed Use Activity Center
East	Harmony Corridor (H-C)	Harmony School Shops Community Shopping Center
West	Harmony Corridor (H-C)	Commercial building, Harmony Wellness Center Subdivision

Land Use History:

- The property was annexed in May 1989 as part of the Harmony Half Aces Annexation.
- Two lots are being combined into one lot with the proposed plat submitted with this project. The two lots are addressed as 2016 and 2024 East Harmony Road.

Geico Office Building, PDP #130039, and Modification of Standard to Section 4.26(E)(1). Administrative Hearing, May 14, 2014 Page 3

- 2016 East Harmony Road is located to along the western portion of the project, and was platted in 2001 as the Harmony Lawser Subdivision. This lot contains an existing building which was originally constructed as a singlefamily detached residence. The residence was later converted into an office use by David Lawser in September 2002. This P.D.P. proposes to demolish the structure to accommodate the proposed site plan configuration.
- 2024 East Harmony Road is located along the eastern portion of the project at the corner of East Harmony and Timberline Road. This lot originally contained a single-family residence and detached garage and was later occupied by commercial uses. All buildings on this lot were demolished in July 2013, and the site is current vacant.

2. <u>Compliance with Applicable Harmony Corridor (H-C) Standards</u>:

The project complies with all applicable H-C standards with the following relevant comments provided:

A. Section 4.26(A) – Purpose

The proposed land uses and site configuration are consistent with the purpose of the Harmony Corridor District, by <u>contributing to an attractive and complete</u> <u>mixed-use area with a major employment base</u>.

B. Section 4.26(B) –Permitted Uses

The proposed land uses are consistent with the permitted uses in the Harmony Corridor District. The development uses specifically proposed with the P.D.P. are offices, medical office and personal business and service shop. All of these proposed uses are considered Primary Commercial Uses and <u>no Secondary Uses are proposed</u>.

Examples of Primary Uses in the H-C District are research and testing facilities, hospitals, industrial, regional and international headquarters, private schools and universities, and professional offices.

Examples of Secondary Uses in the H-C District are child care centers, lodging, convenience shopping centers, standard restaurants, and residential uses. Secondary Uses are limited to not more than 25% of the total gross area of development plans in the H-C zone district.

C. Section 4.26(D)(1) – Harmony Corridor Land Use Standards

The project is in compliance with this standard, which requires that the development comply with the Harmony Corridor land use and locational

standards as adopted in the Harmony Corridor Land Use Plan. This plan designates the project site to be within the Basic Industrial and Non-Residential Activity Center (BINRAC). The commercial uses proposed are considered Primary Uses in the BINRAC area and are consistent with the intent of the BINRAC designation.

D. Section 4.5(E)(1) – Harmony Corridor Development Standards

This Section requires that all development in the H-C Harmony Corridor District also comply with the applicable *Harmony Corridor Design Standards*. The project is in compliance with all applicable design standards with the following comments:

- An 80 foot landscaped setback zone is required along the Harmony Road frontage as measured from the future edge of pavement. <u>The applicant is proposing a setback zone reduction from 80 feet to 27 feet, which is discussed in further detail on the following pages of this staff report.</u>
- The project provides a landscape pattern and plant section that is consistent with the Harmony Corridor Standards.
- All building elevations provide an overall high quality, attractive architectural design, consistent with the Harmony Corridor Standards.
- All parking is fully screened from public streets by buildings, plant material and berms.

3. <u>Compliance with Article 3 of the Land Use Code – General Development</u> <u>Standards</u>

The project complies with all applicable General Development Standards with the following relevant comments provided:

- A. Section 3.2.1 Landscaping
 - Street trees and "Full Tree Stocking" are provided along all high use and high visibility areas of the development in accordance with the standards of this section.
 - Ground cover areas in parking lots and at building foundations are also planted in accordance with the minimum requirements, with deciduous and evergreen shrubs, perennials and ornamental grasses used extensively. Trees are planted in the parking lot interior and perimeter in conformance with the minimum requirements and in conformance with the standards recommended with the Harmony Corridor design guidelines.

• Based on staff's recommendation, the landscape area provided along East Harmony Road exceeds the minimum planting requirements for screening vehicle use areas by providing a wide shrub bed that includes berms and landscape boulders, with the intent of providing an enhanced, higher quality landscape edge to compensate for the reduction in setback depth from 80 feet to 27 feet. As part of this enhancement, turf areas are kept to a minimum so that trees and shrubs can be placed in more naturalistic groupings, contributing to an attractive landscape edge that appears spacious and provides design continuity along the Harmony Road frontage.

B. Section 3.2.2 – Access, Circulation and Parking

A total of 26 off-street parking spaces are provided in accordance with the maximum quantity permitted in this section. The parking spaces and drive isles provided meet the minimum dimensional requirements in this section. In conformance with the *Purpose, General Standard and Development Standards* described in this section, the parking and circulation system provided with the project is well designed with regard to safety, efficiency and convenience for vehicles, bicycles, pedestrians and transit.

C. Section 3.2.2(C)(6) – Direct On-Site Access to Pedestrian and Bicycle Connections

A 6 foot sidewalk provides a direct connection from the building's entrance to the existing sidewalk along East Harmony Road in accordance with this section. Bicycle parking is planned in accordance with the minimum quantity and is placed appropriately near the building entrance.

D. Section 3.2.4 – Site Lighting

A photometric plan was submitted for the project that complies with the lighting levels and design standards of this section. Parking lot and drive lighting is provided by down-directional and sharp cut-off fixtures.

E. Section 3.2.5 – Trash and Recycling Enclosures

The project provides a fully screened trash enclosure with walk-in access to recycling and waste containers in accordance with the requirements of this section. The enclosure is finished with brick which provides a high quality appearance consistent with the building design.

F. Section 3.4.1 – Natural Habitats and Features

The Dixon Canyon Irrigation Lateral runs along the northern edge of the property and qualifies as a natural habitat feature. Because the project is within 500' of this natural habitat, a natural habitat buffer zone is provided along the northern boundary of the project. The existing ecological value of this habitat is low. A thin strip of vegetated wetlands exists along the north bank of the irrigation ditch, but it is not on the property.

The site has minimal habitat value due to prior development on the site, and there are no significant native trees or vegetation present. The property currently is only utilized by weedy and urban-adapted species. Weedy species such as cheat grass, Canada thistle, and field bindweed are the predominate vegetation. Urban-adapted species may occasionally use the site for foraging. One significant Siberian Elm is present at the northwestern corner of the property. No significant existing trees are proposed to be removed.

To meet the buffer standards associated with Section 3.4.1, the project proposes to apply the performance standards contained in Section 3.4.1(E) of the Land Use Code. Staff finds that the project meets the standards in Section 3.4.1 by incorporating additional native trees, shrubs, and grasses in the designated buffer area to enhance the existing low-value natural ecological characteristics present on this portion of the site.

G. Section 3.5.3 – Mixed-Use, Institutional and Commercial Buildings

The extensive articulation of the building form and generous use of brick and stone contribute to a high quality appearance that is consistent with the high quality architectural design required within the Harmony Corridor.

The overall building design provides a high level of quality that satisfies the commercial building requirements of this section. Variations in massing, juxtaposed materials and forms with varied patterns of recesses and projections provide vertical and horizontal interest, breaking down the overall scale of the building.

All building elevations provide a recognizable base and top treatment in accordance with Section 3.5.3(D)(6), with all areas of wall plane receiving a substantial base plane treatment to provide vertical relief and human scale. Entrance canopies and projecting roof elements are used to further articulate the building and provide a high level of detail.

H. Section 3.6.4 Transportation Level of Service Requirements

The Traffic Operations and Engineering Departments have reviewed the proposed project and have determined that the vehicular, pedestrian and bicycle facilities proposed with this P.D.P are consistent with the standards contained in Part II of the City of Fort Collins Multi-modal Transportation Level of Service Manual.

MODIFICATION OF STANDARD:

Land Use Code Modification Criteria:

"The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

(1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or

(2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or

(3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2. Geico Office Building, PDP #130039, and Modification of Standard to Section 4.26(E)(1). Administrative Hearing, May 14, 2014 Page 8

4. <u>Modification of Standard Request to Section 4.26(E)(1) Harmony Corridor</u> <u>Development Standards</u>

A. Description of the Modification:

The applicant has submitted a request for approval of a Modification of Standard to 4.26(E)(1) *Harmony Corridor Development Standards* requesting a reduction in the required <u>80 foot Harmony Road Setback Zone</u> to provide a <u>27 foot setback</u> <u>zone</u> in lieu of the 80 foot requirement.

B. The standard:

Section 4.26(E)(1) Harmony Corridor Development Standards. All development in the H-C Harmony Corridor District shall also comply with the <u>Harmony Corridor</u> <u>design standards</u> as adopted by the city...

The specific design standard described on page five of the Harmony Corridor Standards and Guidelines is as follows:

Developments located along the Harmony Road Frontage, east of Boardwalk Drive, shall provide a minimum 80 foot setback from the future edge of pavement, as determined by the City.

This area is referenced in the standards as the "setback zone." The purpose of this Harmony Road setback zone is to provide enough area between Harmony Road and adjacent development to create an attractive landscape that appears spacious and provides continuity along the Harmony Road Frontage.

C. Applicant's Justification:

The applicant has provided the following justification narrative:

"The property has several physical constraints. It is a shallow, 100' deep lot and the existing Dixon Canyon Ditch runs partially through the site, thus causing the parking area to be pushed towards Harmony Road. If the 80' setback were imposed, the remainder of the lot would be 35' wide, which would render the site infeasible."

"We feel that the granting of this modification of standard would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant."

"Justification:

- The proposed plan provides an enhanced landscape edge, using a combination of berms, boulders and a naturalistic plant palette in keeping with the Harmony Road streetscape.
- The setback as modified permits an underutilized parcel to be developed by building an attractive, desirable product in an infill site that the community can be proud of. Although not strictly a criteria for justification, the construction of the project would be a benefit to the neighborhood.
- The modification is minor when considered from the perspective of the entire development plan. The project is consistent with the LUC (Land Use Code) with appropriate building setbacks and enhanced architecture that provides appropriate scale, massing and detail. The resulting project enhances the character of the Harmony Corridor."

D. Staff Finding for the Modification:

Staff finds that the request for the Modification of Standard to Section 4.26(E)(1) *Harmony Corridor Development Standards* is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has a narrow depth of approximately 114 feet, as measured from the established edge of pavement along East Harmony Road, with approximately 26 feet of the 114 feet located within a natural habitat buffer zone along the northern boundary. Deducting the 26 foot buffer from the project's overall depth of 114 feet leaves 88 feet of depth

remaining for potential development of new structures, parking and circulation. The strict application of the 80 foot setback standard within this remaining 88 foot project depth represents an <u>exceptional physical condition and undue hardship</u> <u>not caused by the applicant</u> which would render the subject site infeasible for development of the proposed uses, which are permitted uses in the H-C zone district.

5. <u>Neighborhood Meeting</u>

Due to the uses proposed, a City neighborhood meeting was not required and a meeting was not held for the project.

6. <u>Findings of Fact/Conclusion</u>

In evaluating the Geico Office Building Project Development Plan, staff makes the following findings of fact:

A. The Modification of Standard to Section 4.26(E)(1) Harmony Corridor Development Standards is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good, and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has a narrow depth of approximately 114 feet, as measured from the established edge of pavement along East Harmony Road, with approximately 26 feet of the 114 feet located within a natural habitat buffer zone along the northern boundary. Deducting the 26 foot buffer from the project's overall depth of 114 feet leaves 88 feet of depth remaining for potential development of new structures, parking and circulation. The strict application of the 80 foot setback standard within this remaining 88 foot project depth represents an exceptional physical condition and undue hardship not caused by the applicant which would render the subject site infeasible for development of the proposed uses, which are permitted uses in the H-C zone district.

- B. The P.D.P. complies with the process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 – Administration.
- C. The P.D.P. complies with relevant standards located in Article 3 General Development Standards.
- D. The P.D.P. complies with relevant standards located in Division 4.26, Harmony Corridor District (H-C) of Article 4 – Districts.

RECOMMENDATION:

Approval of Geico Office Building, Project Development Plan, PDP #130039, and Modification of Standard to Section 4.26(E)(1).

ATTACHMENTS:

- 1. Statement of Planning Objectives
- 2. Applicant's Modification Request
- 3. Site and Landscape Plan
- 4. Building Elevations
- 5. Plat and Utility Plans
- 6. Lighting Plan
- 7. Ecological Characterization Study and staff summary review
- 8. Harmony Corridor Land Use Plan
- 9. Letters from residents



December 23, 2013

<u>Geico Office Building</u> Statement of Planning Objectives

This proposal is for a new office building to be located at 2024 East Harmony Road. Currently, there are two lots (2016 and 2024), which will be platted with into one lot with this PDP.

Uses surrounding the property consist of the following:

South: Harmony Village Shopping Center, Zoned HC West: Harmony Wellness Center, Zoned HC North: Harmony Half Acres Subdivision, Zoned UE East: Harmony School Shops, Zoned HC

The proposed building will contain approximately 6,600 sq. ft. of office space and is two stories in height. Main access to the site will utilize an existing (right-in /right-out only) entrance off of Harmony Road, which currently serves the Forever Young hair salon. 26 parking spaces will be provided for employees and visitors.

The .548-acre site is in the H-C zoning district. The area surrounding the Geico office building contains a mix of single-family homes, retail, shopping centers, and medical uses. The site is ideal for this type of use as it provides a high-quality building in an underutilized vacant infill site in Fort Collins. The proposed project is located within walking and biking distance to neighborhoods, restaurants, and shopping centers. There is an existing transit stop on Harmony Road in front of the site.

(i) Statement of appropriate City Plan Principles and Policies achieved by the proposed plan:

The Geico Office Building meets the following applicable City Plan Principles and Policies:

Economic Health

<u>Principle EH 4: The City will encourage the redevelopment of strategic areas within the community as defined in the Community and Neighborhood Livability and Neighborhood Principles and Policies.</u>

Policy EH 4.1 – Prioritize Targeted Redevelopment Areas Policy EH 4.2 – Reduce Barriers to Infill Development and Redevelopment

By building a new office building, Geico will continue to promote and sustain their local business thereby further enhancing the economic health of Fort Collins. This represents business retention for a business that is successful in Fort Collins.

Environmental Health

Principle ENV 19: The City will pursue opportunities to protect and restore the natural function of the community's urban watersheds and streams as a key component of minimizing flood risk, reducing urban runoff pollution, and improving the ecological health of urban streams.

Policy ENV 19.2 – Pursue Low Impact Development

The project is implementing LID by incorporating grass swales and pervious pavement, which will treat runoff from the new building.

Community and Neighborhood Livability

Principle LIV 38: Employment Districts will be the major employment centers in the community, and will also include a variety of complementary uses to meet the needs of employees. By design, they will be accessible to the City's multimodal transportation system and encourage walking, bicycling, car and van pooling, and transit use.

Policy LIV 38.1 – Mix of Uses Policy LIV 38.3 – Land Use Transitions Policy LIV 38.5 – Coordinate District Design Policy LIV 38.7 – Address Parking Policy LIV 38.8 – Provide Walkways and Bikeways

The proposed office building is a primary use located in a targeted activity center. The area surrounding the site contains a mix of residential, institutional, employment, office and retail. The visual impacts of the parking lot have been reduced by placing the parking to the side of the building and enhancing with landscaping.

Transportation

Principle T 9: Enhanced Travel Corridors will contain amenities and designs that specifically promote walking, the use of mass transit, and bicycling.

Policy T 9.1 – Locating Enhanced Travel Corridors

Principle T10: Using transit will be a safe, affordable, easy, and convenient mobility option for all ages and abilities. Policy T 10.1 – Transit Stops Policy T 10.6 – High Frequency Transit Service

Principle T11: Bicycling will be a safe, easy, and convenient mobility option for all ages and abilities

The location of this building and its proximity to Harmony and Timberline Roads will promote and support the idea of a predominance of the daily trips of the employees of this project utilizing alternative modes of transportation (walking/biking) or public transportation. The on-street bike lanes will help to encourage safe cycling. Both Harmony and Timberline Roads are designated as enhanced travel corridors and there is an existing Transfort stop on Harmony in front of the site.

- (ii) Description of proposed open space, wetlands, natural habitats and features, landscaping, circulation, transition areas, and associated buffering on site and in the general vicinity of the project. The site is adjacent to the Dixon Canyon Lateral irrigation ditch. There was an Ecological Characterization Report prepared and submitted to the City. We will determine the best way to treat the natural buffer zone during the review process.
- (iii) Statement of proposed ownership and maintenance of public and private open space areas; applicant's intentions with regard to future ownership of all or portions of the project development plan. The project will be owned by Steve Allen LLC. All maintenance for common areas, landscape, trash removal, stormwater infrastructure, and snow removal shall be performed by the property owner.
- (iv) Estimate of number of employees for business, commercial, and industrial uses.

The number of employees is estimated to be approximately 10-15.

(v) Description of rationale behind the assumptions and choices made by the applicant.

Our assumptions are based on the following rationale for the proposed office use:

Office Building – The motivation behind the new building was to relocate an existing insurance agency to a new building as well as provide Class A office space for lease. The site has been an eyesore for a number of years, so the improvements will create an attractive corner presence at the intersection of two busy streets.

(vi) The applicant shall submit as evidence of successful completion of the applicable criteria, the completed documents pursuant to these regulations for each proposed use. The planning Director may require, or the applicant may choose to submit, evidence that is beyond what is required in that section. Any variance from the criteria shall be described.

At this time the project is not proposing any variance from any City of Fort Collins criteria. See above for applicable criteria.

(vii) Narrative description of how conflicts between land uses or disturbances to wetlands, natural habitats and features and or wildlife are being avoided to the maximum extent feasible or are mitigated.

The site is adjacent to the Dixon Canyon Lateral irrigation ditch. There was an Ecological Characterization Report prepared and submitted to the City. We will determine the best way to treat the natural buffer zone during the review process.

- (viii) Written narrative addressing each concern/issue raised at the neighborhood meeting(s), if a meeting has been held. There was no neighborhood meeting.
- (ix) Name of the project as well as any previous name the project may have had during Conceptual Review. The project is called Geico Office Building. The project was referred to as 2024 Harmony Road – Insurance Office at Conceptual Review.



April 14, 2014

Administrative Hearing Officer c/o City of Fort Collins Current Planning Department 281 North College Ave. Fort Collins, CO 80524

Re: Geico Office Building

Please accept this request for a Modification of Standards to the **Harmony Corridor Standards and Guidelines**.

Background

This proposal is for a new office building to be located at 2024 East Harmony Road. Currently, there are two lots (2016 and 2024), which will be platted with into one lot with this PDP.

The proposed building will contain approximately 6,600 sq. ft. of office space and is two stories in height. Main access to the site will utilize an existing (right-in /right-out only) entrance off of Harmony Road, which currently serves the Forever Young hair salon. 26 parking spaces will be provided for employees and visitors.

The .548-acre site is in the H-C zoning district. The area surrounding the Geico office building contains a mix of single-family homes, retail, shopping centers, and medical uses. The site is ideal for this type of use as it provides a high-quality building in an underutilized vacant infill site in Fort Collins. The proposed project is located within walking and biking distance to neighborhoods, restaurants, and shopping centers. There is an existing transit stop on Harmony Road in front of the site.

Modification

The modification requested is for the **Harmony Corridor Standards and Guidelines** "General Standards and Guidelines" section regarding the Harmony Road Setback. The requirement is for all new developments east of Boardwalk Drive must provide a minimum 80 foot setback from the future edged of pavement.

The property has several physical constraints. It is a shallow, 100' deep lot and the existing Dixon Canyon Ditch runs partially through the site, thus causing the parking area to be pushed towards Harmony Road. If the 80' setback were imposed, the remainder of the lot would be 35' wide, which would render the site infeasible.

<u>Requested Modification:</u> Given the above, we request that the proposed setback be 27 feet instead of 80 feet.

Modification Criteria

We feel that the granting of this modification of standards would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

Justification

- The proposed plan provides an enhanced landscape edge, using a combination of berms, boulders and a naturalistic plant palette in keeping with the Harmony Road streetscape.
- The setback as modified permits a underutilized parcel to be developed by building an attractive, desirable product in an infill site that the community can be proud of. Although not strictly a criteria for justification, the construction of the project would be a benefit to the neighborhood.
- The modification is minor when considered from the perspective of the entire development plan. The project is consistent with the LUC with appropriate building setbacks and enhanced architecture that provides appropriate scale, massing and detail. The resulting project enhances the character of the Harmony Corridor.

Vicinity Map:



Owner's Certification of Approval:

____, 20____

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN. IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS THE ______ DAY

NOTARIAL CERTIFICATE STATE OF COLORADO) COUNTY OF _____) THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY_ THIS _____ DAY OF _____ ___, 20____

MY COMMISSION EXPIRES: NOTARY PUBLIC

(SEAL)

OF _____

Planning Approval:

BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO THIS _____ DAY OF ____ _ A.D. 20_____.

DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES



Site Plan



General Notes:

- 1. ALL SIGNS SHALL BE REQUIRED TO APPLY FOR SIGN PERMIT. AND PROPOSED GRADES.
- EQUIVALENT TO THAT CONDITION PRIOR TO START OF WORK.

- 10. OUTDOOR STORAGE IS PROHIBITED.
- 11. HOURS OF OPERATION FOR DELIVERIES AND PICK-UPS ARE 8 A.M. TO 5 P.M., MONDAY THROUGH FRIDAY.

SCHEDULED WORK AT 811 OR 1-800-922-1987.

- OF THE FIRST CERTIFICATE OF OCCUPANCY.
- 13. ALL BUILDING AND POLE-MOUNTED LIGHT FIXTURES SHALL BE SHIELDED AND DOWN-DIRECTIONAL.
- 14. GROUND MOUNTED AND BUILDING MOUNTED HVAC UNITS WILL BE SCREENED FROM VIEW.
- 15. PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.

BIKE RACK



- 1. CONTRACTOR TO OBTAIN ALL INSTALLATION AND STRUCTURAL INFORMATION OR DRAWINGS FROM MANUFACTURER PRIOR TO INSTALLATION.
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT ALL NECESSARY PERMIT DOCUMENTS IF REQUIRED.
- 3. CONTRACTOR TO SUBMIT PRODUCT INFORMATION FOR OWNER'S REVIEW AND APPROVAL PRIOR TO ORDERING
- 4. COORDINATE FINAL LOCATION OF ALL FURNISHINGS WITH OWNER PRIOR TO FINAL INSTALLATION / MOUNTING.
- 5. SUBSTITUTIONS ARE ALLOWED, FOR SPECIFIED PRODUCTS THAT ARE NO LONGER AVAILABLE, OR IF A SUBSTANTIAL COST SAVINGS CAN BE REALIZED FOR THE OWNER BY USE OF AN ALTERNATE AND EQUAL PRODUCT. IF SUCH SUBSTITUTION OCCURS IT MUST BE SUBMITTED IN WRITING AND APPROVED BY THE OWNER AND ANY GOVERNING AGENCIES.

Legend HANDICAP PARKING S (5) EASEMENT LINE -----PROPERTY LINE **BIKE RACK _____** PARKING LOT LIGHT P • 2. PROPOSED GRADES SHALL MATCH OR IMPROVE EXISTING GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING WHILE PROVIDING A SMOOTH TRANSITION BETWEEN ALL ADJACENT UNDISTURBED GRADES

3. JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.

4. SOILS DISTURBED ADJACENT TO WORK AREA, INCLUDING AREAS OUTSIDE OF CONSTRUCTION LIMITS, DUE TO NEW CONSTRUCTION ARE TO BE REGRADED AND SURFACE CONDITIONS REPAIRED AND SEEDED

5. PROTECT EXISTING SURFACES BOTH INSIDE AND OUTSIDE OF CONSTRUCTION LIMITS, DURING CONSTRUCTION. IF GRADES, CONCRETE OR ASPHALT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS OR WEATHER THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO THAT EQUIVALENT TO EXISTING CONDITIONS AT NO EXPENSE TO THE OWNER / CITY

6. CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.

7. THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT CONSIDERED OR CHANGED AFTER PLANS WERE SUBMITTED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE CITY OF FORT COLLINS IF SITUATION ARISES AND REVISIONS ARE NECESSARY.

8. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.

9. THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE

12. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE



PRE-ENGINEERED LANDSCAPE WALL -MAX HEIGHT 32"

- 1. CONTRACTOR TO OBTAIN ALL INSTALLATION AND STRUCTURAL INFORMATION OR DRAWINGS FROM MANUFACTURER PRIOR TO INSTALLATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO 2 SUBMIT ALL NECESSARY PERMIT DOCUMENTS IF REQUIRED.
- 3. CONTRACTOR TO SUBMIT PRODUCT INFORMATION AND COLOR SAMPLES FOR OWNER'S REVIEW AND APPROVAL PRIOR TO ORDERING
- 4. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO FINAL INSTALLATION.
- SUBSTITUTIONS ARE ALLOWED, FOR SPECIFIED PRODUCTS THAT ARE NO LONGER AVAILABLE, OR IF A SUBSTANTIAL COST SAVINGS CAN BE REALIZED FOR THE OWNER BY USE OF AN ALTERNATE AND EQUAL PRODUCT. IF SUCH SUBSTITUTION OCCURS IT MUST BE SUBMITTED IN WRITING AND APPROVED BY THE OWNER AND ANY GOVERNING AGENCIES.

	EXISTING ZONING:	HC-HARMONY CORF	RIDOR		
	GROSS LAND AREA:	23,881 SF 0.	548 AC		ia iuscape arci illecture piarir ili ing filiustration
	NUMBER OF BUILDINGS:	1			444 Mountain Ave. те. 970.532.5891
	LAND USE:	OFFICE, MEDICAL O	FFICE, PERS	ONAL SERVICE SHOP	Berthoud,CO 80513 WEB TBGroup.us
	TOTAL BUILDING GROSS S.F.:	6,600 SF			
	MAXIMUM BUILDING HEIGHT:	40'-0"			SEAL
	TOTAL STORIES:	2			
	FLOOR AREA RATIO:	6.4 : 1 F.A.R.			
	GROSS AREA COVERAGE				
		SQUARE FEET	ACRES	% OF	
	BUILDING FOOTPRINTS	3,707	0.091	16%	
	LANDSCAPE AREA	10,472	0.240	44%	
	PAVED DRIVE AND PARKING	9,085	0.209	38%	
	SIDEWALKS/HARDSCAPE	617	0.014	2%	PROJECT TITLE
	TOTAL AREA:	23,881	0.548	100%	GEICO OFFICE BUILDING
	OFF-STREET PARKING:				2024 E Harmony Rd
	PER LUC SECTION 3.2.2(K)(2)(a):				
	USE:	REQUIR	ED: PF	ROVIDED:	
	OFFICE (2,000 S.F. @ 3/1000	6		6	
	MEDICAL OFFICE (3,300 S.F. @ 4.5/1	000) 15	5	15	
	PERSONAL SERVICE SHOP (1,300 S	.F. @ 4/1000 5		5	
	TOTAL SPACES	26	3	26	Fort Collins, Colorado
	BICYCLE PARKING :				Steve Allen
	REQUIRED:				115 East Harmony Road
	6,600 S.F. @ 4/1000	4 SPACES (1 ENCLO	SED/3 EIXE	וח	Suit 110
	PROVIDED: FIXED RACKS ENCLOSED	4 SPACES 1 SPACES		_ ,	Fort Collins, CO 80525 (970)221-5230
	Legal Description:				
ALL	LOT 1, HARMONY LAWSER SUBDIV LOCATED IN THE SOUTHEAST QU/ RANGE 68 WEST OF THE 6TH P.M., LARIMER, STATE OF COLORADO, E FOLLOWS:	ARTER OF SECTION 31, T CITY OF FORT COLLINS	OWNSHIP	7 NORTH, DF	
	CONSIDERING THE SOUTH LINE O AS BEARING NORTH 89° 31' 41" WE HEREIN RELATIVE THERETO:				
DLE	COMMENCING AT THE SOUTHEAS THE SOUTH LINE OF THE SOUTHE 41" WEST, 109.91 FEET; THENCE, N ON THE NORTH RIGHT-OF-WAY LIN BEING THE POINT OF BEGINNING; 31' 41" WEST, 208.96 FEET TO THE LAWSER SUBDIVISION; THENCE AI 01° 30' 04" WEST, 100.37 FEET TO T THENCE ALONG THE NORTH LINE FEET; THENCE, SOUTH 89° 24' 31" EAST, 43.61 FEET TO A POINT ON ROAD; THENCE ALONG SAID WEST THENCE, SOUTH 44° 56' 29" WEST,	AST QUARTER OF SECT IORTH 00° 28' 19" EAST, NE OF EAST HARMONY F THENCE ALONG SAID NO SOUTHWEST CORNER (ONG THE WEST LINE OF THE NORTHWEST CORNI OF SAID LOT 1, SOUTH & EAST, 59.98 FEET; THEN THE WEST RIGHT-OF-WA T LINE, SOUTH 00° 22' 43' 42.53 FEET TO THE POIL	ION 31, NOF 30.00 FEET ROAD, SAID ORTH LINE, DF LOT 1, H. F SAID LOT ER OF SAID 39° 21' 30" E CE, NORTH Y LINE OF ' WEST, 83. NT OF BEGI	RTH 89° 31' TO A POINT POINT NORTH 89° ARMONY 1, NORTH LOT 1; AST, 140.90 71° 18' 40" TIMBERLINE 73 FEET;	

CALL UTILITY NOTIFICATION CENTER OF 81

Know what's below Call before you dig. CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YO DIG, GRADE, OR EXCAVATE FOR THE MARKING O UNDERGROUND MEMBER UTILITIES.

REVISIONS	DATE
STAFF COMMENTS	03-27-14

12-23-13

DATE____

SHEET TITLE

Site Plan

SHEET INFORMATION

LS 00

Sheet Index:

SHEET LS 00 SHEET LS 1 SHEET LS 2

SITE PLAN, NOTES, DETAILS LANDSCAPE PLAN LANDSCAPE NOTES/DETAILS





Existing Tree Schedule

COMMON NAME	SIZE	CONDITION	TO BE REMOVED	MITIGATION REQUIRED
1. MULBERRY	17"	FAIR	NO	NO
2. COLORADO SPRUCE	11"	FAIR / POOR	NO	NO
3. COLORADO SPRUCE	16"	FAIR	NO	NO
4. COLORADO SPRUCE	5"	FAIR	NO	NO
5. COLORADO SPRUCE	13"	FAIR	NO	NO
6. COLORADO SPRUCE	8"	POOR	NO	NO
7. GREEN ASH	5"	POOR	NO	NO
8. COLORADO SPRUCE	13"	FAIR	NO	NO
9. COLORADO SPRUCE	8"	POOR	NO	NO
10. GREEN ASH	7"	FAIR	NO	NO
11. BLACK WALNUT	12"	FAIR	NO	NO
12. GREEN ASH	5"	POOR	NO	NO
13. GREEN ASH	5"	POOR	NO	NO
14. BLACK WALNUT	14"	POOR / FAIR	NO	NO
15. GREEN ASH	8"	POOR	YES	YES-1
15. GREEN ASH	8"	POOR	YES	YES-1
16. GREEN ASH	8"	POOR	NO	NO
17. SIBERIAN ELM	11"	VERY POOR	YES-REQUIRED	NO
18. JUNIPER / CEDAR	18"	FAIR	YES	YES-3

TOTAL MITIGATION 5 TREES

Annual Hydrozone Table

ZONE	AREA	WATER USE
HIGH	N/A	18 GAL/SF
MODERATE	2,000 SF	10 GAL/SF
LOW	4,535 SF	3 GAL/SF
VERY LOW	4,710 SF	0 GAL/SF
TOTAL / AVERAGE	11,245 SF	33,605 GAL

Irrigation Notes

- WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- WITH EXISTING SITE CONDITIONS AND PLANT MATERIAL.
- REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALLOW FUTURE USE AND LOCATION.

WOOD MULCH - HARVEST BROWN MINIMUM 4" DEPTH OVER WEED BARRIER

GALLONS

20,000 GAL.

0 GAL.

13,605 GAL.

3.0 GAL/SF

0 GAL

4,710 SF NON-IRRIGATED NATIVE GRASS MIX ARKANSAS VALLEY SEED MIX - SEE NOTES OR APPROVED EQUAL

LANDSCAPE

NOTE: THE OBJECTIVE OF THE BUFFER ZONE IS TO PROTECT THE ECOLOGICAL CHARACTER OF THE NATURAL HABITAT FROM THE IMPACTS OF THE ACTIVITIES ASSOCIATED WITH THE DEVELOPMENT AND SHOULD BE MAINTAINED AS A NATIVE

PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE

1. ENTIRE IRRIGATION SYSTEM AND ASSOCIATED IRRIGATION TAP(S) TO BE SIZED, DESIGNED BY A PROFESSIONAL IRRIGATION CONSULTANT AND SUBMITTED AS A PART OF THE BUILDING PERMIT PROCESS AND SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM. IF NECESSARY CONTACT THE WATER DISTRICT PRIOR TO BEGINNING DESIGN TO OBTAIN AVAILABLE PRESSURES.

2. ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25 FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.

3. ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF IRRIGATED TURF AREAS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP OR BUBBLER IRRIGATION SYSTEM. 4. IRRIGATION SYSTEM WITH RAIN SENSOR SMART CONTROLLER AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW

5. QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLES SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.

6. FINAL LOCATION OF IRRIGATION HEADS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. HEAD LOCATION SHALL BE COORDINATED IN THE FIELD

7. ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE

8. COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.

9. ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO

Plant Lis	t							
KEY	QTY	RATIO	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	SIZE	INSTALLATION NOTES
ADE / CANOPY	TREES -	10						
ОВ	3	17.6%	OAK, BURR	Quercus macrocarpa	60'	50'	2.0" cal. BB	BALANCED, WELL BRANCHED W STRAIGHT TRUNK & CENTRAL LEADER
OE	4	23.5%	OAK, ENGLISH	Quercus robur	60'	40'	1.5" cal. BB	BALANCED, WELL BRANCHED W STRAIGHT TRUNK & CENTRAL LEADER
RO	3	17.6%	OAK, SHUMARD RED	Quercus shumardii	50'	50'	2" cal. BB	BALANCED, WELL BRANCHED W STRAIGHT TRUNK & CENTRAL LEADER
VERGREEN TRE	ES -	3						
multimeter and a second and as second and a	2	11.8%	PINE, BOSNIAN	Pinus heldreichii	12'	25'	20 Gallon	4'-6' BALANCED, WELL BRANCHEI
MAN ANA	1	5.9%	SPRUCE, BAKERI	Picea pungens 'Bakeri'	35'	20'	6'-8' BB	FULL SPECIMEN, EVENLY AND WELL BRANCHED W/ STRAIGHT TRUNK & TOP LEADER
RNAMENTAL TR	EES -	4						
JLT	3	17.6%	LILAC, JAPANESE LILAC TREE	Syringa reticulata	20'	20'	6' Multi- Stem	BALANCED, WELL BRANCHED W STRAIGHT TRUNK & CENTRAL LEADER
D.	1	5.9%	CRABAPPLE, SPRING SNOW	Malus spp. 'Spring Snow'	20'	20'	1.5" cal. BB	BALANCED, WELL BRANCHED W STRAIGHT TRUNK & CENTRAL LEADER
VERGREEN SHR	UBS -	38						
No.	19	-	JUNIPER, BLUE CHIP	Juniperus horizontalis 'Blue Chip'	1'	6'	5 Gallon	6" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
Ö	19	.=.	JUNIPER, ARCADIA	Juniperus sabina 'Arcadia'	2.5'	5'	5 Gallon	12" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
ECIDUOUS SHRU	JBS -	85						
+	11	-	DOGWOOD, CARDINAL	Cornus stolonifera	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
0	19	-	LILAC, DWARF KOREAN	Syringa meyeri 'Palibin'	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
GNM	3	-	MAPLE, TARTARIAN	Acer tataricum	15'	15'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
+	9	-	PLUM, AMERICAN	Prunus americana	15'	10'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
Ś	3	2	PLUM, PURPLE LEAF	Prunus x cistena	8'	6'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
•	6		ROSE, RED KNOCK-DOUBLE RED	Rosa knock-out 'RadTKO'	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
Ø	11	-	SANDCHERRY, CREEPING	Prunus besseyi 'Pawne Buttes'	18"	5'	5 Gallon	12" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
Θ	14	-	SUMAC, THREE-LEAF	Rhus trilobata	5'	5'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
A	9	-	CHOKECHERRY, NATIVE	Prunus verginiana melanocarpa	12'	12'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
ERENNIALS / GR	ASSES -	141						
Ø	41	-	GRASS, FEATHER REED	Calamagrostis acutiflora 'Karl Foerster'	4'	2'	1 Gallon	WELL ROOTED AND ESTABLISHED
8	70	~	GRASS, FESCUE BOULDER BLUE	Festuca gluaca 'Boulder Blue	12"	1'	1 Gallon	WELL ROOTED AND ESTABLISHED
8	30	-	GRASS, HEAVY METAL BLUE SWITCH	Panicum virgatum 'Heavy Metal'	3'	18"	1 Gallon	WELL ROOTED AND ESTABLISHED





Landscape Notes

- 1. LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE.
- 2. ANY DISCREPANCIES WITH THE DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH CONSTRUCTION. 3. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- 4. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES 48 HRS. PRIOR TO ANY EXCAVATION OR PLANTING.
- 5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- 6. PER THE CODE REQUIRED TREE UTILITY SEPARATIONS IN 3.2.1 K. STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET AND FIFTEEN (15) FEET RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER MAIN LINES, FOUR (4) FEET FROM GAS, SIX (6) FEET FROM STORM SEWER LINES, SIX (6) FEET FROM WATER AND SEWER SERVICE LINES AND EIGHT (8) FEET FROM ANY DRIVEWAY OR CURBCUT. TREE/UTILITY AND TRAFFIC CONTROL DEVICE SEPARATIONS SHALL NOT BE USED AS A MEANS OF AVOIDING THE PLANTING OF REQUIRED STREET TREES 7. MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTED IN FRONT OF FDC.
- 8. ANY OBJECT WITHIN THE SIGHT DISTANCE EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. SUCH OBJECTS INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS, OR TALL CROPS. MAILBOX CLUSTERS MUST BE INSTALLED A MINIMUM OF 2 FEET FROM BACK OF WALK AND NOT CAUSE ANY SIGHT OBSTRUCTION. IN NO CASE SHALL ANY PERMANENT OBJECT ENCROACH INTO THE LINE-OF-SIGHT OF ANY PART OF THE SIGHT-DISTANCE TRIANGLE. STREET TREES REQUIRED ARE EXCEPTED FROM THIS REQUIREMENT. TREES ARE PERMITTED IF PRUNED UP TO 8 FEET. IN ADDITION TO THE SIGHT DISTANCE TRIANGLE REQUIREMENTS, A CLEAR SPACE ZONE IS REQUIRED WITHIN ALL CURB RETURNS (MEASURED FROM POINT OF CURB TO POINT OF CURB RETURN) WHERE NO TREES, SHRUBS, AESTHETIC STRUCTURES/FEATURES, MONUMENT SIGNS, OR OBJECTS THAT HAVE THE POTENTIAL TO HINDER DRIVER VISIBILITY, AND/OR PEDESTRIAN AND BICYCLE SAFETY, ARE ALLOWED. SEE LARIMER COUNTY URBAN AREA STREET STANDARDS SECTION 7.4.1.C. FOR ADDITIONAL INFORMATION.
- 9. IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY WITH OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT.
- 10. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- 11. EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
- 12. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOSED GRADES
- 13. PRIOR TO FINE GRADING, DURA-TURF TALL FESCUE SOD OR DURA-TURF TALL FESCUE SEEDED AREAS AND PLANTING BEDS, SHALL BE THOROUGHLY LOOSENED AND TILLED TO A 6" DEPTH. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIRECTION, ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS.
- 14. AFTER FINE GRADING AND REMOVAL OF UNSUITABLE MATERIALS THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA.
- 15. UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT OUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- 16. ONCE COMPACTED AND FINE GRADED ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE AND REMOVED FROM SITE. 17. DURA-TURF TALL FESCUE BLEND TO BE 100% COLORADO GROWN SPECIFICALLY FOR LOW WATER LAWN APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM. ONCE
- TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATION. 18. BLUEGRASS BLEND TO BE 100% COLORADO GROWN SPECIFICALLY FOR LOW WATER AND HIGH TRAFFIC LAWN APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM.
- ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATION 19. ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT FOR NUMBER ONE GRADE.
- 20. IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS MUST BE REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE CITY.
- 21. CHANGES IN PLANT SPECIES OF PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE CITY PRIOR TO INSTALLATION OF REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- 22. A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- 23. THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN APPROVAL BY THE CITY FORESTER FOR STREET TREES IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF THE DEVELOPMENT.
- 24. STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR. THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, OF AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- 25. ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED.
- 26. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED
- 27. ALL PLANT MATERIAL SHALL HAVE WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BIODEGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT, PRIOR TO PLANTING PER PLANTING DETAILS THIS SHEET.
- INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4' O.C. IN ALL DIRECTIONS.
- 29. EDGING BETWEEN GRASS TYPES AND SHRUB BEDS / ROCK COBBLE SHALL BE HEAVY DUTY STEEL EDGER MIN. 1/8" X 4" WITH MACHINE ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN CEDAR MULCH AND COBBLE TRANSITIONS.
- 30. ALL LANDSCAPING MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION REMAINING OF THE MATERIALS AND LABOR PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY.

CEDAR MULCH RING TO BE TWICE DIAMETER OF ROOT BALL - 2" DEPTH — TOP OF ROOT CROWN TO BE 1' HIGHER THAN FINISH GRADE KEEP MULCH LAYER AWAY FROM FOLIAGE MULCH - SEE NOTES - 5" DEPTH MAXIMUM - REMOVE CONTAINER AND SCARIFY SURFACE OR OPEN, CUT & REMOVE BURLAP - SLOW RELEASE FERTILIZER TABLET (TYP. - BACKFILL W/ 2/3 NATIVE SOIL & 1/3 COMPOST. THOROUGHLY WATER SETTLE EXISTING -PLANTING HOLE SOIL TO BE 6" LARGER THAN DIA OF ROOTBALL FOR GROUNDCOVER SECTION 12" LARGER THAN DIA. OF ROOTBAL FOR SHRUBS **GROUND COVER & SHRUB PLANTING DETAIL**

28. ALL SHRUB BEDS SHALL HAVE MINIMUM 4" DEPTH SHREDDED CEDAR MULCH - NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. A CONTINUOUS LAYER OF TYPAR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE

Tree Protection Notes

- 1. IF SIGNIFICANT TREES WILL BE REMOVED, PROVIDE FOR MITIGATION AS EXPLAINED IN LUC 3.2.1 F. CONTACT THE CITY FORESTER TO PROVIDE MITIGATION NUMBERS FOR ANY SIGNIFICANT TREES THAT WILL BE REMOVED.
- 2. HEAVY EQUIPMENT SHOULD NOT BE ALLOWED TO COMPACT OVER THE SOIL OVER THE ROOT ZONE OF PROTECTED EXISTING TREES.
- 3. AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID DAMAGE.
- 4. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTH FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE THE ROOTS HAVE A CHANCE TO DRY OUT AND WATER THE TREE IMMEDIATELY.
- 5. PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE ORANGE PROTECTION BARRIER FENCING ERECTED, WHICH AS A MINIMUM ARE SUPPORTED BY I" X I" OR SIMILAR STURDY STOCK, FOR SHIELDING OF PROTECTED TREES, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE HALF (I /2) OF THE DRIP LINE WHICH EVER IS GREATER. WITHIN THIS PROTECTION ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, FILL OR CUT UNLESS APPROVED BY THE CITY FORESTER.
- 6. ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS
- . WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- 8. DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF FOUIPMENT OR MATERIAL OR THE STORAGE OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS OILS SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE, WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- 9. NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- 10. TREE PRUNING AND REMOVAL SHALL BE BY A BUSINESS HOLDING A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE. EXISTING ASH TREES ALONG PROSPECT STREET WILL BE PRUNED BY A LICENSED PRIVATE ARBORIST TO IMPROVE SAFETY, TREE HEALTH AND AESTHETICS. LOW CANOPY GROWTH WILL BE PRUNED FOR CITY SIGHT DISTANCE STANDARDS
- 11. LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROADS, RIGHTS OF WAY AND UTILITY EASEMENTS MAY BE 'RIBBONED OFF,' RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) OF LUC 3.2.1. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- 12. THE INSTALLATION OF UTILITIES, IRRIGATION LINE OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW.

TREE DIAMETER AT BREAST HEIGHT (INCHES)	AUGER DISTANCE FORM FACE OF TREE (FEET)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
OVER 19	15



SHIFTING, TYPICAL

2. STONES TO BE ANGULAR, BUFF COLORED, MASONVILLE SANDSTONE FROM CARTER LAKE INDUSTRIES, SIZE AND LOCATION PER PLAN AND DETAILS



Native Grass Seed Mix

- 1. SEED SHALL BE AS MANUFACTURED BY PAWNEE BUTTE SEED, INC OR ARKANSAS VALLEY SEEDS.
- 2. SEED SHALL BE A MIXTURE THAT MATCHES THE FOLLOWING:

COMMON NAME	%	LBS.P.L.S./ACRE
SIDEOATS GRAMA	17.5%	2.8
BUFFALOGRASS	38.8%	6.2
BLUE GRAMA	3.7%	0.6
INLAND SALTGRASS	5.6%	0.9
BOTTLEBRUSH SQUIRRELTAIL	11.3%	1.8
PRAIRIE JUNEGRASS	1.2%	0.2
WESTERN WHEATGRASS	20.0%	3.2
ALKALI SACATON	1.9%	0.3

- 3. DRILLED APPLICATION RATE: 16.0 LBS (PLS) PER ACRE (0.37 LBS / 1000 SF) IN TWO PERPENDICULAR DIRECTIONS.
- 4. NATIVE SEED AREAS: ADEQUATE TEMPORARY IRRIGATION OR BY WATER TRUCK WILL BE PROVIDED FOR THE ESTABLISHMENT AND MAINTENANCE FOR THESE SEEDED AREAS, AND THAT NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS, TRASH AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.

MULCH IN ALL NATIVE SEED AREAS:

- 1. IMMEDIATELY FOLLOWING THE RAKING OPERATION, ADD STRAW MULCH TO THE SEEDED AREAS.
- 2. APPLY STRAW MULCH AT A MINIMUM OF 1.5 TONS PER ACRE OF AIR DRY MATERIAL. SPREAD STRAW MULCH UNIFORMLY OVER THE AREA WITH MECHANICAL MULCH SPREADER / CRIMPER. DO NOT MULCH WHEN WIND VELOCITY EXCEEDS 10 MPH.
- 3. WHEREVER THE USE OF CRIMPING EQUIPMENT IS PRACTICAL. PLACE MULCH IN THE MANNER NOTED ABOVE AND ANCHOR IT INTO THE SOIL. USE A DISC SUCH AS A MULCH TILLER, WITH A FLAT SERRATED DISC AT LEAS ¼ INCH IN THICKNESS, HAVING DULL EDGES, AND SPACE NO MORE THAN 9 INCHES APART, WITH DISCS OF SUFFICIENT DIAMETER TO PREVENT THE FRAME OF THE EQUIPMENT FROM DRAGGING THE MULCH. ANCHOR MULCH A MINIMUM DEPTH OF 2 INCHES AND ACROSS THE SLOPE WHERE PRACTICAL WITH NO MORE THAN TWO PASSES OF THE ANCHORING EQUIPMENT.
- 4. IMMEDIATELY UPON COMPLETION OF THE MULCHING AND BINDING OPERATION, THE SEEDED AREAS SHALL BE IRRIGATED, KEEPING THE TOP 2 INCHES OF SOIL EVENLY MOIST UNTIL SEED HAS UNIFORMLY GERMINATED AND GROWN TO A HEIGHT OF 2-INCHES.
- 5. WATERING APPLICATION SHALL BE DONE IN A MANNER WHICH WILL PROVIDE UNIFORM COVERAGE BUT WHICH WILL NOT CAUSE EROSION, MOVEMENT, OR DAMAGE TO THE FINISHED SURFACE.

- BOULDER TO BE SET IN 18" MIN. WDITH GRADE AND LEVELED LANDSCAPE ARCHITECT - 6" CONCRETE MOW JOINT SEALER CAULK, -STRIP ALL SIDES TYPICAL FOR ADJACENT TO TURF EXPANSION JOINT AT ALL SIDEWALKS SIDEWALK MIN 5' **EXPANSION JOINT -**- COMPACTED SUBGRADE

PROJECT TITLE

GEICO OFFICE BUILDING 2024 E Harmony Rd

Fort Collins, Colorado

PREPARED FOR Steve Allen

115 East Harmony Road Suit 110 Fort Collins, CO 80525 (970)221-5230



	DAIL
STAFF COMMENTS	03-27-14

12-23-13

SHEET TITLE

Landscape Notes

SHEET INFORMATION

landscape architecture | planning | illustration

444 Mountain Ave. | TEL 970.532.5891 Berthoud, CO 80513 | WEB TBGroup.us

SEAL





VIEW FROM SOUTHEAST PDP1 SCALE:



GENERAL NOTES:

MATCH BUILDING.

1. ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE PAINTED TO



PDP1















METAL SEAMLESS GUTTER TO MATCH FASCIA

METAL OR FIBER CEMENT FASCIA BOARD -BEIGE/GRAY

WARM GRAY



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ARMONY

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OLLINS

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BUILDING ELEVATIONS



GEICO OFFICE BUILDING BEING A REPLAT OF LOT 1, HARMONY LAWSER SUBDIVISION, TOGETHER WITH A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31 TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

STATEMENT OF OWNERSHIP AND SUBDIVISION

Know all persons by these presents, that the undersigned owner(s) of the following described land:

Lot 1, Harmony Lawser Subdivision, together with a tract of land located in the Southeast Quarter of Section 31, Township 7 North, Range 68 West of the 6th P.M., City of Fort Collins, County of Larimer, State of Colorado, being more particularly described as follows:

Considering the South line of the Southeast Quarter of Section 31 as bearing North 89° 31' 41" West and with all bearings contained herein relative thereto:

Commencing at the Southeast Quarter of Section 31; thence along the South line of the Southeast Quarter of Section 31, North 89° 31' 41" West, 109.91 feet; thence, North 00° 28' 19" East, 30.00 feet to a point on the North right-of-way line of East Harmony Road, said point being the POINT OF BEGINNING; thence along said North line, North 89° 31' 41" West, 208.96 feet to the Southwest corner of Lot 1, Harmony Lawser Subdivision; thence along the West line of said Lot 1, North 01° 30' 04" West, 100.37 feet to the Northwest corner of said Lot 1; thence along the North line of said Lot 1, South 89° 21' 30" East, 140.90 feet; thence, South 89° 24' 31" East, 59.98 feet; thence, North 71° 18' 40" East, 43.61 feet to a point on the West right-of-way line of Timberline Road; thence along said West line, South 00° 22' 43" West, 83.73 feet; thence, South 44° 56' 29" West, 42.53 feet to the Point of Beginning.

Contains 23,881 square feet or 0.548 acres, more or less.

For themselves and their successors in interest (collectively "Owner") have caused the above described land to be surveyed and subdivided into lots, tracts and streets as shown on this Plat to be known as GEICO OFFICE BUILDING (the "Development"), subject to all easements and rights-of-way now of record or existing or indicated on this Plat. The rights and obligations of this Plat shall run with the land.

CERTIFICATE OF DEDICATION:

The Owner does hereby dedicate and convey to the City of Fort Collins, Colorado (hereafter "City"), for public use, forever, a permanent right-of-way for street purposes and the "Easements" as laid out a designated on this Plat; provided, however, that (1) acceptance by the City of this dedication of Easements does not impose upon the City a duty to maintain the Easements so dedicated, and (2) acceptance the City of this dedication of streets does not impose upon the City a duty to maintain streets so dedicated until such time as the provisions of the Maintenance Guarantee have been fully satisfied. The streets dedicated on this Plat are the fee property of the City as provided in Section 31-23-107 C.R.S. The City's rights under the Easements include the right to install, operate, access, maintain, repair, reconstruct, remove and replace within the Easements public improvements consistent with the intended purpose of the Easements; the right to install, maintain and use gates in any fences that cross the Easements; the right to mark the location of the Easements with suitable markers; and the right to permit other public utilities to exercise these same rights. Owner reserves the right to use the Easements for purposes that do not interfere with the full enjoyment of the rights hereby granted. The City is responsible for maintenance of its own improvements and for repairing any damage caused by its activities in the Easements, but by acceptance of this dedication, the City does not accept the duty of maintenance of the Easements, or of improvements in the Easements that are not owned by the City. Owner will maintain the surface of the Easements in a sanitary condition in compliance with any applicable weed, nuisance or other legal requirements.

Except as expressly permitted in an approved plan of development or other written agreement with the City, Owner will not install on the Easements, or permit the installation on the Easements, of any building, structure, improvement, fence, retaining wall, sidewalk, tree or other landscaping (other than usual and customary grasses and other ground cover). In the event such obstacles are installed in the Easements, the City has the right to require the Owner to remove such obstacles from the Easements. If Owner does not remove such obstacles, the City may remove such obstacles without any liability or obligation for repair and replacement thereof, and charge the Owner the City's costs for such removal. If the City chooses not to remove the obstacles, the City will not be liable for any damage to the obstacles or any other property to which they are attached.

The rights granted to the City by this Plat inure to the benefit of the City's agents, licensees, permittees and assigns.

OWNER:

	BY: Name: Title:			
STATE OF COLORADO))SS COUNTY OF LARIMER)				
The foregoing instrument was acknowledged before of		, 20, by	, as	
Witness my hand and official seal				
My commission expires:				
Notary Public				
LIENHOLDER:				
	BY: Name: Title:			
STATE OF COLORADO))SS COUNTY OF LARIMER)				
The foregoing instrument was acknowledged before r		, 20, by	,	
Witness my hand and official seal				
My commission expires:				
Notary Public				

MAINTENANCE GUARANTEE

The Owner hereby warrants and guarantees to the City, for a period of two (2) years from the date of completion and first acceptance by the City of the improvements warranted hereunder, the full and complete maintenance and repair of the improvements to be constructed in connection with the Development which is the subject of this Plat. This warranty and guarantee is made in accordance with the City Land Use Code and/or the Transitional Land Use Regulations, as applicable. This guarantee applies to the streets and all other appurtenant structures and amenities lying within the rights-of-way, Easements and other public properties, including, without limitation, all curbing, sidewalks, bike paths, drainage pipes, culverts, catch basins, drainage ditches and landscaping. Any maintenance and/or repair required on utilities shall be coordinated with the owning utility company or department.

The Owner shall maintain said improvements in a manner that will assure compliance on a consistent basis with all construction standards, safety requirements and environmental protection requirements of the City. repair, or cause to be corrected and repaired, all damages to said improvements resulting from development-related activities. In the event the Owner fails to correct any damages within thirty (30) days after written notice thereof, then said damages may be corrected by the City and all costs and charges billed to and paid by the Owner. The City shall also have any other remedies available to it as authorized by law. Any damages which occurred prior to the end of said two (2) year period and which are unrepaired at the termination of said period shall remain the responsibility of the Owner.

REPAIR GUARANTEE

In consideration of the approval of this final Plat and other valuable consideration, the Owner does hereby agree to hold the City harmless for a five (5) year period, commencing upon the date of completion and first acceptance by the City of the improvements to be constructed in connection with the development which is the subject of this Plat, from any and all claims, damages, or demands arising on account of the design and construction of public improvements of the property shown herein; and the Owner furthermore commits to make necessary repairs to said public improvements, to include, without limitation, the roads, streets, fills, embankments, ditches, cross pans, sub-drains, culverts, walls and bridges within the right-of-way, Easements and other public properties, resulting from failures caused by design and/or construction defects. This agreement to hold the City harmless includes defects in materials and workmanship, as well as defects caused by or consisting of settling trenches, fills or excavations.

Further, the Owner warrants that he/she owns fee simple title to the property shown hereon and agrees that the City shall not be liable to the Owner or his/her successors in interest during the warranty period, for any claim of damages resulting from negligence in exercising engineering techniques and due caution in the construction of cross drains, drives, structures or buildings, the changing of courses of streams and rivers, flooding from natural creeks and rivers, and any other matter whatsoever on private property. Any and all monetary liability occurring under this paragraph shall be the liability of the Owner. I further warrant that I have the right to convey said land according to this Plat.

NOTICE OF OTHER DOCUMENTS

reasonable inquiry and is limited as authorized by Section 2.2.3(C)(3)(f) of the Land Use Code.

	Attorney:	
	Address:	
and		-
e by		
eets		



	LINE T
LINE	LENGTH
L1	5.43'
L2	4.60'
L3	5.00'
L4	4.62'
L5	11.51'
L6	19.79'
L7	20.00'
L8	20.00'
L9	51.04'
L10	11.52'
L11	45.00'

CURVE TABLE							
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD		
C1	90°00'00"	25.00'	39.27'	N44°33'34"W	35.36'		
C2	90°00'00"	25.00'	39.27'	S45°26'26"W	35.36'		
C3	90°00'00"	3.00'	4.71'	N44°31'41"W	4.24'		
C4	90°00'00"	3.00'	4 <u>.</u> 71'	N45°28'19"E	4.24'		





NE



BENCHMARK #1: City of Fort Collins Benchmark 6-13 Elevation= 4970.30 (NAVD 88) - For Reference Only Elevation= 4967.10 (NGVD 29 - Unadjusted) - Project Datum

BENCHMARK #2: City of Fort Collins Benchmark 1-96 Elevation= 4945.01 (NAVD 88) - For Reference Only Elevation= 4941.81 (NGVD 29 - Unadjusted) - Project Datum Basis of Bearings

Basis of Bearings is the South line of the Southeast quarter of Section 31-7-68 as bears North 89°31'41" West (assumed bearing).

ORIGINAL FIELD SURVEY BY:

Northern Engineering Services, Inc NE Project No. 959-001 Date: September 18, 2013

ADDITIONAL FIELD SURVEYS: Northern Engineering Services, Inc Date(s): October 17, 2013

SUBSURFACE EXPLORATION BY:

Earth Engineering, Inc. "SUBSURFACE EXPLORATION REPORT GEICO INSURANCE OFFICE BUILDING 2024 EAST HARMONY ROAD" EEC Project No. 1132073 Date: October 14, 2013

DISCLAIMER STATEMENT:

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

CERTIFICATION STATEMENT:

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes. respectively; and that I am fully responsible for the accuracy of all design. revisions, and record conditions that I have noted on these plans.

UTILITY PLANS FOR **GEICO OFFICE BUILDING**

A TRACT OF LAND LOCATED IN SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6th P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

CONTACT INFORMATION

OWNER Local Geico Office Steve Allen 115 E. Harmony Rd, Suite 110 Fort Collins, Colorado 80525 (970) 221-5230 email: SAllen@geico.com

PLANNER/ LANDSCAPE ARCHITECT The Birdsall Group Cathy Mathis, APA

ARCHITECT

(970) 532-5891

Aller .Lingle .Massey Ian Shuff, AIA 712 Whalers Way Fort Collins, Colorado 80525 (970) 223-1820

Berthoud, Colorado 80513

SITE ENGINEER Northern Engineering Services, Inc. Nick Haws, PE 200 South College Avenue, Suite 01 Fort Collins, Colorado 80524 (970) 221-4158



SURVEYOR Northern Engineering Services, Inc. **NORTHERN** Gary Gilliland, PLS 200 South College Avenue, Suite 010 Gary Gilliland, PLS ENGINEERING Fort Collins, Colorado 80524 (970) 221-4158



Earth Engineering Company, Inc. Lester Litton, PE 4396 Greenfield Drive Windsor, Colorado 80550 (970) 545-3908



223 Linden St., Suite 204 Fort Collins, CO 80524 Phone: 970-556-0570

MECHANICAL ENGINEER Integrated Mechanical Thomas Segelhorst, PE 223 Linden St., Suite 204 Fort Collins, Colorado 80524 (970) 556-0570

UTILITY CONTACT LIST: *

UTILITY COMPANY	PHON	E NUMBER
GAS Xcel Energy Al	Ermer (97	0) 225-7869
ELECTRIC City of Fort Collins Light & Power Do	oug Martine (97	0) 224-6152
CABLE Comcast Do	on Kapperman (97	0) 567-0425
TELECOMCenturyLinkSa	amuel Banulis (97	(0) 490-7507
WATER City of Fort Collins Utilities Ro	oger Buffington (97	0) 221-6700
WASTEWATERCity of Fort Collins Utilities Ro	oger Buffington (97	0) 221-6700
STORMWATER- City of Fort Collins Utilities Glu	len Schlueter (97	0) 221-6700
* This list is provided as a courtesy reference only. Northern Engineer	ering Services assumes no	o responsibility for

the accuracy or completeness of this list. In no way shall this list relinquish the Contractor's responsibility for locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of Colorado (UNCC) at 811 for additional information.

SHEET INDEX

C0.00	COVER SHEET
C0.01	GENERAL & CONSTRUCTION NOTES
C1.00	EXISTING CONDITIONS & DEMOLITION PLAN
C2.00	HORIZONTAL CONTROL
C3.00	UTILITY PLAN
C4.00	GRADING PLAN
C5.00	EROSION CONTROL STATIC PLAN
C5.01	EROSION CONTROL CONSTRUCTION DETAILS
C6.00	DRAINAGE EXHIBIT
C7.00-C7.03	CONSTRUCTION DETAILS

DIXON CANYON LATERAL

Owner: Warren Lake Reservoir Comapny

Fort Collins - Loveland Water District South Fort Collins Sanitation District

Mr. Michael D. DiTullio, Manager

Mr. Terry W. Farrill, P.E., District Engineer

All changes, addendum, additions, deletions and modifications to these drawings must be approved in writing, by the Fort Collins — Loveland Water District and the South Fort Collins Sanitation District.

Γ	
City of Fort Collins, Col UTILITY PLAN APPROV	
APPROVED: City Engineer	Date
CHECKED BY: Water & Wastewater Utility	Date
CHECKED BY: Stormwater Utility	Date
CHECKED BY: Parks & Recreation	Date
CHECKED BY: Traffic Engineer	Date
CHECKED BY: Environmental Planner	Date

CALL UTILITY NOTIFICATION CENTER OF COLORADO



B **HERN** EERING **NORT** ENGINE (ፓ Z Ш UL 뽀 Ш S ш Б П $\mathbf{\mathcal{L}}$ Ш Ш 20 Ο \bigcirc \overline{O} \mathbf{O} Ш () Sheet C0.00 Of 13 Sheets

A. GENERAL NOTES

- 1. All materials, workmanship, and construction of ppublic improvements shall meet or exceed the standards and specifications set forth in the standards and specifications set forth in the standards and specifications set for the standards and specifications are standards are Larimer County Urban Area Street Standards and applicable state and federal regulations. Where there is conflict between these plans a the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the City of Fort Collins.
- 2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- 3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
- 4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins. beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of For Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
- 5. All sanitary sewer, storm sewer, and water line construction, as well as power and other "dry" utility installations, shall conform to the City Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
- 6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commenc new construction. The Developer shall be responsible for unknown underground utilities.
- 7. The Developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginn excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or gradin It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these
- 8. The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company any utility crossings required.
- 9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
- 10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for contacting, in advance all parties affected by any disruption of any utility service as well as the utility companies.
- 11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a pre-construction meeting may be required prior to commencement of any work.
- 12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer an sanitary sewer should be constructed prior to installation of the water lines and dry utilities.
- 13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the set of the plans and approved by the plans and approved by the plans are plans and approved by the plans are plans and approved by the plans are plans are plans and approved by the plans are plan Water Utility.
- 14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
- 15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Departme of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.
- 16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance onsite drainage facilities shall be the responsibility of the property owner(s).
- 17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
- 18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
- 19. All recommendations of the Preliminary Drainage and Erosion Control Report for Geico Office Building dated March 5, 2014 by Northern Engineering Services. Inc., shall be followed and implemented
- 20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures sha be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping
- 21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, et or as approved by the the City of Fort Collins street inspector.
- 22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable,
- 23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction The Developer shall notify the the City of Fort Collins Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer's absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
- 24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or. the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occu until the City of Fort Collins Engineer approves the final report.
- 25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets
- 26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road constructio For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
- 27. Portions of Larimer County are within overlay districts. The Larimer County Flood Plain Resolution should be referred to for additional criteria for roads within these districts.
- 28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.
- 29. Prior to the commencement of any construction, the contractor shall contact the Local Entity Forester to schedule a site inspection for an tree removal requiring a permit.
- 30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
- 31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority. (the City of Fort Collins, Larimer County, Colorado), for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
- 32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact the City of Fort Collins Traffic Operations Department, who will temporarily remove or relocate the sign at no cost to the contractor, however, if the contractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.
- 33. The Developer is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Development's local street operations. In addition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.

4h a	24	There shall be no site construction activities on Coturdays unless specifically approved by the City of Fast Colling Fastment and no site	<u>B. S</u>	treet Improvement Notes
the and	34.	There shall be no site construction activities on Saturdays, unless specifically approved by the City of Fort Collins Engineer, and no site construction activities on Sundays or holidays, unless there is prior written approval by the City of Fort Collins.		All street construction is here.
	35.	The Developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.		A paving section design
าร	36.	Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built record drawings.		approval, prior to any str The job mix shall be sub
	37.	The Developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.	3.	Where proposed paving edge, to create a clean of
s, as rt v	38.	If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Developer shall contact the Designer and the City of Fort Collins Engineer immediately.	4.	construction joint can be Street subgrades shall b
st all	39.	The Developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and available		subgrade has been insp
ty of		to the Larimer County's Inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the City of Fort Collins Engineer.	5.	Ft. Collins only. Valve bo rings are not allowed.
cing	40.	The Designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks (2) for the project as well as the basis of bearings. The information shall be as follows: BENCHMARK #1:	6.	When an existing aspha existing street condition conformance with Chapt determination of need for
ning		City of Fort Collins Benchmark 6-13 Elevation= 4970.30 (NAVD 88) - For Reference Only Elevation= 4967.10 (NGVD 29 - Unadjusted) - Project Datum	7	adjacent landowners such
e to ling. e		BENCHMARK #2:	7.	and as per the Right-of-
/ for		City of Fort Collins Benchmark 1-96 Elevation= 4945.01 (NAVD 88) - For Reference Only Elevation= 4941.81 (NGVD 29 - Unadjusted) - Project Datum		The Developer is require asphalt. Gutters that hole properly.
e		Basis of Bearings Basis of Bearings is the South line of the Southeast quarter of Section 31-7-68 as bears North 89°31'41" West (assumed bearing).		Prior to placement of H.I full depth section is prop be required. The entire s
	41.	All stationing is based on centerline of roadways unless otherwise noted.		50,000 lbs. and a single not travel at speeds great
e,	42.	Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.		determined by the City of The City of Fort Collins I of an Inspector.
	43.	When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be		All signage and marking
nd		done in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of need for a complete overlay shall be made by the		Construction Notes listed All symbols, including ar
the	11	Larimer County Engineer and/or the City of Fort Collins Inspector at the time the cuts are made. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before	3.	All signage shall be per
S	44.	construction, or to the grades and condition as required by these plans.	4.	All lane lines for asphalt
ient		Standard Handicap ramps are to be constructed at all curb returns and at all "T" intersections.	5.	All lane lines for concret
e of		After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.		Prior to permanent instal placement of the same. striping and symbols.
)e	47.	The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: N.A.	7.	Pre-formed thermo-plast
t	48.	Approved Variances are listed as follows: N.A.	8.	Epoxy applications shall
	<u>co</u>	NSTRUCTION NOTES		All surfaces shall be tho
	<u>A.</u>	Grading and Erosion Control Notes		All sign posts shall utilize
d as	1.	The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.		A field inspection of loca identified during the field
	2.	There shall be no earth-disturbing activity outside the limits designated on the accepted plans.	12.	The Developer installing
all g.	3.	All required perimeter silt and construction fencing shall be installed <u>prior</u> to any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.	14.	Special care shall be tak Signage and striping has
tc.)	4.	At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.		Fort Collins Traffic Engir determines that an unfor striping shall fall under th
ion	5.	Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.		Sleeves for sign posts sl torm Drainage Notes
n.	6.	All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened		The City of Fort Collins
e		condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City/County.	2.	onsite drainage facilities All recommendations of
	7.	In order to minimize erosion potential, all temporary (structural) erosion control measures shall:	3	Engineering Services, In Prior to final inspection a
nt		 a. Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function. b. Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector. 		submitted to and approv least two weeks prior to submitted to the Stormw prior to certification per t
r a sur	0	c. Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.	<u>E. U</u>	tility Notes
	8.	When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.	1.	All waterline and sanital
e ts.	9.	The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of way, and make sure streets and walkways are cleaned at the end of each working day.	2.	The minimum cover ove water utility.
on.	10.	All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.		Water mains shall be po
	11.	No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.	4.	HDPE pipe may be used ASTM. The HDPE pipe wire shall be installed wi wire test lid per City Wat
	12.	The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the City/County or Homeowners Association (HOA).		
ıy	13.	City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and faderal regulations.		
ıd	14	federal regulations. A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout		
The		material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.		
	15.	Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City.		

on is subject to the General Notes on the cover sheet of these plans as well as the Street Improvements Notes listed

esign, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for iny street construction activity, (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). submitted for approval prior to placement of any asphalt.

aving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing ean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean an be made. Wheel cuts shall not be allowed unless approved by the City of Fort Collins Engineer in Fort Collins.

shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the n inspected and approved by the City of Fort Collins Engineer.

lve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting

asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The dition shall be documented by the Inspector before any cuts are made. Cutting and patching shall be done in Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The eed for a complete overlay shall be made by the City of Fort Collins Engineer. All overlay work shall be coordinated with ers such that future projects do not cut the new asphalt overlay work.

evices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) nt-of-Way Work Permit traffic control plan.

equired to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of t hold more than 1/4 inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain

of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will ntire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than ingle axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less that 90 p.s.i.g. "Proof roll" vehicles shall s greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive pumping or deformation, as City of Fort Collins Engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. plins Engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be preformed in the presence

avement Marking Construction Notes

rking is subject to the General Notes on the cover sheet of these plans, as well as the Traffic Signing and Marking listed here.

ing arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.

e per the City of Fort Collins Standards and these plans or as otherwise specified in MUTCD.

sphalt pavement shall receive two coats of latex paint with glass beads.

ncrete pavement should be epoxy paint.

installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and ame. Their placement shall be approved by the City of Fort Collins Traffic Engineer prior to permanent installation of

-plastic applications shall be as specified in these Plans and/or these Standards.

shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.

thoroughly cleaned prior to installation of striping or markings.

utilize break-away assemblies and fasteners per the Standards.

f location and installation of all signs shall be performed by the City of Fort Collins Traffic Engineer. All discrepancies e field inspection must be corrected before the 2-year warranty period will begin.

alling signs shall be responsible for locating and protecting all underground utilities

be taken in sign location to ensure an unobstructed view of each sign.

g has been determined by information available at the time of review. Prior to initiation of the warranty period the City of Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Traffic Engineer unforeseen condition warrants such signage according to the MUTCD or the CDOT M and S Standards. All signage and nder the requirements of the 2-year warranty period for new construction (except fair wear on traffic markings).

osts shall be required for use in islands/medians. Refer to Chapter 14. Traffic Control Devices, for additional detail.

Ins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of cilities shall be the responsibility of the property owner(s).

ons of the Preliminary Drainage and Erosion Control Report for Geico Office Building dated March 5, 2014by Northern es, Inc., shall be followed and implemented.

ction and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must by pproved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at ior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall by ormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed per the Development Agreement.

anitary sewer construction shall conform to the Fort Utility standards and specifications current to date of construction.

r over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the

be poly-wrapped D.I.P, or PVC with tracer wire.

used for 1-1/2 and 2 inch water services. The pipe shall meet the standards of AWWA 901, NSF Standard 61 and pipe shall be SDR 9 having a pressure rating of 200 psi. Stiffeners shall be used at all fittings and connections. Tracer led with the HDPE service, and shall extend up the curb stop. The curb stop shall be covered with a metal box and tracer Water Detail 25.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL



CALL 2 BUSINESS DAYS IN ADVANCE BEFORI YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

APPROVED):		
		City Engineer	Date
CHECKED	BY: _	Water & Wastewater Utility	Date
CHECKED	BY: _	Stormwater Utility	Date
CHECKED	BY: _	Parks & Recreation	Date
CHECKED	BY: _	Traffic Engineer	Date
CHECKED	BY: _	<u> </u>	
		Environmental Planner	Date

Description Description Section Second Section Section Sectio	are No. Revisions: By. Date:	Vice	s, Inc.			thern s, Inc.	
Protect: Date: Prouect: Date: S59-001 3/26/14 Date: 3/26/14 Date: 0 Date: 0 <th>These drawings</th> <th>L D N</th> <th>Engineering Servic</th> <th></th> <th></th> <th>\prec</th> <th></th>	These drawings	L D N	Engineering Servic			\prec	
Definition of the second section of the section						ite 010	
GEICO OFFICE BUILDING GENERAL & CONSTRUCTION NOTES DRAWN BY: C. Bowen		6/14	Ľ			\prec	
GEICO BENERAL & GEICO Sheet C0.01							
C0.01							
Of 13 Sheets		C	().	()1	



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	EXISTING CURB STOP	
	EXISTING WATER SPIGOT	RING BC.221.4159
	EXISTING TRAFFIC SIGNAL POLE ToS	RTHEF GINEERI 370.221.4158 FAX: 970.2
	EXISTING SIGN O	
	EXISTING TREE STUMP	
	EXISTING TREES	PHONE: 970.221.41E
	ASPHALT TO BE REMOVED	
	CONCRETE TO BE REMOVED	Suite 010
	EXISTING TREE TO BE REMOVED	Avenue, Avenue,
	EXISTING UTILITIES TO BE REMOVED	200 South College Avenue, Suite 010
	NOTES:	Fort
	1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE	
	RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.	DATE: 3/26/14 SCALE: 1"=30' REVIEWED E R. Curtiss
	2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIAL.	
	3. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT	
	MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE	PROJECT: 959-001 DESIGNED B N.A. DRAMN BY: C. Bowen
	RECYCLED IF POSSIBLE. THE CITY OF FORT COLLINS STREET DEPARTMENT OPERATES A CRUSHING OPERATION THAT WILL ACCEPT CONCRETE MATERIAL AT NO COST FOR CRUSHING AND RE-USE AS RECYCLED AGGREGATE.	Hand Bar Hari
	THIS OPERATION IS LOCATED AT 1380 HOFFMAN MILL ROAD AND CAN BE REACHED AT (970) 482–1249.	
	 ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE. 	
	5. CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE EXISTING SITE SURVEY.	
	6. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE	
	DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.	
	7. REFER TO THE LANDSCAPE PLAN BY THE BIRDSALL GROUP FOR TREE REMOVAL AND MITIGATION.	UU ZZ
	Fort Collins - Loveland Water District	
	South Fort Collins Sanitation District	
7//		I TR III
	Mr. Michael D. DiTullio, Manager Date	
	Mr. Terry W. Farrill, P.E., District Engineer Date	
	All changes, addendum, additions, deletions and modifications to these drawings must be approved in writing, by the Fort Collins — Loveland Water District and the South Fort Collins Sanitation District.	
D)	City of Fort Collins, Colorado	Ш
	UTILITY PLAN APPROVAL	
	APPROVED: City Engineer Date	
CALL UTILITY NOTIFICATION CENTER OF COLORADO	CHECKED BY:	
	CHECKED BY:	IL J
		Sheet
Know what's below.	CHECKED BY: Parks & Recreation Date	C1.00
Call before you dig.	CHECKED BY: Traffic Engineer Date	/└────┤
YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.	CHECKED BY: Environmental Planner Date	Of 13 Sheets
		_

LINE TABLE						
LINE	LENGTH	BEARING				
L1	11.38'	N00°26'26.27"E				
L4	16.09'	S00°26'39.67"W				
L5	32.00'	N89°33'33.73"W				
L6	60.02'	N00°26'39.67"E				
L7	152.80'	S89°31'40.93"E				
L8	15.00'	S00°28'19.07"W				
L10	5.05'	S89°31'40.93"E				
L11	26.00'	S00°27'57.48"W				
L12	8.24'	N89°31'41.58"W				
L14	15.00'	S00°28'19.07"W				
L15	70.00'	N89°31'40.93"W				
L19	11.89'	S00°26'26.27"W				
L20	16.11'	N00°26'26.27"E				
L22	22.83'	S00°00'00.00"E				
1.00	22.22					

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD		
C1	51°50'26"	25.00'	22.62'	N25°28'46"W	21.86'		
C2	128°09'21"	2.00'	4.47'	S64°31'20"W	3.60'		
C3	90°00'00"	2.00'	3.14'	S44°31'41"E	2.83'		
C5	128°09'23"	2.00'	4.47'	N63°38'15"W	3.60'		
C6	51°50'37"	25.00'	22.62'	S26°21'45"W	21.86'		
C8	90°00'00"	2.00'	3.14'	S45°28'19"W	2.83'		
C9	56°55'57"	10.00'	9.94'	S28°27'59"W	9.53'		



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	20 0 20 40 60 Feet	
	(IN FEET)	
	1 inch = 20 ft.	
	LEGEND:	
	PROPOSED CURB AND GUTTER	
	PROPOSED OUTFALL CURB AND GUTTER	
	PROPOSED SWALE	
		evisions
	PROPOSED EASEMENTS	
	NATURAL HABITAT BUFFER LIMITS	
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	PROPOSED GUTTER TRANSITIONS (T) SAW CUT LINE ~~~~~~~~~	
	HEAVY LOADED ASPHALT SECTION	No
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	CONCRETE SECTION	e drawings al ments of serv led by Northe ring Services, not to be use e of construc gred and seal sional Engine ploy of North ring Services,
	ORIGINAL FIELD SURVEY BY:	These instrume gineerir thare no vy type ss sign rofessi gineerir gineerir
	Northern Engineering Services, Inc	Eng Bring and and Eng Fring
	NE Project No. 959-001 Date: September 18, 2013	
	ADDITIONAL FIELD SURVEYS:	
	Northern Engineering Services, Inc Date(s): October 17, 2013	
	PROJECT BENCHMARKS:	E E R I I I I I I I I I I I I I I I I I
	BENCHMARK #1: City of Fort Collins Benchmark 6—13 Elevation= 4970.30 (NAVD 88) — For Reference Only Elevation= 4967.10 (NGVD 29 — Unadjusted) — Project Datum	NORTHERN ENGINEERING PHONE: 970.221.4158 FAX: 970.221.4159 www.northermengineering.com
	BENCHMARK #2: City of Fort Collins Benchmark 1—96 Elevation= 4945.01 (NAVD 88) — For Reference Only Elevation= 4941.81 (NGVD 29 — Unadjusted) — Project Datum	
	Elevation= 4941.81 (NGVD 29 — Unadjusted) — Project Datum <u>Basis of Bearings</u> Basis of Bearings is the South line of the Southeast quarter of Section 37—7—68 as bears North 89°31'41" West (assumed bearing).	
	NOTES:	200 South College Avenue, Suite 010 Fort Collins, Colorado 80524
	1. LINE AND CURB TABLE INFORMATION IS TO FLOWLINE UNLESS NOTED OTHERWISE.	n College
	2. ALL CURB AND GUTTER WITHIN THE PARKING AREA SHALL BE MODIFIED	00 South
	PARKING LOT CURB AND GUTTER, ALL CURB. SEE THIS SHEET FOR LOCATION OF INFLOW, OUTFLOW AND TRANSITION CURBS. 3. ALL SIGNING AND STRIPING SHALL BE INSTALLED BY THE CONTRACTOR.	
	 PLACEMENT AND INSTALLATION OF ALL NEW, RESET, AND RELOCATED SIGNS SHALL BE IN ACCORDANCE WITH CITY OF FORT COLLINS STANDARDS. 	V14 V14 WED BY: rtiss
	5. INSTALLATION OF PAVEMENT MARKING SHALL CONFORM TO THE LATEST	
	REVISION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND COMPLY WITH THE FOLLOWING COLORADO DEPARTMENT OF TRANSPORTATION STANDARD CDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTIONS:	
	627.04 PAVEMENT MARKING WITH PAINT 708.05 PAVEMENT MARKING PAINT MATERIALS	PROJECT: 959-001 DESIGNED BY: C. Snowdon DRAWN BY: C. Snowdon
	6. SIGNS ARE GRAPHICALLY REPRESENTED AND ARE NOT DRAWN TO SCALE.	PROJECT: 959-001 DESIGNED C. Snowd C. Snowd C. Snowd
	 SIGN PLACEMENT SHALL BE NO LESS THAN 2' FROM CURB FLOWLINE, AND MUST BE IN ACCORDANCE WITH CURRENT MUTCD STANDARDS. 	
	8. PROPOSED PARKING STALL STRIPING TO BE 4" SOLID WHITE LINE.	
	9. SEE GEOTECHNICAL EXPLORATION REPORT TITLE GEICO INSURANCE OFFICE	
	BUILDING – 2024 EAST HARMONY ROAD BY EARTH ENGINEERING CONSULTANT (EEC PROJECT No. 1132073) FOR PAVEMENT SECTIONS. 10. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN	
 	THE BUFFER ZONE AND EXHIBIT G OF THE LEASE AGREEMENT BETWEEN THE CITY AND CSURF, WHICH ALSO PERMITS THE EXISTING BUILDING, THE DRIVE AISLE, AND OTHER EXISTING LAND USES TO REMAIN WITHIN THE BUFFER ZONE.	
	CALL UTILITY NOTIFICATION CENTER OF COLORADO	DFFICE
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	Know what's below.	
	Call 2 business days in advance before you	GEICO
	DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.	
	City of Fort Collins, Colorado UTILITY PLAN APPROVAL	Ĭ
	APPROVED: City Engineer Date	
	CHECKED BY:	
	CHECKED BY: Stormwater Utility Date	
	CHECKED BY: Parks & Recreation Date	Sheet
	CHECKED BY:	C2.00
	CHECKED BY: Environmental Planner Date	Of 13 Sheets



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	TOP OF BANK LIMITS	
	PROPOSED COMBINATION INLET	These draving the transformer the second and the provided by Engineering S and are not to any type of c any type of c unless signed a Professional the employ (Engineering S
жщ м	PROPOSED ELECTRIC TRANSFORMER	
243± LF @ 1% 6" SS SERVICE	EXISTING ELECTRIC VAULT	
2434 S S S	EXISTING FIBER OPTICS BOX	RING Recom
	EXISTING WATER METER	NORTHER ENGINEERI PHONE: 970.221.4158 FAX: 970.2
	EXISTING GAS METER	
	EXISTING FIBER OPTICS PEDESTAL	E N G
	EXISTING SANITARY SEWER MANHOLE	
	EXISTING CURB STOP	010
	EXISTING WATER SPIGOT	Fort Collins, Colorado 80524
	EXISTING SIGN	lege Aven
	EXISTING MAILBOX	South Col
	EXISTING TREES	Ford
	NOTES:	
	1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES	VED 20°
	ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE	DATE: 3/26/ SCALE 1" = 2 REVIEV R. Cur
INSTALL CLEANOUT INV. = 4958.09 N:107927.85	COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.	;; M ç ç
E:205318.01	 ALL WATER AND SEWER CONSTRUCTION SHALL BE PER THE CITY OF FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS, LATEST EDITION. 	PROJECT: 959-001 DESIGNED B' C. Snowdon C. Snowdon C. Snowdon
	 ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE. 	DRA DRA C. 959 DRA DRA
	 MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES. 	
	 5. REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY 	
	6. FIRE LINE SHALL BE STUBBED INSIDE THE RISER ROOM AND CAPPED 1'	
	 FIRE LINE SHALL BE STOBBED INSIDE THE RISER ROOM AND CAPPED T ABOVE THE FINISHED FLOOR ELEVATION. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS TO BE DETERMINED 	
	IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.	
	8. ALL OF THE PROPOSED STORM SEWER IS TO BE PRIVATE AND OWNED/ MAINTAINED BY THE OWNER OF THE PROPERTY.	
	9. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE AND EXHIBIT G OF THE LEASE AGREEMENT BETWEEN THE CITY AND CSURF, WHICH ALSO PERMITS THE EXISTING BUILDING, THE DRIVE	
	AISLE, AND OTHER EXISTING LAND USES TO REMAIN WITHIN THE BUFFER ZONE.	E BUILE
	10. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS	PL B
	PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST	
· · · ·	11. ANY DAMAGED OR REMOVED CONCRETE MEDIAN SHALL BE REPLACED OR	
	RESTORED WITH MATCHING FINISH AND TO CITY OF FORT COLLINS STANDARDS.	
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t Colline Loveland Mater District	City of Fort Collins, Colorado	
t Collins - Loveland Water District uth Fort Collins Sanitation District	UTILITY PLAN APPROVAL	
io, Manager Date	APPROVED: City Engineer Date	
,	CHECKED BY:	
P.E., District Engineer Date	CHECKED BY: Date Date	
um, additions, deletions and modifications to these	CHECKED BY: Parks & Recreation Date	Sheet
um, additions, deletions and modifications to these pproved in writing, by the Fort Collins — Loveland Water th Fort Collins Sanitation District.	CHECKED BY: Traffic Engineer Date	C3.00
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PERMEABLE PAVERS	These dra instrument provided b	Engineering Se and are not to any type of co unless signed a	a Profes the em
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1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES.			58 FAX: 970.221.4159
 REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION. 			PHONE: 970.221.4158
 ALL PROJECT ELEVATIONS ARE BASED ON THE CITY OF FORT COLLINS VERTICAL DATUM, NGVD 1929 (UNADJUSTED). SEE COVER SHEET FOR BENCHMARK REFERENCES. 			PHONE: 9
 ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS. 			–
5. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE AND EXHIBIT G OF THE LEASE AGREEMENT BETWEEN THE CITY AND CSURF, WHICH ALSO PERMITS THE EXISTING BUILDING, THE DRIVE AISLE, AND OTHER EXISTING LAND USES TO REMAIN WITHIN THE BUFFER ZONE.			200 South College Avenue, Suite 010
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8. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED	DATE: 3/26/1	Y: SCALE: 1" = 1	REVIEW R. Curt
IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.	PROJECT: 959–001	DESIGNED BY: C. Snowdon	DRAWN BY: C. Bowen
PROJECT BENCHMARKS:		ΔO	
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Northern Engineering Services, Inc NE Project No. 959-001			Ζ
Date: September 18, 2013 ADDITIONAL FIELD SURVEYS: Northern Engineering Services, Inc Date(s): October 17, 2013	BUILDING		PLAN
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Know what's below. Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.	GEIC		Ū
City of Fort Collins, Colorado UTILITY PLAN APPROVAL			
APPROVED: City Engineer Date			
CHECKED BY:			
CHECKED BY: Stormwater Utility Date			
CHECKED BY: Parks & Recreation Date		Sheet	t
CHECKED BY: Traffic Engineer Date	C	4.()()

Date

Of 13 Sheets





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- . REFER TO THE "FINAL DRAINAGE LETTER FOR THE SUNSHINE HOUSE FC 139 BY NORTHERN ENGINEERING, DATED OCTOBER 9, 2013 FOR ADDITIONAL INFORMATION. 2.

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BENCHMARK #1: City of Fort Collins Benchmark 6-13 Elevation= 4970.30 (NAVD 88) - For Reference Only Elevation= 4967.10 (NGVD 29 - Unadjusted) - Project Datum

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ORIGINAL FIELD SURVEY BY:

Northern Engineering Services, Inc NE Project No. 959–001 Date: September 18, 2013

ADDITIONAL FIELD SURVEYS: Northern Engineering Services, Inc Date(s): October 17, 2013

	CALL UTILITY NOTIFICATION CENTER OF COLORADO EEOLORADO E		GEICO OFFICE BUILDING	DRAINAGE EXHIBIT
CHECKED BY: _	Parks & Recreation	Date	s	heet
CHECKED BY: _		Date		6.00
CHECKED BY: _	Environmental Planner	Date	Of 13	Sheets







C7.01

	В	С	D	E
	MAXIMUM SLOT LENGTH	MAXIMUM SLOT WIDTH	APPROX. SLOT SPACING O.C.	MINIMUM OPEN AREA PER FOOT
)	1-3/8"	0.032"	0.516"	1.98 SQ. IN.













CALL UTILITY NOTIFICATION CENTER OF COLORADO			
	Know what's below. Call before you dig.		
	CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.		
City of Fort Collins, Colorado UTILITY PLAN APPROVAL			
APPROVED:	City Engineer	Date	
CHECKED BY: .	Water & Wastewater Utility	Date	
CHECKED BY: .	Stormwater Utility	Date	
CHECKED BY: .	Parks & Recreation	Date	
CHECKED BY:	Traffic Engineer	Date	
CHECKED BY:	Environmental Planner	Date	









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DATE:	SCALE:	REVIEWED BY:
3/26/14	1" = 10'	R. Curtiss
PROJECT:	DESIGNED BY:	DRAWN BY:
959-001	C. Snowdon	C. Bowen
GEICO OFFICE BUILDING		CONSTRUCTION DETAILS
C Of 1	Sheel 7.0)3

CALL UTILITY NOTIFICATION CENTER OF COLORADO
UNDERGROUND MEMBER UTILITIES.
City of Fort Collins, Colorado UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:		
	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:		
	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
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DRAWINGS, SPECIFICATIONS, GENERAL NOTES AND OUTLINE SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF ADONAL PROFESSION WERE PRÉPARED. ANY USE OF THESE DOCUMENTS, IN WHOLE OR IN PART, BY ANY MEANS WHATSOEVER TO CONSTRUCT ANY OTHER PROJECT OR THE USE OF THESE

Luminaire Schedule								
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Luminaire S	Schedule											
Symbol	Label Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per L Lamp	ight Loss Factor	Wattage		
	2	Lithonia Lighting	DSX0 LED 40C 700 40K T4M MVOLT HS	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T4M OPTIC,	LED		DSX0_LED_40C_ 700_40K_T4M_M	6405.521	0.9	91		
	AA			4000K, @ 700mA WITH HOUSE SIDE SHIELD			VOLT_HS.ies					
	1	Lithonia Lighting	WST LED 2 10A700/40K SR3 MVOLT	WST LED WITH 2 MODULES, 20 LED?s, 700mA DRIVER, 4000K	Outdoor Wall Pack Luminaire to IES LM-79-	1	WST_LED_2_10A 700_40K_SR3_M	4055.095	0.88	47.1		
	BB			COLOR TEMPERATURE, TYPE 3 LENS	08. LUMINAIRE OUTPUT: 4035 Lms.		VOLT.ies					
	2	Lithonia Lighting	DSX0 LED 20C 700 40K T4M MVOLT HS	DSX0 LED WITH (1) 20 LED LIGHT ENGINE, TYPE T4M OPTIC,	LED	1	DSX0_LED_20C_ 700_40K_T4M_M	3245.049	0.9	45		
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September 20, 2013

Steve Allen Local Geico Office 115 E. Harmony Road Fort Collins, CO 80525

RE: Ecological Characterization Study (ECS) Letter Report for the proposed Geico Agency Building at 2024 E. Harmony Road in Fort Collins, Colorado

Steve:

This letter ECS Report is submitted in response to the City's request for an ECS report for the proposed Geico Agency building development at 2024 E. Harmony Road. The 0.23-acre development site is located at the northwest corner of the intersection of E. Harmony Road and Timberline Road. The current development proposal calls for the construction of a 4,900-square foot, two story office building on the east side of the parcel with driveway and associated parking in the western portion of the project area. Ecological characteristics of the property were evaluated during a field review of the property on September 18, 2013.

The following provides a summary of ECS information required by Fort Collins Land Use Code under 3.4.1 (D) (1) items (a) through (k).

ECOLOGICAL STUDY CHARACTERIZATION CHECKLIST

(a & i) The proposed Geico Agency office development site has low ecological value and supports no natural habitat features. The entire property was previously developed, but former buildings and landscaping have been cleared. Currently, the site is mostly bare except for patches of weedy species (see attached Photos 1, 2 and 3). Existing vegetation cover is dominated by annual and perennial weedy species including kochia (*Bassia scoparia*¹), field bindweed (*Convolvulus arvensis*), cheatgrass (*Bromus tectorum*), common dandelion (*Taraxacum officinale*), Canada thistle (*Cirsium arvense*), green foxtail (*Setaria viridis*), common mallow (*Malva neglecta*), purslane (*Portulaca oleracea*), knotweed (*Polygonum aviculare*), and puncturevine (*Tribulus terrestris*). Woody species are restricted to Virginia creeper (*Parthenocissus quinquefolia*) vines and black raspberry (*Rubus occidentalis*) canes along the south edge of the irrigation ditch, a few Siberian elm (*Ulmus pumila*) seedlings near the south property boundary, and one relatively large (15-inch diameter) Siberian elm at the northwest property corner. The City Forester or a private arborist will need to evaluate the health of the one large Siberian elm to determine if it should be retained. Siberian elms are classified as a nuisance species in Fort Collins, but any tree, in this type of setting, provides some wildlife habitat value for perching, foraging, and possible nesting by urban adapted songbirds.

The Geico Office building project site does not support any significant areas of native vegetation or other unique habitat features. There are no unique habitat features on the development parcel, and because of surrounding roadways and development, features of ecological value within 500 feet of the project area consist solely of mature trees associated with adjacent landscaping and the irrigation ditch (Dixon Canyon Lateral) along the north property boundary. Development of the Geico Agency building parcel would not result in any impacts to onsite or nearby natural resources beyond those that have already occurred from previous developments on and adjacent to the property.

Wildlife habitat value on the property has been degraded by past development, clearing of structures and landscaping, and by adjacent developments and roadways. Urban-adapted birds such as mourning dove and house finch may occasionally use the site for foraging for seeds. The few trees on or near the project area may

¹ Scientific nomenclature follows USDA, NRCS Plants Database. Available online at: http://plants.usda.gov/java/

S. Allen 9/20/13 Page 2 of 3

also be used for perching, nesting, and foraging by urban-adapted songbirds. No bird nests were located in the one Siberian elm tree on the property during the September 18, 2013 field survey.

(b) There are no wetlands on the property, but there is a thin strip of vegetated wetlands supported along the north bank of the irrigation ditch (Dixon Canyon Lateral). This wetland is dominated by reed canarygrass (*Phalaris arundinacea*) and Emory's sedge (*Carex emoryi*), which are very typical of irrigation ditch wetlands in the region. The irrigation ditch and associated wetlands have relatively low wildlife habitat value since the open portion of the ditch is isolated from other natural features and by the fact that it runs underground at the east edge of the project area and approximately 560 feet northwest of the project area. Project development would have no effect on these wetlands.

(c) The project area does not provide any significant views of natural features or other areas of scenic value.

(d) As indicated under (a & i) the project area supports no native vegetation or significant trees.

(e) There are no natural drainages on or near the project area.

(f) There is no suitable habitat for any threatened, endangered, or other sensitive species on or adjacent to the project area. No other sensitive or ecologically important species are likely to use the property since its surface has been disturbed and supports no native habitats.

(g) Past removal of native habitat has eliminated the potential for any special habitat features on the property.

(h) There are no wildlife movement corridors within 500 feet of the project area. The Dixon Canyon Lateral, along the north property boundary, does not create a suitable wildlife movement corridor since it runs underground at the east edge of the project area and approximately 560 feet northwest of the project area.

(j) There is only one issue regarding the timing of property development and ecological features or wildlife use of the project area. If the development proposal includes removal of the one Siberian elm on the property or if construction occurs near an occupied bird nest in this tree during the songbird nesting season (April through July), these activities could result in the loss or abandonment of a nest and would be in violation of the federal Migratory Bird Treaty Act.

(k) Since the entire project area has been previously developed and has now been cleared, project development would have no impact on natural habitats or important habitat features, other than the one existing tree on the property. Although this tree would not be classified as significant by the City, since it is a nuisance species, it does provide some perching, foraging, and possible nesting habitat for urban-adapted songbird species. If removal of this tree is required for project development, appropriate plantings of landscape trees should be included with project development to mitigate the loss of its habitat value for urban-adapted songbirds.

Because tree removal or construction near trees during the nesting season could result in the loss or abandonment of a nest, it is recommended that tree removal or construction near songbird nests occur outside of the nesting season (April 1 – July 31), or trees on or adjacent to the project area be surveyed to ensure lack of nesting prior to removal or construction activities during the nesting season. This mitigation recommendation would preclude the possible incidental take or disturbance of active songbird nests.

Based on the fact that the Dixon Canyon Lateral is not suitable as a wildlife movement corridor, is abutted by existing residential and commercial developments, and supports only minor amounts of vegetated wetlands, typical of regional irrigation ditches, there is no ecological need to create a wildlife or wildlife habitat buffer setback for this section of the Dixon Canyon Lateral. A vegetated water quality buffer, or water quality detention area would be appropriate for treating surface water runoff from impermeable surfaces (parking lot) prior to any release into the Dixon Canyon Lateral.

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Steve, if you have any questions or require additional information regarding my evaluation, please give me a call.

Sincerely, **CEDAR CREEK ASSOCIATES, I**NC.

5. Michael Phila

T. Michael Phelan Principal Senior Wildlife Biologist

attachments: Photos 1, 2, and 3



Photo 1. View of Geico Office Building Development Site. (View is looking southeast from the northwest property corner.)



Photo 2. Another View of the Geico Office Building Development Site. (View is looking northwest from the southeast property corner.)



Photo 3. View of Dixon Canyon Lateral Along the North Property Boundary of the Geico Office Building Development Site. (View is looking west from the northeast property corner. A thin strip of wetland vegetation is present along the lower portion of the north bank, or right bank in photo.)



Ecological Characterization Study Review

Project Name:	Geico Office Building
Project Planner:	Jason Holland
ECS Consultant:	Cedar Creek Associates
Review Date:	September 20, 2013

Project Description: The 0.548 acre site is located the northwest corner of E. Harmony Road and Timberline Road. The proposed development is for the construction of a two story 6,600-square foot office building. The Dixon Canyon Lateral runs through the northern edge of the property.

Ecological Characterization Study (ECS) Requirements and Evaluation											
	- Section 3.4.1(D) of the Land Use Code										
	Yes	No	Comments								
Is the project within 500' of a Natural Habitat or Feature? If yes, which features?	V		The Dixon Canyon Lateral runs through the northern edge of the property. On the northern bank of the lateral is a thin strip of vegetated wetlands.								
Is the wildlife use and value of the area described?	V		The site has minimal habitat value due to prior development on the site. Urban-adapted species may occasionally use the site for foraging.								
Are there wetlands present? If yes, have the boundaries and functions been described?		Ø	There is a thin strip of vegetated wetlands along the north bank of the irrigation ditch, but it is not on the property.								
Are there any prominent views from or across the site?		Ø									
Are the pattern, species, and location of significant native trees and vegetation described?	V		There are no significant native trees or vegetation on the site.								
Are the pattern, species, and location of significant non-native trees and vegetation described?	Ø		Weedy species such as cheatgrass, Canada thistle, and field bindweed dominate the vegetation at the site. One significant Siberian Elm is present at the northwestern corner of the property.								

Ecologica			ation Study (ECS) Requirements and Evaluation on 3.4.1(D) of the Land Use Code
Is a stream or perennial body of water present? If yes, is top of bank located?		V	
Are sensitive or specially valued species present? If yes, are the areas of use identified?		\mathbf{N}	
Are other special habitat features located on the site?		V	
Does the site contain wildlife movement corridors?		V	
Are the general ecological functions of the site described?	V		Overall the property has low ecological value and is only utilized by weedy and urban-adapted species.
Are there any issues regarding development related timing that should be addressed?	V		If the large Siberian Elm on the site is removed, it needs to occur outside of the nesting season (April 1 – July 31).
Are any measures needed to mitigate adverse impacts projected by the development?		R	



Harmony Activity Centers



Basic Industrial and Non-Retail Activity Center Mixed Use Activity Center

Potential Shopping Center Locations Outside of Activity Center



LAND USE PLAN

54

Jason Holland

From:	Dave Thurgood <dthurgood@gmail.com></dthurgood@gmail.com>
Sent:	Sunday, April 20, 2014 9:44 PM
To:	Jason Holland
Subject:	Geico Office Building Project 2024 East, Harmony Road
Follow Up Flag:	Follow up
Flag Status:	Flagged

Jason,

I am emailing in response to a Public Hearing Notice regarding the proposed Geico Office Building Project located at 2024 East Harmony Road.

I am the owner of Lot 1B of Harmony Village located at 4609 S. Timberline Road which fronts Harmony Road and has a direct line of sight to the proposed development.

I am opposed to the request for modification of the Harmony Road Setback Zone from 80 feet to 27 feet.

I feel that if this setback modification were to be granted, it would have a negative visual impact on the Harmony Corridor. As, I am sure you are aware, the City of Fort Collins recently invested a significant amount of money on improvements of the Harmony Road Corridor in the immediate vicinity of the proposed development, many of which were aesthetic in nature.

Of much greater importance, is the potential negative impacts the setback modification would have on the safety aspects of an intersection that currently has a high rate of motor vehicle and auto-pedestrian accidents.

In addition, any further widening of the Harmony corridor would be negatively impacted by a setback of 27 feet

I would strongly encourage the City of Fort Collins to deny the developer's request to modify the Harmony Road Setback Zone.

Sincerely,

David B. Thurgood, DDS, MS Owner, Lot 1B, Harmony Village

Jason Holland

From:	darlene.mace@lpl.com
Sent:	Thursday, April 17, 2014 6:53 PM
To:	Jason Holland
Subject:	RE: Geico Office Building Project
Follow Up Flag:	Follow up
Flag Status:	Flagged

Jason, many thanks for your efforts. Taking the time to update me is greatly appreciated.

On Thu Apr 17 21:11 , Jason Holland <<u>JHolland@fcgov.com</u>> wrote:

Darlene,

Thanks for reaching out and voicing your concerns. I would be happy to print your email in letter format and provide a hard copy to the Hearing Officer.

It might help to explain that staff is recommending approval of the modification request to reduce the landscape setback because the project has only 88 feet of buildable depth for new structures, parking and circulation. The strict application of the 80 foot setback standard within this remaining 88 foot project depth would render the site infeasible for development. Essentially, the 80 foot setback takes up the majority of the site.

We have required that the remaining 27 feet of landscape area be enhanced by providing a wide shrub bed that includes berms and landscape boulders, with the intent of providing an enhanced, higher quality landscape edge to compensate for the reduction in setback depth from 80 feet to 27 feet. As part of this enhancement, turf areas are kept to a minimum so that trees and shrubs can be placed in more naturalistic groupings, contributing to an attractive landscape edge that appears spacious and provides design continuity along the Harmony Road frontage. Also, regardless of any landscape setback distance, we have site distance requirements at all intersections in the City to ensure safe view corridors. The project meets these site distance requirements.

We consider the 80 foot setback to be a very important component of the Harmony Road corridor, but unfortunately it doesn't work at this location. Reductions cannot be supported unless there's a strong case for needing a reduction. Thankfully this appears to be the only area of the corridor that is restricted, and the vast majority of the corridor has accommodated the 80 setback. The bar is set high for development standards along Harmony and we'll continue to push for high quality.

I hope this explanation helps.

Thanks, Jason

Jason Holland, PLA | City Planner City of Fort Collins 281 North College Avenue Fort Collins, CO 80522 970.224.6126 jholland@fcgov.com From: Darlene Mace [mailto:darlene.mace@lpl.com] Sent: Tuesday, April 15, 2014 9:58 AM To: Jason Holland Subject: Geico Office Building Project

Jason,

Thank you for sending the public hearing notice regarding the above project.

I am excited to have the corner developed, as it has been an eyesore for an extended period of time.

Unfortunately, I am otherwise committed during the hearing date and location time and am unable to attend.

Having said that, I do have an objection to the reduction in the Harmony Road Setback Zone from 80 to 27 feet. Reasons are as follows:

-Sets a bad president for future development in the area.

-Safety concerns, this is a very busy intersection. It would seem to me that visibility would be greatly reduced, contributing to a potentially hazardous situation.

Not sure if it is possible for someone to keep me in loop as to outcome, but any communication would be greatly appreciated.

Thank you in advance for your attention to this issue.

Darlene Mace LPL Financial

Branch Manager Financial Advisor

LPL Financial 2120 Milestone Dr. Ste. 104 Fort Collins, CO 80525

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