



ITEM NO _____1____
MEETING DATE May 14, 2014
STAFF Holland
HEARING OFFICER

STAFF REPORT

PROJECT: Geico Office Building, Project Development Plan, PDP #130039 and Modification of Standard to Section 4.26(E)(1)

APPLICANT: Cathy Mathis
TB Group
444 Mountain Avenue
Berthoud, Colorado 80513

OWNER: Steve Allen, LLC
115 E Harmony Rd. Ste. 110
Fort Collins, CO 80525

PROJECT DESCRIPTION:

This is a request for approval of a new 2-story, 6,600 square foot commercial building on a 0.548 acre site in the Harmony Corridor (H-C) zone district. The site is located at the northwest corner of East Harmony Road and South Timberline Road, and includes two lots (2016 and 2024 East Harmony Road), which will be platted into one lot with this Project Development Plan. The project includes a new parking area with 26 parking spaces. The Dixon Canyon Irrigation Lateral is located along the northern boundary of the project. An existing transit stop is located on East Harmony Road near the southwest corner of the site.

The project includes a request for one modification of standard that addresses the *Harmony Corridor Development Standards*; more specifically the requirement for an 80 foot minimum landscaped setback zone along the project's Harmony Road frontage, as measured from the future edge of pavement. The 80 foot setback zone is not required along the South Timberline Road frontage.

RECOMMENDATION:

Approval of Geico Office Building, Project Development Plan, PDP #130039, and Modification of Standard to Section 4.26(E)(1).

EXECUTIVE SUMMARY:

The Geico Office Building P.D.P. and Modification of Standard comply with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The P.D.P. complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Modification of Standard to Section 4.26(E)(1) Harmony Corridor Development Standards meets the applicable requirements of Section 2.8.2(H), and the granting of this modification would not be detrimental to the public good.
- The P.D.P. complies with relevant standards located in Division 4.26, Harmony Corridor District (H-C) of Article 4 – Districts, subject to approval of the Modification of Standard.
- The P.D.P. complies with relevant standards located in Article 3 – General Development Standards.

COMMENTS:

1. Background:

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Urban Estate (U-E)	Residential
South	Harmony Corridor (H-C)	Harmony Village Mixed Use Activity Center
East	Harmony Corridor (H-C)	Harmony School Shops Community Shopping Center
West	Harmony Corridor (H-C)	Commercial building, Harmony Wellness Center Subdivision

Land Use History:

- The property was annexed in May 1989 as part of the Harmony Half Aces Annexation.
- Two lots are being combined into one lot with the proposed plat submitted with this project. The two lots are addressed as 2016 and 2024 East Harmony Road.

- 2016 East Harmony Road is located to along the western portion of the project, and was platted in 2001 as the Harmony Lawser Subdivision. This lot contains an existing building which was originally constructed as a single-family detached residence. The residence was later converted into an office use by David Lawser in September 2002. This P.D.P. proposes to demolish the structure to accommodate the proposed site plan configuration.
- 2024 East Harmony Road is located along the eastern portion of the project at the corner of East Harmony and Timberline Road. This lot originally contained a single-family residence and detached garage and was later occupied by commercial uses. All buildings on this lot were demolished in July 2013, and the site is current vacant.

2. **Compliance with Applicable Harmony Corridor (H-C) Standards:**

The project complies with all applicable H-C standards with the following relevant comments provided:

A. *Section 4.26(A) – Purpose*

The proposed land uses and site configuration are consistent with the purpose of the Harmony Corridor District, by contributing to an attractive and complete mixed-use area with a major employment base.

B. *Section 4.26(B) – Permitted Uses*

The proposed land uses are consistent with the permitted uses in the Harmony Corridor District. The development uses specifically proposed with the P.D.P. are *offices, medical office and personal business and service shop*. All of these proposed uses are considered Primary Commercial Uses and no Secondary Uses are proposed.

Examples of Primary Uses in the H-C District are research and testing facilities, hospitals, industrial, regional and international headquarters, private schools and universities, and professional offices.

Examples of Secondary Uses in the H-C District are child care centers, lodging, convenience shopping centers, standard restaurants, and residential uses. Secondary Uses are limited to not more than 25% of the total gross area of development plans in the H-C zone district.

C. *Section 4.26(D)(1) – Harmony Corridor Land Use Standards*

The project is in compliance with this standard, which requires that the development comply with the Harmony Corridor land use and locational

standards as adopted in the Harmony Corridor Land Use Plan. This plan designates the project site to be within the Basic Industrial and Non-Residential Activity Center (BINRAC). The commercial uses proposed are considered Primary Uses in the BINRAC area and are consistent with the intent of the BINRAC designation.

D. Section 4.5(E)(1) – Harmony Corridor Development Standards

This Section requires that all development in the H-C Harmony Corridor District also comply with the applicable *Harmony Corridor Design Standards*. The project is in compliance with all applicable design standards with the following comments:

- An 80 foot landscaped setback zone is required along the Harmony Road frontage as measured from the future edge of pavement. The applicant is proposing a setback zone reduction from 80 feet to 27 feet, which is discussed in further detail on the following pages of this staff report.
- The project provides a landscape pattern and plant section that is consistent with the Harmony Corridor Standards.
- All building elevations provide an overall high quality, attractive architectural design, consistent with the Harmony Corridor Standards.
- All parking is fully screened from public streets by buildings, plant material and berms.

3. Compliance with Article 3 of the Land Use Code – General Development Standards

The project complies with all applicable General Development Standards with the following relevant comments provided:

A. Section – 3.2.1 Landscaping

- Street trees and “Full Tree Stocking” are provided along all high use and high visibility areas of the development in accordance with the standards of this section.
- Ground cover areas in parking lots and at building foundations are also planted in accordance with the minimum requirements, with deciduous and evergreen shrubs, perennials and ornamental grasses used extensively. Trees are planted in the parking lot interior and perimeter in conformance with the minimum requirements and in conformance with the standards recommended with the Harmony Corridor design guidelines.

- Based on staff's recommendation, the landscape area provided along East Harmony Road exceeds the minimum planting requirements for screening vehicle use areas by providing a wide shrub bed that includes berms and landscape boulders, with the intent of providing an enhanced, higher quality landscape edge to compensate for the reduction in setback depth from 80 feet to 27 feet. As part of this enhancement, turf areas are kept to a minimum so that trees and shrubs can be placed in more naturalistic groupings, contributing to an attractive landscape edge that appears spacious and provides design continuity along the Harmony Road frontage.

B. Section 3.2.2 – Access, Circulation and Parking

A total of 26 off-street parking spaces are provided in accordance with the maximum quantity permitted in this section. The parking spaces and drive isles provided meet the minimum dimensional requirements in this section. In conformance with the *Purpose, General Standard and Development Standards* described in this section, the parking and circulation system provided with the project is well designed with regard to safety, efficiency and convenience for vehicles, bicycles, pedestrians and transit.

C. Section 3.2.2(C)(6) – Direct On-Site Access to Pedestrian and Bicycle Connections

A 6 foot sidewalk provides a direct connection from the building's entrance to the existing sidewalk along East Harmony Road in accordance with this section. Bicycle parking is planned in accordance with the minimum quantity and is placed appropriately near the building entrance.

D. Section 3.2.4 – Site Lighting

A photometric plan was submitted for the project that complies with the lighting levels and design standards of this section. Parking lot and drive lighting is provided by down-directional and sharp cut-off fixtures.

E. Section 3.2.5 – Trash and Recycling Enclosures

The project provides a fully screened trash enclosure with walk-in access to recycling and waste containers in accordance with the requirements of this section. The enclosure is finished with brick which provides a high quality appearance consistent with the building design.

F. Section 3.4.1 – Natural Habitats and Features

The Dixon Canyon Irrigation Lateral runs along the northern edge of the property and qualifies as a natural habitat feature. Because the project is within 500' of this natural habitat, a natural habitat buffer zone is provided along the northern boundary of the project. The existing ecological value of this habitat is low. A thin strip of vegetated wetlands exists along the north bank of the irrigation ditch, but it is not on the property.

The site has minimal habitat value due to prior development on the site, and there are no significant native trees or vegetation present. The property currently is only utilized by weedy and urban-adapted species. Weedy species such as cheat grass, Canada thistle, and field bindweed are the predominate vegetation. Urban-adapted species may occasionally use the site for foraging. One significant Siberian Elm is present at the northwestern corner of the property. No significant existing trees are proposed to be removed.

To meet the buffer standards associated with Section 3.4.1, the project proposes to apply the performance standards contained in Section 3.4.1(E) of the Land Use Code. Staff finds that the project meets the standards in Section 3.4.1 by incorporating additional native trees, shrubs, and grasses in the designated buffer area to enhance the existing low-value natural ecological characteristics present on this portion of the site.

G. Section 3.5.3 – Mixed-Use, Institutional and Commercial Buildings

The extensive articulation of the building form and generous use of brick and stone contribute to a high quality appearance that is consistent with the high quality architectural design required within the Harmony Corridor.

The overall building design provides a high level of quality that satisfies the commercial building requirements of this section. Variations in massing, juxtaposed materials and forms with varied patterns of recesses and projections provide vertical and horizontal interest, breaking down the overall scale of the building.

All building elevations provide a recognizable base and top treatment in accordance with Section 3.5.3(D)(6), with all areas of wall plane receiving a substantial base plane treatment to provide vertical relief and human scale. Entrance canopies and projecting roof elements are used to further articulate the building and provide a high level of detail.

H. Section 3.6.4 Transportation Level of Service Requirements

The Traffic Operations and Engineering Departments have reviewed the proposed project and have determined that the vehicular, pedestrian and bicycle facilities proposed with this P.D.P are consistent with the standards contained in Part II of the City of Fort Collins Multi-modal Transportation Level of Service Manual.

MODIFICATION OF STANDARD:

Land Use Code Modification Criteria:

“The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

(1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or

(2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or

(3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

4. **Modification of Standard Request to Section 4.26(E)(1) Harmony Corridor Development Standards**

A. **Description of the Modification:**

The applicant has submitted a request for approval of a Modification of Standard to 4.26(E)(1) *Harmony Corridor Development Standards* requesting a reduction in the required 80 foot Harmony Road Setback Zone to provide a 27 foot setback zone in lieu of the 80 foot requirement.

B. **The standard:**

Section 4.26(E)(1) Harmony Corridor Development Standards. All development in the H-C Harmony Corridor District shall also comply with the Harmony Corridor design standards as adopted by the city...

The specific design standard described on page five of the Harmony Corridor Standards and Guidelines is as follows:

Developments located along the Harmony Road Frontage, east of Boardwalk Drive, shall provide a minimum 80 foot setback from the future edge of pavement, as determined by the City.

This area is referenced in the standards as the “setback zone.” The purpose of this Harmony Road setback zone is to provide enough area between Harmony Road and adjacent development to create an attractive landscape that appears spacious and provides continuity along the Harmony Road Frontage.

C. **Applicant’s Justification:**

The applicant has provided the following justification narrative:

“The property has several physical constraints. It is a shallow, 100’ deep lot and the existing Dixon Canyon Ditch runs partially through the site, thus causing the parking area to be pushed towards Harmony Road. If the 80’ setback were imposed, the remainder of the lot would be 35’ wide, which would render the site infeasible.”

“We feel that the granting of this modification of standard would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner’s ability to install a solar energy system, the strict application of the standard sought to be modified would result in

unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.”

“Justification:

- *The proposed plan provides an enhanced landscape edge, using a combination of berms, boulders and a naturalistic plant palette in keeping with the Harmony Road streetscape.*
- *The setback as modified permits an underutilized parcel to be developed by building an attractive, desirable product in an infill site that the community can be proud of. Although not strictly a criteria for justification, the construction of the project would be a benefit to the neighborhood.*
- *The modification is minor when considered from the perspective of the entire development plan. The project is consistent with the LUC (Land Use Code) with appropriate building setbacks and enhanced architecture that provides appropriate scale, massing and detail. The resulting project enhances the character of the Harmony Corridor.”*

D. Staff Finding for the Modification:

Staff finds that the request for the Modification of Standard to Section 4.26(E)(1) *Harmony Corridor Development Standards* is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has a narrow depth of approximately 114 feet, as measured from the established edge of pavement along East Harmony Road, with approximately 26 feet of the 114 feet located within a natural habitat buffer zone along the northern boundary. Deducting the 26 foot buffer from the project's overall depth of 114 feet leaves 88 feet of depth

remaining for potential development of new structures, parking and circulation. The strict application of the 80 foot setback standard within this remaining 88 foot project depth represents an exceptional physical condition and undue hardship not caused by the applicant which would render the subject site infeasible for development of the proposed uses, which are permitted uses in the H-C zone district.

5. Neighborhood Meeting

Due to the uses proposed, a City neighborhood meeting was not required and a meeting was not held for the project.

6. Findings of Fact/Conclusion

In evaluating the Geico Office Building Project Development Plan, staff makes the following findings of fact:

- A. The Modification of Standard to Section 4.26(E)(1) *Harmony Corridor Development Standards* is justified by the applicable standards in 2.8.2(H). The granting of the Modifications would not be detrimental to the public good, and:

The request satisfies Criteria (2.8.2(H)(3):

By reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

The request satisfies Criteria 2.8.2(H)(3) because the project has a narrow depth of approximately 114 feet, as measured from the established edge of pavement along East Harmony Road, with approximately 26 feet of the 114 feet located within a natural habitat buffer zone along the northern boundary. Deducting the 26 foot buffer from the project's overall depth of 114 feet leaves 88 feet of depth remaining for potential development of new structures, parking and circulation. The strict application of the 80 foot setback standard within this remaining 88 foot project depth represents an exceptional physical condition and undue hardship not caused by the applicant which would render the subject site infeasible for development of the proposed uses, which are permitted uses in the H-C zone district.

- B. The P.D.P. complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- C. The P.D.P. complies with relevant standards located in Article 3 – General Development Standards.
- D. The P.D.P. complies with relevant standards located in Division 4.26, Harmony Corridor District (H-C) of Article 4 – Districts.

RECOMMENDATION:

Approval of Geico Office Building, Project Development Plan, PDP #130039, and Modification of Standard to Section 4.26(E)(1).

ATTACHMENTS:

1. Statement of Planning Objectives
2. Applicant's Modification Request
3. Site and Landscape Plan
4. Building Elevations
5. Plat and Utility Plans
6. Lighting Plan
7. Ecological Characterization Study and staff summary review
8. Harmony Corridor Land Use Plan
9. Letters from residents

December 23, 2013

Geico Office Building **Statement of Planning Objectives**

This proposal is for a new office building to be located at 2024 East Harmony Road. Currently, there are two lots (2016 and 2024), which will be platted with into one lot with this PDP.

Uses surrounding the property consist of the following:

South: Harmony Village Shopping Center, Zoned HC
West: Harmony Wellness Center, Zoned HC
North: Harmony Half Acres Subdivision, Zoned UE
East: Harmony School Shops, Zoned HC

The proposed building will contain approximately 6,600 sq. ft. of office space and is two stories in height. Main access to the site will utilize an existing (right-in /right-out only) entrance off of Harmony Road, which currently serves the Forever Young hair salon. 26 parking spaces will be provided for employees and visitors.

The .548-acre site is in the H-C zoning district. The area surrounding the Geico office building contains a mix of single-family homes, retail, shopping centers, and medical uses. The site is ideal for this type of use as it provides a high-quality building in an underutilized vacant infill site in Fort Collins. The proposed project is located within walking and biking distance to neighborhoods, restaurants, and shopping centers. There is an existing transit stop on Harmony Road in front of the site.

(i) Statement of appropriate City Plan Principles and Policies achieved by the proposed plan:

The Geico Office Building meets the following applicable City Plan Principles and Policies:

Economic Health

Principle EH 4: The City will encourage the redevelopment of strategic areas within the community as defined in the Community and Neighborhood Livability and Neighborhood Principles and Policies.

**Policy EH 4.1 –Prioritize Targeted Redevelopment Areas
Policy EH 4.2 – Reduce Barriers to Infill Development and Redevelopment**

By building a new office building, Geico will continue to promote and sustain their local business thereby further enhancing the economic health of Fort

Collins. This represents business retention for a business that is successful in Fort Collins.

Environmental Health

Principle ENV 19: The City will pursue opportunities to protect and restore the natural function of the community's urban watersheds and streams as a key component of minimizing flood risk, reducing urban runoff pollution, and improving the ecological health of urban streams.

Policy ENV 19.2 – Pursue Low Impact Development

The project is implementing LID by incorporating grass swales and pervious pavement, which will treat runoff from the new building.

Community and Neighborhood Livability

Principle LIV 38: Employment Districts will be the major employment centers in the community, and will also include a variety of complementary uses to meet the needs of employees. By design, they will be accessible to the City's multimodal transportation system and encourage walking, bicycling, car and van pooling, and transit use.

Policy LIV 38.1 – Mix of Uses

Policy LIV 38.3 – Land Use Transitions

Policy LIV 38.5 – Coordinate District Design

Policy LIV 38.7 – Address Parking

Policy LIV 38.8 – Provide Walkways and Bikeways

The proposed office building is a primary use located in a targeted activity center. The area surrounding the site contains a mix of residential, institutional, employment, office and retail. The visual impacts of the parking lot have been reduced by placing the parking to the side of the building and enhancing with landscaping.

Transportation

Principle T 9: Enhanced Travel Corridors will contain amenities and designs that specifically promote walking, the use of mass transit, and bicycling.

Policy T 9.1 – Locating Enhanced Travel Corridors

Principle T10: Using transit will be a safe, affordable, easy, and convenient mobility option for all ages and abilities.

Policy T 10.1 – Transit Stops

Policy T 10.6 – High Frequency Transit Service

Principle T11: Bicycling will be a safe, easy, and convenient mobility option for all ages and abilities

The location of this building and its proximity to Harmony and Timberline Roads will promote and support the idea of a predominance of the daily trips of the employees of this project utilizing alternative modes of transportation (walking/biking) or public transportation. The on-street bike lanes will help to encourage safe cycling. Both Harmony and Timberline Roads are designated as enhanced travel corridors and there is an existing Transfort stop on Harmony in front of the site.

(ii) Description of proposed open space, wetlands, natural habitats and features, landscaping, circulation, transition areas, and associated buffering on site and in the general vicinity of the project.

The site is adjacent to the Dixon Canyon Lateral irrigation ditch. There was an Ecological Characterization Report prepared and submitted to the City. We will determine the best way to treat the natural buffer zone during the review process.

(iii) Statement of proposed ownership and maintenance of public and private open space areas; applicant's intentions with regard to future ownership of all or portions of the project development plan.

The project will be owned by Steve Allen LLC. All maintenance for common areas, landscape, trash removal, stormwater infrastructure, and snow removal shall be performed by the property owner.

(iv) Estimate of number of employees for business, commercial, and industrial uses.

The number of employees is estimated to be approximately 10-15.

(v) Description of rationale behind the assumptions and choices made by the applicant.

Our assumptions are based on the following rationale for the proposed office use:

Office Building – The motivation behind the new building was to relocate an existing insurance agency to a new building as well as provide Class A office space for lease. The site has been an eyesore for a number of years, so the improvements will create an attractive corner presence at the intersection of two busy streets.

(vi) The applicant shall submit as evidence of successful completion of the applicable criteria, the completed documents pursuant to these regulations for each proposed use. The planning Director may require, or the applicant may choose to submit, evidence that is beyond what is required in that section. Any variance from the criteria shall be described.

At this time the project is not proposing any variance from any City of Fort Collins criteria. See above for applicable criteria.

(vii) Narrative description of how conflicts between land uses or disturbances to wetlands, natural habitats and features and or wildlife are being avoided to the maximum extent feasible or are mitigated.

The site is adjacent to the Dixon Canyon Lateral irrigation ditch. There was an Ecological Characterization Report prepared and submitted to the City. We will determine the best way to treat the natural buffer zone during the review process.

- (viii) Written narrative addressing each concern/issue raised at the neighborhood meeting(s), if a meeting has been held.**

There was no neighborhood meeting.

- (ix) Name of the project as well as any previous name the project may have had during Conceptual Review.**

The project is called Geico Office Building. The project was referred to as 2024 Harmony Road – Insurance Office at Conceptual Review.

April 14, 2014

Administrative Hearing Officer
c/o City of Fort Collins
Current Planning Department
281 North College Ave.
Fort Collins, CO 80524

Re: Geico Office Building

Please accept this request for a Modification of Standards to the **Harmony Corridor Standards and Guidelines**.

Background

This proposal is for a new office building to be located at 2024 East Harmony Road. Currently, there are two lots (2016 and 2024), which will be platted with into one lot with this PDP.

The proposed building will contain approximately 6,600 sq. ft. of office space and is two stories in height. Main access to the site will utilize an existing (right-in /right-out only) entrance off of Harmony Road, which currently serves the Forever Young hair salon. 26 parking spaces will be provided for employees and visitors.

The .548-acre site is in the H-C zoning district. The area surrounding the Geico office building contains a mix of single-family homes, retail, shopping centers, and medical uses. The site is ideal for this type of use as it provides a high-quality building in an underutilized vacant infill site in Fort Collins. The proposed project is located within walking and biking distance to neighborhoods, restaurants, and shopping centers. There is an existing transit stop on Harmony Road in front of the site.

Modification

The modification requested is for the **Harmony Corridor Standards and Guidelines** "General Standards and Guidelines" section regarding the Harmony Road Setback. The requirement is for all new developments east of Boardwalk Drive must provide a minimum 80 foot setback from the future edged of pavement.

The property has several physical constraints. It is a shallow, 100' deep lot and the existing Dixon Canyon Ditch runs partially through the site, thus causing the parking area to be pushed towards Harmony Road. If the 80' setback were imposed, the remainder of the lot would be 35' wide, which would render the site infeasible.

Requested Modification: Given the above, we request that the proposed setback be 27 feet instead of 80 feet.

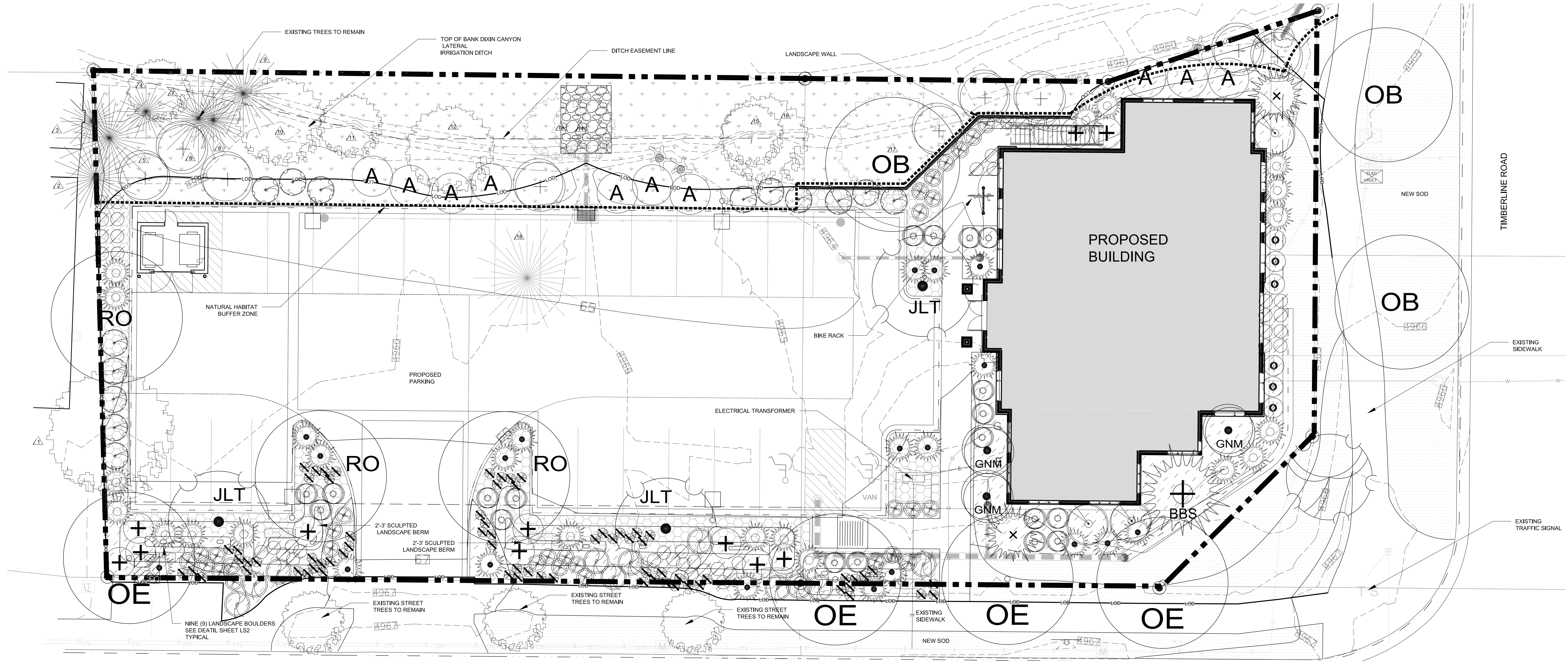
Modification Criteria

We feel that the granting of this modification of standards would not be detrimental to the public good, and by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of

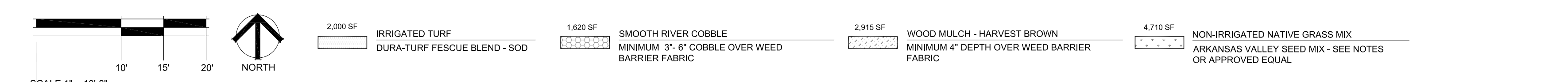
such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant.

Justification

- The proposed plan provides an enhanced landscape edge, using a combination of berms, boulders and a naturalistic plant palette in keeping with the Harmony Road streetscape.
- The setback as modified permits a underutilized parcel to be developed by building an attractive, desirable product in an infill site that the community can be proud of. Although not strictly a criteria for justification, the construction of the project would be a benefit to the neighborhood.
- The modification is minor when considered from the perspective of the entire development plan. The project is consistent with the LUC with appropriate building setbacks and enhanced architecture that provides appropriate scale, massing and detail. The resulting project enhances the character of the Harmony Corridor.



Landscape Plan



Existing Tree Schedule

COMMON NAME	SIZE	CONDITION	TO BE REMOVED	MITIGATION REQUIRED
1. MULBERRY	17"	FAIR	NO	NO
2. COLORADO SPRUCE	11"	FAIR / POOR	NO	NO
3. COLORADO SPRUCE	16"	FAIR	NO	NO
4. COLORADO SPRUCE	5"	FAIR	NO	NO
5. COLORADO SPRUCE	13"	FAIR	NO	NO
6. COLORADO SPRUCE	8"	POOR	NO	NO
7. GREEN ASH	5"	POOR	NO	NO
8. COLORADO SPRUCE	13"	FAIR	NO	NO
9. COLORADO SPRUCE	8"	POOR	NO	NO
10. GREEN ASH	7"	FAIR	NO	NO
11. BLACK WALNUT	12"	FAIR	NO	NO
12. GREEN ASH	5"	POOR	NO	NO
13. GREEN ASH	5"	POOR	NO	NO
14. BLACK WALNUT	14"	POOR / FAIR	NO	NO
15. GREEN ASH	8"	POOR	YES	YES-1
16. GREEN ASH	8"	POOR	YES	YES-1
17. SIBERIAN ELM	11"	VERY POOR	NO	NO
18. JUNIPER / CEDAR	18"	FAIR	YES	YES-3
TOTAL MITIGATION				5 TREES

Annual Hydrozone Table

ZONE	AREA	WATER USE	GALLONS
HIGH	N/A	18 GAL/SF	0 GAL.
MODERATE	2,000 SF	10 GAL/SF	20,000 GAL.
LOW	4,535 SF	3 GAL/SF	13,605 GAL.
VERY LOW	4,710 SF	0 GAL/SF	0 GAL.
TOTAL / AVERAGE	11,245 SF	33,605 GAL	3.0 GAL/SF

NOTE: THE OBJECTIVE OF THE BUFFER ZONE IS TO PROTECT THE ECOLOGICAL CHARACTER OF THE NATURAL HABITAT FROM THE IMPACTS OF THE ACTIVITIES ASSOCIATED WITH THE DEVELOPMENT AND SHOULD BE MAINTAINED AS A NATIVE LANDSCAPE.
 PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.

Irrigation Notes

- ENTIRE IRRIGATION SYSTEM AND ASSOCIATED IRRIGATION TAP(S) TO BE SIZED, DESIGNED BY A PROFESSIONAL IRRIGATION CONSULTANT AND SUBMITTED AS A PART OF THE BUILDING PERMIT PROCESS AND SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM. IF NECESSARY CONTACT THE WATER DISTRICT PRIOR TO BEGINNING DESIGN TO OBTAIN AVAILABLE PRESSURES.
- ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25 FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.
- ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF IRRIGATED TURF AREAS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP OR BUBBLER IRRIGATION SYSTEM.
- IRRIGATION SYSTEM WITH RAIN SENSOR SMART CONTROLLER AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLES SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- FINAL LOCATION OF IRRIGATION HEADS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. HEAD LOCATION SHALL BE COORDINATED IN THE FIELD WITH EXISTING SITE CONDITIONS AND PLANT MATERIAL.
- ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

Plant List

KEY	QTY	RATIO	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	SIZE	INSTALLATION NOTES
SHADE / CANOPY TREES - 10								
OB	3	17.6%	OAK, BURR	Quercus macrocarpa	60'	50'	2.0' cal BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
OE	4	23.5%	OAK, ENGLISH	Quercus robur	60'	40'	1.5' cal BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
RO	3	17.6%	OAK, SHUMARD RED	Quercus shumardii	50'	50'	2' cal BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
EVERGREEN TREES - 3								
	2	11.8%	PINE, BOSNIAN	Pinus heldreichii	12'	25'	20 Gallon	4'-6' BALANCED, WELL BRANCHED
	1	5.9%	SPRUCE, BAKERI	Picea pungens 'Bakeri'	35'	20'	6'-8' BB	FULL SPECIMEN, EVENLY AND WELL BRANCHED W/ STRAIGHT TRUNK & TOP LEADER
ORNAMENTAL TREES - 4								
JLT	3	17.6%	LILAC, JAPANESE LILAC TREE	Syringa reticulata	20'	20'	6' Multi-Stem	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	1	5.9%	CRABAPPLE, SPRING SNOW	Malus spp. 'Spring Snow'	20'	20'	1.5' cal BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
EVERGREEN SHRUBS - 38								
	19	-	JUNIPER, BLUE CHIP	Juniperus horizontalis 'Blue Chip'	1'	6'	5 Gallon	6" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	19	-	JUNIPER, ARCADIA	Juniperus sabina 'Arcadia'	2.5'	5'	5 Gallon	12" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
DECIDUOUS SHRUBS - 85								
	11	-	DOGWOOD, CARDINAL	Cornus stolonifera	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	19	-	LILAC, DWARF KOREAN	Syringa meyeri 'Palibin'	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	3	-	MAPLE, TARTARIAN	Acer tataricum	15'	15'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	9	-	PLUM, AMERICAN	Prunus americana	15'	10'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	3	-	PLUM, PURPLE LEAF	Prunus x cistena	8'	6'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	6	-	ROSE, RED KNOCK-DOUBLE RED	Rosa knock-out 'RedTKO'	4'	4'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	11	-	SANDCHERRY, CREEPING	Prunus besseyi 'Pawnee Buttes'	18"	5'	5 Gallon	12" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	14	-	SUMAC, THREE-LEAF	Rhus trilobata	5'	5'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
	9	-	CHOKECHERRY, NATIVE	Prunus virginiana melanocarpa	12'	12'	5 Gallon	24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED
PERENNIALS / GRASSES - 141								
	41	-	GRASS, FEATHER REED	Calamagrostis acutiflora 'Karl Foerster'	4'	2'	1 Gallon	WELL ROOTED AND ESTABLISHED
	70	-	GRASS, FESCUE BOULDER BLUE	Festuca glauca 'Boulder Blue'	12"	1'	1 Gallon	WELL ROOTED AND ESTABLISHED
	30	-	GRASS, HEAVY METAL BLUE SWITCH	Panicum virgatum 'Heavy Metal'	3'	18"	1 Gallon	WELL ROOTED AND ESTABLISHED

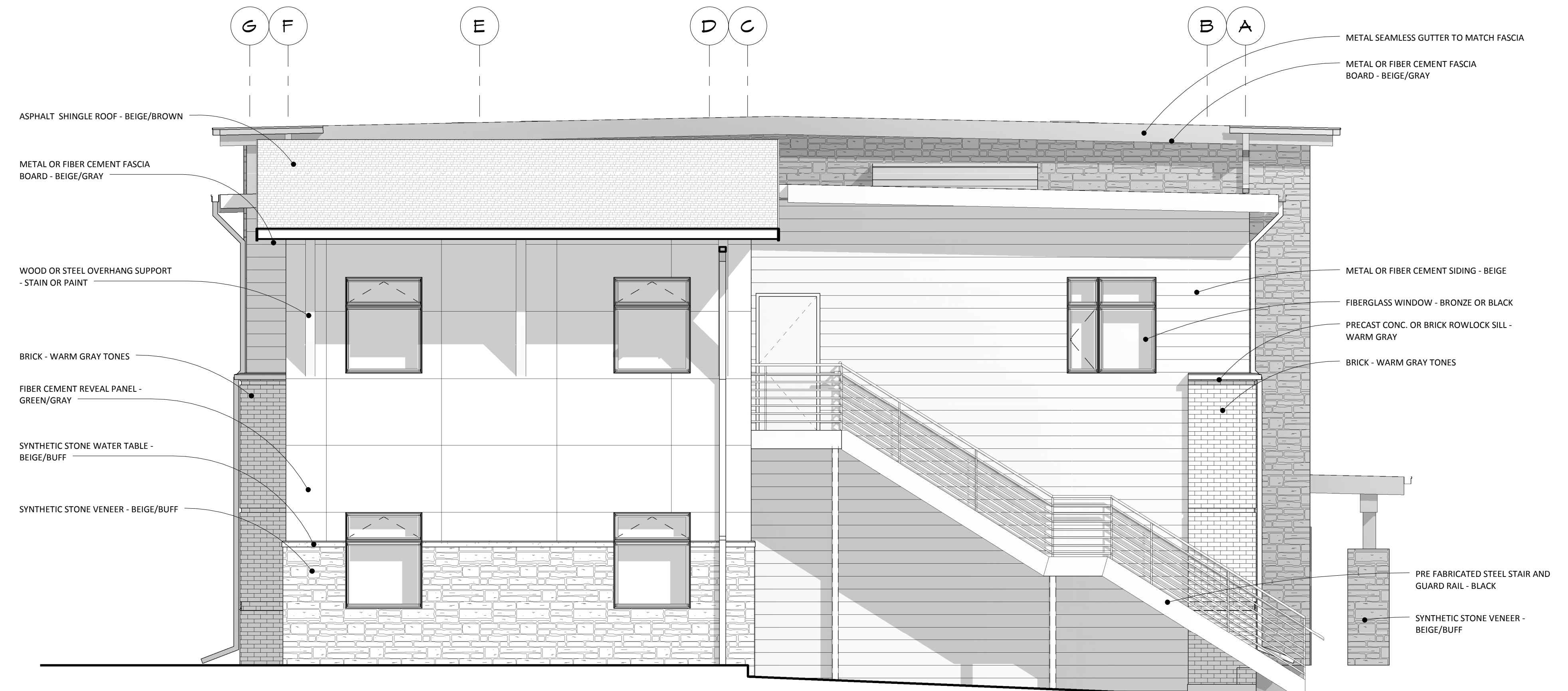
GENERAL NOTES:
 1. ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE PAINTED TO MATCH BUILDING.
 2. ALL MECHANICAL AND ELECTRICAL METERS TO BE PAINTED TO MATCH BUILDING.



1 PDP - EAST ELEVATION
 PDP1 SCALE: 1/4" = 1'-0" RE: 1 / A3.1



3 VIEW FROM SOUTHEAST
 PDP1 SCALE:



2 PDP - NORTH ELEVATION
 PDP1 SCALE: 1/4" = 1'-0" RE: 1 / A3.1

GEICO OFFICE BUILDING
 2024 E. HARMONY RD.
 FORT COLLINS, CO



ALLER + LINGLE + MASSEY

ARCHITECTS

P.C.

712 WHALERS WAY SUITE, B-100
 FORT COLLINS, CO 80525
 (970) 223-1820
 www.aller-linge-massey.com

NOT FOR CONSTRUCTION

BUILDING ELEVATIONS

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PROJECT 1326
 DATE 04/17/14
 DRAWN KEE

PDP1

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GENERAL NOTES:
 1. ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE PAINTED TO MATCH BUILDING.
 2. ALL MECHANICAL AND ELECTRICAL METERS TO BE PAINTED TO MATCH BUILDING.

2 PDP - WEST ELEVATION
 SCALE: 1/4" = 1'-0" RE: 1 / A3.1



3 VIEW FROM SOUTHWEST
 SCALE: /



4 VIEW FROM WEST
 SCALE: / RE: /



1 PDP - SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" RE: 1 / A3.1

GEICO OFFICE BUILDING
 2024 E. HARMONY RD.
 FORT COLLINS, CO



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 www.aller-lingle-massey.com

BUILDING ELEVATIONS

PROJECT 1326
 DATE 04/17/14
 DRAWN KEE

PDP 2

NOT FOR CONSTRUCTION

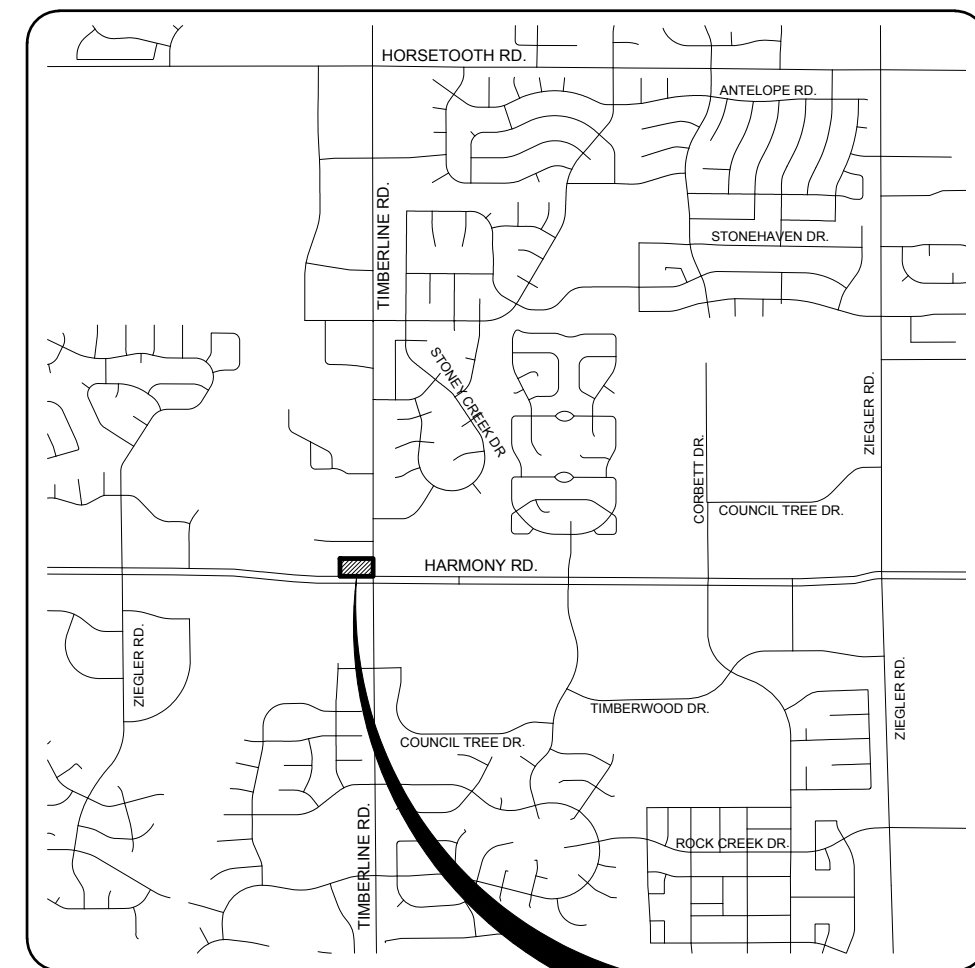
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PRINTED: 4/27/2014 11:51:01 AM

UTILITY PLANS FOR GEICO OFFICE BUILDING

A TRACT OF LAND LOCATED IN SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6th P.M.,
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

MARCH, 2013



PROJECT LOCATION



PROJECT BENCHMARKS:

BENCHMARK #1:
City of Fort Collins Benchmark 6-13
Elevation= 4970.30 (NAVD 88) - For Reference Only
Elevation= 4967.10 (NGVD 29 - Unadjusted) - Project Datum

BENCHMARK #2:
City of Fort Collins Benchmark 1-96
Elevation= 4945.01 (NAVD 88) - For Reference Only
Elevation= 4941.81 (NGVD 29 - Unadjusted) - Project Datum

Basis of Bearings
Basis of Bearings is the South line of the Southeast quarter of Section 31-7-68 as bears North 89°31'41" West (assumed bearing).

ORIGINAL FIELD SURVEY BY:

Northern Engineering Services, Inc.
NE Project No. 959-001
Date: September 18, 2013

ADDITIONAL FIELD SURVEYS:
Northern Engineering Services, Inc.
Date(s): October 17, 2013

SUBSURFACE EXPLORATION BY:

Earth Engineering, Inc.
"SUBSURFACE EXPLORATION REPORT GEICO INSURANCE OFFICE BUILDING
2024 EAST HARMONY ROAD"
EEC Project No. 1132073
Date: October 14, 2013

DISCLAIMER STATEMENT:

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

CERTIFICATION STATEMENT:

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes, respectively, and that I am fully responsible for the accuracy of all design, revisions, and record conditions that I have noted on these plans.

CONTACT INFORMATION

PROJECT TEAM:



OWNER
Local Geico Office
Steve Allen
115 E. Harmony Rd. Suite 110
Fort Collins, Colorado 80525
(970) 221-5230
email: SAllen@geico.com



**PLANNER/
LANDSCAPE ARCHITECT**
The Birdsall Group
Cathy Mathis, APA
444 Mountain Ave.
Berthoud, Colorado 80513
(970) 532-5891



ARCHITECT
Aller Lingle Massey
Ian Shuff, AIA
712 Whalers Way
Fort Collins, Colorado 80525
(970) 223-1820



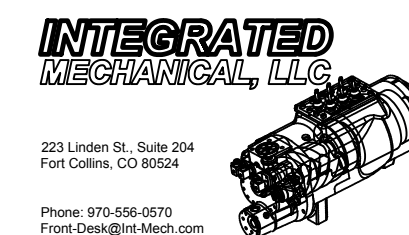
SITE ENGINEER
Northern Engineering Services, Inc.
Nick Haws, PE
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524
(970) 221-4158



SURVEYOR
Northern Engineering Services, Inc.
Gary Gilliland, PLS
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524
(970) 221-4158



GEOTECHNICAL ENGINEER
Earth Engineering Company, Inc.
Lester Litton, PE
4398 Greenfield Drive
Windsor, Colorado 80550
(970) 545-3908



MECHANICAL ENGINEER
Integrated Mechanical
Thomas Segelhorst, PE
223 Linden St., Suite 204
Fort Collins, Colorado 80524
(970) 556-0570

UTILITY CONTACT LIST: *

UTILITY COMPANY	PHONE NUMBER
GAS----- Xcel Energy----- Al Ermer	(970) 225-7869
ELECTRIC----- City of Fort Collins Light & Power-- Doug Martine	(970) 224-6152
CABLE----- Comcast----- Don Kapperman	(970) 567-0425
TELECOM----- CenturyLink----- Samuel Banulis	(970) 490-7507
WATER----- City of Fort Collins Utilities----- Roger Buffington	(970) 221-6700
WASTEWATER----- City of Fort Collins Utilities----- Roger Buffington	(970) 221-6700
STORMWATER----- City of Fort Collins Utilities----- Glen Schlueter	(970) 221-6700

*This list is provided as a courtesy reference only. Northern Engineering Services assumes no responsibility for the accuracy or completeness of this list. In no way shall this list relinquish the Contractor's responsibility for locating all utilities prior to commencing any construction activity. Please contact the Utility Notification Center of Colorado (UNCC) at 811 for additional information.

SHEET INDEX

C0.00	COVER SHEET
C0.01	GENERAL & CONSTRUCTION NOTES
C1.00	EXISTING CONDITIONS & DEMOLITION PLAN
C2.00	HORIZONTAL CONTROL
C3.00	UTILITY PLAN
C4.00	GRADING PLAN
C5.00	EROSION CONTROL STATIC PLAN
C5.01	EROSION CONTROL CONSTRUCTION DETAILS
C6.00	DRAINAGE EXHIBIT
C7.00-C7.03	CONSTRUCTION DETAILS

DIXON CANYON LATERAL

Owner: Warren Lake Reservoir Company _____ Date _____

Fort Collins - Loveland Water District
South Fort Collins Sanitation District

Mr. Michael D. DiTullo, Manager _____ Date _____

Mr. Terry W. Farill, P.E., District Engineer _____ Date _____

All changes, addendum, additions, deletions and modifications to these drawings must be approved in writing, by the Fort Collins - Loveland Water District and the South Fort Collins Sanitation District.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date _____

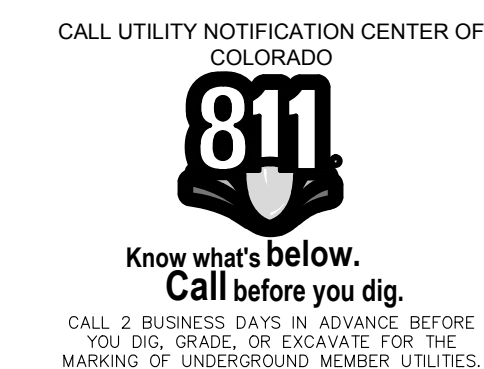
CHECKED BY: _____ Water & Wastewater Utility _____ Date _____

CHECKED BY: _____ Stormwater Utility _____ Date _____

CHECKED BY: _____ Parks & Recreation _____ Date _____

CHECKED BY: _____ Traffic Engineer _____ Date _____

CHECKED BY: _____ Environmental Planner _____ Date _____



Revisions:
No. _____ Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
3/26/14

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the employ of Northern Engineering Services, Inc.

NORTHERN ENGINEERING
PHONE: 970-221-4158 FAX: 970-221-4159
www.northernengineering.com

NE
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524

PROJECT: 959-001
DATE: 3/26/14
DESIGNED BY: C. Snowden
SCALE: N.A.
DRAWN BY: C. Bowen
REVIEWED BY: R. Curfiss

GEICO OFFICE BUILDING
COVER SHEET

Sheet
C0.00
Of 13 Sheets

A. GENERAL NOTES

- 1. All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Larimer County Urban Area Street Standards and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the City of Fort Collins.
2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
5. All sanitary sewer, storm sewer, and water line construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for unknown underground utilities.
7. The Developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
8. The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a pre-construction meeting may be required prior to commencement of any work.
12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.
13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water Utility.
14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.
16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
19. All recommendations of the Preliminary Drainage and Erosion Control Report for Geico Office Building dated March 5, 2014 by Northern Engineering Services, Inc., shall be followed and implemented.
20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the the City of Fort Collins street inspector.
22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable.
23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the the City of Fort Collins Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer's absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the City of Fort Collins Engineer approves the final report.
25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.
26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
27. Portions of Larimer County are within overlay districts. The Larimer County Flood Plain Resolution should be referred to for additional criteria for roads within these districts.
28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.
29. Prior to the commencement of any construction, the contractor shall contact the Local Entity Forester to schedule a site inspection for any tree removal requiring a permit.
30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority. (The City of Fort Collins, Larimer County, Colorado), for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact the City of Fort Collins Traffic Operations Department, who will temporarily remove or relocate the sign at no cost to the contractor, however, if the contractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.
33. The Developer is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Development's local street operations. In addition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.

- 34. There shall be no site construction activities on Saturdays, unless specifically approved by the City of Fort Collins Engineer, and no site construction activities on Sundays or holidays, unless there is prior written approval by the City of Fort Collins.
35. The Developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.
36. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built record drawings.
37. The Developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.
38. If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Developer shall contact the Designer and the City of Fort Collins Engineer immediately.
39. The Developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and available to the Larimer County's Inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the City of Fort Collins Engineer.
40. The Designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks (2) for the project as well as the basis of bearings. The information shall be as follows:
BENCHMARK #1:
City of Fort Collins Benchmark 6-13
Elevation= 4970.30 (NAVD 88) - For Reference Only
Elevation= 4967.10 (NGVD 29 - Unadjusted) - Project Datum
BENCHMARK #2:
City of Fort Collins Benchmark 1-96
Elevation= 4945.01 (NAVD 88) - For Reference Only
Elevation= 4941.81 (NGVD 29 - Unadjusted) - Project Datum
Basis of Bearings
Basis of Bearings is the South line of the Southeast quarter of Section 31-7-68 as bears North 89°31'41" West (assumed bearing).
41. All stationing is based on centerline of roadways unless otherwise noted.
42. Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
43. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be done in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of need for a complete overlay shall be made by the Larimer County Engineer and/or the City of Fort Collins Inspector at the time the cuts are made.
44. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.
45. Standard Handicap ramps are to be constructed at all curb returns and at all "T" intersections.
46. After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
47. The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: N.A.
48. Approved Variances are listed as follows: N.A.

CONSTRUCTION NOTES

A. Grading and Erosion Control Notes

- 1. The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.
2. There shall be no earth-disturbing activity outside the limits designated on the accepted plans.
3. All required perimeter silt and construction fencing shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
4. At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.
5. Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.
6. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City/County.
7. In order to minimize erosion potential, all temporary (structural) erosion control measures shall:
a. Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.
b. Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector.
c. Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.
8. When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.
9. The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of way, and make sure streets and walkways are cleaned at the end of each working day.
10. All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.
11. No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.
12. The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the City/County or Homeowners Association (HOA).
13. City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and federal regulations.
14. A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.
15. Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City.

B. Street Improvement Notes

- 1. All street construction is subject to the General Notes on the cover sheet of these plans as well as the Street Improvements Notes listed here.
2. A paving section design, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval, prior to any street construction activity, (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.
3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the City of Fort Collins Engineer in Fort Collins.
4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the City of Fort Collins Engineer.
5. Ft. Collins only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings are not allowed.
6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the Inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete overlay shall be made by the City of Fort Collins Engineer. All overlay work shall be coordinated with adjacent landowners such that future projects do not cut the new asphalt overlay work.
7. All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as per the Right-of-Way Work Permit traffic control plan.
8. The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of asphalt. Gutters that hold more than 1/4 inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.
9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less than 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive pumping or deformation, as determined by the City of Fort Collins Engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The City of Fort Collins Engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be performed in the presence of an Inspector.

C. Traffic Signing and Pavement Marking Construction Notes

- 1. All signage and marking is subject to the General Notes on the cover sheet of these plans, as well as the Traffic Signing and Marking Construction Notes listed here.
2. All symbols, including arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.
3. All signage shall be per the City of Fort Collins Standards and these plans or as otherwise specified in MUTCD.
4. All lane lines for asphalt pavement shall receive two coats of latex paint with glass beads.
5. All lane lines for concrete pavement should be epoxy paint.
6. Prior to permanent installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and placement of the same. Their placement shall be approved by the City of Fort Collins Traffic Engineer prior to permanent installation of striping and symbols.
7. Pre-formed thermo-plastic applications shall be as specified in these Plans and/or these Standards.
8. Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.
9. All surfaces shall be thoroughly cleaned prior to installation of striping or markings.
10. All sign posts shall utilize break-away assemblies and fasteners per the Standards.
11. A field inspection of location and installation of all signs shall be performed by the City of Fort Collins Traffic Engineer. All discrepancies identified during the field inspection must be corrected before the 2-year warranty period will begin.
12. The Developer installing signs shall be responsible for locating and protecting all underground utilities.
13. Special care shall be taken in sign location to ensure an unobstructed view of each sign.
14. Signage and striping has been determined by information available at the time of review. Prior to initiation of the warranty period, the City of Fort Collins Traffic Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Traffic Engineer determines that an unforeseen condition warrants such signage according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the 2-year warranty period for new construction (except fair wear on strip markings).
15. Sleeves for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Traffic Control Devices, for additional detail.

D. Storm Drainage Notes

- 1. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
2. All recommendations of the Preliminary Drainage and Erosion Control Report for Geico Office Building dated March 5, 2014 by Northern Engineering Services, Inc., shall be followed and implemented.
3. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.

E. Utility Notes

- 1. All waterline and sanitary sewer construction shall conform to the Fort Utility standards and specifications current to date of construction.
2. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the water utility.
3. Water mains shall be poly-wrapped D.I.P. or PVC with tracer wire.
4. HDPE pipe may be used for 1-1/2 and 2 inch water services. The pipe shall meet the standards of AWWA 901, NSF Standard 61 and ASTM. The HDPE pipe shall be SDR 9 having a pressure rating of 200 psi. Stiffeners shall be used at all fittings and connections. Tracer wire shall be installed with the HDPE service, and shall extend up the curb stop. The curb stop shall be covered with a metal box and tracer wire test lid per City Water Detail 25.

CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below. Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL
APPROVED: City Engineer Date
CHECKED BY: Water & Wastewater Utility Date
CHECKED BY: Stormwater Utility Date
CHECKED BY: Parks & Recreation Date
CHECKED BY: Traffic Engineer Date
CHECKED BY: Environmental Planner Date

GEICO OFFICE BUILDING

GENERAL & CONSTRUCTION NOTES

Sheet C0.01 Of 13 Sheets

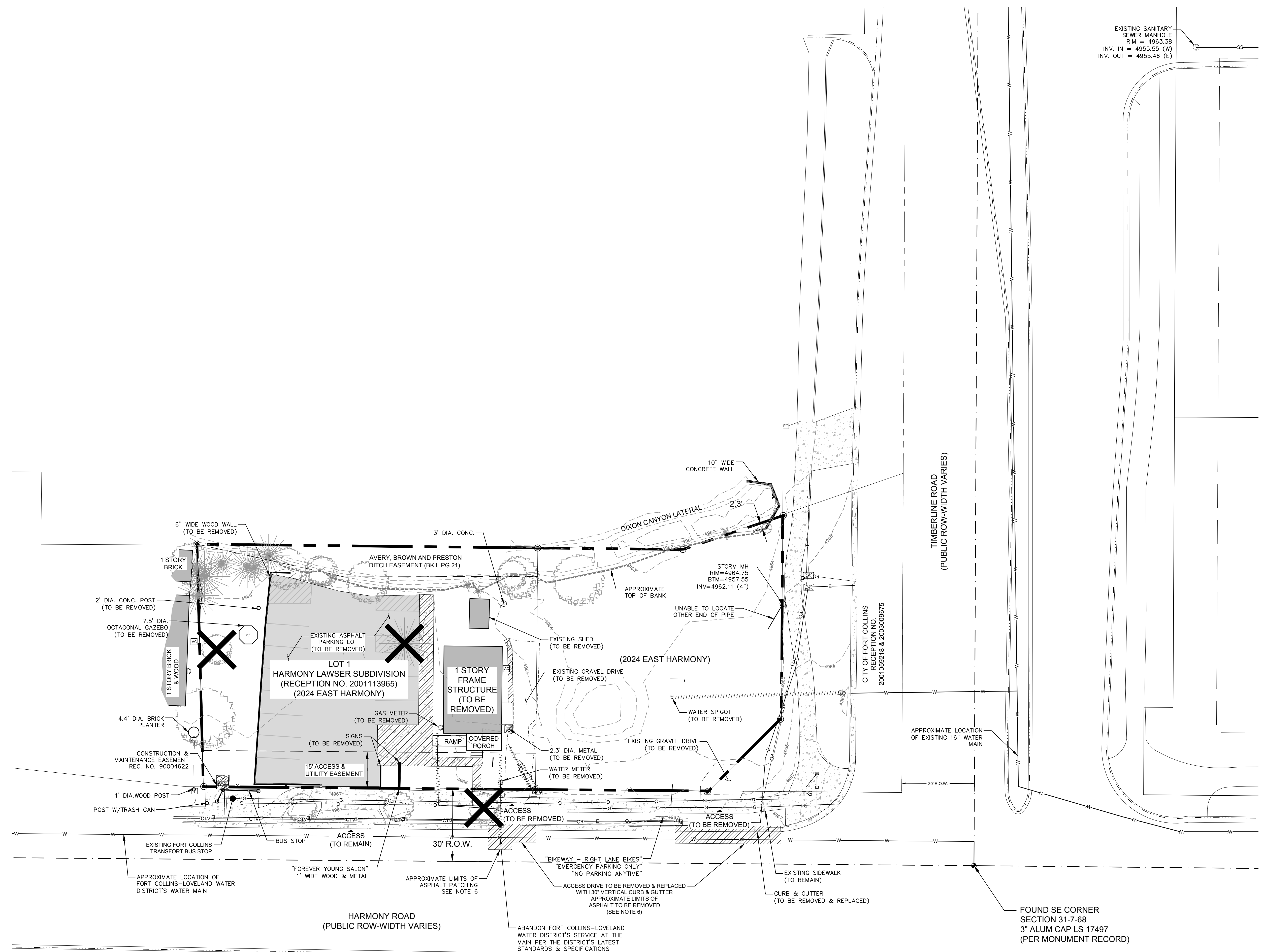
Revisions:
NO. DATE
REVISIONS:
1. REVIEW SET
2. NOT FOR CONSTRUCTION
3/26/14

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the engineer of Northern Engineering Services, Inc.

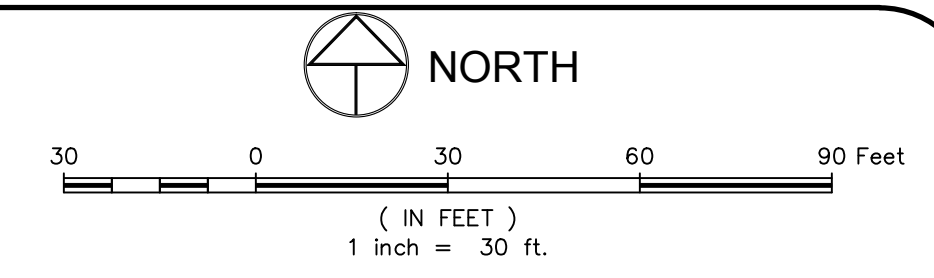
NORTHERN ENGINEERING
PHONE: 970.221.5158 FAX: 970.221.4159
www.northernengineering.com
200 South College Avenue, Suite 010 Fort Collins, Colorado 80524

PROJECT: 959-001
DATE: 3/26/14
DESIGNED BY: C. Snordon
SCALE: N.A.
REVIEWED BY: R. Curfiss
DRAWN BY: C. Bowen

DRAWING FILENAME: D:\Projects\959-001\959-001-001-001-001.dwg LAYOUT NAME: C1.00 DATE: MAR 26, 2014 4:16:38pm CMO OPERATOR: only
LIST OF REVISIONS: [959-001_Rev1] [959-001_Rev2] [959-001_Rev3] [959-001_Rev4] [959-001_Rev5]



EXISTING SANITARY SEWER MANHOLE
RIM = 4963.38
INV. IN = 4955.55 (W)
INV. OUT = 4955.46 (E)



LEGEND:

PROPERTY BOUNDARY	-----
EXISTING MAJOR CONTOUR	-----5015-----
EXISTING MINOR CONTOUR	-----5013-----
EXISTING STORM SEWER	-----ST-----
EXISTING TELEPHONE	-----T-----
EXISTING GAS	-----G-----
EXISTING SANITARY SEWER	-----SS-----
EXISTING WATER	-----W-----
EXISTING ELECTRIC	-----E-----
EXISTING FENCE	-----X-----
TOP OF BANK LIMITS	-----
EXISTING ELECTRIC VAULT	⊠
EXISTING TRAFFIC VAULT	⊠
EXISTING FIBER OPTICS BOX	⊠
EXISTING WATER METER	○
EXISTING GAS METER	○
EXISTING TELEPHONE PEDESTAL	⊠
EXISTING FIBER OPTICS PEDESTAL	⊠
EXISTING SANITARY SEWER MANHOLE	○
EXISTING WATER METER	○
EXISTING CURB STOP	○
EXISTING WATER SPIGOT	○
EXISTING TRAFFIC SIGNAL POLE	T-S
EXISTING SIGN	⊠
EXISTING MAILBOX	⊠
EXISTING TREE STUMP	⊠
EXISTING TREES	⊠
ASPHALT TO BE REMOVED	⊠
CONCRETE TO BE REMOVED	⊠
EXISTING TREE TO BE REMOVED	⊠
EXISTING UTILITIES TO BE REMOVED	⊠

- NOTES:**
1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIAL.
 3. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE. THE CITY OF FORT COLLINS STREET DEPARTMENT OPERATES A CRUSHING OPERATION THAT WILL ACCEPT CONCRETE MATERIAL AT NO COST FOR CRUSHING AND RE-USE AS RECYCLED AGGREGATE. THIS OPERATION IS LOCATED AT 1380 HOFFMAN MILL ROAD AND CAN BE REACHED AT (970) 482-1249.
 4. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
 5. CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE EXISTING SITE SURVEY.
 6. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
 7. REFER TO THE LANDSCAPE PLAN BY THE BIRDSALL GROUP FOR TREE REMOVAL AND MITIGATION.

**Fort Collins - Loveland Water District
South Fort Collins Sanitation District**

Mr. Michael D. Dittulis, Manager _____ Date _____

Mr. Terry W. Farrell, P.E., District Engineer _____ Date _____

All changes, addendum, additions, deletions and modifications to these drawings must be approved in writing, by the Fort Collins - Loveland Water District and the South Fort Collins Sanitation District.

**City of Fort Collins, Colorado
UTILITY PLAN APPROVAL**

APPROVED: _____ City Engineer _____ Date _____

CHECKED BY: _____ Water & Wastewater Utility _____ Date _____

CHECKED BY: _____ Stormwater Utility _____ Date _____

CHECKED BY: _____ Parks & Recreation _____ Date _____

CHECKED BY: _____ Traffic Engineer _____ Date _____

CHECKED BY: _____ Environmental Planner _____ Date _____

FIELD SURVEY BY:

Northern Engineering Services, Inc
NE Project No. 959-001
Date: September 18, 2013

ADDITIONAL FIELD SURVEYS:
Northern Engineering Services, Inc
Date(s): October 17, 2013

SUBSURFACE EXPLORATION BY:

Earth Engineering, Inc.
"SUBSURFACE EXPLORATION REPORT GEICO INSURANCE OFFICE BUILDING
2024 EAST HARMONY ROAD"
EEC Project No. 1132073
Date: October 14, 2013

CALL UTILITY NOTIFICATION CENTER OF COLORADO

811

Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Revisions: _____
 Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
 3/26/14

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the employee of Northern Engineering Services, Inc.

NORTHERN ENGINEERING
 200 South College Avenue, Suite 010
 Fort Collins, Colorado 80524
 PHONE: 970.221.5158 FAX: 970.221.4159
 www.northernengineering.com

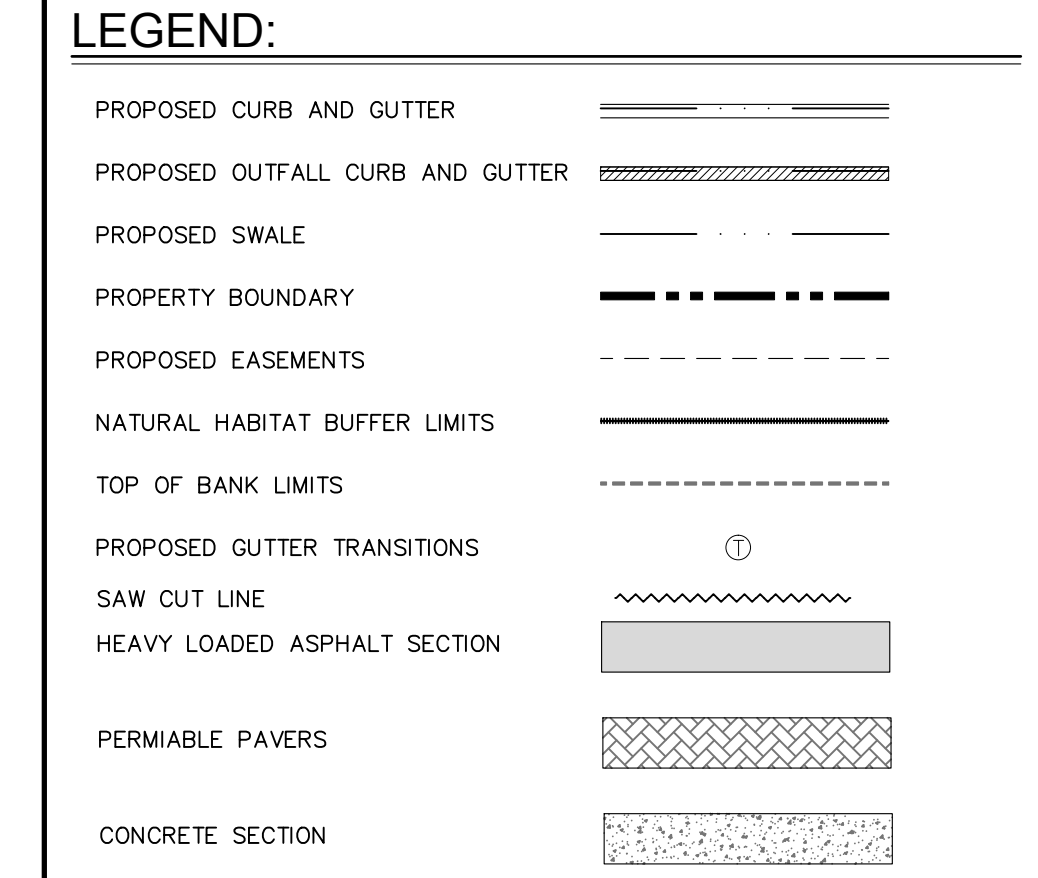
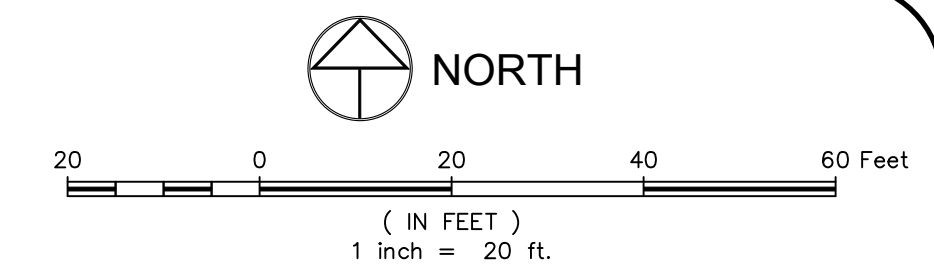
PROJECT:	959-001
DESIGNED BY:	N.A.
DATE:	3/26/14
SCALE:	1" = 30'
REVIEWED BY:	R. Curless
DRAWN BY:	C. Bowen

**GEICO OFFICE BUILDING
EXISTING CONDITIONS
& DEMOLITION PLAN**

Sheet
C1.00
 Of 13 Sheets

LINE	LENGTH	BEARING
L1	11.38'	N00°26'26.27"E
L4	16.09'	S00°26'39.67"W
L5	32.00'	N89°33'33.73"W
L6	60.02'	N00°26'39.67"E
L7	152.80'	S89°31'40.93"E
L8	15.00'	S00°28'19.07"W
L10	5.05'	S89°31'40.93"E
L11	26.00'	S00°27'57.48"W
L12	8.24'	N89°31'41.58"W
L14	15.00'	S00°28'19.07"W
L15	70.00'	N89°31'40.93"W
L19	11.89'	S00°26'26.27"W
L20	16.11'	N00°26'26.27"E
L22	22.83'	S00°00'00.00"E
L23	33.23'	S56°55'57.38"W

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	51°50'26"	25.00'	22.62'	N25°28'46"W	21.86'
C2	128°09'21"	2.00'	4.47'	S64°31'20"W	3.60'
C3	90°00'00"	2.00'	3.14'	S44°31'41"E	2.83'
C5	128°09'23"	2.00'	4.47'	N63°38'15"W	3.60'
C6	51°50'37"	25.00'	22.62'	S26°21'45"W	21.86'
C8	90°00'00"	2.00'	3.14'	S45°28'19"W	2.83'
C9	56°55'57"	10.00'	9.94'	S28°27'59"W	9.53'



ORIGINAL FIELD SURVEY BY:
 Northern Engineering Services, Inc
 NE Project No. 959-001
 Date: September 18, 2013

ADDITIONAL FIELD SURVEYS:
 Northern Engineering Services, Inc
 Date(s): October 17, 2013

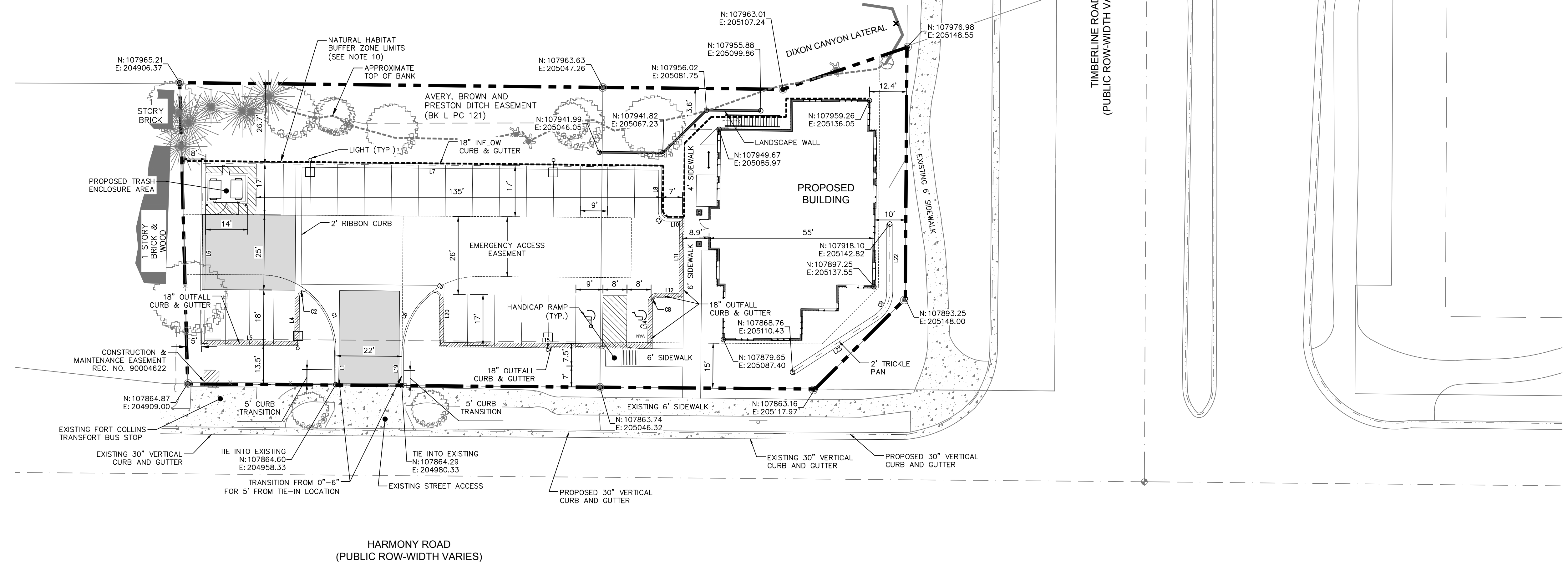
PROJECT BENCHMARKS:

BENCHMARK #1:
 City of Fort Collins Benchmark 6-13
 Elevation= 4970.30 (NAVD 88) - For Reference Only
 Elevation= 4967.10 (NGVD 29 - Unadjusted) - Project Datum

BENCHMARK #2:
 City of Fort Collins Benchmark 1-96
 Elevation= 4945.01 (NAVD 88) - For Reference Only
 Elevation= 4941.81 (NGVD 29 - Unadjusted) - Project Datum

Basis of Bearings:
 Basis of Bearings is the South line of the Southeast quarter of Section 37-7-68 as bears North 89°31'41" West (assumed bearing).

- NOTES:**
- LINE AND CURB TABLE INFORMATION IS TO FLOWLINE UNLESS NOTED OTHERWISE.
 - ALL CURB AND GUTTER WITHIN THE PARKING AREA SHALL BE MODIFIED TO ACCOMMODATE THE LOCATION OF INFLOW, OUTFLOW AND TRANSITION CURBS.
 - ALL SIGNING AND STRIPING SHALL BE INSTALLED BY THE CONTRACTOR.
 - PLACEMENT AND INSTALLATION OF ALL NEW, RESET, AND RELOCATED SIGNS SHALL BE IN ACCORDANCE WITH CITY OF FORT COLLINS STANDARDS.
 - INSTALLATION OF PAVEMENT MARKING SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND COMPLY WITH THE FOLLOWING COLORADO DEPARTMENT OF TRANSPORTATION STANDARD CDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTIONS:
 627.04 PAVEMENT MARKING WITH PAINT
 708.05 PAVEMENT MARKING PAINT MATERIALS
 - SIGNS ARE GRAPHICALLY REPRESENTED AND ARE NOT DRAWN TO SCALE.
 - SIGN PLACEMENT SHALL BE NO LESS THAN 2' FROM CURB FLOWLINE, AND MUST BE IN ACCORDANCE WITH CURRENT MUTCD STANDARDS.
 - PROPOSED PARKING STALL STRIPING TO BE 4" SOLID WHITE LINE.
 - SEE GEOTECHNICAL EXPLORATION REPORT TITLE GEICO INSURANCE OFFICE BUILDING - 2024 EAST HARMONY ROAD BY EARTH ENGINEERING CONSULTANT (EEC PROJECT No. 1132073) FOR PAVEMENT SECTIONS.
 - SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE AND EXHIBIT G OF THE LEASE AGREEMENT BETWEEN THE CITY AND CSURF, WHICH ALSO PERMITS THE EXISTING BUILDING, THE DRIVE AISLE, AND OTHER EXISTING LAND USES TO REMAIN WITHIN THE BUFFER ZONE.



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ Date _____
 City Engineer

CHECKED BY: _____ Date _____
 Water & Wastewater Utility

CHECKED BY: _____ Date _____
 Stormwater Utility

CHECKED BY: _____ Date _____
 Parks & Recreation

CHECKED BY: _____ Date _____
 Traffic Engineer

CHECKED BY: _____ Date _____
 Environmental Planner

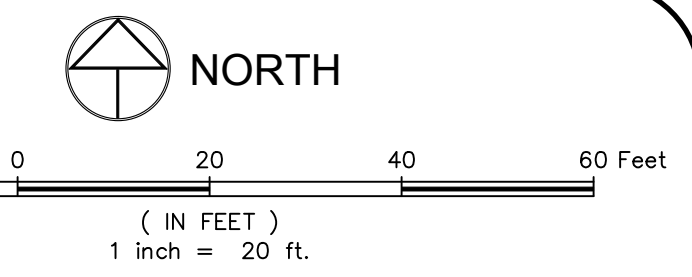
Revisions:
 No. _____
 Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
 3/26/14

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the professional engineer in the employ of Northern Engineering Services, Inc.
NORTHERN ENGINEERING
 PHONE: 970.221.5158 FAX: 970.221.4159
 200 South College Avenue, Suite 010 Fort Collins, Colorado 80524

PROJECT:	959-001	DATE:	3/26/14
DESIGNED BY:	C. Snordon	SCALE:	1" = 20'
DRAWN BY:	C. Snordon	REVIEWED BY:	R. Curfiss

GEICO OFFICE BUILDING
HORIZONTAL CONTROL

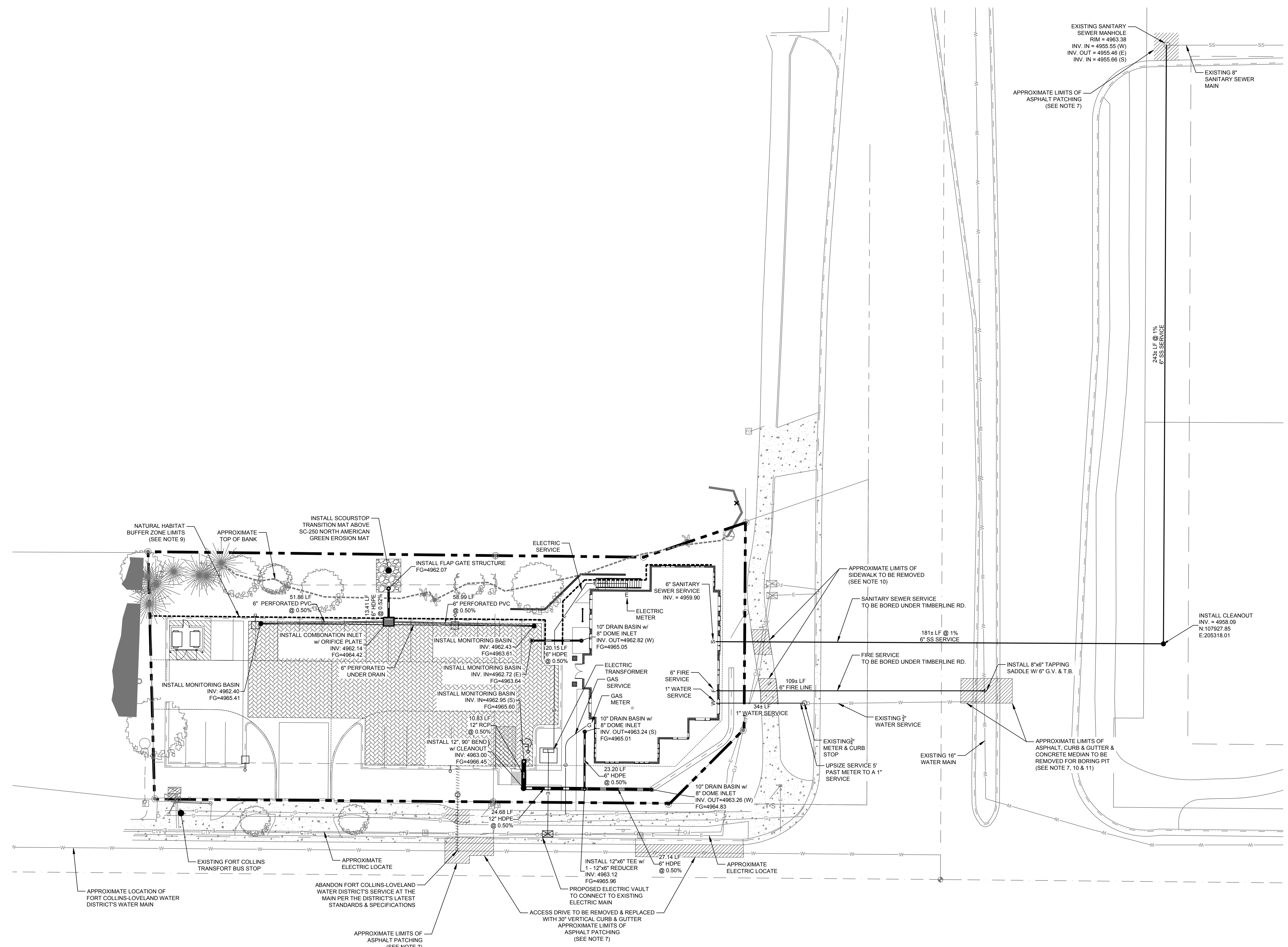
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 LIST OF REVISIONS: [959-001-001] [959-001-001] [959-001-001] [959-001-001] [959-001-001]



LEGEND:

PROPERTY BOUNDARY	---
PROPOSED FIRE SERVICE	—F—
PROPOSED WATER SERVICE	—W—
PROPOSED SANITARY SEWER SERVICE	—S—
PROPOSED GAS SERVICE	—G—
PROPOSED ELECTRIC SERVICE	—E—
PROPOSED PERFORATED UNDER DRAIN	—UD—
PROPOSED STORM DRAIN	—SD—
EXISTING TELEPHONE	—T—
EXISTING GAS	—G—
EXISTING SANITARY SEWER	—SS—
EXISTING WATER	—W—
EXISTING ELECTRIC	—E—
EXISTING FENCE	—X—
NATURAL HABITAT BUFFER LIMITS	---
TOP OF BANK LIMITS	---
PROPOSED COMBINATION INLET	■
PROPOSED CLEANOUT	●
PROPOSED ELECTRIC TRANSFORMER	⊠
EXISTING ELECTRIC VAULT	⊠
EXISTING TRAFFIC VAULT	⊠
EXISTING FIBER OPTICS BOX	⊠
EXISTING WATER METER	⊙
EXISTING GAS METER	⊙
EXISTING TELEPHONE PEDESTAL	⊠
EXISTING FIBER OPTICS PEDESTAL	⊠
EXISTING SANITARY SEWER MANHOLE	⊙
EXISTING WATER METER	⊙
EXISTING CURB STOP	⊙
EXISTING WATER SPIGOT	⊙
EXISTING TRAFFIC SIGNAL POLE	T-S
EXISTING SIGN	⊠
EXISTING MAILBOX	⊠
EXISTING TREE STUMP	⊙
EXISTING TREES	☼

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - ALL WATER AND SEWER CONSTRUCTION SHALL BE PER THE CITY OF FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
 - ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
 - MAINTAIN 10" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
 - REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
 - FIRE LINE SHALL BE STUBBED INSIDE THE RISER ROOM AND CAPPED 1' ABOVE THE FINISHED FLOOR ELEVATION.
 - LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
 - ALL OF THE PROPOSED STORM SEWER IS TO BE PRIVATE AND OWNED/MAINTAINED BY THE OWNER OF THE PROPERTY.
 - SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE AND EXHIBIT G OF THE LEASE AGREEMENT BETWEEN THE CITY AND CSURF, WHICH ALSO PERMITS THE EXISTING BUILDING, THE DRIVE AISLE, AND OTHER EXISTING LAND USES TO REMAIN WITHIN THE BUFFER ZONE.
 - ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
 - ANY DAMAGED OR REMOVED CONCRETE MEDIAN SHALL BE REPLACED OR RESTORED WITH MATCHING FINISH AND TO CITY OF FORT COLLINS STANDARDS.



Fort Collins - Loveland Water District
South Fort Collins Sanitation District

Mr. Michael D. DiTullio, Manager _____ Date _____

Mr. Terry W. Farrell, P.E., District Engineer _____ Date _____



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date _____

CHECKED BY: Water & Wastewater Utility _____ Date _____

CHECKED BY: Stormwater Utility _____ Date _____

CHECKED BY: Parks & Recreation _____ Date _____

CHECKED BY: Traffic Engineer _____ Date _____

CHECKED BY: Environmental Planner _____ Date _____

Revisions:

REVIEW SET

NOT FOR CONSTRUCTION

3/26/14

NORTHERN ENGINEERING

200 South College Avenue, Suite 010
Fort Collins, Colorado 80524

PHONE: 970.221.5158 FAX: 970.221.4159
www.northernengineering.com

PROJECT: 999-001

DATE: 3/26/14

DESIGNED BY: C. Snowdon

SCALE: 1" = 20'

DRAWN BY: C. Snowdon

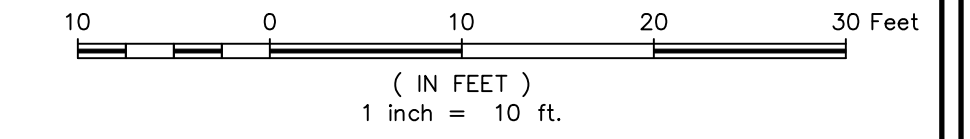
REVIEWED BY: R. Curfiss

GEICO OFFICE BUILDING

UTILITY PLAN

Sheet
C3.00
Of 13 Sheets

DRAWING FILENAME: D:\Projects\999-001\999-001-UTL1.dwg DATE: Mar 26, 2014 10:56:00 AM CADD OPERATOR: cswd
LIST OF REVISIONS: [999-001-UTL1.dwg] [999-001-UTL1.dwg] [999-001-UTL1.dwg] [999-001-UTL1.dwg]



LEGEND:

EXISTING STORM SEWER	—S1—
PROPOSED STORM SEWER	—S2—
PROPOSED STORM INLET	—S3—
PROPOSED CONTOUR	—C1—
EXISTING CONTOUR	—C2—
PROPOSED 18" VERTICAL OUTFALL CURB & GUTTER	—C3—
PROPOSED 18" VERTICAL IN-FLOW CURB & GUTTER	—C4—
PROPERTY BOUNDARY	—C5—
PROPOSED LOT LINE	—C6—
PROPOSED GUTTER TRANSITION	①
PROPOSED SPOT ELEVATION	33.43
PROPOSED SUBGRADE SPOT ELEVATION	47.45
EXISTING SPOT ELEVATION	47.45
PROPOSED SLOPES	2.0%
APPROXIMATE LIMITS OF DEVELOPMENT	LOD
PERMEABLE PAVERS	[Hatched Pattern]

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
3. ALL PROJECT ELEVATIONS ARE BASED ON THE CITY OF FORT COLLINS VERTICAL DATUM, NGVD 1929 (UNADJUSTED). SEE COVER SHEET FOR BENCHMARK REFERENCES.
4. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
5. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE AND EXHIBIT G OF THE LEASE AGREEMENT BETWEEN THE CITY AND CSURF, WHICH ALSO PERMITS THE EXISTING BUILDING, THE DRIVE AISLE, AND OTHER EXISTING LAND USES TO REMAIN WITHIN THE BUFFER ZONE.
6. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
7. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE AND EXHIBIT G OF THE LEASE AGREEMENT BETWEEN THE CITY AND CSURF, WHICH ALSO PERMITS THE EXISTING BUILDING, THE DRIVE AISLE, AND OTHER EXISTING LAND USES TO REMAIN WITHIN THE BUFFER ZONE.
8. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.

PROJECT BENCHMARKS:

BENCHMARK #1:
City of Fort Collins Benchmark 6-13
Elevation= 4970.30 (NAVD 88) - For Reference Only
Elevation= 4967.10 (NGVD 29 - Unadjusted) - Project Datum

BENCHMARK #2:
City of Fort Collins Benchmark 1-96
Elevation= 4945.01 (NAVD 88) - For Reference Only
Elevation= 4941.81 (NGVD 29 - Unadjusted) - Project Datum

Basis of Bearings:
Basis of Bearings is the South line of the Southeast quarter of Section 31-7-68 as bears North 89°31'41" West (assumed bearing).

FIELD SURVEY BY:

Northern Engineering Services, Inc
NE Project No. 959-001
Date: September 18, 2013

ADDITIONAL FIELD SURVEYS:
Northern Engineering Services, Inc
Date(s): October 17, 2013

CALL UTILITY NOTIFICATION CENTER OF COLORADO



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

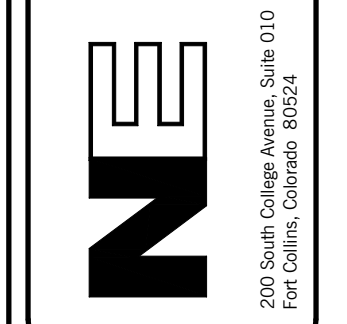
Revisions:

No.	Date	Description

REVIEW SET
NOT FOR CONSTRUCTION
3/26/14

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the engineer of Northern Engineering Services, Inc.

NORTHERN ENGINEERING
PHONE: 970.221.5158 FAX: 970.221.4159
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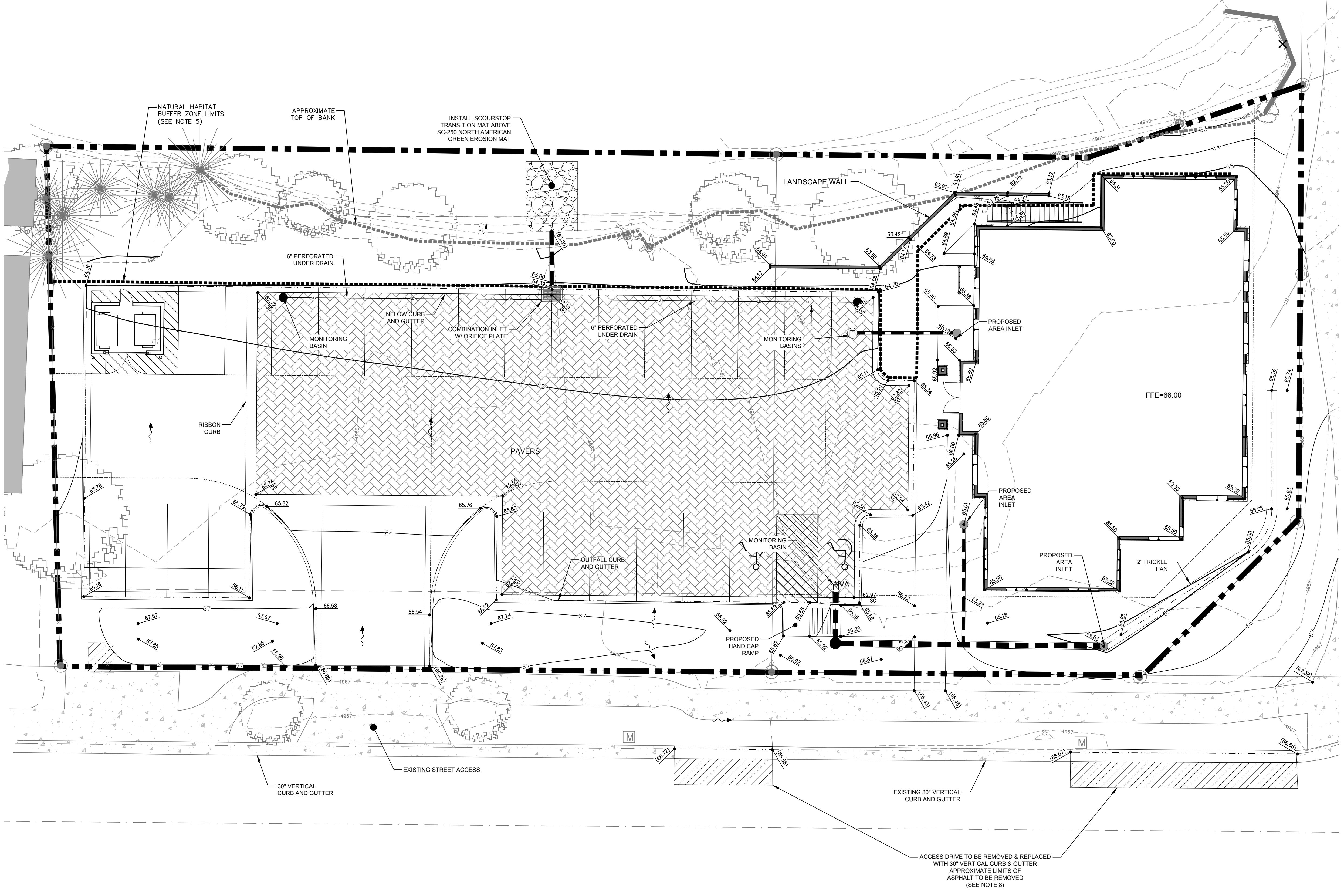


200 South College Avenue, Suite 010 Fort Collins, Colorado 80524

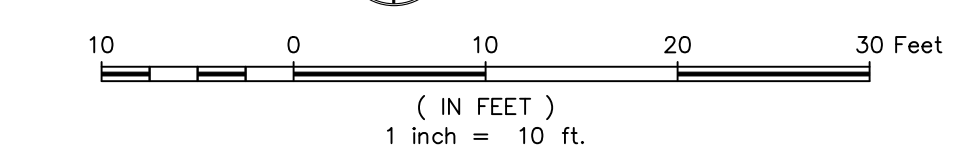
PROJECT:	959-001
DESIGNED BY:	C. Snordon
DRAWN BY:	C. Bowen
DATE:	3/26/14
SCALE:	1" = 10'
REVIEWED BY:	R. Curtiss

GEICO OFFICE BUILDING
GRADING PLAN

Sheet
C4.00
Of 13 Sheets



DRAWING FILENAME: D:\Projects\959-001\Drawings\959-001_C4.00.dwg DATE: Mar 26, 2014 4:16:11 PM CADD OPERATOR: csw LIST OF REVISIONS: [959-001_1100] [959-001_1101] [959-001_1102] [959-001_1103] [959-001_1104] [959-001_1105] [959-001_1106] [959-001_1107] [959-001_1108] [959-001_1109] [959-001_1110] [959-001_1111] [959-001_1112] [959-001_1113] [959-001_1114] [959-001_1115] [959-001_1116] [959-001_1117] [959-001_1118] [959-001_1119] [959-001_1120] [959-001_1121] [959-001_1122] [959-001_1123] [959-001_1124] [959-001_1125] [959-001_1126] [959-001_1127] [959-001_1128] [959-001_1129] [959-001_1130] [959-001_1131] [959-001_1132] [959-001_1133] [959-001_1134] [959-001_1135] [959-001_1136] [959-001_1137] [959-001_1138] [959-001_1139] [959-001_1140] [959-001_1141] [959-001_1142] [959-001_1143] [959-001_1144] [959-001_1145] [959-001_1146] [959-001_1147] [959-001_1148] [959-001_1149] [959-001_1150] [959-001_1151] [959-001_1152] [959-001_1153] [959-001_1154] [959-001_1155] [959-001_1156] [959-001_1157] [959-001_1158] [959-001_1159] [959-001_1160] [959-001_1161] [959-001_1162] [959-001_1163] [959-001_1164] [959-001_1165] [959-001_1166] [959-001_1167] [959-001_1168] [959-001_1169] [959-001_1170] [959-001_1171] [959-001_1172] [959-001_1173] [959-001_1174] [959-001_1175] [959-001_1176] [959-001_1177] [959-001_1178] [959-001_1179] [959-001_1180] [959-001_1181] [959-001_1182] [959-001_1183] [959-001_1184] [959-001_1185] [959-001_1186] [959-001_1187] [959-001_1188] [959-001_1189] [959-001_1190] [959-001_1191] [959-001_1192] [959-001_1193] [959-001_1194] [959-001_1195] [959-001_1196] [959-001_1197] [959-001_1198] [959-001_1199] [959-001_1200]



LEGEND:

PROPERTY BOUNDARY	-----
LIMITS OF 100-YR FLOODPLAIN	~~~~~
PROPOSED BASIN LINES	=====
EXISTING STORM SEWER LINE	-----
PROPOSED UNDERDRAIN	----- UD
PROPOSED STORM DRAIN	-----
EXISTING INLET GRATE	-----
PROPOSED CONTOUR	----- 9.3
EXISTING CONTOUR	----- 501.3
PROPOSED SWALE	-----
APPROXIMATE LIMITS OF DEVELOPMENT	----- LOD
PROPOSED VERTICAL CURB & GUTTER	=====
NATURAL HABITAT BUFFER LIMITS	-----
TOP OF BANK LIMITS	-----
PROPOSED OVERLAND FLOW DIRECTION	----->
PROPOSED PERMEABLE PAVERS	=====
PROPOSED SOFT PAN	=====
BASIN DELINEATION	-----
MINOR RUNOFF COEFFICIENT	----- B1
MAJOR RUNOFF COEFFICIENT	----- B2
BASIN ACREAGE	-----
DESIGN POINT	----- 12

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK, BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. REFER TO THE "FINAL DRAINAGE LETTER FOR THE SUNSHINE HOUSE - FC 139 BY NORTHERN ENGINEERING, DATED OCTOBER 9, 2013 FOR ADDITIONAL INFORMATION.

PROJECT BENCHMARKS:

BENCHMARK #1:
City of Fort Collins Benchmark 6-13
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Elevation= 4967.10 (NGVD 29 - Unadjusted) - Project Datum

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City of Fort Collins Benchmark 1-96
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Basis of Bearings:
Basis of Bearings is the South line of the Southeast quarter of Section 31-7-68 as bears North 89°31'41" West (assumed bearing).

ORIGINAL FIELD SURVEY BY:

Northern Engineering Services, Inc
NE Project No. 959-001
Date: September 18, 2013

ADDITIONAL FIELD SURVEYS:
Northern Engineering Services, Inc
Date(s): October 17, 2013

CALL UTILITY NOTIFICATION CENTER OF COLORADO

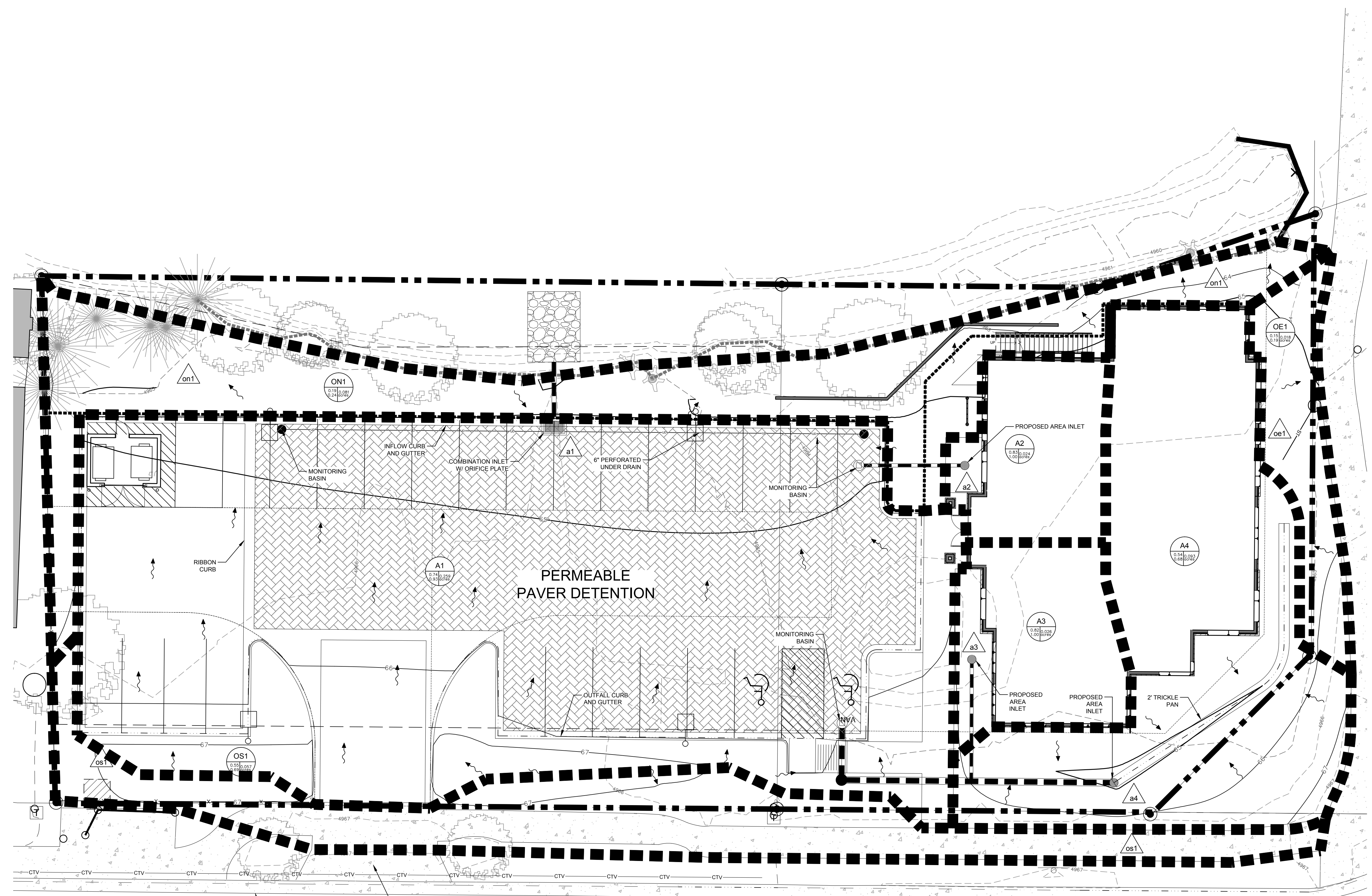


Know what's below.
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

**FOR DRAINAGE REVIEW ONLY
NOT FOR CONSTRUCTION**



Revisions:
Date: 3/26/14
REVIEW SET
NOT FOR CONSTRUCTION
3/26/14

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NORTHERN ENGINEERING
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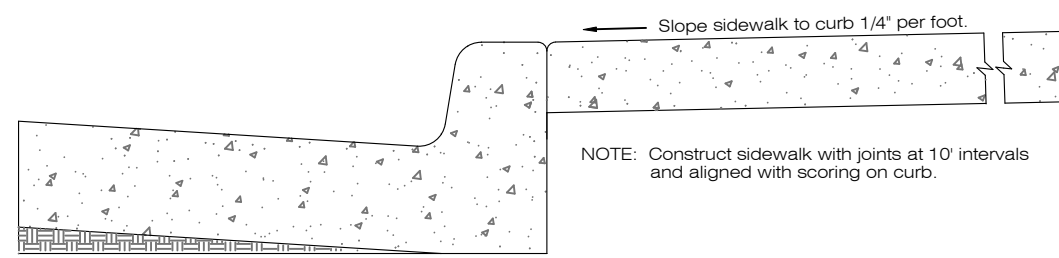
NE
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524

PROJECT:	959-001	DATE:	3/26/14	SCALE:	1" = 20'	REVIEWED BY:	R. Curfiss
DESIGNED BY:	C. Snordon	DRAWN BY:	C. Snordon				

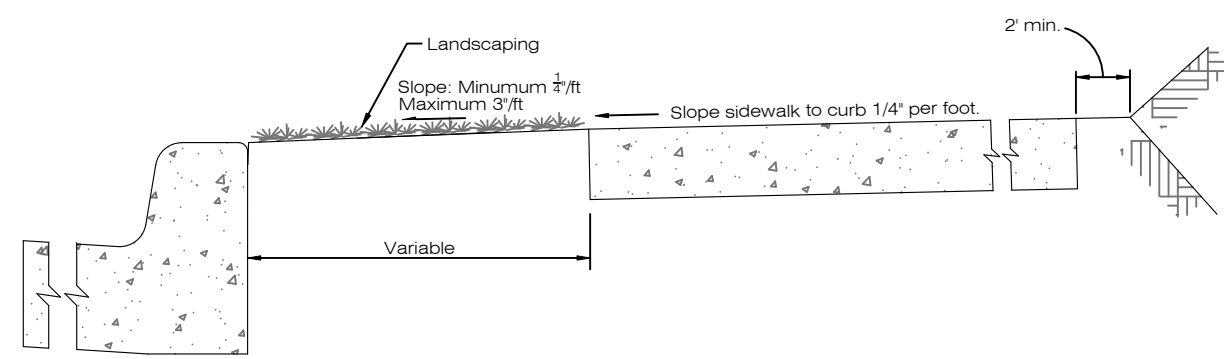
GEICO OFFICE BUILDING
DRAINAGE EXHIBIT

Sheet
C6.00
Of 13 Sheets

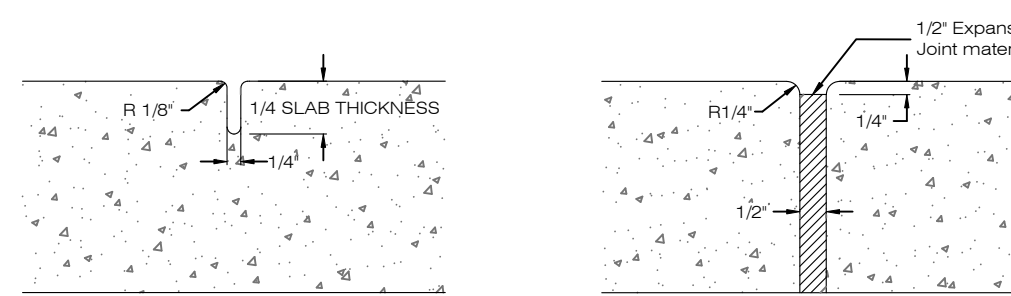
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ATTACHED SIDEWALK DETAIL



DETACHED SIDEWALK DETAIL

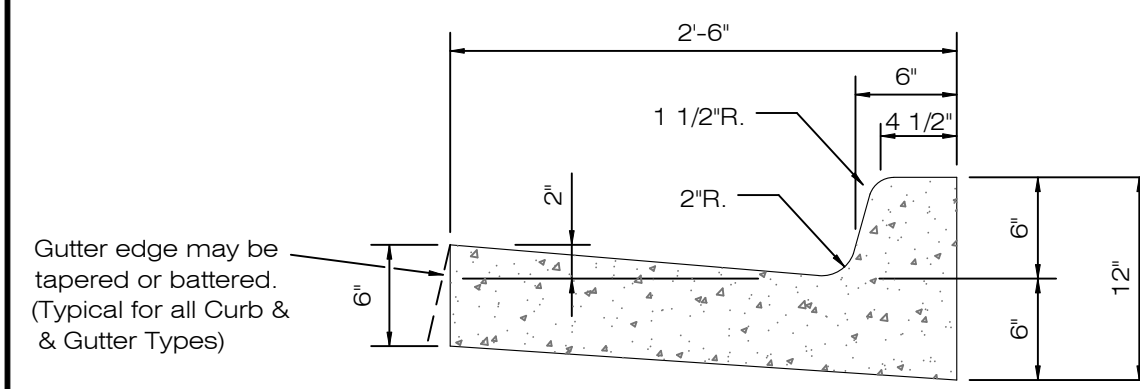


WEAKENED PLANE JOINT

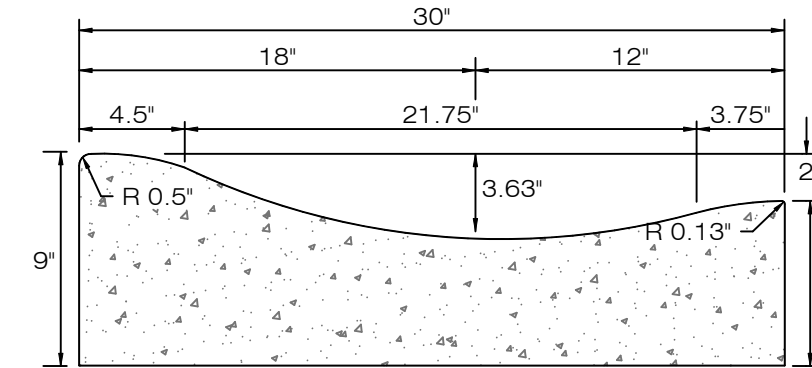
EXPANSION JOINT

SIDEWALK DETAIL

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 04/01/07	DRAWING 1602
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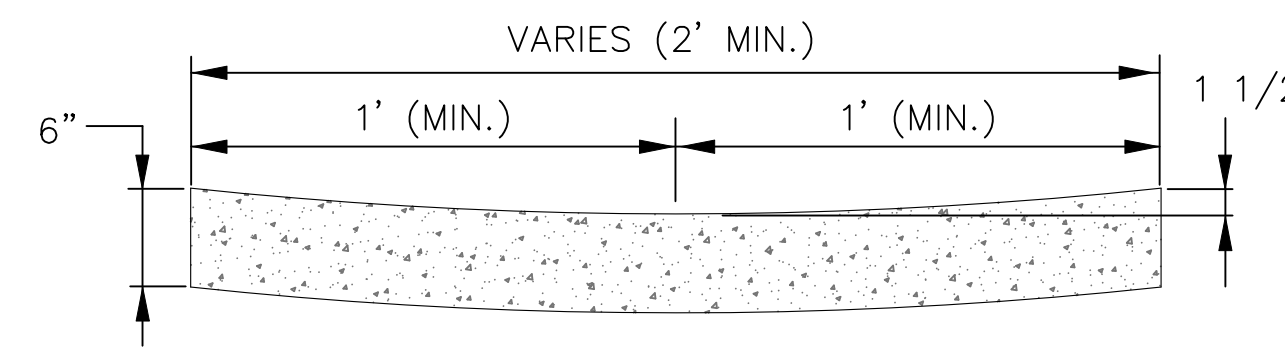
VERTICAL



ROLL-OVER
(LOVELAND)

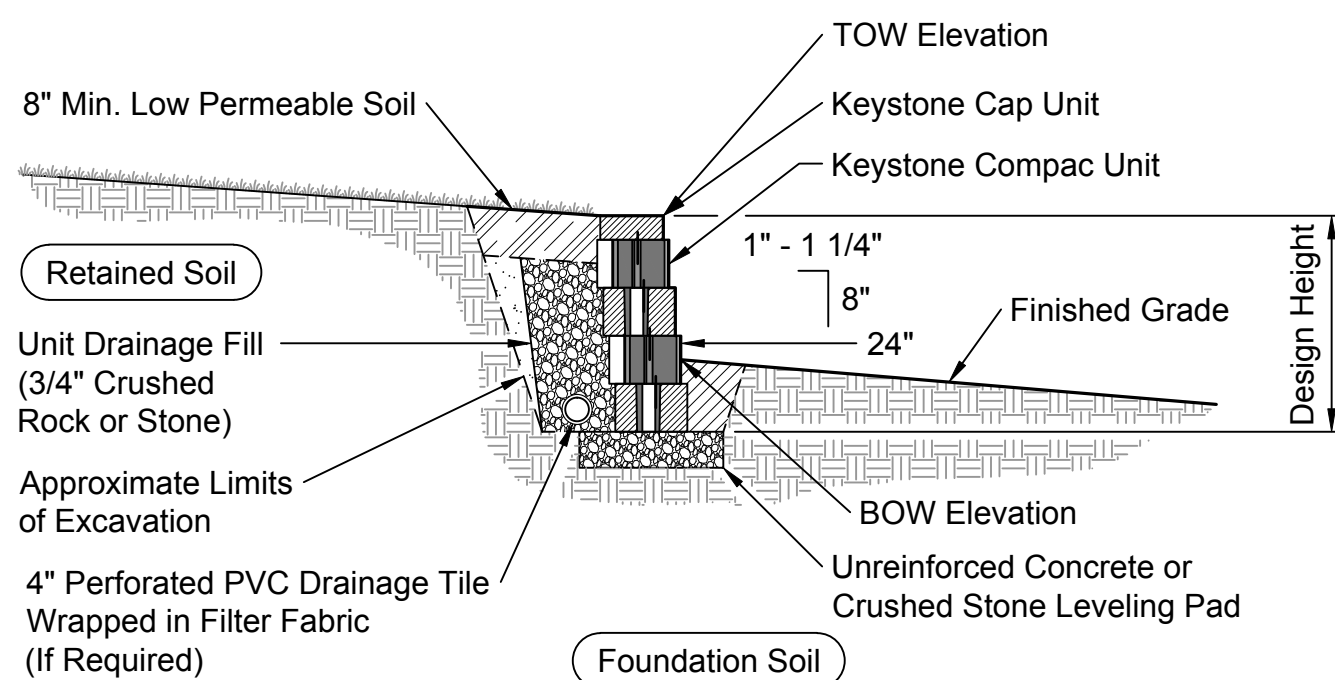
CURB AND GUTTER

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/01/02	DRAWING 701
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CONCRETE TRICKLE PAN

City of Fort Collins	CITY OF FORT COLLINS UTILITIES FORT COLLINS, CO. (970) 221-8700	STORMWATER CONSTRUCTION DETAILS	APPROVED: DATE: 12-25-00 DRAWN BY: NBJ	DETAIL D-20B
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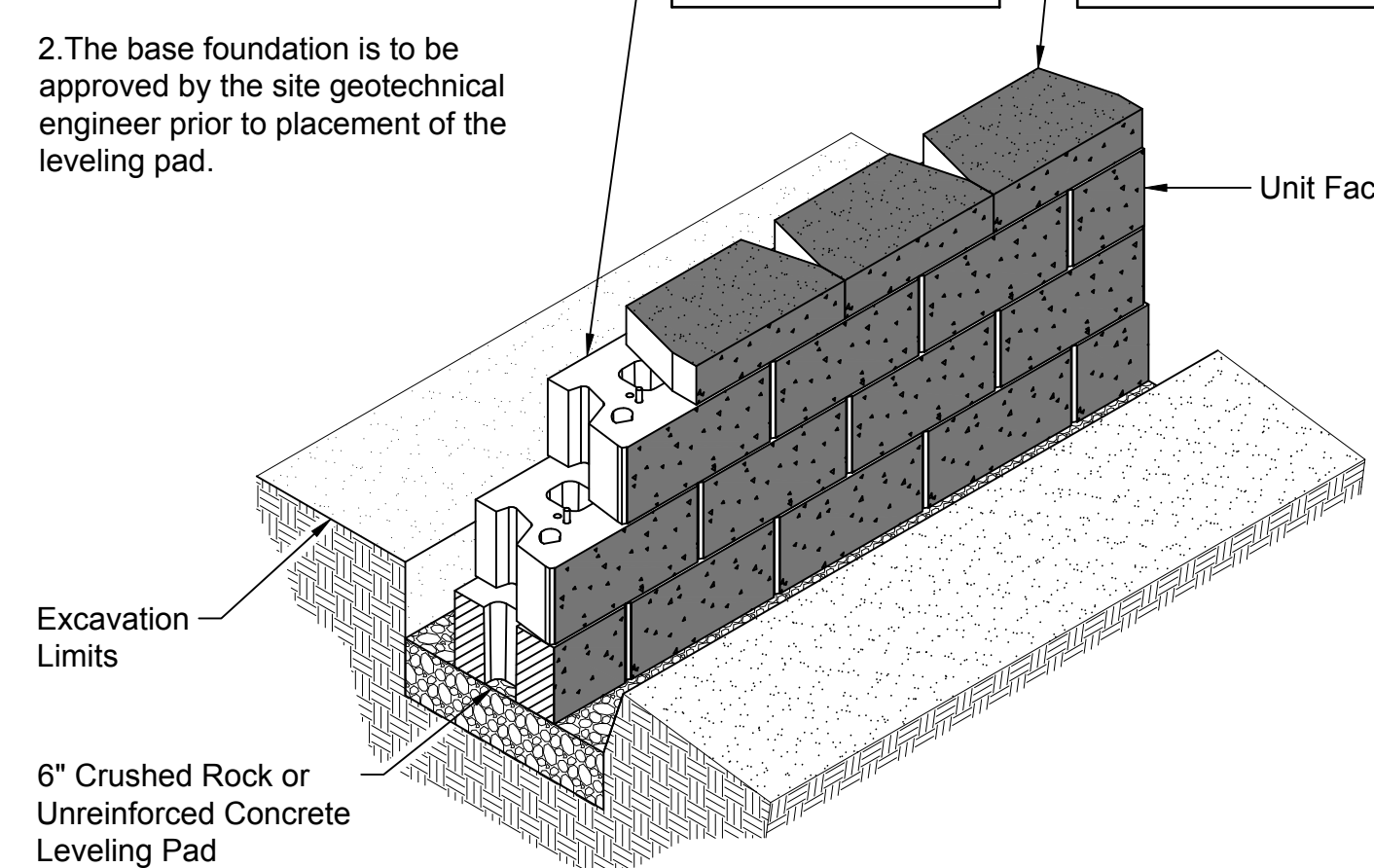


Typical Gravity Wall Section
Compac Unit - 1" Setback

Base Leveling Pad Notes:

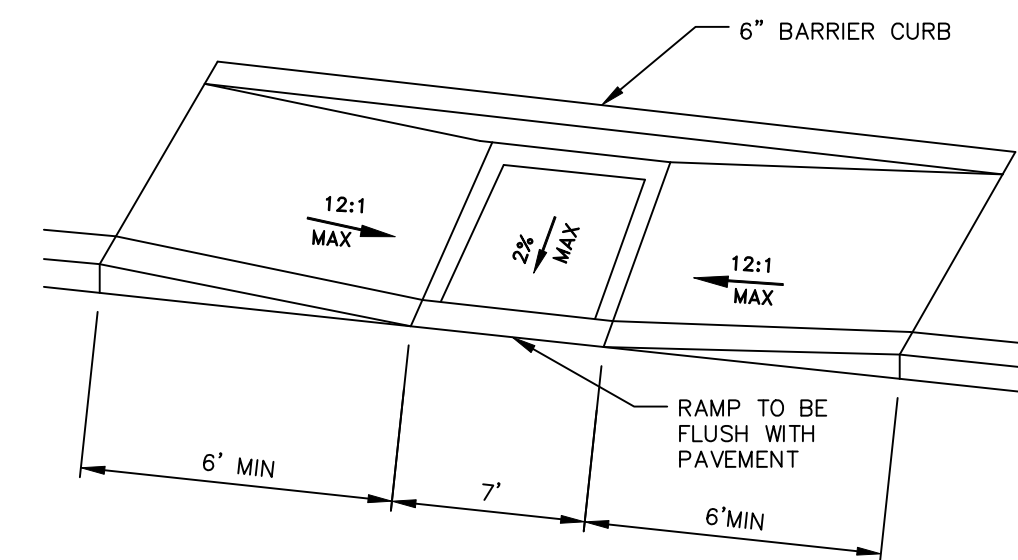
- The leveling pad is to be constructed of crushed stone or 2,000 psi unreinforced concrete.
- The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

Compac Unit	Cap Unit
Width: 18"	Width: 18"
*Depth: 12"	*Depth: 10 1/2"
*Height: 8"	*Height: 4"
*Weight: 90 lbs	*Weight: 50 lbs

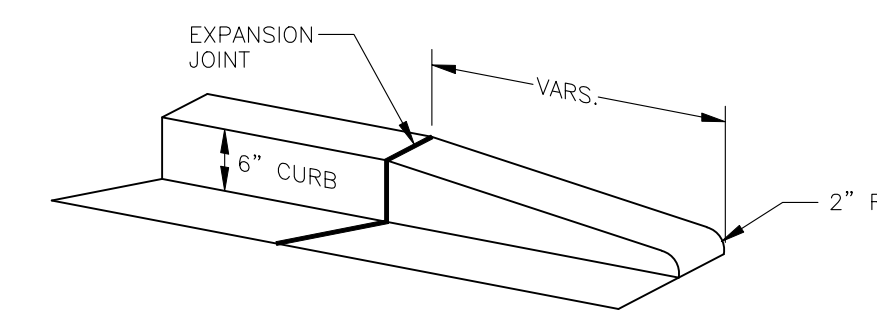


Compac Unit/Base Pad Isometric Section View

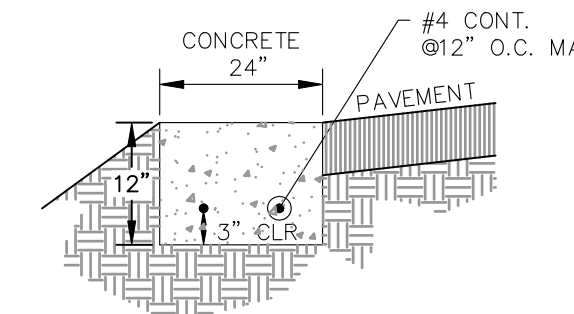
*Dimensions & Weight May Vary by Region



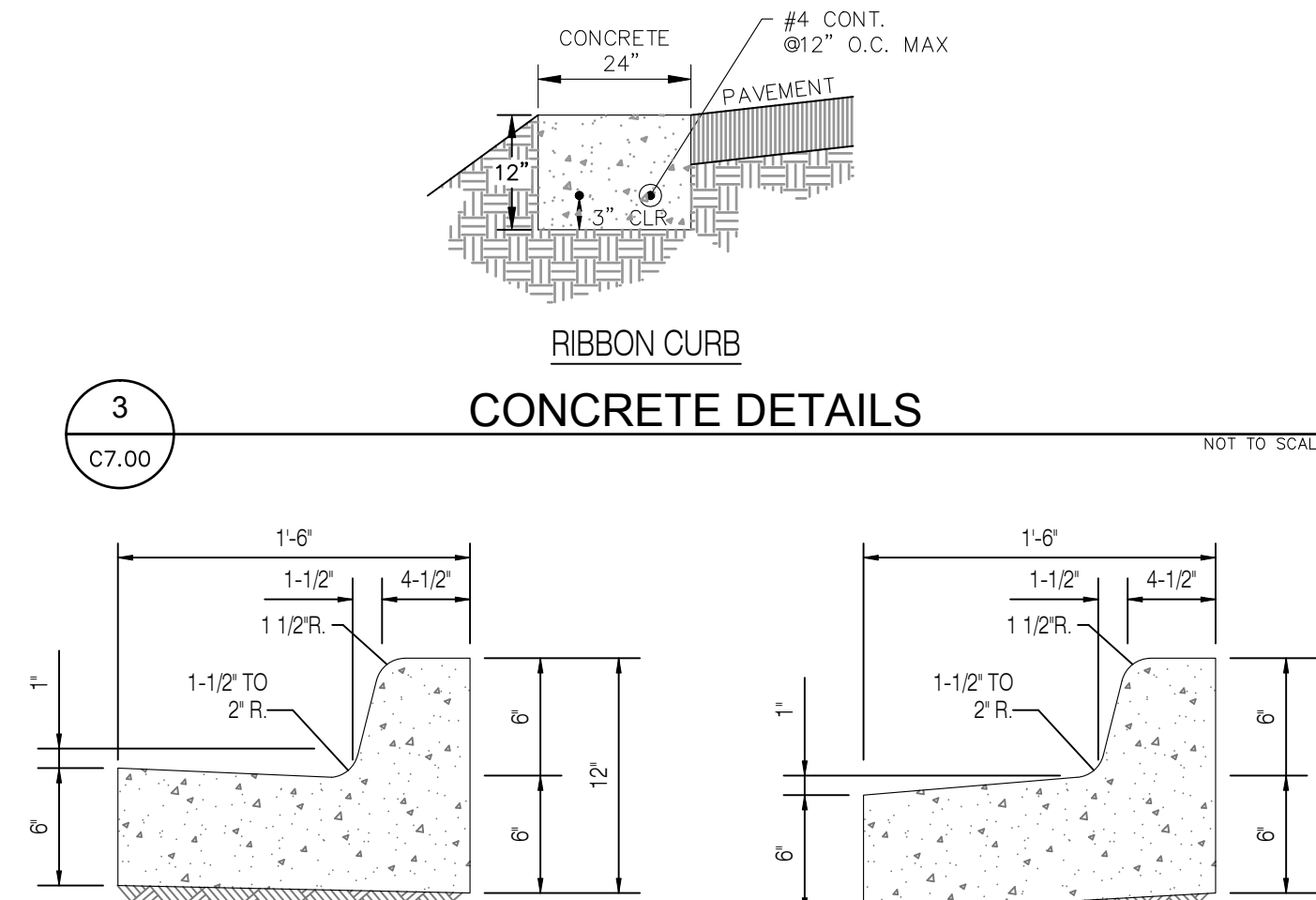
RAMP DETAIL



CURB TRANSITION



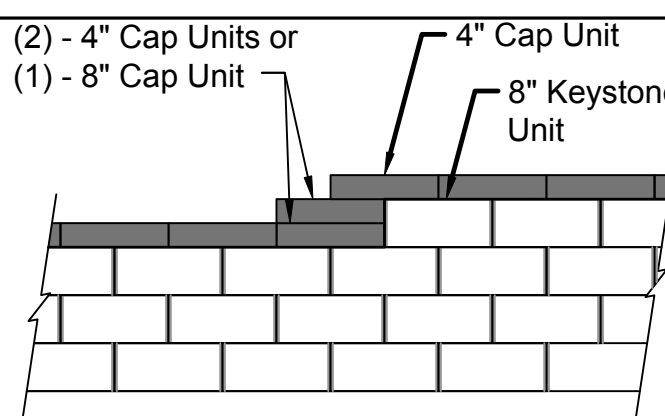
RIBBON CURB



INFLOW CURB & GUTTER

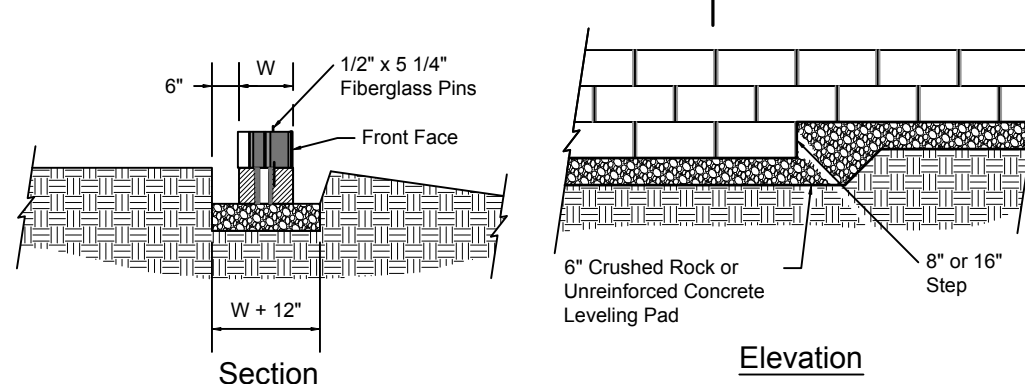
OUTFALL CURB & GUTTER

PRIVATE CURB & GUTTER

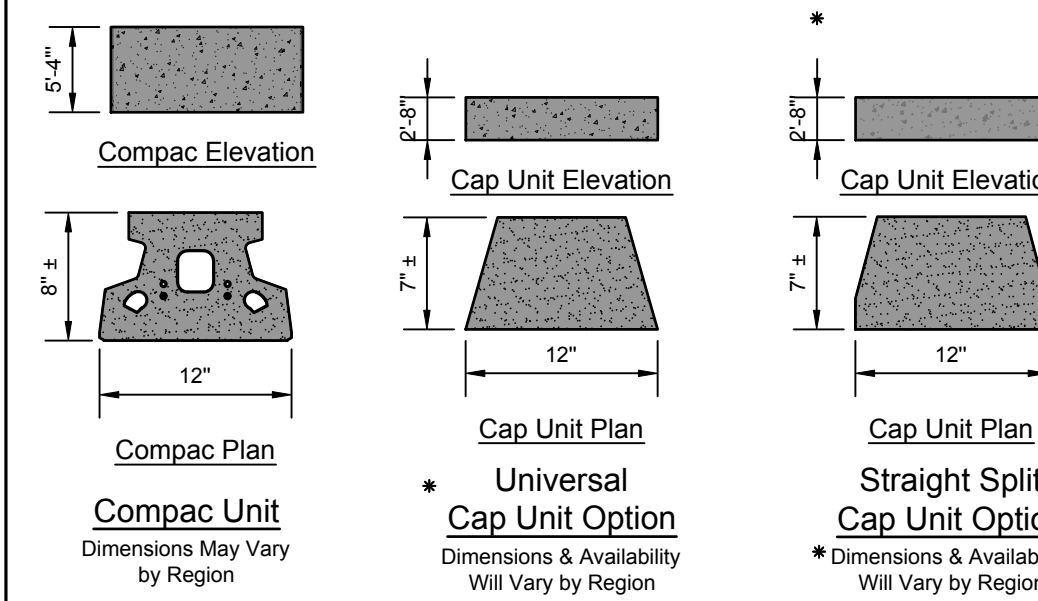


Note:
1. Secure all cap units with Keystone Kapeasal or equal.

Top of Wall Steps



Leveling Pad Detail



Compac Unit
Dimensions May Vary by Region

Universal Cap Unit Option
Dimensions & Availability Will Vary by Region

Straight Split Cap Unit Option
Dimensions & Availability Will Vary by Region

KEYSTONE COMPAC GRAVITY RETAINING WALL

CALL UTILITY NOTIFICATION CENTER OF COLORADO



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CHECKED BY:	Environmental Planner	Date

GEICO OFFICE BUILDING

CONSTRUCTION DETAILS

Sheet
C7.00

Of 13 Sheets

Revisions:
No. _____ Date: _____
REVIEW SET
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3/26/14

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NORTHERN ENGINEERING
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524
PHONE: 970.221.5158 FAX: 970.221.4159
www.northernengineering.com

NE

DATE: 3/26/14
PROJECT: 999-001
DESIGNED BY: C. Snordon
DRAWN BY: C. Bowen
SCALE: 1" = 10'
REVIEWED BY: R. Curfiss

DATE: 3/26/14
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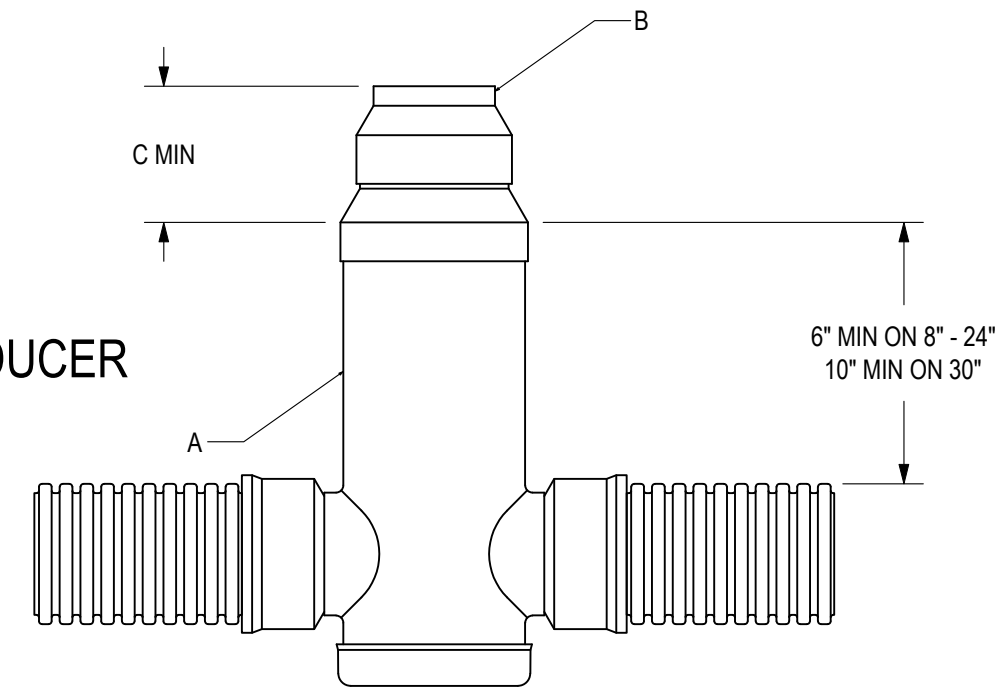
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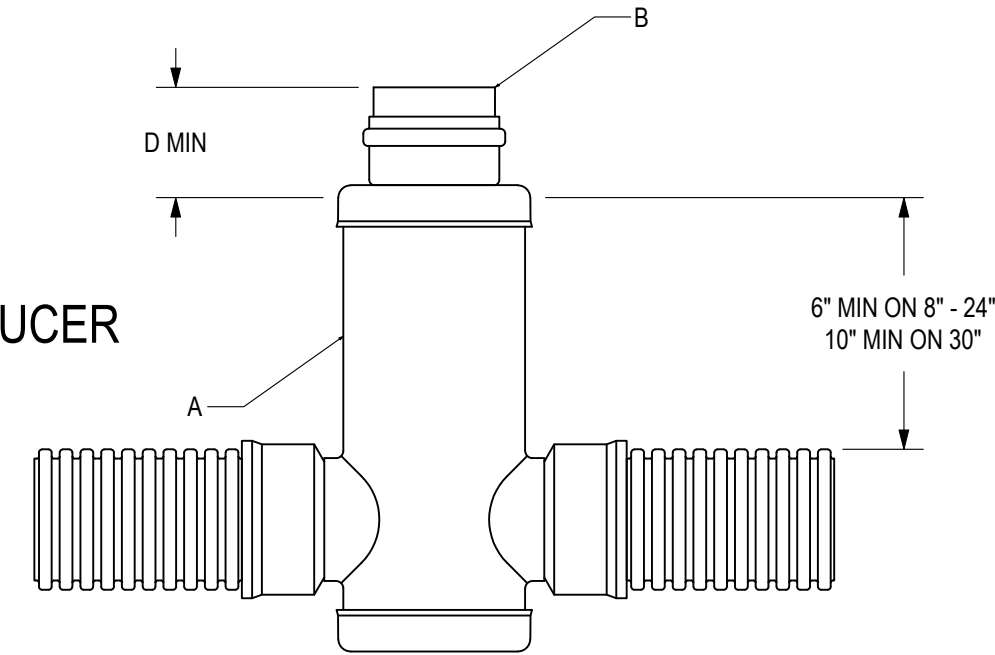
DATE: 3/26/14
PROJECT: 999-001
DESIGNED BY: C. Snordon
DRAWN BY: C. Bowen
SCALE: 1" = 10'
REVIEWED BY: R. Curfiss

A	B	C	D
10"	8"	6.00	9.00
12"	8"	12.00	9.00
12"	10"	6.00	10.00
15"	8"	18.50	9.00
15"	10"	12.50	10.00
15"	12"	6.50	
18"	8"	25.50	9.00
18"	10"	19.50	10.00
18"	12"	13.50	11.50
18"	15"	7.00	
24"	8"	36.50	9.00
24"	10"	30.50	10.00
24"	12"	24.50	11.00
24"	15"	18.00	12.00
24"	18"	11.00	
30"	8"	46.50	9.00
30"	10"	40.50	10.00
30"	12"	34.50	11.50
30"	15"	28.00	12.00
30"	18"	21.00	14.50
30"	24"	13.50	

CONE STYLE REDUCER



CAP STYLE REDUCER



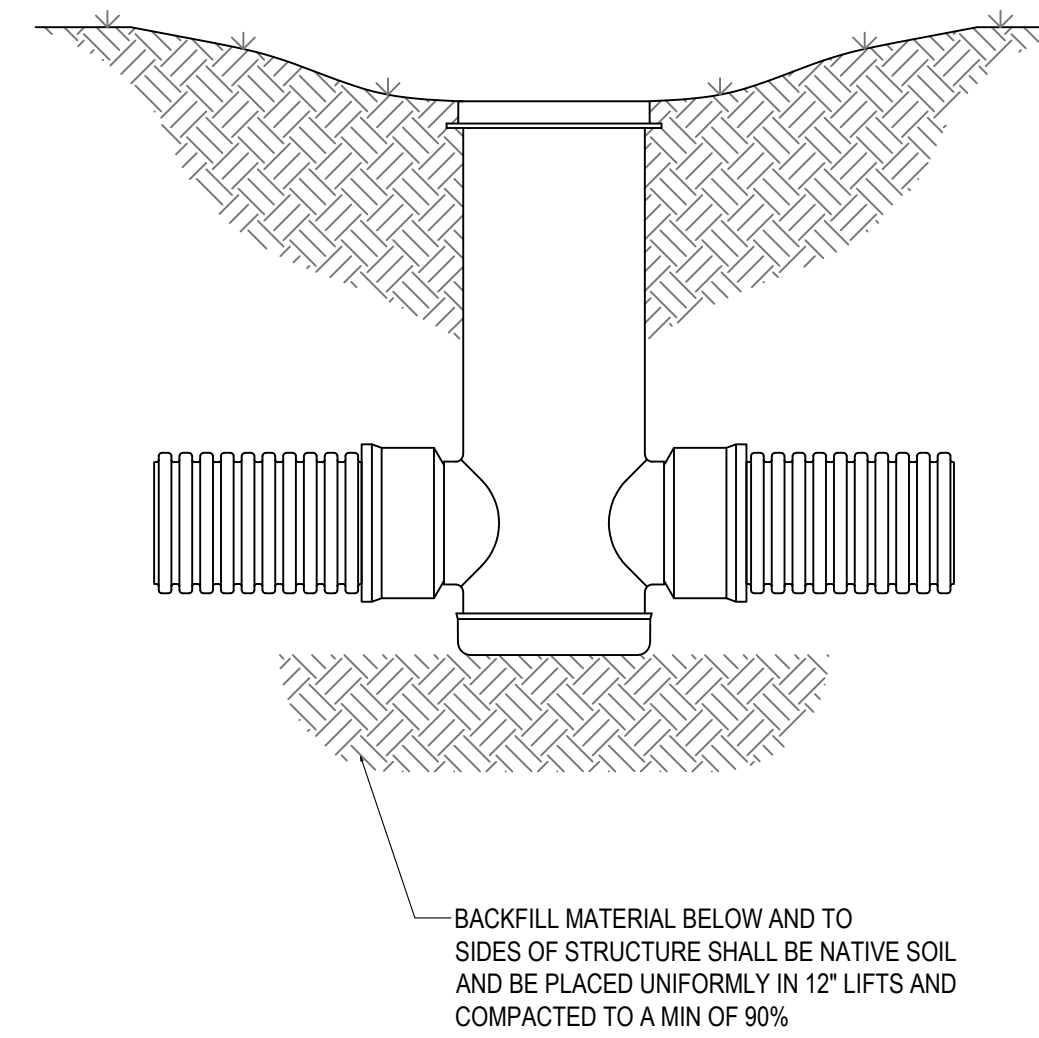
NOTE: DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY

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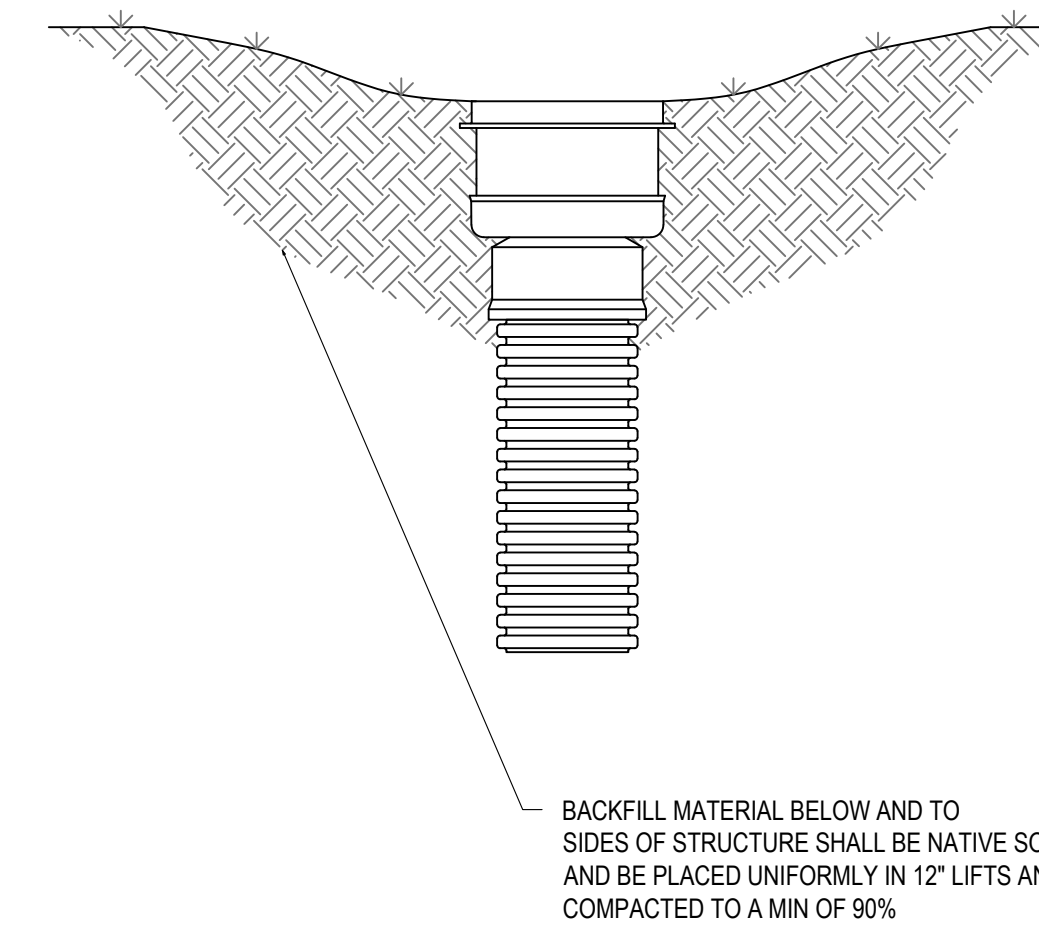
DRAWN BY	CJA	MATERIAL	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2499 www.nyloplast-us.com
DATE	2-6-03	PROJECT NO./NAME	
REVISED BY	EBC	TITLE	DRAIN BASIN WITH REDUCER OPTIONS
DATE	3-11-10	DWG NO.	7001-110-104
DWG SIZE	A	SCALE	1:25 SHEET 1 OF 1
			REV D

NON TRAFFIC INSTALLATION

12" - 30" DRAIN BASIN



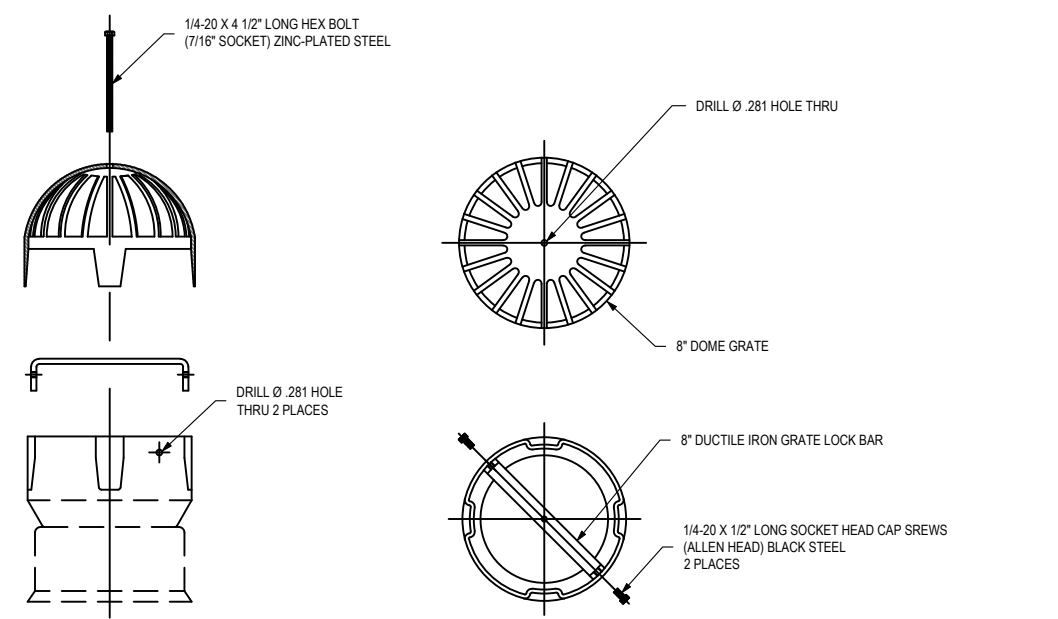
12" - 30" INLINE DRAIN



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DATE	9-30-99	PROJECT NO./NAME	
APPD BY	CJA	TITLE	12 IN - 30 IN DB & ID NON TRAFFIC INSTALLATION
DATE	9-30-99	DWG NO.	7001-110-111
DWG SIZE	A	SCALE	1:25 SHEET 1 OF 1
			REV B

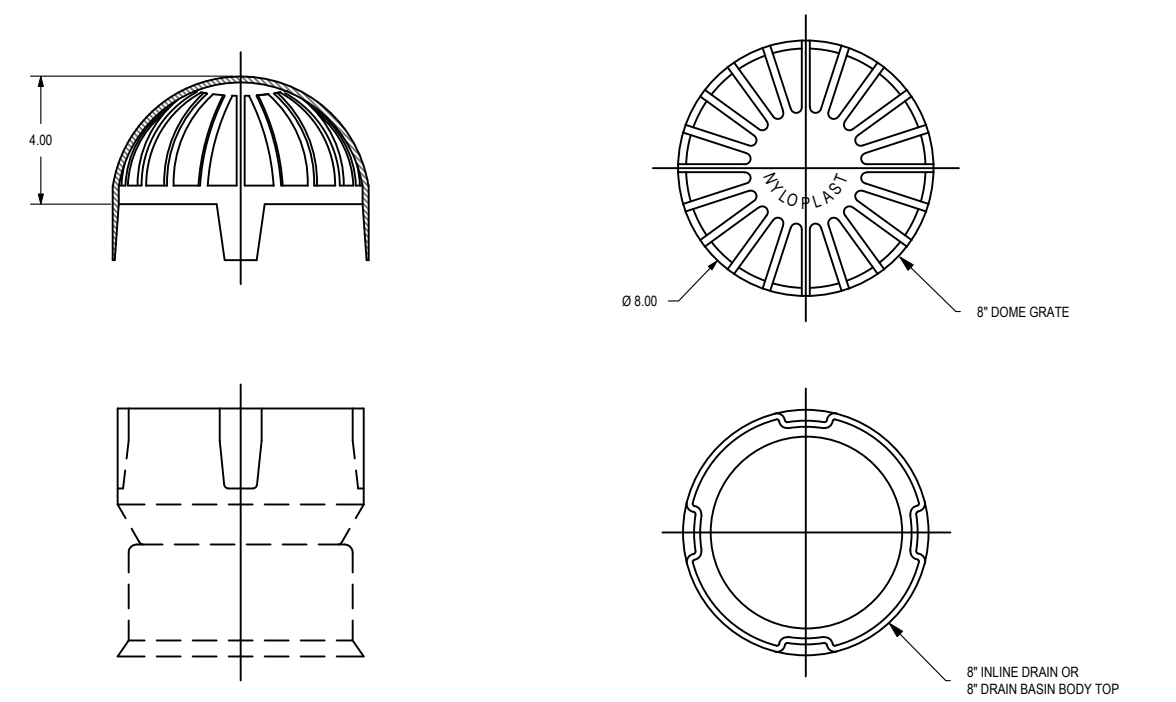
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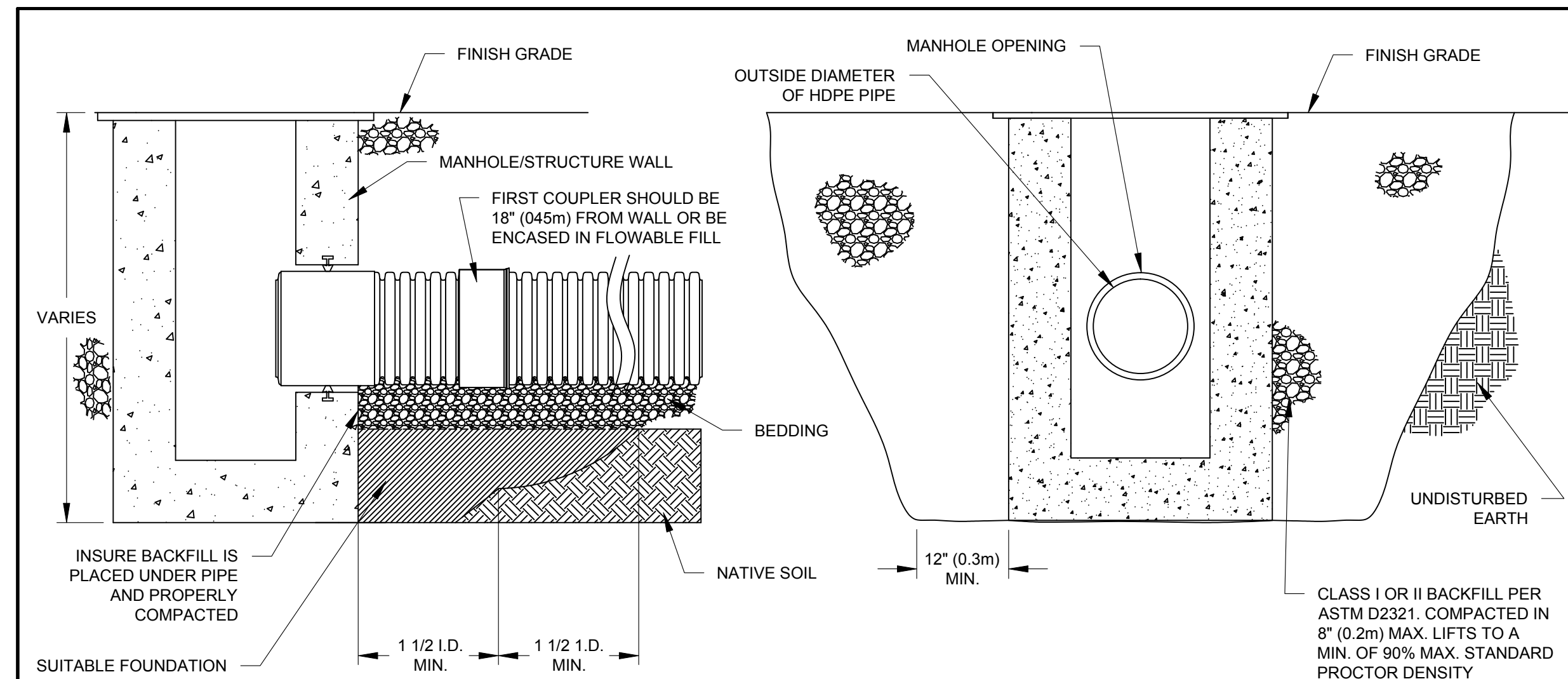
DRAWN BY	EBC	MATERIAL	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2499 www.nyloplast-us.com
DATE	2-6-03	PROJECT NO./NAME	
REVISED BY	EBC	TITLE	1/4\"/>
DATE	3-16-10	DWG NO.	7001-110-104
DWG SIZE	A	SCALE	1:4 SHEET 1 OF 1
			REV B

0899CGD

APPROX. DRAIN AREA = 60.00 SQ IN
APPROX. WEIGHT = 4.64 LBS



DRAWN BY	EBC	MATERIAL	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2499 www.nyloplast-us.com
DATE	2-6-03	PROJECT NO./NAME	
REVISED BY	EBC	TITLE	1/4\"/>
DATE	3-16-10	DWG NO.	7001-110-104
DWG SIZE	A	SCALE	1:4 SHEET 1 OF 1
			REV B



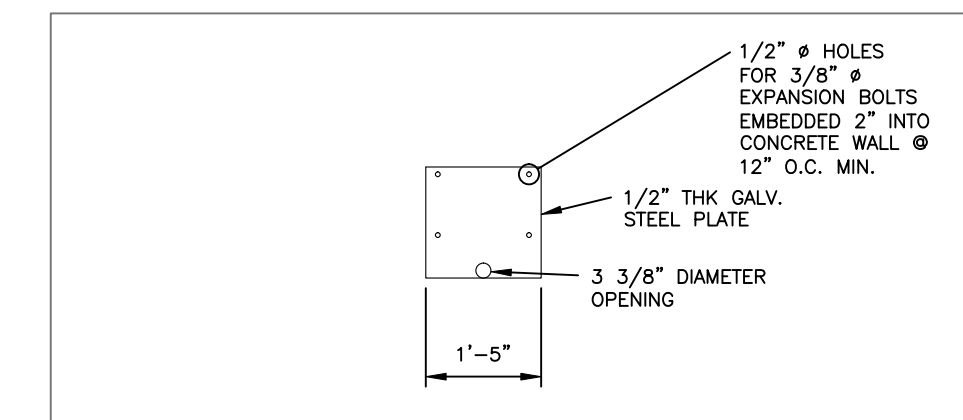
NOTES:

1. MAXIMUM INSERTION ANGLE SHALL NOT EXCEED REQUIREMENTS AS SPECIFIED BY THE MANUFACTURER.
2. SEE STANDARD DETAILS STD-202 (A-B) THROUGH STD-204 (A-E) FOR STRUCTURE CONNECTIONS, PRODUCT INFORMATION AND DIMENSIONAL PIPE DATA. INSTALLATION RECOMMENDATIONS ARE ALSO SPECIFIED IN TECHNICAL NOTE 5.04: HDPE CONNECTIONS TO MANHOLES AND STRUCTURES.
3. PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST INSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.

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1	UPDATED DRAWING	TJR	02/20/07	CKS
REV.	DESCRIPTION	BY	MM/DD/YY	CHKD
STRUCTURE CONNECTION INSTALLATION DETAIL				
DRAWING NUMBER: STD-201				
4640 TRUJMAN BLVD HILLIARD, OHIO 43026				
1 OF 1				



10 100-YR ORIFICE PLATE DETAIL
C7.02 NOT TO SCALE

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Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

GEICO OFFICE BUILDING

CONSTRUCTION DETAILS

Sheet
C7.02
Of 13 Sheets

Revisions:
No. _____
Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
3/26/14

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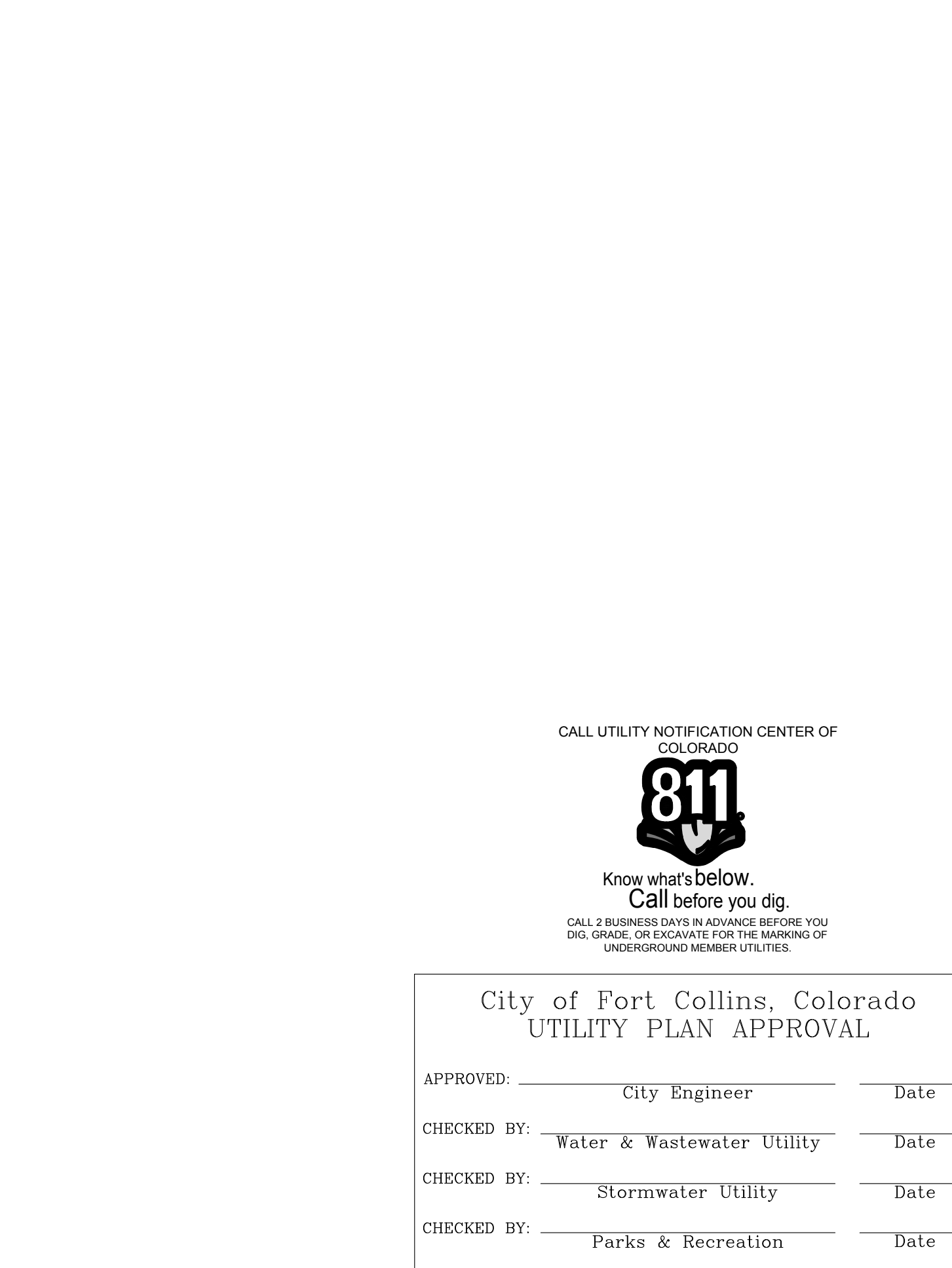
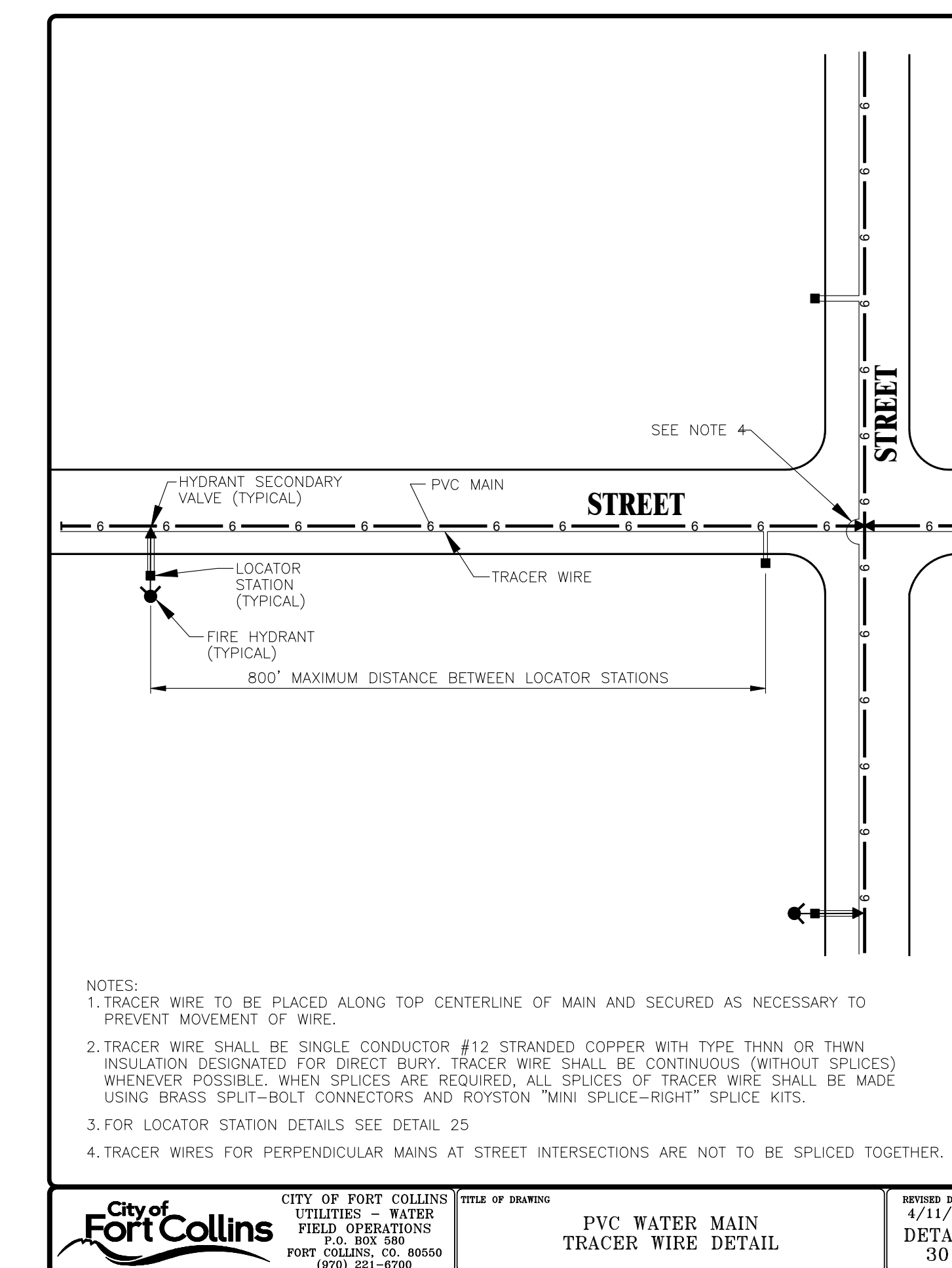
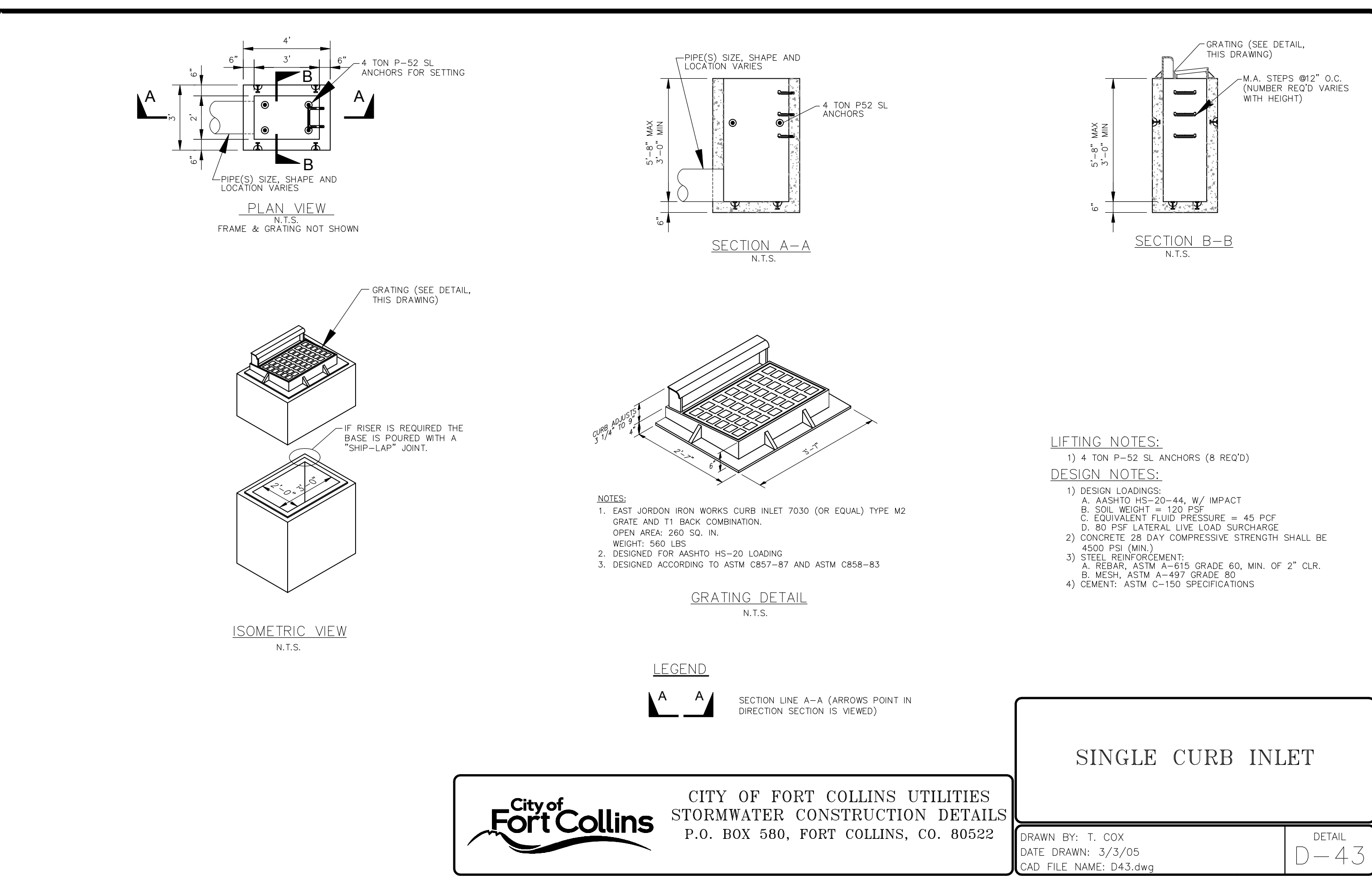
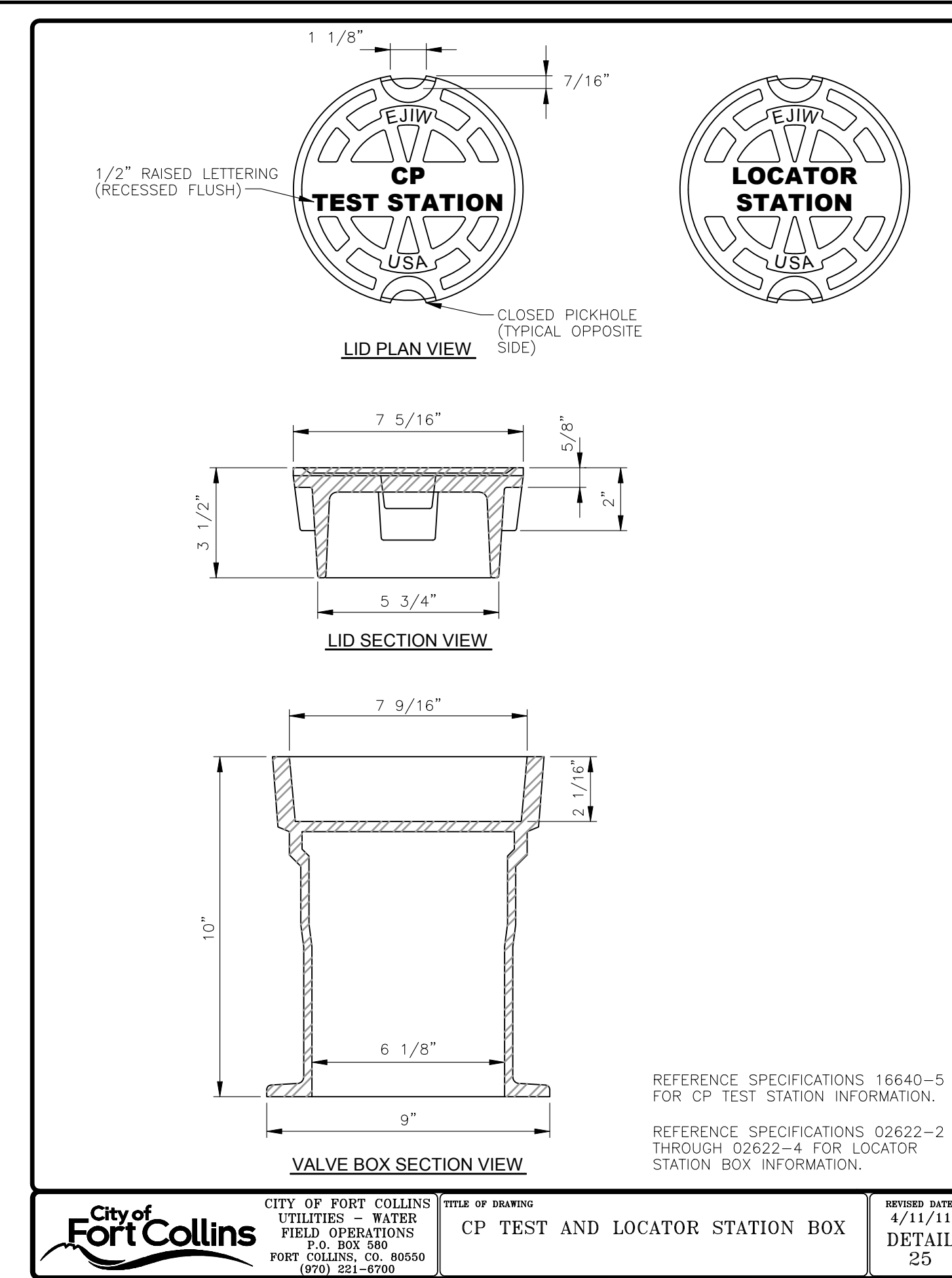
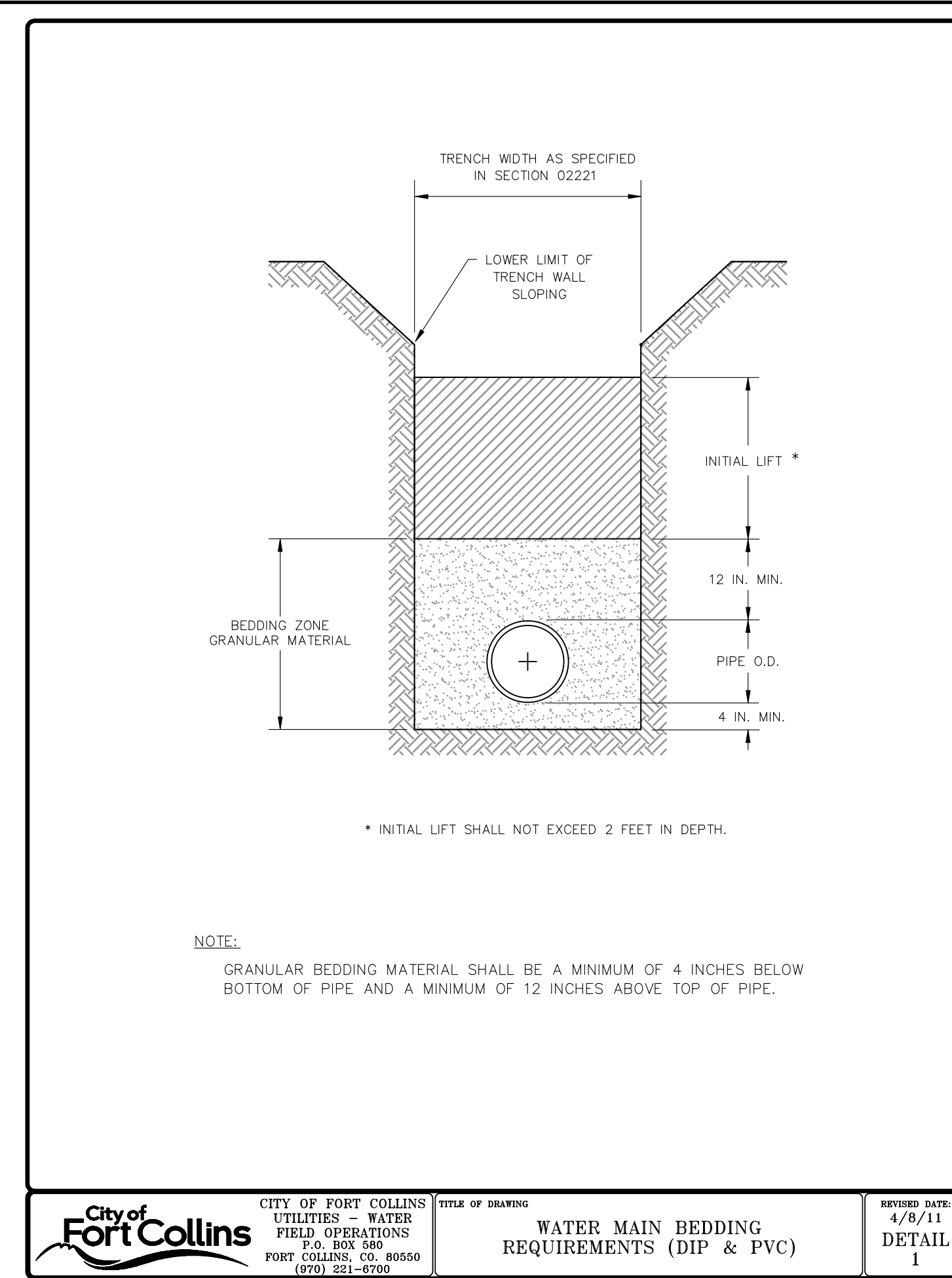
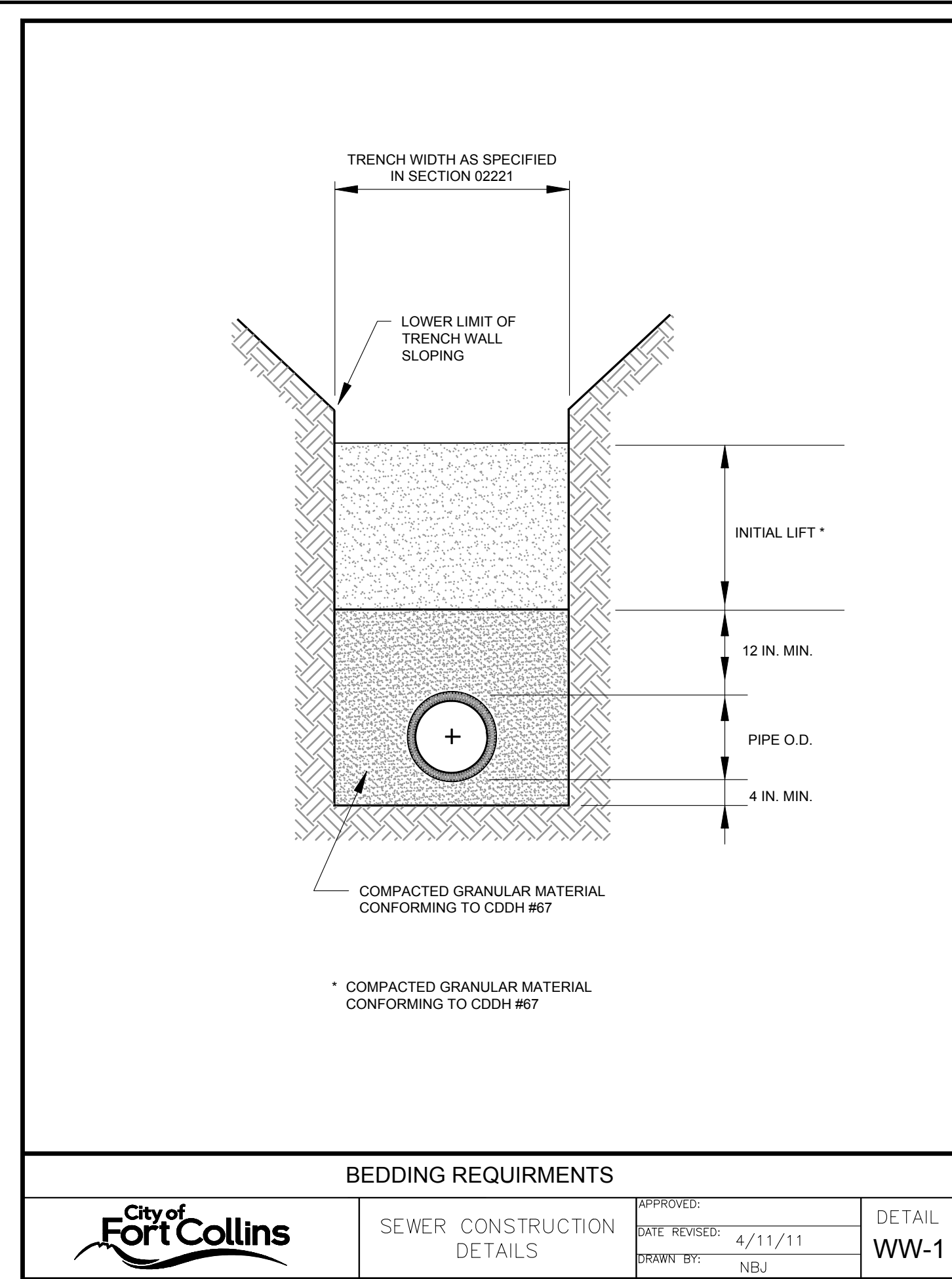
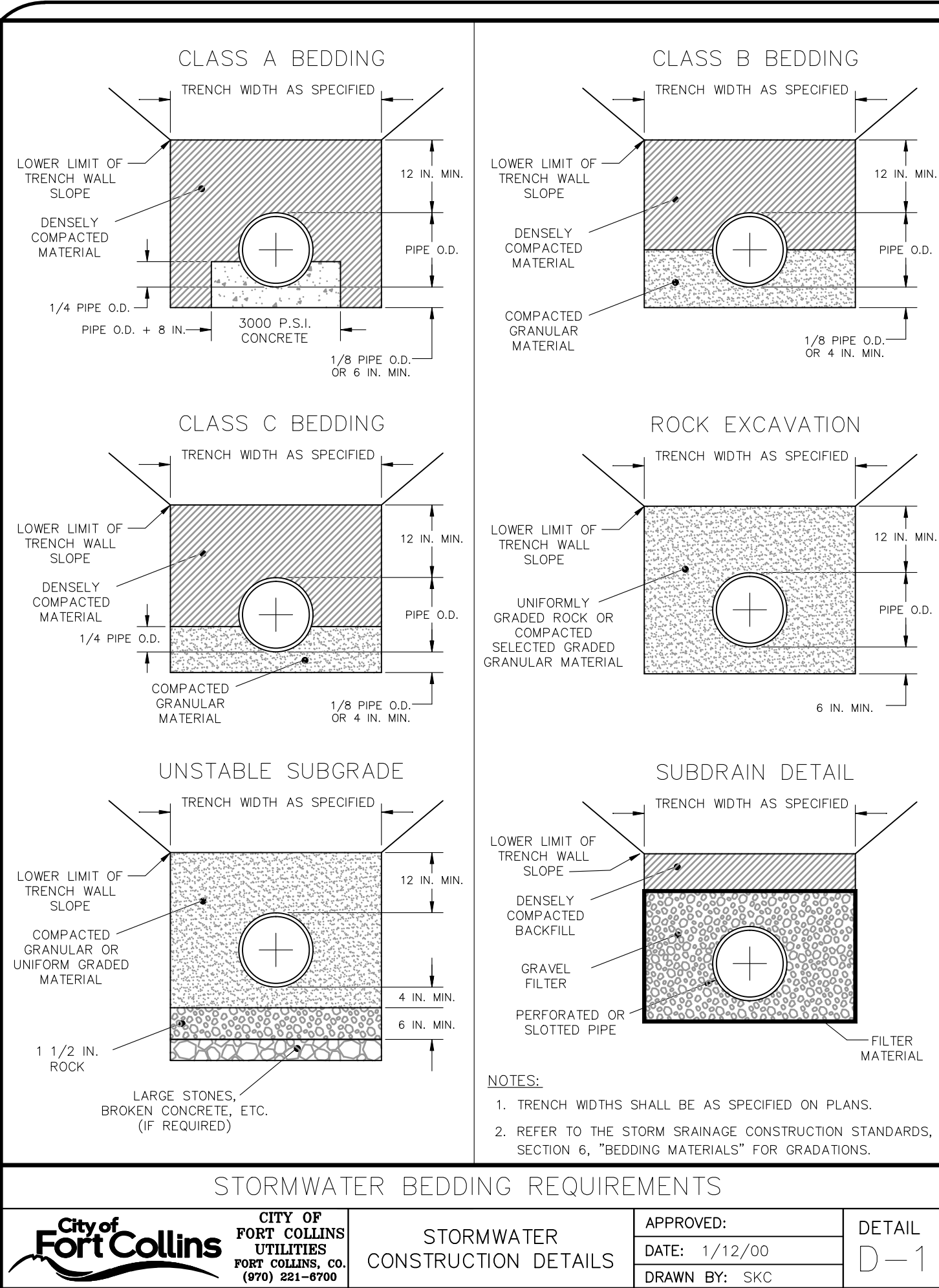
NE
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524

PROJECT: 959-001
DATE: 3/26/14
DESIGNED BY: C. Snordon
SCALE: 1" = 10'
DRAWN BY: C. Bowen
REVIEWED BY: R. Curless

DATE: 3/26/14
SCALE: 1" = 10'
REVIEWED BY: R. Curless

Sheet
C7.02
Of 13 Sheets

DRAWING FILENAME: D:\Projects\959-001\Drawings\959-001-UTL-001.dwg LAYOUT NAME: C7.02 DATE: Mar 26, 2014 4:15pm CAD OPERATOR: cory LIST OF SHEETS: [MS-00000]



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DATE: _____
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NE
200 South College Avenue, Suite 010
Fort Collins, Colorado 80524

PROJECT: 999-001
DATE: 3/26/14
DESIGNED BY: C. Snordon
SCALE: 1" = 10'
DRAWN BY: C. Bowen
REVIEWED BY: R. Curfiss

GEICO OFFICE BUILDING
CONSTRUCTION DETAILS

Sheet
C7.03
Of 13 Sheets



September 20, 2013

Steve Allen
Local Geico Office
115 E. Harmony Road
Fort Collins, CO 80525

RE: Ecological Characterization Study (ECS) Letter Report for the proposed Geico Agency Building at 2024 E. Harmony Road in Fort Collins, Colorado

Steve:

This letter ECS Report is submitted in response to the City's request for an ECS report for the proposed Geico Agency building development at 2024 E. Harmony Road. The 0.23-acre development site is located at the northwest corner of the intersection of E. Harmony Road and Timberline Road. The current development proposal calls for the construction of a 4,900-square foot, two story office building on the east side of the parcel with driveway and associated parking in the western portion of the project area. Ecological characteristics of the property were evaluated during a field review of the property on September 18, 2013.

The following provides a summary of ECS information required by Fort Collins Land Use Code under 3.4.1 (D) (1) items (a) through (k).

ECOLOGICAL STUDY CHARACTERIZATION CHECKLIST

(a & i) The proposed Geico Agency office development site has low ecological value and supports no natural habitat features. The entire property was previously developed, but former buildings and landscaping have been cleared. Currently, the site is mostly bare except for patches of weedy species (see attached Photos 1, 2 and 3). Existing vegetation cover is dominated by annual and perennial weedy species including kochia (*Bassia scoparia*¹), field bindweed (*Convolvulus arvensis*), cheatgrass (*Bromus tectorum*), common dandelion (*Taraxacum officinale*), Canada thistle (*Cirsium arvense*), green foxtail (*Setaria viridis*), common mallow (*Malva neglecta*), purslane (*Portulaca oleracea*), knotweed (*Polygonum aviculare*), and puncturevine (*Tribulus terrestris*). Woody species are restricted to Virginia creeper (*Parthenocissus quinquefolia*) vines and black raspberry (*Rubus occidentalis*) canes along the south edge of the irrigation ditch, a few Siberian elm (*Ulmus pumila*) seedlings near the south property boundary, and one relatively large (15-inch diameter) Siberian elm at the northwest property corner. The City Forester or a private arborist will need to evaluate the health of the one large Siberian elm to determine if it should be retained. Siberian elms are classified as a nuisance species in Fort Collins, but any tree, in this type of setting, provides some wildlife habitat value for perching, foraging, and possible nesting by urban adapted songbirds.

The Geico Office building project site does not support any significant areas of native vegetation or other unique habitat features. There are no unique habitat features on the development parcel, and because of surrounding roadways and development, features of ecological value within 500 feet of the project area consist solely of mature trees associated with adjacent landscaping and the irrigation ditch (Dixon Canyon Lateral) along the north property boundary. Development of the Geico Agency building parcel would not result in any impacts to onsite or nearby natural resources beyond those that have already occurred from previous developments on and adjacent to the property.

Wildlife habitat value on the property has been degraded by past development, clearing of structures and landscaping, and by adjacent developments and roadways. Urban-adapted birds such as mourning dove and house finch may occasionally use the site for foraging for seeds. The few trees on or near the project area may

¹ Scientific nomenclature follows USDA, NRCS Plants Database. Available online at: <http://plants.usda.gov/java/>

also be used for perching, nesting, and foraging by urban-adapted songbirds. No bird nests were located in the one Siberian elm tree on the property during the September 18, 2013 field survey.

(b) There are no wetlands on the property, but there is a thin strip of vegetated wetlands supported along the north bank of the irrigation ditch (Dixon Canyon Lateral). This wetland is dominated by reed canarygrass (*Phalaris arundinacea*) and Emory's sedge (*Carex emoryi*), which are very typical of irrigation ditch wetlands in the region. The irrigation ditch and associated wetlands have relatively low wildlife habitat value since the open portion of the ditch is isolated from other natural features and by the fact that it runs underground at the east edge of the project area and approximately 560 feet northwest of the project area. Project development would have no effect on these wetlands.

(c) The project area does not provide any significant views of natural features or other areas of scenic value.

(d) As indicated under (a & i) the project area supports no native vegetation or significant trees.

(e) There are no natural drainages on or near the project area.

(f) There is no suitable habitat for any threatened, endangered, or other sensitive species on or adjacent to the project area. No other sensitive or ecologically important species are likely to use the property since its surface has been disturbed and supports no native habitats.

(g) Past removal of native habitat has eliminated the potential for any special habitat features on the property.

(h) There are no wildlife movement corridors within 500 feet of the project area. The Dixon Canyon Lateral, along the north property boundary, does not create a suitable wildlife movement corridor since it runs underground at the east edge of the project area and approximately 560 feet northwest of the project area.

(j) There is only one issue regarding the timing of property development and ecological features or wildlife use of the project area. If the development proposal includes removal of the one Siberian elm on the property or if construction occurs near an occupied bird nest in this tree during the songbird nesting season (April through July), these activities could result in the loss or abandonment of a nest and would be in violation of the federal Migratory Bird Treaty Act.

(k) Since the entire project area has been previously developed and has now been cleared, project development would have no impact on natural habitats or important habitat features, other than the one existing tree on the property. Although this tree would not be classified as significant by the City, since it is a nuisance species, it does provide some perching, foraging, and possible nesting habitat for urban-adapted songbird species. If removal of this tree is required for project development, appropriate plantings of landscape trees should be included with project development to mitigate the loss of its habitat value for urban-adapted songbirds.

Because tree removal or construction near trees during the nesting season could result in the loss or abandonment of a nest, it is recommended that tree removal or construction near songbird nests occur outside of the nesting season (April 1 – July 31), or trees on or adjacent to the project area be surveyed to ensure lack of nesting prior to removal or construction activities during the nesting season. This mitigation recommendation would preclude the possible incidental take or disturbance of active songbird nests.

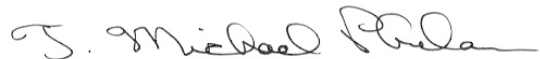
Based on the fact that the Dixon Canyon Lateral is not suitable as a wildlife movement corridor, is abutted by existing residential and commercial developments, and supports only minor amounts of vegetated wetlands, typical of regional irrigation ditches, there is no ecological need to create a wildlife or wildlife habitat buffer setback for this section of the Dixon Canyon Lateral. A vegetated water quality buffer, or water quality detention area would be appropriate for treating surface water runoff from impermeable surfaces (parking lot) prior to any release into the Dixon Canyon Lateral.

S. Allen
9/20/13
Page 3 of 3

Steve, if you have any questions or require additional information regarding my evaluation, please give me a call.

Sincerely,

CEDAR CREEK ASSOCIATES, INC.

A handwritten signature in black ink that reads "T. Michael Phelan". The signature is written in a cursive style with a long horizontal flourish at the end.

T. Michael Phelan
Principal
Senior Wildlife Biologist

attachments: Photos 1, 2, and 3



Photo 1. View of Geico Office Building Development Site. (View is looking southeast from the northwest property corner.)



Photo 2. Another View of the Geico Office Building Development Site. (View is looking northwest from the southeast property corner.)



Photo 3. View of Dixon Canyon Lateral Along the North Property Boundary of the Geico Office Building Development Site. (View is looking west from the northeast property corner. A thin strip of wetland vegetation is present along the lower portion of the north bank, or right bank in photo.)



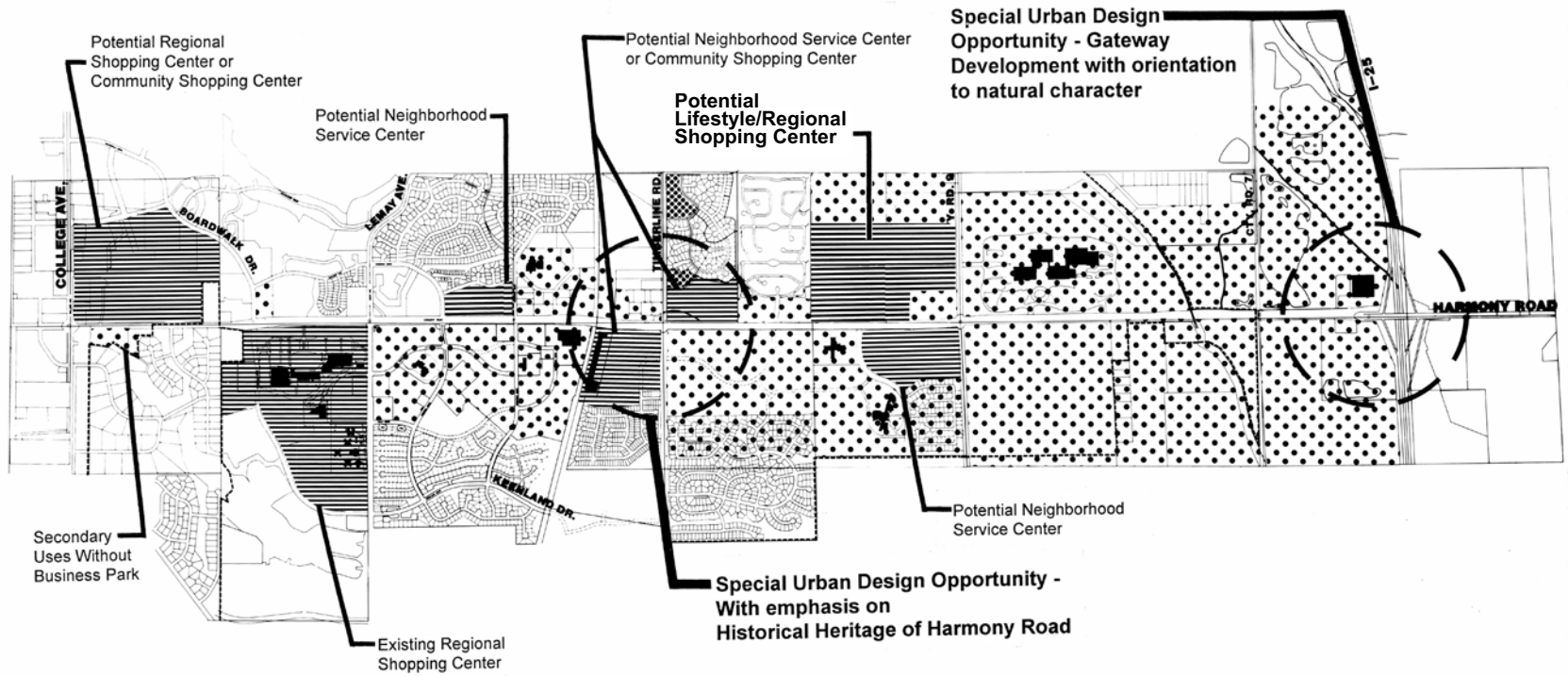
Ecological Characterization Study Review

Project Name: Geico Office Building
Project Planner: Jason Holland
ECS Consultant: Cedar Creek Associates
Review Date: September 20, 2013

Project Description: The 0.548 acre site is located the northwest corner of E. Harmony Road and Timberline Road. The proposed development is for the construction of a two story 6,600-square foot office building. The Dixon Canyon Lateral runs through the northern edge of the property.

Ecological Characterization Study (ECS) Requirements and Evaluation – Section 3.4.1(D) of the Land Use Code			
	Yes	No	Comments
Is the project within 500' of a Natural Habitat or Feature? If yes, which features?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The Dixon Canyon Lateral runs through the northern edge of the property. On the northern bank of the lateral is a thin strip of vegetated wetlands.
Is the wildlife use and value of the area described?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The site has minimal habitat value due to prior development on the site. Urban-adapted species may occasionally use the site for foraging.
Are there wetlands present? If yes, have the boundaries and functions been described?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	There is a thin strip of vegetated wetlands along the north bank of the irrigation ditch, but it is not on the property.
Are there any prominent views from or across the site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Are the pattern, species, and location of significant native trees and vegetation described?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There are no significant native trees or vegetation on the site.
Are the pattern, species, and location of significant non-native trees and vegetation described?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Weedy species such as cheatgrass, Canada thistle, and field bindweed dominate the vegetation at the site. One significant Siberian Elm is present at the northwestern corner of the property.

Ecological Characterization Study (ECS) Requirements and Evaluation – Section 3.4.1(D) of the Land Use Code			
Is a stream or perennial body of water present? If yes, is top of bank located?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Are sensitive or specially valued species present? If yes, are the areas of use identified?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Are other special habitat features located on the site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Does the site contain wildlife movement corridors?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Are the general ecological functions of the site described?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Overall the property has low ecological value and is only utilized by weedy and urban-adapted species.
Are there any issues regarding development related timing that should be addressed?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the large Siberian Elm on the site is removed, it needs to occur outside of the nesting season (April 1 – July 31).
Are any measures needed to mitigate adverse impacts projected by the development?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	



Harmony Activity Centers



Basic Industrial and Non-Retail Activity Center



Mixed Use Activity Center

Potential Shopping Center Locations Outside of Activity Center



Neighborhood Convenience Center

NORTH



1500' 0' 3000' 6000'



LAND USE PLAN

Jason Holland

From: Dave Thurgood <dthurgood@gmail.com>
Sent: Sunday, April 20, 2014 9:44 PM
To: Jason Holland
Subject: Geico Office Building Project 2024 East, Harmony Road

Follow Up Flag: Follow up
Flag Status: Flagged

Jason,

I am emailing in response to a Public Hearing Notice regarding the proposed Geico Office Building Project located at 2024 East Harmony Road.

I am the owner of Lot 1B of Harmony Village located at 4609 S. Timberline Road which fronts Harmony Road and has a direct line of sight to the proposed development.

I am opposed to the request for modification of the Harmony Road Setback Zone from 80 feet to 27 feet.

I feel that if this setback modification were to be granted, it would have a negative visual impact on the Harmony Corridor. As, I am sure you are aware, the City of Fort Collins recently invested a significant amount of money on improvements of the Harmony Road Corridor in the immediate vicinity of the proposed development, many of which were aesthetic in nature.

Of much greater importance, is the potential negative impacts the setback modification would have on the safety aspects of an intersection that currently has a high rate of motor vehicle and auto-pedestrian accidents.

In addition, any further widening of the Harmony corridor would be negatively impacted by a setback of 27 feet

I would strongly encourage the City of Fort Collins to deny the developer's request to modify the Harmony Road Setback Zone.

Sincerely,

David B. Thurgood, DDS, MS
Owner, Lot 1B, Harmony Village

Jason Holland

From: darlene.mace@lpl.com
Sent: Thursday, April 17, 2014 6:53 PM
To: Jason Holland
Subject: RE: Geico Office Building Project

Follow Up Flag: Follow up
Flag Status: Flagged

Jason, many thanks for your efforts. Taking the time to update me is greatly appreciated.

On Thu Apr 17 21:11 , Jason Holland <JHolland@fcgov.com> wrote:

Darlene,

Thanks for reaching out and voicing your concerns. I would be happy to print your email in letter format and provide a hard copy to the Hearing Officer.

It might help to explain that staff is recommending approval of the modification request to reduce the landscape setback because the project has only 88 feet of buildable depth for new structures, parking and circulation. The strict application of the 80 foot setback standard within this remaining 88 foot project depth would render the site infeasible for development. Essentially, the 80 foot setback takes up the majority of the site.

We have required that the remaining 27 feet of landscape area be enhanced by providing a wide shrub bed that includes berms and landscape boulders, with the intent of providing an enhanced, higher quality landscape edge to compensate for the reduction in setback depth from 80 feet to 27 feet. As part of this enhancement, turf areas are kept to a minimum so that trees and shrubs can be placed in more naturalistic groupings, contributing to an attractive landscape edge that appears spacious and provides design continuity along the Harmony Road frontage. Also, regardless of any landscape setback distance, we have site distance requirements at all intersections in the City to ensure safe view corridors. The project meets these site distance requirements.

We consider the 80 foot setback to be a very important component of the Harmony Road corridor, but unfortunately it doesn't work at this location. Reductions cannot be supported unless there's a strong case for needing a reduction. Thankfully this appears to be the only area of the corridor that is restricted, and the vast majority of the corridor has accommodated the 80 setback. The bar is set high for development standards along Harmony and we'll continue to push for high quality.

I hope this explanation helps.

Thanks,
Jason

Jason Holland, PLA | City Planner
City of Fort Collins
281 North College Avenue
Fort Collins, CO 80522
970.224.6126
jholland@fcgov.com

From: Darlene Mace [<mailto:darlene.mace@lpl.com>]

Sent: Tuesday, April 15, 2014 9:58 AM

To: Jason Holland

Subject: Geico Office Building Project

Jason,

Thank you for sending the public hearing notice regarding the above project.

I am excited to have the corner developed, as it has been an eyesore for an extended period of time.

Unfortunately, I am otherwise committed during the hearing date and location time and am unable to attend.

Having said that, I do have an objection to the reduction in the Harmony Road Setback Zone from 80 to 27 feet. Reasons are as follows:

-Sets a bad precedent for future development in the area.

-Safety concerns, this is a very busy intersection. It would seem to me that visibility would be greatly reduced, contributing to a potentially hazardous situation.

Not sure if it is possible for someone to keep me in loop as to outcome, but any communication would be greatly appreciated.

Thank you in advance for your attention to this issue.

Darlene Mace
LPL Financial

Branch Manager
Financial Advisor

LPL Financial
2120 Milestone Dr. Ste. 104
Fort Collins, CO 80525

970-223-1314 - Office
866-961-6223 - Toll Free
970-377-2568 - Fax
[*darlene.mace@lpl.com*](mailto:darlene.mace@lpl.com)

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