

**CITY OF FORT COLLINS
TYPE 1 ADMINISTRATIVE HEARING
FINDINGS AND DECISION**

HEARING DATE: October 1, 2014

PROJECT NAME: Fox Grove

CASE NUMBER: PDP130029

APPLICANT: Stephanie Van Dyken
Ripley Design, Inc.
401 W. Mountain Ave., Suite 100
Fort Collins, CO 80521

OWNER: Les Kaplan
Imago Enterprises, Inc.
140 Palmer Drive
Fort Collins, CO 80525

HEARING OFFICER: Kendra L. Carberry

PROJECT DESCRIPTION: This is a request for approval of a Project Development Plan ("PDP") for Fox Grove, which is located southeast of the corner of East Mulberry Street and I-25. The PDP proposes to subdivide 21.87 acres to accommodate 67 lots for single-family detached homes.

SUMMARY OF DECISION: Approved

ZONE DISTRICT: Low Density Mixed-Use Neighborhood (L-M-N)

HEARING: The Hearing Officer opened the hearing at approximately 5:10 p.m. on October 1, 2014, in Conference Room A, 281 North College Avenue, Fort Collins, Colorado.

EVIDENCE: During the hearing, the Hearing Officer accepted the following evidence: (1) Planning Department Staff Report; (2) application, plans, maps and other supporting documents submitted by the applicant; and (3) a copy of the public notice (the formally promulgated policies of the City are all considered part of the record considered by the Hearing Officer).

TESTIMONY: The following persons testified at the hearing:

From the City: Jason Holland

From the Applicant: Stephanie Van Dyken

From the Public: Tom Mills, Cindy Gallenstein

FINDINGS

1. Evidence presented to the Hearing Officer established the fact that the hearing was properly posted, legal notices mailed and notice published.
2. Although the PDP does not require a neighborhood meeting, a neighborhood meeting was held in conjunction with the Fox Grove Overall Development Plan ("ODP").
3. The PDP complies with the applicable General Development Standards contained in Article 3 of the Code.
 - a. The PDP complies with Section 3.2.1, Landscaping and Tree Protection, because: the PDP provides for street trees at approximately 40' intervals along portions of the streets that are not fronted by lots; along the front setbacks of lots, one street tree per lot is provided in substitution for 40' tree spacing; and the PDP meets the minimum tree species diversity requirement.
 - b. The PDP complies with Section 3.2.2, Access, Circulation and Parking, because: the PDP includes 27 parking spaces on-site; the system of internal drives and walkways provides adequate directness, continuity and security; and the hammerhead turnaround at the end of the drive allows for emergency access.
 - c. The PDP complies with Section 3.2.2(C)(6), Direct On-Site Access to Pedestrian and Bicycle Connections, because the PDP provides for a sidewalk system with block lengths that are spaced at intervals less than the 660' maximum and the PDP incorporates small neighborhood parks and trails that provide convenient pedestrian and bicycle connections within and through the property.
 - d. The PDP complies with Section 3.2.3(C), Solar-Oriented Residential Lots, because the PDP provides 49 solar-oriented lots, or 73%.
 - e. The PDP complies with Section 3.3.1, Plat Standards, because all lots have direct access to a public street, and the layout of roads, driveways, utilities, drainage facilities, and other services are designed in a way that enhances an interconnected system within and between potential developments to the south.
 - f. The PDP complies with Section 3.5.2(E), Setbacks, Lot Width and Size, because all lots exceed the minimum lot width of 50', and all setbacks are appropriate.
 - g. The PDP complies with Section 3.6.4, Transportation Level of Service Requirements, because the vehicular, pedestrian and bicycle facilities comply with Part II of the City of Fort Collins Multi-modal Transportation Level of Service Manual.
4. The PDP complies with the applicable standards contained in Article 4 of the Code for the L-M-N zone district.
 - a. The PDP complies with Section 4.5(A), Purpose, because low density single-family housing is consistent with the purpose of the L-M-N zone district.

b. The PDP complies with Section 4.5(B)(2)(a)(1), Permitted Uses, because single-family attached residences are permitted uses in the L-M-N zone district subject to Administrative Review.

c. The PDP complies with Section 4.5(D)(1), Density, because the density of 3.06 dwelling units per gross acre complies with the Modification of Standard approved with the ODP.

d. The PDP complies with Section 4.5(D)(2), Mix of Housing, because the Modification of Standard approved with the ODP allows the PDP to contain only single-family detached housing.

e. The PDP complies with Section 4.5(D)(6), Small Neighborhood Park, subject to the condition that Outlot H be designed to satisfy the criteria to be classified as a small neighborhood park.

DECISION

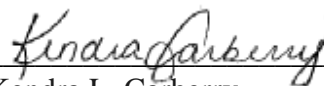
Based on the foregoing findings, the Hearing Officer hereby enters the following rulings:

1. The PDP is approved as submitted, with the following conditions:

a. Outlot H shall include irrigated multiple-use turf and also provide walking paths, plazas, pavilions, picnic tables, benches or other features for various age groups to enjoy, so that Outlot H satisfies the criteria to be classified as a small neighborhood park under Section 4.5(D)(6).

b. The trail in the common area to the south of the development, which runs east/west, shall be constructed of concrete instead of the soft-surface trail included on the plans submitted at the hearing.

DATED this 13th day of October, 2014.



Kendra L. Carberry
Hearing Officer



ITEM NO 2
MEETING DATE October 1, 2014
STAFF Holland
HEARING OFFICER

PROJECT: Fox Grove Project Development Plan, PDP #130029

APPLICANT: Stephanie Van Dyken
Ripley Design, Inc.
401 W. Mountain Ave., Suite 100
Fort Collins, CO 80521

OWNER: Imago Enterprises, Inc.
140 Palmer Drive
Fort Collins, CO 80525

PROJECT DESCRIPTION:

This is a request to subdivide 21.87 acres to accommodate 67 lots for single-family detached homes. The project is located approximately 2,000 feet southeast of the corner of East Mulberry Street and I-25. The site is bordered by Boxelder Creek to the west with existing residential development to the north and west.

This PDP is the first phase of the Fox Grove Overall Development Plan approved by the Planning and Zoning Board on April 10, 2014. The Overall Development Plan includes 35.8 acres overall, with subsequent phasing anticipated west of this initial PDP.

Three Modifications of Standard were approved with the Overall Development Plan. The approved modifications include a reduction to the minimum required density in LMN Zone, a reduction in the minimum required housing types in LMN Zone, and a modification to allow single family lots within 1,320 feet of I-25.

RECOMMENDATION:

Approval of the Fox Grove Project Development Plan, with one condition.

EXECUTIVE SUMMARY:

The approval of the Fox Grove Project Development Plan complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The P.D.P. complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The P.D.P. complies with relevant standards located in Division 4.5, Low Density Mixed-Use Neighborhood (L-M-N) of Article 4 – Districts.
- The P.D.P. complies with relevant standards located in Article 3 – General Development Standards.
- The P.D.P. complies with the Fox Grove Overall Development Plan approved on April 10, 2014.

COMMENTS:

1. Background:

The subject property was annexed in November 2005, referred to as the State Highway 14 East Frontage Road Annexation, and was zoned L-M-N at the time of the annexation.

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	General Commercial (GC)	Interchange Business Park
South	Industrial (I)	Undeveloped Parcel
East	Larimer County	Clydesdale Park residential subdivision
West	Boxelder Creek and Lot 1 Lee M.L.D., Larimer County, zoned Commercial (C)	Undeveloped Parcel

2. **Compliance with Applicable L-M-N Standards:**

The project complies with all applicable L-M-N standards with the following relevant comments provided:

A. Section 4.5(A) – Purpose

The proposed single-family land use is consistent with the purpose of the L-M-N district by proposing a predominance of low density housing with fully integrated small neighborhood parks providing a focal point within the pattern of streets and blocks.

B. Section 4.5(B)(2)(a)(1) – Permitted Uses

Single family detached dwellings are a permitted use in the L-M-N District subject to administrative review.

C. Section 4.5(D)(1) – Density

This standard typically requires that residential density on projects that are part of Project Development Plans or Overall Development Plans containing more than 20 acres have a density not less than 4.00 dwelling units per gross acre and not greater than 9.00 dwelling units per net acre.

A Modification of Standard was approved with the O.D.P. to Section 4.5(D)(1)(a) allowing the project provide an overall minimum of 3.00 units per acre.

As phase one of the Overall Development Plan, the P.D.P. provides 67 units in the L-M-N zone district for a density of 3.06 dwelling units per gross acre, which complies with the Modification of Standard approved with the O.D.P.

D. Section 4.5(D)(2) – Mix of Housing

This standard requires a minimum of four housing types on any overall project containing 30 acres or more.

A Modification of Standard was approved with the O.D.P. to Section 4.5(D)(2) to reduce the required four housing types to provide one housing type (*single-family detached*). The P.D.P. provides only single-family detached housing in accordance with the approved O.D.P. modification.

E. Section 4.5(D)(6) – Small Neighborhood Park

This standard requires that small neighborhood parks be provided equaling at least one acre in size. In order to meet the criteria, a condition of approval is required.

The standard reads as follows, with portions underlined for emphasis related to the condition:

Small Neighborhood Parks. Either a neighborhood park or a privately owned park, that is at least one (1) acre in size, shall be located within a maximum of one-third (1/3) mile of at least ninety (90) percent of the dwellings in any development project of ten (10) acres or larger as measured along street frontage. Such parks shall meet the following criteria:

(a) Location. Such parks shall be highly visible, secure settings formed by the street layout and pattern of lots and easily observed from streets. Rear facades and rear yards of dwellings shall not abut more than two (2) sides or more than fifty (50) percent of the perimeter frontage of the park.

(b) Accessibility. All parts of such parks shall be safely and easily accessible by pedestrians and open to the public.

(c) Facilities. Such parks shall consist of multiple-use turf areas, walking paths, plazas, pavilions, picnic tables, benches or other features for various age groups to enjoy.

(d) Ownership and Maintenance. Such parks may, in the discretion of the city, be acquired by the city (through dedication or purchase), or be privately owned and maintained by the developer or property owners association.

(e) Storm Drainage. When integrating storm drainage and detention functions to satisfy this requirement, the design of such facilities shall not result in slopes or gradients that conflict with other recreational and civic purposes of the park.

Discussion / Comments: The development plan provides three main open space/park areas that are integrated into the design and “formed by the street layout and pattern of lots”. These spaces are shown as Outlot C, D and H.

Because the park provided with Outlot D (located furthest west on the site plan) is bound by rear yards over more than 50% of the perimeter of the park, it does not meet the design criteria described above for “(a) Location”.

Staff is not recommending any rearrangement of the plan to meet the standard. Staff does recommend a condition of approval so that Outlot H, located just east of Carriage Parkway, is configured to qualify as a small neighborhood park. Because Outlot H is proposed as a naturalized open space, with a non-irrigated native seed mix and without any “facilities” as described in the criteria above, Outlot H does not currently qualify as a small park. The condition would require that Outlot H provide irrigated multiple-use turf and also walking paths, plazas, pavilions, picnic tables, benches or other features for various age groups to enjoy.

3. **Compliance with Article 3 of the Land Use Code – General Development Standards**

The project complies with all applicable General Development Standards with the following relevant comments provided:

A. *Section – 3.2.1 Landscaping*

Street trees are provided at approximately 40-foot intervals along portions of the streets that are not fronted by lots. Additionally, along the front setbacks of lots, one street tree per lot is provided in substitution for 40-foot tree spacing. The project also meets the minimum tree species diversity requirement of this section.

B. *Section 3.2.2 – Access, Circulation and Parking*

In conformance with the *Purpose, General Standard, and Development Standards* described in this section, the parking and circulation system provided with the project is well designed with regard to safety, efficiency and convenience for vehicles, bicycles, pedestrians and transit, both within the development and to and from surrounding areas.

C. *Section 3.2.2(C)(6) – Direct On-Site Access to Pedestrian and Bicycle Connections*

The standard reads as follows:

(6) Direct On-Site Access to Pedestrian and Bicycle Destinations. The on-site pedestrian and bicycle circulation system must be designed to provide, or allow for, direct connections to major pedestrian and bicycle destinations including, but not limited to, parks, schools, Neighborhood Centers, Neighborhood Commercial Districts and transit stops that are located either within the development or adjacent to the development as

required, to the maximum extent feasible. The on-site pedestrian and bicycle circulation system must also provide, or allow for, on-site connections to existing or planned off-site pedestrian and bicycle facilities at points necessary to provide direct pedestrian and bicycle travel from the development to major pedestrian destinations located within the neighborhood. In order to provide direct pedestrian connections to these destinations, additional sidewalks or walkways not associated with a street, or the extension of a sidewalk from the end of a cul-de-sac to another street or walkway, may be required.

The proposed street sidewalk system is designed with block lengths that are spaced at intervals less than the 660 feet maximum permitted. The development incorporates small neighborhood parks and open space trails as integrated features that provide additional convenient pedestrian and bicycle connections within and through the project.

Because a regional trail connection may eventually be constructed following Boxelder Creek along the western portion of the property, a public access easement is described on the project plat. Additionally, an east/west walkway is shown along the southern boundary of the project, connecting the regional trail easement to Carriage Parkway. This east/west connection to Carriage Parkway is an important component, providing a separated pedestrian/bicycle connection not associated with a street, in accordance with section 3.2.2(C)(6).

Staff is recommending that this east/west walkway connection be concrete instead of the soft trail currently noted on the plans.

Additionally, some adjustments to the location of the 30' public access easement along Boxelder Creek will likely be required prior to the Fox Grove final plan approval.

D. Section 3.2.3(C) – Solar-Oriented Residential Lots

This standard requires that 65% of the lots be solar-oriented. The project provides 49 solar-oriented lots, or 73%, in compliance with this standard.

E. Section 3.3.1 – Plat Standards

All lots have direct access to a public street. The layout of roads, driveways, utilities, drainage facilities, and other services are designed in a way that enhances an interconnected system within and between potential developments to the south. The plat demonstrates proper dedication of public rights-of-way, drainage easements and utility easements that are needed to serve the area being developed.

F. Section 3.5.2(E) Residential Building Setbacks, Lot Width and Size

The project is in compliance with this section, which requires a minimum lot width of 50 feet for single-family detached dwellings if the garage is served by access from the abutting street. The proposed project provides the following setbacks in conformance with the standards:

- 15-feet Front Yard
- 20-feet Garage
- 5-Interior Side Yard
- 15-feet Corner Side
- 8-feet Rear Yard

G. Section 3.6.4 Transportation Level of Service Requirements

The Traffic Operations and Engineering Departments have reviewed the Transportation Impact Study that was submitted to the City for review and have determined that the vehicular, pedestrian and bicycle facilities proposed with this P.D.P are consistent with the standards contained in Part II of the City of Fort Collins Multi-modal Transportation Level of Service Manual.

4. Neighborhood Meeting

A neighborhood meeting was not required and was not held specifically for this P.D.P. A City neighborhood meeting was held for the proposed project in conjunction with the Fox Grove Overall Development Plan. With the O.D.P. neighborhood meeting, a concept plan was presented and the general layout of the development was discussed.

Neighborhood comments at the meeting address the following topics:

1. The responsibility for the future maintenance of the existing portion of Carriage Parkway, which is within the boundaries of the Clydesdale Park neighborhood northwest of the Fox Grove O.D.P. This existing portion of Carriage Parkway is currently maintained by the Clydesdale Park residents through the funding of a Public Improvement District.
 - Resolution: The City is annexing Clydesdale Park to take over the maintenance of Carriage Parkway.
2. The use of the existing portion of Carriage Parkway for construction access.

- Resolution: This remains a continued concern. Because Carriage Parkway will be the only construction access for Fox Grove, staff intends to pay close attention to the erosion control and construction ingress/egress measures required with the Erosion Control Final Plans, and will take all appropriate actions to ensure the measures are effective and enforced.
- 3. Lack of open space / park space and the distribution of park space, as proposed with the initial concept plan presented at the neighborhood meeting. Concern was expressed that the lack of open space and amenities originally presented will cause future residents of Fox Grove to over-utilize existing open space amenities and walking paths within Clydesdale Park.
 - Resolution: The plans were revised to include additional functional park and open space.
- 4. Concern that the general character and overall form proposed with the initial plan does not adequately transition and complement Clydesdale Park.
 - Resolution: The overall street and lot pattern of the development was revised to be more varied and more compatible with the area. Additional trail connections were also provided.

5. **Findings of Fact/Conclusion**

In evaluating Fox Grove Project Development Plan, PDP #130029, Staff makes the following findings of fact:

- A. The P.D.P. complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The P.D.P. complies with relevant standards located in Article 3 – General Development Standards.
- C. The P.D.P. complies with relevant standards located in Division 4.5, Low Density Mixed-Use Neighborhood (L-M-N) of Article 4 – Districts, with conditions.
- D. The P.D.P. complies with the Fox Grove Overall Development Plan.

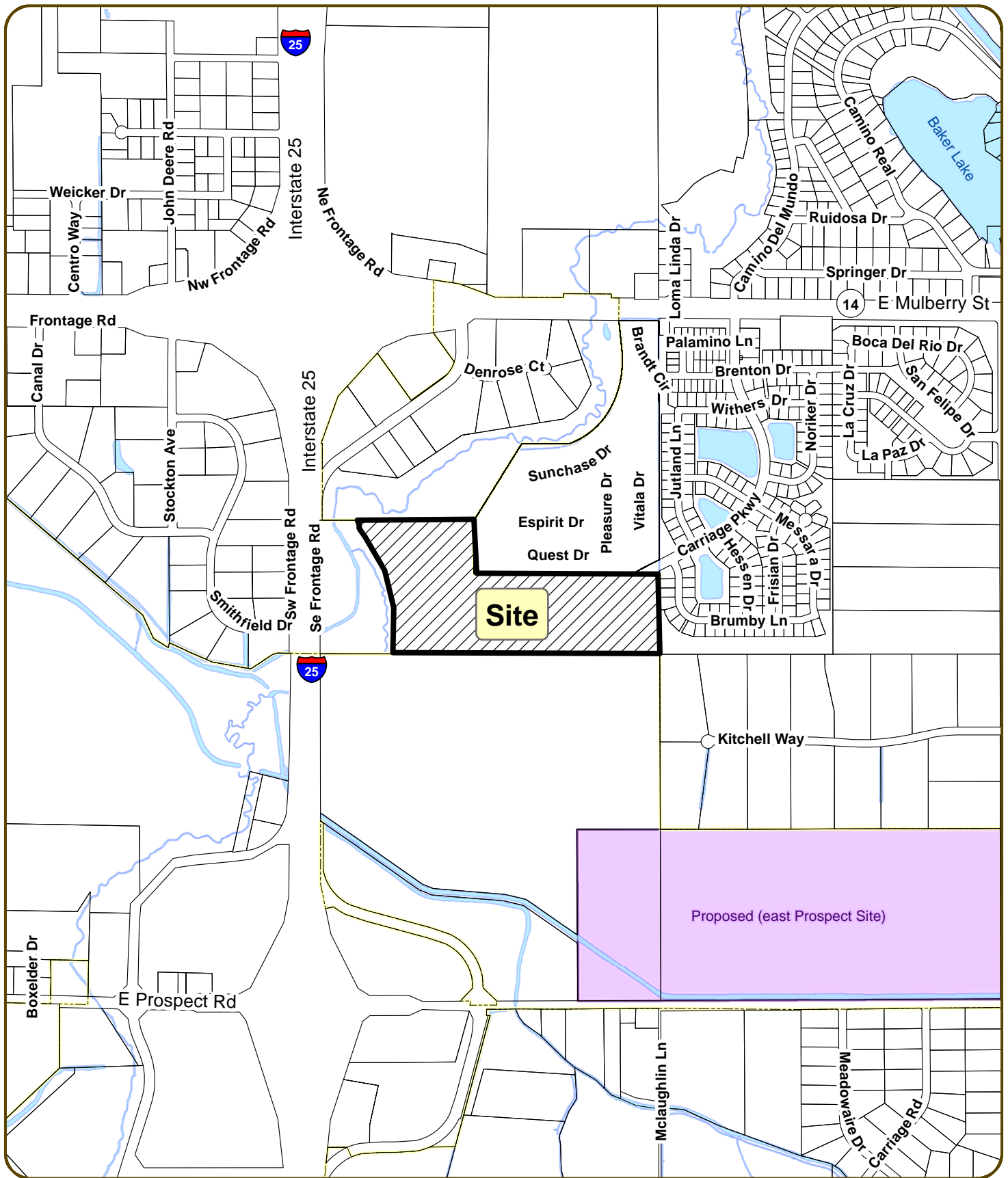
RECOMMENDATION:

Approval of Fox Grove Project Development Plan, PDP #130029, with one condition:

Outlot H shall provide irrigated multiple-use turf and also provide walking paths, plazas, pavilions, picnic tables, benches or other features for various age groups to enjoy, so that Outlot H satisfies the criteria to be classified as a small neighborhood park as described in Land Use Code Section 4.5(D)(6).

ATTACHMENTS:

1. Location Map
2. Hearing Notice
3. Site and Landscape Plan
4. Plat
5. Utility Plans
6. Approved O.D.P.
7. Letter for Clydesdale Park HOA



Fox Grove Proposed Residential Neighborhood

1,000 500 0 1,000 Feet

1 inch = 1,000 feet



FOX GROVE

PROJECT DEVELOPMENT PLAN

REPLAT OF LOT 2, LEE M.L.D. NO. 04-S2309, LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

GENERAL NOTES

- REFER TO UTILITY PLANS FOR LOCATIONS OF STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES.
- REFER TO THE CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION OF PROPOSED TOPOGRAPHY, UTILITY, AND STREET IMPROVEMENTS.
- REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
- ALL CONSTRUCTION WILL BE COMPLETED IN ONE PHASE.
- ALL SIDEWALKS AND RAMPS WILL CONFORM TO CITY STANDARDS. ALL HANDICAP PARKING SPACES, AND RAMPS ARE TO BE VERIFIED WITH CIVIL ENGINEER FOR GRADING, DRAINAGE, AND ACCESSIBLE ROUTE CONSIDERATIONS. HANDICAP PARKING SPACES SHOULD SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES SHOULD SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND NO MORE THAN 1:48 CROSS SLOPE.
- ACCESSIBLE RAMPS TO BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES.
- PROPOSED EXTERIOR STREET LIGHTING SHALL BE DETERMINED BY LIGHT AND POWER AND WILL COMPLY WITH ALL CITY OF FORT COLLINS LIGHTING REQUIREMENTS.
- ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT IS TO BE FULLY SCREENED FROM PUBLIC VIEW.
- ALL SIGNS UTILIZED WILL COMPLY WITH THE CITY OF FORT COLLINS SIGN CODE.
- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDING THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT SHALL BE NO MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
- THE HOUSING MODELS SHALL VARY PER LUC 3.5.2 AND ELEVATIONS SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT.
- FLOODPLAIN AND FLOODWAY
 - PORTIONS OF THIS PROPERTY ARE LOCATED IN THE FEMA REGULATORY 100 YEAR BOXELDER CREEK FLOODWAY AND HIGH RISK FLOOD FRINGE.
 - ALL DEVELOPMENT WITHIN THE FLOODPLAIN MUST COMPLY WITH THE FLOODPLAIN REGULATIONS OF CHAPTER 10 OF CITY OF FORT COLLINS MUNICIPAL CODE.
 - CONSTRUCTION OF RESIDENTIAL STRUCTURES IS NOT ALLOWED IN THE 100 YEAR FLOODWAY.
 - RESIDENTIAL STRUCTURES ARE ALLOWED IN THE 100 YEAR HIGH RISK FLOOD FRINGE PROVIDED THEY MEET ALL ELEVATION REQUIREMENTS OF CHAPTER 10 OF CITY MUNICIPAL CODE.
 - NON STRUCTURAL DEVELOPMENT (FENCES, DETENTION PONDS, HARD SURFACE PATHS, FILL, DRIVEWAYS, PARKING AREAS, VEGETATION ETC.) IS ALLOWED WITHIN THE 100 YEAR FLOODWAY, PROVIDED THE DEVELOPMENT WILL NOT CAUSE A RISE IN THE BASE FLOOD ELEVATION OR A CHANGE TO THE FLOODWAY OR FLOOD FRINGE BOUNDARIES. NON STRUCTURAL DEVELOPMENT IS NOT RESTRICTED IN THE FLOOD FRINGE.

SHEET INDEX

COVER	1
SITE PLAN - WEST	2
SITE PLAN - EAST	3
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LANDSCAPE - EAST	5
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OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER (SIGNED) _____ DATE _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, _____ A.D. BY _____

(PRINT NAME) _____

MY COMMISSION EXPIRES: _____
WITNESS MY HAND AND OFFICIAL SEAL.

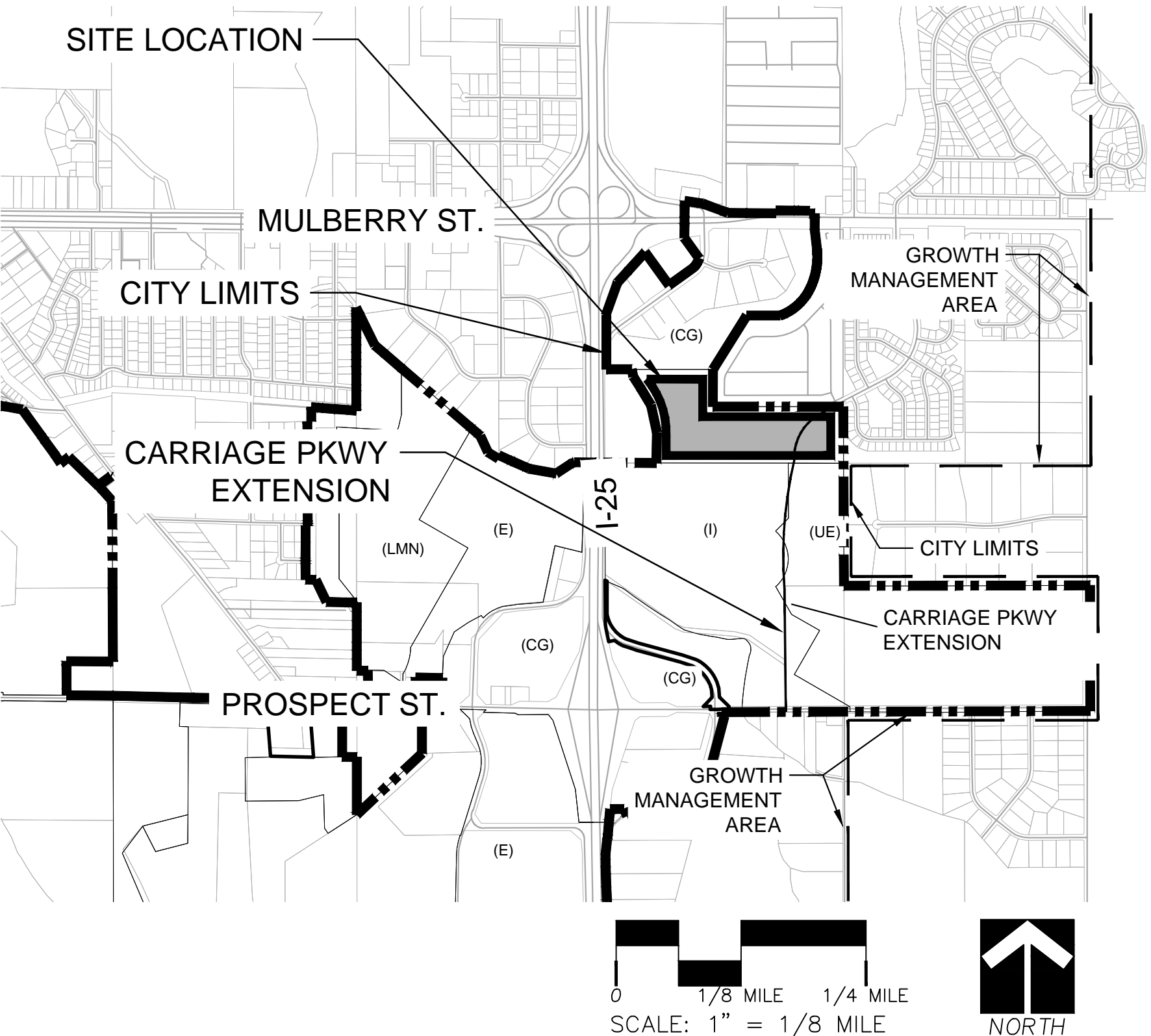
NOTARY PUBLIC _____ ADDRESS _____

PLANNING CERTIFICATE

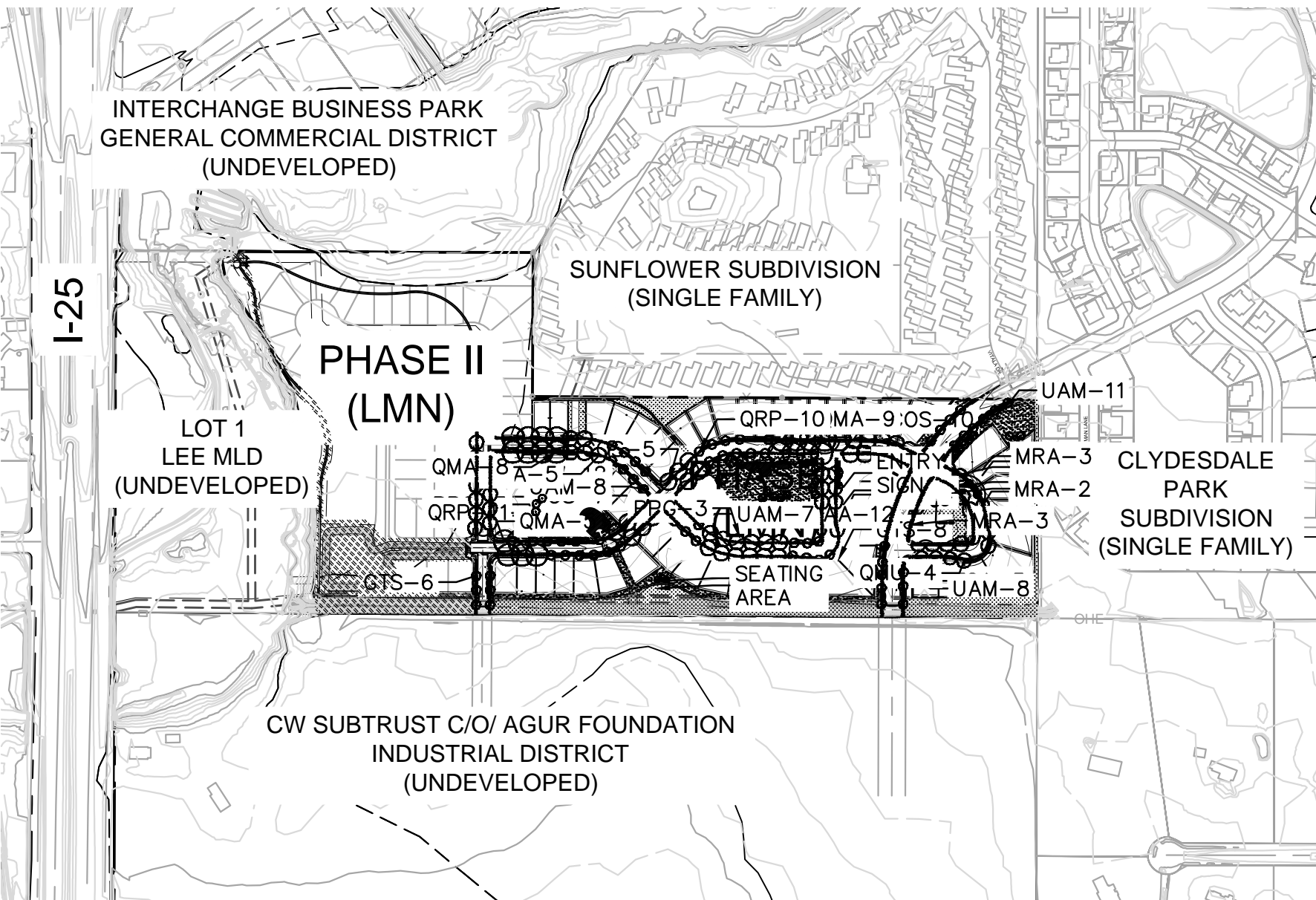
APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES FOR THE CITY OF FORT COLLINS, COLORADO ON THIS _____ DAY OF _____, 20____.

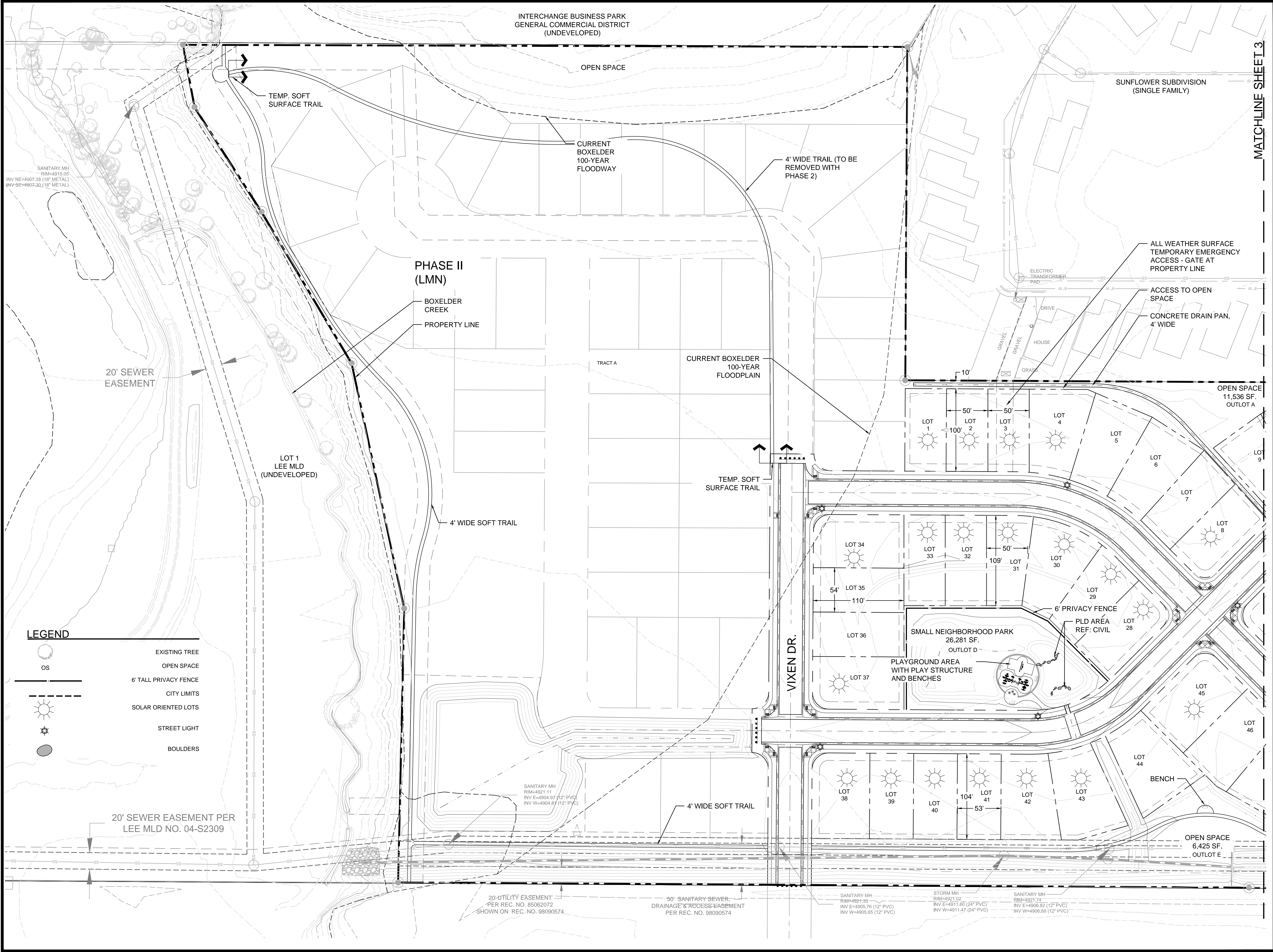
DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES _____

VICINITY MAP



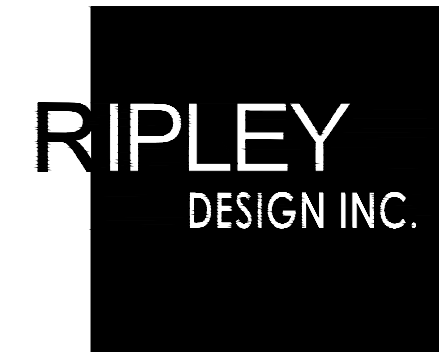
OVERALL SITE PLAN





FOX GROVE
PDP
LOT 2, LEE MLD

FORT COLLINS, COLORADO



■ land planning ■ landscape architecture ■
■ urban design ■ entitlement ■

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fax 970/224.1662 phone 970/224.5828 www.ripleydesigninc.com
stephanie.sigler@ripleydesigninc.com

IN ASSOCIATION WITH:

DEVELOPER / APPLICANT

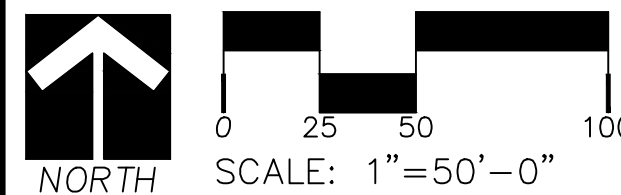
IMAGO ENTERPRISES INC
LESTER KAPLAN
140 PALMER DR.
FORT COLLINS, CO 80525
970.226.6819

SITE ENGINEER AND SURVEYOR

NORTHERN ENGINEERING
NICK HAWES, PE, LEED AP
200 S. COLLEGE AVE. SUITE 100
FORT COLLINS, CO 80524
970.221.4158

TRAFFIC

ELB ENGINEERING, LLC
ERIC L. BRACKE, P.E., P.T.O.E.
5401 TAYLOR LANE
FORT COLLINS, CO 80528
970.688.7551



ISSUED

No.	DESCRIPTION	DATE
1	PROJECT DEVELOPMENT PLAN	06.18.14
2		

REVISIONS

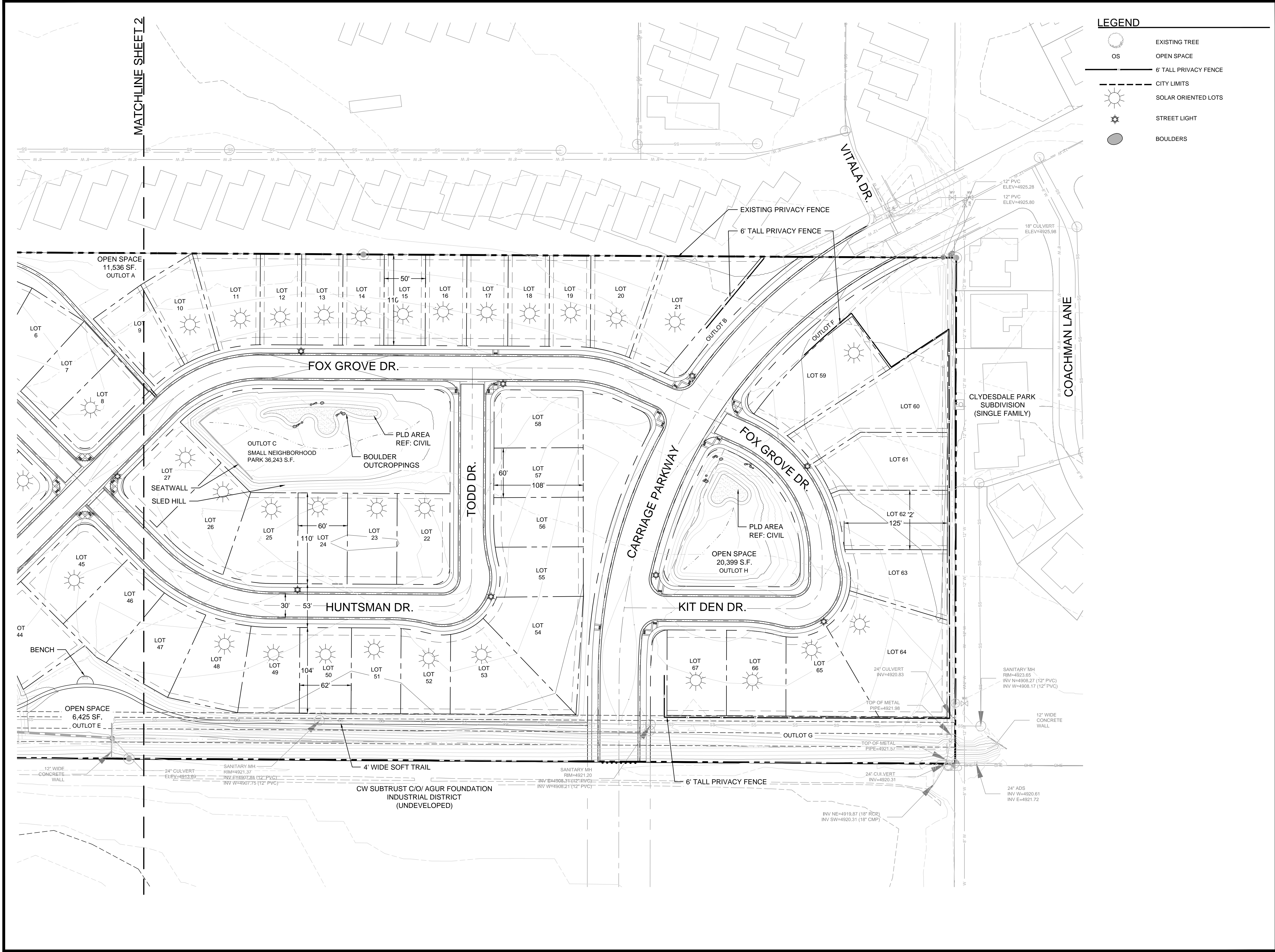
No.	DESCRIPTION	DATE
1	PDP RESUBMIT	8/6/2014

SEAL:

PROJECT No.: R13-007
DRAWN BY: SS
REVIEWED BY: FV / LR

SITE PLAN - WEST

2 OF 7

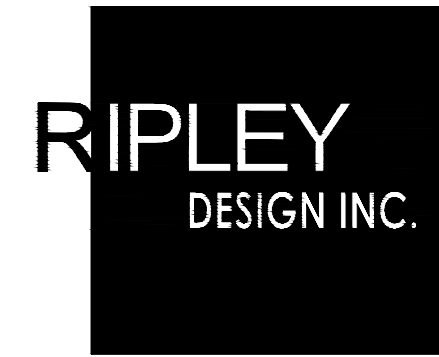


LEGEND

- EXISTING TREE
- OPEN SPACE
- 6' TALL PRIVACY FENCE
- CITY LIMITS
- SOLAR ORIENTED LOTS
- STREET LIGHT
- BOULDERS

FOX GROVE
PDP
LOT 2, LEE MLD

FORT COLLINS, COLORADO



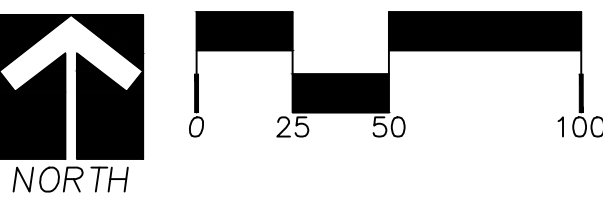
land planning landscape architecture
urban design entitlement
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fax 970/224.1662 phone 970/224.5828 www.ripleydesigninc.com
stephanie.sigler@ripleydesigninc.com

IN ASSOCIATION WITH:

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970.226.6819

SITE ENGINEER AND SURVEYOR
NORTHERN ENGINEERING
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970.221.4158

TRAFFIC
ELB ENGINEERING, LLC
ERIC L. BRACKE, P.E., P.T.O.E.
5401 TAYLOR LANE
FORT COLLINS, CO 80528
970.688.7551

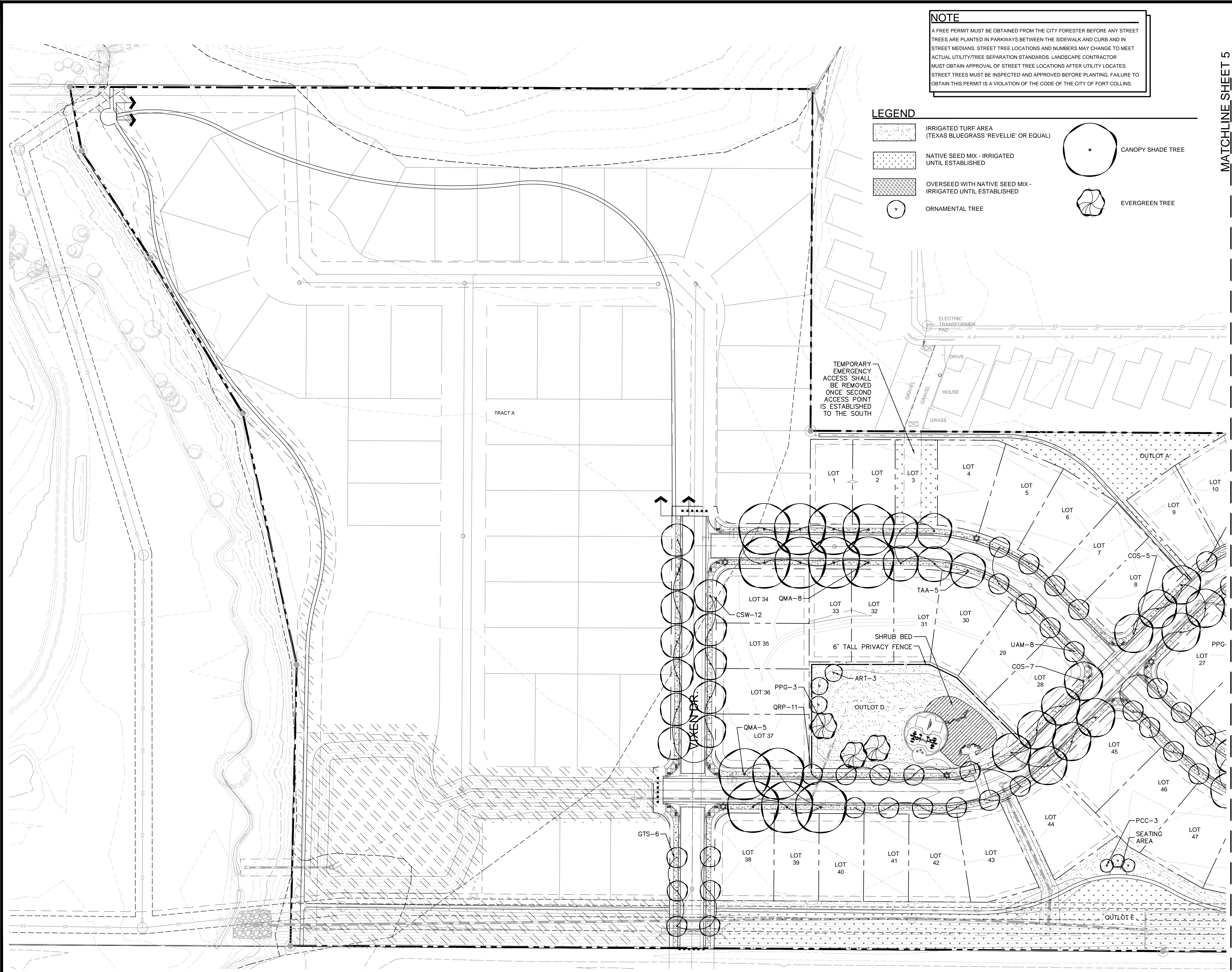


ISSUED		
No.	DESCRIPTION	DATE
1	PROJECT DEVELOPMENT PLAN	06.18.14
2		
REVISIONS		
No.	DESCRIPTION	DATE
1	PDP RESUBMIT	8/6/2014

SEAL:

PROJECT No.:	R13-007
DRAWN BY:	SS
REVIEWED BY:	FV / LR

SITE PLAN - EAST



FOX GROVE
PDP
LOT 2, LEE MLD

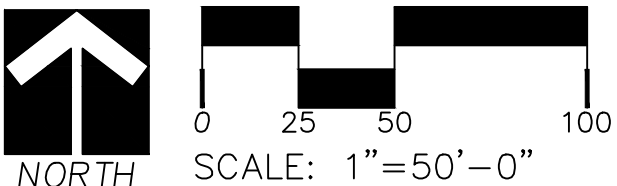
FORT COLLINS, COLORADO



■ land planning ■ landscape architecture ■
■ urban design ■ entitlement ■
401 West Mountain Avenue Suite 100 Fort Collins, CO 80521
fax 970/224.1662 phone 970/224.5828 www.ripleydesigninc.com
stephanie.sigler@ripleydesigninc.com

IN ASSOCIATION WITH:
DEVELOPER / APPLICANT
MAGO ENTERPRISES INC
LESTER KAPLAN
140 PALMER DR.
FORT COLLINS, CO 80525
970.226.6819
SITE ENGINEER AND SURVEYOR
NORTHERN ENGINEERING
NICK HAWS, PE, LEED AP
200 S. COLLEGE AVE. SUITE 100
FORT COLLINS, CO 80524
970.221.4158

TRAFFIC
ELB ENGINEERING, LLC
ERIC L. BRACKE, P.E., P.T.O.E.
5401 TAYLOR LANE
FORT COLLINS, CO 80528
970.688.7551



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1	PROJECT DEVELOPMENT PLAN	06.18.14
2		
REVISIONS		
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1	PDP RESUBMIT	8/6/2014

SEAL:

PROJECT No.: R13-007
DRAWN BY: SS
REVIEWED BY: FV / LR

FOX GROVE
PDP
LOT 2, LEE MLD

FORT COLLINS, COLORADO

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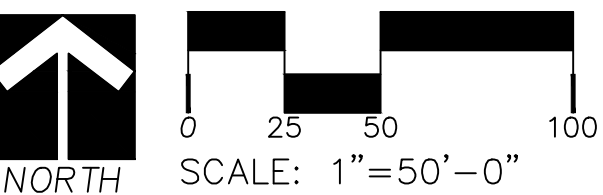
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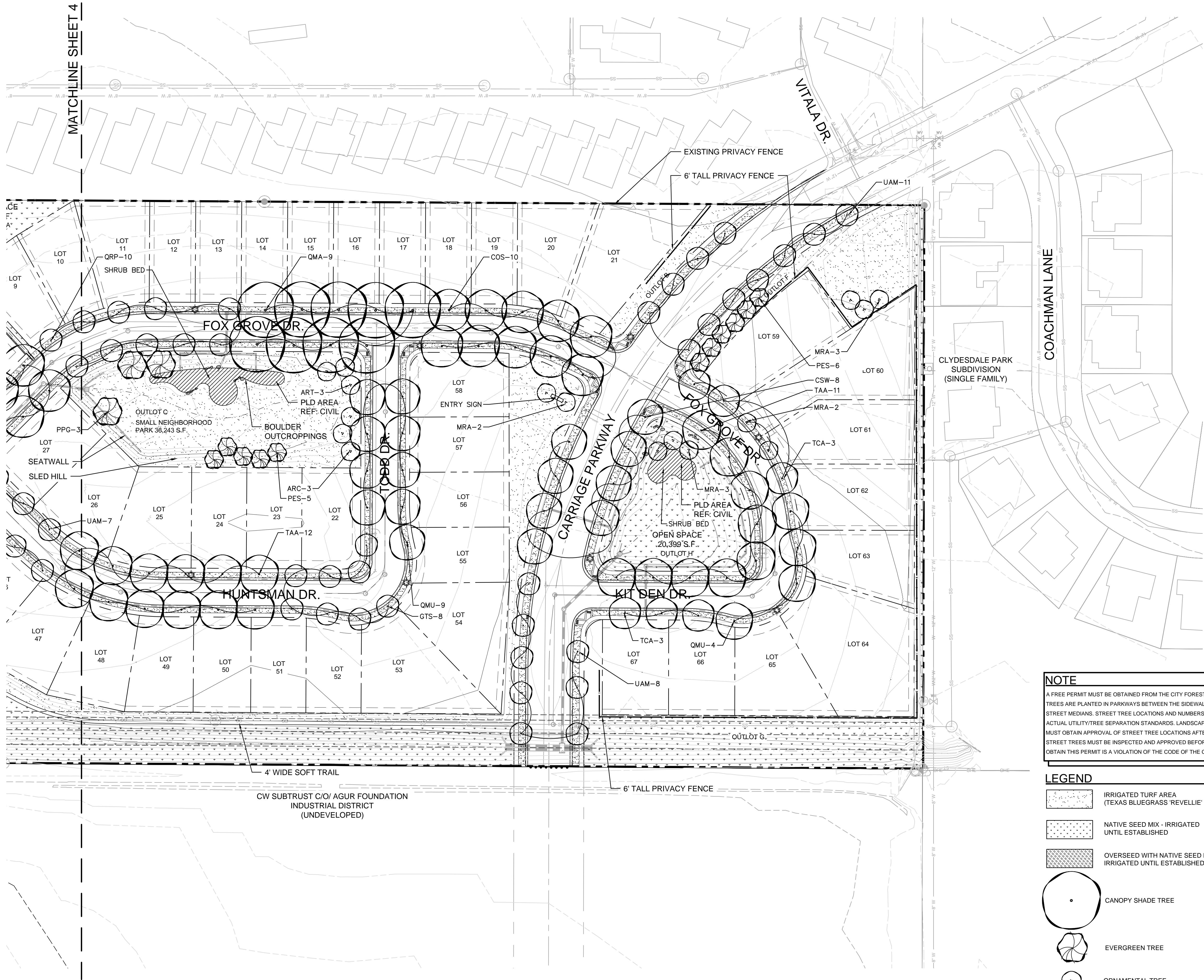
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LANDSCAPE - EAST

5 OF 7



NOTE

A FREE PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY STREET TREES ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB AND IN STREET MEDIANS. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY/TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATIONS AFTER UTILITY LOCATES. STREET TREES MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.

LEGEND

- IRRIGATED TURF AREA (TEXAS BLUEGRASS 'REVELLIE' OR EQUAL)
- NATIVE SEED MIX - IRRIGATED UNTIL ESTABLISHED
- OVERSEED WITH NATIVE SEED MIX - IRRIGATED UNTIL ESTABLISHED
- CANOPY SHADE TREE
- EVERGREEN TREE
- ORNAMENTAL TREE

PLANT LIST

QNT.	ID	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD	CONDITION		HYDROZONE	%
184	DECIDUOUS TREES								
22	COS	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	50-60'	40-50'	2" CAL.	B&B	M	11%
21	CSW	CATALPA SPECIOSA	WESTERN CATALPA	50-60'	40-50'	2" CAL.	B&B	M	9%
15	GTS	GLEDITSIA TRIANCANTHOS INERMIS	SHADEMASTER HONEYLOCUST	40-50'	30-40'	2" CAL.	B&B	L-M	7%
23	QMA	QUERCUS MACROCARPA	BUR OAK (BULLET GALL RESISTANT)	60-80'	60-80'	2" CAL.	B&B	M	10%
13	QMU	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	35-50'	35-50'	2" CAL.	B&B	MH	6%
22	QRP	QUERCUS ROBUR 'PYRAMICH'	SKYMASTER OAK	40-50'	25'	2" CAL.	B&B	MH	11%
26	TAA	TILIA AMERICANA 'BOULEVARD'	BOULEVARD AMERICAN LINDEN	40-50'	30-40'	2" CAL.	B&B	MH	12%
8	TCA	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	30-40'	25-35'	2" CAL.	B&B	MH	4%
34	UAM	ULMUS ACCOLADE 'MORTON'	ACCOLADE ELM	40-50'	30-40'	2" CAL.	B&B	MH	13%
24	ORNAMENTAL TREES								
3	ARC	AMELANCIER CANADENSIS	SHADBLOWN SERVICEBERRY	15-25'	15-20'	1.5" CAL.	B&B	L	1%
6	ART	ACER TATARICUM	TATARICUM MAPLE	10-20'	15-20'	10 GAL.	CONT.	L	2%
9	MRA	MALUS X 'RADIANT'	RADIANT CRABAPPLE	15-20'	15-20'	1.5" CAL.	B&B	M	4%
6	PCC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	25-35'	15-20'	1.5" CAL.	B&B	M	3%
17	EVERGREEN TREES								
11	PES	PINUS EDULIS	PINON PINE	20-30'	10-20'	6' HT	B&B	L	5%
6	PPG	PICEA PUNGENS	COLORADO SPRUCE	50-60'	20-30'	6' HT	B&B	MH	2%

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
2. TREES SHALL NOT BE PLANTED CLOSER THAN 4 FEET TO ANY GAS OR ELECTRIC LINE, NO CLOSER THAN 6 FEET TO ANY WATER OR SEWER SERVICE LINE, NO CLOSER THAN 10 FEET TO ANY WATER OR SEWER MAIN, AND NO CLOSER THAN 8 FEET TO A DRIVEWAY. TREE PLANTING SHALL BE COORDINATED WITH PUBLIC SERVICE COMPANY. A HORIZONTAL DISTANCE OF 40 FEET BETWEEN STREET TREES AND STREET LIGHTS AND 15 FEET BETWEEN ORNAMENTAL TREES AND STREET LIGHTS SHALL BE MAINTAINED. SHRUBS ARE NOT TO BE PLANTED WITHIN 4 FEET OF ANY WATER OR SEWER MAINS. PLANT MATERIAL SHALL BE ADJUSTED IN THE FIELD TO MAINTAIN THE ABOVE CLEARANCES.
3. LANDSCAPING SHALL BE INSTALLED OR SECURED WITH A LETTER OF CREDIT, ESCROW, OR PERFORMANCE BOND FOR 125% OF THE VALUE OF THE LANDSCAPING AND INSTALLATION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. LANDSCAPING WITHIN PUBLIC RIGHT-OF-WAYS AND COMMON OPEN SPACE AREAS SHALL BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE OWNER.
5. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
6. ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. AN IRRIGATION PLAN, REVIEWED AND APPROVED BY THE WATER UTILITIES, WILL BE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
7. ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, ARE TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
8. ALL SHRUB BEDS TO BE MULCHED WITH A MINIMUM THREE INCH (3") LAYER OF WOOD BARK MULCH OR COBBLE OVER WEED BARRIER.
9. EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 3/8" X 4" STEEL SET LEVEL WITH TOP OF SOD.
10. IRRIGATED TURF SHALL BE TEXAS BLUEGRASS/KENTUCKY BLUEGRASS HYBRID REVEILLE OR APPROVED EQUAL.
11. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.
12. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA.
13. STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED AND MAINTAINED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES.
14. THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW.
15. ALL EXISTING TREES TO REMAIN. CONSTRUCTION SHALL NOT TAKE PLACE NEAR EXISTING TREES.

STREET TREE NOTES

1. A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
2. CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
3. STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
4. THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, OF AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
5. STREET TREE LOCATIONS AND NUMBERS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION OCCURS TO MEET SEPARATION STANDARDS.

Recommended Species and Application Rates of Perennial Native Upland Grass
Seed for Fort Collins, Colorado.

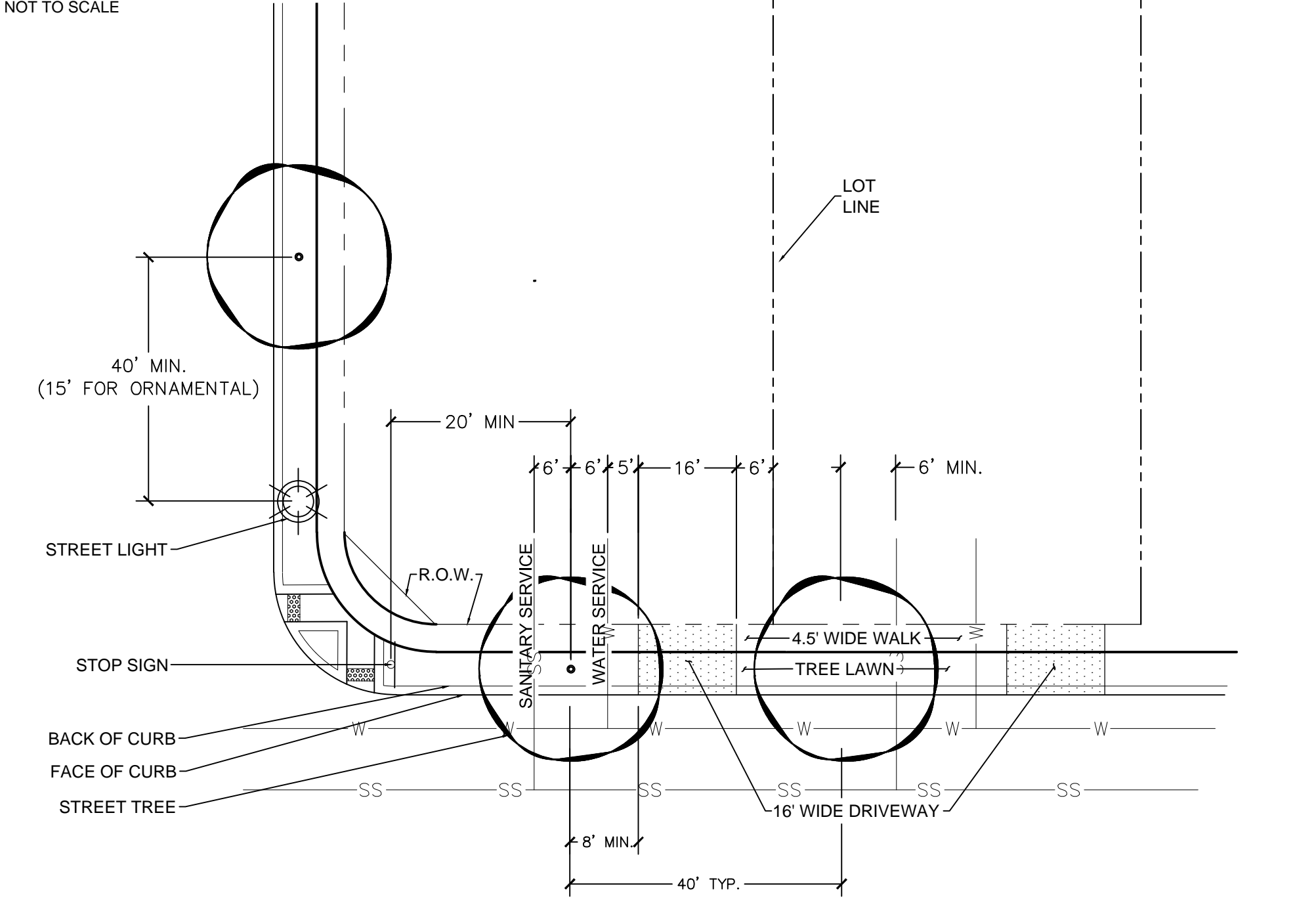
Sandy Soils (based on 90 seeds/ft² and total of 19.2 lbs./PLS/acre)
Drill between 1/4" - 1/2" deep.

Common Name	Scientific Name	Drilled lbs./PLS/acre	Season	Mature Height (in.)	Form
Sidecoats Grama	<i>Bouteloua curtipendula</i>	3.1	Warm	10-30"	Bunch
Blue Grama	<i>Bouteloua gracilis</i>	0.7	Warm	4-16"	Bunch/sod
Canada Wild Rye	<i>Elymus canadensis</i>	3.4	Cool	24-48"	Bunch/sod
Needleandthread	<i>Hesperostipa comata</i>	3.4	Cool	12-36"	Bunch
Green Needlegrass	<i>Nassella viridula</i>	2.2	Cool	12-36"	Bunch
Switchgrass	<i>Panicum virgatum</i>	1.0	Warm	24-60"	Bunch
Western Wheatgrass	<i>Pascopyrum smithii</i>	5.3	Cool	12-32"	Sod
Sand Dropseed	<i>Sporobolus cryptandrus</i>	0.1	Warm	8-32"	Bunch

Loamy Soils (based on 70 seeds/ft² and total of 24.4 lbs./PLS/acre)
Drill between 1/4" - 1/2" deep.

Common Name	Scientific Name	Drilled lbs./PLS/acre	Season	Mature Height (in.)	Form
Sidecoats Grama	<i>Bouteloua curtipendula</i>	1.6	Warm	10-30"	Bunch
Buffalograss	<i>Bouteloua dactyloides</i>	8.2	Warm	4-8"	Sod
Blue Grama	<i>Bouteloua gracilis</i>	0.6	Warm	4-16"	Bunch/Sod
Canada Wild Rye	<i>Elymus canadensis</i>	4.0	Cool	24-48"	Bunch
Bottlebrush squirreltail	<i>Elymus elymoides</i>	1.6	Cool	4-20"	Bunch
Needleandthread	<i>Hesperostipa comata</i>	2.7	Cool	12-36"	Bunch
Green Needlegrass	<i>Nassella viridula</i>	1.7	Cool	12-36"	Bunch
Western Wheatgrass	<i>Pascopyrum smithii</i>	4.2	Cool	12-32"	Sod

TYPICAL TREE AND UTILITY SEPARATIONS



WATER BUDGET CHART

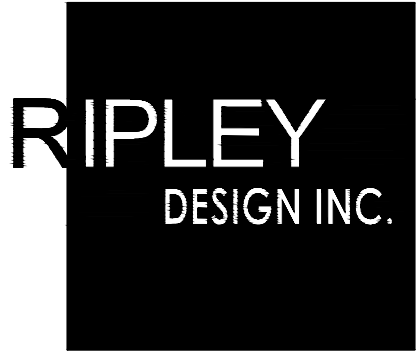
HYDROZONE	AREA	WATER NEEDED (GALLONS/SF)	ANNUAL WATER USE (GALLONS)
HIGH	102578	18	1,846,404
MODERATE	7964	10	79,640
LOW	34834	3	104502
VERY LOW	71553	0	0
TOTAL	216,929	AVG.: 9.36	2,030,546

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PDP
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LANDSCAPE NOTES

6 OF 7

FOX GROVE
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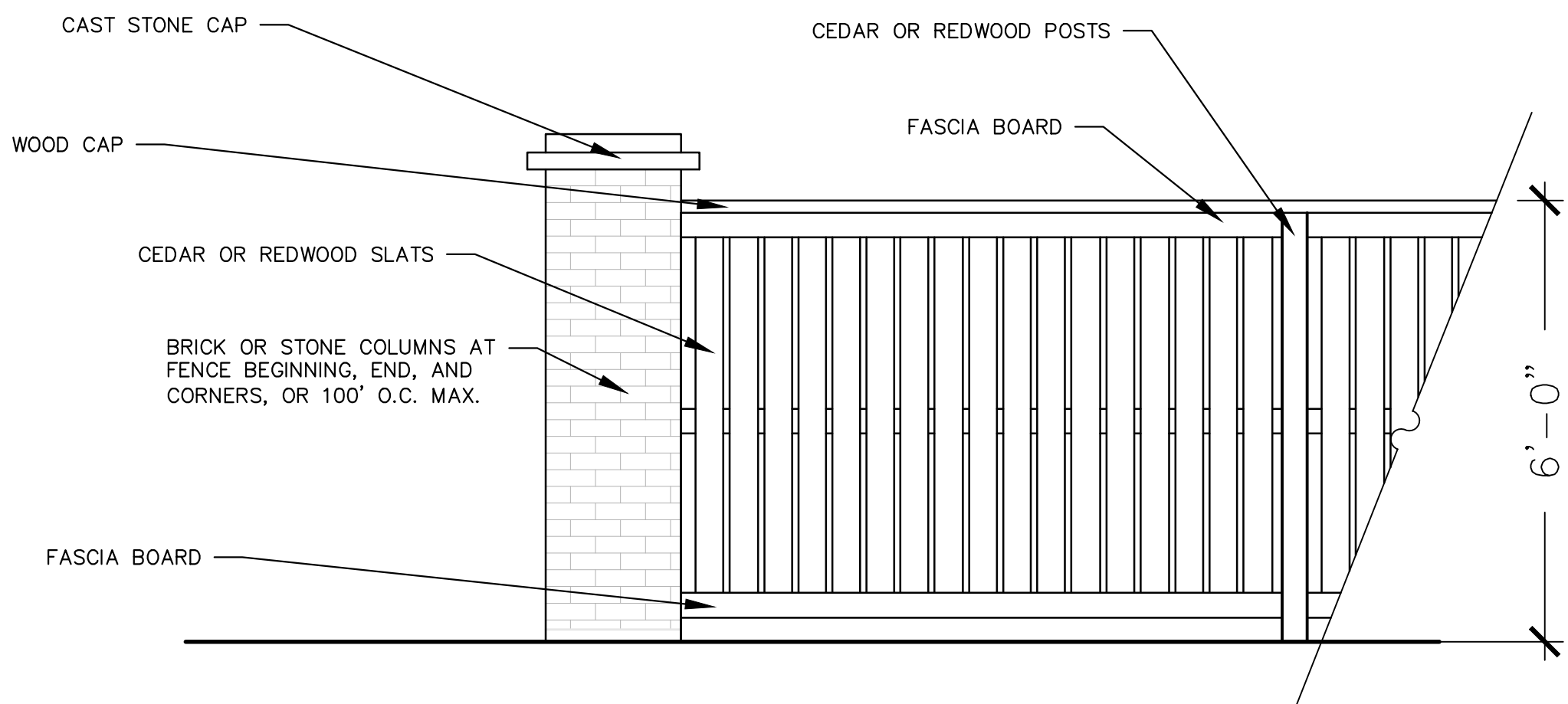
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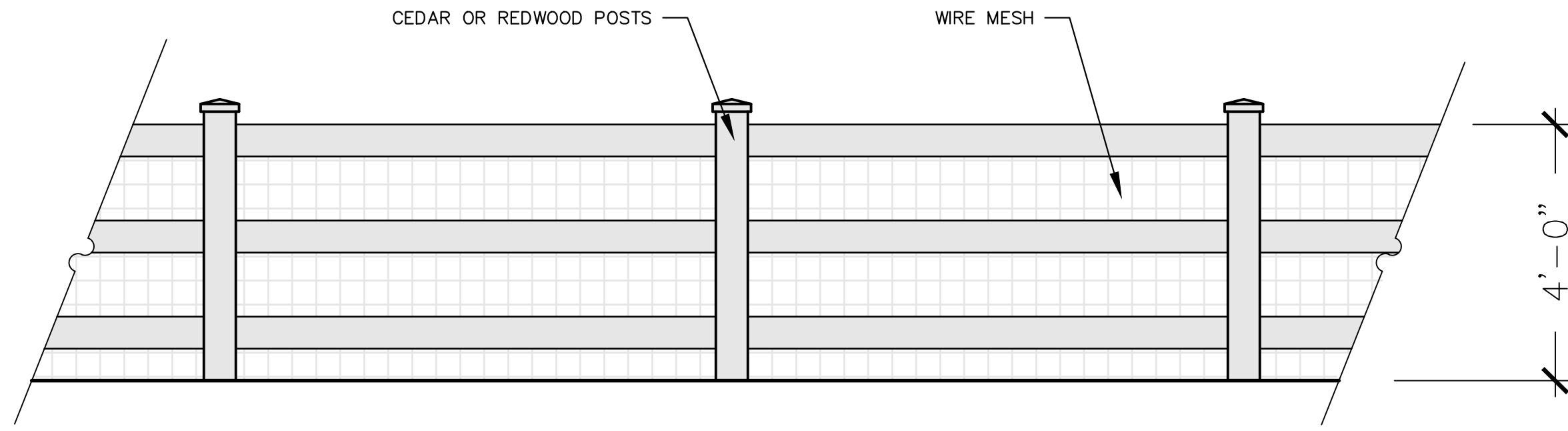
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SITE DETAILS

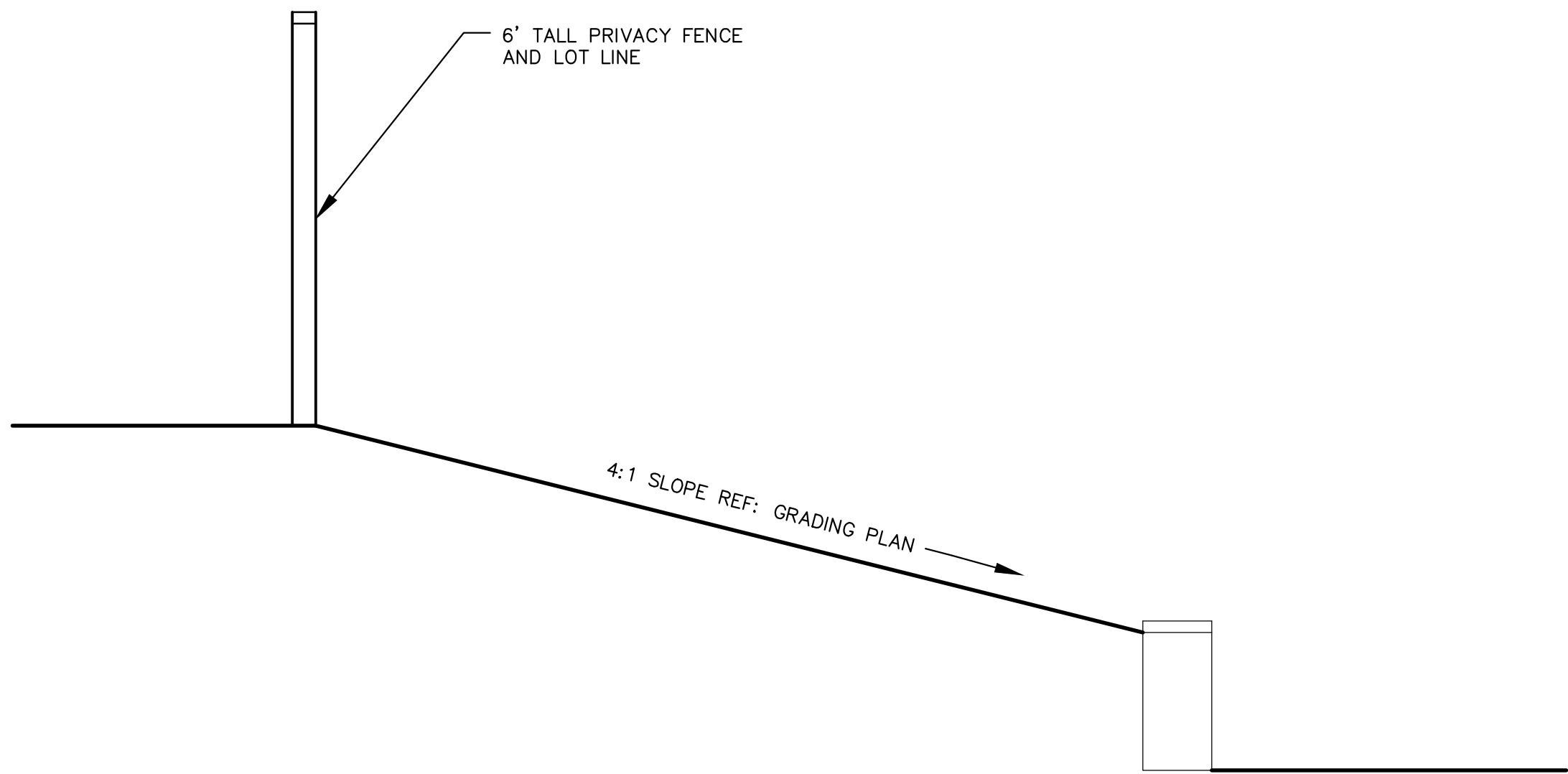
7 OF 7



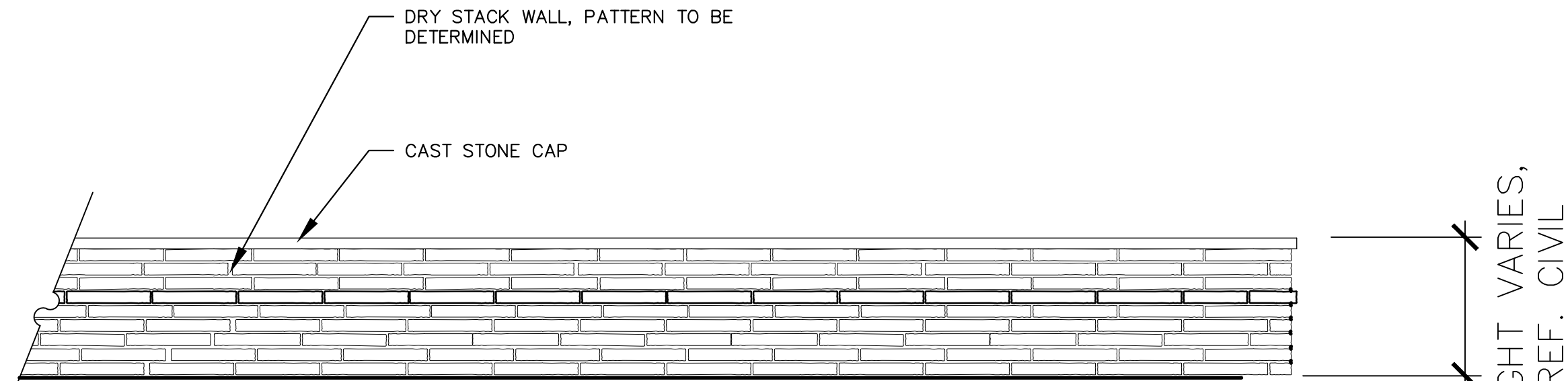
1 6' TALL PRIVACY FENCE
1/2" = 1'-0"



2 THREE RAIL FENCE
1/2" = 1'-0"



SECTION



ELEVATION

3 SEAT WALL
1/2" = 1'-0"

BEING A REPLAT OF LOT 2, LEE MLD NO. 04-S2309, LOCATED IN THE NORTHWEST $\frac{1}{4}$ OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

Know all men by these presents, that the undersigned owner(s) of the following described land: Lot 2, Lee MLD No. 04-S2309 located in the Northwest Quarter of Section 15, Township 7 North, Range 68 West of the 6th P.M., City of Fort Collins, County of Larimer, State of Colorado.

For themselves and their successors in interest (collectively "Owner") have caused the above described land to be surveyed and subdivided into lots, tracts and streets as shown on this Plat to be known FOX GROVE SUBDIVISION (the "Development"), subject to all easements and rights-of-way now of record or existing or indicated on this plat. The rights and obligations of this Plat shall run with the land.

The Owner does hereby dedicate and convey to the City of Fort Collins, Colorado (hereafter "City"), for public use, forever, a permanent right-of-way for street purposes and the "Easements" as laid out and designated on this Plat; provided, however, that (1) acceptance by the City of this dedication of Easements does not impose upon the City a duty to maintain the Easements so dedicated, and (2) acceptance by the City of this dedication of streets does not impose upon the City a duty to maintain streets so dedicated until such time as the provisions of the Maintenance Guarantee have been fully satisfied. The streets dedicated on this Plat are the fee property of the City as provided in Section 31-223-107 C.R.S. The City's rights under the Easements include the right to install, operate, access, maintain, repair, reconstruct, remove and replace within the Easements public improvements consistent with the intended purpose of the Easements; the right to install, maintain and use gates in any fences that cross the Easements; the right to mark the location of the Easements with suitable markers; and the right to permit other public utilities to exercise these same rights. Owner reserves the right to use the Easements for purposes that do not interfere with the full enjoyment of the rights hereby granted. The City is responsible for maintenance of its own improvements and for repairing any damage caused by its activities in the Easements, but by acceptance of this dedication, the City does not accept the duty of maintenance of the Easements, or of improvements in the Easements that are not owned by the City. Owner will maintain the surface of the Easements in a sanitary condition in compliance with any applicable weed, nuisance or other legal requirements.

The rights granted to the City by this Plat inure to the benefit of the City's agents, licensees, permittees and assigns.

STATE OF COLORADO)
)SS
COUNTY OF LARIMER)

Notary Public

The Owner hereby warrants and guarantees to the City, for a period of two (2) years from the date of completion and first acceptance by the City of the improvements warranted hereunder, the full and complete maintenance and repair of the improvements to be constructed in connection with the Development which is the subject of this Plat. This warranty and guarantee is made in accordance with the City Land Use Code and/or the Transitional Land Use Regulations, as applicable. This guarantee applies to the streets and all other appurtenant structures and amenities lying within the rights-of-way, Easements and other public properties, including, without limitation, all curbing, sidewalks, bike paths, drainage pipes, culverts, catch basins, drainage ditches and landscaping. Any maintenance and/or repair required on utilities shall be coordinated with the owning utility company or department.

In consideration of the approval of this final Plat and other valuable consideration, the Owner does hereby agree to hold the City harmless for a five (5) year period, commencing upon the date of completion and first acceptance by the City of the improvements to be constructed in connection with the development which is the subject of this Plat, from any and all claims, damages, or demands arising on account of the design and construction of public improvements of the property shown herein; and the Owner furthermore commits to make necessary repairs to said public improvements, to include, without limitation, the roads, streets, fills, embankments, ditches, cross pans, sub-drains, culverts, walls and bridges within the right-of-way, Easements and other public properties, resulting from failures caused by design and/or construction defects. This agreement to hold the City harmless includes defects in materials and workmanship, as well as defects caused by or consisting of settling trenches, fills or excavations.

All persons take notice that the Owner has executed certain documents pertaining to this Development which create certain rights and obligations of the Development, the Owner and/or subsequent Owners of all or portions of the Development site, many of which obligations constitute promises and covenants that, along with the obligations under this Plat, run with the land. The said documents may also be amended from time to time and may include, without limitation, the Development Agreement, Site And Landscape Covenants, Final Site Plan, Final Landscape Plan, and Architectural Elevations, which documents are on file in the office of the clerk of the City and should be closely examined by all persons interested in purchasing any portion of the Development site.

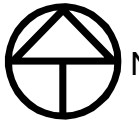
I hereby certify that this Subdivision Plat has been duly executed as required pursuant to Section 2.2.3(C)(3)(a) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Subdivision Plat on behalf of a corporation or other entity are duly authorized signatories under the laws of the State of Colorado. This Certification is based upon the records of the Clerk and Recorder of Larimer County, Colorado as of the date of execution of the Plat and other information discovered by me through reasonable inquiry and is limited as authorized by Section 2.2.3(C)(3)(f) of the Land Use Code.

Registration No.: _____

City Engineer

Director of Planning

ALL RESPONSIBILITIES AND COSTS OF OPERATION, MAINTENANCE AND RECONSTRUCTION OF THE PRIVATE STREETS AND/OR DRIVES LOCATED ON THE PRIVATE PROPERTY THAT IS THE SUBJECT OF THIS PLAT SHALL BE BORNE BY THE OWNERS OF SAID PROPERTY, EITHER INDIVIDUALLY, OR COLLECTIVELY, THROUGH A PROPERTY OWNERS' ASSOCIATION, IF APPLICABLE. THE CITY OF FORT COLLINS SHALL HAVE NO OBLIGATION OF OPERATION, MAINTENANCE OR RECONSTRUCTION OF SUCH PRIVATE STREETS AND/OR DRIVES NOR SHALL THE CITY HAVE ANY OBLIGATION TO ACCEPT SUCH STREETS AND/OR DRIVES AS PUBLIC STREETS OR DRIVES.



1"=1500'

Sight Distance Easement - The sight distance easement is an easement required by the City at some street intersections where it is necessary to protect the line of sight for a motorist needing to see approaching traffic and to react safely for merging their vehicle into the traffic flow. The following are requirements for certain objects that may occupy a sight distance easement for level grade:

- For non-level areas these requirements shall be modified to provide the same degree of visibility.

I, Gerald D. Gilliland, a Colorado Registered Professional Land Surveyor do hereby state that this Subdivision Plat was prepared from an actual survey under my personal supervision, that the monumentation as indicated hereon were found or set as shown, and that the foregoing plat is an accurate representation thereof, all this to the best of my knowledge, information and belief.

Gerald D. Gilliland
Colorado Registered Professional
Land Surveyor No. 14823

1) The Basis of Bearings is the South line of the Northwest Quarter, Section 15, Township 7 North, Range 68 West of the 6th P.M. as bearing North $89^{\circ}38'50''$ West (assumed bearing) as monumented on drawing.

- 2) All information regarding easements, right-of-way or title of record, Northern Engineering relied upon File Number 459-H0358856-820-GRO, dated December 12, 2012, prepared by Heritage Title Company.
- 3) The lineal unit of measurement for this plat is U.S. Survey Feet.
- 4) Lot 3 will remain undevelopable until a second means of access is provided to the development. At that time the temporary emergency access easement shall be vacated.
- 5) There are no lienholders for this property.

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon.

RANGE:
68 W of the 6th PM

PHONE: 970.221.4158 FAX: 970.221.4159
www.northernengineering.com

801 North Howes Street, Suite 100
Fort Collins, Colorado 80521

REVIEWED BY:
G. Gilliland

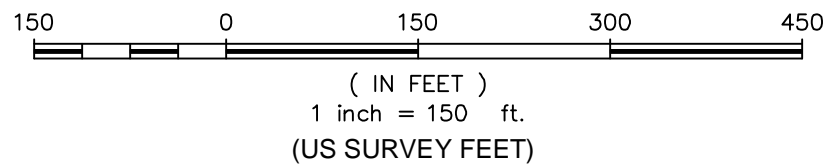
DRAWN BY:
Smith

CITY OF FORT COLLINS
STATE OF COLORADO

1

Of 4 Sheets

BEING A REPLAT OF LOT 2, LEE MLD NO. 04-S2309, LOCATED IN THE NORTHWEST $\frac{1}{4}$ OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO



LAND USE TABLE				
PARCEL	AREA	PERCENT	USE	OWNED & MAINTAINED BY
TRACT A	609,506 S.F.	13.99 AC.	39.02%	Reserved for Future Development/Drainage & Access Easement
OUTLOT A	14,862 S.F.	0.34 AC.	0.95%	Open Space/Utility, Drainage & Access Easement
OUTLOT B	4,100 S.F.	0.09 AC.	0.26%	Open Space/Utility Easement
OUTLOT C	36,236 S.F.	0.83 AC.	2.32%	Open Space/Utility & Drainage Easement
OUTLOT D	26,281 S.F.	0.60 AC.	1.68%	Open Space/Utility & Drainage Easement
OUTLOT E	86,472 S.F.	1.99 AC.	5.54%	Open Space/Utility, Drainage & Access Easement
OUTLOT F	14,213 S.F.	0.33 AC.	0.91%	Open Space & Utility Easement
OUTLOT G	28,329 S.F.	0.65 AC.	1.81%	Open Space/Utility & Drainage Easement
OUTLOT H	14,213 S.F.	0.33 AC.	0.91%	Open Space/Utility & Drainage Easement
ROW	245,761 S.F.	5.64 AC.	15.73%	Right of Way
LOTS (67)	482,151 S.F.	11.07 AC.	30.87%	Single-Family Residential
TOTAL	1,562,124 S.F.	35.86 AC.	100.00%	

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	45°21'10"	165.00	130.61	S67°40'35"W	127.22
C2	45°19'15"	165.00	130.61	S67°39'37"W	127.14
C3	24°14'09"	165.00	69.79	N77°33'41"W	69.28
C4	65°30'00"	165.00	188.77	S32°40'06"E	178.64
C5	90°12'51"	35.01	55.12	S45°12'49"W	49.60
C6	44°40'45"	200.00	155.96	N67°20'23"W	152.04
C7	90°01'58"	20.00	31.42	N44°39'46"W	28.29
C8	4°04'07"	228.50	16.08	N87°38'42"W	16.08
C9	12°33'17"	228.50	49.63	N79°19'59"W	49.53
C10	44°40'45"	228.50	176.62	N67°19'23"W	172.17
C11	12°39'16"	228.50	50.03	N54°04'49"W	49.93
C12	2°45'11"	226.10	10.88	N46°22'36"W	10.86
C13	90°00'00"	200.00	31.42	N90°00'00"W	28.28
C14	2°36'16"	191.50	8.70	S45°18'08"W	8.70
C15	13°27'50"	191.50	45.40	S54°20'11"W	44.90
C16	45°19'15"	191.50	151.48	S67°39'37"W	147.56
C17	14°59'58"	191.50	60.33	S82°01'54"W	49.99
C18	0°47'22"	191.50	2.64	S89°55'34"W	2.64
C19	5°25'42"	191.50	18.14	N86°57'54"W	18.14
C20	31°22'56"	191.50	105.18	N73°56'14"W	103.86
C21	11°28'56"	191.50	38.04	N67°54'05"W	37.98
C22	85°56'51"	20.00	30.00	S78°48'57"W	27.27
C23	17°24'08"	638.00	193.78	S44°32'35"W	193.03
C24	44°38'50"	200.00	155.85	N67°19'25"W	151.94
C25	90°08'36"	35.00	55.07	S45°16'52"W	49.56
C26	8°11'05"	600.00	85.71	S04°11'56"W	85.64
C27	24°15'56"	600.00	254.11	S24°33'00"W	252.21
C28	25°47'53"	600.00	270.16	S45°27'20"W	267.88
C29	89°59'57"	20.00	31.42	N67°21'11"E	28.28
C30	45°21'10"	191.50	151.58	N47°40'35"E	147.66
C31	90°00'00"	20.00	31.42	N90°00'00"E	28.28
C32	90°00'00"	200.00	31.42	S00°00'00"E	28.28
C33	7°28'59"	173.50	22.66	S48°44'29"E	22.66
C34	44°40'45"	173.50	135.30	S67°20'23"E	131.89
C35	7°10'13"	173.50	21.71	S86°05'39"E	21.70
C36	89°58'02"	200.00	31.40	N45°20'14"E	28.28
C37	90°00'03"	200.00	31.42	N44°38'49"W	28.28
C38	45°21'10"	138.50	109.63	S67°19'25"W	106.79
C39	1°55'10"	138.50	4.64	S45°57'35"W	4.64
C40	89°59'57"	20.00	31.42	S45°21'11"W	28.28
C41	90°00'03"	20.00	31.42	S44°38'49"W	28.28
C42	90°00'00"	20.00	31.42	N00°00'00"E	28.28
C43	44°38'50"	173.50	135.20	N67°19'25"W	131.80
C44	44°38'50"	226.50	176.50	S67°19'25"E	172.07
C45	14°18'20"	188.50	47.06	S82°29'40"E	46.94
C46	118°45'15"	69.50	144.05	S45°16'52"E	119.61
C47	14°18'20"	188.50	47.06	N06°56'36"E	46.96
C48	90°08'36"	200.00	31.47	S45°16'52"W	28.32
C49	45°19'15"	138.50	109.55	N67°39'37"E	106.72
C50	89°53'19"	200.00	31.38	S44°44'06"E	28.26
C51	90°06'41"	20.00	31.45	N45°15'54"E	28.31
C52	93°13'26"	20.00	32.54	S18°49'53"E	29.07
C53	27°40'26"	638.00	308.15	S15°36'37"W	305.17
C54	4°04'36"	562.00	30.99	N02°08'42"E	30.98
C55	86°09'50"	20.00	30.98	N87°15'55"E	27.32
C56	14°18'19"	188.50	47.06	S82°30'01"E	46.94
C57	43°40'59"	69.51	53.00	N32°46'14"E	51.72
C58	93°37'23"	188.50	31.66	N71°148'30"W	31.62
C59	56°26'27"	191.50	188.64	N35°130'27"W	181.11
C60	101°51'31"	20.00	35.56	N12°30'31"W	31.05
C61	24°27'20"	562.00	239.88	N50°38'55"E	238.06
C62	86°05'07"	20.00	30.05	N71°30'51"E	27.30
C63	65°30'00"	138.50	155.45	S32°40'06"W	149.85
C64	90°14'26"	200.00	31.50	S45°13'37"E	28.34
C65	103°47'51"	20.00	36.23	N37°45'15"W	31.48
C66	14°39'29"	191.50	48.99	N76°55'18"W	48.86
C67	14°19'36"	562.00	140.53	N21°18'29"E	140.16
C68	24°14'09"	138.50	55.85	S77°34'31"E	58.15
C69	17°46'54"	542.00	168.21	N51°11'50"E	167.54
C70	37°33'04"	35.00	20.54	N16°48'32"W	20.24


CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C71	91°03'26"	20.00'	3.78'	N07°06'28"W	28.54'
C72	10°48'05"	20.00'	3.17'	N58°02'13"W	3.76'
C73	13°18'49"	191.50'	44.50'	N56°46'52"W	44.40'
C74	13°42'39"	191.50'	45.80'	N43°16'08"W	45.72'
C75	12°46'03"	191.50'	42.67'	N30°01'47"W	42.58'
C76	16°38'57"	191.50'	55.65'	N05°19'17"W	55.45'
C77	4°22'02"	188.50'	13.38'	N19°10'59"W	14.38'
C78	5°15'03"	188.50'	17.27'	N13°59'41"W	17.27'
C79	27°32'56"	69.51'	33.42'	N02°50'44"W	33.10'
C80	43°40'59"	69.51'	53.00'	N32°46'14"E	53.72'
C81	42°31'07"	69.51'	51.58'	N75°52'17"E	50.41'
C82	7°31'18"	69.51'	9.13'	S79°06'31"E	9.12'
C83	4°10'21"	20.00'	1.46'	N88°15'39"E	1.46'
C84	5°49'17"	138.50'	14.07'	S86°46'07"E	14.07'
C85	18°24'53"	138.50'	44.51'	S34°39'02"E	44.32'
C86	8°08'14"	188.50'	26.77'	N03°51'33"W	26.75'
C87	6°10'06"	188.50'	20.29'	N11°00'43"W	20.28'
C88	34°00'26"	69.50'	41.25'	N02°54'27"E	40.65'
C89	25°20'56"	69.50'	30.75'	N32°35'08"E	30.50'
C90	36°46'58"	69.50'	44.62'	N63°39'05"E	43.86'
C91	22°36'56"	69.50'	27.43'	S88°38'59"E	27.25'
C92	10°06'32"	188.50'	33.26'	S80°23'47"E	33.21'
C93	13°27'50"	191.50'	45.00'	S67°48'00"W	44.90'
C94	43°26'00"	138.50'	104.99'	S68°38'10"W	102.49'
C95	4°11'48"	188.50'	13.81'	S67°32'56"E	13.80'
C96	6°14'31"	226.50'	24.68'	S86°31'35"E	24.66'
C97	14°19'05"	226.50'	56.80'	S76°14'47"E	56.45'
C98	14°24'06"	226.50'	56.93'	S81°53'11"E	56.78'
C99	9°41'08"	226.50'	38.29'	S49°40'34"E	38.24'
C100	12°38'53"	226.50'	50.90'	N66°43'54"W	49.90'
C101	30°01'34"	173.50'	90.92'	S67°29'46"E	89.89'
C102	3°34'35"	188.50'	11.77'	N12°24'38"E	11.76'
C103	54°51'22"	69.50'	66.54'	N13°13'45"W	66.03'
C104	21°36'21"	69.50'	26.21'	S70°10'35"E	26.05'
C105	19°58'52"	173.50'	60.51'	N79°39'25"W	60.20'
C106	24°39'59"	173.50'	74.69'	N57°19'59"W	74.12'
C107	1°23'17"	191.50'	4.64'	N45°41'39"E	4.64'
C108	15°51'41"	191.50'	53.01'	N54°19'08"E	52.84'
C109	5°59'12"	191.50'	20.01'	N65°14'43"E	20.00'
C110	15°50'57"	191.50'	52.97'	N76°09'39"E	52.80'
C111	6°16'03"	191.50'	20.95'	N87°13'08"E	20.94'
C112	30°45'01"	145.00'	77.82'	N18°14'33"W	76.89'
C113	3°22'42"	285.00'	16.80'	S37°36'24"W	16.80'
C114	5°14'49"	735.36'	67.13'	N41°54'40"W	67.10'
C115	6°13'22"	200.00'	219.11'	N14°54'23"W	208.83'
C116	6°37'31"	245.00'	28.33'	N13°24'03"E	28.31'
C117	7°07'14"	275.00'	34.18'	N13°09'11"E	34.15'
C118	61°42'12"	175.00'	187.05'	N13°54'23"W	178.27'
C119	3°09'47"	765.36'	42.25'	N42°56'41"W	42.25'
C120	25°55'40"	115.00'	52.04'	N20°39'14"W	51.60'
C121	33°30'40"	65.00'	38.14'	N16°48'32"W	37.59'
C122	53°16'39"	20.00'	18.60'	S63°00'51"E	17.93'
C123	13°55'15"	20.00'	4.86'	S62°24'14"W	4.85'
C124	0°36'43"	562.00'	6.00'	S62°34'13"W	6.00'

LINE TABLE		
LINE	LENGTH	BEARING
L1	11.94'	S68°51'53"W
L2	32.81'	N56°21'08"E
L3	71.61'	N56°21'08"E
L4	18.59'	S10°34'32"E
L5	22.27'	N62°52'35"E
L6	20.23'	N00°00'00"E
L7	20.27'	N00°00'00"E
L8	11.15'	N34°40'48"E
L9	8.80'	N34°40'48"E
L10	54.87'	N01°16'36"E
L11	47.49'	N12°51'49"W
L12	12.50'	S24°45'26"E
L13	15.40'	S03°30'05"W
L14	11.48'	S03°37'05"W
L15	7.45'	S24°45'26"E

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown herein.

SECTION: 15	TOWNSHIP: 7N	RANGE: 68 W of t
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**NORTHERN
ENGINEERING**



301 North Howes Street, Suite 100

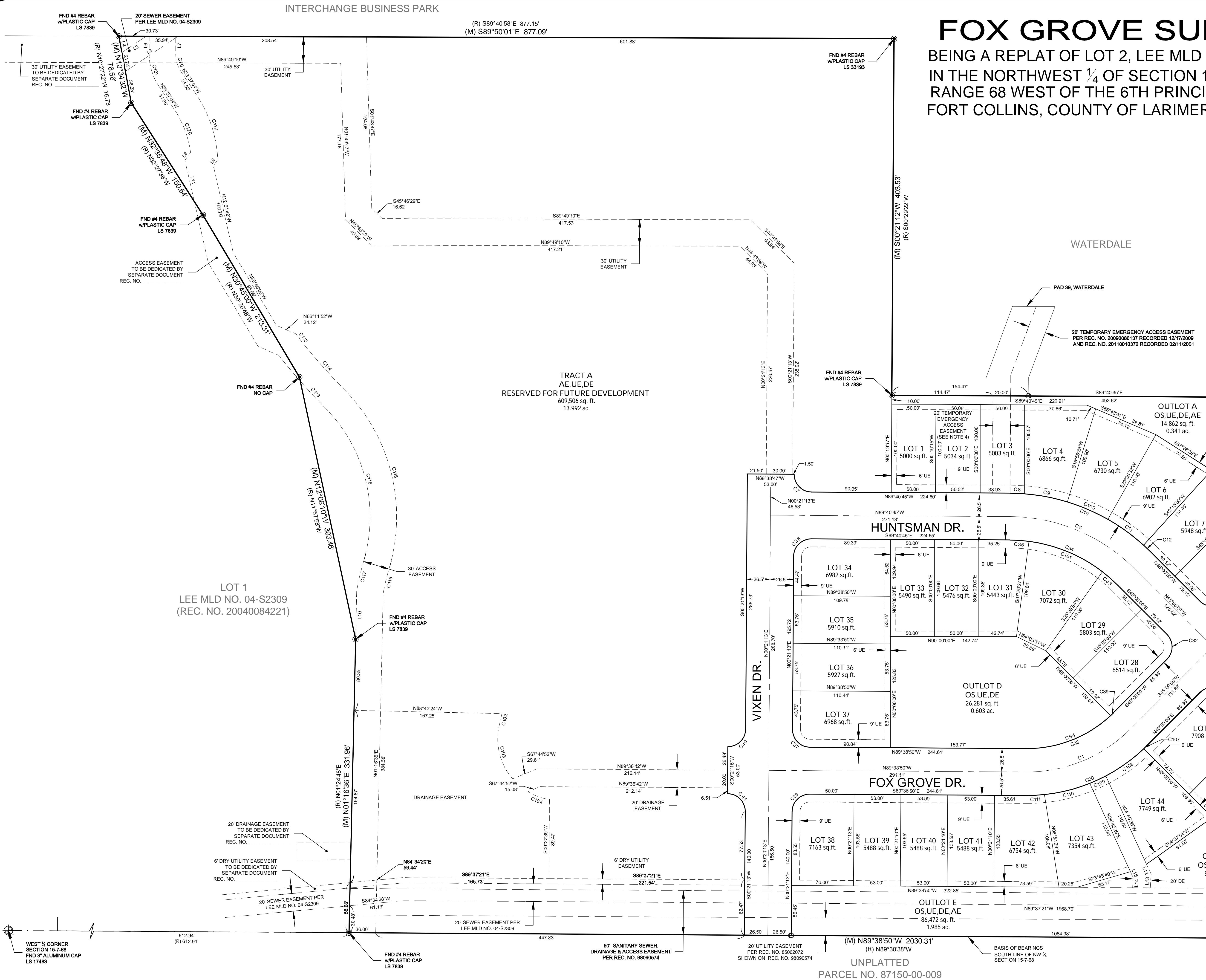
PROJECT: 335-008	DATE: 8/6/14
CLIENT: IMAGO	SCALE: 1"=150'
DRAWN BY: L. Smith	REVIEWED: G. Gilligan

FOX GROVE SUBDIVISION
CITY OF FORT COLLINS
STATE OF COLORADO

Sheet
2
Of 4 Sheets

FOX GROVE SUBDIVISION

BEING A REPLAT OF LOT 2, LEE MLD NO. 04-S2309, LOCATED IN THE NORTHWEST ¼ OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND

- EASEMENT LINE
 - - - CENTERLINE
 - BOUNDARY LINE
 - RIGHT-OF-WAY
 - LOT LINE
 - SECTION LINE
-
- FOUND PROPERTY CORNER AS DESCRIBED
 - SET #4 REBAR WITH PLASTIC CAP, LS 14823
 - ⊗ SET PK NAIL & SHINER
 - ⊙ FOUND SECTION CORNER AS DESCRIBED
 - UE UTILITY EASEMENT
 - DE DRAINAGE EASEMENT
 - OS OPEN SPACE
 - AE ACCESS EASEMENT
 - SDE SIGHT DISTANCE EASEMENT
 - (M) MEASURED BEARING
 - (R) RECORDED BEARING PER LEE M.L.D. NO. 04-S2309

SEE SHEET 4



0 50 100 150 Feet
(IN FEET)
1 inch = 50 ft.
(US SURVEY FEET)

NOTICE:

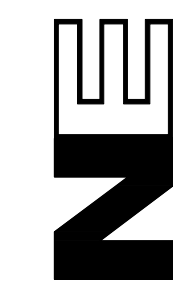
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SECTION:
15

TOWNSHIP:
7N

RANGE:
68 W of the 6th PM

**NORTHERN
ENGINEERING**



301 North Hines Street, Suite 100
Fort Collins, Colorado 80521
PHONE: 970.221.4158 FAX: 970.221.4159
www.northernengineering.com

PROJECT:
335-008

DATE:
8/6/14

CLIENT:
IMAGO

SCALE:
1"=50'

DRAWN BY:
L. Smith

REVIEWED BY:
C. Gilman

FOX GROVE SUBDIVISION
CITY OF FORT COLLINS
STATE OF COLORADO

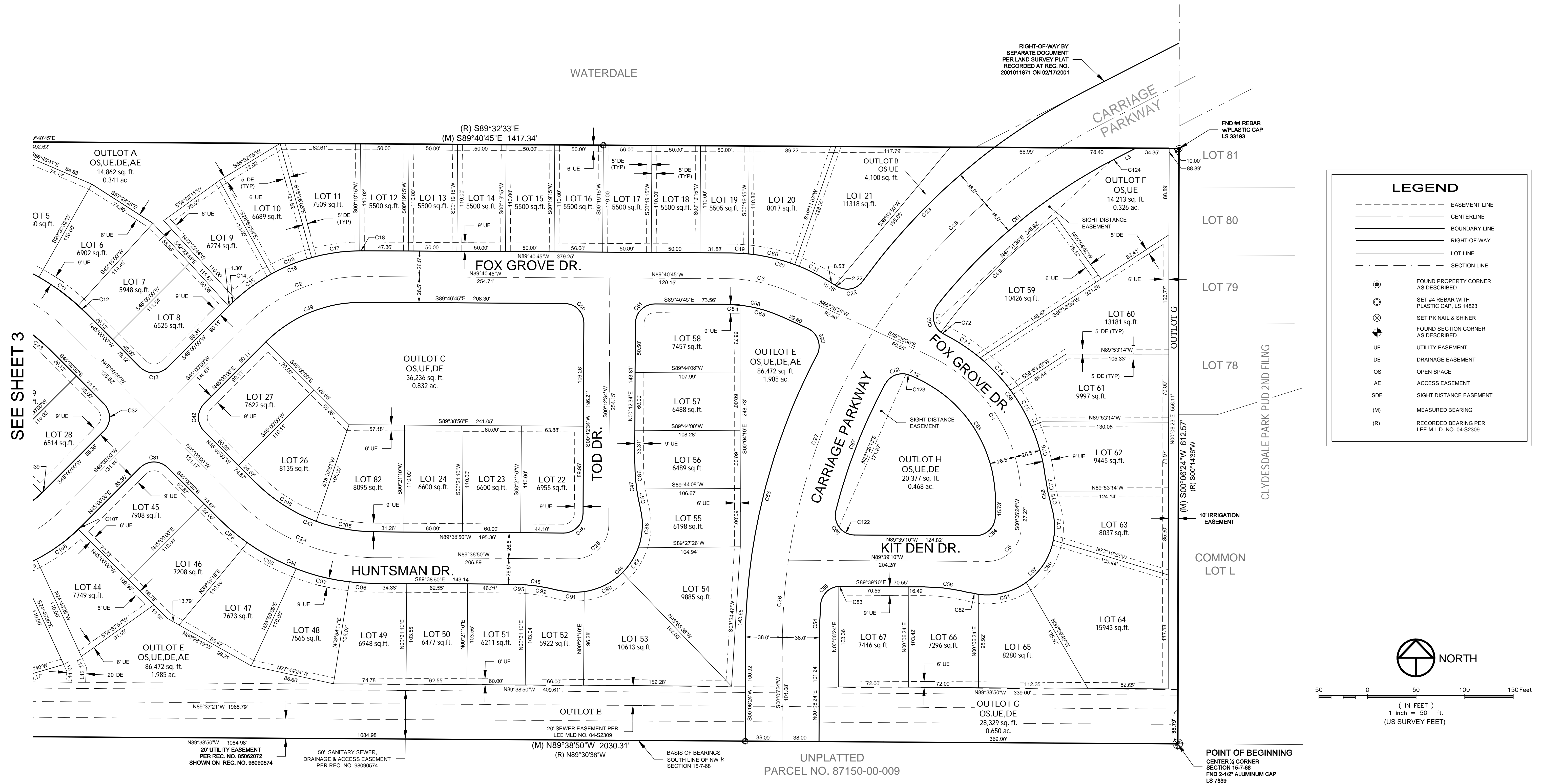
Sheet

3

Of 4 Sheets

FOX GROVE SUBDIVISION

BEING A REPLAT OF LOT 2, LEE MLD NO. 04-S2309, LOCATED IN THE NORTHWEST $\frac{1}{4}$ OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO



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SECTION:
15
TOWNSHIP:
7N
RANGE:
68 W of the 6th PM

**NORTHERN
ENGINEERING**
PHONE: 970.221.4158 FAX: 970.221.4159
301 North Hines Street, Suite 100
Fort Collins, Colorado 80521
www.northernengineering.com

NE

DATE:
8/6/14
PROJECT:
335-008
CLIENT:
IMAGO
DRAWN BY:
L. Smith
REVIEWED BY:
C. Gilman

FOX GROVE SUBDIVISION
CITY OF FORT COLLINS
STATE OF COLORADO

Sheet
4
Of 4 Sheets

1. All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Larimer County Urban Area Street Standards and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the City of Fort Collins.
2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
5. All storm sewer construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for unknown underground utilities.
7. The Developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
8. The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a pre-construction meeting may be required prior to commencement of any work.
12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.
13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water Utility.
14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.
16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
19. All recommendations of the Drainage Report for Fox Grove dated August 6, 2014 by Northern Engineering shall be followed and implemented.
20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the City of Fort Collins street inspector.
22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable.
23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the City of Fort Collins Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
24. The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the City of Fort Collins Engineer approves the final report.
25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.
26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
27. Portions of Larimer County are within overlay districts. The Larimer County Flood Plain Resolution should be referred to for additional criteria for roads within these districts.
28. All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plat approval.
29. Prior to the commencement of any construction, the contractor shall contact the Local Entity Forester to schedule a site inspection for any tree removal requiring a permit.
30. The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control and security. Refer to OSHA Publication 2226, Excavating and Trenching.
31. The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority, (The City of Fort Collins, Larimer County, Colorado), for approval, prior to any construction activities within, or affecting the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.

- Fort Collins Benchmark 25-01**
East side of the East frontage road of I-25 approx. 0.5 miles North of Prospect Road on the North end of a head wall to an irrigation canal.
Elevation = 4918.41 NGVD 1929 UNADJUSTED (NAVD88=4921.60)
- Fort Collins Benchmark 26-01**
South side of Highway 14 (East Mulberry St.), approx. 0.4 miles East of the centerline of I-25, on the bridge parapet wall, on a brass cap stamped "Colo. Dept of Highways". (City of Fort Collins designation not stamped on cap).
Elevation = 4937.26 NGVD 1929 UNADJUSTED (NAVD88=4940.45)

All elevations contained in these plans refer to the NGVD 1929 Unadjusted Datum
To convert from NGVD 1929 to NAVD99 use the following equation: $NGVD29+3.19=NAVD88$

The Basis of Bearings is the South line of the Northwest Quarter, Section 15, Township 7 North, Range 68 West of the 6th P.M. as bearing South 89°38'50" East

- A. Grading and Erosion Control Notes
1. The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.

- grading, etc.). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
4. At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.
5. Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.
6. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City/County.
7. In order to minimize erosion potential, all temporary (structural) erosion control measures shall:
 - a. Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.
 - b. Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector.
 - c. Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.

- applicable local, state, and federal regulations.

1. All street construction is subject to the General Notes on the cover sheet of these plans as well as the Street Improvements Notes listed here.
2. A paving section design, signed and stamped by a Colorado Licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval, prior to any street construction activity, (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.
3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the City of Fort Collins Engineer in Fort Collins.
4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the City of Fort Collins Engineer.
5. Ft. Collins only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings are not allowed.
6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the Inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete overlay patch shall be made by the City of Fort Collins Engineer. All overlay work shall be coordinated with adjacent landowners such that future projects do not cut the new asphalt overlay work.
7. All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as per the Right-of-Way Work Permit traffic control plan.

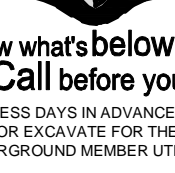
8. The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of asphalt. Gutters that hold more than 1/4 inch deep 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.

9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less than 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive settlement or deformation, as determined by the City of Fort Collins Engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The City of Fort Collins Engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be performed in the presence of an Inspector.

- #### D. Storm Drainage Notes

- ### E. Utility Notes

- CALL UTILITY NOTIFICATION CENTER OF
COLORADO

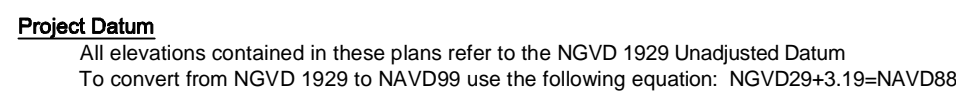


**Know what's below.
Call before you dig.**


CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

<p>ELCO WATER DISTRICT UTILITY PLAN APPROVAL</p>		
APPROVED: _____	MANAGER _____	
DATE: _____		
APPROVED: _____	SYSTEMS ENGINEER _____	
DATE: _____		
<p>BOXELDER SANITATION DISTRICT UTILITY PLAN APPROVAL</p>		
APPROVED: _____	MANAGER _____	
DATE: _____		
APPROVED: _____	SYSTEMS ENGINEER _____	
DATE: _____		

<p>City of Fort Collins, Colorado UTILITY PLAN APPROVAL</p>		
APPROVED: _____	City Engineer _____	Date _____
CHECKED BY: _____	Water & Wastewater Utility _____	Date _____
CHECKED BY: _____	Stormwater Utility _____	Date _____
CHECKED BY: _____	Parks & Recreation _____	Date _____
CHECKED BY: _____	Traffic Engineer _____	Date _____
CHECKED BY: _____	Environmental Planner _____	Date _____



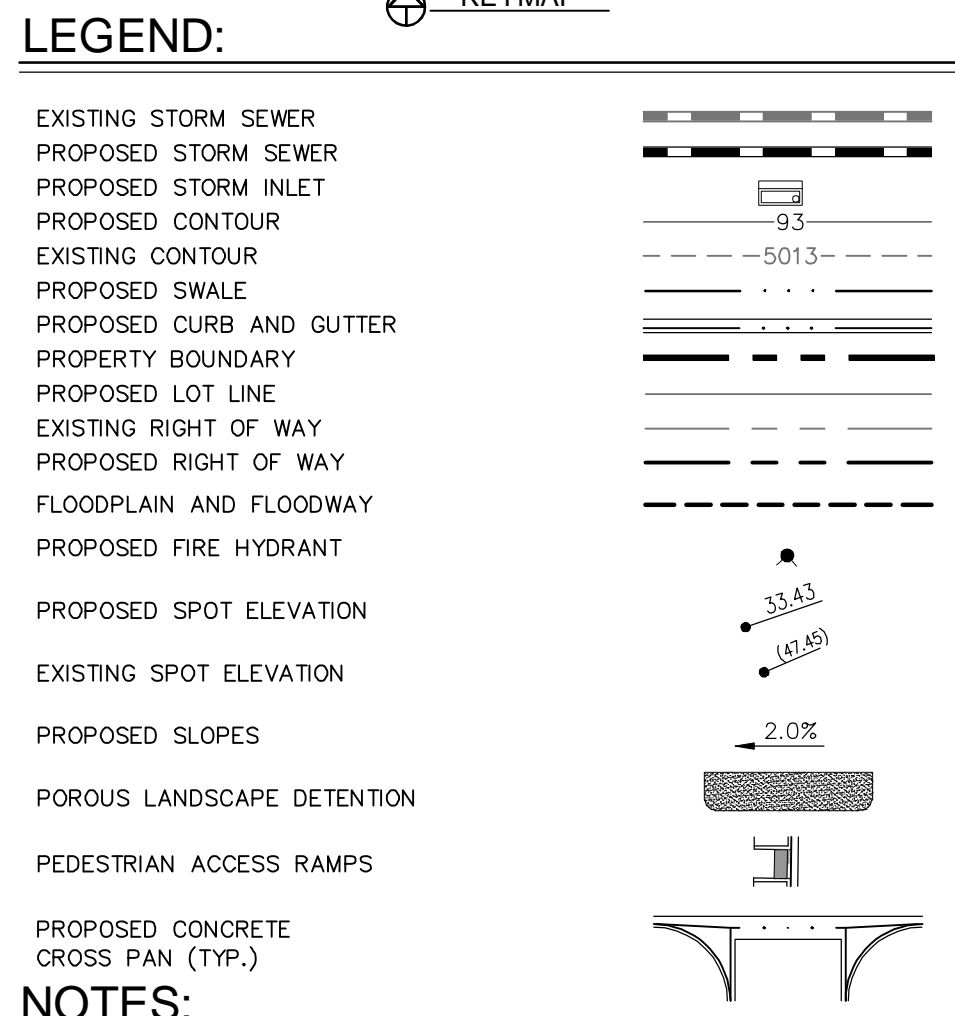
CALL UTILITY NOTIFICATION CENTER OF
COLORADO



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- | | | |
|--|----------------------------|-------|
| <p align="center">City of Fort Collins, Colorado</p> <p align="center">UTILITY PLAN APPROVAL</p> | | |
| APPROVED: | _____ | _____ |
| | City Engineer | Date |
| CHECKED BY: | _____ | _____ |
| | Water & Wastewater Utility | Date |
| CHECKED BY: | _____ | _____ |
| | Stormwater Utility | Date |
| CHECKED BY: | _____ | _____ |
| | Parks & Recreation | Date |
| CHECKED BY: | _____ | _____ |
| | Traffic Engineer | Date |
| CHECKED BY: | _____ | _____ |
| | Environmental Planner | Date |

Sheet
OG1
Of 21 Sheets

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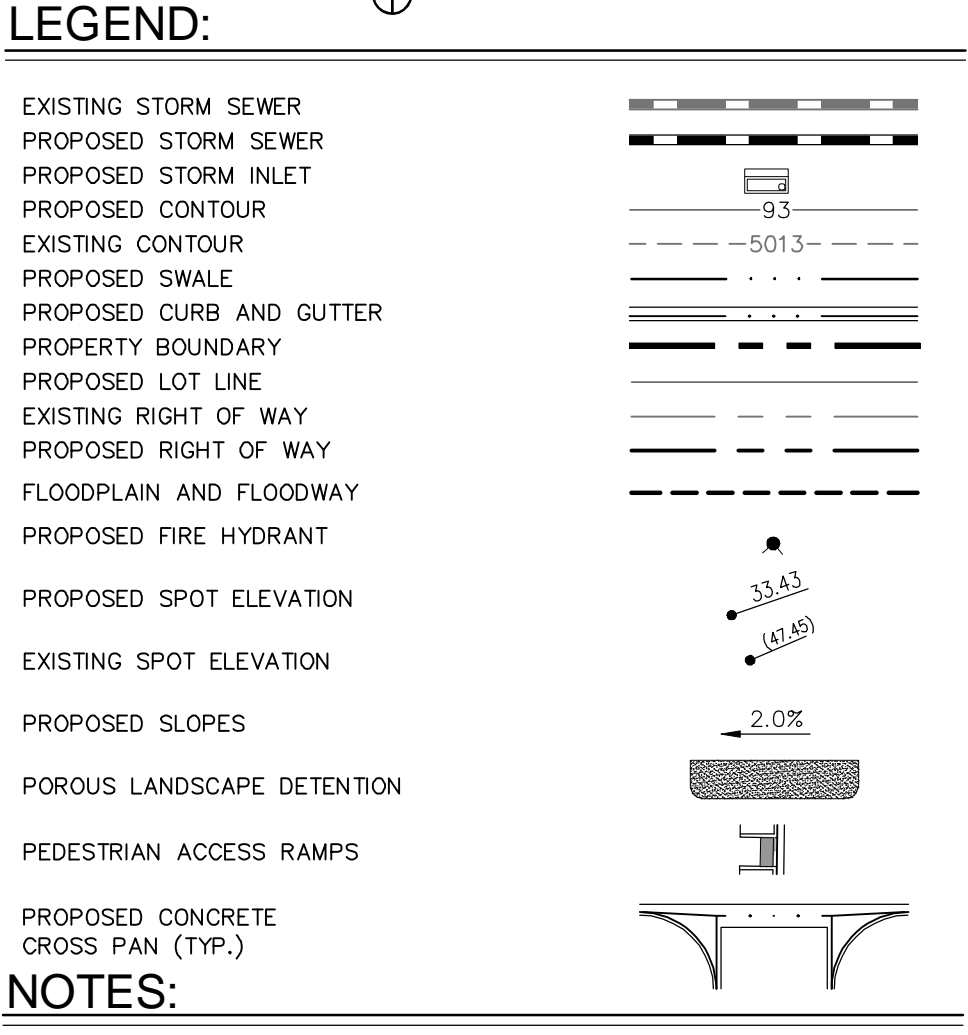
CALL UTILITY NOTIFICATION CENTER OF
COLORADO



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
1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CITY OF FORT COLLINS TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
3. ALL PROJECT DATA IS ON THE CITY OF FORT COLLINS VERTICAL DATUM; NAD 83 (UNADJUSTED). SEE COVER SHEET FOR BENCHMARK REFERENCES.
4. FLOOD ZONE DESIGNATION: ACCORDING TO FEMA MAP NUMBER 1906010303, DATED MAY 2, 2012, A PORTION OF THIS TRACT OF LAND IS WITHIN A FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA), AND IS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE (100-YEAR) FLOOD.
5. PORTIONS OF THIS PROPERTY ARE LOCATED IN THE FEMA-REGULATORY 100-YR BOXELDER CREEK FLOODWAY AND HIGH-RISK FLOOD FRINGE, AND MUST COMPLY WITH THE FLOODPLAIN REQUIREMENTS OF CHAPTER 10 OF THE CITY OF FORT COLLINS MUNICIPAL CODE.
6. CONSTRUCTION OF NEW RESIDENTIAL STRUCTURES IS NOT ALLOWED IN THE FLOODWAY. RESIDENTIAL STRUCTURES ARE ALLOWED IN THE FLOOD FRINGE PROVIDED THAT ALL DUCT WORK, HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS, HOT WATER HEATER, ELECTRICAL AND THE LOWEST FLOOR OF THE BUILDING ARE A MINIMUM OF 18-INCHES ABOVE THE BASE FLOOD ELEVATION (BFE). THAT MINIMUM ELEVATION IS KNOWN AS THE REGULATORY FLOOD PROTECTION ELEVATION (RPFE).
RPFE=BFE+18".
7. THE FLOOD FRINGE IS AN AO ZONE, MEANING THAT THE BFE'S HAVE NOT BEEN DETERMINED, SO THE BFE FOR EACH STRUCTURE WILL BE 2.0 FEET ABOVE THE HIGHER OF ADJACENT GRADE, SFHA, AND THE RPFE WILL BE ABOVE 3.5 FEET; ON THIS AREA WILL HAVE TO BE MODELED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF COLORADO TO ESTABLISH BFE'S.
8. BASEMENTS MAY NOT BE CONSTRUCTED BELOW THE RPFE IN THE FLOOD FRINGE. CRAWL SPACES (IF USED RATHER THAN SLAB-ON-GRADE) MUST BE BUILT IN CONFORMANCE WITH SECTION 10-40 OF CITY OF FORT COLLINS MUNICIPAL CODE (THIS WILL INCLUDE VENTING, SUMP PUMPS, ETC.).
9. NONSTRUCTURAL DEVELOPMENT (FENCES, DETENTION PONDS, HARD SURFACE PATHS, FILL, DRIVEWAYS, PARKING AREAS, VEGETATION, ETC.) IS ALLOWED WITHIN THE 100-YEAR FLOODWAY. AN ELEVATION USE PERMIT MUST BE OBTAINED FROM THE CITY OF FORT COLLINS. IT CAN BE PROVEN THAT THE DEVELOPMENT WILL NOT CAUSE A RISE IN THE BASE FLOOD ELEVATION (BFE) OR A CHANGE TO THE FLOODWAY OR FLOOD FRINGE BOUNDARIES. NONSTRUCTURAL DEVELOPMENT IS NOT RESTRICTED WITHIN THE FLOOD FRINGE.
10. ANY AND ALL CONSTRUCTION ACTIVITIES IN THE FLOODWAY OR FLOOD FRINGE MUST BE APPROVED BY AN APPROVED FLOODPLAIN USE PERMIT IF THE CONSTRUCTION IS IN THE FLOODWAY. NO-RISE CERTIFICATION MUST BE APPROVED PRIOR TO CONSTRUCTION.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> City Engineer	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Date
CHECKED BY:	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Water & Wastewater Utility	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Date
CHECKED BY:	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Stormwater Utility	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Date
CHECKED BY:	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Parks & Recreation	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Date
CHECKED BY:	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Traffic Engineer	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Date
CHECKED BY:	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Environmental Planner	<div style="border-bottom: 1px solid black; height: 1.2em; margin-bottom: 5px;"></div> Date

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PHONE: 970.221.4158
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301 N. Hawes Street, Suite 100
Fort Collins, Colorado 80521

PROJECT: 335-008	DATE: SEPTEMBER 8, 2014
DESIGNED BY: S. Thomas	SCALE: 1"=50'
DRAWN BY: S. Thomas	REVIEWED BY: N. Hows

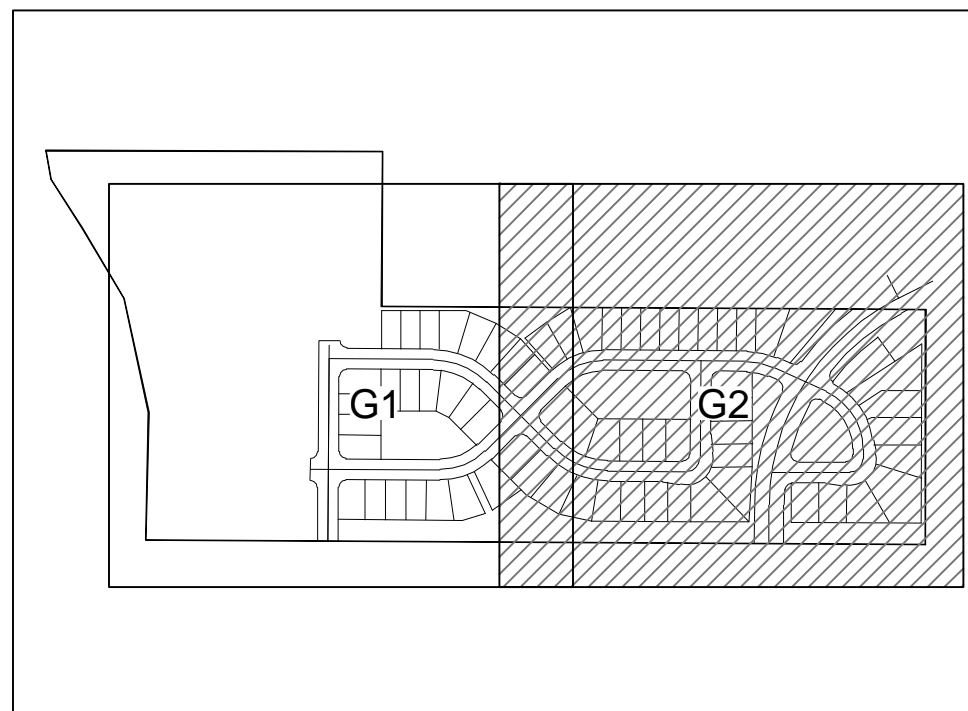
FOX GROVE
GRADING PLAN

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G1
Of 21 Sheets

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UNDERGROUND MEMBER UTILITIES.



EXISTING STORM SEWER
PROPOSED STORM SEWER
PROPOSED STORM INLET
PROPOSED CONTOUR
EXISTING CONTOUR
PROPOSED SWALE
PROPOSED CURB AND GUTTER
PROPERTY BOUNDARY
PROPOSED LOT LINE
EXISTING RIGHT OF WAY
PROPOSED RIGHT OF WAY
FLOODPLAIN AND FLOODWAY
PROPOSED FIRE HYDRANT
PROPOSED SPOT ELEVATION
EXISTING SPOT ELEVATION
PROPOSED SLOPES
POROUS LANDSCAPE DETENTION
PEDESTRIAN ACCESS RAMPS
PROPOSED CONCRETE
GROSS PLAN (TYP.)

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APPROVED: _____	_____	_____
	City Engineer	Date
CHECKED BY: _____	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY: _____	_____	_____
	Stormwater Utility	Date
CHECKED BY: _____	_____	_____
	Parks & Recreation	Date
CHECKED BY: _____	_____	_____
	Traffic Engineer	Date
CHECKED BY: _____	_____	_____
	Environmental Planner	Date

NE

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101 N. Jewell Street, Suite 100
Fort Collins, Colorado 80521

PROJECT: 335-008	DATE: SEPTEMBER 8, 2014
DESIGNED BY: S. Thomas	SCALE: 1"=50'
DRAWN BY: S. Thomas	REVIEWED BY: N. Hows

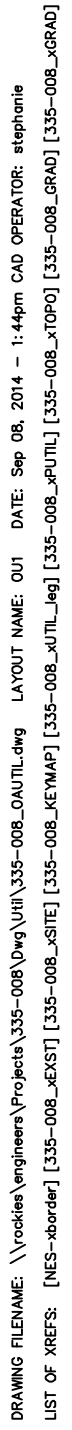
FOX GROVE

GRADING PLAN

Sheet
G2

Of 21 Sheets

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PROJECT: 335-008	DATE: SEPTEMBER 8, 2014
DESIGNED BY: S. Thomas	SCALE: 1"=100'
DRAWN BY: S. Thomas	REVIEWED BY: N. Haws

- 1

FOX GROVE

ALL UTILITY PLAN

OVERA
Sheet
OU1
Of 21 Sheets

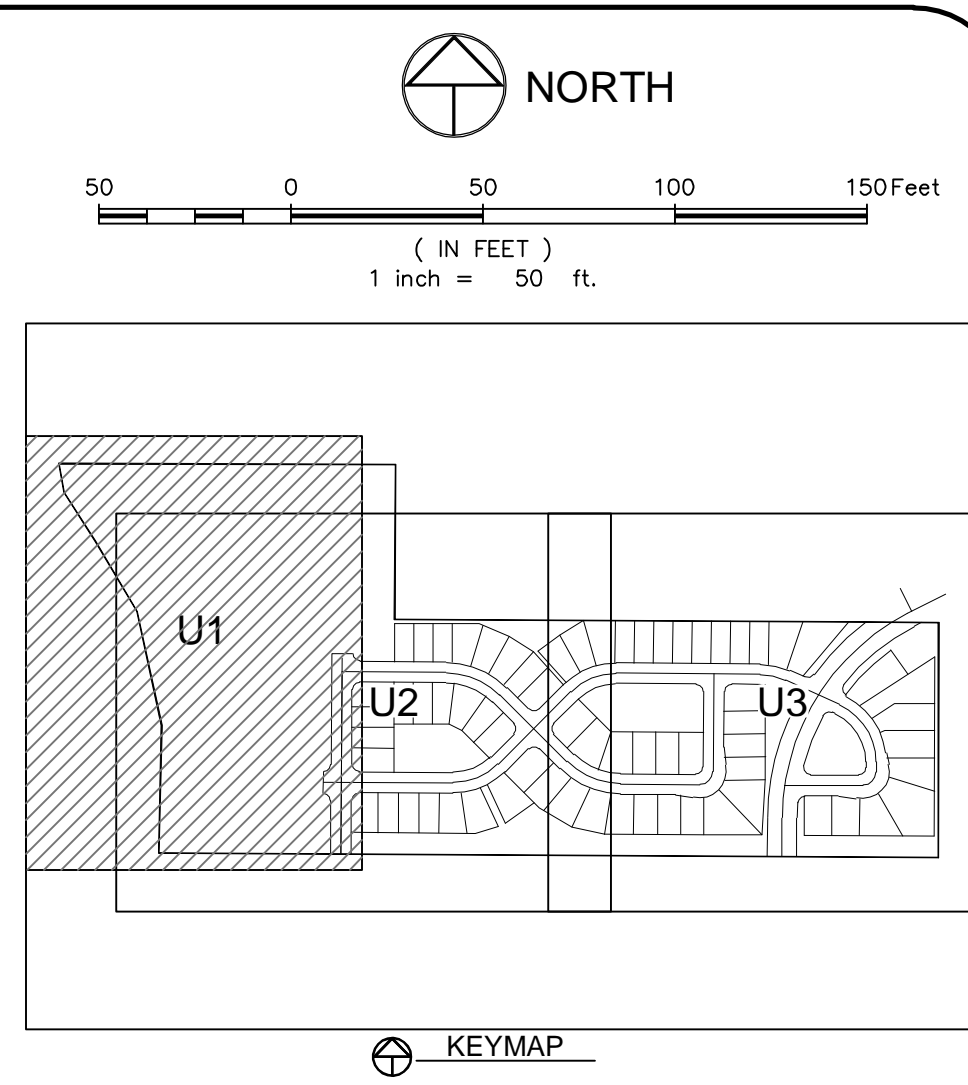
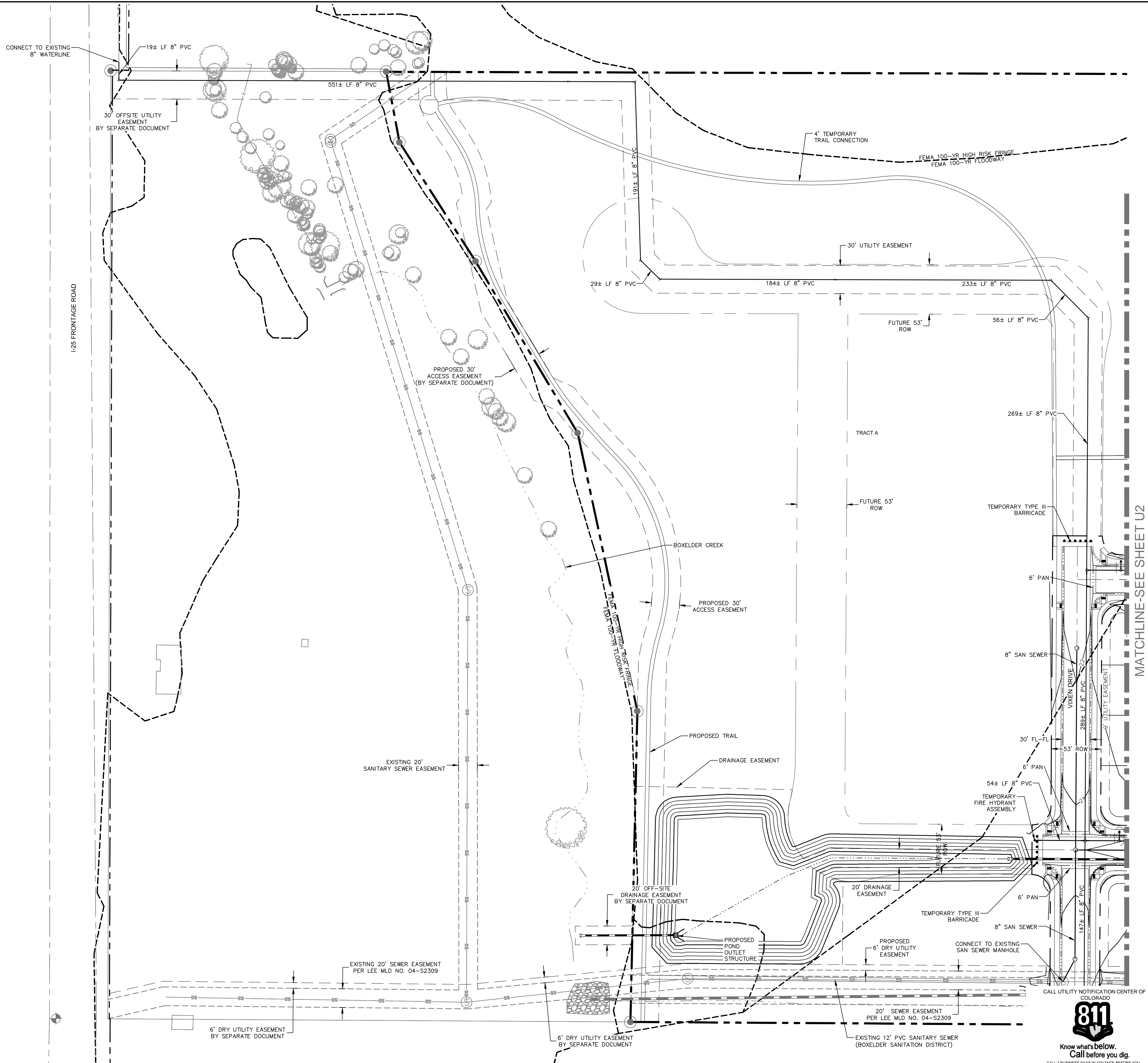
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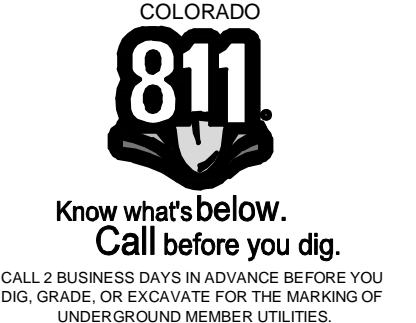
- LEGEND:**
- PROPOSED WATER MAIN
 - EXISTING WATER MAIN
 - PROPOSED SANITARY SEWER
 - EXISTING SANITARY SEWER
 - PROPOSED SEWER SERVICE
 - PROPOSED RESIDENTIAL WATER SERVICE (SEE UTILITY DETAIL SHEETS)
 - PROPOSED CURB STOP & METER PIT
 - PROPOSED IRRIGATION CURB STOP & METER PIT
 - PROPOSED FIRE SERVICE
 - PROPOSED FIRE DEPT. CONN.
 - PROPOSED FIRE HYDRANT
 - EXISTING FIRE HYDRANT
 - PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - PROPOSED ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING GAS
 - PROPOSED CURB & GUTTER
 - PROPERTY BOUNDARY
 - PROPOSED LOTLINE
 - EASEMENT LINE
 - PROPOSED STORM INLET
 - PROPOSED LIGHT POLE
 - EXISTING LIGHT POLE
 - EXISTING ELECTRIC METER
 - EXISTING WATER METER
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- NOTES:**
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ELCO WATER DISTRICT UTILITY PLAN APPROVAL	
APPROVED: _____	MANAGER
DATE: _____	
APPROVED: _____	SYSTEMS ENGINEER
DATE: _____	

BOXELDER SANITATION DISTRICT UTILITY PLAN APPROVAL	
APPROVED: _____	MANAGER
DATE: _____	
APPROVED: _____	SYSTEMS ENGINEER
DATE: _____	

City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: _____	City Engineer
DATE: _____	
CHECKED BY: _____	Water & Wastewater Utility
DATE: _____	
CHECKED BY: _____	Stormwater Utility
DATE: _____	
CHECKED BY: _____	Parks & Recreation
DATE: _____	
CHECKED BY: _____	Traffic Engineer
DATE: _____	
CHECKED BY: _____	Environmental Planner
DATE: _____	



Revisions:

No.	Date	Description

REVIEW SET

NOT FOR CONSTRUCTION

SEPTEMBER 8, 2014

NORTHERN ENGINEERING

NE

301 N. Jewell Street, Suite 100
Fort Collins, Colorado 80521

PHONE: 970.221.4158
www.northernengineering.com

DATE: SEPTEMBER 8, 2014

PROJECT: 335-008

DESIGNED BY: S. Thomas

DRAWN BY: S. Thomas

SCALE: 1"=50'

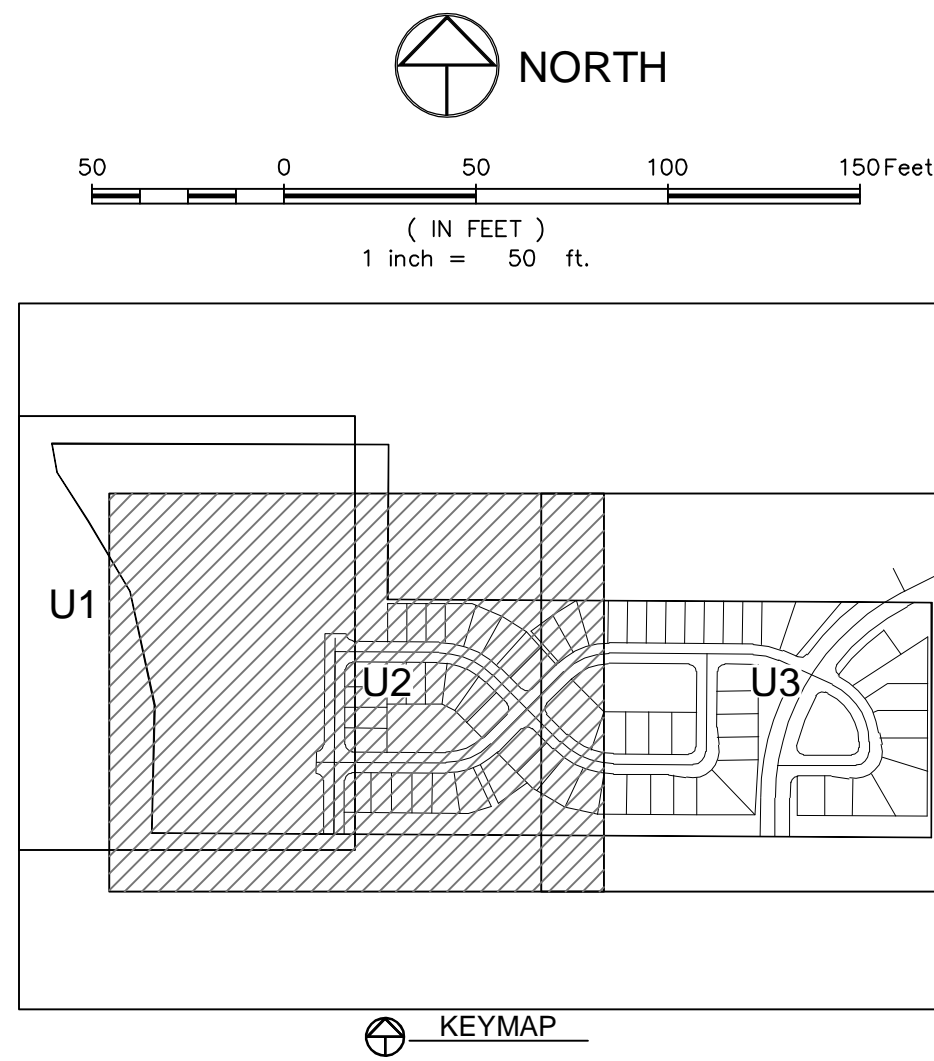
REVIEWED BY: N. Haws

FOX GROVE

UTILITY PLAN

Sheet **U1**

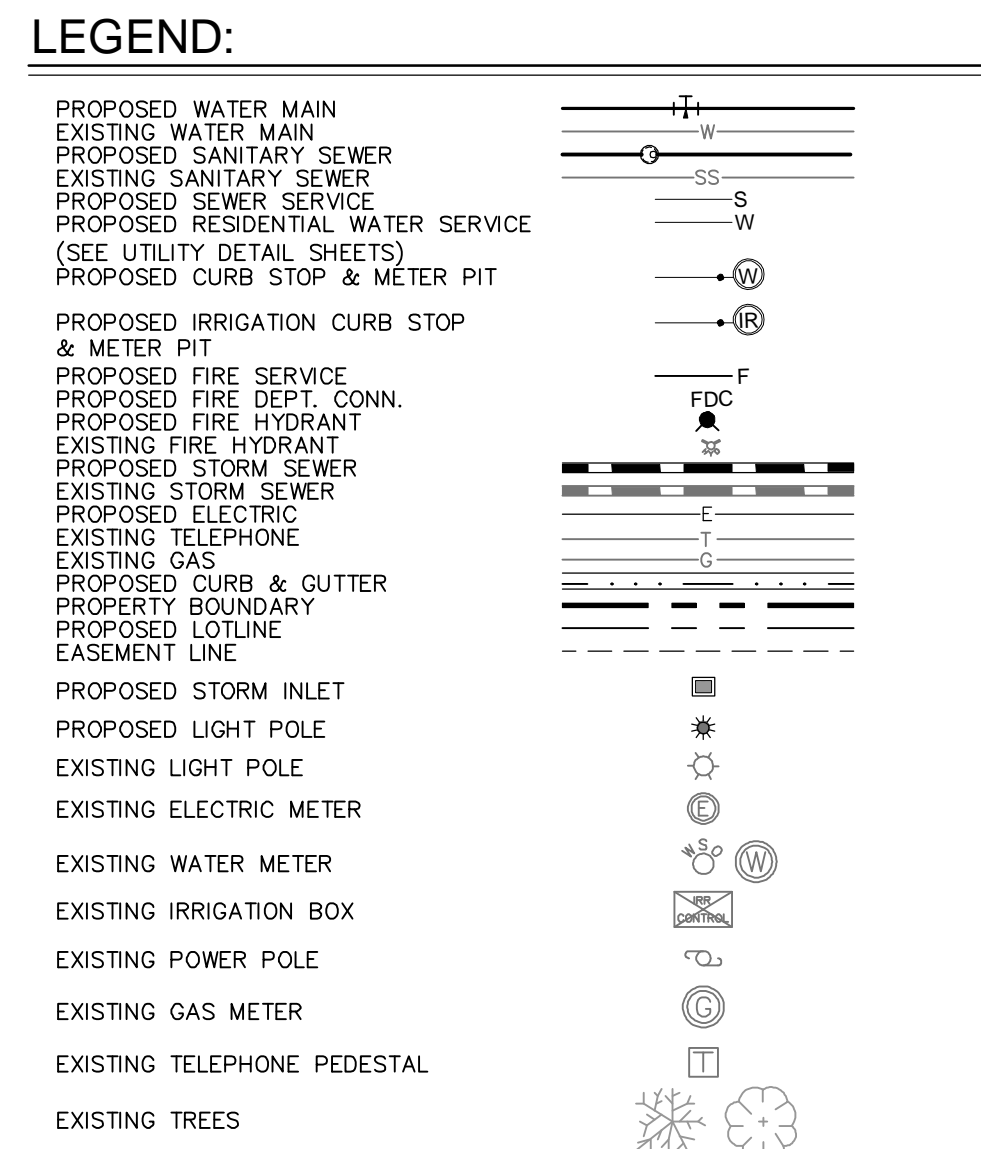
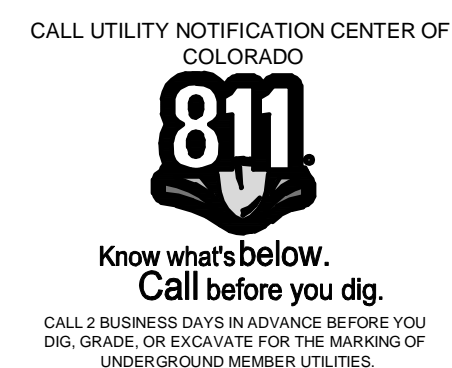
Of 21 Sheets



PROPOSED WATER MAIN	
EXISTING WATER MAIN	
PROPOSED SANITARY SEWER	
EXISTING SANITARY SEWER	
PROPOSED SEWER	
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<h2 style="margin: 0;">City of Fort Collins, Colorado</h2> <h2 style="margin: 0;">UTILITY PLAN APPROVAL</h2>		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

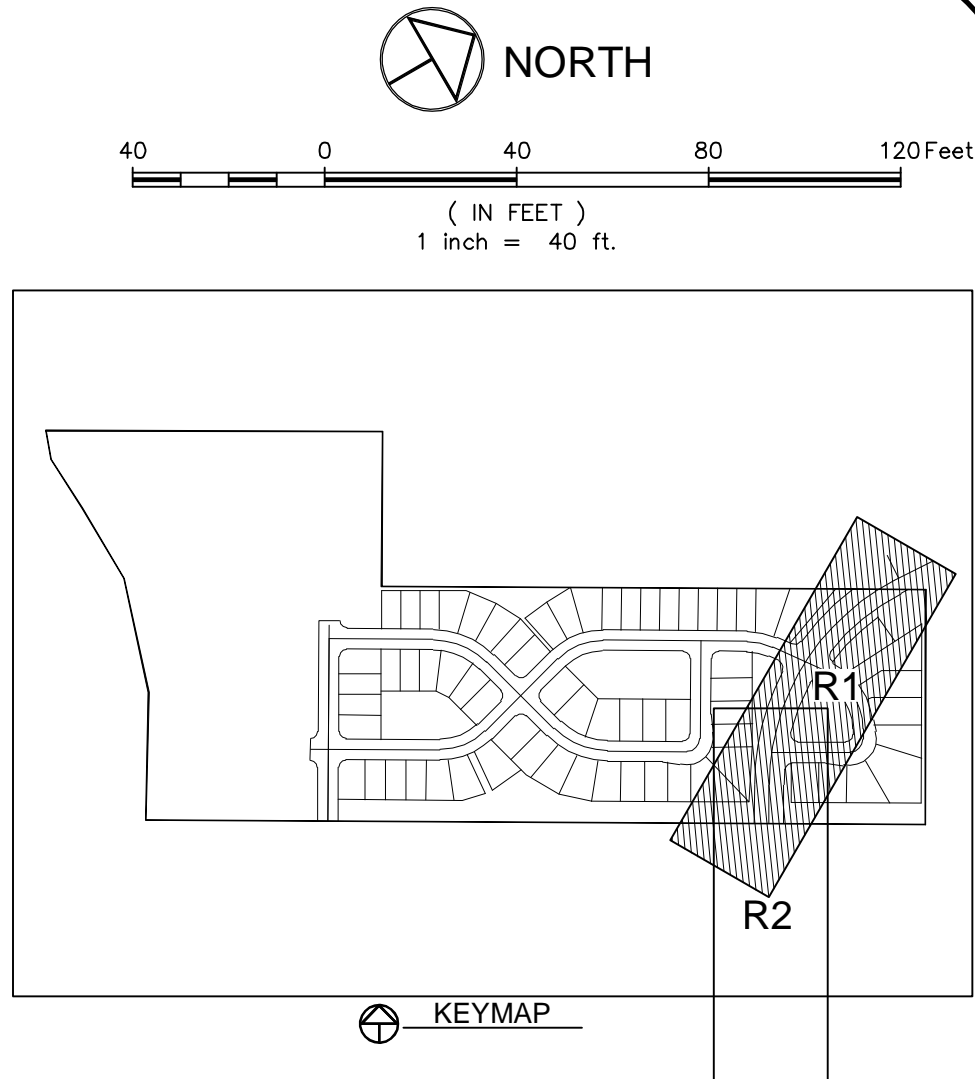
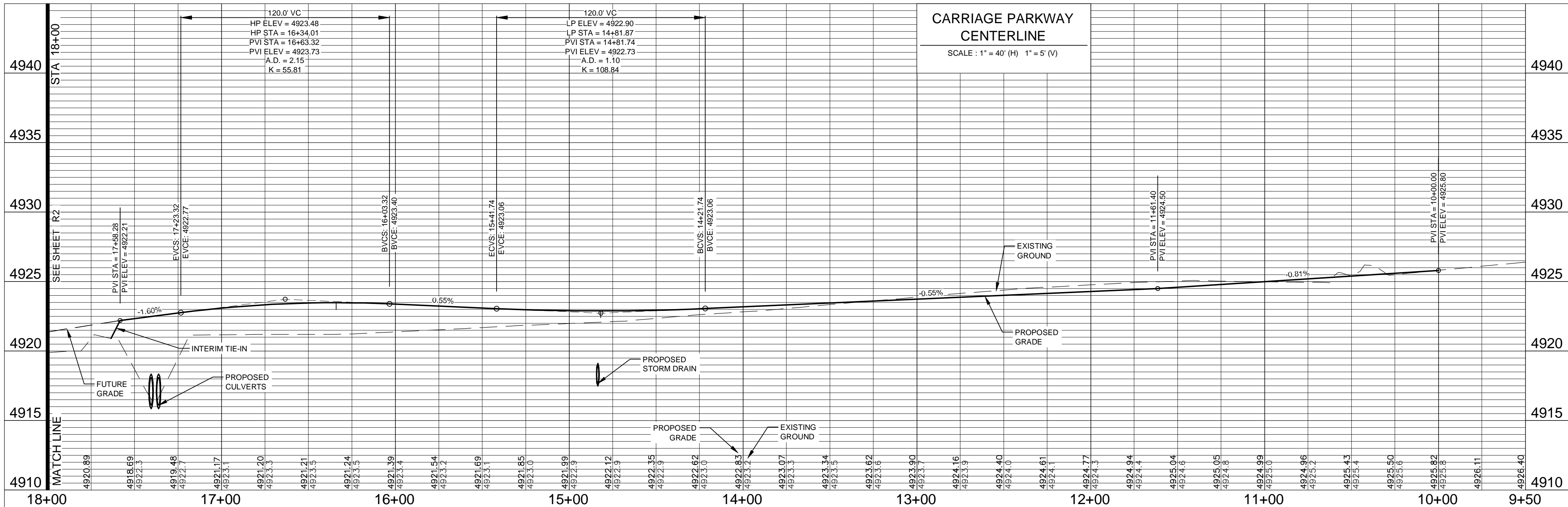
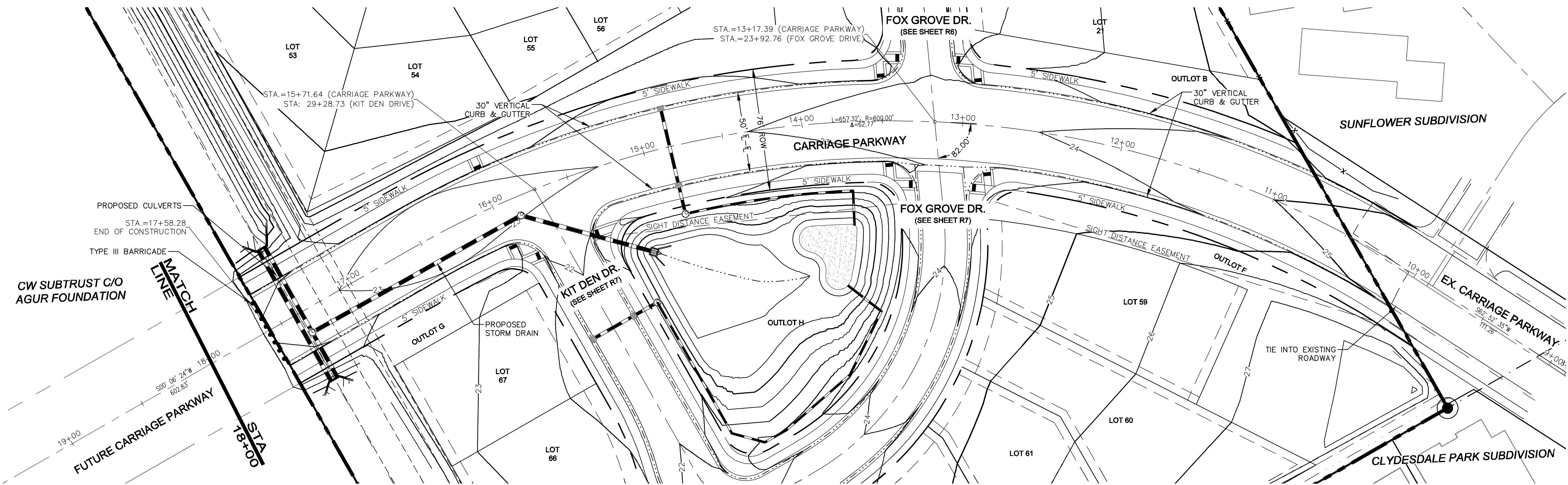


- | ELCO WATER DISTRICT
UTILITY PLAN APPROVAL | |
|--|------------------|
| APPROVED: _____ | MANAGER |
| DATE: _____ | |
| APPROVED: _____ | SYSTEMS ENGINEER |
| DATE: _____ | |

BOXELDER SANITATION DISTRICT UTILITY PLAN APPROVAL	
APPROVED: _____	MANAGER
DATE: _____	
APPROVED: _____	SYSTEMS ENGINEER
DATE: _____	

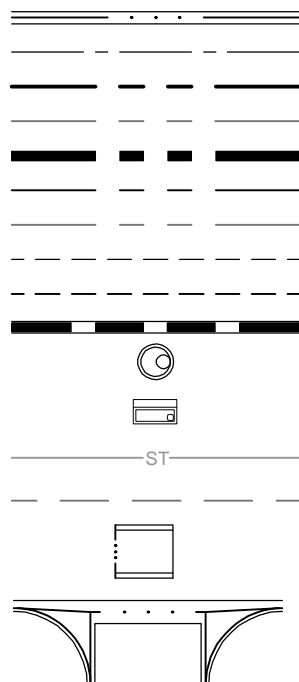
APPROVED BY:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY:	_____	_____
	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date

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LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPERTY BOUNDARY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- EASEMENT LINE
- SAWCUT LINE
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING STORM SEWER
- EXISTING EDGE OF ASPHALT
- PEDESTRIAN ACCESS RAMPS



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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

DATE: SEPTEMBER 8, 2014

PROJECT: 335-008

DESIGNED BY: S. Thomas

DRAWN BY: S. Thomas

REVIEWED BY: N. Haws

FOX GROVE

CARRIAGE PARKWAY

PLAN & PROFILE

Sheet R1

Of 21 Sheets

Revisions:

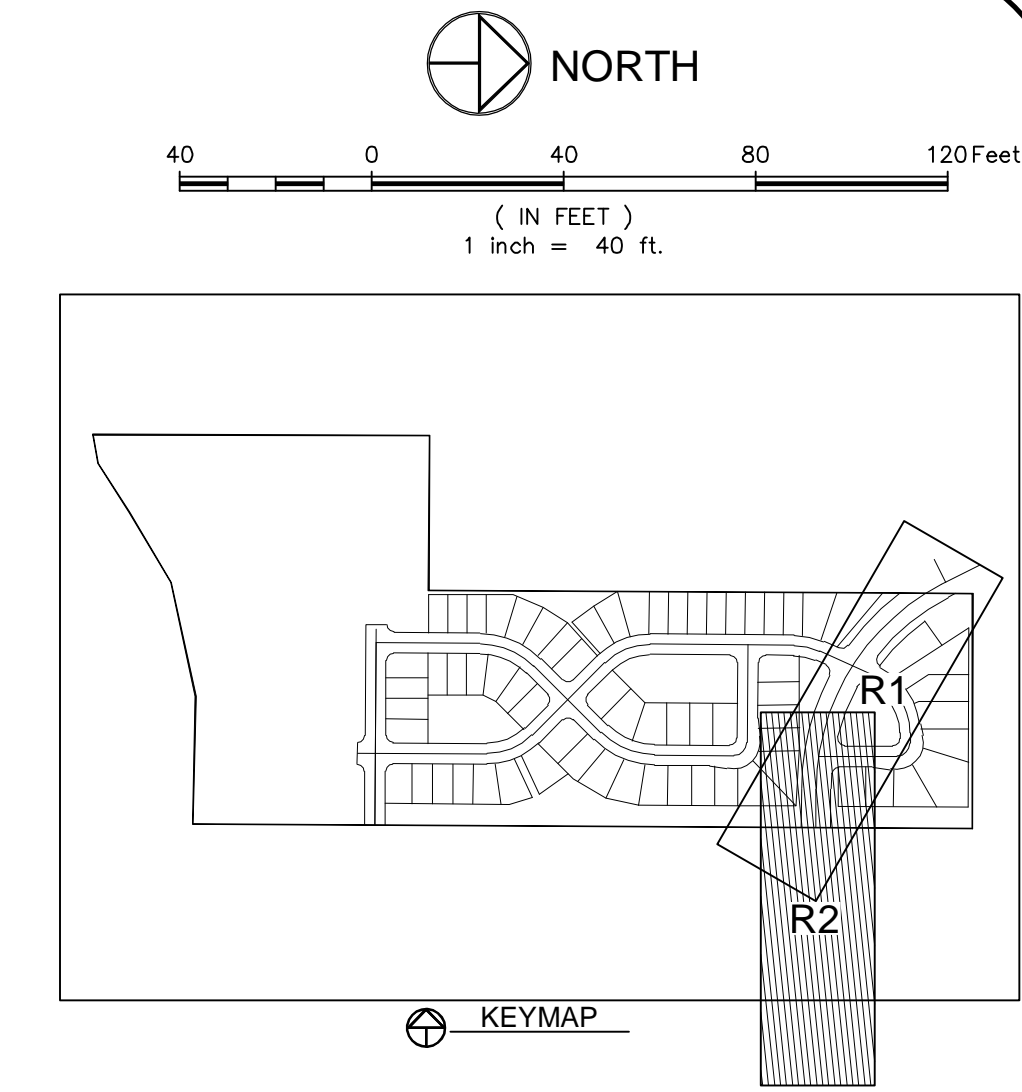
No.	Revisions:
1	REVIEW SET
2	NOT FOR CONSTRUCTION
3	SEPTEMBER 8, 2014

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the employee of Northern Engineering Services, Inc.

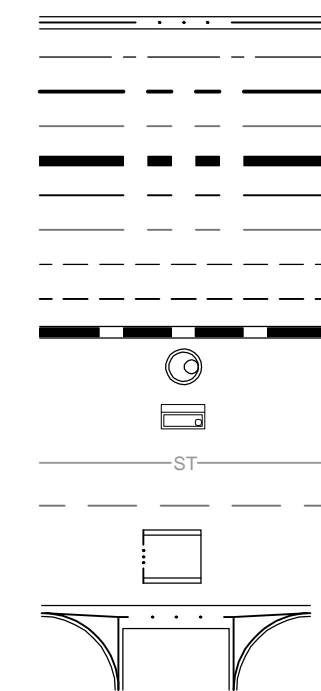
NORTHERN ENGINEERING

301 N. Jewell Street, Suite 100
Fort Collins, Colorado 80521

PHONE: 970.221.4158
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PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
EXISTING RIGHT-OF-WAY
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CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.


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CHECKED BY:	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY:	_____	_____
	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date



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ENGINEERING

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301 N. Howes Street, Suite 100
Fort Collins, Colorado 80521

DATE: SEPTEMBER 8,

PROJECT:
335-008DESIGNED BY:
S. Thomas

2014
SCALE:
1"=40'

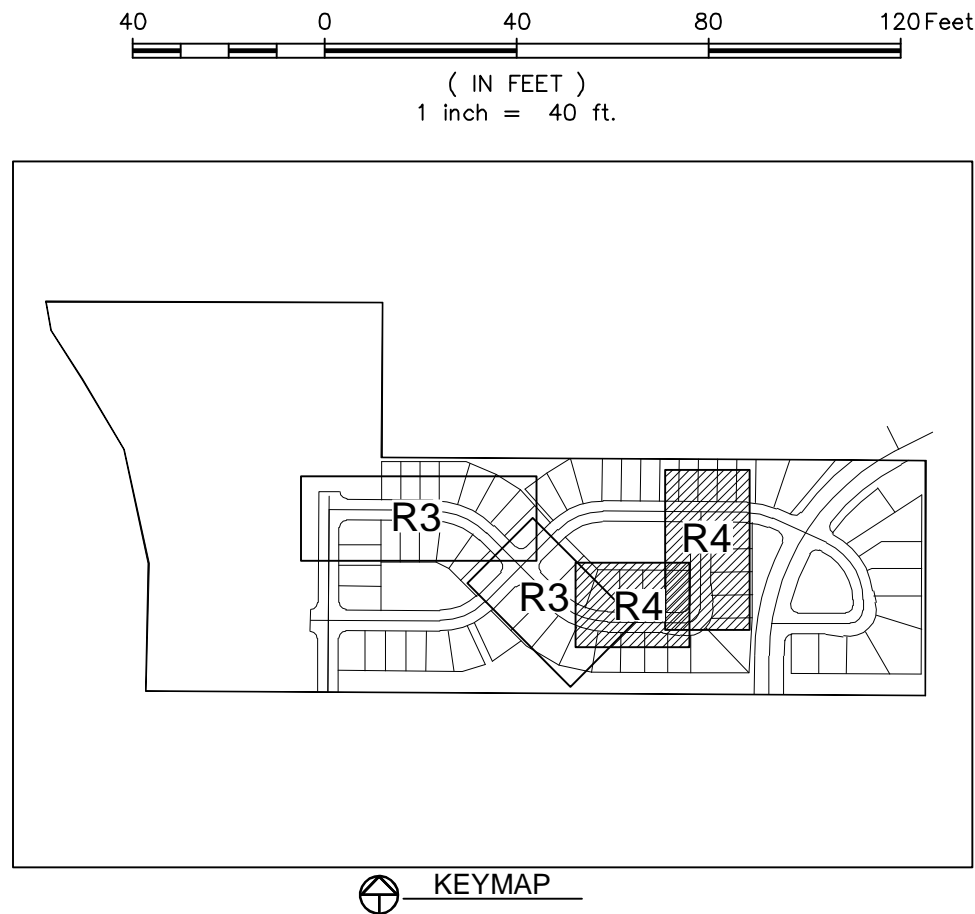
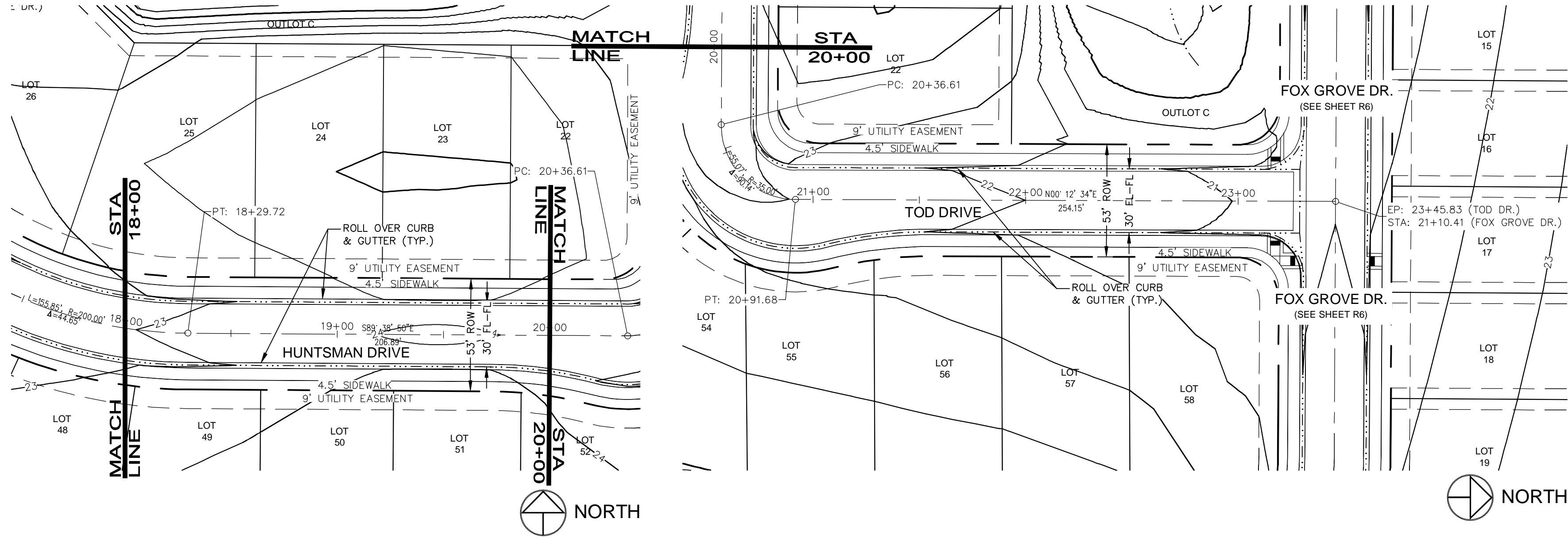
DESIGNED BY:
S. Thomas

FOX GROVE
CARRIAGE PARKWAY
PLAN & PROFILE

Sheet
R2

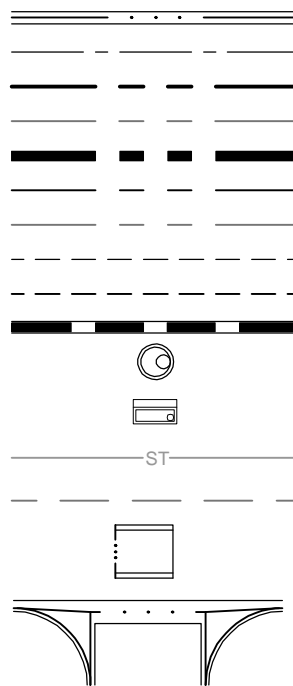
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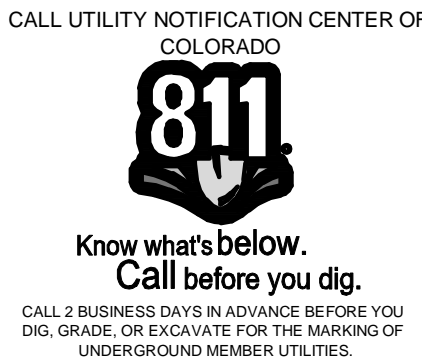
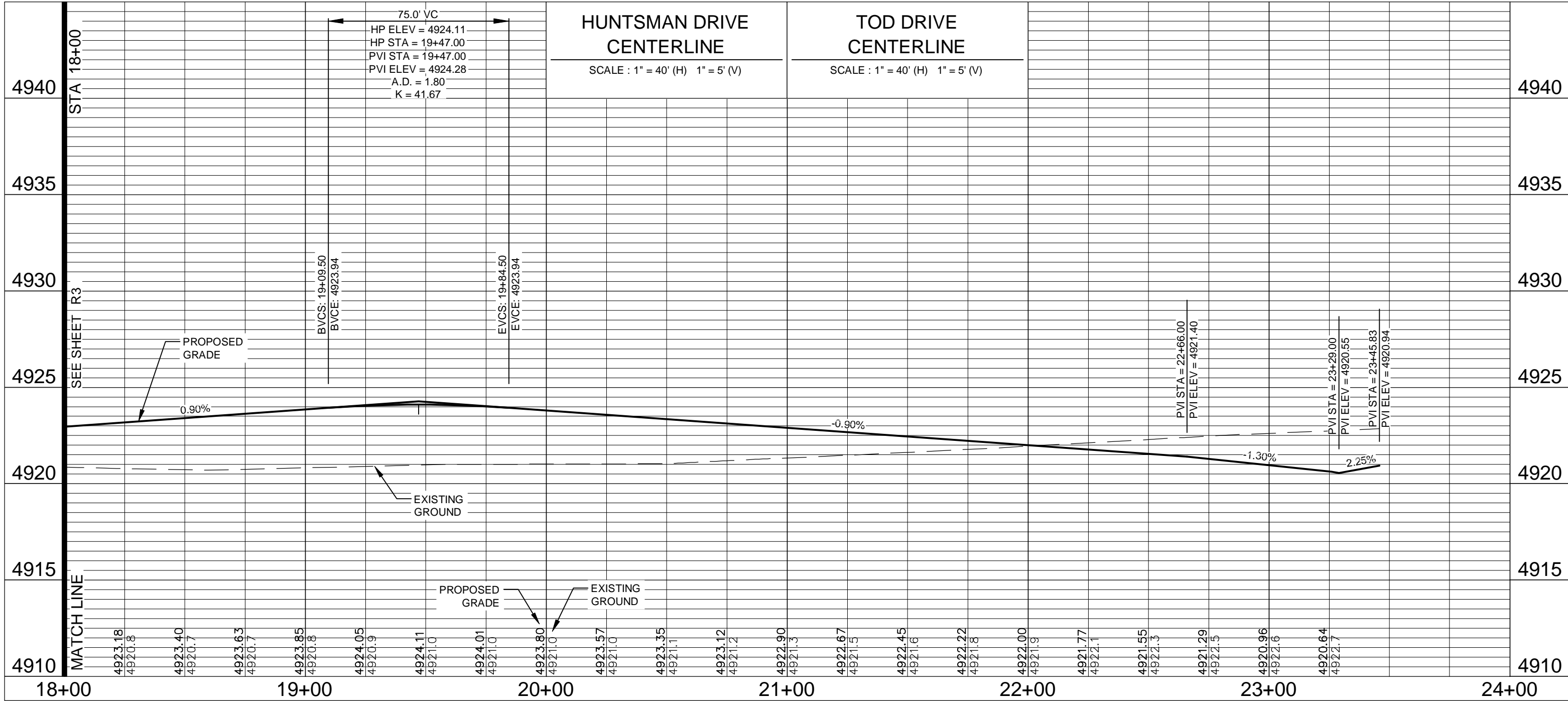
LEGEND:

PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
EXISTING RIGHT-OF-WAY
PROPERTY BOUNDARY
PROPOSED LOT LINE
EXISTING LOT LINE
EASEMENT LINE
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date
CHECKED BY: _____ N/A _____ Date
CHECKED BY: _____ Water & Wastewater Utility _____ Date
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CHECKED BY: _____ Environmental Planner _____ Date

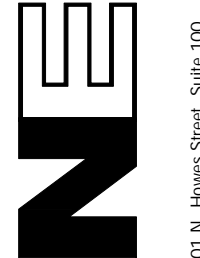
FOX GROVE

HUNTSMAN DRIVE & TOD DRIVE
PLAN & PROFILE

Sheet
R4

Of 21 Sheets

NORTHERN
ENGINEERING



PHONE: 970.221.4158
www.northernengineering.com

301 N. Jewell Street, Suite 100
Fort Collins, Colorado 80521

DATE: SEPTEMBER 8, 2014

SCALE: 1"=40'

REVIEWED BY: N. Haws

PROJECT: 335-008

DESIGNED BY: S. Thomas

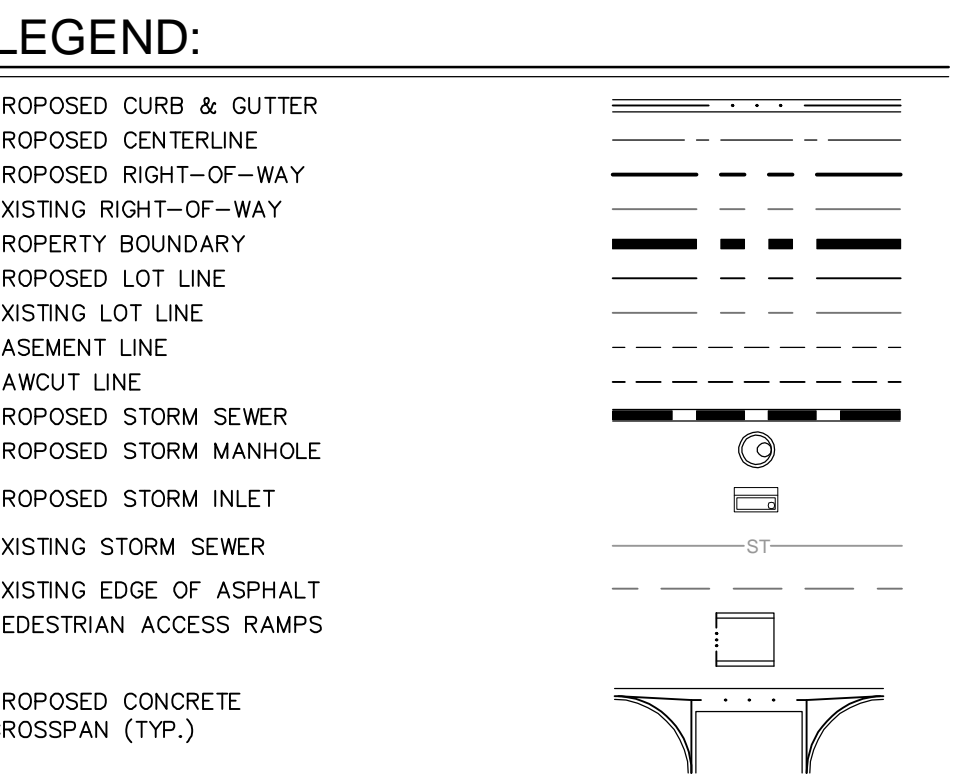
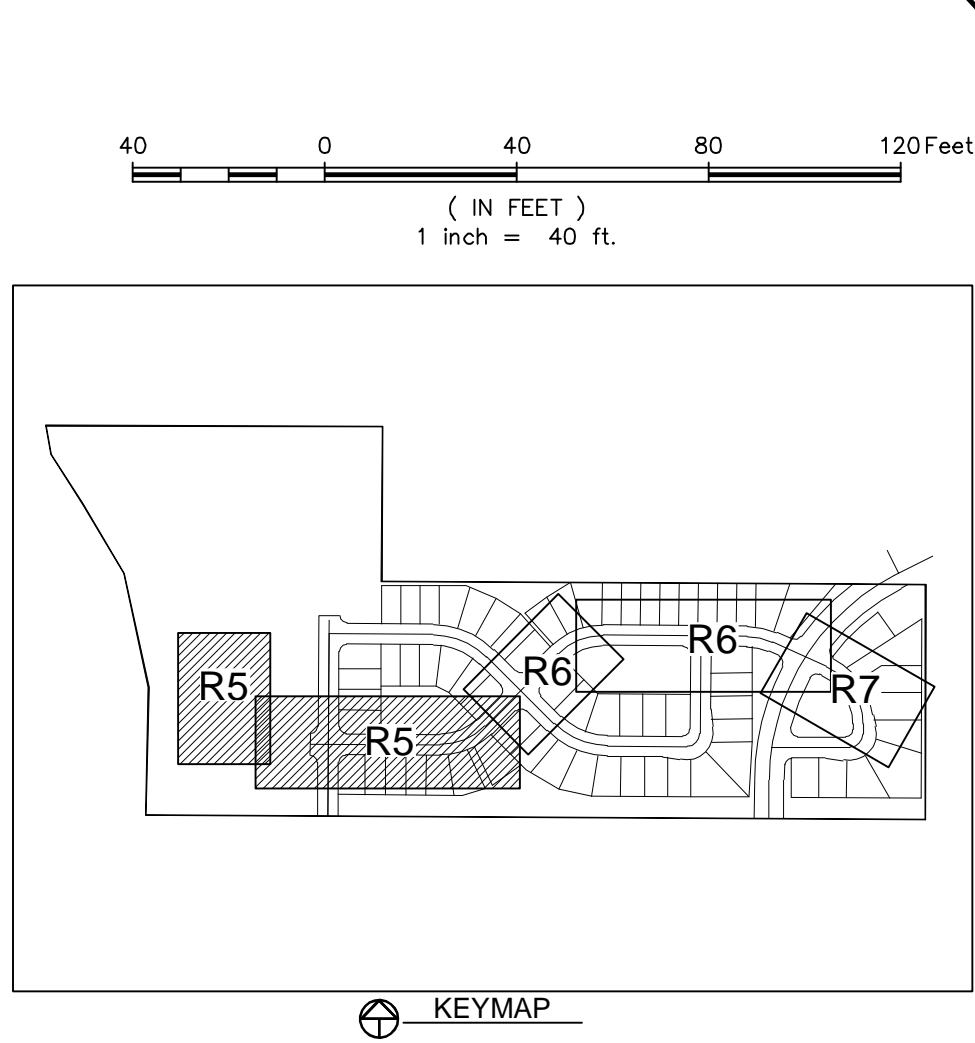
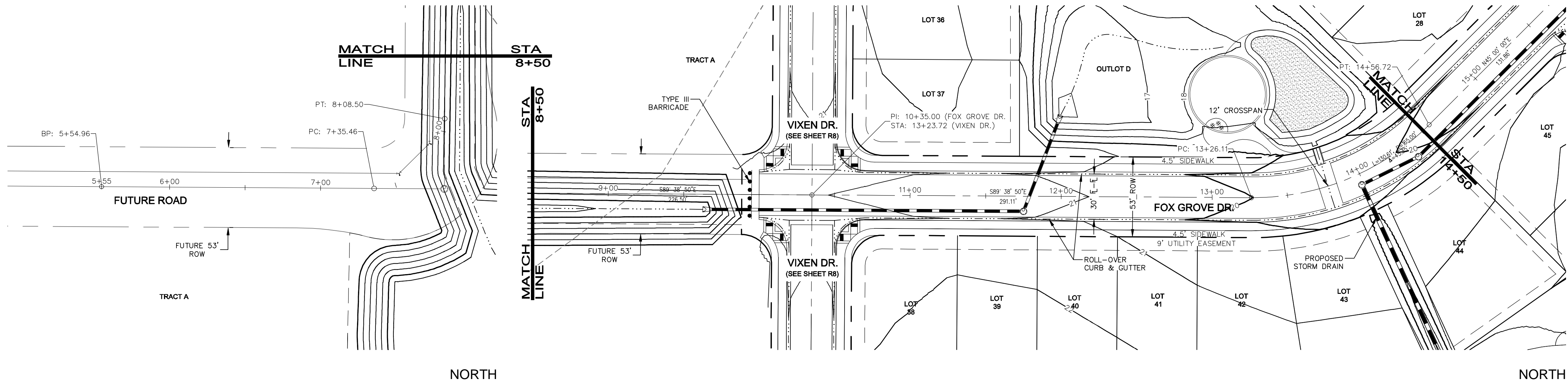
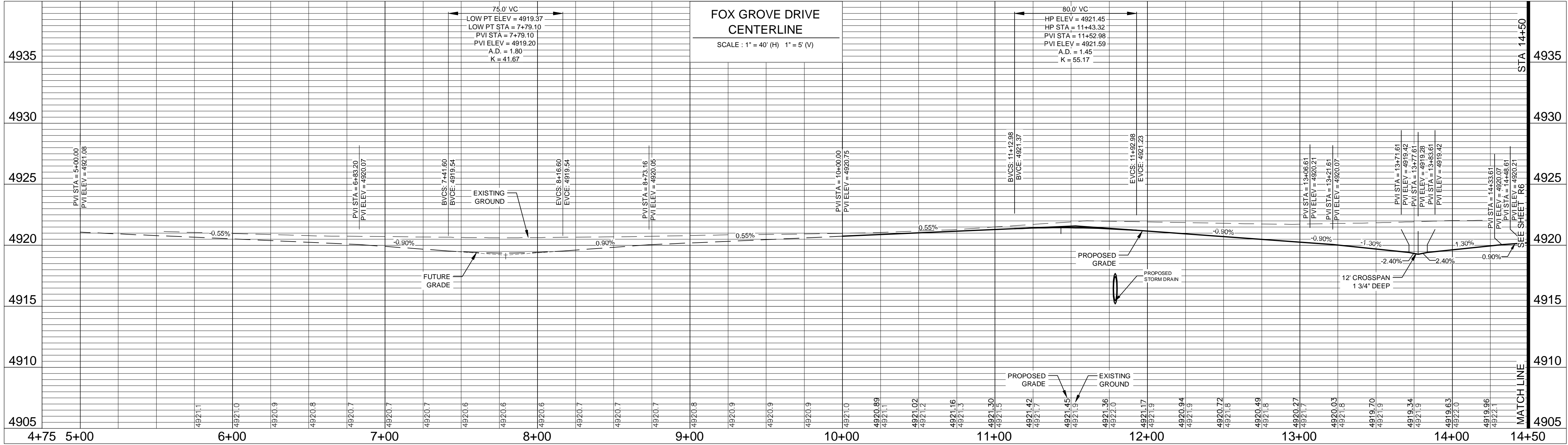
DRAWN BY: A. Boese

Revisions: No. _____

REVIEW SET
NOT FOR CONSTRUCTION
SEPTEMBER 8, 2014

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the Engineer of Northern Engineering Services, Inc.

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CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date

FOX GROVE DRIVE
FOX GROVE DRIVE
PLAN & PROFILE

Sheet
R5
Of 21 Sheets

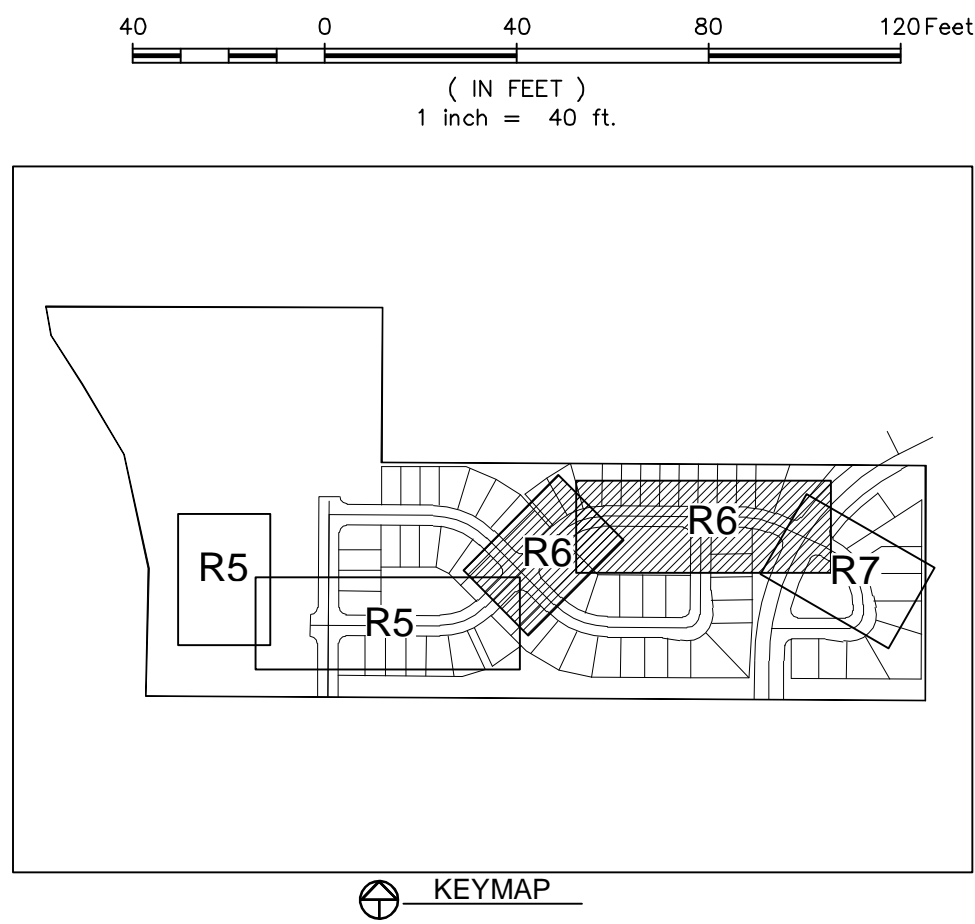
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PROJECT: 335-008
DESIGNED BY: S. Thomas
DRAWN BY: S. Thomas
SCALE: 1" = 40'
REVIEWED BY: N. Haws

Revisions:
No. _____

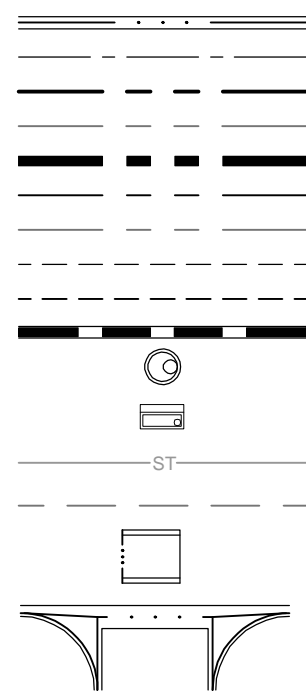
These drawings are instruments of service provided by Northern Engineering Services, Inc. for any and all purposes, for any type of construction, unless signed and sealed by the Engineer of Northern Engineering Services, Inc.

SEPTEMBER 8, 2014
NOT FOR CONSTRUCTION

811
Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
EXISTING RIGHT-OF-WAY
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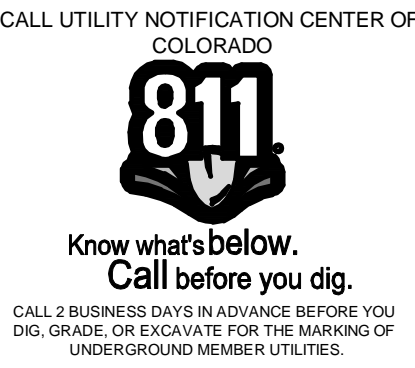
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MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO "X" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.

EXPANSION JOINTS SHALL BE PROVIDED IN ALL SIDEWALKS AT MAXIMUM SPACING OF 50 FEET.


LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.



City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	_____	_____
	City Engineer	Date
CHECKED BY:	_____	_____
	N/A	Date
	Water & Wastewater Utility	
CHECKED BY:	_____	_____
	Stormwater Utility	Date
CHECKED BY:	_____	_____
	Parks & Recreation	Date
CHECKED BY:	_____	_____
	Traffic Engineer	Date
CHECKED BY:	_____	_____
	Environmental Planner	Date

FOX GROVE DRIVE PLAN & PROFILE

Of 21 Sheets



PROJECT: 335-008	DATE: SEPTEMBER 8, 2014
DESIGNED BY: S. Thomas	SCALE: 1"=40'
DRAWN BY: S. Thomas	REVIEWED BY: N. Haws

Revisions: _____ By: _____ Date: _____

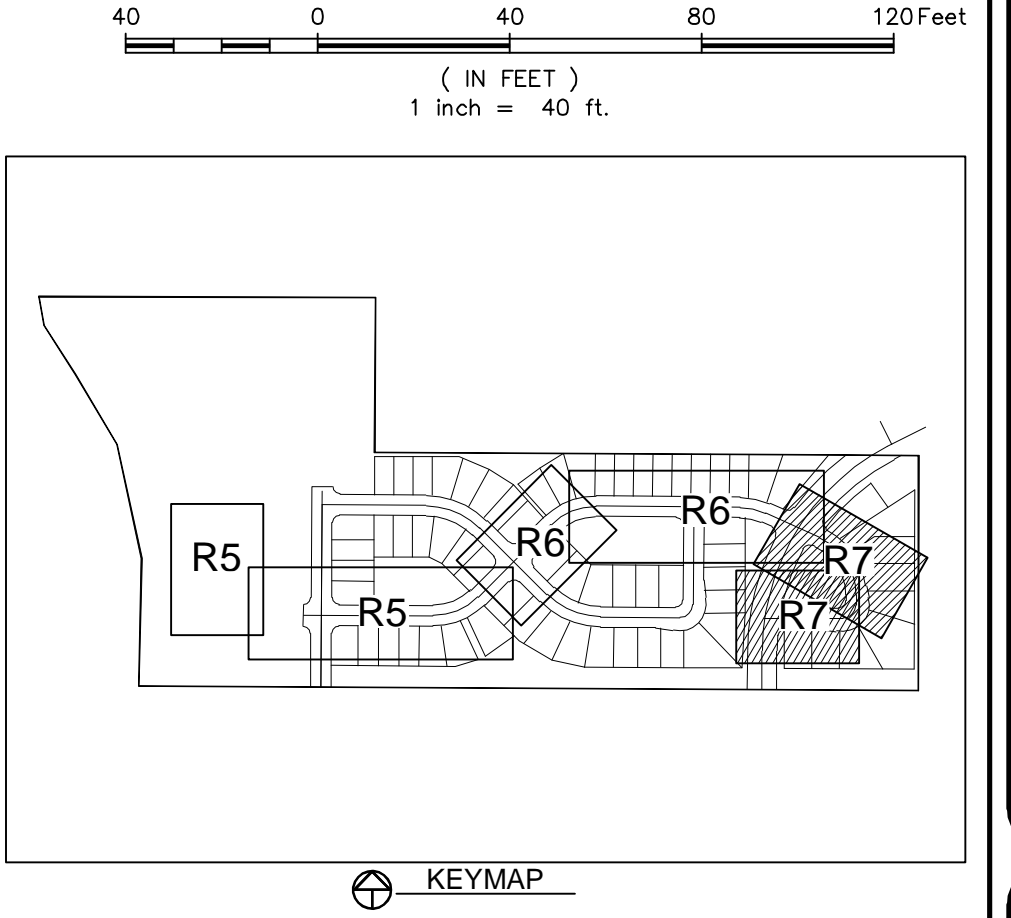
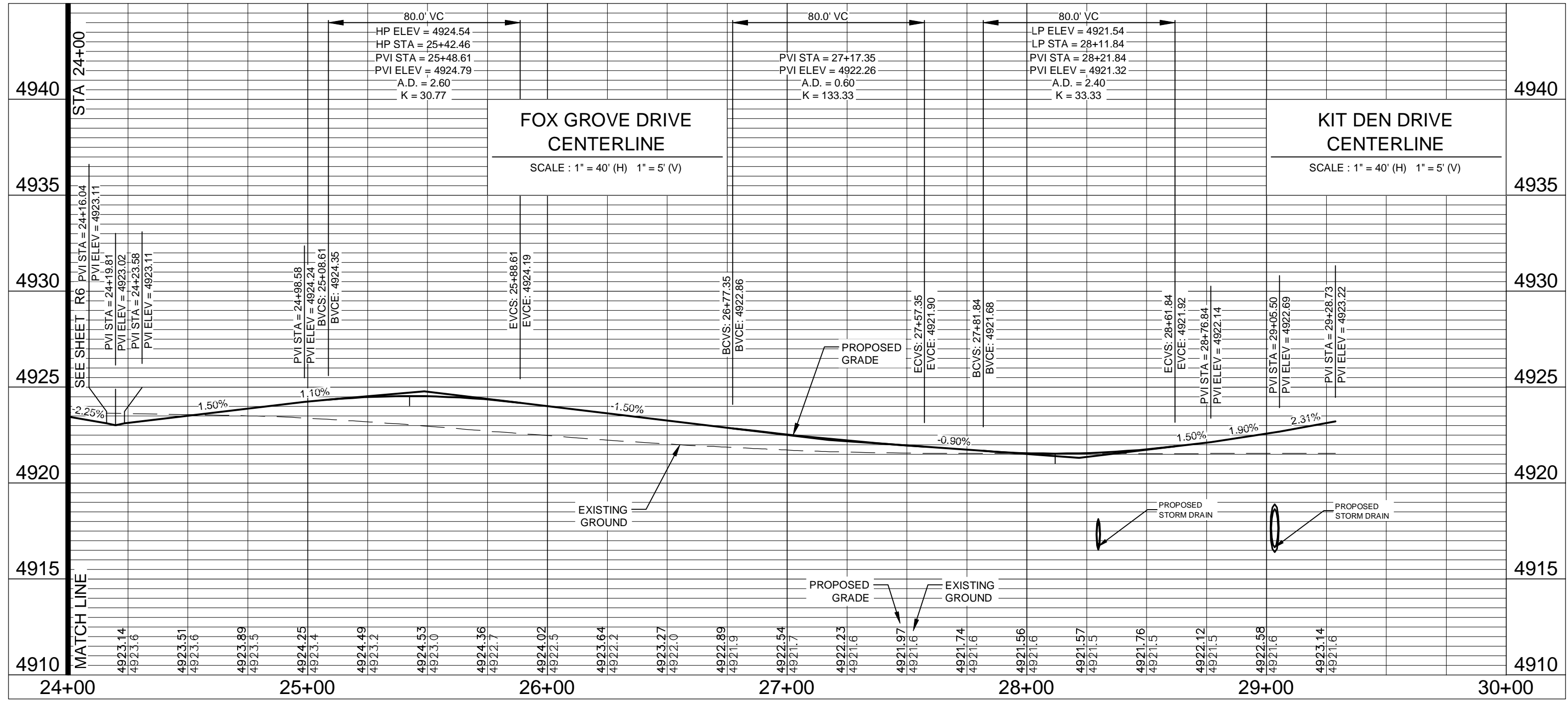
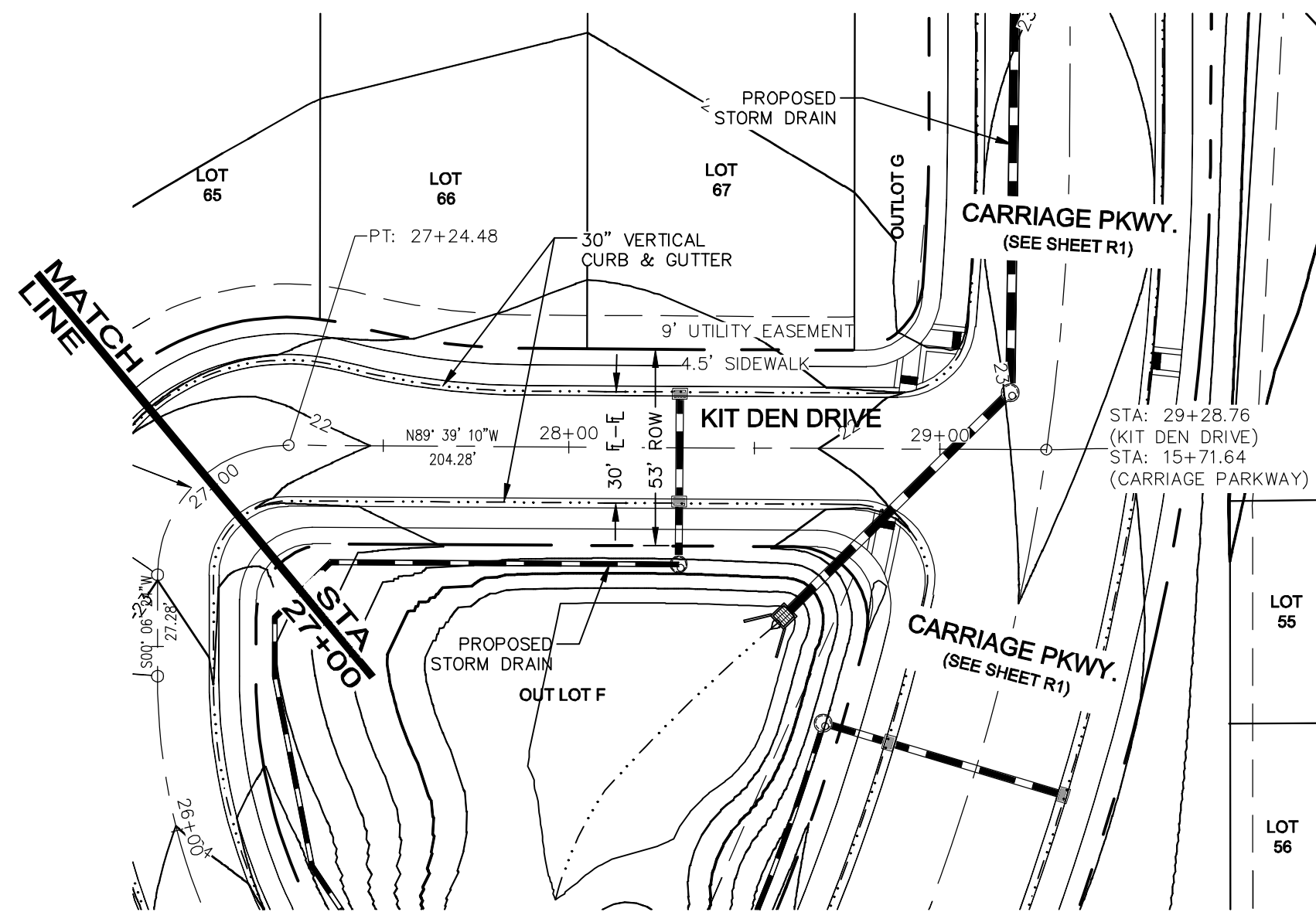
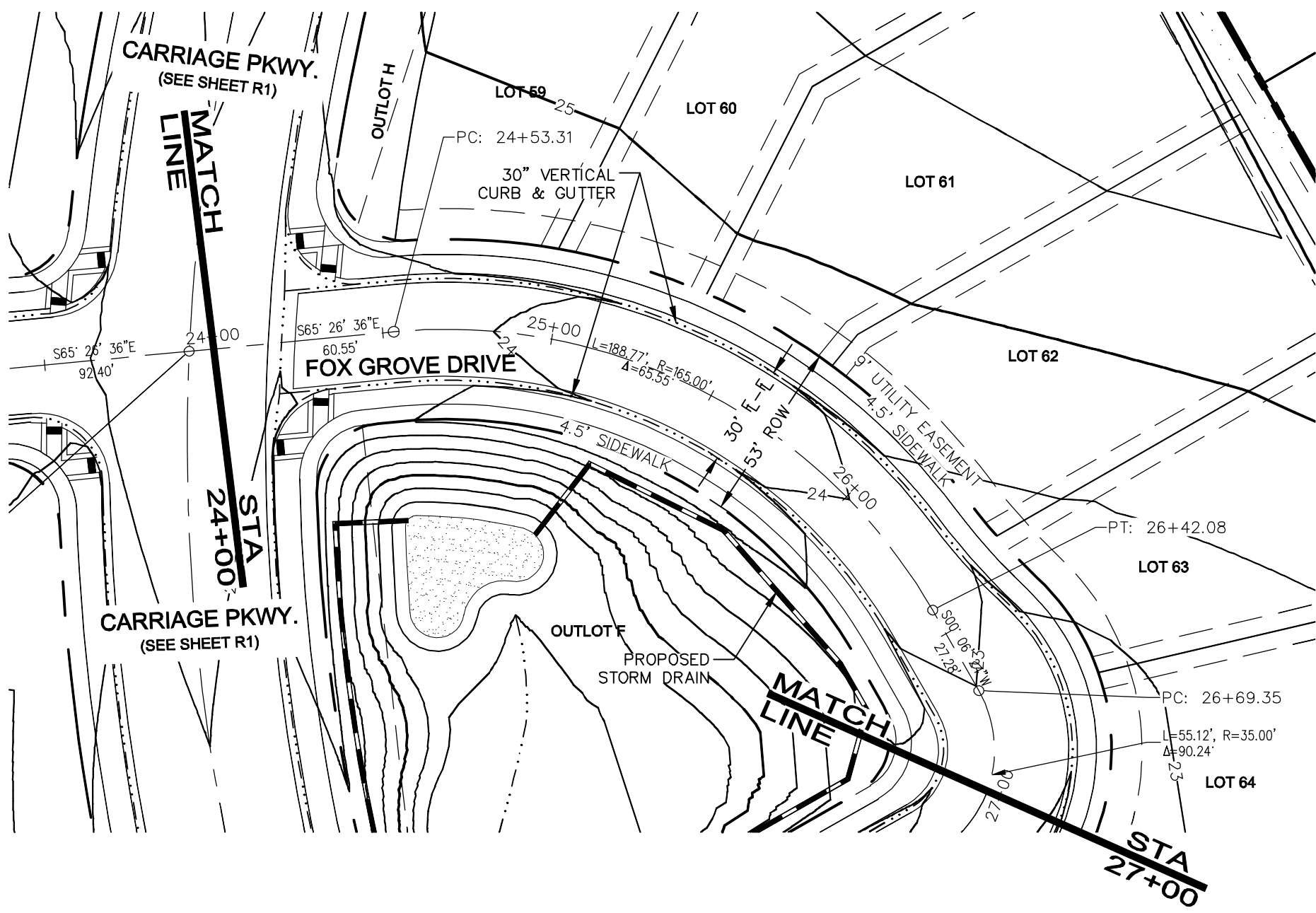
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NOT FOR CONSTRUCTION

NUMBER 8, 2014

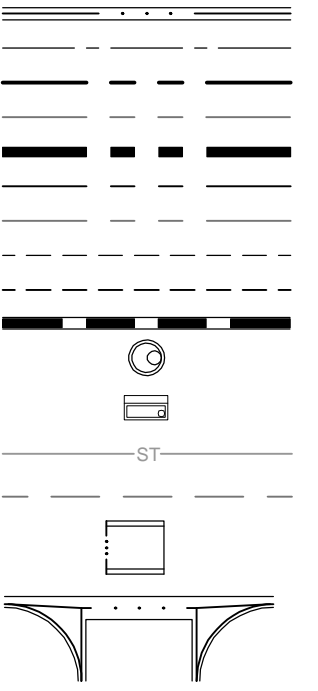
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DRAWING FILENAME: \\rodley\engineers\Projects\335-008\Draw\335-002_STREET-C.dwg LAYOUT NAME: R0 DATE: Sep 08, 2014 - 1:47pm CAD OPERATOR: stephnie



LEGEND:

PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
EXISTING RIGHT-OF-WAY
PROPERTY BOUNDARY
PROPOSED LOT LINE
EXISTING LOT LINE
EASEMENT LINE
SAWCUT LINE
PROPOSED STORM SEWER
PROPOSED STORM MANHOLE
PROPOSED STORM INLET
EXISTING STORM SEWER
EXISTING EDGE OF ASPHALT
PEDESTRIAN ACCESS RAMPS



NOTES:

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2. SEE SOILS REPORT FOR PAVEMENT AND SUBGRADE PREPARATION, DESIGN AND RECOMMENDATIONS.
3. MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIPS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
4. EXPANSION JOINTS SHALL BE PROVIDED IN ALL SIDEWALKS AT MAXIMUM SPACING OF 50 FEET.
5. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Fort Collins, Colo

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	<u>City Engineer</u>	<u>Date</u>
CHECKED BY:	<u>N/A</u>	<u>Date</u>
CHECKED BY:	<u>Water & Wastewater Utility</u>	<u>Date</u>
CHECKED BY:	<u>Stormwater Utility</u>	<u>Date</u>
CHECKED BY:	<u>Parks & Recreation</u>	<u>Date</u>
CHECKED BY:	<u>Traffic Engineer</u>	<u>Date</u>
CHECKED BY:	<u>Environmental Planner</u>	<u>Date</u>

FOX GROVE

FOX GROVE DRIVE & KIT DEN DRIVE PLAN & PROFILE

Sheet
R7

Of 21 Sheets)

**NORTHERN
ENGINEERING**

PHONE: 970.221.4158
www.northernengineering.com

301 N. Howes Street, Suite 10
Fort Collins, Colorado 80521

DATE: SEPTEMBER 8, 2014

SCALE: 1"=40'

N. Haws

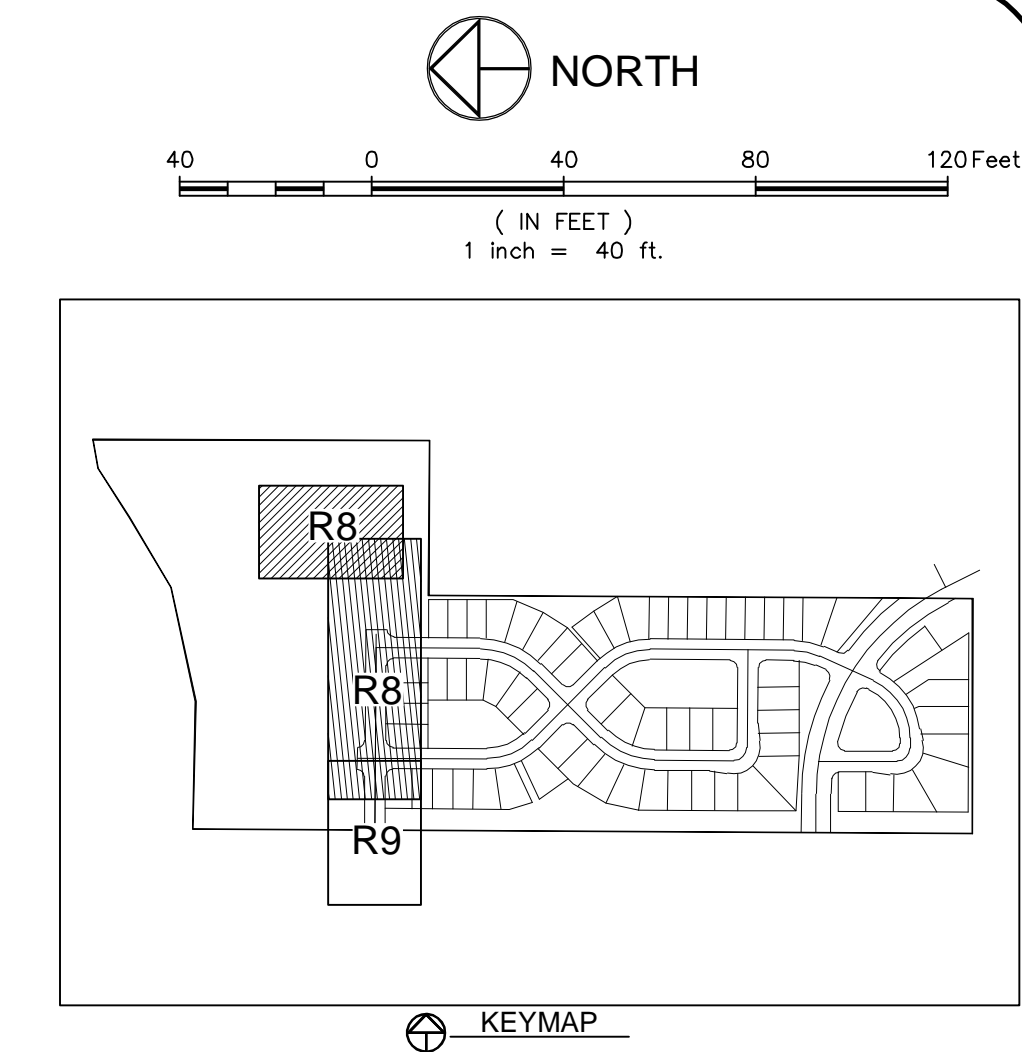
PROJECT:
335-008

DESIGNED BY
S. Thomas

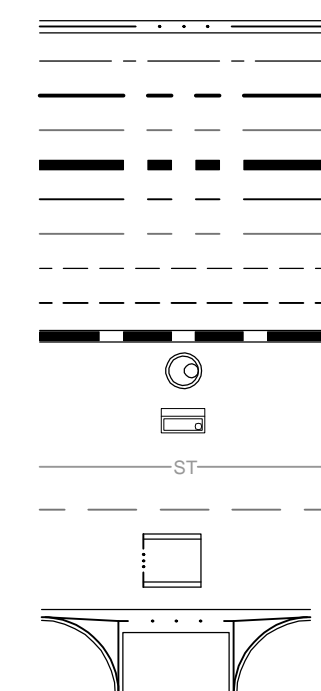
S. Thomas

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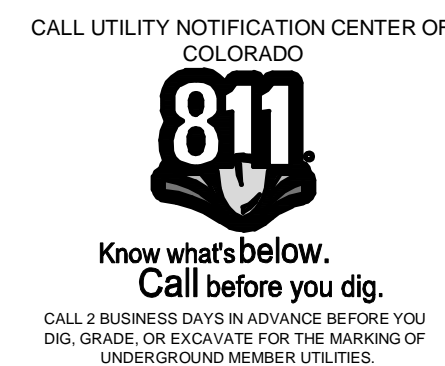
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PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
EXISTING RIGHT-OF-WAY
PROPERTY BOUNDARY
PROPOSED LOT LINE
EXISTING LOT LINE
EASEMENT LINE
SAWCUT LINE
PROPOSED STORM SEWER
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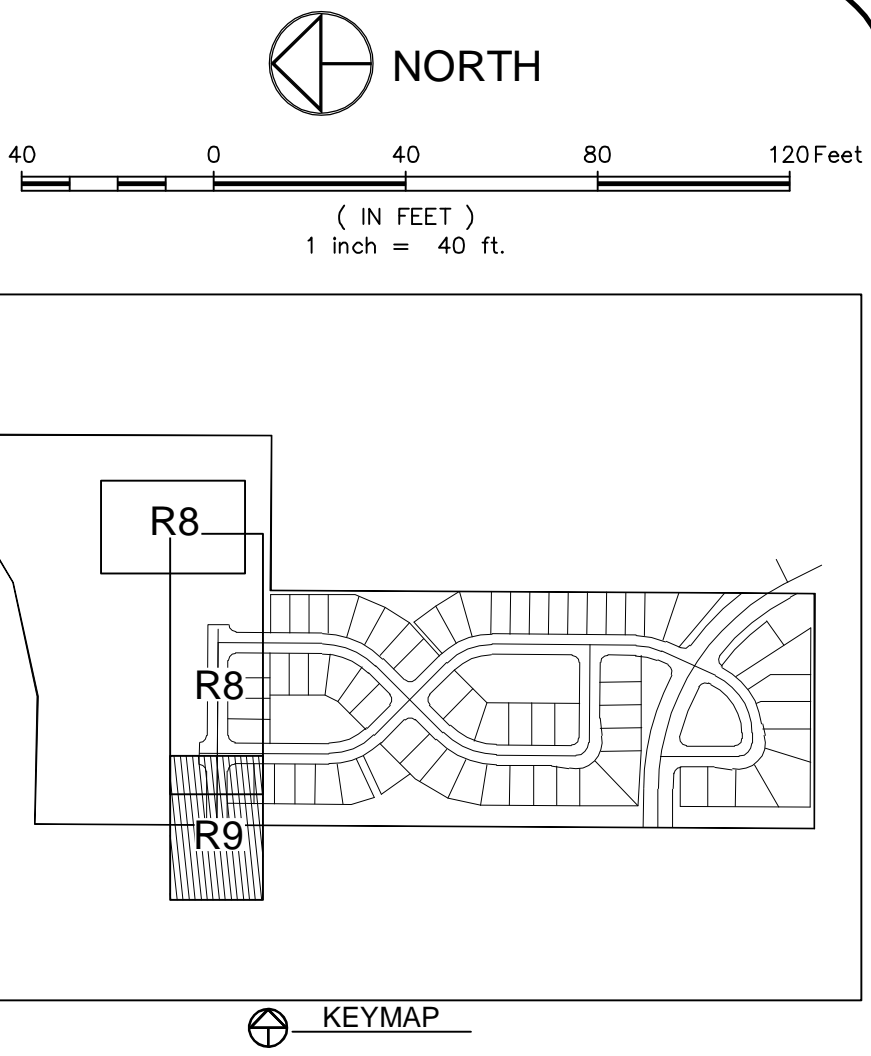
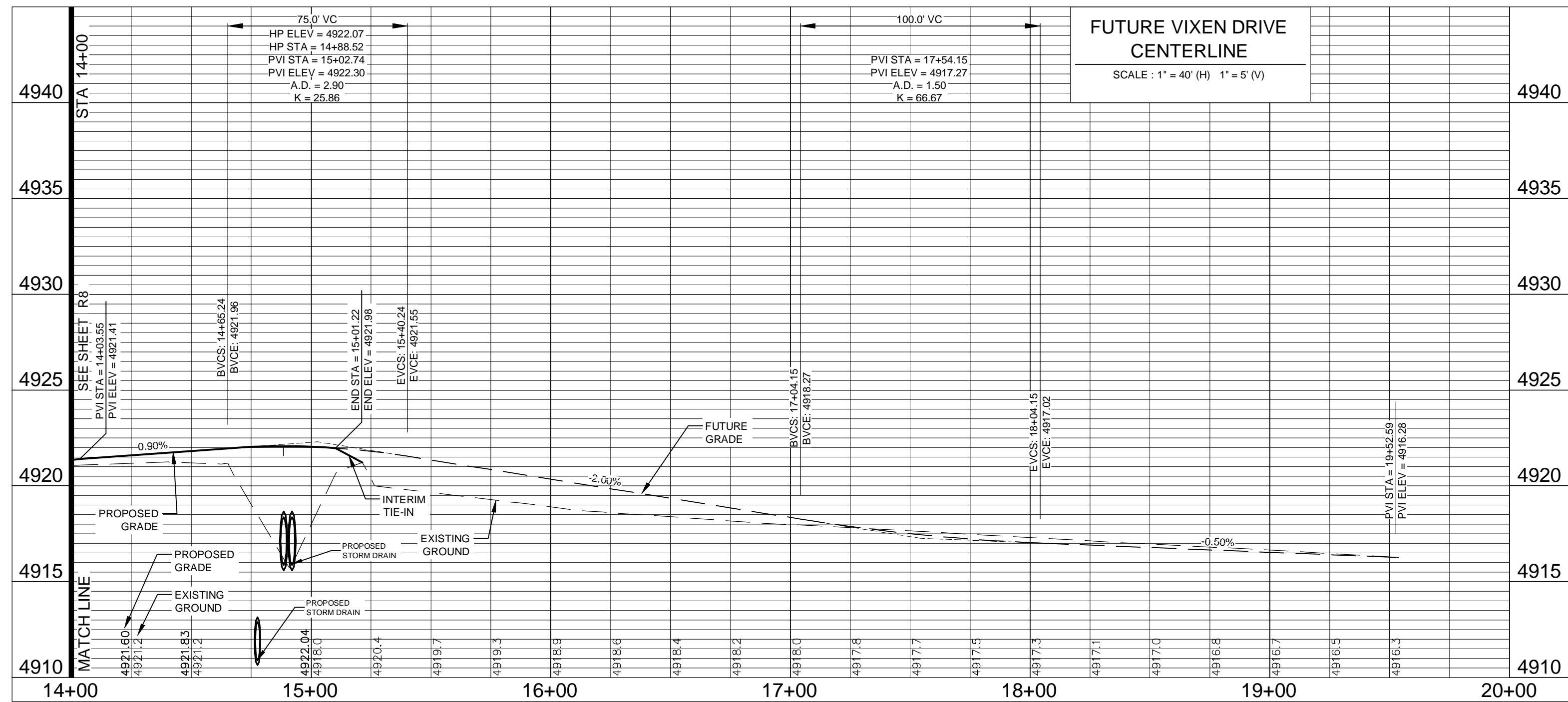
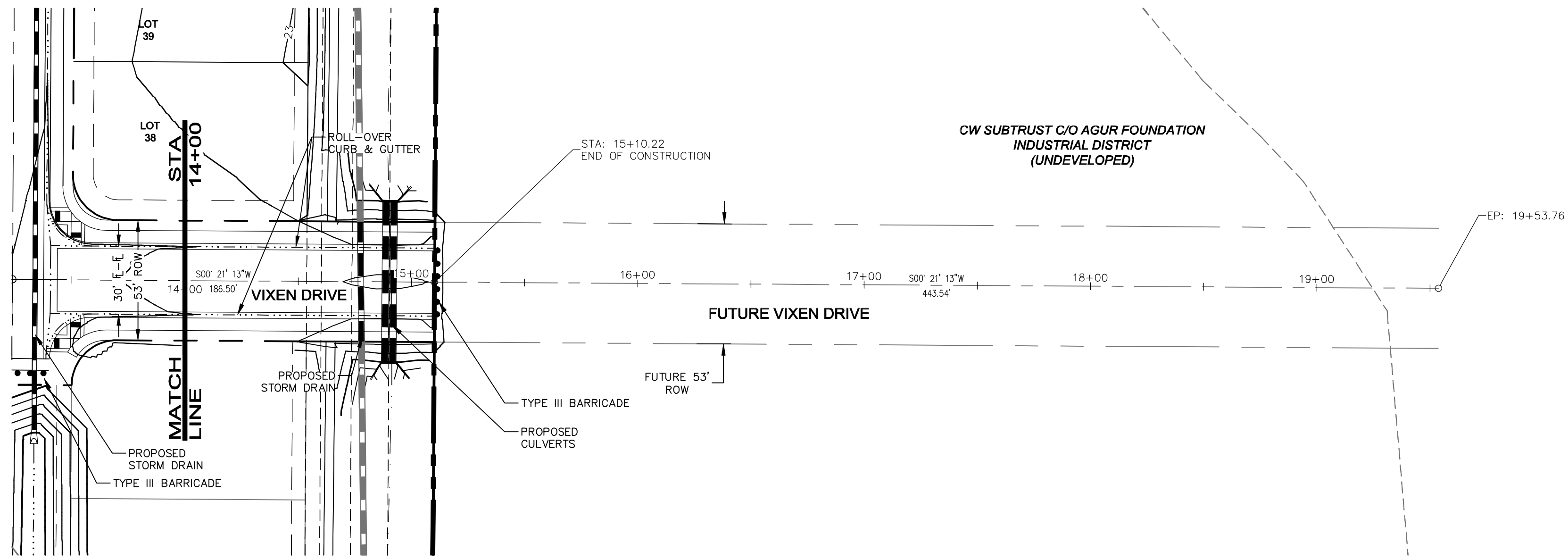
APPROVED: _____	City Engineer	_____	Date
CHECKED BY: _____	Water & Wastewater Utility	_____	Date
CHECKED BY: _____	Stormwater Utility	_____	Date
CHECKED BY: _____	Parks & Recreation	_____	Date
CHECKED BY: _____	Traffic Engineer	_____	Date
CHECKED BY: _____		_____	Date

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PROJECT: 335-008	DATE: SEPTEMBER 8, 2014
DESIGNED BY: S. Thomas	SCALE: 1"=40'
DRAWN BY: A. Boese	REVIEWED BY: N. Hows

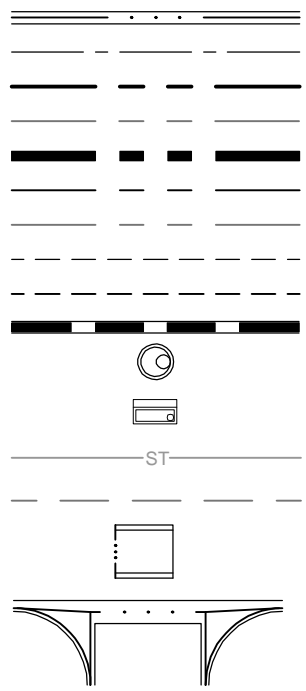
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R8
Of 21 Sheets

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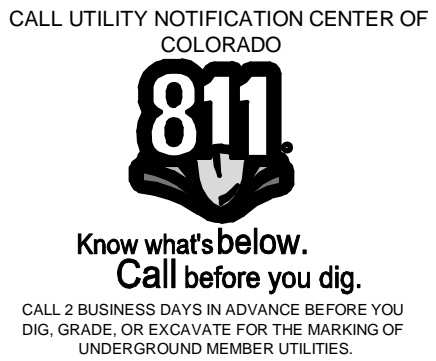
LEGEND:

PROPOSED CURB & GUTTER
PROPOSED CENTERLINE
PROPOSED RIGHT-OF-WAY
EXISTING RIGHT-OF-WAY
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED BY: _____	_____	_____
	City Engineer	Date
CHECKED BY: _____	_____	_____
	Water & Wastewater Utility	Date
CHECKED BY: _____	_____	_____
	Stormwater Utility	Date
CHECKED BY: _____	_____	_____
	Parks & Recreation	Date
CHECKED BY: _____	_____	_____
	Traffic Engineer	Date
CHECKED BY: _____	_____	_____
		Date

FOX GROVE

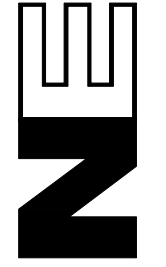
FUTURE VIXEN DRIVE PLAN AND PROFILE

Sheet
R9

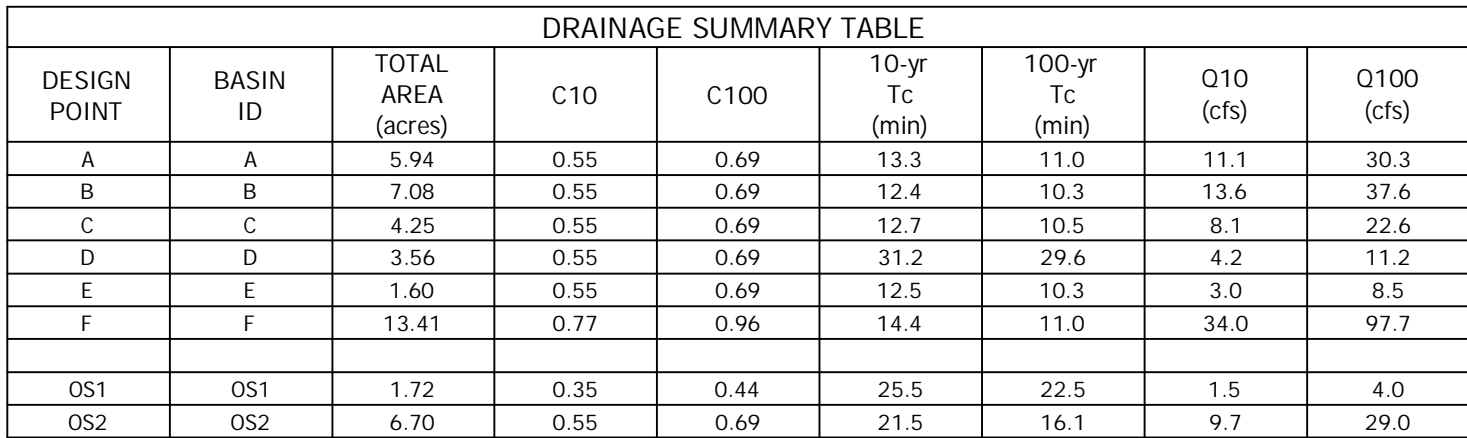
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No. _____ Revisions: _____ By: _____ Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
 SEPTEMBER 8, 2014

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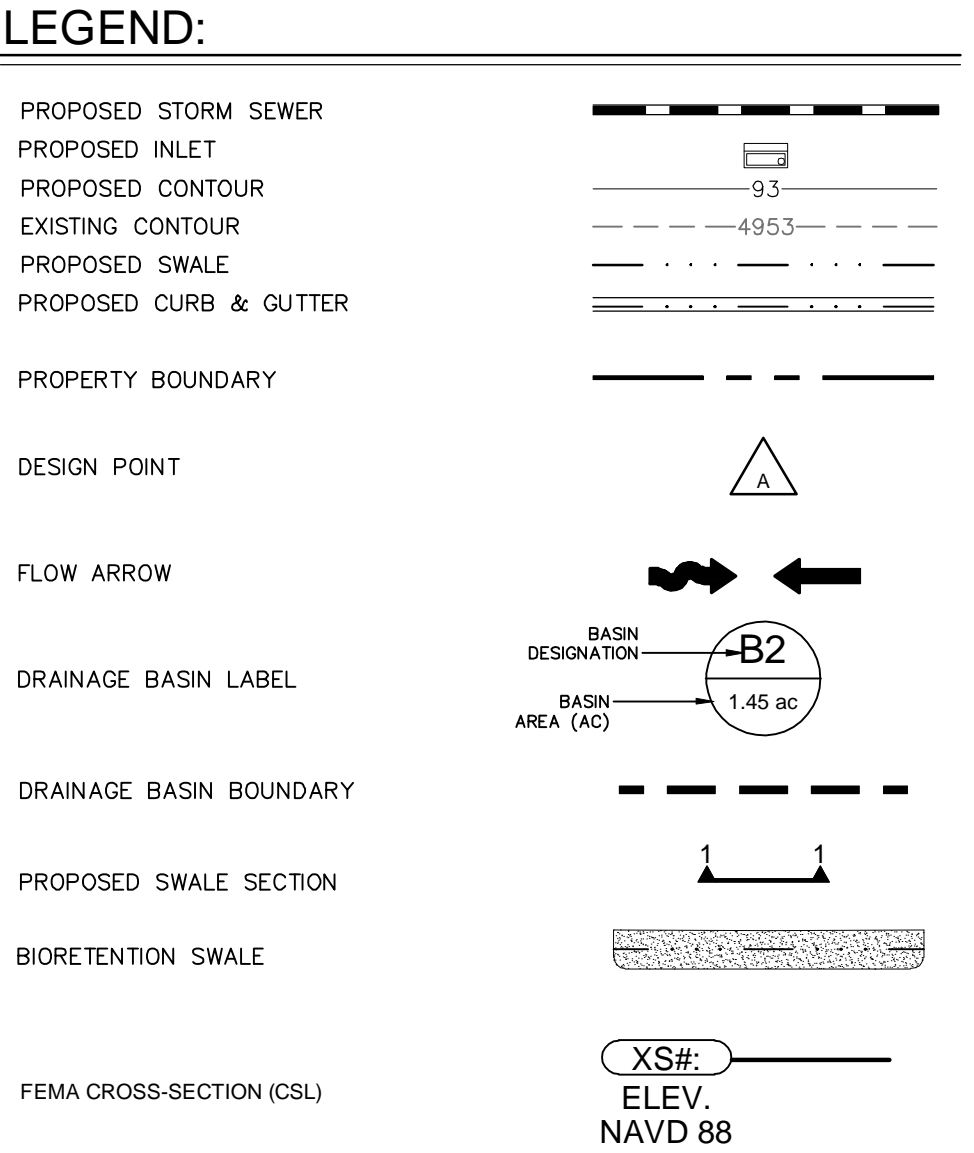
301 N. Howes Street, Suite 100
Fort Collins, Colorado 80521
PHONE: 970.221.4158
www.northernengineering.com




FORT COLLINS BENCHMARK 25-01: EAST SIDE OF THE EAST FRONTAGE ROAD OF I-25 APPROX. 0.5 MILES NORTH OF PROSPECT ROAD ON THE NORTH END OF A HEAD WALL TO AN IRRIGATION CANAL.
 NGVD29 UNADJUSTED=4918.41 (NAVD83=4921.60)
 FORT COLLINS BENCHMARK 25-01: SOUTH SIDE OF HIGHWAY 14 (EAST MULBERRY ST.), APPROX. 0.4 MILES WEST OF THE CENTERLINE OF I-25, ON THE BRIDGE PARAPET WALL, ON A BRASS CAP STAMPED "COLO. DEPT OF HIGHWAYS". (CITY OF FORT COLLINS DESIGNATION NOT STAMPED ON CAP).

Basis of Bearings
The Basis of Bearings is the South line of the Northwest Quarter, Section 15, Township 7 North, Range 68 West of the 6th P.M. as bearing South 89°38'50" East

1. FLOOD ZONE DESIGNATION: ACCORDING TO FEMA MAP NUMBER 08069G1003G, DATED MAY 2, 2012, A PORTION OF THIS TRACT OF LAND IS WITHIN A FLOOD DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA), AND IS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE (100-YEAR) FLOOD.
2. REFER TO FOX GROVE DRAINAGE REPORT DATED SEPTEMBER 3, 2013 FOR MORE INFORMATION REGARDING THE DRAINAGE PLAN.
3. PORTIONS OF THIS PROPERTY ARE LOCATED IN THE FEMA-REGULATORY 100-YR BOXELDER CREEK FLOODWAY AND HIGH-RISK FLOOD FRINGE, AND MUST COMPLY WITH THE FLOODPLAIN REQUIREMENTS OF CHAPTER 10 OF THE CITY OF FORT COLLINS MUNICIPAL CODE.
4. CONSTRUCTION OF NEW RESIDENTIAL STRUCTURES IS NOT ALLOWED IN THE FLOODWAY. RESIDENTIAL STRUCTURES ARE ALLOWED IN THE FLOOD FRINGE PROVIDED THAT THE DUCT WORK, HVAC, VENTILATION AND AIR CONDITIONING SYSTEMS, HOT WATER HEATER, ELECTRICAL AND THE LOWEST FLOOR OF THE BUILDING ARE A MINIMUM OF 18-INCHES ABOVE THE BASE FLOOD ELEVATION (BFE). THAT MINIMUM ELEVATION IS KNOWN AS THE REGULATORY FLOOD PROTECTION ELEVATION (RPFE). $RPFE = BFE + 18"$.
5. THE FLOOD FRINGE IS AN AO ZONE, MEANING THAT THE BFE'S HAVE NOT BEEN DETERMINED. SO THE BFE FOR EACH STRUCTURE WILL BE 2.0 FEET ABOVE THE HIGHEST ADJACENT GRADE (HAG), AND THE RPFE WILL BE $HAG + 3.5$ FEET; OR THIS AREA WILL HAVE TO BE MODELED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF COLORADO TO ESTABLISH BFE'S.
6. BASEMENTS MAY NOT BE CONSTRUCTED BELOW THE RPFE IN THE FLOOD FRINGE. CRAWL SPACES (IF USED RATHER THAN SLAB-ON-GRADE) MUST BE BUILT IN CONFORMANCE WITH SECTION 10.40 OF CITY OF FORT COLLINS MUNICIPAL CODE (THIS WILL INCLUDE VENTING, SUMP PUMPS, ETC.).
7. NONSTRUCTURAL DEVELOPMENT (FENCES, DETENTION PONDS, HARD SURFACE PATHS, FILL, DRIVEWAYS, PARKING AREAS, VEGETATION, ETC.) IS ALLOWED WITHIN THE 100-YEAR FLOODWAY AS LONG AS IT CAN BE PROVEN THAT THE DEVELOPMENT WILL NOT CAUSE A RISE IN THE BASE FLOOD ELEVATION (BFE) OR A CHANGE TO THE FLOODWAY OR FLOOD FRINGE BOUNDARIES. NONSTRUCTURAL DEVELOPMENT IS NOT RESTRICTED WITHIN THE FLOOD FRINGE.
8. ANY AND ALL CONSTRUCTION ACTIVITIES IN THE FLOODWAY OR FLOOD FRINGE MUST BE PRECEDED BY AN APPROVED FLOODPLAIN USE PERMIT. IF THE CONSTRUCTION IS IN THE FLOODWAY A NO-RISE CERTIFICATION MUST BE APPROVED PRIOR TO CONSTRUCTION.
9. FEMA CROSS-SECTIONS (CSL) ELEVATIONS ARE SHOWN BASED ON THE NAVD88 DATUM. FOX GROVE WAS DESIGNED ON NAVD29 DATUM. TO TRANSLATE FROM NAVD88 TO NAVD29 USE THE FOLLOWING EQUATION: $NAV088 - 3.19 = NAVD29$



CALL UTILITY NOTIFICATION CENTER OF
COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

APPROVED BY:	_____	_____	_____
	City Engineer		Date
CHECKED BY:	_____	_____	_____
	Water & Wastewater Utility		Date
CHECKED BY:	_____	_____	_____
	Stormwater Utility		Date
CHECKED BY:	_____	_____	_____
	Parks & Recreation		Date
CHECKED BY:	_____	_____	_____
	Traffic Engineer		Date
CHECKED BY:	_____	_____	_____
	Environmental Planner		Date

DRAINAGE PLAN

Of 21 Sheets

Revisions: _____ By: _____ Date: _____

REVIEW SET


NOT FOR CONSTRUCTION

SEPTEMBER 8, 2014

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WWW.NORTHERNEngineering.com



201 N. Howes Street, Suite 100
Fort Collins, Colorado 80521

DATE: SEPTEMBER 8, 2014
SCALE: 1"=100'
REVIEWED BY: N. Haws

PROJECT: 335-008	DESIGNED BY: S. Thomas	DRAWN BY: A. Cvar
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THE PLAN

FOX GR
AINAG

DR

Sheet
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Of 21 Sheets

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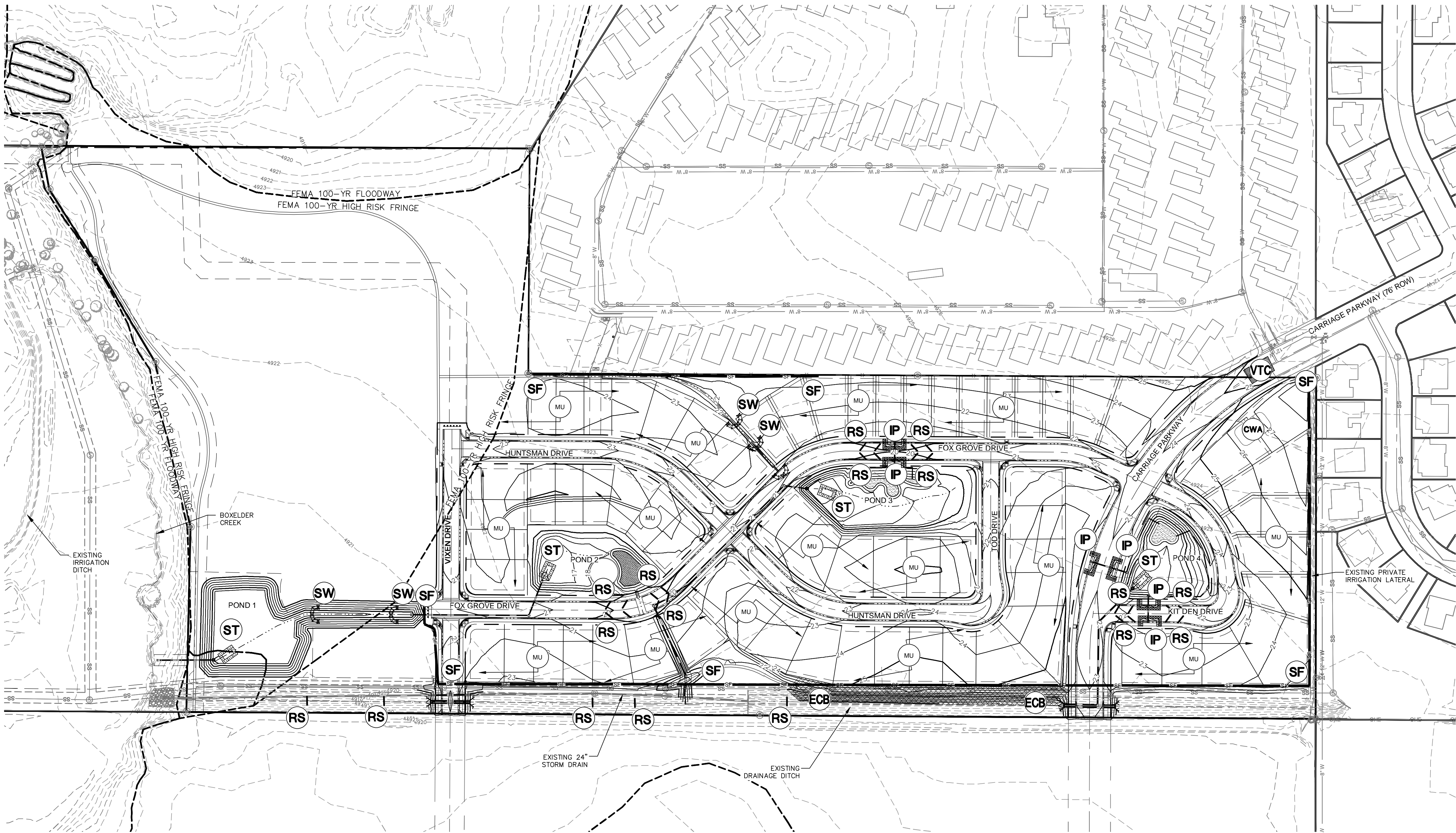
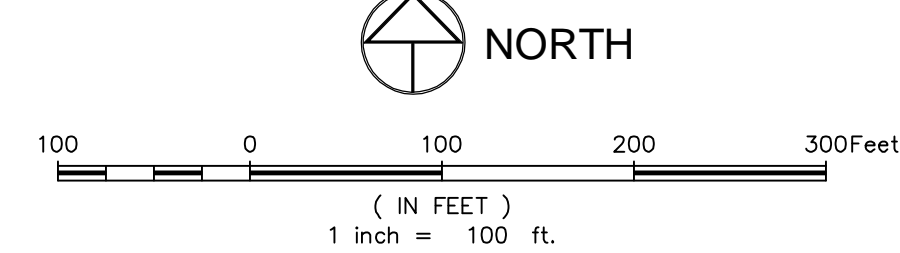
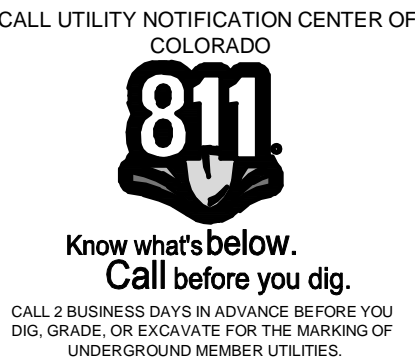


TABLE OF CONSTRUCTION SEQUENCE AND BMP APPLICATION

Project: Fox Grove				
CONSTRUCTION PHASE	PHASE I	PHASE II	PHASE III	PHASE IV
Grading (Include Offsite)				
Overlot				
Pipeline Installation				
Stormwater				
Sewer Service				
Water Service				
Concrete Installation				
Site Walls				
Building Structure				
Curb and Gutter				
Miscellaneous				
Hardscape Amenities				
BEST MANAGEMENT PRACTICES				
Temporary				
Inlet Protection (IP)				
Vehicle Tracking Control (VTC)				
Flow Barriers (Bales, Wattles, etc.) (WD)				
Concrete Washout Area (CWA)				
Preventative Maintenance Activities/Meetings/etc.				
Silt Fence (SF)				
Permanent				
Mulching/Sealant				
Permanent Seed Planting				

EROSION CONTROL NOTES:

- IT SHOULD BE NOTED THAT ANY EROSION CONTROL PLAN SERVES ONLY AS A GUIDELINE TO THE CONTRACTOR. STAGING AND/OR PHASING OF BEST MANAGEMENT PRACTICES (BMPs) IS EXPECTED. ADDITIONAL AND/OR DIFFERENT BMPs FROM THOSE ORIGINALLY DEPICTED MAY BE NECESSARY DURING CONSTRUCTION DUE TO CHANGING SITE CONDITIONS OR AS REQUIRED BY LOCAL AUTHORITIES.
- THIS EROSION CONTROL PLAN IS SCHEMATIC IN NATURE. AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE, NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING (CITY, STATE DISCHARGE PERMIT, ETC.) AND COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (OR PERMIT HOLDER) TO ENSURE EROSION CONTROL MEASURES ARE PROPERLY MAINTAINED AND FOLLOWED.
- CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION CONTROL MEASURES ACCORDING TO THE CONSTRUCTION SEQUENCING AND LEVEL OF SITE STABILIZATION.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR ALL STORM DRAINS, SWALES, PONDS AND RAIN GARDENS UNTIL SITE IS FULLY STABILIZED.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE INLET PROTECTION FOR DOWNSPOUT CONNECTIONS, TO THE STORM DRAIN SYSTEM, UNTIL CONNECTION IS ESTABLISHED WITH DOWNSPOUT.
- INLET PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (I.E., STAKE-DRIVEN WATTLES FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT, ETC.)
- CONTRACTOR IS RESPONSIBLE FOR STABILIZING ALL SLOPES, PARTICULARLY THOSE STEEPER THAN 8:1. CRIMP MULCHING, HYDRO MULCHING, EROSION MATS, TEMPORARY IRRIGATION, AND ADDITIONAL WATTLES OR SILT FENCING MAY BE NECESSARY TO ESTABLISH VEGETATIVE COVER AND STABILIZE THE SLOPE.
- ADDITIONAL WATTLES, SILT FENCE, OR OTHER MEASURES, MAY BE NECESSARY TO INSURE THAT EACH BUILDING PAD IS STABILIZED THROUGHOUT CONSTRUCTION. AT NO TIME SHALL SEDIMENT BE ALLOWED TO CROSS THE PUBLIC SIDEWALKS.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE PERIMETER PROTECTION FOR AREAS DIRECTING DRAINAGE OFFSITE. PERIMETER PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (I.E., STAKE-DRIVEN SEDIMENT CONTROL LOGS OR SILT FENCE FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT, ETC.)
- FUELING FACILITIES SHALL BE LOCATED AT LEAST ONE HUNDRED (100) FEET FROM NATURAL BODY OF WATER, WETLAND, NATURAL DRAINAGE WAY OR MANMADE DRAINAGE WAY. THE FUEL TANKS AND FUELING AREA MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW A FUEL SPILL TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY.
- CONSTRUCTION WASTE STORAGE (DUMPSTERS) AND PORTABLE SANITATION UNITS (CONSTRUCTION TOILETS) SHALL BE LOCATED AT LEAST FIFTY (50) FEET FROM ANY STORMWATER INLET, WETLAND, OR DRAINAGE WAY. SAID FACILITIES MUST BE SET IN A CONTAINMENT AREA THAT WILL NOT ALLOW POLLUTANTS TO DIRECTLY FLOW, SEEP, RUN OFF, OR BE WASHED INTO A BODY OF WATER, WETLAND OR DRAINAGE WAY. DUMPSTERS SHALL BE LOCATED ON FLAT, STABLE GROUND, AND CONSTRUCTION TOILETS SHALL BE STAKED DOWN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WILL COOPERATE WITH THE CITY'S CONSTRUCTION INSPECTORS BY CEASING OPERATIONS WHEN WINDS ARE OF SUFFICIENT VELOCITY TO CREATE BLOWING DUST WHICH, IN THE INSPECTOR'S OPINION, IS HAZARDOUS TO THE PUBLIC HEALTH AND WELFARE.
- WHERE SEASONAL CONSTRAINTS (E.G., DURING SUMMER AND WINTER MONTHS) INHIBIT PERMANENT SEEDING OPERATIONS, DISTURBED AREAS WILL BE TREATED WITH MULCH AND MULCH TACKIFIER OR OTHER MATERIALS APPROVED BY EROSION CONTROL STAFF TO PREVENT EROSION.
- SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON PLANTING, REVEGETATION, HARDSCAPE AND OTHER PERMANENT SITE STABILIZATION METHODS.



LEGEND:

EXISTING STORM SEWER	ST
PROPOSED STORM SEWER	---
PROPOSED STORM INLET	IP
PROPOSED CONTOUR	-93-
EXISTING CONTOUR	-501.3-
PROPOSED SWALE	---
PROPOSED CURB & GUTTER	---
PROPERTY BOUNDARY	---
PEDESTRIAN ACCESS RAMPS	---
PROPOSED CONCRETE CROSS PAN (TYP.)	---
SILT FENCE	SF
INLET PROTECTION	IP
WATTLE PROTECTION	W
SEDIMENT TRAP	ST
ROCK SOCK	RS
VEHICLE TRACKING PAD	VTC
CONCRETE WASHOUT AREA	CWA
MULCH	MU
EROSION CONTROL BLANKET	ECB

NOTE: ALL BMP'S SHOWN ON THIS PLAN ARE GRAPHIC REPRESENTATIONS ONLY. FINAL DETERMINATION OF SIZE AND LOCATION SHALL BE DETERMINED BY THE CONTRACTOR AND DOCUMENTED ON THE DYNAMIC SITE PLAN.

FIELD SURVEY BY:

Northern Engineering Services, Inc.
Project No. 335-008
Date: December 26, 2012

BENCHMARKS:

FORT COLLINS BENCHMARK 25-01: EAST SIDE OF THE EAST FRONTAGE ROAD OF I-25 APPROX. 0.5 MILES NORTH OF PROSPECT ROAD ON THE NORTH END OF A HEAD WALL TO AN IRRIGATION CANAL.

NGVD29 UNADJUSTED=4918.41 (NAVD88=4921.60)

FORT COLLINS BENCHMARK 26-01: SOUTH SIDE OF HIGHWAY 14 (EAST MULBERRY ST.), APPROX. 0.4 MILES EAST OF THE CENTERLINE OF I-25, ON THE BRIDGE PARAPET WALL, ON A BRASS CAP STAMPED 'COLORADO DEPT OF HIGHWAYS'. (CITY OF FORT COLLINS DESIGNATION NOT STAMPED ON CAP).

NGVD29 UNADJUSTED=4937.26 (NAVD88=4940.45)

GENERAL NOTES:

- CONTRACTOR SHALL IMMEDIATELY STABILIZE ALL DISTURBED SLOPES BY CRIMP MULCHING OR SIMILAR METHODS (AS APPLICABLE).
- TOTAL DISTURBED AREA = 19.63 ACRES
- SWMP ADMINISTRATOR:
Contact _____
Company _____
Address _____
Phone _____
- CONTRACTOR TO PROVIDE VEHICLE TRACKING CONTROL FOR CONCRETE WASHOUT AREA IF ACCESS IS OFF PAVEMENT.
- SEE "GRADING & EROSION CONTROL NOTES" ON SHEET CS2 OF THE UTILITY PLAN SET FOR FOX GROVE PREPARED BY NORTHERN ENGINEERING DATED AUGUST 6, 2014 FOR ADDITIONAL INFORMATION.

City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: _____	City Engineer _____ Date _____
CHECKED BY: _____	Water & Wastewater Utility _____ Date _____
CHECKED BY: _____	Stormwater Utility _____ Date _____
CHECKED BY: _____	Parks & Recreation _____ Date _____
CHECKED BY: _____	Traffic Engineer _____ Date _____
CHECKED BY: _____	Environmental Planner _____ Date _____

Revisions:
No. _____
Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
SEPTEMBER 6, 2014

These drawings are instruments of service provided by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the employee of Northern Engineering Services, Inc.

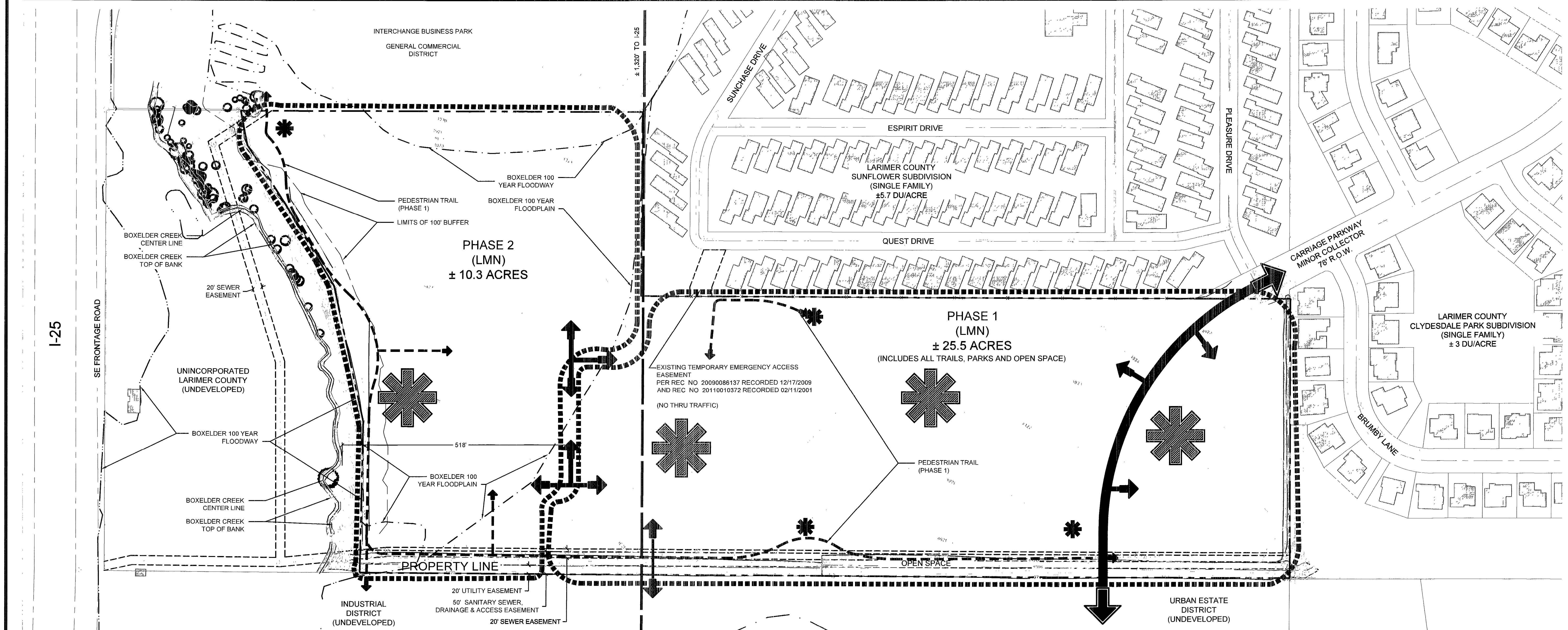
NORTHERN
ENGINEERING

301 N. Jewell Street, Suite 100
Fort Collins, Colorado 80521
PHONE: 970.221.4158
www.northernengineering.com

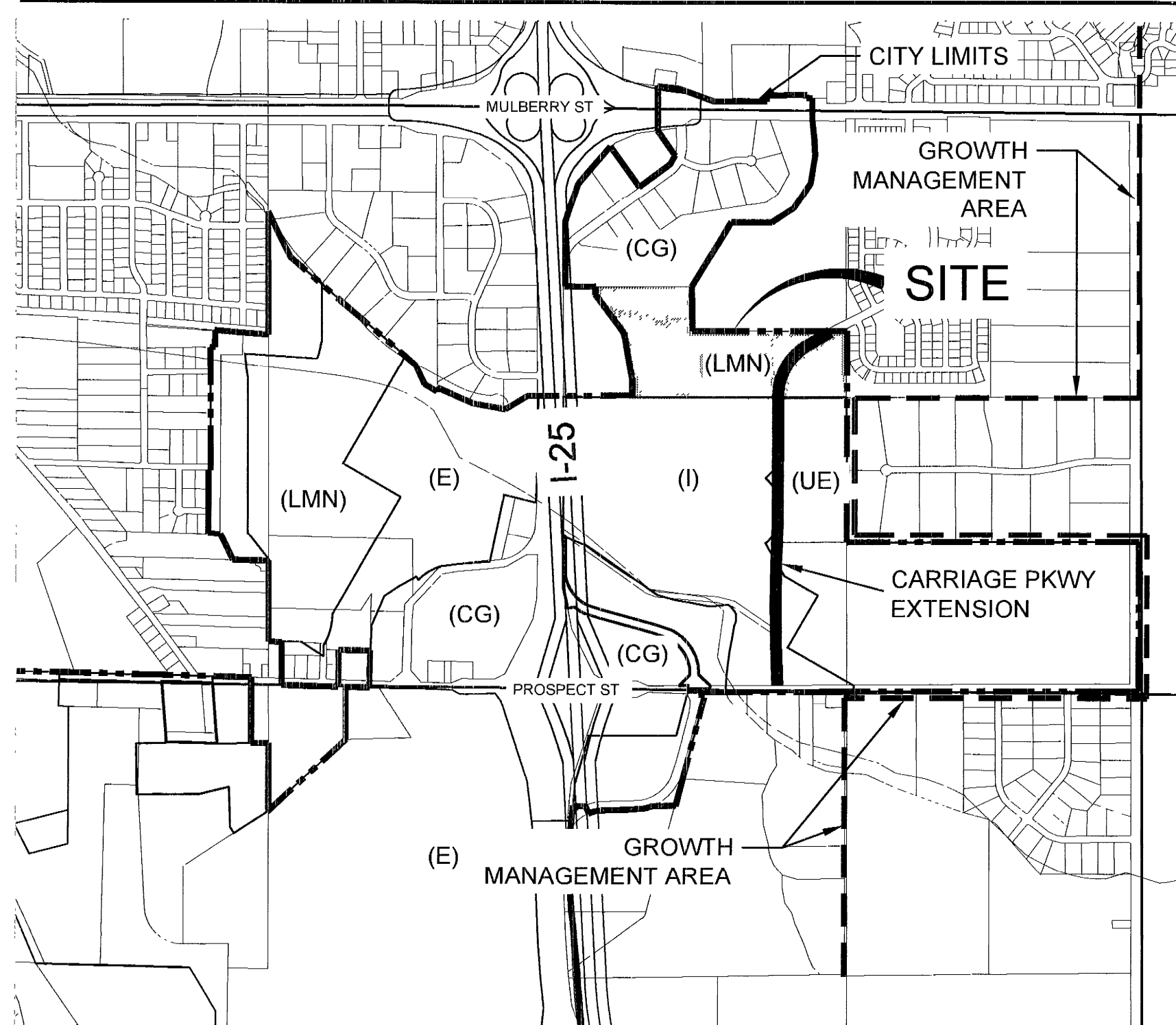
PROJECT:	335-008
DATE:	SEPTEMBER 6, 2014
DESIGNED BY:	S. Thomas
SCALE:	1"=100'
REVIEWED BY:	N. Haws
DRAWN BY:	A. Carr

FOX GROVE
EROSION CONTROL PLAN
STATIC SITE PLAN

Sheet
EC1
Of 21 Sheets



VICINITY MAP



LAND USE TABLE*

PHASE 1	AREA (ACRES)	% OF TOTAL AREA
PHASE 1 (LMN)	18.9	52%
SMALL NEIGHBORHOOD PARKS	3.8	11%
OPEN SPACE	2.8	8%
PHASE 2		
PHASE 2 (LMN)	7.1	20%
OPEN SPACE	3.2	9%
TOTAL GROSS AREA COVERAGE	35.8	100%
PHASE 1	DWELLING UNITS	
SINGLE FAMILY DETACHED	66	
PHASE 2	DWELLING UNITS	
SINGLE FAMILY DETACHED	49	
TOTAL	115	
* QUANTITIES ARE AN ESTIMATE BASED ON CONCEPTUAL SITE PLAN DESIGN. THEY ARE SUBJECT TO CHANGE DURING THE PDP PROCESS.		

LEGEND

	BOXELDER 100 YEAR FLOODPLAIN
	BOXELDER 100 YEAR FLOODWAY
	ODP BOUNDARY
	PHASE BOUNDARIES
	COLLECTOR STREET
	POINT OF ACCESS FOR LOCAL AND COLLECTOR STREETS
	EXISTING TREES
	PEDESTRIAN AND BICYCLE ROUTES
	EXISTING BUILDINGS
	PRIMARY AND SECONDARY POCKET PARKS / OPEN SPACE / DETENTION

NOTES

- THE PURPOSE OF THE OVERALL DEVELOPMENT PLAN IS TO ESTABLISH GENERAL PLANNING AND DEVELOPMENT CONTROL PARAMETERS, FOR PROJECTS THAT WILL BE DEVELOPED IN PHASES WITH MULTIPLE SUBMITTALS, WHILE ALLOWING SUFFICIENT FLEXIBILITY TO PERMIT DETAILED PLANNING IN SUBSEQUENT SUBMITTALS. APPROVAL OF AN OVERALL DEVELOPMENT PLAN DOES NOT ESTABLISH ANY VESTED RIGHT TO DEVELOP PROPERTY IN ACCORDANCE WITH THE PLAN.
- MODIFICATIONS TO THE LAND USE CODE FOR DENSITY, HOUSING TYPES, AND SINGLE FAMILY HOME DISTANCE TO I-25, HAVE BEEN APPROVED WITH THIS ODP.
- THE 100' BUFFER LINE FROM BOXELDER CREEK IS A ROUGH ESTIMATE ONLY. THE BUFFER ZONE SHOWN MAY BE ENLARGED OR REDUCED BY THE DECISION MAKERS DURING THE PDP PROCESS. REFERENCE SECTION 2.3.2(H)(3)(5) PLEASE SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE NATURAL HABITATS BUFFER ZONE.
- AT THE TIME OF THIS ODP, THE DRAINAGE BASIN MASTER PLAN HAD NOT BEEN UPDATED FOR THIS DRAINAGE BASIN. THEREFORE, FEMA FLOODPLAIN AND FLOODWAY LOCATIONS ARE SUBJECT TO CHANGE. ANY DEVELOPMENT WITHIN THE FLOODPLAIN OR FLOODWAY SHALL COMPLY WITH ALL FLOODPLAIN REGULATIONS AT THE TIME OF THE PDP.
- PORTIONS OF THIS PROPERTY ARE LOCATED IN THE FEMA-REGULATORY 100-YEAR BOXELDER CREEK FLOODWAY AND HIGH-RISK FLOOD FRINGE.
- ALL DEVELOPMENT WITHIN THE FLOODPLAIN MUST COMPLY WITH THE FLOODPLAIN REGULATIONS OF CHAPTER 10 OF CITY OF FORT COLLINS MUNICIPAL CODE.
- CONSTRUCTION OF RESIDENTIAL STRUCTURES IS NOT ALLOWED IN THE 100-YEAR FLOODWAY.
- RESIDENTIAL STRUCTURES ARE ALLOWED IN THE 100-YEAR FLOOD FRINGE PROVIDED THEY MEET ALL ELEVATION REQUIREMENTS OF CHAPTER 10 OF CITY MUNICIPAL CODE.
- NON-STRUCTURAL DEVELOPMENT (FENCES, DETENTION PONDS, HARD SURFACE PATHS, FILL DRIVEWAYS, PARKING AREAS, VEGETATION ETC.) IS ALLOWED WITHIN THE 100-YEAR FLOODWAY PROVIDED THE DEVELOPMENT WILL NOT CAUSE A RISE IN THE BASE FLOOD ELEVATION OR CHANGE OR A CHANGE TO THE FLOODWAY OF FLOODWAY FRINGE BOUNDARIES. NON-STRUCTURAL DEVELOPMENT IS NOT RESTRICTED IN THE FLOOD FRINGE.
- FIRE HYDRANTS WILL BE PROVIDED AS REQUIRED BY Poudre Fire Authority STANDARDS.
- WATER AND WASTEWATER SERVICES ARE PROVIDED BY ELCO WATER DISTRICT AND BOXELDER SANITATION DISTRICT.
- ALL PUBLIC STREETS WILL BE DESIGNED TO MEET OR EXCEED CITY STANDARDS UNLESS VARIANCES ARE GRANTED TO ALLOW A REDUCTION IN CITY STANDARDS. EXACT LOCATION OF ACCESS POINTS AND CERTAIN STREET ALIGNMENTS WILL BE DETERMINED WITH THE SUBMITTAL AND REVIEW OF PDP.
- THE PROPOSED BOUNDARY CONNECTIONS WILL CONFORM TO MINIMUM STREET ACCESS REQUIREMENTS UNLESS MODIFICATIONS, ALTERNATIVE COMPLIANCE AND OR VARIANCES ARE APPROVED. FURTHER INTERNAL CONNECTIONS TO MAJOR COLLECTOR STREETS, MINOR COLLECTOR STREETS, AND CONNECTOR STREETS SHALL BE REVIEWED IN ACCORDANCE WITH THE LAND USE CODE SECTION 3.6.3 AT THE TIME OF THE PROJECT DEVELOPMENT PLAN. ACCESS POINTS ARE SUBJECT TO ADJUSTMENTS AT TIME OF PDP.

- ALL PARKS AND COMMON OPEN SPACE AREAS SHALL BE MAINTAINED BY THE DEVELOPER AND/OR HOMEOWNER'S ASSOCIATION, OR ASSIGNS, UNLESS OTHERWISE ACCEPTED BY THE CITY OF FORT COLLINS FOR MAINTENANCE.

LEGAL DESCRIPTION

LOT 2, LEE M.L.D. NO. 04-S2309, LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

Lester Kaplan June 16, 14
OWNER (SIGNED)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
THIS 16 DAY OF June A.D. 20 14 BY
Lester Kaplan
MY COMMISSION EXPIRES
7-16-16

WITNESS MY HAND AND OFFICIAL SEAL
[Signature]
401 W. Mountain Ave
Fort Collins, CO 80524
970 221 4158

PLANNING & ZONING CERTIFICATE

APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF FORT COLLINS, COLORADO
ON THIS 18 DAY OF June, 20 14

[Signature]
SECRETARY OF THE PLANNING AND ZONING BOARD

SEAL

IN ASSOCIATION WITH:

DEVELOPER / APPLICANT

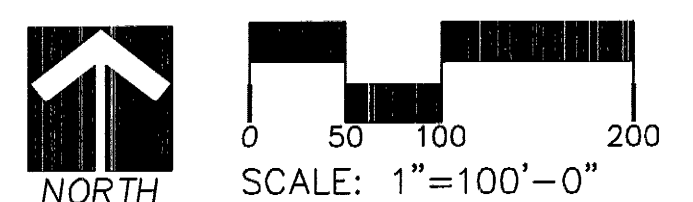
IMAGO ENTERPRISES INC
LESTER KAPLAN
140 PALMER DR
FORT COLLINS, CO 80525
970 226 6819

SITE ENGINEER AND SURVEYOR

NORTHERN ENGINEERING
NICK HAWES, PE, LEED AP
200 S. COLLEGE AVE. SUITE 100
FORT COLLINS, CO 80524
970 221 4158

TRAFFIC

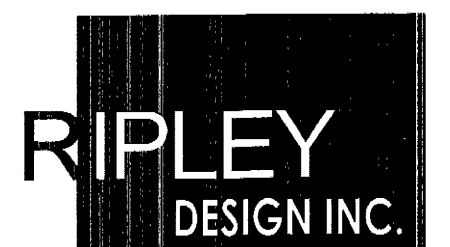
ELB ENGINEERING, LLC
ERIC L. BRACKE, P.E., P.T.O.E.
5401 TAYLOR LANE
FORT COLLINS, CO 80528
970 888 7551



FOX GROVE ODP

LOT 2, LEE MLD

FORT COLLINS, COLORADO



land planning ■ landscape architecture ■ urban design ■ entitlement

401 West Mountain Avenue Suite 100 Fort Collins, CO 80521
fax: 970/224 1662 phone: 970/224 5828 website: www.ripleydesigninc.com
stephanie.sigler@ripleydesigninc.com

ISSUED		
No	DESCRIPTION	DATE
1	OVERALL DEVELOPMENT PLAN	05 12 14
REVISIONS		
No	DESCRIPTION	DATE
1		
PROJECT No: R13-007		
DRAWN BY: SS		
REVIEWED BY: LR		

SHEET 1 OF 1

Clydesdale Park Homeowners Association
c/o Colorado Association Services
1063 West Horsetooth Road, Suite 100
Fort Collins, CO 80526



September 19, 2014

Jason Holland
City of Fort Collins
281 North College Ave.
Fort Collins, CO 80522

Dear Mr. Holland,

Subject: Comments on the Project Development Plan for Fox Grove.

We have reviewed the Project Development Plan (PDP) for the Fox Grove residential development. We asked for several things during the review and approval of the Overall Development Plan (ODP). In particular, we asked that Fox Grove be required to have more open space than originally proposed so that the residents would not simply walk to the common areas in Clydesdale Park and treat them as if they were public park lands.

The PDP includes all of the major features we asked for during the review and approval of the Overall Development Plan (ODP). The PDP has:

- Much more open space than originally proposed, including two pocket parks and an open area on the east end of the development near Clydesdale Park.
- Only one housing type in Phase I (single family) and only one or possibly two (a back loaded single family lot) housing types in Phase II.
- A lower housing density than was originally proposed.
- Hardened walking paths in the common area around the perimeter which are likely to increase their use by Fox Grove residents.
- A six foot fence along the boundary with Clydesdale Park from the north east boundary with Carriage Parkway to the south east boundary with Carriage Parkway.

We appreciate the City Planning Department's assistance in achieving these changes from the original plan. We also appreciate the applicant's responsiveness to our original concerns. And we especially appreciate your personal assistance and excellent facilitation of Fox Grove proposals through the citizen review process.

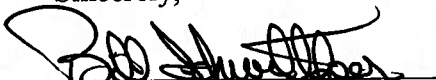
We support this PDP and ask for its approval.

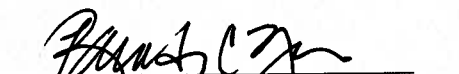
We have only one remaining concern; one we have expressed in the past. Carriage Parkway will be the only access point for construction vehicles into and out of Fox Grove. Roadway drainage along Carriage Parkway runs directly into four ponds on our common area, ponds for which the Home Owners Association is responsible. Dredging those ponds will be a very expensive undertaking.

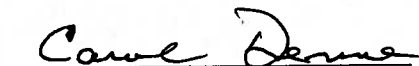
Therefore, we ask that special attention be given to ensuring that no dirt and debris is deposited on Carriage Parkway during the construction process. We understand that the erosion and vehicle cleaning plans will be part of the Final Plan and that will be our opportunity to comment on those elements. We ask for the opportunity to review those plans while they are being developed and to be provided an opportunity to formally comment before they are approved.

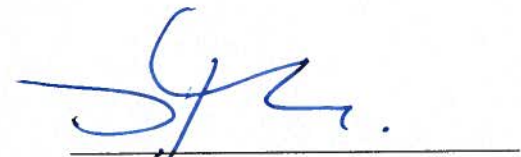
Thank you for your consideration.


Sincerely,


Bill Schwerdtfeger, President


Brenda Yocom, 2nd Vice President


Carol Denne, Secretary


Thomas J. Mills, 1st Vice President


John Albright, Treasurer

Cc: Laurie Kadrich