



ITEM NO 2

MEETING DATE January 7, 2016

STAFF Holland

HEARING OFFICER

STAFF REPORT

PROJECT: CSU Health and Medical Center Plat, #FDP150039

APPLICANT: Erik Nakos, P.E.
JVA, Incorporated
25 Old Town Square, Suite 200
Fort Collins, CO 80524

OWNER: Board of Governors of the Colorado State University System
01 Administration Building
Fort Collins, CO 80523

PROJECT DESCRIPTION:

This is a combined PDP/FDP for the final plat review for the land associated with the CSU Health and Medical Center, located at the northwest corner of Prospect and College. The Medical Center site and landscape plans were previously approved as a Site Plan Advisory Review (SPAR) by the Planning and Zoning Board on October 8, 2015. This review is for the plat and utility plan only. The amended plat is subject to review and approval by a hearing officer. Final utility plans are provided for reference and are approved by utility and engineering staff prior to issue of any necessary permits.

The Site Plan Advisory Review for Colorado State University which was reviewed by P&Z approved the plans for the new medical center campus. The project includes a 113,000 square foot, four-story building within an approximately 4.9 acre site. Existing dwellings and structures on the site are proposed to be removed. Approximately 106 surface parking spaces provided, with additional parking spaces provided in a proposed parking garage to the north of Lake Street. The site is located in the Community Commercial (CC) zone district. The approved SPAR plans are attached with this staff report.

RECOMMENDATION:

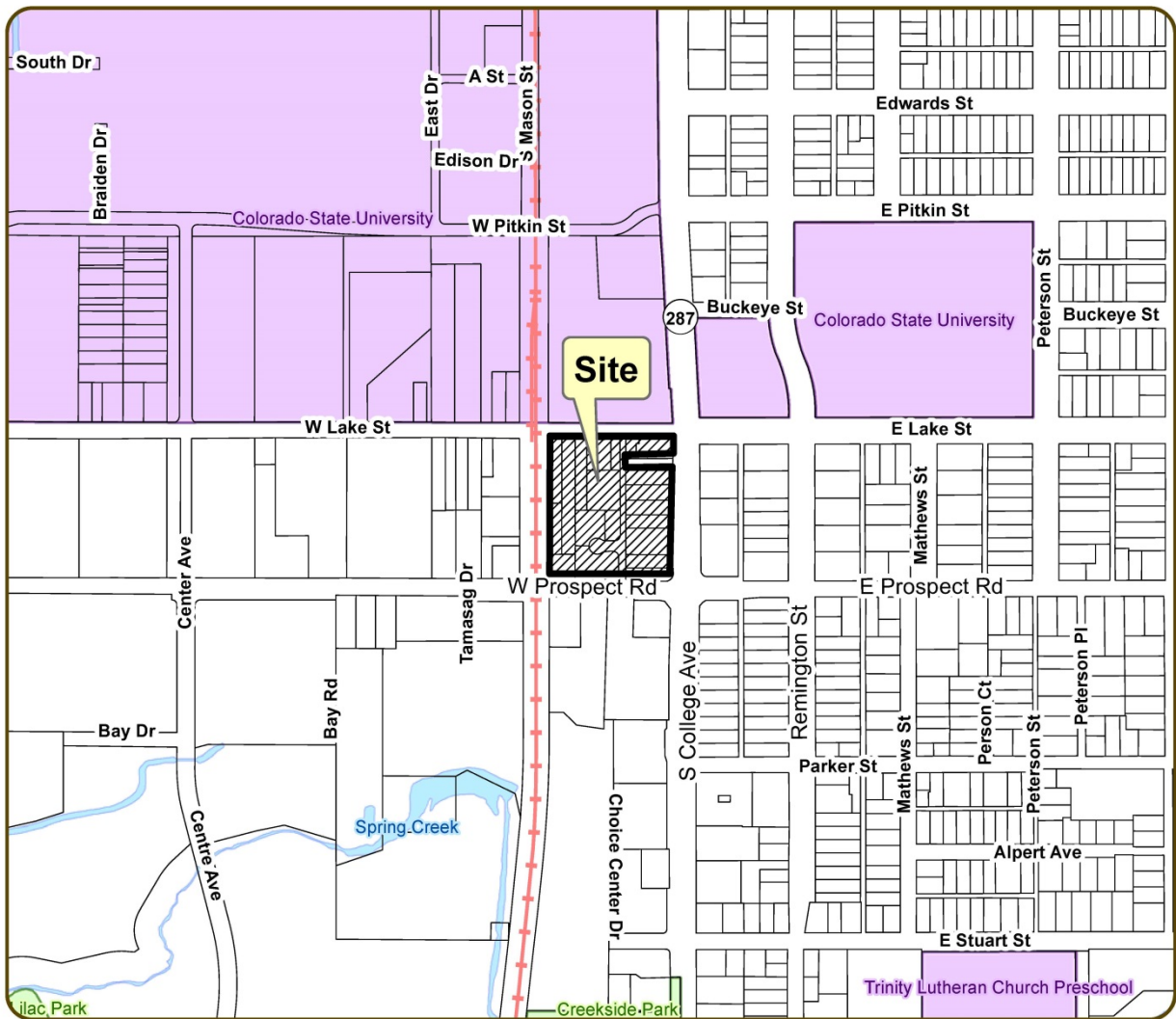
Approval of the CSU Health and Medical Center Plat, #FDP150039

EXECUTIVE SUMMARY:

CSU Health and Medical Center Plat complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The project complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The project complies with the relevant standards located in Article 3 – General Development Standards.

VICINITY MAP:



**CSU Health and Medical Center Plat
Location Map**

600 300 0 600 Feet

1 inch = 600 feet



COMMENTS:

1. Background:

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Community Commercial (C-C)	Proposed CSU Parking Garage
South	General Commercial (C-G)	Commercial / Retail
East	Community Commercial (C-C)	Commercial / Retail
West	Community Commercial (C-C)	Commercial / Retail; CSU Campus

- In 1925, the property was annexed into the city as part of the GF Wiards Annexation, and includes a number of parcels that contain existing residential structures, some of which have been repurposed for commercial businesses and university related facilities over the years.
- The 1925 annexation also included a boundary map noted as the “GF Wiard’s Addition”.
- In 1953, portions of the property were re-platted with the Flinn’s Resubdivision.
- In 1979, portions of the property were re-platted with the Sorenson’s PUD.
- The above plats and maps are attached with this staff report.

2. Compliance with Community Commercial (C-C) zone district Standards:

Compliance with Community Commercial standards were addressed with the SPAR process. A copy of the SPAR staff report is attached for reference. In terms of the *Location* criteria of the SPAR review, the proposed site meets this requirement with a proposed use that is consistent with the City’s land use designation. The site is within the Community Commercial District, and *Clinics* are listed as a permitted principal Type 1 use in this district (in this case subject to SPAR).

3. Compliance with Article 3 of the Land Use Code – General Development Standards

E. Section 3.3.1 – Plat Standards. The proposed plat meets all applicable *General Requirements* and provides all necessary *Reservations* and *Dedications*.

- In compliance with LUC 3.3.1(B)(1): The proposed lot pattern provides a site area and configuration that meets all applicable zoning requirements of the city.

- In compliance with LUC 3.3.1(B)(2): The general layout of lots, roads, driveways, utilities, drainage facilities and other services within the proposed development are designed in a way that accommodates and contributes to an interconnected street system within and between neighborhoods, preserves natural areas and features, and otherwise accomplishes the purposes and intent of this Land Use Code. The proposed plat is configured to achieve the intent of the SPAR site plan, the design of which is consistent with the applicable development standards set forth in Articles 3 and 4 of this Land Use Code.
- In compliance with LUC 3.3.1(C)(1): The layout of roads, driveways, utilities, drainage facilities, and other services remain in compliance with the City's engineering standards. The plat demonstrates proper dedication of public rights-of-way, drainage easements and utility easements that are needed to serve the area being developed.

6. Findings of Fact/Conclusion

In evaluating the CSU Health and Medical Center Plat, #FDP150039, staff makes the following findings of fact:

- A. The project complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The project complies with the relevant standards located in Article 3 – General Development Standards.

RECOMMENDATION:

Approval of the CSU Health and Medical Center Plat, #FDP150039, based on the findings of fact on page 4 of the staff report.

ATTACHMENTS:

1. CSU Medical/Health Center Plat, Page 1
2. CSU Medical/Health Center Plat, Page 2
3. GF Wiards Addition Plan
4. Flinn's PUD Plat
5. Sorenson's PUD Plat
6. Background -- Medical Center SPAR Submittal Narrative
7. Background -- Approved SPAR Submittal CSU Medical Center Plans
8. Background -- Staff report from the SPAR review
9. Utility Plans

CSU HEALTH AND MEDICAL CENTER

A Replat of Multiple Parcels of Land,
Situate in the Southeast Quarter of Section 14, Township 7 North, Range 69 West of the 6th P.M.,
City of Fort Collins, County of Larimer, State of Colorado

STATEMENT OF OWNERSHIP AND SUBDIVISION:

Know all persons by these presents, that the undersigned owner(s) of the following described land:

PROPERTY DESCRIPTION

Begin a replat of multiple parcels of land, located in the Southeast Quarter of Section Fourteen (14), Township Seven North (T.7N.), Range Sixty-nine West (R.69W.) of the Sixth Principal Meridian (6th P.M.), City of Fort Collins, County of Larimer, State of Colorado and being more particularly described as follows:

PARCEL 1:
The Westerly 50 feet of Lot 2, Sorensen's P.U.D., according to the Plat thereof recorded May 17, 1979 in Book 1953 at Page 385, City of Fort Collins, EXCEPTING therefrom the Southerly 18 feet of the Easterly 31 feet of the Westerly 50 feet of Lot 2, Sorensen's P.U.D., according to the Plat thereof recorded May 17, 1979 in Book 1953 at Page 385, City of Fort Collins, and EXCEPTING therefrom the Easterly 11.2 feet of the Westerly 50 feet of Lot 2, Sorensen's P.U.D., according to the Plat thereof recorded May 17, 1979 in Book 1953 at Page 385, City of Fort Collins, County of Larimer, State of Colorado.
TOGETHER with Lot 2, Sorensen's P.U.D., in the City of Fort Collins, EXCEPT that portion thereof conveyed by Deed recorded December 9, 1986 at Reception No. 86071844 and also EXCEPT that portion conveyed in Rule and Order recorded July 22, 1996 at Reception No. 96052424, County of Larimer, State of Colorado.
TOGETHER with North 54.35 feet of Lot 3, LESS that portion contained in the Deed recorded February 16, 1995 at Reception No. 95009051, Block 1, G.F. Ward's Addition to the City of Fort Collins, County of Larimer, State of Colorado.
TOGETHER with the South 4 feet of Lot 3 and all of Lot 4, EXCEPT the South 4 feet thereof, Block 1, G.F. Ward's Addition to the City of Fort Collins and also EXCEPT that portion conveyed in Deed recorded December 2, 1994 at Reception No. 94095712, County of Larimer, State of Colorado.

PARCEL 2:
Lot 5 and the South 4 feet of Lot 4, Block 1, G.F. Ward's Addition to the City of Fort Collins, EXCEPT that portion conveyed to the City of Fort Collins in Deed recorded May 3, 1995 at Reception No. 95024879, County of Larimer, State of Colorado.

PARCEL 3:
Lots 6, 7, 8 and 9, Block 1, G.F. Ward's Addition to the City of Fort Collins, County of Larimer, State of Colorado, EXCEPT that portion conveyed to the City of Fort Collins in deed recorded January 9, 1995 at Reception No. 95001392.

PARCEL 4:
Lots 1, 2, 3, 4, 5 and 6, Block 1, Flinn's Resubdivision of Lots 11, 12 and 13, Block 1 of G.F. Ward's Addition to the City of Fort Collins, County of Larimer, State of Colorado.

PARCEL 5:
Lot 14 and the South 191 feet of Lot 15, Block 1, G.F. Ward's Addition to the City of Fort Collins, County of Larimer, State of Colorado.

PARCEL 6:
Lot 16, Block 1, G.F. Ward's Addition to the City of Fort Collins, County of Larimer, State of Colorado.

PARCEL 7:
Lot 17, Block 1, G.F. Ward's Addition to the City of Fort Collins, County of Larimer, State of Colorado.

PARCEL 8:
The South 151.7 Feet of Lots 18 and 19, Block 1, G.F. Wards Addition to the City of Fort Collins, County of Larimer, State of Colorado.

PARCEL 9:
The East 35.70 feet of the North 115 feet of Lot 19, in Book 1, G.F. Wards Addition to the City of Fort Collins, County of Larimer, State of Colorado.

PARCEL 10:
Lots 1 and 2, in Sorensen's P.U.D., in the City of Fort Collins, EXCEPT that portion thereof conveyed by Deed recorded December 9, 1986, at Reception No. 86071844, and also EXCEPT that portion conveyed in Rule and Order recorded July 22, 1996, at Reception No. 96052424, all in County of Larimer, State of Colorado.

PARCEL 11:
Lot 15, in Block 1, G.F. Ward's Addition to the City of Fort Collins, County of Larimer, State of Colorado, EXCEPT that port described in Book 1083 at Page 493 as follows:
COMMENCING at the Southwest corner of said Lot 15;
THENCE North along the West lot line, 191 feet;
THENCE East parallel with the South lot line, 50 feet;
THENCE South 191 feet to the Southeast corner of said Lot 15;
THENCE West 50 feet to the POINT OF BEGINNING.

PARCEL 12:
A parcel of land, being vacated as Right of Way, said parcel having been previously dedicated as Right of Way by action of the recodation of the Final Plat for G.F. Ward's Addition to the City of Fort Collins recorded October 31, 1921 as Book G at Page 1 at Reception No. 231427 of the Records of Larimer County Records and by action of the recodation of the Final Plat for Flinn's Resubdivision of Lots 11, 12 and 13, Block 1 of G.F. Ward's Addition to the City of Fort Collins recorded May 15, 1983 at Reception No. 665972 of the Records of Larimer County Records, located in the Southeast Quarter of Section Fourteen (14), Township Seven North (T.7N.), Range Sixty-nine West (R.69W.) of the Sixth Principal Meridian (6th P.M.), City of Fort Collins, County of Larimer, State of Colorado and being more particularly described as follows:

COMMENCING at the Northeast corner of Lot 19 of said G.F. Ward's Addition and assuming the North line of said G.F. Ward's Addition as bearing North 89°54'05" East being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2007, with all other bearings contained herein relative thereto;

THENCE South 00°00'17" East along the Westerly Right of Way line of an existing Alley a distance of 116.64 feet to the POINT OF BEGINNING;
THENCE North 89°59'43" East a distance of 20.00 feet to the Easterly Right of Way line of said Alley;
THENCE South 00°00'17" East along said Easterly Right of Way line a distance of 377.85 feet;
THENCE North 89°38'50" West a distance of 33.00 feet to the Westerly Right of Way line of Prospect Court;
THENCE North 00°00'17" West along the Westerly Right of Way line of said Prospect Court a distance of 54.78 feet to a Point of Curvature on the Southerly Right of Way line of said Prospect Court;
The following Seven (7) courses are along the Right of Way lines of said Prospect Court:
THENCE along the arc of a curve concave to the Southwest a distance of 31.34 feet, said curve has a Radius of 20.00 feet, a Delta of 89°47'38" and is subtended by a Chord bearing North 44°54'06" West a distance of 28.23 feet to a Point of Tangency;
THENCE North 89°47'54" West a distance of 25.09 feet to a Point of Curvature;
THENCE along the arc of a curve concave to the Southeast a distance of 17.11 feet, said curve has a Radius of 30.00 feet, a Delta of 32°41'00" and is subtended by a Chord bearing South 73°51'35" West a distance of 16.88 feet to a Point of Reverse Curvature;
THENCE along the arc of a curve concave to the East a distance of 128.47 feet, said curve has a Radius of 30.00 feet, a Delta of 245°22'01" and is subtended by a Chord bearing North 00°12'06" East a distance of 50.50 feet to a Point of Reverse Curvature;
THENCE along the arc of a curve concave to the Northeast a distance of 17.11 feet, said curve has a Radius of 30.00 feet, a Delta of 32°41'00" and is subtended by a Chord bearing South 73°27'24" East a distance of 16.88 feet to a Point of Tangency;
THENCE South 89°47'54" East a distance of 37.80 feet to a Point of Curvature;
THENCE along the arc of a curve concave to the Northwest a distance of 31.49 feet, said curve has a Radius of 20.00 feet, a Delta of 90°12'22" and is subtended by a Chord bearing North 45°05'54" East a distance of 28.34 feet to a Point of Tangency on the Westerly Right of Way line of said Alley;
THENCE North 00°00'17" West along said Westerly Right of Way line a distance of 241.91 feet to the POINT OF BEGINNING.

Said described Twelve Parcels of land contains a Total of 224,833 Square Feet or 5.161 Acres, more or less (±).

THE ABOVE MULTIPLE PARCELS OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at the Southeast corner of said Section 14 and assuming the East line of the Southeast Quarter of said Section 14 as bearing North 00°00'33" East being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2007, a distance of 2656.51 feet with all other bearings contained herein relative thereto;

THENCE North 00°00'33" East along the East line of said Southeast Quarter a distance of 563.37 feet;
THENCE South 89°54'05" West a distance of 55.97 feet to the Westerly Right of Way line of South College Avenue and to the POINT OF BEGINNING;

THENCE South 09°38'01" West along the Westerly Right of Way line of said South College Avenue a distance of 71.60 feet to the North line of the South 45 feet of Lot 2 of the Final Plat for G.F. Ward's Addition to the City of Fort Collins recorded October 31, 1921 as Book G at Page 1 at Reception No. 231427 of the Records of Larimer County Records;
THENCE South 89°52'36" West along said North line a distance of 178.48 feet to the West line of said Lot 2;
The following Two (2) courses are along the West and South lines of said Lot 2:
THENCE South 00°00'17" East a distance of 45.00 feet;
THENCE North 89°52'36" East a distance of 177.64 feet to the Westerly Right of Way line of said South College Avenue;

The following Twelve (12) courses are along the Westerly Right of Way line of said South College Avenue.
THENCE South 01°58'41" West a distance of 31.61 feet to a Point of Curvature;
THENCE along the arc of a curve concave to the Northwest a distance of 14.11 feet, said curve has a Radius of 192.50 feet, a Delta of 04°12'02" and is subtended by a Chord bearing South 04°04'42" West a distance of 14.11 feet to a line non-tangent to this curve;
THENCE South 06°09'47" West along a line non-tangent to the aforesaid curve a distance of 67.32 feet;
THENCE South 18°44'54" West a distance of 12.17 feet;
THENCE South 02°34'47" West a distance of 42.46 feet;

THENCE South 05°53'44" West a distance of 11.75 feet to the beginning point of a curve, non-tangent to this line;
THENCE along the arc of a curve concave to the Southeast a distance of 22.86 feet, said curve has a Radius of 207.50 feet, a Delta of 06°18'42" and is subtended by a Chord bearing South 03°02'39" West a distance of 22.85 feet to a Point of Tangency;
THENCE South 00°06'42" East a distance of 165.26 feet to the Northerly line of Lot 10, Block 1, G.F. Ward's Addition;
THENCE North 89°41'55" West along the Northerly line of said Lot 10 a distance of 160.37 feet to the Easterly Right of Way line of Prospect Court;
THENCE South 00°00'17" East along said Easterly Right of Way line a distance of 12.78 feet;
THENCE North 89°38'50" West a distance of 33.00 feet to the Westerly Right of Way line of said Prospect Court;
THENCE South 00°00'17" East along said Westerly Right of Way line a distance of 37.00 feet to a line parallel with and 30.00 feet North of, as measured at a right angle to the South line of the Southeast Quarter said Section 14;
THENCE North 89°38'50" West along said parallel line a distance of 254.83 feet to the Easterly Right of Way line of the Burlington North Santa Fe Railroad;
THENCE North 00°05'49" West along said Easterly Right of Way line a distance of 529.25 feet to the North line of Block 1, G.F. Ward's Addition;
THENCE North 89°54'05" East along said North line a distance of 467.96 feet to the POINT OF BEGINNING;

... (which above described tract contains a total of 224,833 square feet or 5.161 acres, more or less)

for themselves and their successors in interest The Board of Governors of the Colorado State University System, f/k/a The Colorado State Board of Agriculture Colorado State University have caused the above described land to be surveyed and subdivided into lots, tracts and streets as shown on this Plat to be known as CSU HEALTH AND MEDICAL CENTER, subject to all easements and rights-of-way now of record or existing or indicated on this Plat. The rights and obligations of this Plat shall run with the land.

CERTIFICATE OF DEDICATION:

The Owner does hereby dedicate and convey to the City of Fort Collins, Colorado (hereafter "City"), for public use, forever, a permanent right-of-way for street purposes and the Easements as laid out and designated on this Plat; provided, however, that (1) acceptance by the City of this dedication of Easements does not impose upon the City a duty to maintain the Easements so dedicated, and (2) acceptance by the City of this dedication of streets does not impose upon the City a duty to maintain streets so dedicated until such time as the provisions of the Maintenance Guarantee have been fully satisfied. The streets dedicated on this Plat are the fee property of the City as provided in Section 31-23-107 C.R.S. The City's rights under the Easements include the right to install, operate, access, maintain, repair, reconstruct, remove and replace within the Easements public improvements consistent with the intended purpose of the Easements; the right to install, maintain and use gates in any fences that cross the Easements; the right to mark the location of the Easements with suitable markers; and the right to permit other public utilities to exercise these same rights. Owner reserves the right to use the Easements for purposes that do not interfere with the full enjoyment of the rights hereby granted. The City is responsible for maintenance of its own improvements and for repairing any damage caused by its activities in the Easements, but by acceptance of this dedication, the City does not accept the duty of maintenance of the Easements, or of improvements in the Easements that are not owned by the City. Owner will maintain the surface of the Easements in a sanitary condition in compliance with any applicable weed, nuisance or other legal requirements.

Except as expressly provided in an approved plan of development or other written agreement with the City, Owner will not install on the Easements, or permit the installation on the Easements, of any building, structure, improvement, fence, retaining wall, sidewalk, tree or other landscaping (other than usual and customary grasses and other ground cover). In the event such obstacles are installed in the Easements, the City has the right to require the Owner to remove such obstacles from the Easements. If Owner does not remove such obstacles, the City may remove such obstacles without any liability or obligation for repair and replacement thereof, and charge the Owner the City's costs for such removal. If the City chooses not to remove the obstacles, the City will not be liable for any damage to the obstacles or any other property to which they are attached.

The rights granted to the City by this Plat inure to the benefit of the City's agents, licensees, permittees and assigns.

MAINTENANCE GUARANTEE:

The Owner hereby warrants and guarantees to the City, for a period of two (2) years from the date of completion and first acceptance by the City of the improvements warranted hereunder, the full and complete maintenance and repair of the improvements to be constructed in connection with the Development which is the subject of this Plat. This warranty and guarantee is made in accordance with the City Land Use Code and/or the Transitional Land Use Regulations, as applicable. This guarantee applies to the streets and all other appurtenant structures and amenities lying within the rights-of-way, Easements and other public properties, including, without limitation, all curbing, sidewalks, bike paths, drainage pipes, culverts, catch basins, drainage ditches and landscaping. Any maintenance and/or repair required on utilities shall be coordinated with the owning utility company or department.

The Owner shall maintain said improvements in a manner that will assure compliance on a consistent basis with all construction standards, safety requirements and environmental protection requirements of the City. The Owner shall also correct and repair, or cause to be corrected and repaired, all damages to said improvements resulting from development-related or building-related activities. In the event the Owner fails to correct any damages within thirty (30) days after written notice thereof, then said damages may be corrected by the City and all costs and charges billed to and paid by the Owner. The City shall also have any other remedies available to it as authorized by law. Any damages which occurred prior to the end of said two (2) year period and which are unrepaired at the termination of said period shall remain the responsibility of the Owner.

REPAIR GUARANTEE:

In consideration of the approval of this final Plat and other valuable consideration, the Owner does hereby agree to hold the City harmless for a five (5) year period, commencing upon the date of completion and first acceptance by the City of the improvements to be constructed in connection with the development which is the subject of this Plat, from any and all claims, damages, or demands arising on account of the construction and construction of public improvements of the property shown herein; and the Owner furthermore commits to make necessary repairs to said public improvements, to include, without limitation, the roads, streets, fills, embankments, ditches, cross pans, sub-drains, culverts, walls and bridges within the right-of-way, Easements and other public properties, resulting from failures caused by design and/or construction defects. This agreement to hold the City harmless includes defects in materials and workmanship, as well as defects caused by or consisting of settling trenches, fills or excavations.

Further, the Owner warrants that he/she owns fee simple title to the property shown hereon and agrees that the City shall not be liable to the Owner or his/her successors in interest during the warranty period, for any claim of damages resulting from negligence in exercising engineering techniques and due caution in the construction of cross drains, drives, structures or buildings, the changing of courses of streams and rivers, flooding from natural causes, creeks and rivers, and any other matter whatsoever on private property. Any and all monetary liability occurring under this paragraph shall be the liability of the Owner. Further warrant that I have the right to convey said land according to this Plat.

Notice Of Other Documents:

All persons take notice that the Owner has executed certain documents pertaining to this Development which create certain rights and obligations of the Development, the Owner and/or subsequent Owners of all or portions of the Development site, many of which obligations constitute promises and covenants that, along with the obligations under this Plat, run with the land. The said documents may also be amended from time to time and may include, without limitation, the Development Agreement, Site And Landscape Covenants, Final Site Plan, Final Landscape Plan, and Architectural Elevations, which documents are on file in the office of the Clerk of the City and should be closely examined by all persons interested in purchasing any portion of the Development site.

NOTICE

ALL RESPONSIBILITIES AND COSTS OF OPERATION, MAINTENANCE AND RECONSTRUCTION OF THE PRIVATE STREETS AND/OR DRIVES LOCATED ON THE PRIVATE PROPERTY THAT IS THE SUBJECT OF THIS PLAT SHALL BE BORNE BY THE OWNERS OF SAID PROPERTY, EITHER INDIVIDUALLY, OR COLLECTIVELY, THROUGH A PROPERTY OWNERS' ASSOCIATION, IF APPLICABLE. THE CITY OF FORT COLLINS SHALL HAVE NO OBLIGATION OF OPERATION, MAINTENANCE OR RECONSTRUCTION OF SUCH PRIVATE STREETS AND/OR DRIVES NOR SHALL THE CITY HAVE ANY OBLIGATION TO ACCEPT SUCH STREETS AND/OR DRIVES AS PUBLIC STREETS OR DRIVES.

VACATION STATEMENT

Know all men by these presents that we the undersigned, being the sole owner(s) of the land described herein, and as shown on the attached map do hereby vacate all Lots, Blocks, Tracts and Easement of the above described parcel of land.

OWNER:

By: _____ Date: _____
(name)(title)

NOTARIAL CERTIFICATE

STATE OF _____)
COUNTY OF _____) ss.)

The foregoing instrument was acknowledged before me by _____ as _____ of _____, this _____, day of _____, 20____.

My commission expires _____

Witness my hand and official seal. _____ (SEAL)

Notary Public

ATTORNEY'S CERTIFICATION:

I hereby certify that this Subdivision Plat has been duly executed as required pursuant to Section 2.2.3(C)(3)(a) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Subdivision Plat on behalf of a corporation or other entity are duly authorized signatories under the laws of the State of Colorado. This Certification is based upon the records of the Clerk and Recorder of Larimer County, Colorado as of the date of execution of the plat and other information discovered by me through reasonable inquiry and is limited as authorized by Section 2.2.3(C)(3)(f) of the Land Use Code.

Attorney: _____

Address: _____

Registration No.: _____

APPROVED AS TO FORM, CITY ENGINEER

By the City Engineer of the City of Fort Collins, Colorado this _____ day of _____ A.D., 20____.

City Engineer _____

PLANNING APPROVAL

By the Director of Planning the City of Fort Collins, Colorado this _____ day of _____ A.D., 20____.

Director of Planning _____

City Clerk _____

SURVEYOR'S STATEMENT

I, Steven A. Lund, a Colorado Registered Professional Land Surveyor, do hereby state that this Subdivision Plat was prepared from an actual survey under my personal supervision, that the monumentation as indicated hereon were found or set as shown, and that the foregoing plat is an accurate representation thereof, all this to the best of my knowledge, information and belief.

Steven A. Lund—On Behalf Of King Surveyors
Colorado Registered Professional
Land Surveyor #34985

TITLE COMMITMENT NOTE

This survey does not constitute a title search by King Surveyors to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, King Surveyors relied upon multiple Title Commitments to delineate the aforesaid information.

Title Commitment Number 580—F0386089—383—JNB, dated September 8, 2011 at 8:00 P.M., as prepared by Fidelity National Title Company.
Title Commitment Number 580—F0511243—383—JNB, dated March 23, 2015 at 7:00 A.M., as prepared by Fidelity National Title Company.
Title Commitment Number FCC25130657, dated March 14, 2015 at 5:00 P.M., as prepared by Land Title Guarantee Company.
Title Commitment Number 596—F0518367—383—TOW, dated May 21, 2015 at 7:00 A.M., as prepared by Fidelity National Title Company.
Title Commitment Number 580—F0472453—383—JNB, Amendment No. 2, dated January 10, 2014 at 7:00 A.M., as prepared by Land Title Guarantee Company.
Title Commitment Number FCC25107406—2, dated April 24, 2012 at 5:00 P.M., as prepared by Fidelity National Title Company.
Title Commitment Number FCC25107405—3, dated April 24, 2012 at 5:00 P.M., as prepared by Land Title Guarantee Company.
Title Commitment Number FCC25107404—3, dated April 24, 2012 at 5:00 P.M., as prepared by Land Title Guarantee Company.

NOTICE

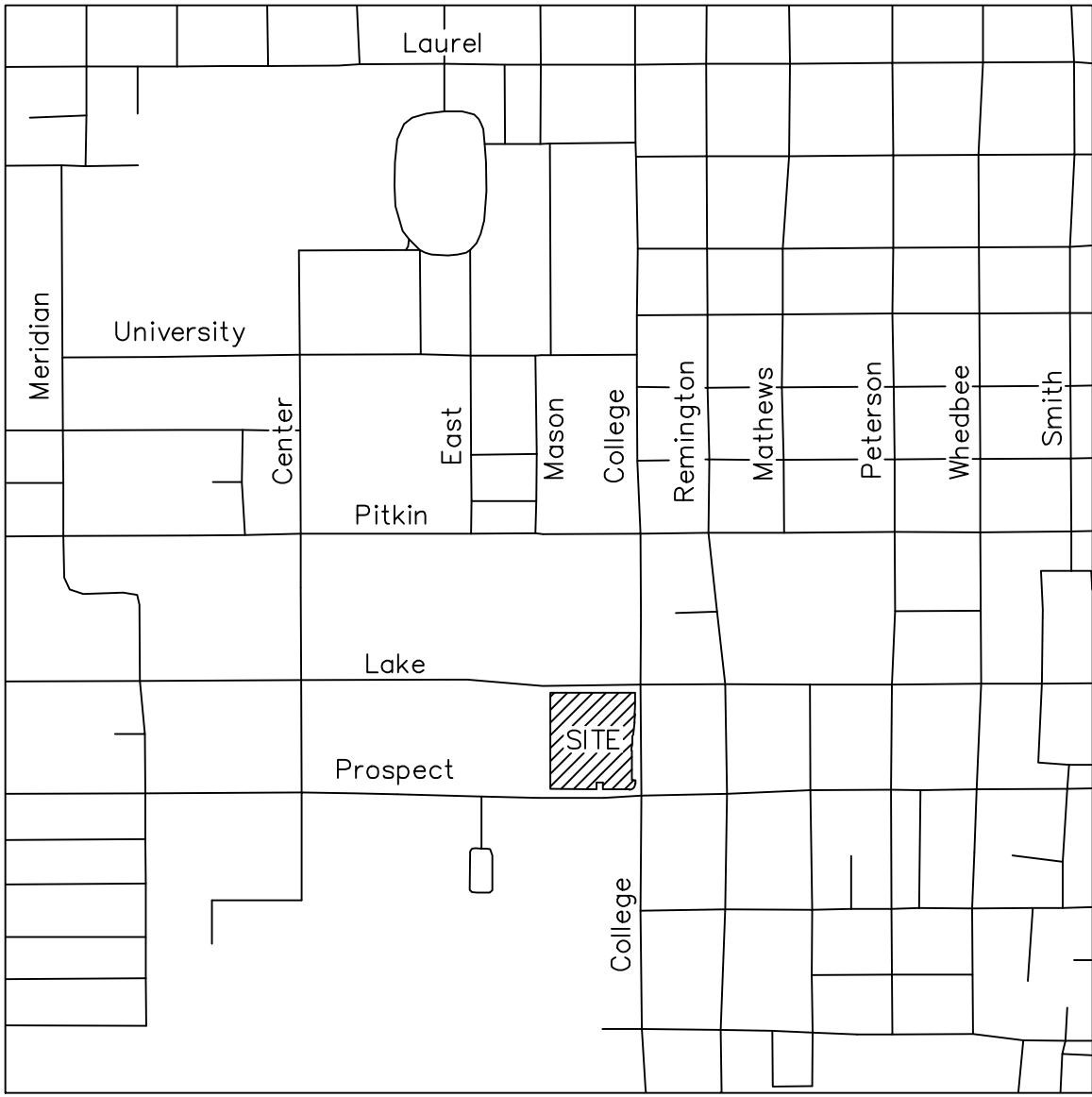
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13—80—105 C.R.S. 2012)

FLOOD PLAIN NOTE

Entire property is in flood zone "X", areas determined to be outside the 0.2% annual chance of floodplain" per City of Fort Collins website fgcov.com and per FEMA flood map 08069C0879H revised May 12, 2012. For further information, call City of Fort Collins Utilities, phone (970) 221—6700.

ZONING NOTE

The subject property is in Zone Community Commercial District (CC).



VICINITY MAP

SCALE: 1"=2000'

LAND USE TABLE

LOTS (2)	4.910 ACRES	95%
DEDICATED RIGHT OF WAY	0.198 ACRES	4%
EXISTING ALLEY	0.053 ACRES	1%

TOTAL 5.161 ACRES 100%

OWNER/APPLICANT	The Board of Governors of the Colorado State University System, f/k/a The Colorado State Board of Agriculture Colorado State University Fort Collins, Co 80523	SURVEYOR	KING SURVEYORS, INC. ATTN: STEVE LUND, 650 E. GARDEN DRIVE WINDSOR, CO 80550 PHONE: 970—686—5011
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DATE: 10/9/2015

FILE NAME: 2014941B—SUB

SCALE: 1"=40'

DRAWN BY: CSK

CHECKED BY: SAL

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | email: info@KingSurveyors.com



DATE: 12/11/15

CSK

REVISIONS:

REVISED PER COMMENTS

CSK

REVISED PER COMMENTS

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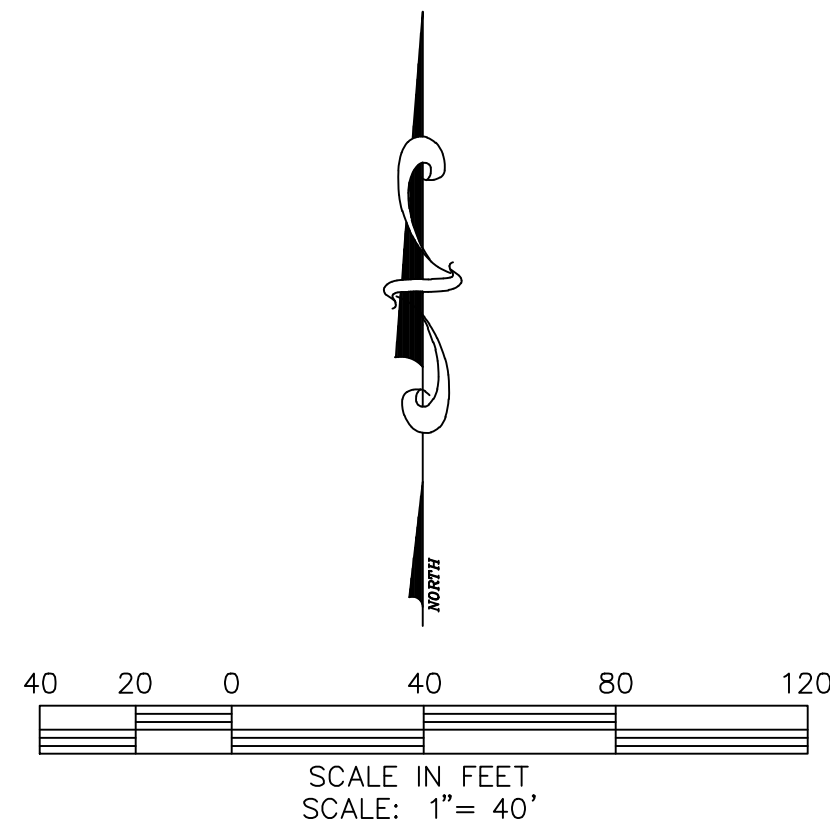
CSK

REVISED PER COMMENTS

CSK

CSU HEALTH AND MEDICAL CENTER

A Replat of Multiple Parcels of Land,
Situate in the Southeast Quarter of Section 14, Township 7 North, Range 69 West of the 6th P.M.,
City of Fort Collins, County of Larimer, State of Colorado

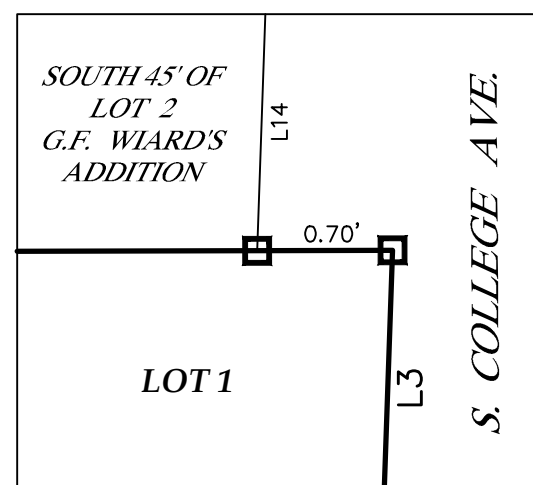


LEGEND

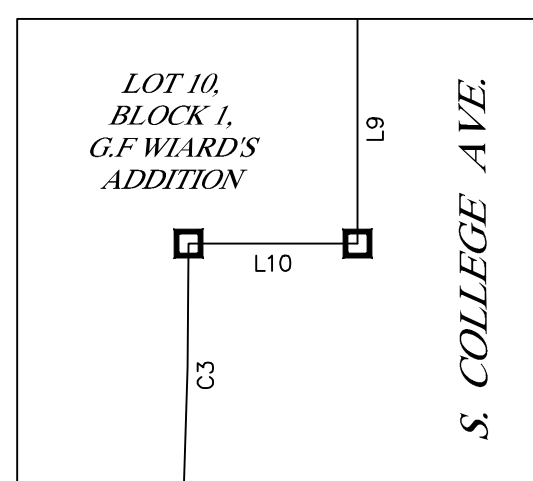
- EASEMENT LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- AE ACCESS EASEMENT
- U&AE UTILITY AND ACCESS EASEMENT
- A&EAE ACCESS AND EMERGENCY ACCESS EASEMENT
- U,A&EAE UTILITY, ACCESS AND EMERGENCY ACCESS EASEMENT
- FOUND ALIQUOT CORNER AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- FOUND #4 REBAR WITH GREEN PLASTIC CAP LS 34995
- FOUND MAG NAIL WITH BRASS TAG, LS 34995
- SET 24" OF #4 REBAR WITH A GREEN PLASTIC CAP STAMPED KSI, LS 34995
- O CALCULATED POSITION

COLLEGE AVENUE RIGHT OF WAY

G.F. WIARD'S ADDITION	BOOK 4, PAGE 46, FILE NO. 231427	01/01/1921
L.C. MOORE'S 2ND ADDITION	BOOK 4, PAGE 66, FILE NO. 258553	01/01/1950
SPECIAL WARRANTY DEED	BOOK 1090, PAGE 497	04/18/1959
SPECIAL WARRANTY DEED	BOOK 1090, PAGE 499	04/18/1959
SPECIAL WARRANTY DEED	BOOK 1094, PAGE 568	06/17/1959
TACO BELL P.U.D.	REC. NO. 93024718	04/21/1993
WARRANTY DEED	REC. NO. 94095712	12/02/1994
WARRANTY DEED	REC. NO. 95001392	01/09/1995
WARRANTY DEED	REC. NO. 95009051	02/16/1995
WARRANTY DEED	REC. NO. 95024879	05/03/1995
RULE AND ORDER	REC. NO. 96052424	07/22/1996
RULE AND ORDER	REC. NO. 96052425	07/22/1996
DEED OF DEDICATION ROW	REC. NO. 20070088118	11/27/2007



DETAIL A
NOT TO SCALE



DETAIL B
NOT TO SCALE

PRELIMINARY

Steven A. Lund - On Behalf of King Surveyors
Colorado Registered Professional
Land Surveyor #34995

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

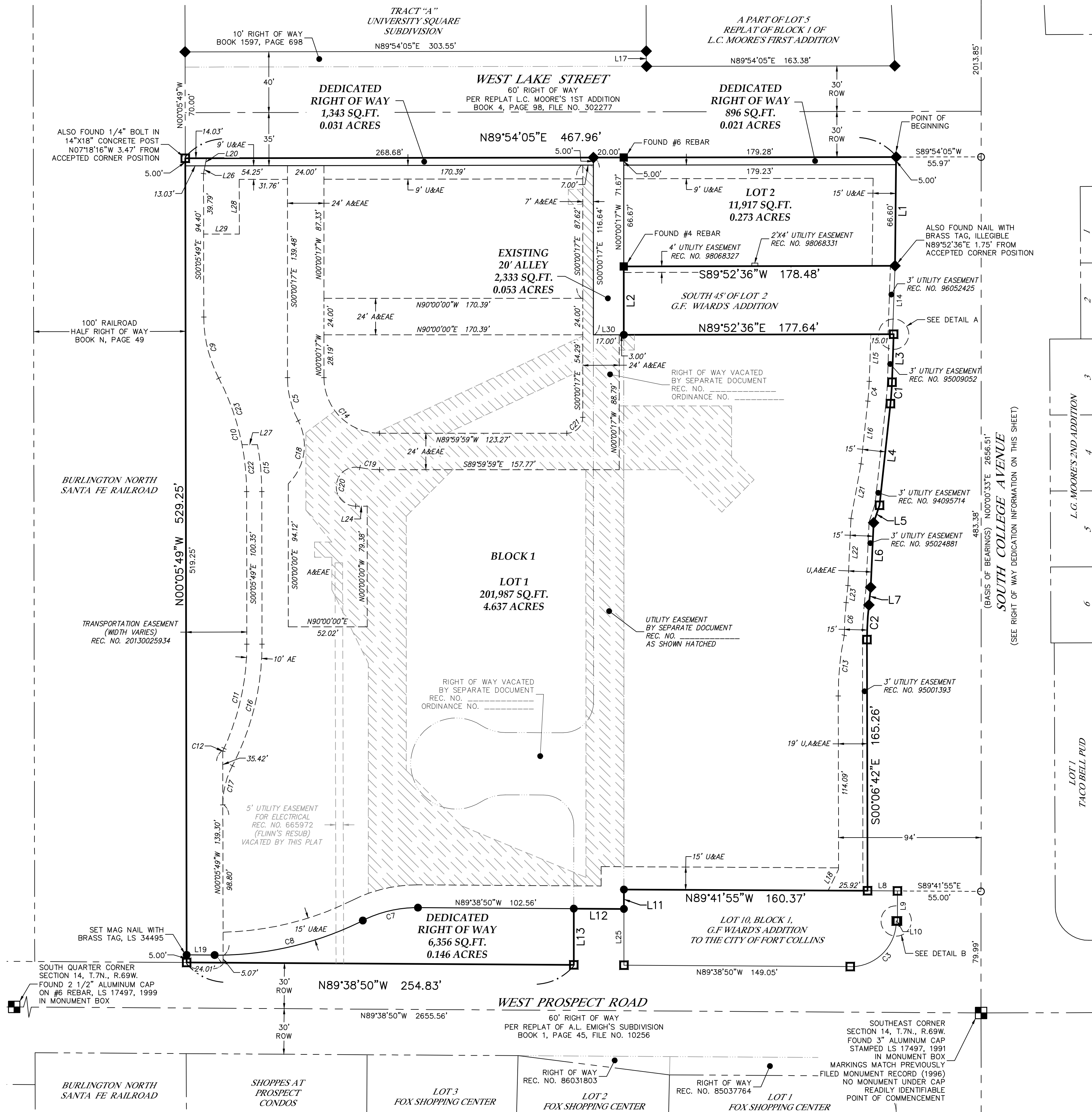
Assuming the East line of the Southeast Quarter of Section 14, T.7N., R.69W., as bearing North 00°00'33\"/>

The lineal dimensions as contained herein are based upon the \"U.S. Survey Foot.\"

LINE	BEARING	LENGTH
L21	S10°29'06\"/>	36.57'
L22	S02°34'47\"/>	44.16'
L23	S05°53'44\"/>	11.27'
L24	N89°59'53\"/>	7.60'
L25	N00°00'17\"/>	37.00'
L26	S11°12'47\"/>	5.24'
L27	N90°00'00\"/>	10.18'
L28	N00°05'49\"/>	35.93'
L29	N89°54'11\"/>	23.50'
L30	N89°59'43\"/>	20.00'

LINE	BEARING	LENGTH
L1	S00°38'01\"/>	71.60'
L2	S00°00'17\"/>	45.00'
L3	S01°58'41\"/>	31.61'
L4	S06°09'47\"/>	67.32'
L5	S18°44'54\"/>	12.17'
L6	S02°34'47\"/>	42.46'
L7	S05°53'44\"/>	11.75'
L8	S89°41'55\"/>	19.77'
L9	S00°00'33\"/>	19.74'
L10	N89°59'27\"/>	0.88'
L11	S00°00'17\"/>	12.78'
L12	N89°38'50\"/>	33.00'
L13	S00°00'17\"/>	37.00'
L14	S01°58'07\"/>	45.03'
L15	S01°58'41\"/>	31.06'
L16	S06°09'47\"/>	41.55'
L17	S00°05'49\"/>	10.00'
L18	N26°11'27\"/>	15.62'
L19	N89°38'50\"/>	18.46'
L20	S11°12'47\"/>	5.10'

CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C1	14.11'	192.50'	41°2'02\"/>	14.11'	S04°04'42\"/>
C2	22.86'	207.50'	61°8'42\"/>	22.85'	S03°02'39\"/>
C3	47.34'	30.00'	90°24'18\"/>	42.58'	S45°11'08\"/>
C4	13.02'	177.50'	41°2'04\"/>	13.01'	N04°04'43\"/>
C5	29.53'	60.60'	27°54'59\"/>	29.24'	S13°57'47\"/>
C6	21.56'	222.50'	5°33'06\"/>	21.55'	S03°24'49\"/>
C7	37.61'	80.00'	26°56'04\"/>	37.26'	S76°53'08\"/>
C8	101.07'	215.00'	26°56'04\"/>	100.14'	N76°53'08\"/>
C9	41.81'	87.50'	27°22'31\"/>	41.41'	S13°47'08\"/>
C10	77.65'	162.50'	27°22'38\"/>	76.91'	N13°47'08\"/>
C11	72.69'	162.50'	25°37'51\"/>	72.09'	N12°43'05\"/>
C12	0.00'	137.50'	0°00'00\"/>	0.00'	N24°50'02\"/>
C13	40.16'	200.00'	11°30'21\"/>	40.10'	S05°38'28\"/>
C14	57.51'	36.60'	90°01'54\"/>	51.77'	S45°01'14\"/>
C15	31.06'	172.50'	10°18'59\"/>	31.02'	N05°15'18\"/>
C16	83.17'	172.50'	27°37'27\"/>	82.36'	N13°42'53\"/>
C17	26.76'	55.50'	27°37'25\"/>	26.50'	S13°42'54\"/>
C18	45.08'	35.00'	73°47'31\"/>	42.03'	N08°58'29\"/>
C19	13.06'	60.60'	12°21'00\"/>	13.04'	S83°50'49\"/>
C20	43.17'	12.86'	192°19'34\"/>	25.57'	S06°09'54\"/>
C21	16.49'	10.50'	90°00'18\"/>	14.85'	N44°59'52\"/>
C22	31.10'	162.50'	10°57'55\"/>	31.05'	N09°34'46\"/>
C23	46.55'	162.50'	16°24'44\"/>	46.39'	N19°16'05\"/>



DATE:
10/9/2015

FILE NAME:
2014941B-SUB

SCALE:
1\"/>

DRAWN BY:
CSK

CHECKED BY:
SAL

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | email: info@KingSurveyors.com



REVISIONS:	DATE:
REVISED PER COMMENTS	CSK

CSU HEALTH AND MEDICAL CENTER
FOR
COLORADO STATE UNIVERSITY
FACILITIES SERVICE NORTH
FORT COLLINS, CO 80523

PROJECT #:
2014941-B

2

SHEET 2 OF 2

G. F. WIARD'S ADDITION TO THE CITY OF FORT COLLINS, COLO.

Know all men by these presents:- That G. F. WIARD being the owner of more than $\frac{3}{4}$ of the following described land situated in the County of Larimer and State of Colorado, to wit:- Part of the S.E. $\frac{1}{4}$ of Section Fourteen (14) Township Seven (7) North Range Sixty-nine (69) West of the Sixth (6th) P.M. more particularly described by metes and bounds as follows, to wit:- Block 1, beginning at a point 30 feet North and 55 feet West of Section Corner between Sections 13, 14, 23, and 24 Township Seven (7) North Range Sixty-nine (69) West of the Sixth (6th) P.M., thence North 533.4 feet, thence West 470.7 feet, thence South 533.4 feet, thence East 470 feet to place of beginning; Block 2, beginning at a point 623.4 feet North and 310 feet West of the Section Corner between Sections, 13, 14, 23, and 24 of Township Seven (7) North Range Sixty-nine (69) West of the Sixth (6th) P.M. thence North 369.6 feet, thence West 216.13 feet, thence South 369.6 feet, thence East 215.8 feet to place of beginning, hereby sub-divide same into blocks and lots as shown by this plat to be known as G. F. WIARD'S ADDITION TO THE CITY OF FORT COLLINS, COLO., and hereby dedicate and convey to and for public use forever hereafter all the streets and alleys as laid out and designated on said plat.

Witness my hand and seal this 29 day of Oct. A.D. 1921.

G. F. Wiard

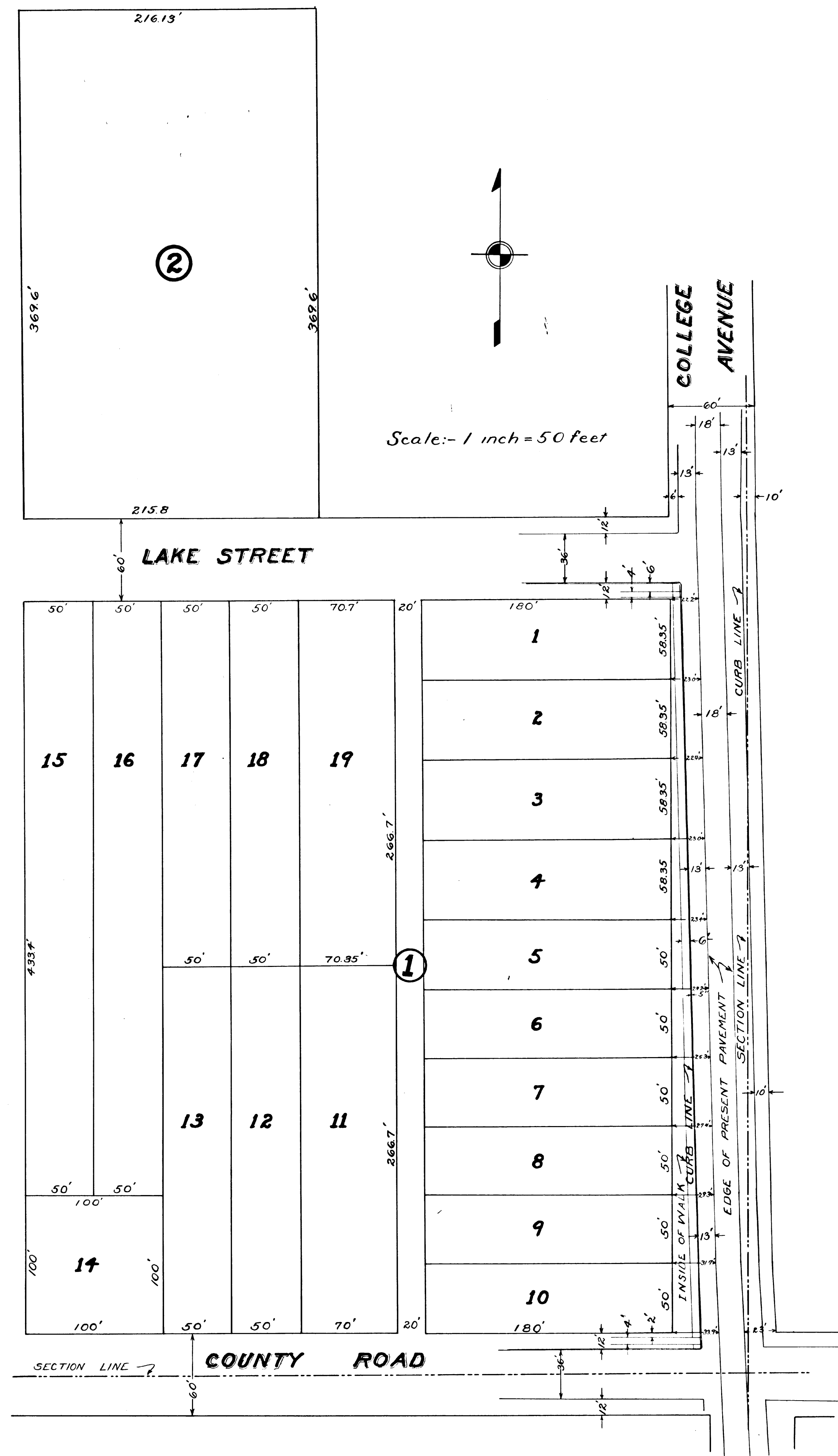
STATE OF COLORADO }
COUNTY OF LARIMER }

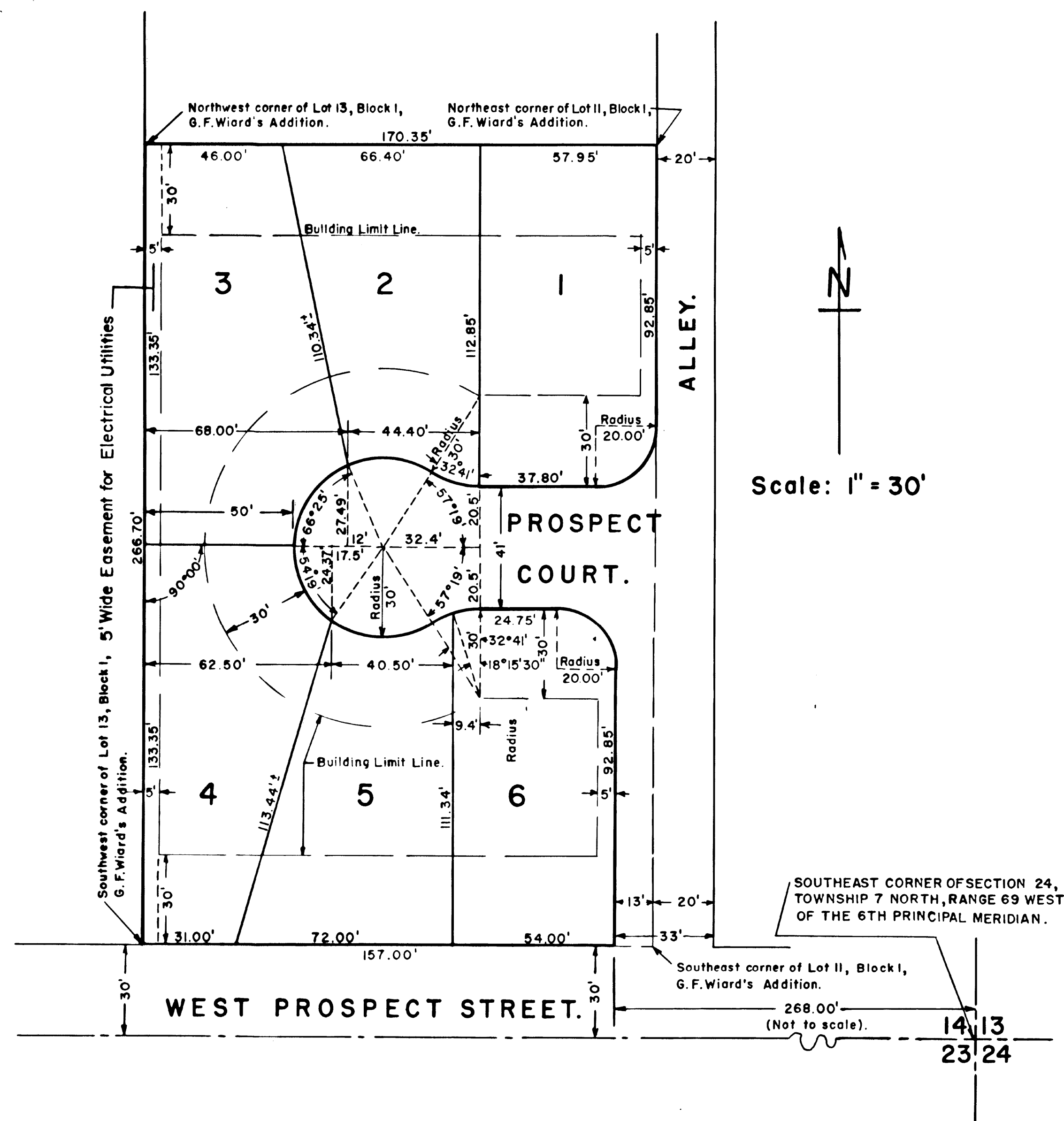
I, Roy A. Smith, a NOTARY Public in and for said county in the state aforesaid do hereby certify that G. F. Wiard who is known to me to be the person whose name is subscribed to this plat appeared before me this day in person and acknowledged that he signed, sealed, and delivered the said instrument of writing of his free and voluntary act for uses and purposes therein set forth.

Given under my hand and Notarial Seal this 29 day of Oct. A.D. 1921

Roy A. Smith
NOTARY PUBLIC

My commission expires July 1, 1923





FLINN'S RESUBDIVISION OF LOTS 11, 12 AND 13 IN BLOCK I OF G.F. WIARD'S ADDITION TO THE CITY OF FORT COLLINS, LARIMER COUNTY, COLORADO.

KNOW ALL MEN BY THESE PRESENTS:

That R.M. FLINN, being the sole owner of Lots 11, 12 and 13 in Block I of G.F. WIARD'S ADDITION TO THE CITY OF FORT COLLINS, COLORADO, according to the plat dated October 29, 1921, and filed for record on _____ does hereby resubdivide the same into six lots, numbered 1 to 6, to be known as FLINN'S RESUBDIVISION OF LOTS 11, 12 AND 13 IN BLOCK I OF G.F. WIARD'S ADDITION TO THE CITY OF FORT COLLINS, LARIMER COUNTY, COLORADO, as shown on the within plat, and does hereby dedicate and convey to and for public use, forever hereafter, the streets as laid out and designated on said plat, and does also reserve perpetual easement across, over and upon the West 5 feet of Lots 3 and 4 as laid out and designated on said plat for electrical utility construction and maintenance.

Witness my hand and seal this _____ day of May, A.D. 1953.

R.M. Flinn

STATE OF COLORADO } S.S.
COUNTY OF LARIMER }

The foregoing instrument was acknowledged before me this 15th day of May, A.D. 1953, by R.M. FLINN.

My commission expires May 9, 1955

Carl H. Hansen
Notary Public.

Howard E. Evans, being first duly sworn on his oath, deposes and says that he is a registered engineer under the laws of the State of Colorado, that the survey and plat of FLINN'S RESUBDIVISION OF LOTS 11, 12 AND 13 IN BLOCK I OF G.F. WIARD'S ADDITION TO THE CITY OF FORT COLLINS, LARIMER COUNTY, COLORADO were made by him, that said survey is accurately represented on said plat, that he has read the statements thereon and that the same are true of his own knowledge.

Howard E. Evans
Registered Engineer.

Subscribed and sworn to before me this 15th day of May, A.D. 1953.

My commission expires May 9, 1955

Carl H. Hansen
Notary Public.

The survey and plat of Flinn's Resubdivision of Lots 11, 12 and 13 in Block I of G.F. Wiard's Addition to the City of Fort Collins, Colorado, was checked by persons under my supervision and were found to be correct.

Howard E. Evans
City Engineer,
City of Fort Collins, Colorado.
May 20, 1953.

The plat of Flinn's Resubdivision of Lots 11, 12 and 13 in Block I of G.F. Wiard's Addition to the City of Fort Collins, Colorado, was accepted and approved by a resolution passed and adopted by the City Council of the City of Fort Collins, Colorado, at a regular meeting held on May 22, A.D. 1953.

Miles F. Hansen
City Clerk.



Office of Facilities Management

Fort Collins, Colorado 80523-6030
6030 Campus Delivery

September 11, 2015

Jason Holland
Current Planning
Development Review Center
281 North College Avenue
Fort Collins, CO 80524

RE: CSU Medical Center – College Avenue and Prospect Road

Dear Jason,

Attached is the Site Plan Advisory Review Submittal for the CSU Medical Center proposed for the corner of College Avenue and Prospect Road. The content of this submittal is the consequence of comment from and consultation with City Staff, a Neighborhood Meeting in July and insight provided by the Landmark Preservation Commission during a work session this week. We believe that this is a project that both the University and Fort Collins Community will take pride in when completed.

The project is an 113,000 square foot, four story building within an approximately 4 acre site. I have attached a fact sheet on the project that goes into some detail about the programs contained within the building, and the partnership between CSU, UC Heath, and Columbine Heath Systems that is the impetus for the creation of this building on this site. This is the same fact sheet presented at the Neighborhood Meeting.

The project site is bordered by College Avenue on the east, West Prospect Road on the south, Lake Street on the north, and the Mason Corridor on the west. The Board of Governors of the Colorado State University System is the owner of the entire parcel, with the exception of 1407 College Avenue, which is under private ownership. The project development plan treats three of the parcels; 1405, 1407 and 1413 College Avenue, as "out parcels", and makes the assumption that the houses associated with these parcels remain.

We believe that the **Character**, **Location** and **Extent** requirements of pertinent State Statute and City of Fort Collins SPAR requirements detailed in code are met in the following ways:

Character - The project will conform to the landscape, site furnishing and lighting standards spelled out in the CSU Aesthetic Guidelines and CSU Facilities Construction Standards Manual.

Location – The CSU Medical Center places an active and prominent use at a major city intersection, and creates a gateway to the emerging Midtown redevelopment to the south, and a

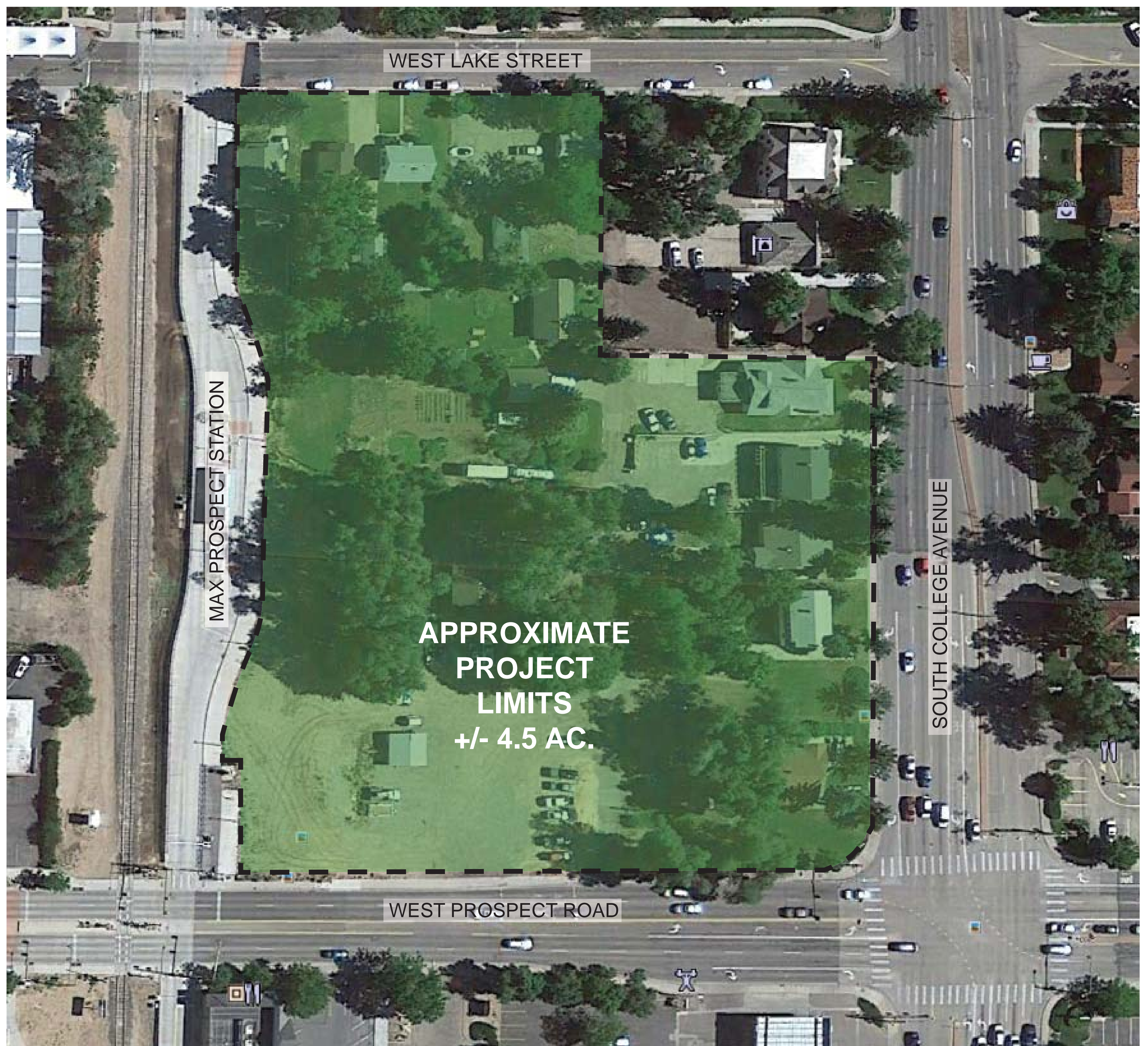
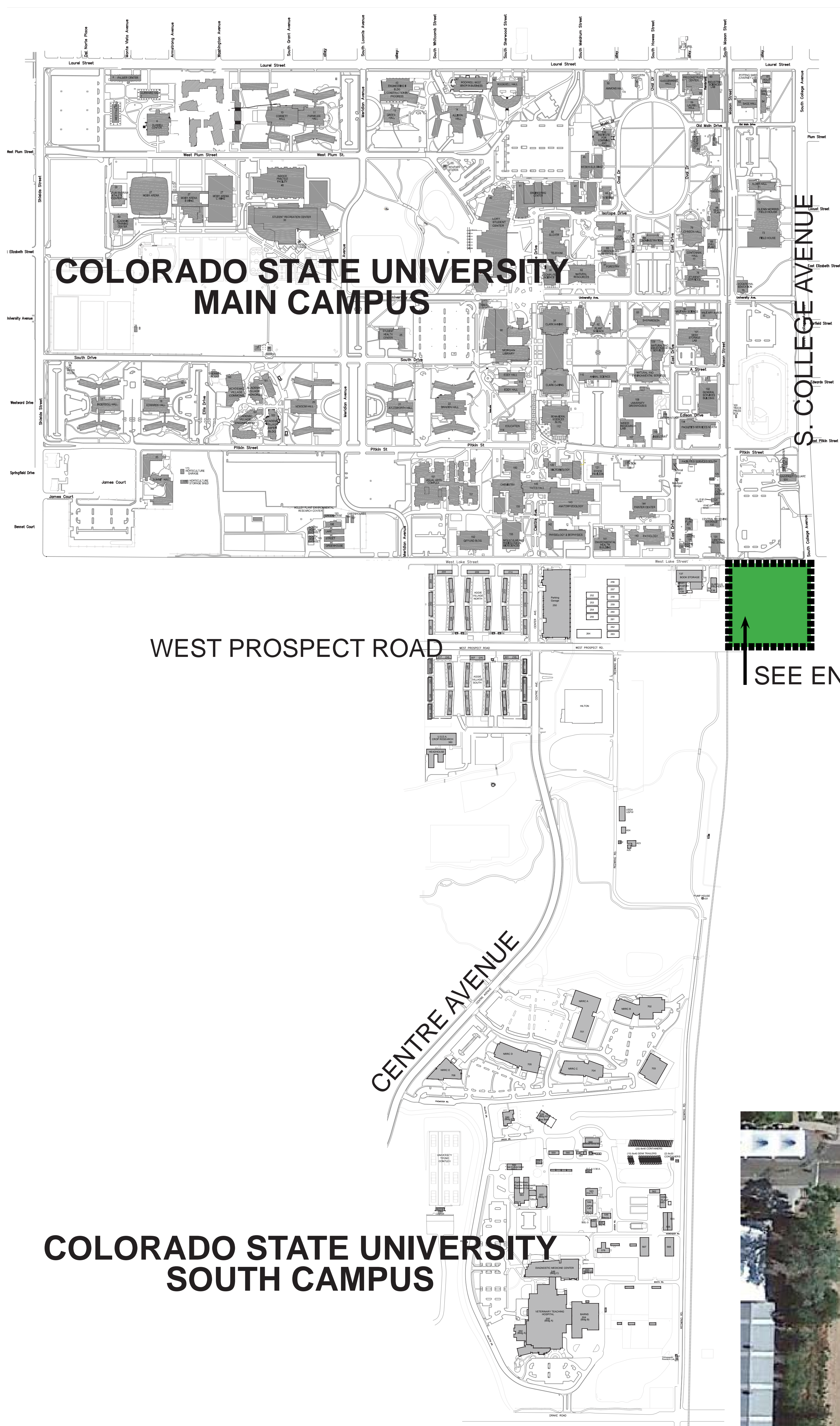
gateway to the Colorado State University to the north and west. It directly leverages the investment of the Mason BRT, by placing the main entrance of the Medical Center within 100 feet of the Prospect BRT transit station.

Extent – The Medical Center is placed set-back from both College Avenue and West Prospect Road, in an effort to reduce the extent of the visual impact of a large building, and retain the existing character of College Avenue from Prospect to Laurel, which, especially on the west side of the street, is dominated by broad lawns, extensive building setbacks and mature trees. The extent of traffic impacts this project may have on the College-Prospect intersection are mitigated by removing all but fire truck access from entering or existing the site from Prospect, placing close in parking for the site on the northwest corner of the site and leveraging the 900 space parking lot immediately north of the site between Lake and Pitkin Streets.

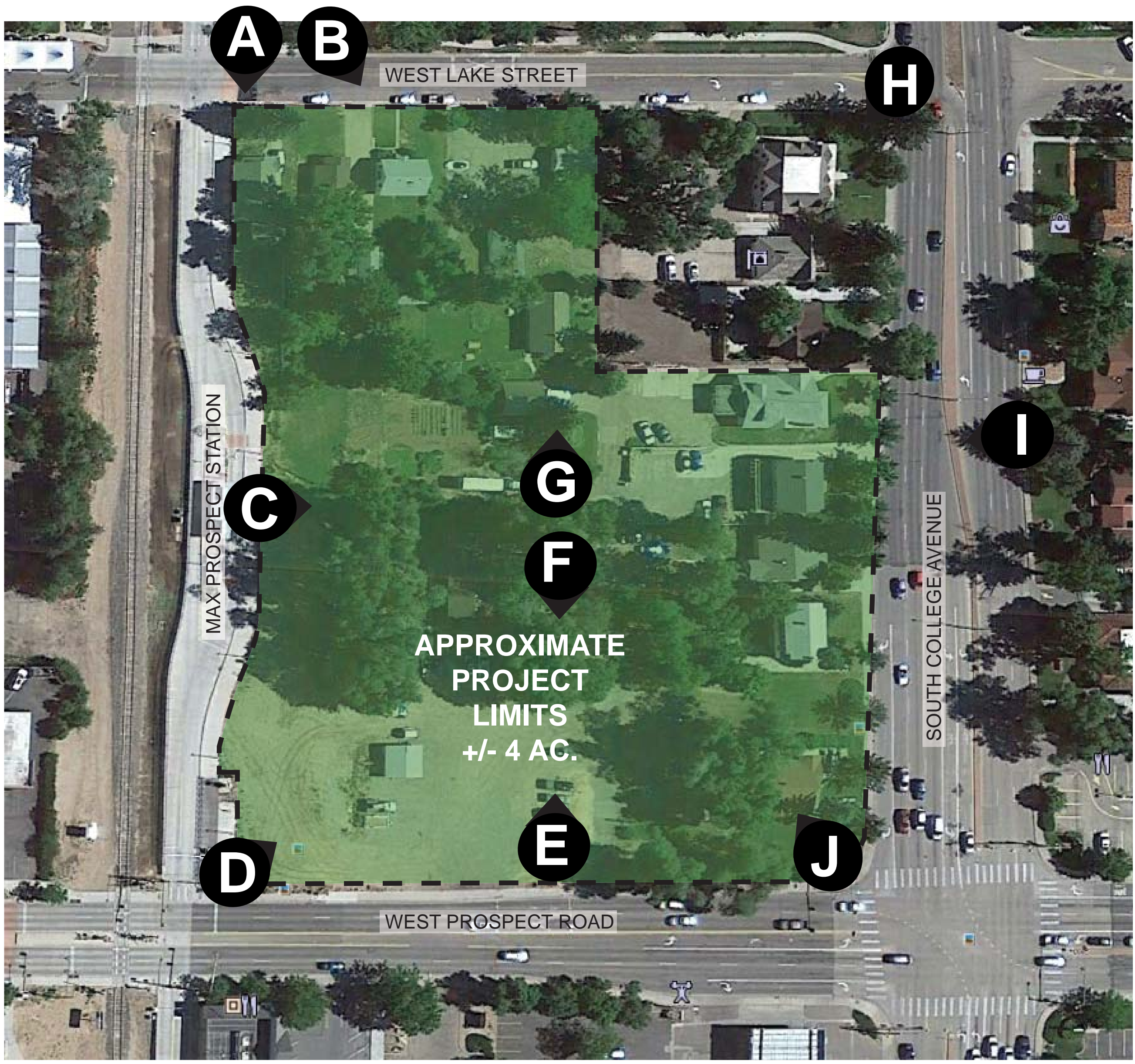
Sincerely,

A handwritten signature in black ink, appearing to read 'Fred Haberecht', with a stylized flourish at the end.

Fred Haberecht, LEED AP, ASLA
Assistant Director, Landscape and Planning
Facilities Services Center North
Colorado State University
Fort Collins, Colorado 80523-6030
970.491.0162 970.491.0105 - fax



ENLARGED VICINITY MAP



EXISTING CONDITIONS



A



B



C



D



E



F



G



H



I



J

Medical Center Existing Conditions/ Site Photos SPAR Submittal

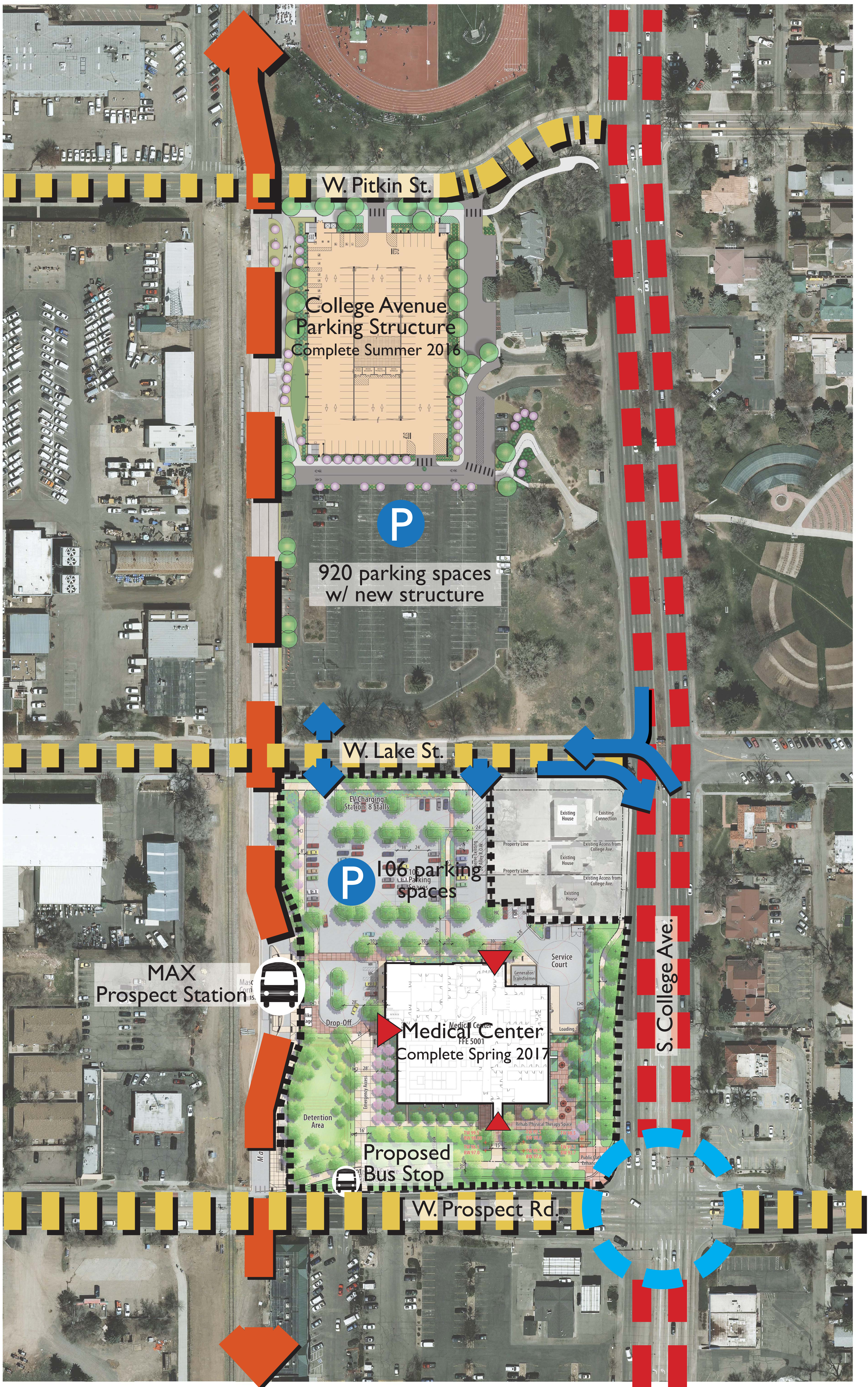
September 2, 2015

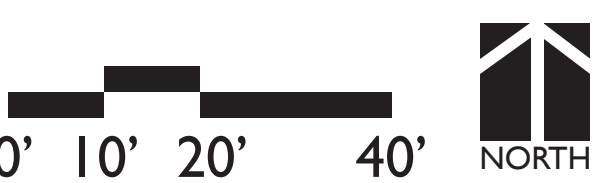
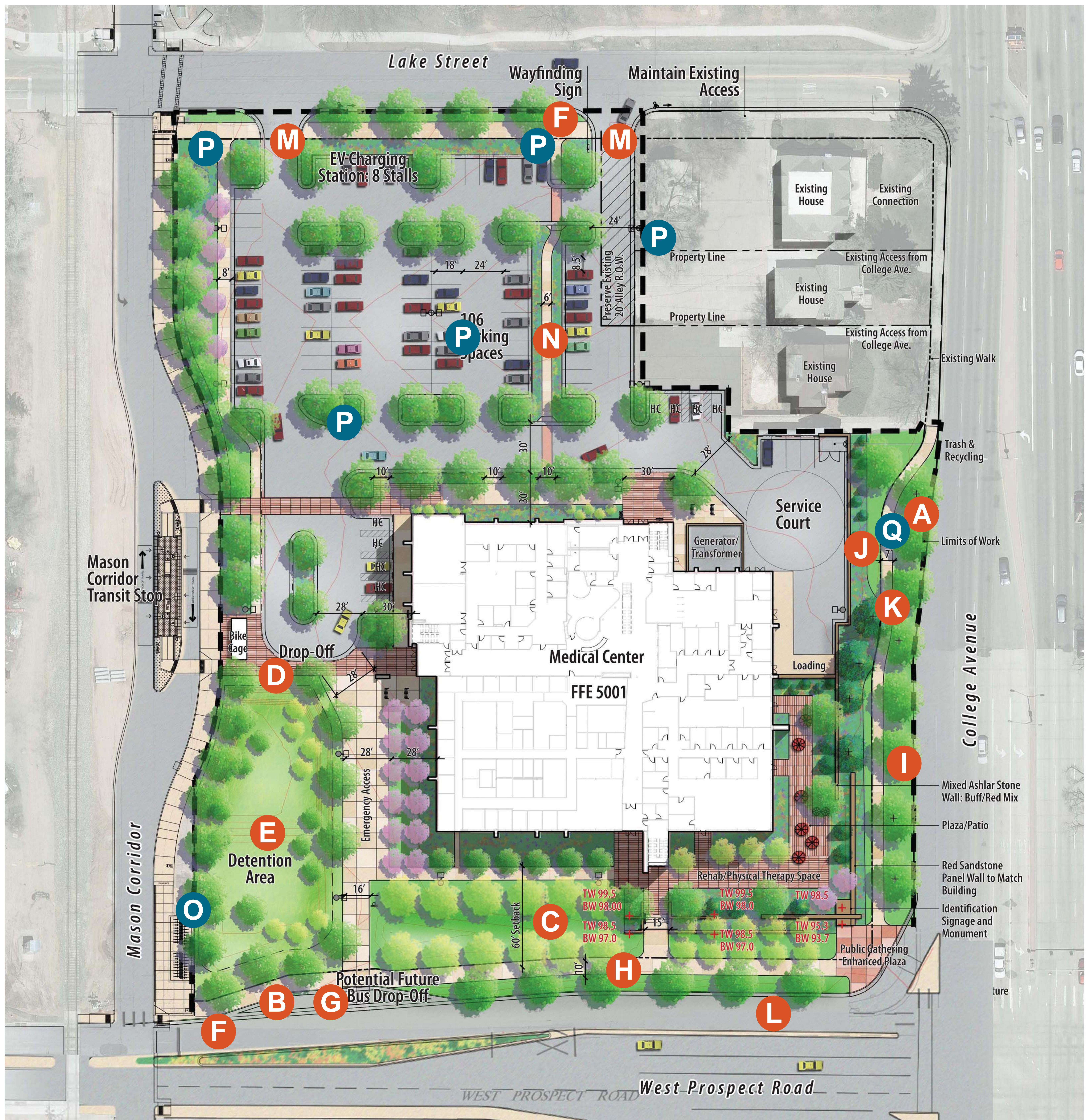


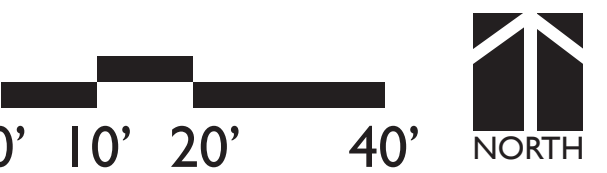
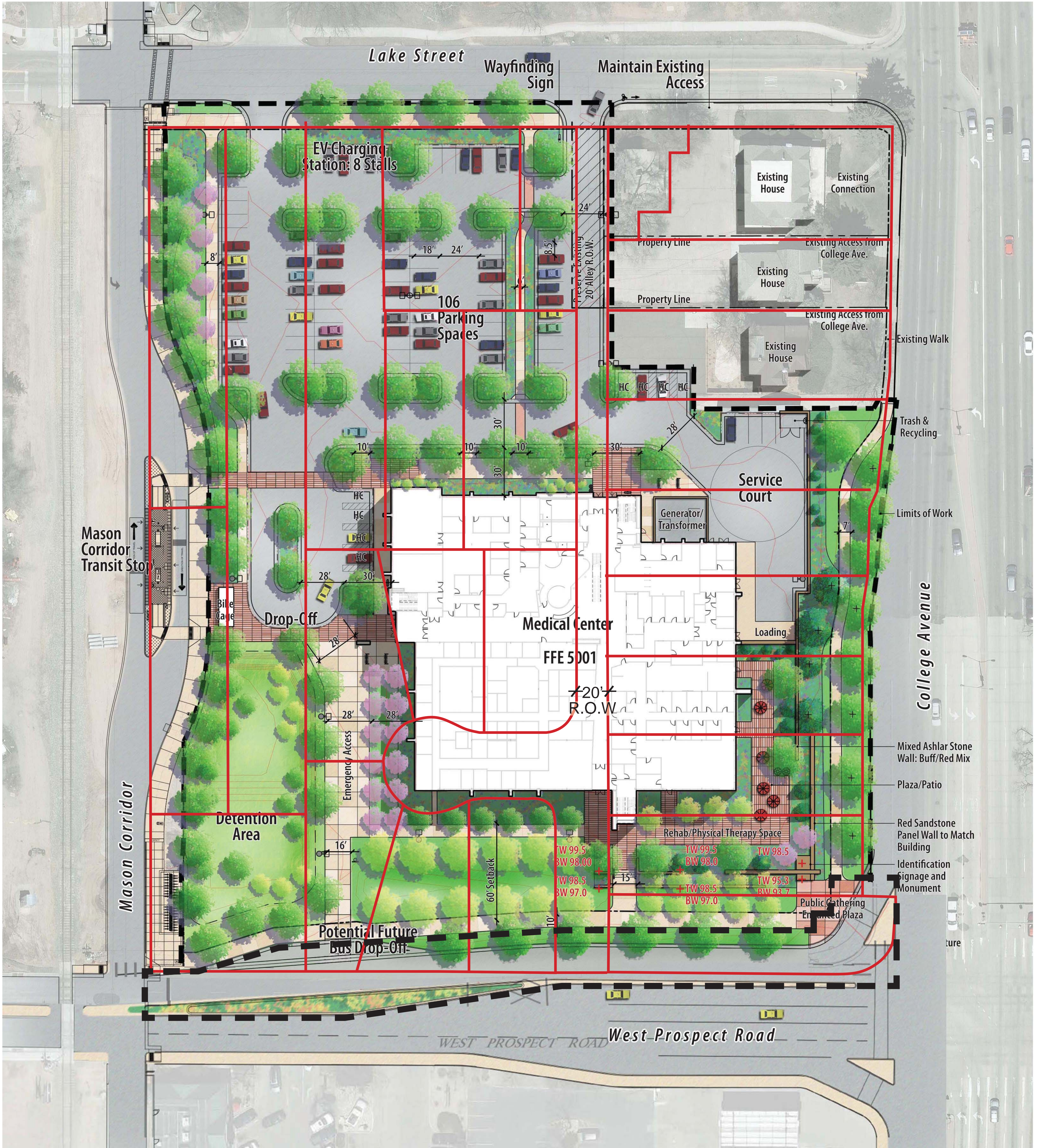
Colorado State University

FACILITIES MANAGEMENT

AT COLORADO STATE UNIVERSITY

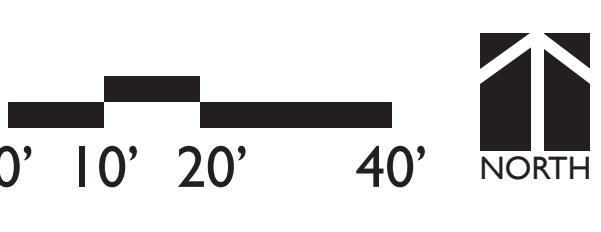
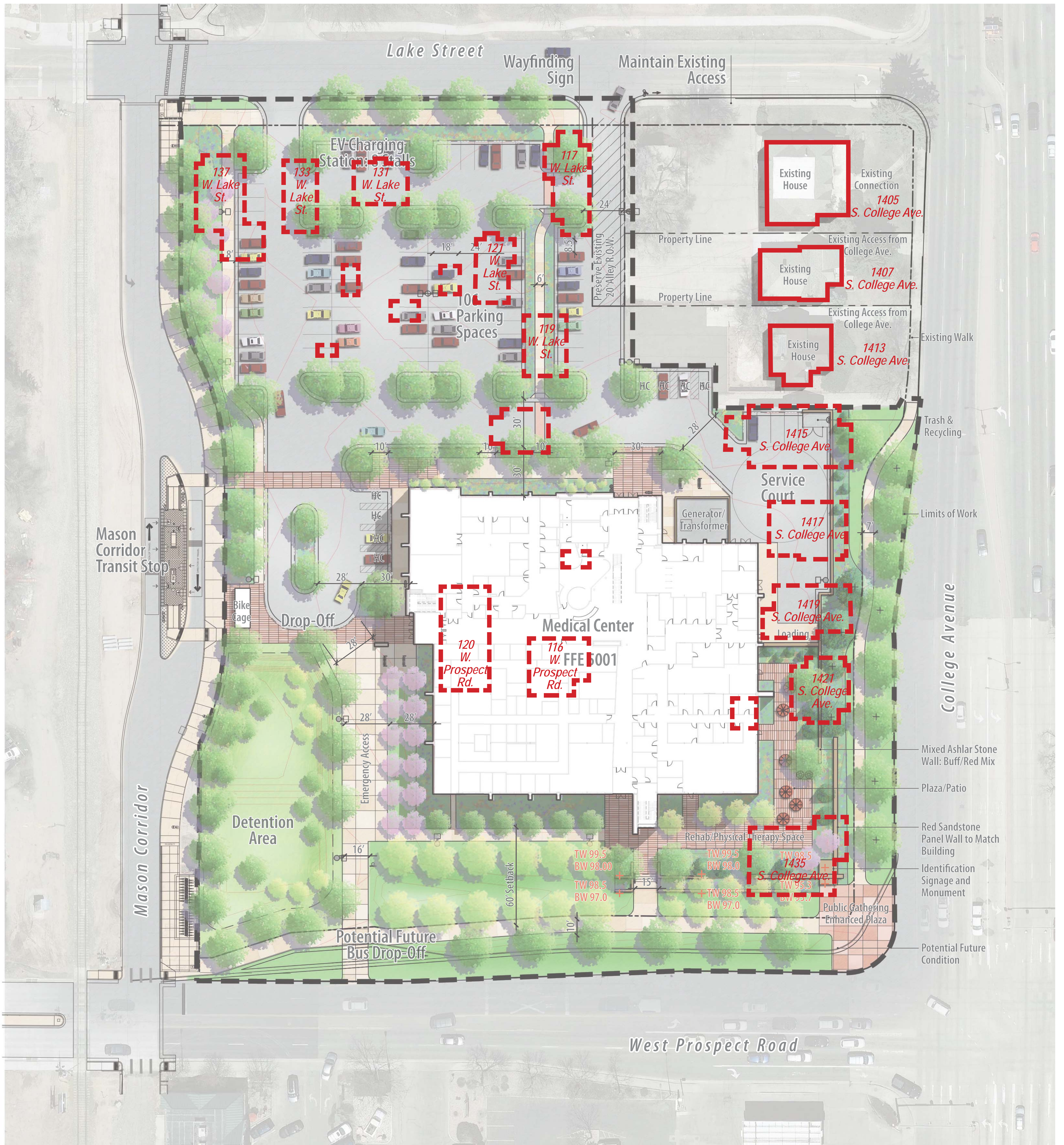






September 28, 2015

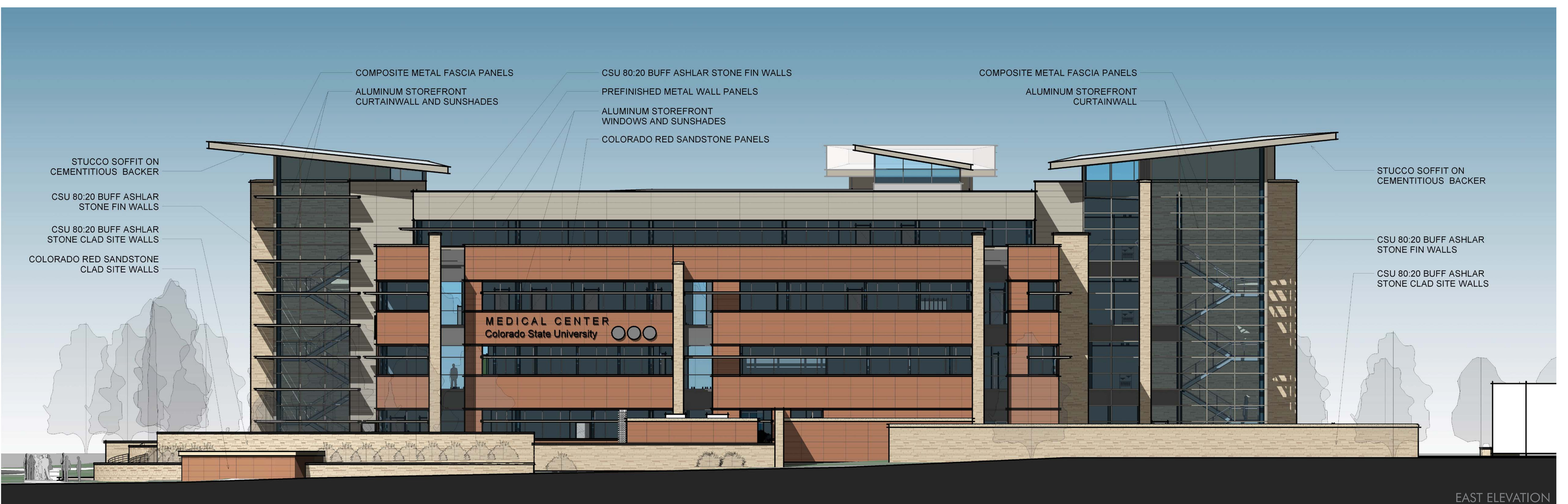
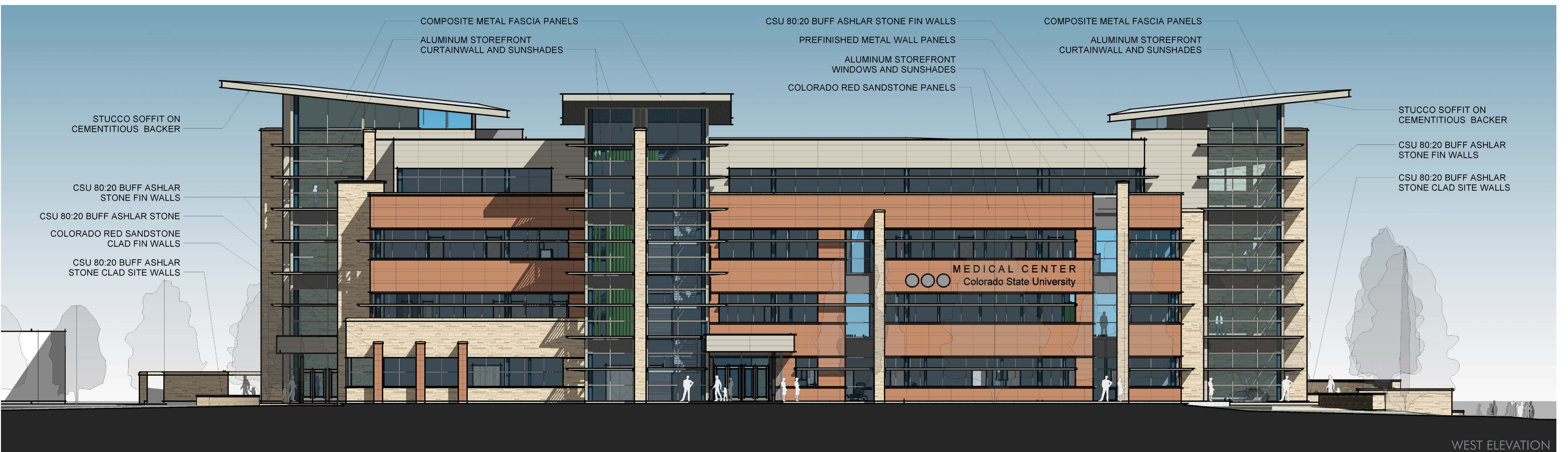
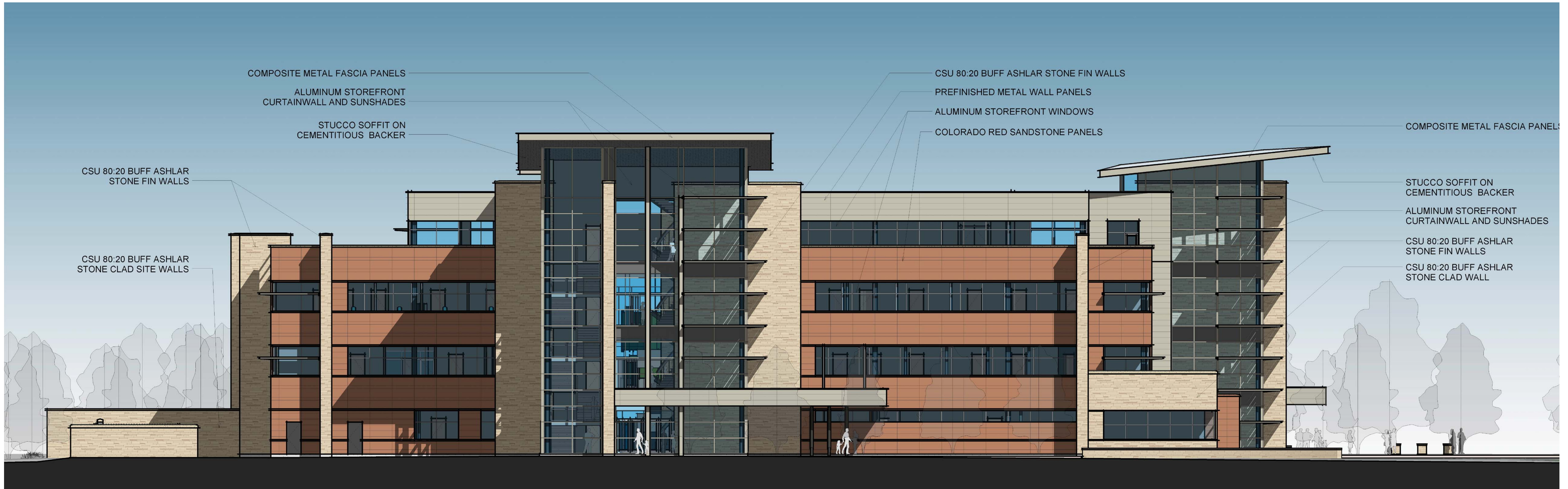
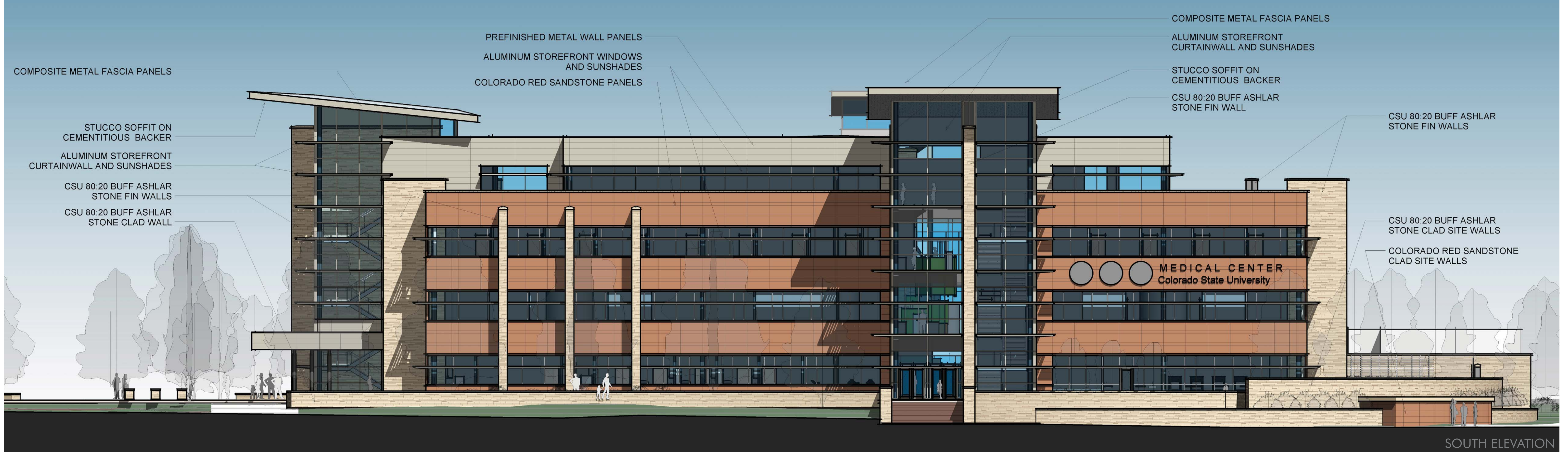
Medical Center Site Plan SPAR Submittal



September 9, 2015

Medical Center Site Plan with Existing Structures

Landmark Preservation Commission Presentation



UTILITY PLANS FOR
COLORADO STATE UNIVERSITY
HEALTH AND MEDICAL CENTER
151 WEST LAKE STREET
FORT COLLINS, COLORADO

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE 6TH PM, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

DECEMBER 11, 2015



VICINITY MAP
SCALE: 1"=1000'

SHEET NO.	TITLE
C0.0	COVER SHEET
C0.1	NOTES, LEGEND, & ABBREVIATIONS
C0.2	CITY OF FORT COLLINS NOTES
C0.3	DEMOLITION PLAN
CE1.0	EROSION CONTROL PLAN
CE1.1	SWMP & EROSION CONTROL DETAILS
CE1.2	EROSION CONTROL DETAILS
C1.0	OVERALL GRADING PLAN
C1.1	DETAILED GRADING PLAN – NORTHWEST
C1.2	DETAILED GRADING PLAN – NORTHEAST
C1.3	DETAILED GRADING PLAN – WEST CENTER
C1.4	DETAILED GRADING PLAN – EAST CENTER
C1.5	DETAILED GRADING PLAN – SOUTHWEST
C1.6	DETAILED GRADING PLAN – SOUTHEAST
C1.7	STORM PLAN & PROFILE
C1.8	STORM PLAN & PROFILE
C1.9	STORM PLAN & PROFILE
C1.10	ROOF AND AREA DRAIN PLAN
CD1.0	GRADING & DRAINAGE DETAILS
CD1.1	GRADING & DRAINAGE DETAILS
CD1.2	GRADING & DRAINAGE DETAILS
C2.0	UTILITY PLAN
C2.1	WATER PLAN & PROFILE
C2.2	SEWER PLAN & PROFILE
C2.3	SEWER PLAN & PROFILE
CD2.0	UTILITY DETAILS
CD2.1	UTILITY DETAILS
C3.0	HORIZONTAL CONTROL PLAN
C3.1	LINE AND CURVE TABLES
CD3.0	SITE DETAILS
CD3.1	SITE DETAILS
CD3.2	SITE DETAILS
CD3.3	SITE DETAILS
C4.0	PROSPECT ROAD IMPROVEMENTS PLAN (FOR REFERENCE ONLY)

THESE PLANS HAVE BEEN REVIEWED BY THE CITY OF FORT COLLINS FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE CITY ENGINEER, OR THE CITY OF FORT COLLINS FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT THE QUANTITIES OF THE ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED IN ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE CITY OF FORT COLLINS FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____
City Engineer

_____ Date

CHECKED BY: _____
Water & Wastewater Utility

_____ Date

CHECKED BY: _____
Stormwater Utility

_____ Date

CHECKED BY: _____
Traffic Engineer

_____ Date

CHECKED BY: _____
Parks and Recreation

_____ Date

CHECKED BY: _____
Environmental Planner

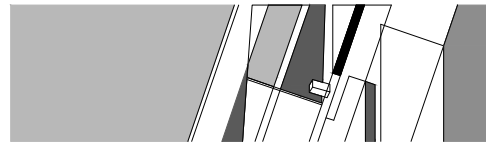
_____ Date

CHECKED BY: _____

_____ Date



797 Ventura St.
Aurora, Colorado, 80011
303 . 363 . 7101
303 . 363 . 9251 Fax



BENNETT WAGNER GRODY
ARCHITECTS

1301 Wazee, Suite 100
Denver, Colorado, 80204
303 . 623 . 7323
303 . 623 . 2836 Fax

OWNER'S REPRESENTATIVE

Colorado State University
Facilities Management
251 Edison Drive
Fort Collins, CO, 80523-6030
970.491.0080 - Phone
970.491.7572 - Fax

CIVIL ENGINEER

JVA Consulting Engineers
25 Old Town Square, Ste. 200
Fort Collins, CO 80524
303.444.1951

LANDSCAPE ARCHITECT

Design Workshop
1390 Lawrence St, Ste. 100
Denver, CO, 80204
303.623.2616

STRUCTURAL ENGINEER

JVA Consulting Engineers
1319 Spruce St.
Boulder, CO, 80302
303.444.1951

MECHANICAL / ELECTRICAL /
PLUMBING ENGINEERING

ME Engineers
14143 Denver West Parkway, Ste. 300
Golden, CO, 80401
303.421.6655

ELECTRICAL

Gregory Electric
3317 North Lincoln Ave
Loveland, CO, 80538
970-669-7609

MECHANICAL CONTRACTOR

US Engineering Co
1100 W. 120th Ave #900
Westminster, CO, 80234
303.964.8060

ENERGY / ENVIRONMENTAL

Ambient Energy
130 W. 5th Ave
Denver, CO, 80204
303.278.1532

SPECIFICATIONS

Specifications for Architects, Inc.
6560 West Alamo Drive
Littleton, CO, 80123
303.927.8362

NOT FOR CONSTRUCTION

CSU HEALTH AND MEDICAL CENTER

151 W. Lake Street
Fort Collins, CO 80524

Date DECEMBER 11, 2015
Issue 100% UTILITY PLAN SET
Drawn By KRB
Checked By KAT
Project Number 15042.00
Owner Project Number 14-023

Revisions		

Sheet _____ of _____

COVER SHEET

C0.0

ABBREVIATIONS

ASHTO	ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL	INCLUDED
ABAN	ABANDON	ID	INSIDE DIAMETER
AC	ASPHALTIC CONCRETE PAVING	IN	INLET
ADDL	ADDITIONAL	INSUL	INSULATION
ADDM	ADDENDUM	INV	INVERT
ADJ	ADJUSTABLE	IRR	IRRIGATION
AL	ALUMINUM	JTS	JOINTS
ALT	ALTERNATE	KB	KICKBLOCK
AMT	AMOUNT	KO	KNOCKOUT
APPROX	APPROXIMATE	KP	KICK PLATE
ARCH	ARCHITECT(URAL)	KWY	KEYWAY
ARV	AIR RELIEF VALVE	L	LEFT OR LITER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	LSCAPE	LANDSCAPE(NG)
ASPH	ASPHALT	LF	LINEAR FOOT
ASSY	ASSEMBLY	LP	LOW PRESSURE OR LIGHT POLE
ASYM	ASYMMETRICAL	LT	LIGHT
AUTO	AUTOMATIC	LWL	LOW WATER LEVEL
AVG	AVERAGE		
AWWA	AMERICAN WATER WORKS ASSOC.	MAINT	MAINTENANCE
BC	BACK OF CURB	MAN	MANUAL
BFV	BUTTERFLY VALVE	MATL	MATERIAL
BFP	BACK FLOW PREVENTER	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
BLK	BLOCK	MEP	MECHANICAL, ELECTRICAL, PLUMBING ENGINEER
BM	BENCH MARK	MFR	MANUFACTURER
BMP	BEST MANAGEMENT PRACTICE	MH	MANHOLE
BOT	BOTTOM	MIN	MINIMUM
BS	BACKSIGHT	MISC	MISCELLANEOUS
BSMT	BASEMENT	MJ	MECHANICAL JOINT
BVCE	BEGIN VERTICAL CURVE ELEVATION	N	NORTH(NG)
BVCS	BEGIN VERTICAL CURVE STATION	NA	NOT APPLICABLE
BW	BOTTOM OF WALL	NIC	NOT IN CONTRACT
CB	CATCH BASIN	NPT	NATIONAL PIPE THREAD
CCW	COUNTER CLOCKWISE	NTS	NOT TO SCALE
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	OC	ON CENTER
CIP	CAST IRON PIPE	OD	OUTSIDE DIAMETER
CJ	CONSTRUCTION JOINT	OPP	OPPOSITE
CL	CENTER LINE OR CHAIN LINK	OPT	OPTIONAL
CLR	CLEAR	PC	POINT OF CURVATURE
CMP	CORRUGATED METAL PIPE	PCO	PRESSURE CLEAN OUT
CMU	CONCRETE MASONRY UNIT	PCR	POINT OF CURVE RETURN
CO	CLEANOUT	PE	PERIMETER DRAIN
COMM	COMMUNICATION LINES (TELEPHONE/FIBER OPTIC)	PE	POLYETHYLENE
CON	CONDENSATE	PI	POINT OF INTERSECTION
CONC	CONCRETE	PVI	POINT OF VERTICAL INTERSECTION
CONST	CONSTRUCTION	PL	PROPERTY LINE
CONT	CONTINUOUS(ATION)	PRFAB	PREFABRICATED
COORD	COORDINATION	PRELIM	PRELIMINARY
COR	CORNER	PREP	PREPARATION
CR	CONCENTRIC REDUCER	PROP	PROPOSED
CTR	CENTER	PRV	PRESSURE REDUCING VALVE OR PRESSURE
CY	CUBIC YARDS	PSF	POUNDS PER SQUARE FOOT
DEMO	DEMOLITION	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	PT	POINT OF TANGENCY
DIAG	DIAGONAL	PV	PLUG VALVE
DIP	DUCTILE IRON PIPE	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL
DOM	DOMESTIC		CURVATURE
DN	DOWN	PWMT	PAVEMENT
DR	DRAIN	QTY	QUANTITY
DS	DOWN SPOUT		
DWL	DOWEL		
E	EAST(ING)	R	RIGHT
EA	EACH	RAD	RADIUS
ECC	ECCENTRIC	RCP	REINFORCED CONCRETE PIPE
EJ	EXPANSION JOINT	RD	ROOF DRAIN
EL	ELEVATION	RE	REFERENCE
ELDW	ELEW	RECT	RECTANGULAR
ELEC	ELECTRICAL	REIN	REINFORCE (D) (ING) (MENT)
ENGR	ENGINEER	REQD	REQUIRED
EOP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY
EQ	EQUAL	SAN	SANITARY
EQUIP	EQUIPMENT	SD	STORM DRAIN
EQUIV	EQUIVALENT	SECT	SECTION
ESMT	EASEMENT	SPD	STANDARD PROCTOR DENSITY
EST	ESTIMATE	SPEC	SPECIFICATION
EVCE	END VERTICAL CURVE ELEVATION	SQ	SQUARE
EVCS	END VERTICAL CURVE STATION	SQ IN	SQUARE INCH
EW	EACH WAY	SQ FT	SQUARE FOOT
EXP JT	EXPANSION JOINT	SQ YD	SQUARE YARD
EXIST	EXISTING	SS	SANITARY SEWER
FND	FOUNDATION	SST	STAINLESS STEEL
FES	FLARED END SECTION	STA	STATION
FF	FINISH FLOOR	STD	STANDARD
FFE	FINISHED FLOOR ELEVATION	STL	STEEL
FG	FINISH GRADE	STRUCT	STRUCTURAL
FH	FIRE HYDRANT	STM	STEAM LINE
FL	FLOW LINE	SWMP	STORMWATER MANAGEMENT PLAN
FN	FENCE	SYM	SYMMETRICAL
FO	FIBER OPTIC		
FOC	FACE OF CONCRETE	TB	THRUST BLOCK
FFM	FEET PER MINUTE	TBC	TOP BACK OF CURB
FPS	FEET PER SECOND	TBM	TEMPORARY BENCH MARK
FT	FEET	TELE	TELEPHONE
FTG	FOOTING OR FITTING	TEMP	TEMPORARY
G	GAS	THK	THICK
GA	GAUGE	TOB	TOP OF BANK
GAL	GALLON	TOC	TOP OF CONCRETE OR TOP OF CURB
GALV	GALVANIZED	TOT	TOTAL
GCO	GRADE CLEANOUT	TV	TAPPING VALVE
GP	GALVANIZED IRON PIPE	TW	TOP OF WALL
GND	GROUND	TYP	TYPICAL
GPD	GALLONS PER DAY		
GPM	GALLONS PER MINUTE	UBC	UNIFORM BUILDING CODE
GRTG	GRATING	UGE	UNDERGROUND ELECTRIC
GSP	GALVANIZED STEEL PIPE	UTIL	UTILITY
GV	GATE VALVE		
H	HIGH	VERT	VERTICAL
HB	HOSE BIB	VC	POINT OF VERTICAL CURVATURE
HC	HANDICAP	VCP	VITRIFIED CLAY PIPE
HE	HORIZONTAL ELLIPTICAL	W	WIDE OR WIDTH
HDWL	HEADWALL	W/	WITH
HNDRL	HAND RAIL	W/O	WITHOUT
HORIZ	HORIZONTAL	WOCE	WATER QUALITY CONTROL ELEVATION
HP	HIGH POINT	WSE	WATER SURFACE ELEVATION
HR	HOUR	WW	WASTEWATER
HVAC	HEATING, VENTILATION, AIR CONDITIONING	X SECT	CROSS SECTION
HWY	HIGHWAY	YH	YARD HYDRANT
HWL	HIGH WATER LINE		
HYD	HYDRANT		

LEGEND

	SURVEY CONTROL POINT		EDGE OF ASPHALT
	BENCHMARK		EDGE OF LANDSCAPING
	PROPOSED MANHOLE		EDGE OF GRAVEL ROAD
	EXISTING MANHOLE		FLOWLINE
	COMBINATION INLET		CHAIN LINK FENCE
	TYPE R INLET		FENCE LINE
	TYPE 13 FIELD INLET		OVERHEAD POWER LINE
	FLARED END SECTION		UNDERGROUND POWER LINE
	RIPRAP		UNDERGROUND TELEPHONE LINE
	THRUST BLOCK		UNDERGROUND STEAM LINE
	TEE W/ THRUST BLOCK		UNDERGROUND SANITARY SEWER LINE
	BEND W/ THRUST BLOCK		UNDERGROUND WATER LINE
	END CAP W/ THRUST BLOCK		UNDERGROUND GAS LINE
	GATE VALVE		DRAINAGE LINE
	REDUCER/INCREASER		TRAFFIC MAST
	WATER METER		SHRUB
	FIRE HYDRANT		PINE TREE
	LIGHT POLE		DECIDUOUS TREE
	SIGN		ROCK
	STORM DRAIN		SPIGOT
	ROOF DRAIN		FIRE HYDRANT
	PERIMETER DRAIN		WATER VALVE
	SANITARY SEWER		IRRIGATION VALVE
	WATER		GAS VALVE
	IRRIGATION		CLEAN OUT
	UNDERDRAIN		POWER POLE
	TRENCH DRAIN		WATER MANHOLE
	FLOOR DRAIN / FOUNDATION DRAIN		TELEPHONE MANHOLE
	PRIVATE FIRE SUPPLY LOOP		CABLE TV PEDESTAL
	TELEPHONE		ELECTRIC BOX
	ELECTRIC		IRRIGATION VALVE BOX
	OVERHEAD ELECTRIC		WATER METER
	UNDERGROUND ELECTRIC		PARKING METER
	GAS		GAS METER
	CABLE TV		ELECTRIC METER
	CHILLED WATER RETURN		TEE POST
	CHILLED WATER SUPPLY		SIGN
	FIBER OPTIC		CUT STEEL POST
	JOINT UTILITY TRENCH		STEEL POST
	FLOW LINE		TELEPHONE PEDESTAL
	FENCE		ELECTRIC MANHOLE
	DEMO/RELOCATE UTILITY		SANITARY MANHOLE
	DEMO SITE FEATURES		DRAINAGE MANHOLE
	LIMITS OF SAWCUT		UNKNOWN MANHOLE
	PROPERTY LINE / ROW		MAILBOX
	EASEMENT LINE		LANDSCAPE LIGHT
	LIMITS OF WORK		LIGHT POLE
	MATCHLINE		HANDICAP RAMP
	PROPOSED BUILDING		ROOF DRAIN
	EXIST BUILDING		AIR CONDITIONER UNIT
	BLDG ACCESS		CURB CUT
	CONCRETE PAVING		CONTROL POINT
	ASPHALT PAVING		FOUND PIN
	ASPHALT OVERLAY		
	EARTH		
	CURB & GUTTER		
	GUTTER PAN		
	SPILL/CATCH CURB TRANSITION		
	PROPOSED INDEX CONTOUR		
	PROPOSED INTERMEDIATE CONTOUR		
	EXIST INDEX CONTOUR		
	EXIST INTERMEDIATE CONTOUR		
	PROPOSED SPOT ELEVATION		
	EXIST SPOT ELEVATION		

SYMBOLS

DETAIL TITLE	1	DETAIL NUMBER IDENTIFICATION
SCALE	-	SHEETS WHERE THE SECTION OR ELEVATION IS CUT OR CALLED OUT - INDICATES SAME DRAWING

DETAIL TITLE

1	DETAIL NUMBER IDENTIFICATION
C1.0	SHEET WHERE THE DETAIL IS DRAWN - INDICATES SAME DRAWING

DETAIL MARKER

REVISION CLOUD	
REVISION NUMBER	

SURVEY LEGEND

	EDGE OF ASPHALT		EDGE OF ASPHALT
	EDGE OF LANDSCAPING		EDGE OF LANDSCAPING
	EDGE OF GRAVEL ROAD		EDGE OF GRAVEL ROAD
	FLOWLINE		FLOWLINE
	CHAIN LINK FENCE		CHAIN LINK FENCE
	FENCE LINE		FENCE LINE
	OVERHEAD POWER LINE		OVERHEAD POWER LINE
	UNDERGROUND POWER LINE		UNDERGROUND POWER LINE
	UNDERGROUND TELEPHONE LINE		UNDERGROUND TELEPHONE LINE
	UNDERGROUND STEAM LINE		UNDERGROUND STEAM LINE
	UNDERGROUND SANITARY SEWER LINE		UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND WATER LINE		UNDERGROUND WATER LINE
	UNDERGROUND GAS LINE		UNDERGROUND GAS LINE
	DRAINAGE LINE		DRAINAGE LINE
	TRAFFIC MAST		TRAFFIC MAST
	SHRUB		SHRUB
	PINE TREE		PINE TREE
	DECIDUOUS TREE		DECIDUOUS TREE
	ROCK		ROCK
	SPIGOT		SPIGOT
	FIRE HYDRANT		FIRE HYDRANT
	WATER VALVE		WATER VALVE
	IRRIGATION VALVE		IRRIGATION VALVE
	GAS VALVE		GAS VALVE
	CLEAN OUT		CLEAN OUT
	POWER POLE		POWER POLE
	WATER MANHOLE		WATER MANHOLE
	TELEPHONE MANHOLE		TELEPHONE MANHOLE
	CABLE TV PEDESTAL		CABLE TV PEDESTAL
	ELECTRIC BOX		ELECTRIC BOX
	IRRIGATION VALVE BOX		IRRIGATION VALVE BOX
	WATER METER		WATER METER
	PARKING METER		PARKING METER
	GAS METER		GAS METER
	ELECTRIC METER		ELECTRIC METER
	TEE POST		TEE POST
	SIGN		SIGN
	CUT STEEL POST		CUT STEEL POST
	STEEL POST		STEEL POST
	TELEPHONE PEDESTAL		TELEPHONE PEDESTAL
	ELECTRIC MANHOLE		ELECTRIC MANHOLE
	SANITARY MANHOLE		SANITARY MANHOLE
	DRAINAGE MANHOLE		DRAINAGE MANHOLE
	UNKNOWN MANHOLE		UNKNOWN MANHOLE
	MAILBOX		MAILBOX
	LANDSCAPE LIGHT		LANDSCAPE LIGHT
	LIGHT POLE		LIGHT POLE
	HANDICAP RAMP		HANDICAP RAMP
	ROOF DRAIN		ROOF DRAIN
	AIR CONDITIONER UNIT		AIR CONDITIONER UNIT
	CURB CUT		CURB CUT
	CONTROL POINT		CONTROL POINT
	FOUND PIN		FOUND PIN

GENERAL NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE COLORADO STATE UNIVERSITY (CSU), POUDE FIRE AUTHORITY (PFA), COLORADO DEPT. OF TRANSPORTATION (CDOT), CITY OF FORT COLLINS (COFC), AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE PFA REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE CONDITIONS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORM WATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM CSU FACILITIES BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UNCC.ORG).
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS AND TREATED PER ANY STATE AND MUNICIPAL REGULATIONS.
- RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA AND EXISTING CONDITIONS. AT CRITICAL AREAS SUCH AS AROUND UTILITIES AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS AS APPROVED BY OWNER, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE TO EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
- FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN ACCEPTABLE DRIVE SLOPE STANDARDS PER ENGINEER. CONTRACTOR SHALL ALSO PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
- OWNER TO APPROVE ALL CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER AND/OR LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
- ADA COMPLIANCE: THE CROSS SLOPE OF ALL WALKS MUST BE 2.0% MAX. PERPENDICULAR TO DIRECTION OF TRAVEL. MAXIMUM GRADE OF HANDICAPPED ACCESSIBLE WALKS MUST BE 5.0% MAX. IN DIRECTION OF TRAVEL. MAXIMUM GRADE OF ALL HANDICAP RAMPS IS 8.3% OVER A MAXIMUM 6" RISE. MAXIMUM GRADE AT HANDICAP PARKING IS TYPICALLY 2.0% IN ALL DIRECTIONS. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO PLACEMENT OF FLATWORK OF SITE CONDITIONS OR DISCREPANCIES WHICH PREVENT TYPICAL REQUIRED GRADES FROM BEING ACHIEVED. ALL RAMPS, STAIRS AND RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. DETECTABLE TRUNCATED DOME WARNING PADS SHALL BE USED AT ALL SIDEWALK RAMPS ADJACENT TO STREETS, PARKING AREAS, AND CURB & GUTTER. HANDICAP RAMPS SHALL CONFORM TO LQJASZ SPECIFICATIONS.
- TO

CITY OF FORT COLLINS GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
2. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
3. THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY ENGINEER. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
4. THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE LOCAL ENTITY, AS BENEFICIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS BY THE LOCAL ENTITY ENGINEER SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE LOCAL ENTITY, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.
5. MUST SANITARY SEWER, STORM SEWER, AND WATER LINE CONSTRUCTION, AS WELL AS POWER AND OTHER "DRY" UTILITY INSTALLATIONS, SHALL CONFORM TO THE LOCAL ENTITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF APPROVAL OF THE PLANS BY THE LOCAL ENTITY ENGINEER.
6. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
7. THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH / IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSLINGS REQUIRED.
9. IF A CONFLICT EXISTS BETWEEN EXISTING AND PROPOSED UTILITIES AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
10. THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
11. NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE DEVELOPER NOTIFIES THE UTILITY PROVIDER. NOTIFICATION SHALL BE A MINIMUM OF 2 WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
12. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
13. THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.
14. A STATE CONSTRUCTION DOWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DOWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
15. THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, (303) 692-3590), THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
16. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ONSITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).
17. PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE LOCAL ENTITY, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BE SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR SINGLE FAMILY UNITS. FOR COMMERCIAL PROPERTIES, CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT.
18. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR INJURIES SUSTAINED IN THIS DEVELOPMENT AS A RESULT OF GROUNDWATER SEEPAGE, WHETHER RESULTING FROM GROUNDWATER FLOODING, STRUCTURAL DAMAGE OR OTHER DAMAGE UNLESS SUCH DAMAGE OR INJURIES ARE SUSTAINED AS A RESULT OF THE LOCAL ENTITY FAILURE TO PROPERLY MAINTAIN ITS WATER, WASTEWATER, AND/OR STORM DRAINAGE FACILITIES IN THE DEVELOPMENT.
19. ALL RECOMMENDATIONS OF THE FINAL DRAINAGE REPORT DATED DECEMBER 11, 2015, AND EROSION CONTROL REPORT DATED NOVEMBER 11, 2015, BY JVA SHALL BE FOLLOWED AND IMPLEMENTED.
20. TEMPORARY EROSION CONTROL DURING CONSTRUCTION SHALL BE PROVIDED AS SHOWN ON THE EROSION CONTROL PLAN. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE DEVELOPER, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
21. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED WITHIN 24 HOURS BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
22. NO WORK MAY COMMENCE WITHIN ANY IMPROVED OR UNIMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE.
23. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEERING INSPECTOR (FORT COLLINS - 221-6605) AND THE LOCAL ENTITY EROSION CONTROL INSPECTOR (FORT COLLINS - 221-6700) AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE DEVELOPER MUST COMMENCE WORK IN THE ENGINEER ABSENCE. HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
24. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE AND PRIOR TO THE PLACEMENT OF CURB, GUTTER, SIDEWALK AND PAVEMENT. IF THE FINAL SOILS/PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBJECT PAVEMENT SECTION OR, THE DEVELOPER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTION(S). REGARDLESS OF THE OPTION USED, ALL FINAL SOILS/PAVEMENT DESIGN REPORTS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF 10 WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF CURB, GUTTER, SIDEWALK, BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE LOCAL ENTITY ENGINEER APPROVES THE FINAL REPORT.
25. THE CONTRACTOR SHALL HIRE A LICENSED ENGINEER OR LAND SURVEYOR TO SURVEY THE CONSTRUCTED ELEVATIONS OF THE STREET SUBGRADE AND THE GUTTER FLOWLINE AT ALL INTERSECTIONS, INLETS, AND OTHER LOCATIONS REQUESTED BY THE LOCAL ENTITY INSPECTOR. THE ENGINEER OR SURVEYOR MUST CERTIFY IN A LETTER TO THE LOCAL ENTITY THAT THESE ELEVATIONS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ANY DEVIATIONS SHALL BE NOTED IN THE LETTER AND THEN RESOLVED WITH THE LOCAL ENTITY BEFORE INSTALLATION OF BASE COURSE OR ASPHALT WILL BE ALLOWED ON THE STREETS.
26. ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW RESIDENTIAL ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK EXCEPT C/G ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE STUBBED TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
27. PORTIONS OF LARIMER COUNTY ARE WITHIN OVERLAY DISTRICTS. THE LARIMER COUNTY FLOOD PLAIN RESOLUTION SHOULD BE REFERRED TO FOR ADDITIONAL CRITERIA FOR ROADS WITHIN THESE DISTRICTS.
28. ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WLD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WLD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAT APPROVAL.
29. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE LOCAL ENTITY FORESTER TO SCHEDULE A SITE INSPECTION FOR ANY TREE REMOVAL REQUIRING A PERMIT.
30. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.
31. THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY. (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
32. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNS OF ANY TYPE, THE CONTRACTOR SHALL CONTACT LOCAL ENTITY TRAFFIC OPERATIONS DEPARTMENT WHO WILL TEMPORARILY REMOVE OR RELOCATE THE SIGN AT NO COST TO THE CONTRACTOR; HOWEVER, IF THE CONTRACTOR MOVES THE TRAFFIC SIGN THEN THE CONTRACTOR WILL BE CHARGED FOR THE LABOR, MATERIALS AND EQUIPMENT TO REINSTALL THE SIGN AS NEEDED.
33. THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR THE INITIAL INSTALLATION OF TRAFFIC SIGNING AND STRIPING FOR THE DEVELOPMENT RELATED TO THE DEVELOPMENT'S LOCAL STREET OPERATIONS. IN ADDITION, THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR TRAFFIC SIGNING AND STRIPING RELATED TO DIRECTING TRAFFIC ACCESS TO AND FROM THE DEVELOPMENT.
34. THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.
35. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
36. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
37. THE DEVELOPER SHALL HAVE, ONSITE AT ALL TIMES, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
38. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
39. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES. UPON COMPLETION OF THE WORK, THE CONTRACTOR(S) SHALL SUBMIT RECORD DRAWINGS TO THE LOCAL ENTITY ENGINEER.

40. THE DESIGNER SHALL PROVIDE, IN THIS LOCATION ON THE PLAN, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARKS (2) FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS. THE INFORMATION SHALL BE AS FOLLOWS:

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE EAST LINE OF SECTION 14 BEARING N00°00'33"E.

PROJECT DATUM: NAVD88

BENCHMARK: BENCHMARK: NATIONAL GEODETIC SURVEY CONTROL POINT "S 402", DESCRIBED BY NATIONAL GEODETIC SURVEY 1984 IN FORT COLLINS, AT THE JUNCTION OF WEST PROSPECT STREET AND THE COLORADO AND SOUTHERN RAILROAD, 85.3 METERS (279.9 FT) NORTH OF THE CENTERLINE OF THE WEST BOUND LANES OF THE STREET, 32.6 METERS (107.0 FT) NORTH OF THE CENTERLINE OF A PRIVATE DRIVE, 9.9 METERS (32.5 FT) WEST OF THE NEAR RAIL, AND 0.7 METERS (2.3 FT) SOUTH OF A UTILITY POLE.

ELEVATION=4997.54 FEET

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED FOR THEIR VERTICAL DATUM.

IF NGVD29 DATUM IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED = NAVD88 - 3.17'

COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA WITH REFERENCED SURVEY AND SURVEYOR, AND REPORT ANY IRREGULARITIES DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.

HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS AND AS LISTED BELOW:

CP-MAG	CP-X	CP-ALLEY	CP-PED	CP-MAX
ELEV=4998.66	ELEV=4993.53	ELEV=4994.80	ELEV=4998.70	ELEV=5004.04
N1450139.24	N1450178.31	N1450139.03	N1450710.49	N1450663.34
E3117869.11	E3118301.95	E3118105.77	E3118125.26	E3117808.94

41. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
42. DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS, PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
43. WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE LOCAL ENTITY CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ENTITY STREET REPAIR STANDARDS. THE FINISHED PATCH SHALL BLEND IN SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE LOCAL ENTITY ENGINEER AND/OR THE LOCAL ENTITY INSPECTOR AT THE TIME THE CUTS ARE MADE.
44. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
45. STANDARD HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.
46. AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A MINIMUM PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.
47. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTENANT IMPROVEMENTS, INCLUDING STORM DRAINAGE STRUCTURES AND PIPES, FOR THE FOLLOWING PRIVATE STREETS: (N/A)
48. APPROVED VARIANCES ARE LISTED AS FOLLOWS: N/A

CITY OF FORT COLLINS CONSTRUCTION NOTES

A. STANDARD GRADING AND EROSION AND SEDIMENT CONTROL CONSTRUCTION PLAN NOTES

1. THE EROSION CONTROL INSPECTOR MUST BE NOTIFIED AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION ON THIS SITE.
2. THERE SHALL BE NO EARTH-DISTURBING ACTIVITY OUTSIDE THE LIMITS DESIGNATED ON THE ACCEPTED PLANS.
3. ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND EROSION CONTROL REPORT.
4. AT ALL TIMES DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION INCLUDING KEEPING THE PROPERTY SUFFICIENTLY WATERED SO AS TO MINIMIZE WIND BLOWN SEDIMENT. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL FACILITIES SHOWN HEREIN.
5. PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREA(S) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
6. ALL SOILS EXPOSED DURING LAND DISTURBING ACTIVITY (STRIPPING, GRADING, UTILITY INSTALLATIONS, STOCKPILING, FILLING, ETC.) SHALL BE KEPT IN A ROUGHENED CONDITION BY RIPPIING OR DISKING ALONG LAND CONTOURS UNTIL MULCH, VEGETATION, OR OTHER PERMANENT EROSION CONTROL BMPs ARE INSTALLED. NO SOILS IN AREAS OUTSIDE PROJECT STREET RIGHT-OF-WAY SHALL REMAIN EXPOSED BY LAND DISTURBING ACTIVITY FOR MORE THAN THIRTY (30) DAYS BEFORE REQUIRED TEMPORARY OR PERMANENT EROSION CONTROL (E.G. SEED/MULCH, LANDSCAPING, ETC.) IS INSTALLED, UNLESS OTHERWISE APPROVED BY THE STORMWATER DEPARTMENT.
7. IN ORDER TO MINIMIZE EROSION POTENTIAL, ALL TEMPORARY (STRUCTURAL) EROSION CONTROL MEASURES SHALL:
- a. BE INSPECTED AT A MINIMUM OF ONCE EVERY TWO (2) WEEKS AND AFTER EACH SIGNIFICANT STORM EVENT AND REPAIRED OR RECONSTRUCTED AS NECESSARY IN ORDER TO ENSURE THE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
- b. REMAIN IN PLACE UNTIL SUCH TIME AS ALL THE SURROUNDING DISTURBED AREAS ARE SUFFICIENTLY STABILIZED AS DETERMINED BY THE EROSION CONTROL INSPECTOR.
- c. BE REMOVED AFTER THE SITE HAS BEEN SUFFICIENTLY STABILIZED AS DETERMINED BY THE EROSION CONTROL INSPECTOR.
8. WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
9. THE CONTRACTOR SHALL CLEAN UP ANY INADVERTENT DEPOSITED MATERIAL IMMEDIATELY AND MAKE SURE STREETS ARE FREE OF ALL MATERIALS BY THE END OF EACH WORKING DAY.
10. ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAY SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY WATERS OF THE UNITED STATES.
11. NO SOIL STOCKPILE SHALL EXCEED TEN (10) FEET IN HEIGHT. ALL SOIL STOCKPILES SHALL BE PROTECTED FROM SEDIMENT TRANSPORT BY SURFACE ROUGHENING, WATERING, AND PERIMETER SILT FENCING. ANY SOIL STOCKPILE REMAINING AFTER THIRTY (30) DAYS SHALL BE SEEDD AND MULCHED.
12. THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT AND BEFORE TURNING THE MAINTENANCE OVER TO THE LOCAL ENTITY OR HOMEOWNERS ASSOCIATION (HOA).
13. CITY ORDINANCE AND COLORADO DISCHARGE PERMIT SYSTEM (CDPS) REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. THE DEVELOPER SHALL AT ALL TIMES TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
14. A DESIGNATED AREA SHALL BE PROVIDED ON SITE FOR CONCRETE TRUCK CHUTE WASHOUT. THE AREA SHALL BE CONSTRUCTED SO AS TO CONTAIN WASHOUT MATERIAL AND LOCATED AT LEAST FIFTY (50) FEET AWAY FROM ANY WATERWAY DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION ACTIVITIES THE CONCRETE WASHOUT MATERIAL WILL BE REMOVED AND PROPERLY DISPOSED OF PRIOR TO THE AREA BEING RESTORED.
15. TO ENSURE THAT SEDIMENT DOES NOT MOVE OFF OF INDIVIDUAL LOTS ONE OR MORE OF THE FOLLOWING SEDIMENT/EROSION CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED UNTIL THE LOTS ARE SUFFICIENTLY STABILIZED, AS DETERMINED BY THE EROSION CONTROL INSPECTOR.
- a. BELOW ALL GUTTER DOWNSPOUTS.
- b. OUT TO DRAINAGE SWALES.
- c. ALONG LOT PERIMETER.
- d. OTHER LOCATIONS, IF NEEDED.
16. CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE DEVELOPER SHALL IMPLEMENT WHATEVER MEASURES ARE DETERMINED NECESSARY, AS DIRECTED BY THE CITY/COUNTY.
17. A VEHICLE TRACKING CONTROL PAD SHALL BE INSTALLED WHEN NEEDED FOR CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO PERSONAL VEHICLES EXISTING EXISTING ROADWAYS. NO EARTHEN MATERIALS, I.E. STONE, DIRT, ETC. SHALL BE PLACED IN THE CURB & GUTTER OR ROADWAY AS A RAMP TO ACCESS TEMPORARY STOCKPILES, STAGING AREAS, CONSTRUCTION MATERIALS, CONCRETE WASHOUT AREAS, AND/OR BUILDING SITES.
18. THE PROPERTY MUST BE WATERED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION ACTIVITIES SO AS TO PREVENT WIND-CAUSED EROSION. ALL LAND DISTURBING ACTIVITIES SHALL BE IMMEDIATELY DISCONTINUED WHEN FUGITIVE DUST IMPACTS ADJACENT PROPERTIES, AS DETERMINED BY THE CITY ENGINEERING DEPARTMENT.

19. ALL TEMPORARY (STRUCTURAL) EROSION CONTROL MEASURES MUST BE INSPECTED AND REPAIRED OR RECONSTRUCTED AS NECESSARY AFTER EACH RUNOFF EVENT AND EVERY 14 DAYS IN ORDER TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAY SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY DRAINAGEWAY.
20. CITY ORDINANCE PROHIBITS THE TRACKING, DROPPING, OR DEPOSITING OF SOILS OR ANY OTHER MATERIAL ONTO CITY STREETS BY OR FROM ANY VEHICLE. ANY INADVERTENT DEPOSITED MATERIAL SHALL BE CLEANED IMMEDIATELY BY THE CONTRACTOR.

B. STREET IMPROVEMENTS NOTES

1. ALL STREET CONSTRUCTION IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS AS WELL AS THE STREET IMPROVEMENTS NOTES LISTED HERE.
2. A PAVING SECTION DESIGN, SIGNED AND STAMPED BY A COLORADO LICENSED ENGINEER, MUST BE SUBMITTED TO THE LOCAL ENTITY ENGINEER FOR APPROVAL, PRIOR TO ANY STREET CONSTRUCTION ACTIVITY, (FULL DEPTH ASPHALT SECTIONS ARE NOT PERMITTED AT A DEPTH GREATER THAN 8 INCHES OF ASPHALT). THE JOB MIX SHALL BE SUBMITTED FOR APPROVAL PRIOR TO PLACEMENT OF ANY ASPHALT.
3. WHERE PROPOSED PAVING ADJOINS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT, A MINIMUM DISTANCE OF 12 INCHES FROM THE EXISTING EDGE, TO CREATE A CLEAN CONSTRUCTION JOINT. THE DEVELOPER SHALL BE REQUIRED TO REMOVE EXISTING PAVEMENT TO A DISTANCE WHERE A CLEAN CONSTRUCTION JOINT CAN BE MADE. WHEEL CUTS SHALL NOT BE ALLOWED.
4. STREET SUBGRADES SHALL BE SCARIFIED THE TOP 12 INCHES AND RE-COMPACTED PRIOR TO SUBBASE INSTALLATION. NO BASE MATERIAL SHALL BE LAID UNTIL THE SUBGRADE HAS BEEN INSPECTED AND APPROVED BY THE LOCAL ENTITY ENGINEER.
5. VALVE BOXES AND MANHOLES ARE TO BE BROUGHT UP TO GRADE AT THE TIME OF PAVEMENT PLACEMENT OR OVERLAY. VALVE BOX ADJUSTING RINGS ARE NOT ALLOWED.
6. WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE INSPECTOR BEFORE ANY CUTS ARE MADE. CUTTING AND PATCHING SHALL BE DONE IN CONFORMANCE WITH CHAPTER 25, RECONSTRUCTION AND REPAIR. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE LOCAL ENTITY ENGINEER. ALL OVERLAY WORK SHALL BE COORDINATED WITH ADJACENT LANDOWNERS SUCH THAT FUTURE PROJECTS DO NOT CUT THE NEW ASPHALT OVERLAY WORK.
7. ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THESE PLANS OR AS OTHERWISE SPECIFIED IN M.U.T.C.D. (INCLUDING COLORADO SUPPLEMENT) AND AS PER THE RIGHT-OF-WAY WORK PERMIT TRAFFIC CONTROL PLAN.
8. THE DEVELOPER IS REQUIRED TO PERFORM A GUTTER WATER FLOW TEST IN THE PRESENCE OF THE LOCAL ENTITY INSPECTOR AND PRIOR TO INSTALLATION OF ASPHALT. GUTTERS THAT HOLD MORE THAN ¼ INCH DEEP OR 5 FEET LONGITUUDINALLY, OF WATER, SHALL BE COMPLETELY REMOVED AND RECONSTRUCTED TO DRAIN PROPERLY.
9. PRIOR TO PLACEMENT OF H.B.P. OR CONCRETE WITHIN THE STREET AND AFTER MOISTURE/DENSITY TESTS HAVE BEEN TAKEN ON THE SUBGRADE MATERIAL (WHEN A FULL DEPTH SECTION IS PROPOSED) OR ON THE SUBGRADE AND BASE MATERIAL (WHEN A COMPOSITE SECTION IS PROPOSED), A MECHANICAL "PROOF ROLL" WILL BE REQUIRED. THE ENTIRE SUBGRADE AND/OR BASE MATERIAL SHALL BE ROLLED WITH A HEAVILY LOADED VEHICLE HAVING A TOTAL GVW OF NOT LESS THAN 50,000 LBS. AND A SINGLE AXLE WEIGHT OF AT LEAST 18,000 LBS. WITH PNEUMATIC TIRES INFLATED TO NOT LESS THAN 90 P.S.I.G. "PROOF ROLL" VEHICLES SHALL NOT TRAVEL AT SPEEDS GREATER THAN 3 M.P.H. ANY PORTION OF THE SUBGRADE OR BASE MATERIAL WHICH EXHIBITS EXCESSIVE PUMPING OR DEFORMATION, AS DETERMINED BY THE LOCAL ENTITY ENGINEER, SHALL BE REWORKED, REPLACED OR OTHERWISE MODIFIED TO FORM A SMOOTH, NON-YIELDING SURFACE. THE LOCAL ENTITY ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE "PROOF ROLL." ALL "PROOF ROLLS" SHALL BE PREFORMED IN THE PRESENCE OF AN INSPECTOR.

C. TRAFFIC SIGNING AND PAVEMENT MARKING CONSTRUCTION NOTES

1. ALL SIGNAGE AND MARKING IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS, AS WELL AS THE TRAFFIC SIGNING AND MARKING CONSTRUCTION NOTES LISTED HERE.
2. ALL SYMBOLS, INCLUDING ARROWS, ONLYS, CROSSWALKS, STOP BARS, ETC. SHALL BE PRE-FORMED THERMO-PLASTIC.
3. ALL SIGNAGE SHALL BE PER LOCAL ENTITY TRAFFIC STANDARDS AND THESE PLANS OR AS OTHERWISE SPECIFIED IN MUTCD.
4. ALL LANE LINES FOR ASPHALT PAVEMENT SHALL RECEIVE TWO COATS OF LATEX PAINT WITH GLASS BEADS.
5. ALL LANE LINES FOR CONCRETE PAVEMENT SHOULD BE EPOXY PAINT.
6. PRIOR TO PERMANENT INSTALLATION OF TRAFFIC STRIPING AND SYMBOLS, THE DEVELOPER SHALL PLACE TEMPORARY TABS OR TAPE DEPICTING ALIGNMENT AND PLACEMENT OF THE SAME. THEIR PLACEMENT SHALL BE APPROVED BY THE LOCAL ENTITY TRAFFIC ENGINEER PRIOR TO PERMANENT INSTALLATION OF STRIPING AND SYMBOLS.
7. PRE-FORMED THERMO-PLASTIC APPLICATIONS SHALL BE AS SPECIFIED IN THESE PLANS AND/OR THESE STANDARDS.
8. EPOXY APPLICATIONS SHALL BE APPLIED AS SPECIFIED IN CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
9. ALL SURFACES SHALL BE THOROUGHLY CLEANED PRIOR TO INSTALLATION OF STRIPING OR MARKINGS.
10. ALL SIGN POSTS SHALL UTILIZE BREAK-AWAY ASSEMBLIES AND FASTENERS PER THE STANDARDS.
11. A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS SHALL BE PERFORMED BY THE LOCAL ENTITY TRAFFIC ENGINEER. ALL DISCREPANCIES IDENTIFIED DURING THE FIELD INSPECTION MUST BE CORRECTED BEFORE THE 2-YEAR WARRANTY PERIOD WILL BEGIN.
12. THE DEVELOPER INSTALLING SIGNS SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES.
13. SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATION TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
14. SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO INITIATION OF THE WARRANTY PERIOD, THE LOCAL ENTITY TRAFFIC ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL SIGNAGE AND/OR STRIPING IF THE LOCAL TRAFFIC ENTITY ENGINEER DETERMINES THAT AN UNFORESEEN CONDITION WARRANTS SUCH SIGNAGE ACCORDING TO THE MUTCD M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE 2-YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION (EXCEPT FAIR WEAR ON TRAFFIC MARKINGS).
15. SLEEVES FOR SIGN POSTS SHALL BE REQUIRED FOR USE IN ISLANDS/MEDIANS. REFER TO CHAPTER 14, TRAFFIC CONTROL DEVICES, FOR ADDITIONAL DETAIL.

D. STORM DRAINAGE NOTES

1. THE CITY OF FORT COLLINS SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ONSITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).
2. ALL RECOMMENDATIONS OF THE FINAL DRAINAGE AND EROSION CONTROL STUDY BY JVA SHALL BE FOLLOWED AND IMPLEMENTED.
3. PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BY SUBMITTED TO AND APPROVED BY THE STORMWATER UTILITY DEPARTMENT. CERTIFICATION SHALL BE SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY FOR SINGLE FAMILY UNITS. FOR COMMERCIAL PROPERTIES, CERTIFICATION SHALL BY SUBMITTED TO THE STORMWATER UTILITY DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE RELEASE OF ANY BUILDING PERMITS IN EXCESS OF THOSE ALLOWED PRIOR TO CERTIFICATION PER THE DEVELOPMENT AGREEMENT.

E. WATERLINE NOTE

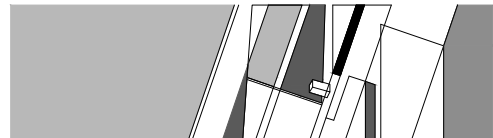
1. THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.



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CSU HEALTH AND MEDICAL CENTER

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Fort Collins, CO 80524

Date _____ DECEMBER 11, 2015

Issue _____ 100% UTILITY PLAN SET

Drawn By _____ KRB

Checked By _____ KAT

Project Number _____ 150422.00

Owner Project Number _____ 14-023

Revisions		

Sheet _____ of _____

CITY OF FORT COLLINS NOTES

C0.2

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ City Engineer _____ Date _____

CHECKED BY: _____ Water & Wastewater Utility _____ Date _____

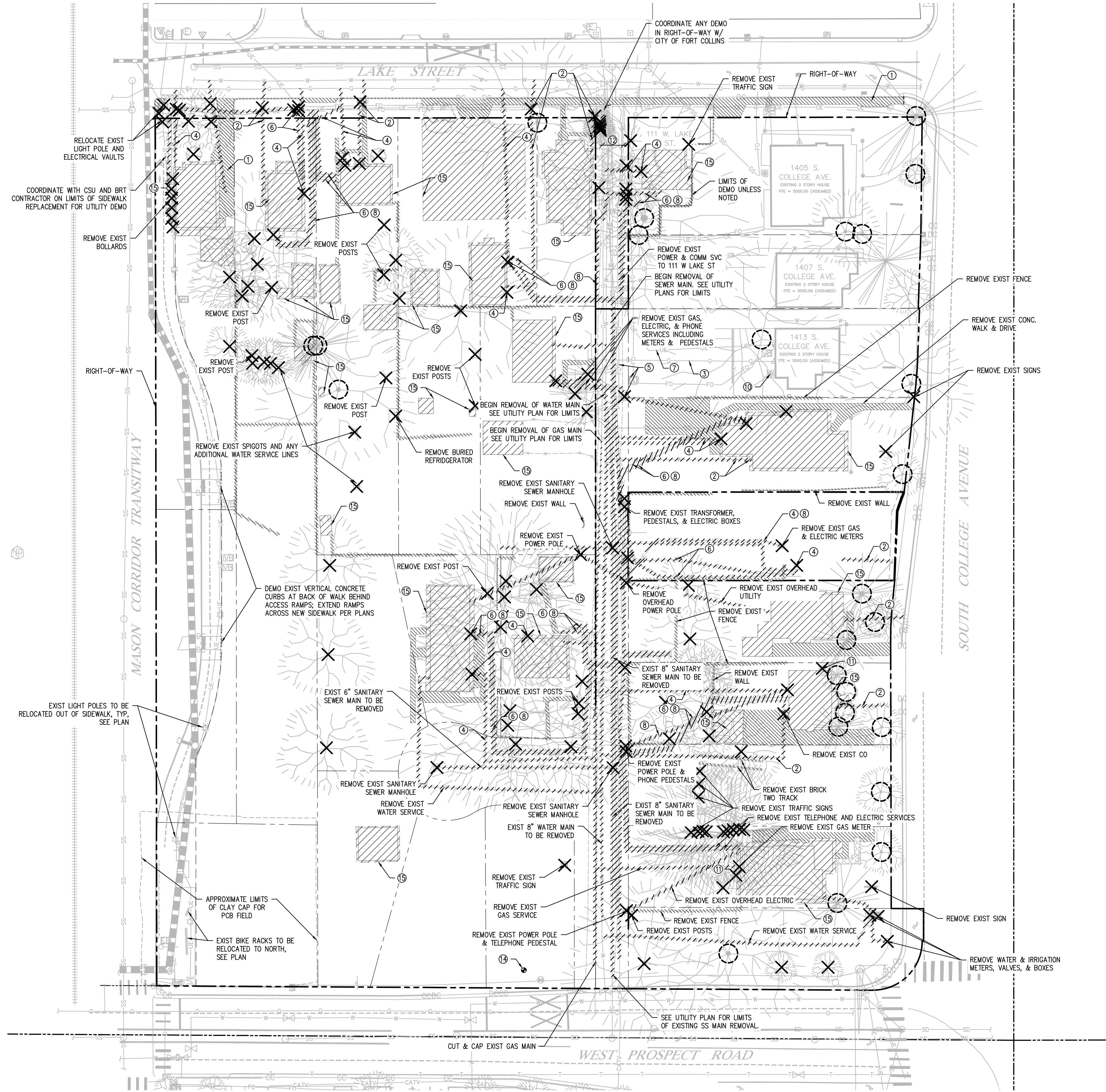
CHECKED BY: _____ Stormwater Utility _____ Date _____

CHECKED BY: _____ Traffic Engineer _____ Date _____

CHECKED BY: _____ Parks and Recreation _____ Date _____

CHECKED BY: _____ Environmental Planner _____ Date _____

CHECKED BY: _____ _____ Date _____



DEMOLITION KEY NOTES:

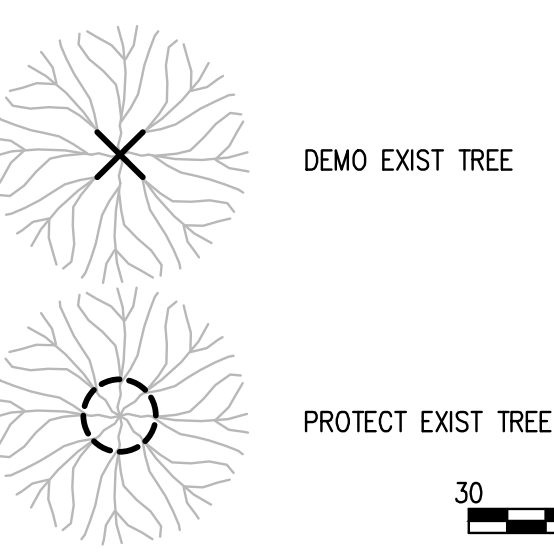
- 1 DEMO ALL EXISTING CONCRETE, ASPHALT, CURB AND GUTTER. SAW CUT ALL PAVEMENT ADJACENT TO AREAS TO BE PROTECTED. REMOVAL LIMITS SHOWN ARE APPROXIMATE AND WILL REQUIRE FIELD VERIFICATION AND COORDINATION WITH CSU AND CoFC.
- 2 REMOVE AND PLUG EXISTING WATER SERVICES BACK TO THE MAIN. REMOVE ALL METERS, CURB STOPS, AND VALVES ON EXISTING WATER SERVICE.
- 3 PRESERVE AND PROTECT EXISTING GAS SERVICE INCLUDING METERS.
- 4 REMOVE AND PLUG EXISTING GAS SERVICE AND REMOVE GAS METERS PER UTILITY COMPANY'S REGULATIONS.
- 5 PRESERVE AND PROTECT EXISTING COMM. SERVICE INCLUDING PEDESTALS.
- 6 REMOVE EXISTING COMM. SERVICE AND PEDESTALS PER UTILITY COMPANY'S REGULATIONS.
- 7 PRESERVE AND PROTECT EXISTING ELECTRIC SERVICE (OVERHEAD AND UNDERGROUND) INCLUDING METERS AND VAULTS.
- 8 REMOVE EXISTING ELECTRIC SERVICE (OVERHEAD AND UNDERGROUND) INCLUDING METERS AND VAULTS PER UTILITY COMPANY'S REGULATIONS.
- 9 REMOVE EXISTING COMM. AND ELECTRIC MAIN LINE INCLUDING PEDESTALS, TRANSFORMERS, VAULTS, AND SWITCHING GEAR.
- 10 PRESERVE AND PROTECT EXISTING AIR CONDITIONING UNIT.
- 11 REMOVE EXISTING AIR CONDITIONING UNIT
- 12 REMOVE EXISTING ASPHALT WITHIN ALLEY.
- 13 REMOVE BIKE RACK.
- 14 APPROXIMATE LOCATION OF GROUNDWATER SAMPLING WELL.
- 15 COORDINATE WITH CSU AND CONTRACTOR FOR DEMOLITION/REMOVAL OF STRUCTURES.

DEMOLITION NOTES:

1. CONTRACTOR TO PROVIDE EROSION CONTROL ALONG OUTSIDE PERIMETER OF ALL DISTURBED AREAS.
2. TEMPORARY CONSTRUCTION FENCE TO REMAIN IN PLACE UNTIL FINAL CONSTRUCTION IS COMPLETE & APPROVED BY CSU.
3. REFERENCE IRRIGATION PLAN FOR IRRIGATION LINE REMOVAL & ABANDONMENT; COORDINATE WITH CSU'S ASBESTOS ABATEMENT CONTRACTOR FOR ALL ASBESTOS CONTAINING PIPE REMOVAL.
4. SEE GENERAL NOTES FOR TREE PROTECTION.
5. COORDINATE DEMOLITION REQUIREMENTS, LIMITS OF DEMOLITION, SALVAGE ITEMS, PROTECTION OF ITEMS TO REMAIN, TREES, FENCING, ETC. WITH OWNER, ARCHITECT, ENGINEER, AND RELEVANT CONSTRUCTION AND PHASING PLANS. ADDITIONAL DEMOLITION OF PAVING, TREES, UTILITIES, STRUCTURES, ETC. TO BE PERFORMED AS REQUIRED.
6. REPLACE EXIST SIDEWALKS AND PAVEMENTS AT UTILITY TRENCHES AS REQUIRED.
7. ALL SAWCUTTING AND PAVEMENT REMOVAL SHOULD BE TO THE NEAREST JOINT.
8. COORDINATE SITE LIGHTING AND ELECTRIC SERVICE ROUTING, DEMOLISHING, RELOCATIONS, AND MODIFICATIONS WITH THE ELECTRICAL ENGINEER, ARCHITECT, AND OWNER.
9. COORDINATE DRY UTILITY DEMOLITION AND RELOCATION WITH OWNER, UTILITY COMPANIES, MECHANICAL ENGINEER, AND ARCHITECT PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER OF DEMOLITION ALIGNMENT REQUIREMENTS.
10. CONTRACTOR TO ADJUST LIMITS OF DEMOLITION AND CONTROL POINTS AS REQUIRED.

DEMOLITION LEGEND

- ////// DEMO UTILITIES
- ////// DEMO SITE FEATURES
- ////// DEMO STRUCTURE

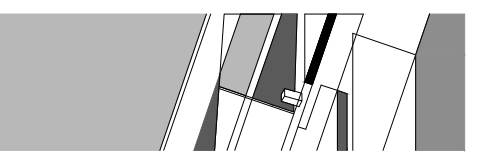


City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Parks and Recreation	Date
CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date



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DEMOLITION PLAN

C0.3

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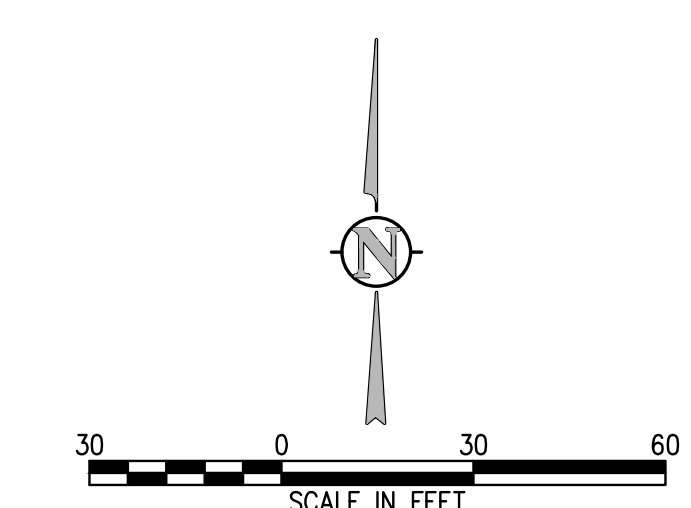
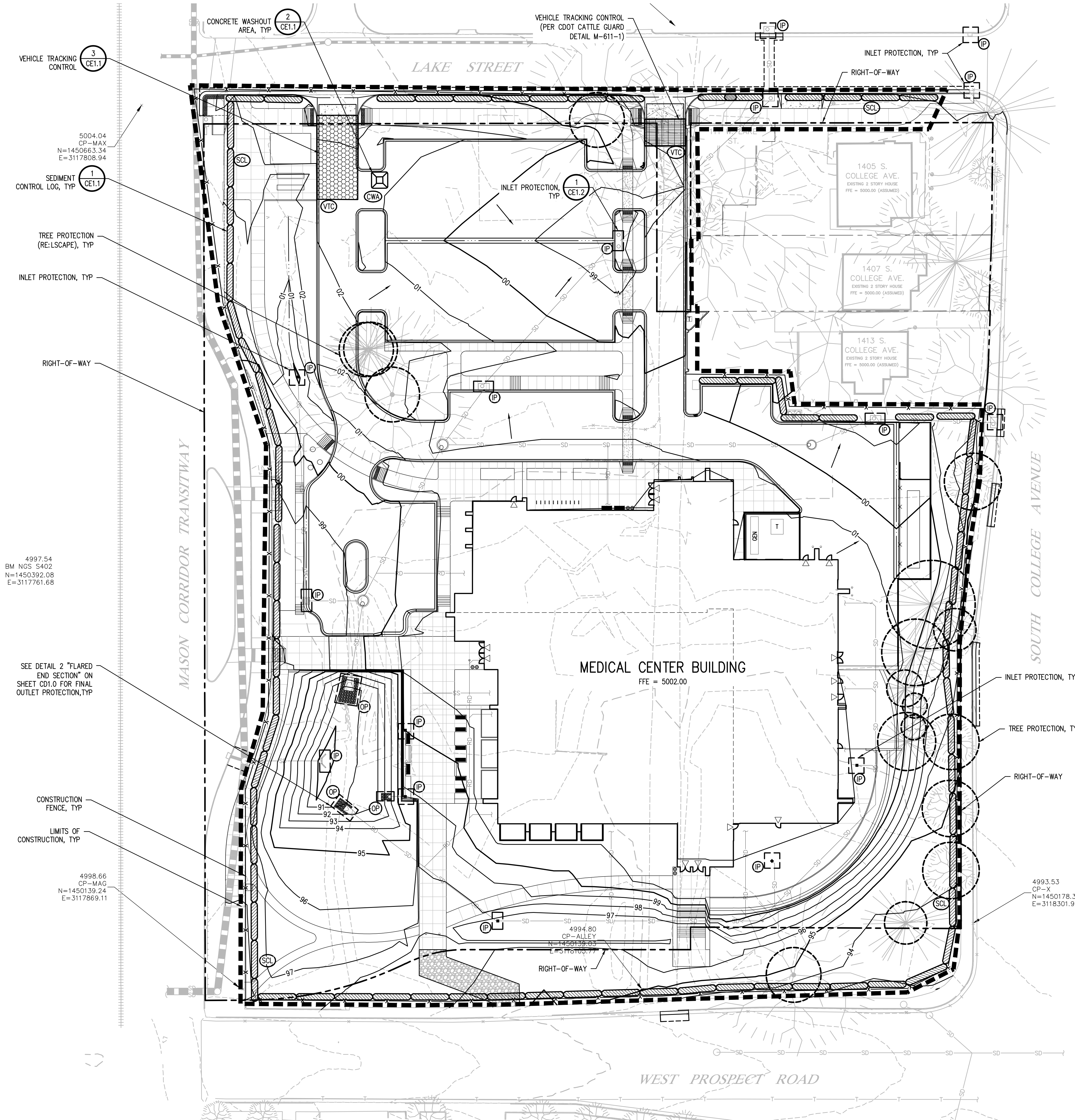
Owner Project Number 14-023

Revisions

Sheet of

EROSION CONTROL PLAN

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STORMWATER MANAGEMENT PLAN (SWMP)

THIS STORMWATER MANAGEMENT PLAN IS TO BE RETAINED AND MAINTAINED ONSITE INCLUDING FINAL LANDSCAPING PLANS AND ANY OTHER EROSION CONTROL DOCUMENTATION. A SWMP ADMINISTRATOR WILL BE DESIGNATED BY THE CONTRACTOR AND IS RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING, AND REVISING THIS SWMP. THE SWMP ADMINISTRATOR IS THE CONTACT FOR ALL SWMP-RELATED ISSUES AND IS RESPONSIBLE FOR ITS ACCURACY, COMPLETENESS, AND IMPLEMENTATION. THE FOLLOWING HAS BEEN DESIGNATED AS THE SWMP ADMINISTRATOR FOR THIS PROJECT:

NAME: _____
CONTACT INFO: _____

THE SITE IS LOCATED AT 151 WEST LAKE STREET, FORT COLLINS, COLORADO. THE PROPOSED PROJECT CONSISTS OF PARKING, UTILITY SERVICE CONNECTIONS, OVERLOT GRADING, BUILDING CONSTRUCTION, PAVING OF SIDEWALKS, PATIO AREAS, PARKING LOTS, ENTRANCE DRIVES, UTILITY INFRASTRUCTURE, DEMOLITION OF EXISTING STRUCTURES AND UTILITIES CONSTRUCTION IN THE CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO. THE TOTAL SITE AREA IS APPROXIMATELY 5.71 ACRES WITH AT TOTAL DISTURBANCE OF 4.58 ACRES. NO AREAS GREATER THAN 40 ACRES SHALL BE DISTURBED AT ANY GIVEN TIME. NO CONSTRUCTION ACTIVITIES SHALL OCCUR OFFSITE OR OUTSIDE OF THE CONSTRUCTION LIMITS SHOWN ON THE CONSTRUCTION DOCUMENTS. THE SEQUENCE OF CONSTRUCTION STARTS IS AS FOLLOWS:

PHASE	ESTIMATED	ACTUAL
CONSTRUCTION START	JANUARY, 2016	_____
ROAD AND OVERLOT GRADING	JANUARY, 2016	_____
UTILITY CONSTRUCTION	JANUARY, 2016	_____
BUILDING CONSTRUCTION	MARCH, 2016	_____
PAVING	MONTH, YEAR	_____
SITE RESTORATION	JUNE, 2017	_____

THE EXISTING SITE CONSISTS OF DEVELOPED LAND AND IS APPROXIMATELY 67.1% COVERED WITH VEGETATIVE GROUND COVER. THE ESTIMATED HISTORIC AND DEVELOPED RUNOFF COEFFICIENTS ARE 0.74 AND 0.86 (COPY FROM DRAINAGE REPORT) RESPECTIVELY.

ONSITE RUNOFF FLOWS ON THE PROPERTY ARE 43.6 CFS. RUNOFF FLOWS DIRECTED OFFSITE ARE 5.89 CFS. TOTAL ONSITE DETENTION IS 0.61 ACRE- FEET. STORMWATER IS DISCHARGED FROM THIS SITE TO MASON STREET OUTFALL (MSO) PUBLIC STORM SYSTEM THAT ULTIMATELY OUTFALLS TO SPRING CREEK WHICH TIES INTO THE Poudre RIVER. A DRAINAGE REPORT FOR THIS DEVELOPMENT HAS BEEN SUBMITTED TO THE ENGINEER OF CITY OF FORT COLLINS.

OTHER POTENTIAL POLLUTION SOURCES SUCH AS VEHICLE FUELING, STORAGE OF FERTILIZER OR CHEMICALS, VEHICLE WASHING, HAUL-ROADS, AND LOADING/ UNLOADING ARE LOCATED AT THIS SITE. NON-STORMWATER COMPONENTS OF THE DISCHARGE, SUCH AS DETERIORATING MAY OCCUR AT THE SITE AND ALL STATE AND LOCAL PERMITS WILL BE ACQUIRED.

BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT
NON STRUCTURAL BMPs WILL BE IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE. THE UTILIZATION OF NON STRUCTURAL BMPs WILL BE AN ONGOING PROCESS DIRECTED AT PREVENTING EROSION. THE NON STRUCTURAL BMPs WILL RECEIVE CONTINUOUS EMPHASIS THROUGHOUT CONSTRUCTION BECAUSE THEY AVERT PROBLEMS BEFORE THEY OCCUR AND REDUCE THE NEED FOR STRUCTURAL BMPs. NON STRUCTURAL BMPs WILL CONSIST PRIMARILY OF PRESERVATION OF EXISTING MATURE VEGETATION AND TREES, PLANNING AND SCHEDULING CONSTRUCTION ACTIVITIES AIMED AT ACHIEVING THE GOAL OF MINIMIZING EROSION. FURTHERMORE, CONSTRUCTION PERSONNEL WILL BE INSTRUCTED AND SUPERVISED IN CONSTRUCTION METHODS CONSISTENT WITH EROSION PREVENTION PRACTICES.

PLANNED STRUCTURAL BMPs FOR EROSION AND SEDIMENT CONTROL ARE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN. IMPLEMENTING THESE MEASURES SHOULD MINIMIZE NUISANCE SILT AND SEDIMENTATION EXITING THE SITE AND PREVENT CLOGGING EXISTING STORM SEWERS AND STREET GUTTERS.

APPLICATION OF THESE BMPs FOR STORMWATER MANAGEMENT ARE FOR CONSTRUCTION PERIODS AND ARE CONSIDERED TEMPORARY. POST-DEVELOPMENT STORMWATER MANAGEMENT IS PROVIDED THROUGH VEGETATED LANDSCAPED AREAS, GRASSED SWALES, RIPRAP PROTECTION, STORM COLLECTION SYSTEM, AND THE UTILIZATION OF THE PERMANENT DETENTION POND.

VEHICLE TRACKING CONTROL (VTC):
TWO STABILIZED CONSTRUCTION ENTRANCES WILL BE PROVIDED AT LAKE STREET ACCESS POINTS. ONE CONSTRUCTION ACCESS AND PARKING WILL BE GRADED AND COVERED WITH A CRUSHED STONE BASE COURSE DURING CONSTRUCTION. THE SECOND WILL BE A TRACKOUT PLATE OR EQUIVALENT AT THE EASTERN ACCESS POINT. THE VEHICLE TRACKING CONTROL WILL BE RELOCATED WITH THE CONSTRUCTION ACCESS AS NECESSARY.

TREE PROTECTION:
BEFORE BEGINNING CONSTRUCTION OPERATIONS, ESTABLISH TREE PROTECTION ZONE AROUND TREES TO BE PRESERVED BY INSTALLING CONSTRUCTION FENCES. ALLOW ENOUGH SPACE FROM THE TRUNK TO PROTECT THE ROOT ZONE FROM SOIL COMPACTION AND MECHANICAL DAMAGE, AND TEH BRANCHES FROM MECHANICAL DAMAGE. IF LOW BRANCHES WILL BE KEPT, PLACE THE FENCE OUTSIDE OF THE DRIP LINE. WHERE THIS IS NOT POSSIBLE, PLACE FENCING AS FAR AWAY FROM THE TRUCK AS POSSIBLE. IN ORDER TO MAINTAIN A HEALTHY TREE, BE AWARE THAT ABOUT 60% OF THE TREE'S ROOT ZONE EXTENDS BEYOND THE DRIP LINE.

SILT FENCING (SF):
SILT FENCING SHALL BE INSTALLED WITH RESPECT TO PROPOSED DRAINAGE PATTERNS. SILT FENCE SHALL BE CONSTRUCTED AS SHOWN ON THE EROSION CONTROL PLAN. THE FENCE SHALL BE INSTALLED AT THE DOWNHILL SIDE OF THE EXISTING SLOPES ACROSS THE SITE AND AT ALL POINT DISCHARGE AREAS WHETHER SHOWN OR NOT. SILT FENCE SHALL BE MAINTAINED AS NEEDED THROUGHOUT THE CONSTRUCTION PROCESS. THE TEMPORARY SILT FENCE WILL REMAIN UNTIL THE STORM SEWER STRUCTURES ARE COMPLETED AND GROUND COVER IS EFFECTIVE.

SEDIMENT CONTROL LOGS (SCL):
SEDIMENT CONTROL LOGS WILL BE INSTALLED TO PROTECT THE EXISTING SIDEWALK, ROADS, AND PREVENT SEDIMENT TRANSPORT OFFSITE ALONG THE PERIMETER OF THE CONSTRUCTION AREA PRIOR TO LANDSCAPING THE SITE. THESE BARRIERS WILL REDUCE THE FLOW VELOCITY ACROSS THE SIDEWALK AND ALLOW THE DISTURBED SOIL TO SETTLE OUT.

INLET PROTECTION (IP):
THE INLET PROTECTION WILL BE INSTALLED ON ALL EXISTING INLETS AND AS THE STORM SEWER STRUCTURES ARE CONSTRUCTED. EACH INLET ON THE PROPOSED STORM SEWER SYSTEM WILL HAVE A TEMPORARY INLET SEDIMENT TRAP CONSTRUCTED AROUND IT. IN PAVED AREAS, THIS TRAP CONSISTS OF WIRE MESH SOCKS, CONCRETE BLOCKS, AND/OR SCREENS TO FILTER THE STORM RUNOFF AND ALLOW ANY SILT TO SETTLE OUT. IN FIELDS OR LANDSCAPED AREAS THIS TRAP CONSISTS OF WIRE MESH SOCKS OR STRAW BALE BARRIERS.

OUTLET PROTECTION (OP):
THE STORM SEWER OUTLETS WILL BE PROTECTED WITH RIPRAP. PLACING RIPRAP AT PIPE OUTFALLS REDUCES EXIT VELOCITIES AND REDUCES SCOUR. THIS RIPRAP WILL BE LEFT IN PLACE AS PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN.

OVERLOT GRADING:
ALL OPEN AREAS WILL BE TREATED WITHIN 14 DAYS OF COMPLETION OF THE OVERLOT GRADING. ALL OVERLOT GRADING IN THE NON-IRRIGATED AREAS WILL HAVE THE SURFACE ROUGHENED AND WILL BE PERMANENTLY LANDSCAPED OR TEMPORARILY SEEDED UNTIL THE PLANNED INSTALLATIONS ARE COMPLETED. AT THE COMPLETION OF THE MASS GRADING, ALL EXPOSED SOIL AREAS WILL HAVE THE SURFACE ROUGHENED AND PLANTED WITH A REVEGETATION SEED MIX. VEGETATION IS TO BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL AREAS ARE PERMANENTLY LANDSCAPED. ALTERNATELY, ROUGH-OUT DRIVEWAYS OR PROPOSED PAVED AREAS CAN BE COVERED WITH A LAYER OF AGGREGATE, ROAD BASE OR ASPHALT PAVING.

DUST CONTROL MEASURES:
DISTURBED AREAS NOT YET READY TO BE SEEDED, LANDSCAPED, PAVED, OR OTHERWISE STABILIZED SHALL BE WATERED, OR RIPPED AS NECESSARY TO PRECLUDE VISIBLE DUST EMISSIONS.

ITEMS ARE SCHEDULED TO BE IMPLEMENTED ACCORDING TO THE CONSTRUCTION SCHEDULE. AS WORK PROCEEDS, IMPLEMENTATION OF INDIVIDUAL BMPs IS TO COINCIDE WITH THE CONSTRUCTION THEREBY MINIMIZING THE EXPOSURE OF UNPROTECTED AREAS. THE SILT FENCE, INLET PROTECTION (FOR EXISTING INLETS), AND GRAVELING OF THE CONSTRUCTION ENTRANCE WILL BE PERFORMED WHEN THE GRADING BEGINS. THE INLET PROTECTION WILL BE INSTALLED AS THE STORM SEWER STRUCTURES ARE CONSTRUCTED. THE RIPRAP PROTECTION WILL BE INSTALLED AS THE STORM SEWER OUTFALLS OR CULVERTS ARE CONSTRUCTED. THE STRUCTURAL BMPs THAT DO NOT BECOME PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN ARE TO BE REMOVED, AS THE PAVING, LANDSCAPING, AND OTHER PERMANENT GROUND COVER INSTALLATIONS ARE COMPLETED. FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY AS DEFINED BY THE COLORADO DEPARTMENT OF HEALTH AT THE TIME OF GRADING. THE GRAVELING IS TO BE MAINTAINED AND EXTENDED CONSTRUCTION PROGRESSES ESPECIALLY AROUND THE BUILDING SITE. THE STRUCTURAL BMPs ARE TO BE REMOVED, AS THE PERMANENT LANDSCAPING INSTALLATIONS ARE COMPLETED.

THE EROSION AND SEDIMENT CONTROL PLAN MAY BE MODIFIED BY THE (COLORADO DEPARTMENT OF TRANSPORTATION, OWNER'S ENGINEER, LARIMER COUNTY ENGINEERING INSPECTORS, CITY OF FORT COLLINS OR ITS AUTHORIZED REPRESENTATIVE AS FIELD CONDITIONS WARRANT.

STORMWATER DETENTION AND WATER QUALITY:
STORMWATER DETENTION IS PROVIDED ONSITE IN DETENTION AREA AT THE SOUTHWEST PORTION OF THE SITE. WATER QUALITY TREATMENT WILL BE PROVIDED AT THE MSO DISCHARGE PRIOR TO ENTERING SPRING CREEK.

TEMPORARY SEEDING AND MULCHING:
ALL SEEDS FURNISHED SHALL BE FREE FROM NOXIOUS SEEDS (SUCH AS RUSSIAN OR CANADIAN THISTLE, COURSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAPWEED, AND LEAFY SPURGE. THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS). SEEDING REQUIRES THE OWNER'S APPROVAL TO MAKE THE BEST USE OF EXISTING CLEARINGS AND GRUBBINGS.

ALL SEEDS SHALL BE DRILLED NOT HYDROSEEDED. ALL DISTURBED AREAS SHALL BE SEEDED AND CRIMP MULCHED IF PERMANENT VEGETATION IS NOT IMMEDIATELY INSTALLED. AFTER SEEDING HAS BEEN COMPLETED, A RATE OF 4,000 LBS. OF STRAW PER ACRE SHALL BE APPLIED UNIFORMLY, CRIMPED IN WITH A CRIMPER OR OTHER APPROVED EQUIPMENT OR OTHERWISE ATTACHED. A TACKIFIER OR JUTE NETTING TO ATTACH MULCH MAY BE USED WITH THE OWNER'S APPROVAL. THE SEEDED AREA SHALL BE CRIMPED MULCHED AND THE MULCH ATTACHED WITHIN TWENTY-FOUR (24) HOURS AFTER SEEDING. AREAS NOT MULCHED AND ATTACHED WITHIN TWENTY-FOUR (24) HOURS AFTER SEEDING MUST BE RESEEDED WITH THE SPECIFIED MIX AT THE CONTRACTOR'S EXPENSE, PRIOR TO MULCHING AND ATTACHING. ON STEEP SLOPES OR OTHER SPECIFIED AREAS AS SHOWN ON THE PLANTING PLAN, WHICH ARE DIFFICULT TO MULCH AND ATTACH BY CONVENTIONAL METHOD, BURLAP OR OTHER BLANKETING MATERIALS PROPERLY ANCHORED AND SECURED MAY BE USED WHEN APPROVED BY THE CITY OF FORT COLLINS ENGINEER.

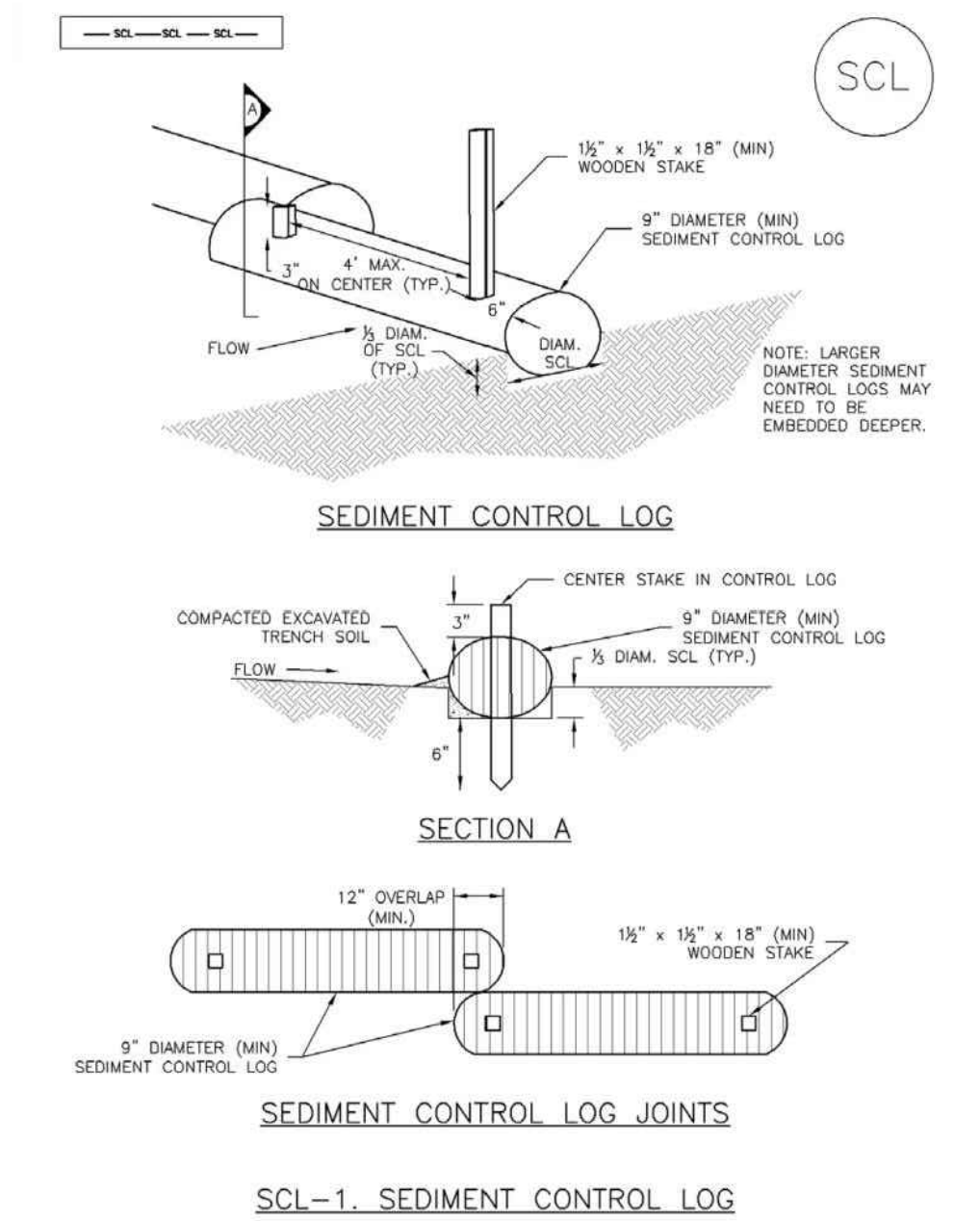
PERMANENT STABILIZATION MEASURES:
RIPRAP FOR STORM DRAIN OUTFALLS WILL BECOME PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN AND WILL NOT BE REMOVED. PERMANENT LANDSCAPING WILL INCLUDE (SODDING, SEEDING, TREES, SHRUBS, OR OTHER VEGETATIVE COVER TO OPEN AREAS. NATIVE PERENNIAL SEEDING WILL BE ESTABLISHED IN NON-IRRIGATED AREAS AND SOD OR OTHER VEGETATIVE COVER WILL BE ESTABLISHED IN IRRIGATED OPEN AREAS. ALL PERMANENT STABILIZATION MEASURES WILL BE SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER.

MATERIALS AND SPILL PREVENTION:
THE CONTRACTOR WILL STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN CONFINED AREAS ON SITE FROM WHICH RUNOFF WILL BE CONTAINED AND FILTERED. MATERIALS WILL BE STORED OFF THE GROUND AND PROTECTED FROM THE WEATHER BY A COVER OR STORED IN A CONTAINER SUCH AS A VAN OR TRAILER. AN EARTHEN DIKE WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE FUEL STORAGE AREA TO PREVENT MATERIALS FROM CONTACT WITH SURFACE RUNOFF. EQUIPMENT MAINTENANCE WILL BE PERFORMED IN A DESIGNATED AREA AND STANDARD MAINTENANCE PROCEDURES, SUCH AS THE USE OF DRIP PANS, WILL BE USED TO CONTAIN PETROLEUM PRODUCTS.

INSPECTION AND MAINTENANCE:
THE EROSION CONTROL MEASURES WILL BE INSPECTED DAILY DURING CONSTRUCTION BY THE CONTRACTOR AND AFTER EACH RAIN EVENT. ALL INSPECTIONS SHALL BE DOCUMENTED AND SHALL INCLUDE THE DATE OF INSPECTION, ANY INCIDENCE OF NON-COMPLIANCE, SIGNED CERTIFICATION THAT THE SITE IS IN COMPLIANCE, AND ANY NOTES, DRAWINGS, MAPS, ETC. PERTAINING TO REPAIRS. COPIES OF ALL DOCUMENTATION SHALL BE DISTRIBUTED TO MUNICIPALITIES AND OWNER ON A REGULAR BASIS AS SPECIFIED BY OWNER. SILT FENCE AND STRAW BALE BARRIERS WILL BE CHECKED FOR UNDERMINING AND BYPASS AND REPAIRED OR EXPANDED AS NEEDED. SEDIMENT SHOULD BE REMOVED FROM INLET FILTERS AND SILT FENCING BEFORE ONE HALF OF THE DESIGN DEPTH HAS BEEN FILLED. SEDIMENTS DEPOSITED IN THE PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY. THE TEMPORARY VEGETATION OF BARE SOILS WILL BE CHECKED REGULARLY AND AREAS WHERE IT IS LOST OR DAMAGED WILL BE RESEEDD. AT MINIMUM THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPs EVERY 14 DAYS AND AFTER SIGNIFICANT PRECIPITATION OR SNOWMELT EVENTS. INSTALLATIONS AND MODIFICATIONS AS REQUIRED BY THE CITY OF FORT COLLINS WILL BE IMPLEMENTED WITHIN 48 HOURS OF NOTIFICATION. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.

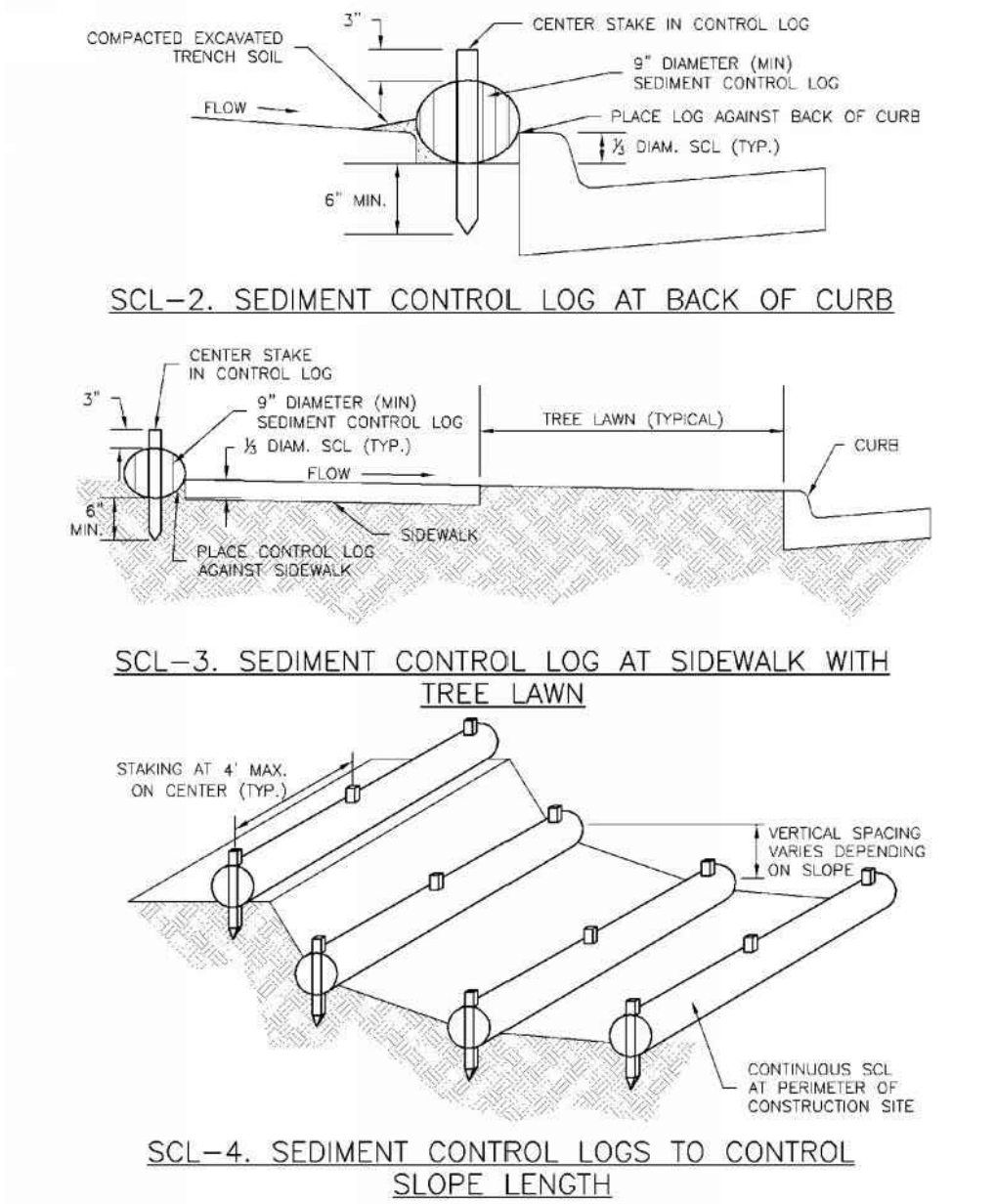
FINAL STABILIZATION AND LONG-TERM STORMWATER QUALITY:
FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OR PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED. FINAL STABILIZATION WILL BE ACHIEVED USING SOD, NATIVE SEEDING, PERMANENT BMP'S, AND OTHER METHODS. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL STABILIZATION REGARDLESS OF ACCEPTANCE BY OWNER OF THE CONTRACTOR ITEM.

Sediment Control Log (SCL) SC-2



November 2010 Urban Drainage and Flood Control District SCL-3
Urban Storm Drainage Criteria Manual Volume 3

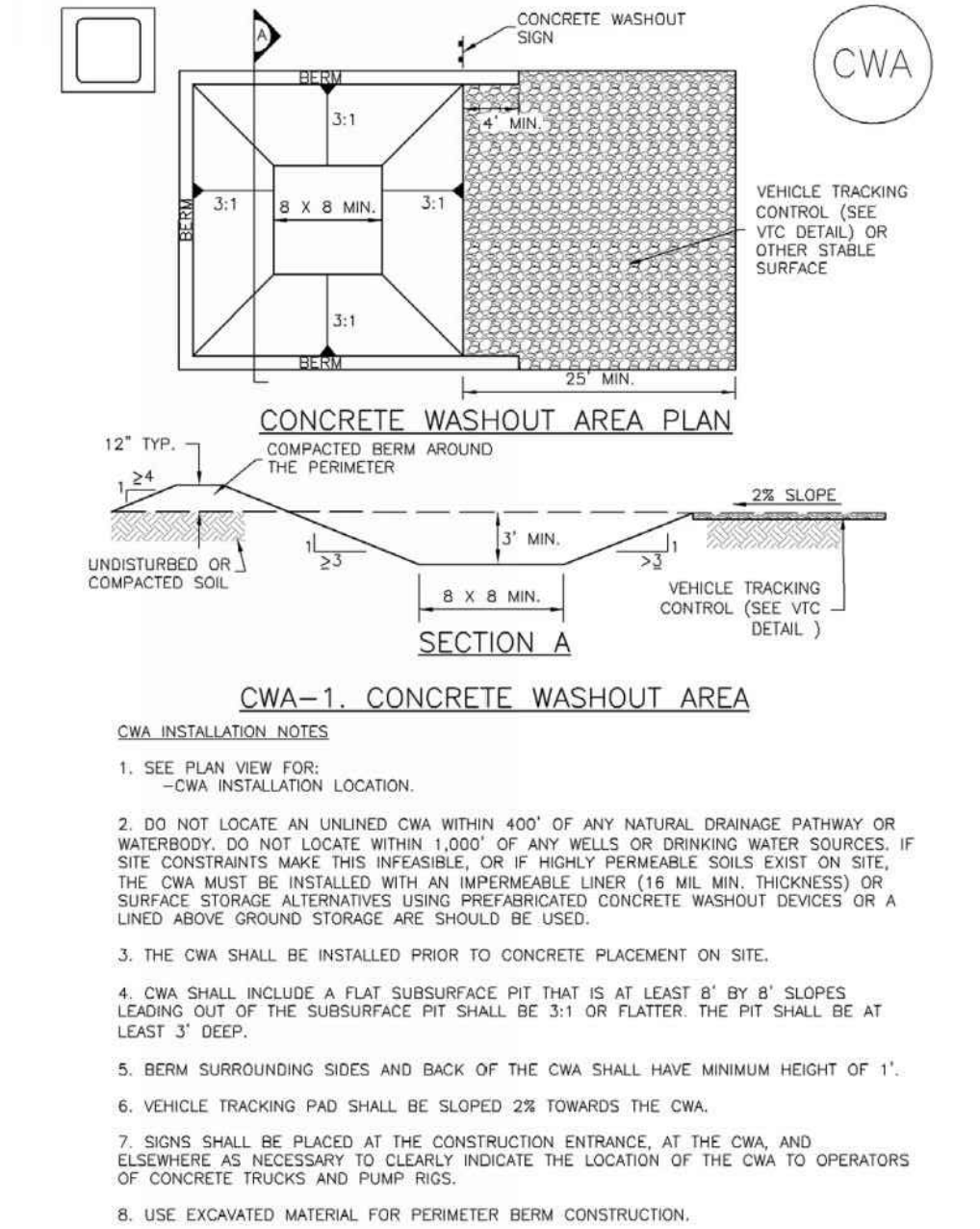
SC-2 Sediment Control Log (SCL)



SCL-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

SEDIMENT CONTROL LOG 1
NTS CE1.0

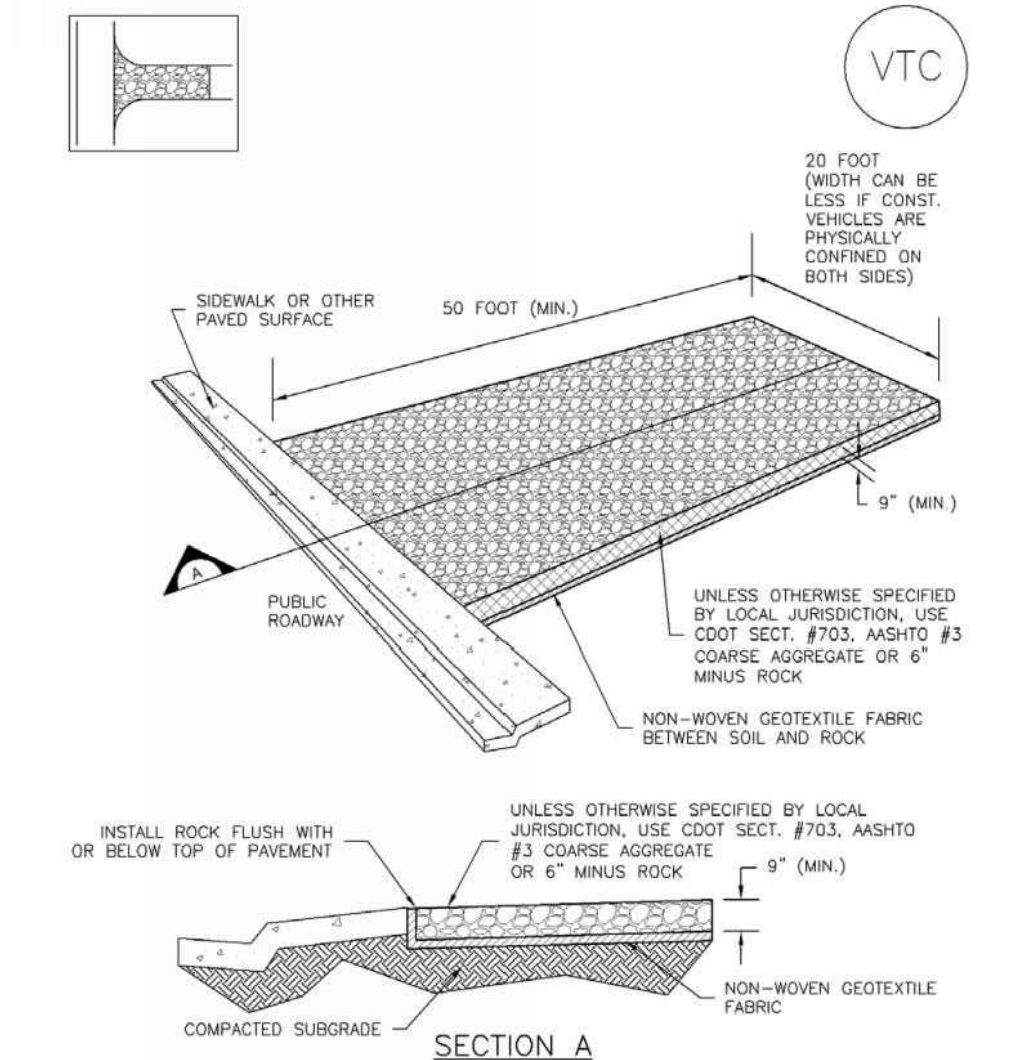
Concrete Washout Area (CWA) MM-1



November 2010 Urban Drainage and Flood Control District CWA-3
Urban Storm Drainage Criteria Manual Volume 3

CONCRETE WASHOUT FACILITY DETAIL 2
NTS CE1.0

Vehicle Tracking Control (VTC) SM-4



November 2010 Urban Drainage and Flood Control District VTC-3
Urban Storm Drainage Criteria Manual Volume 3

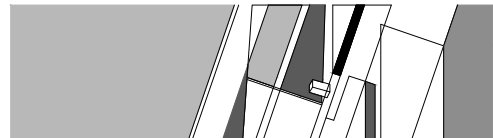
VEHICLE TRACKING CONTROL DETAIL 3
NTS CE1.0



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Date DECEMBER 11, 2015

Issue 100% UTILITY PLAN SET

Drawn By KRB

Checked By KAT

Project Number 150422.00

Owner Project Number 14-023

Revisions

Sheet of

SWMP & EROSION CONTROL DETAILS

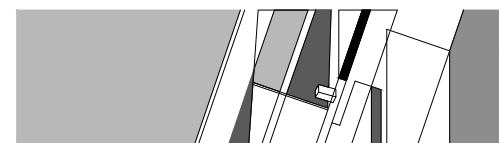
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Revisions		

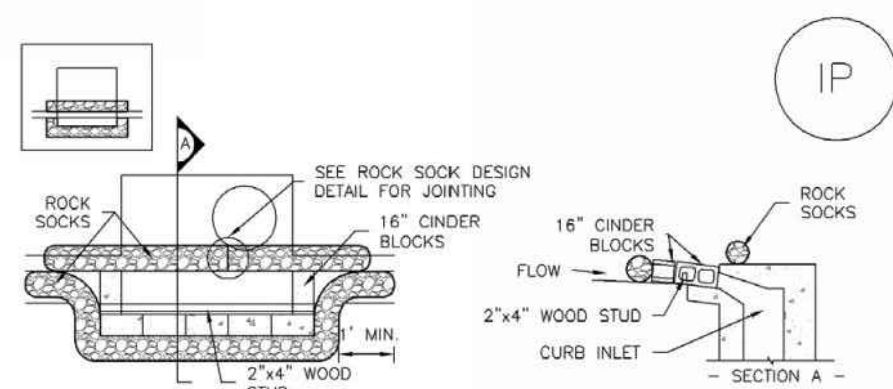
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EROSION CONTROL DETAILS

CE1.2

SC-6

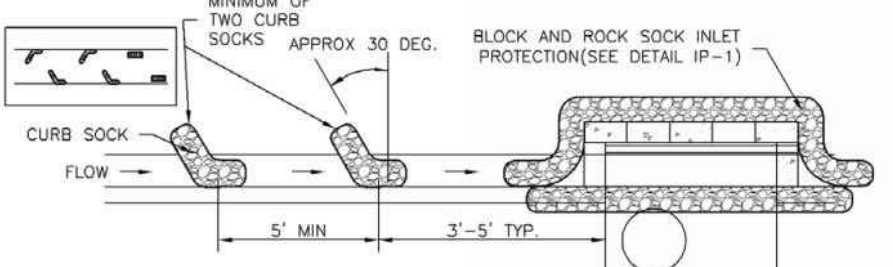
Inlet Protection (IP)



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE
INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
3. GRIVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



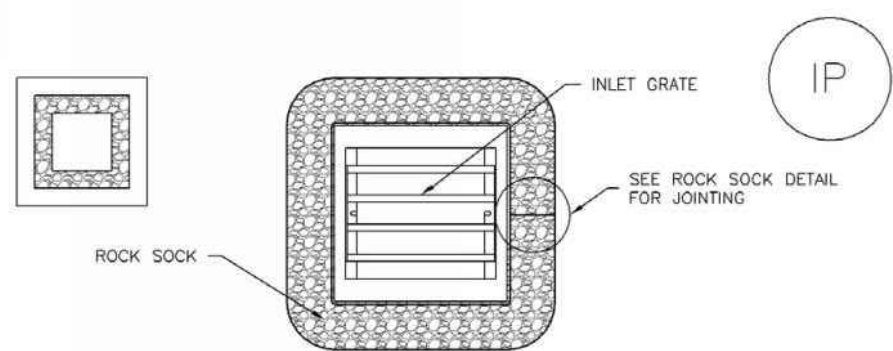
IP-2. CURB ROCK SOCKS UPSTREAM OF
INLET PROTECTION

CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
3. SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
4. AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

Inlet Protection (IP)

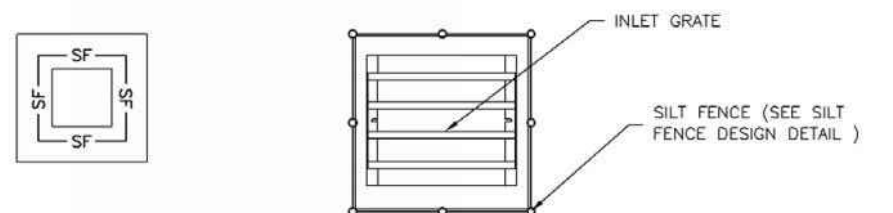
SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



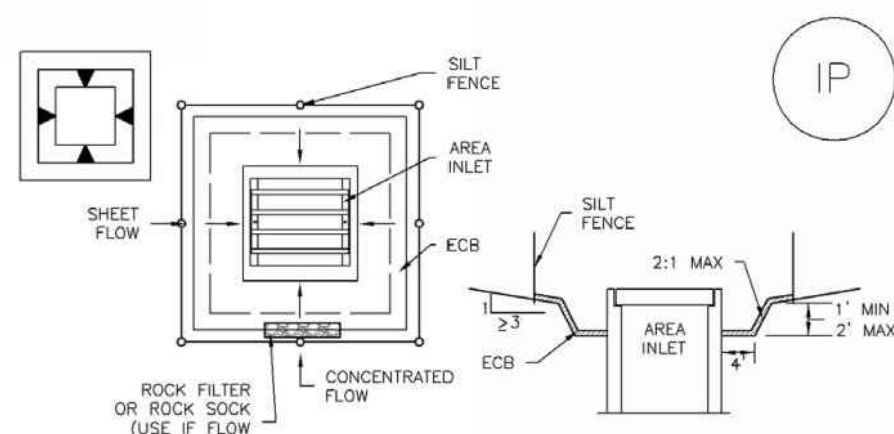
IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

SC-6

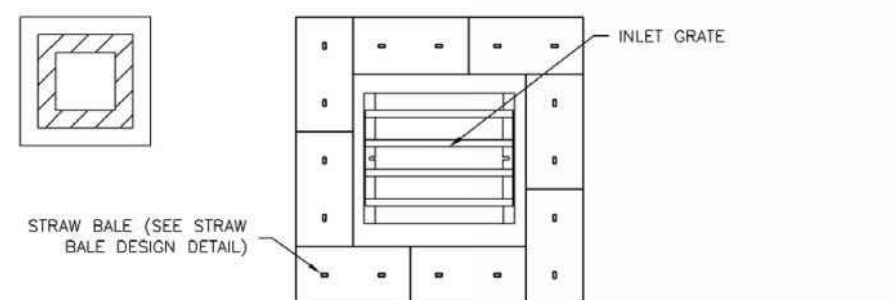
Inlet Protection (IP)



IP-5. OVEREXCAVATION INLET PROTECTION

OVEREXCAVATION INLET PROTECTION INSTALLATION NOTES

1. THIS FORM OF INLET PROTECTION IS PRIMARILY APPLICABLE FOR SITES THAT HAVE NOT YET REACHED FINAL GRADE AND SHOULD BE USED ONLY FOR INLETS WITH A RELATIVELY SMALL CONTRIBUTING DRAINAGE AREA.
2. WHEN USING FOR CONCENTRATED FLOWS, SHAPE BASIN IN 2:1 RATIO WITH LENGTH ORIENTED TOWARDS DIRECTION OF FLOW.
3. SEDIMENT MUST BE PERIODICALLY REMOVED FROM THE OVEREXCAVATED AREA.



IP-6. STRAW BALE FOR SUMP INLET PROTECTION

STRAW BALE BARRIER INLET PROTECTION INSTALLATION NOTES

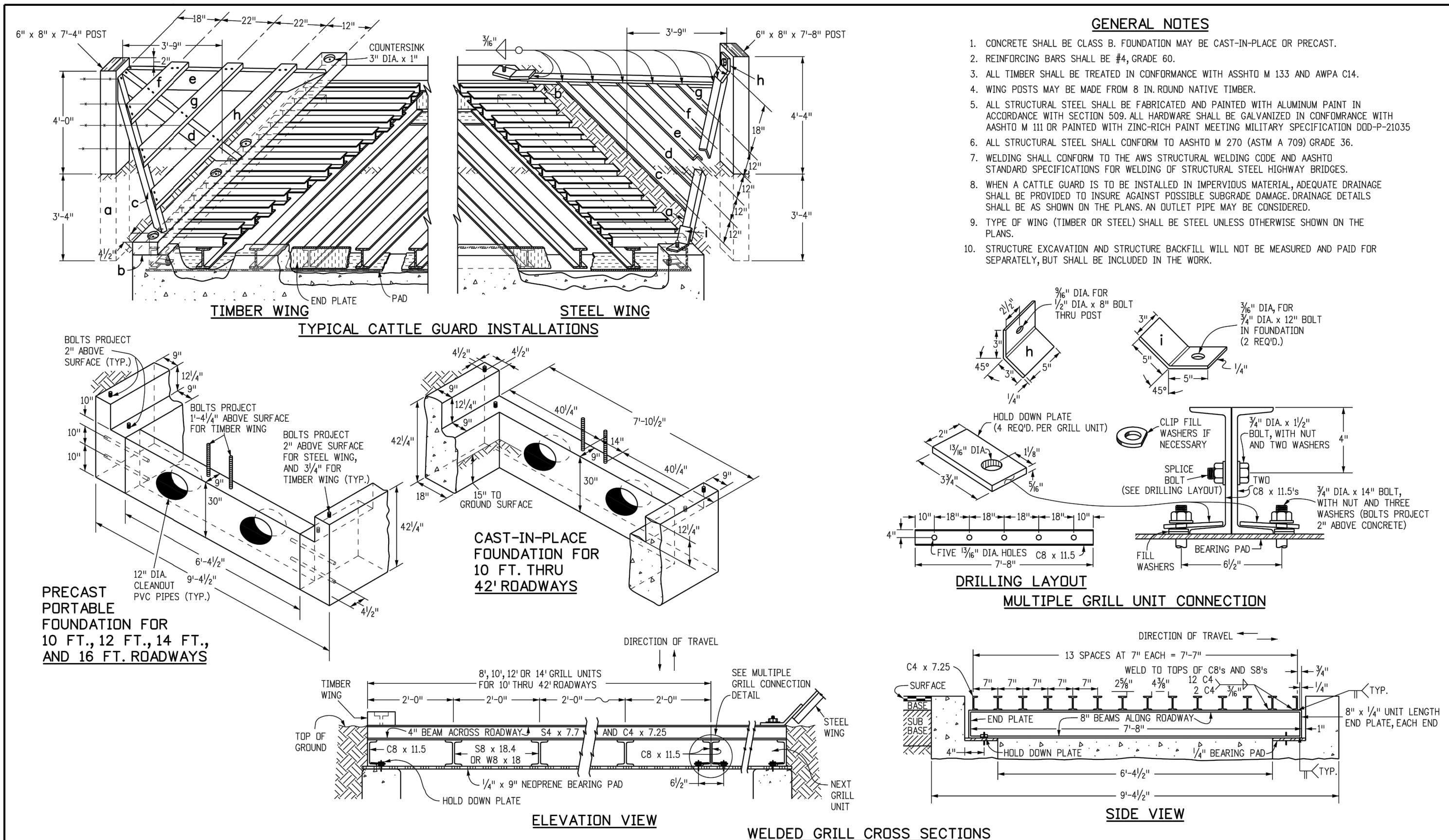
1. SEE STRAW BALE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. BALES SHALL BE PLACED IN A SINGLE ROW AROUND THE INLET WITH ENDS OF BALES TIGHTLY ABUTTING ONE ANOTHER.

INLET PROTECTION DETAIL

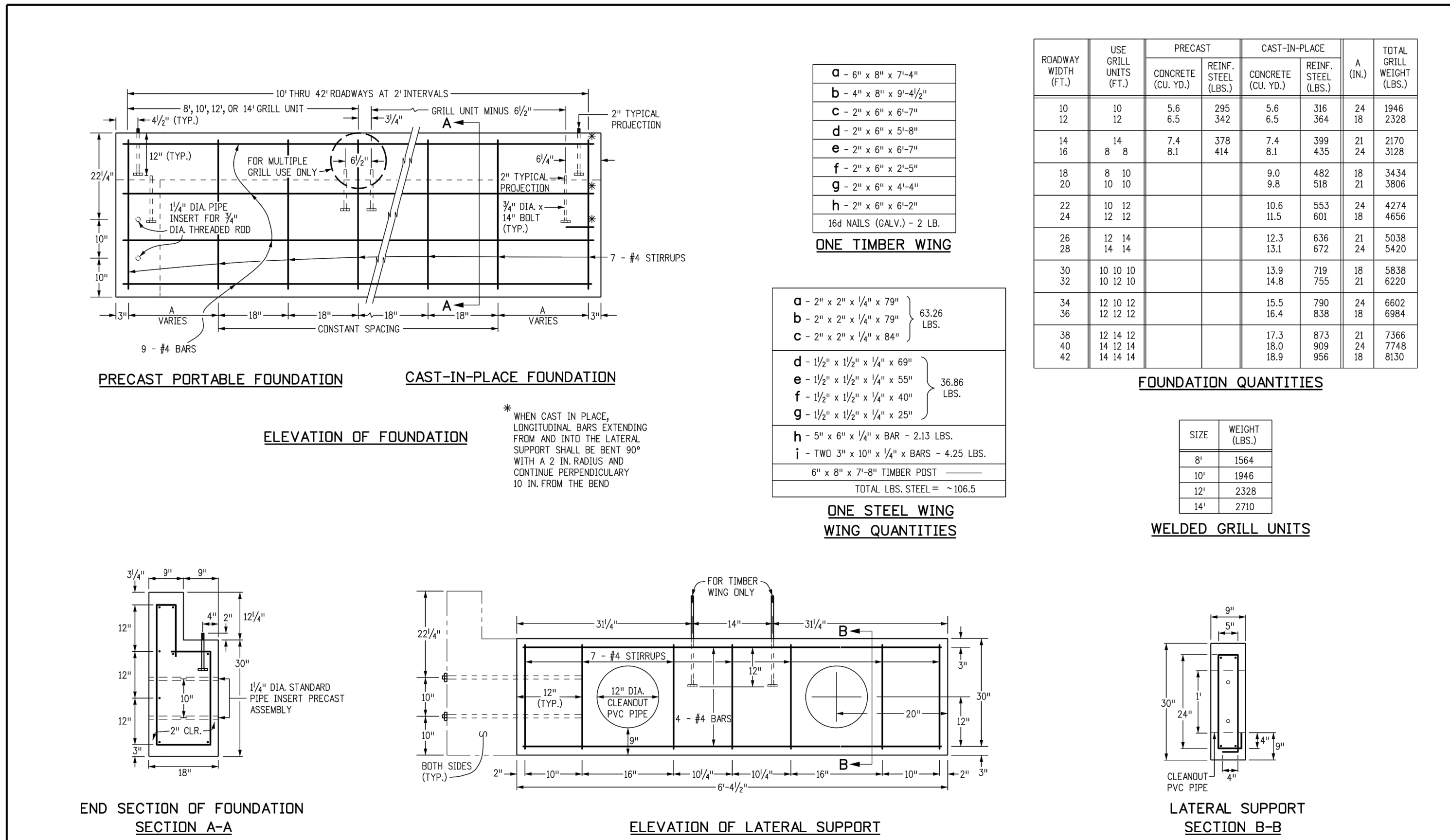
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Computer File Information	Sheet Revisions	Colorado Department of Transportation	STANDARD PLAN NO.
Creation Date: 07/04/12 Initials: DD Last Modification Date: 07/04/12 Initials: LTA Full Path: www.coloradoad.com/business/designsupport Drawing File Name: 611010102.dgn CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English	Date: Comments	4201 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-9083 Fax: (303) 757-9820 Project Development Branch DD/LTA	CATTLE GUARD M-611-1 Sheet No. 1 of 2



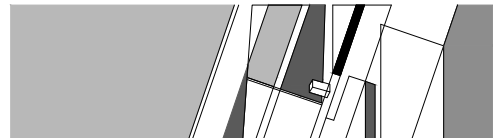
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Date DECEMBER 11, 2015
Issue 100% UTILITY PLAN SET

Drawn By KRB

Checked By KAT

Project Number 15042.00

Owner Project Number 14-023

Revisions

Sheet of

OVERALL GRADING PLAN

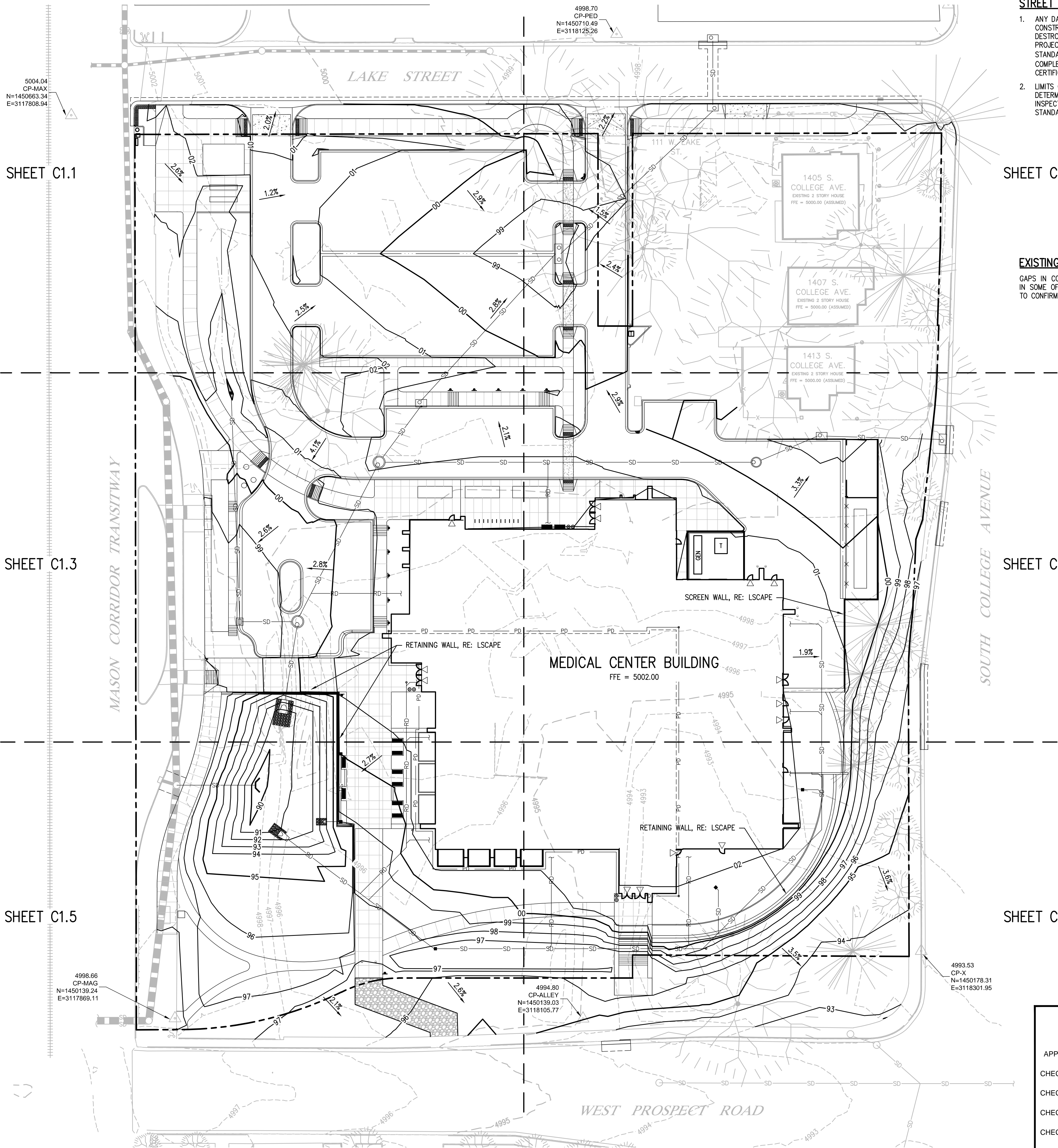
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STREET CUT NOTES:

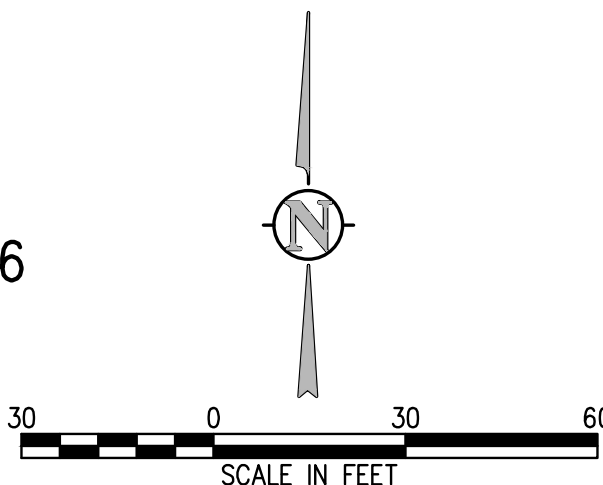
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THE PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.

EXISTING CONTOUR NOTE:

GAPS IN CONTOURS ARE DUE TO EXISTING SUBSTRUCTURES. BASEMENTS EXIST IN SOME OF THE STRUCTURES AND THEIR DEPTHS ARE UNKNOWN. CONTRACTOR TO CONFIRM BASEMENT SIZES AND VOLUMES REQUIRED FOR FILL.



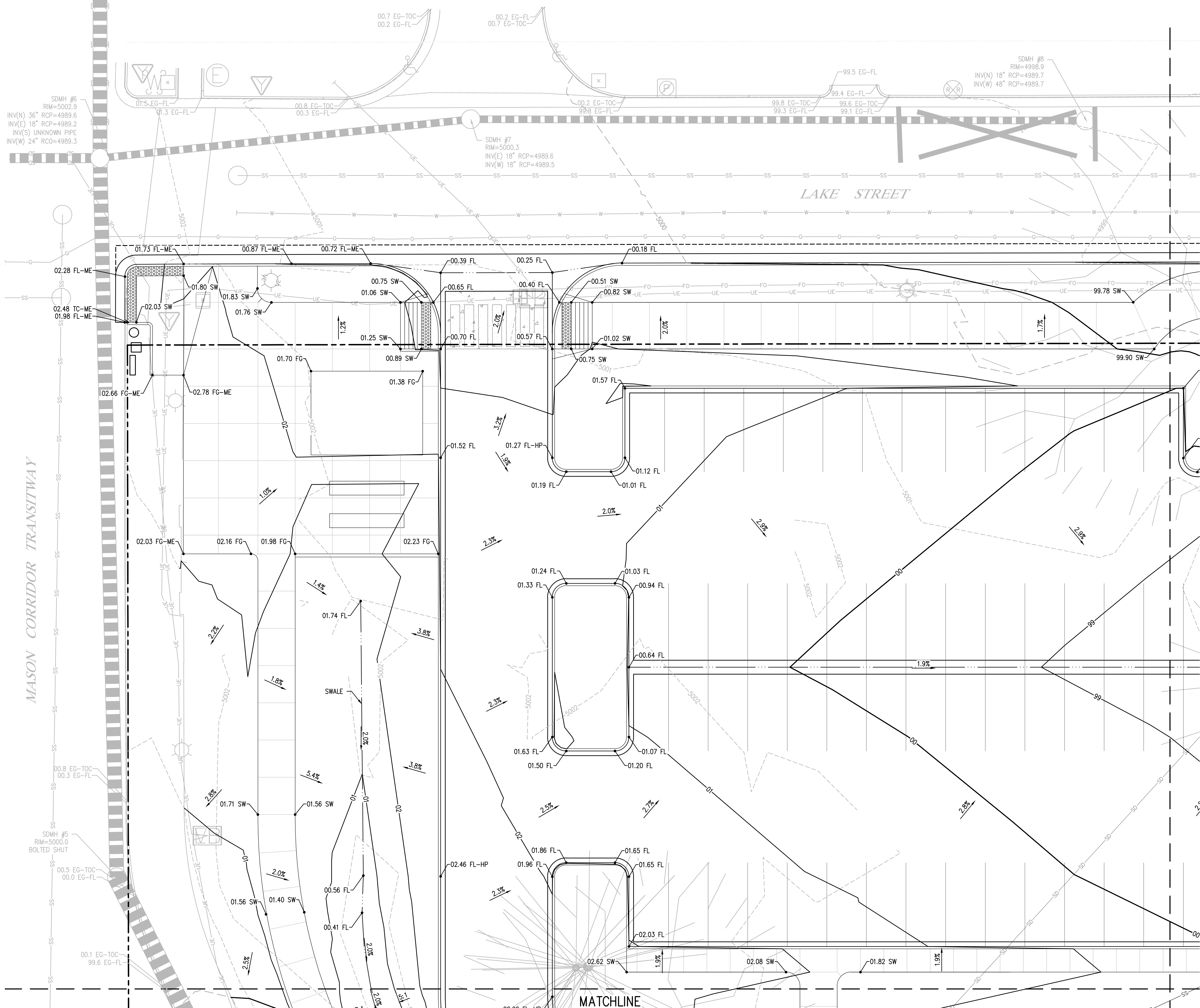
SHEET C1.6



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	_____ City Engineer _____	_____ Date _____
CHECKED BY:	_____ Water & Wastewater Utility _____	_____ Date _____
CHECKED BY:	_____ Stormwater Utility _____	_____ Date _____
CHECKED BY:	_____ Traffic Engineer _____	_____ Date _____
CHECKED BY:	_____ Parks and Recreation _____	_____ Date _____
CHECKED BY:	_____ Environmental Planner _____	_____ Date _____
CHECKED BY:	_____ _____	_____ Date _____

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STREET CUT NOTES:

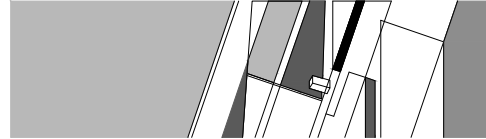
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Revisions		

Sheet of

DETAILED GRADING PLAN - NORTHWEST

C1.1

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Parks and Recreation	Date
CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date



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Date DECEMBER 11, 2015

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Drawn By KRB

Checked By KAT

Project Number 15042.00

Owner Project Number 14-023

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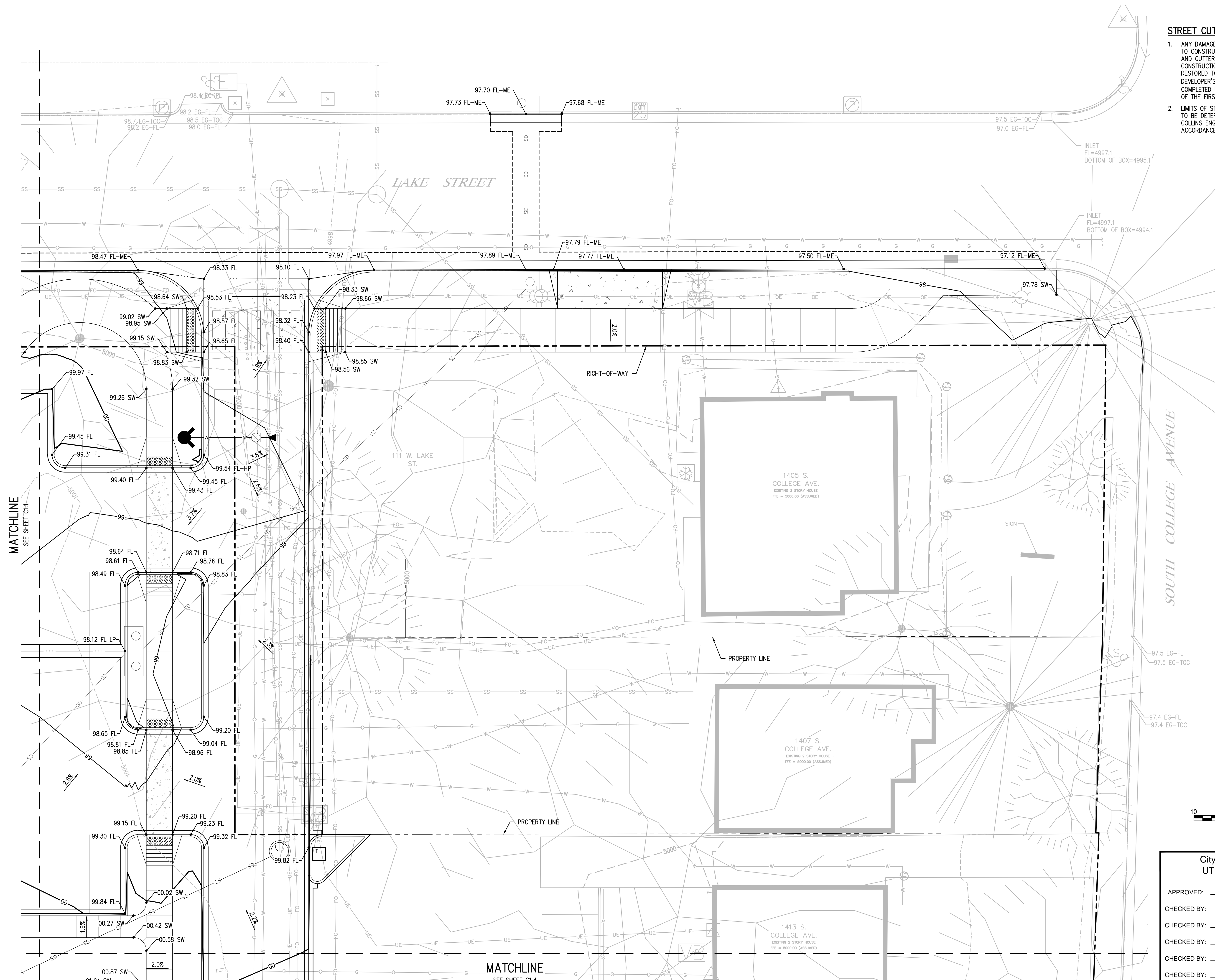
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DETAILED GRADING PLAN - NORTHEAST

C1.2

STREET CUT NOTES:

1. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THE PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
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City of Fort Collins, Colorado UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
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CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date



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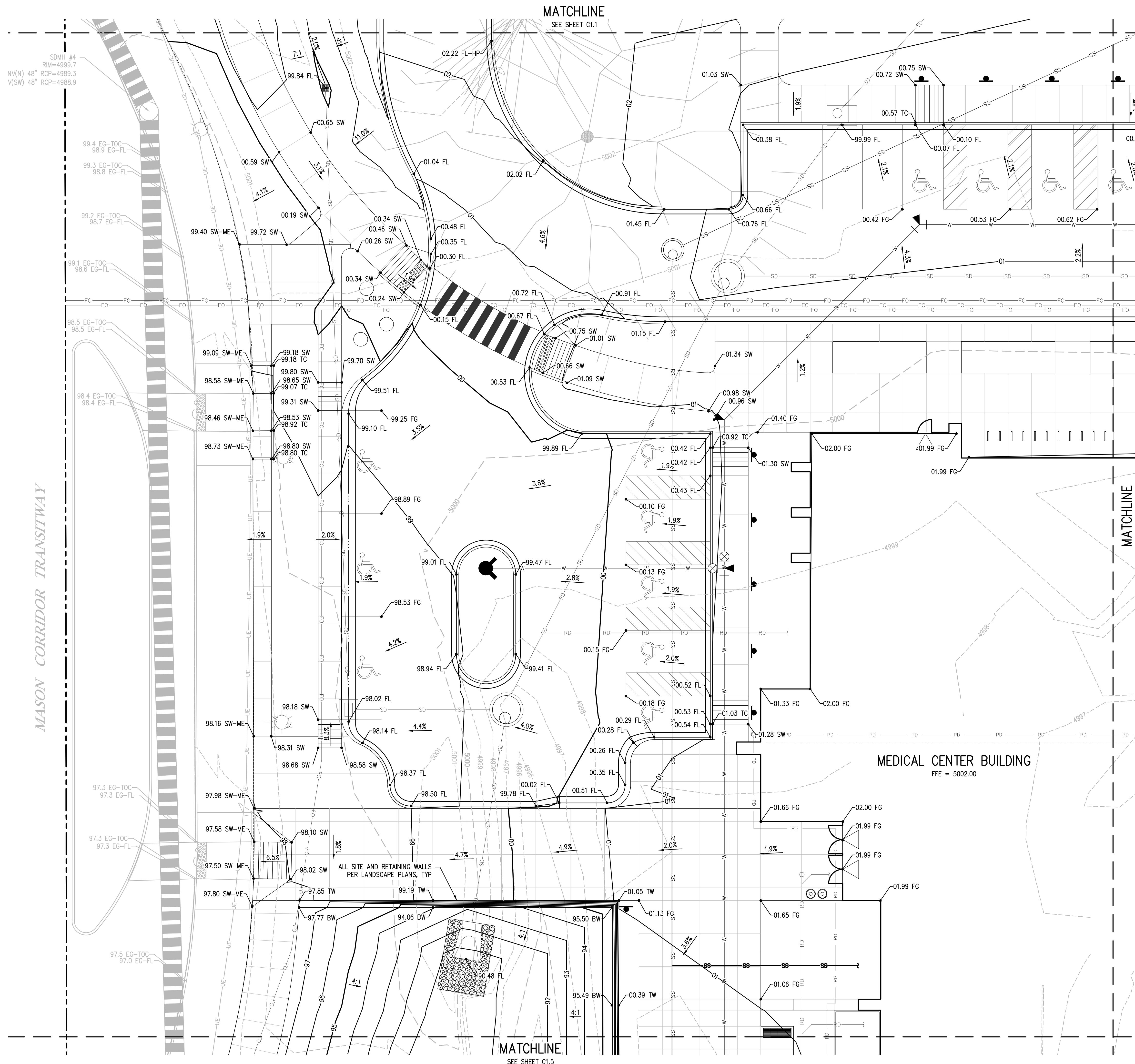
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DETAILED GRADING PLAN - WEST CENTER

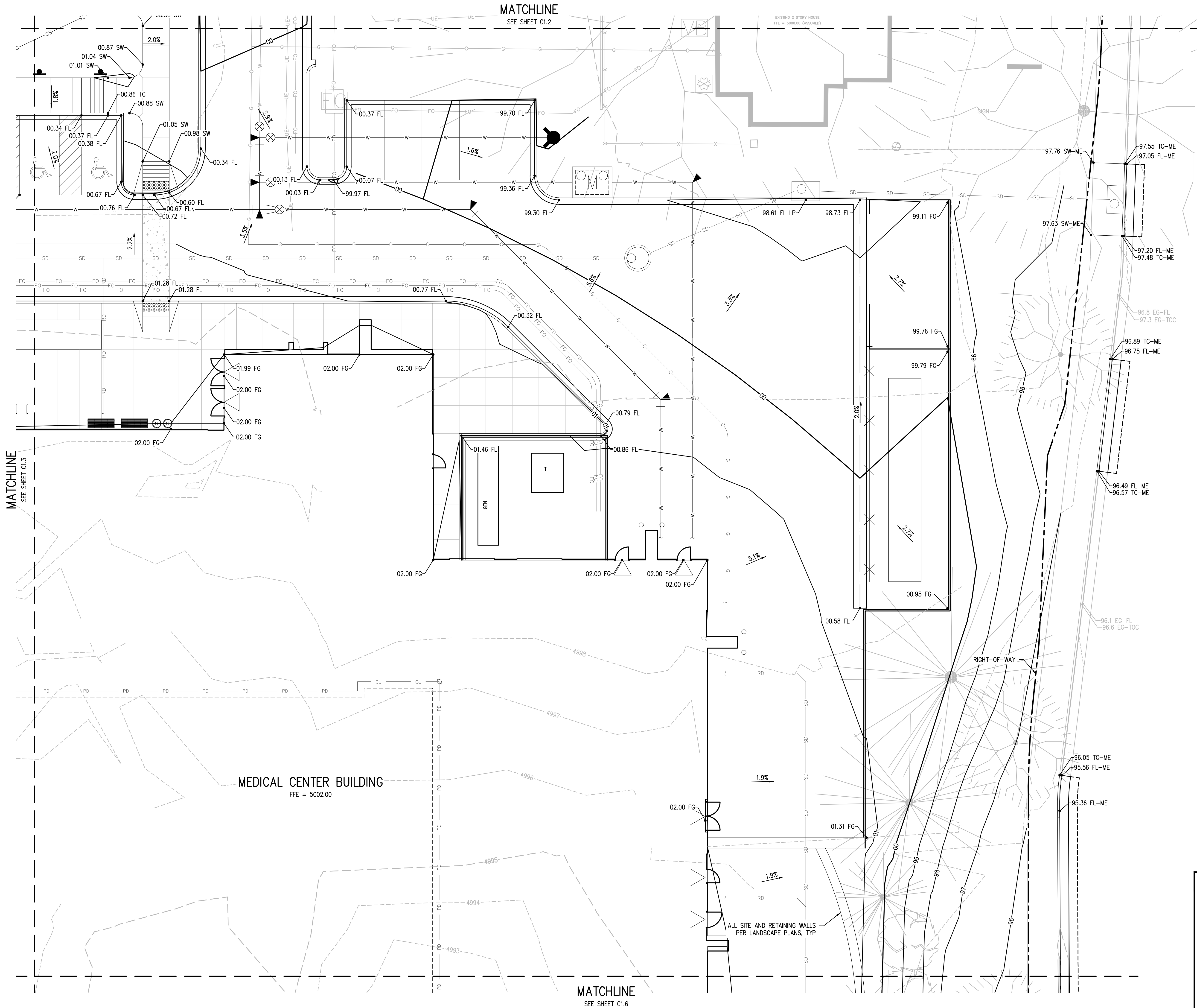
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STREET CUT NOTES:

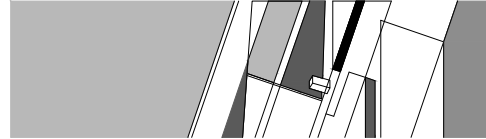
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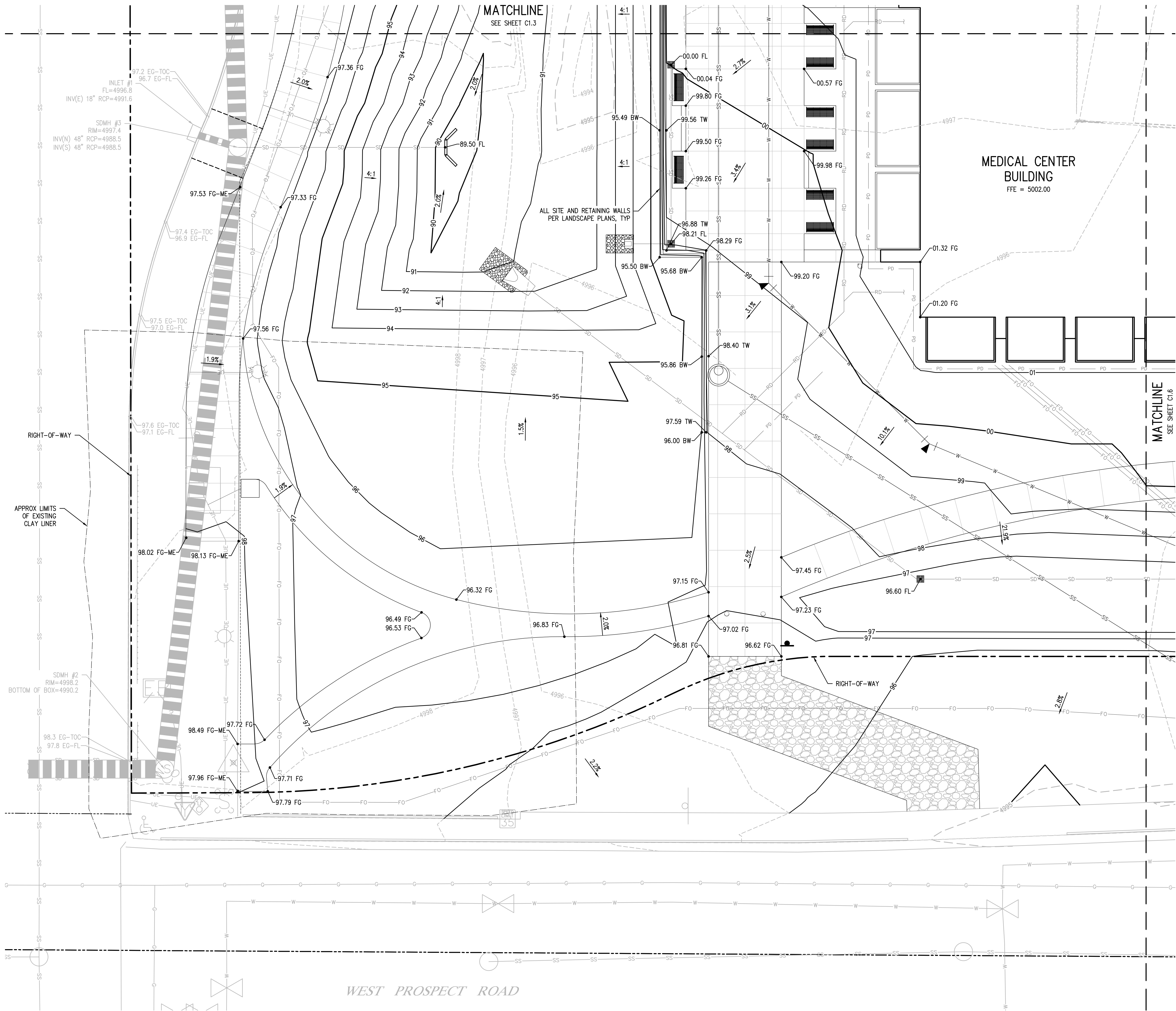
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DETAILED GRADING PLAN - EAST CENTER

C1.4

City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
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CHECKED BY:		Date

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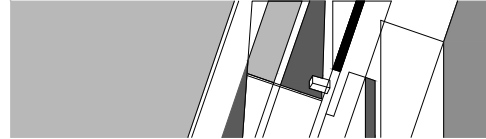
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DETAILED GRADING PLAN - SOUTHWEST

C1.5



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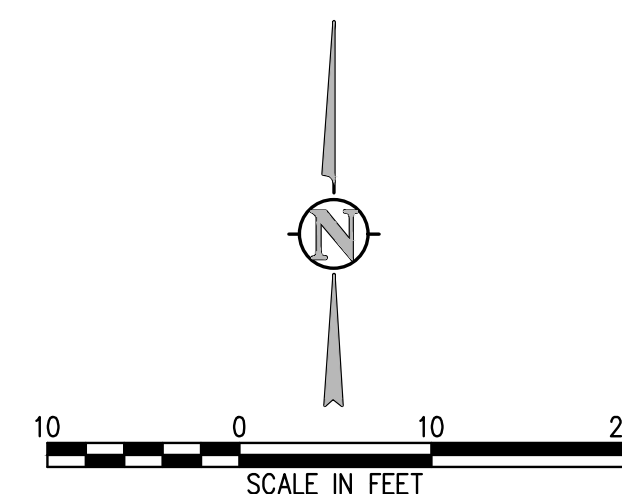
DETAILED GRADING PLAN - SOUTHEAST

C1.6

STREET CUT NOTES:

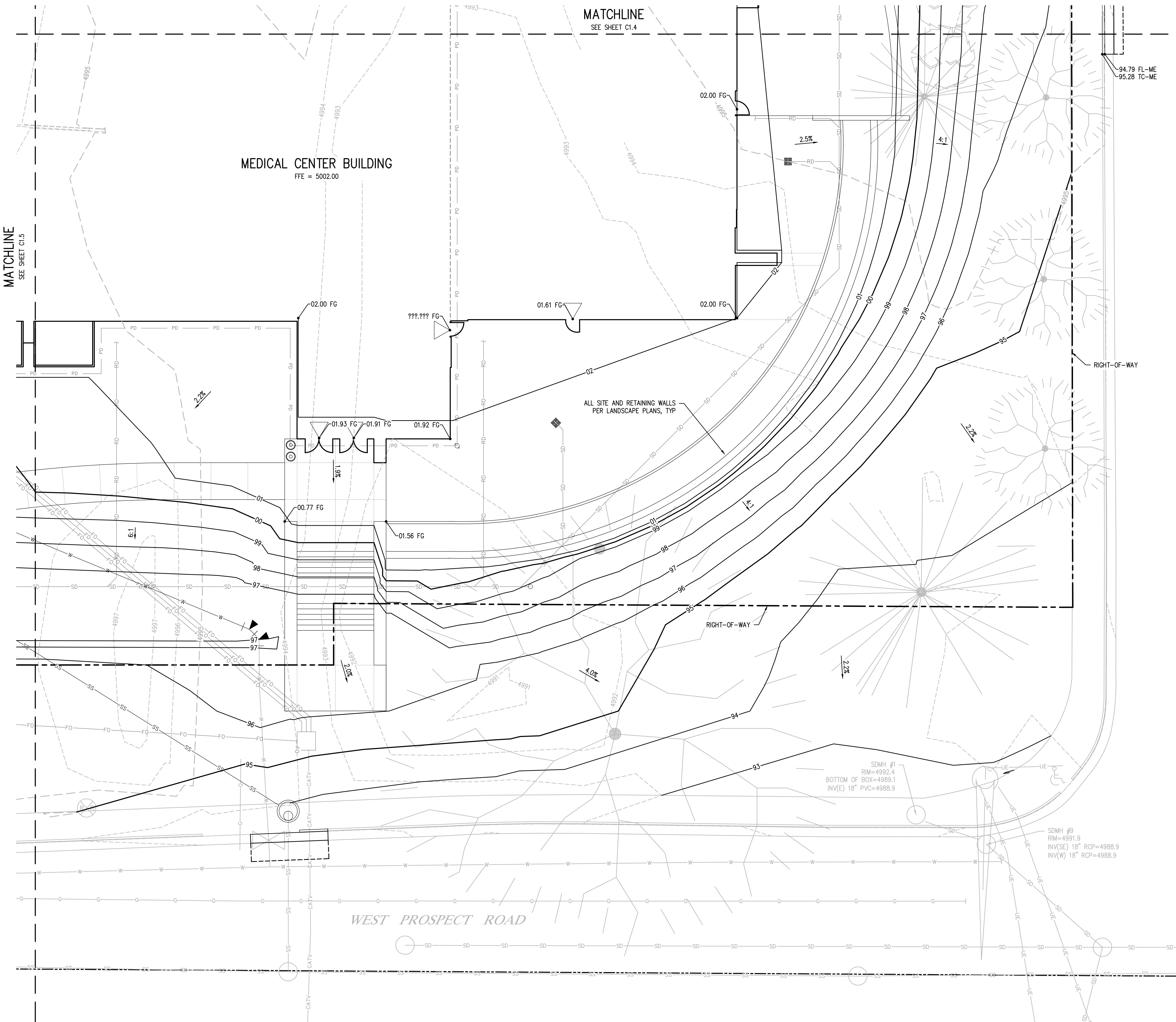
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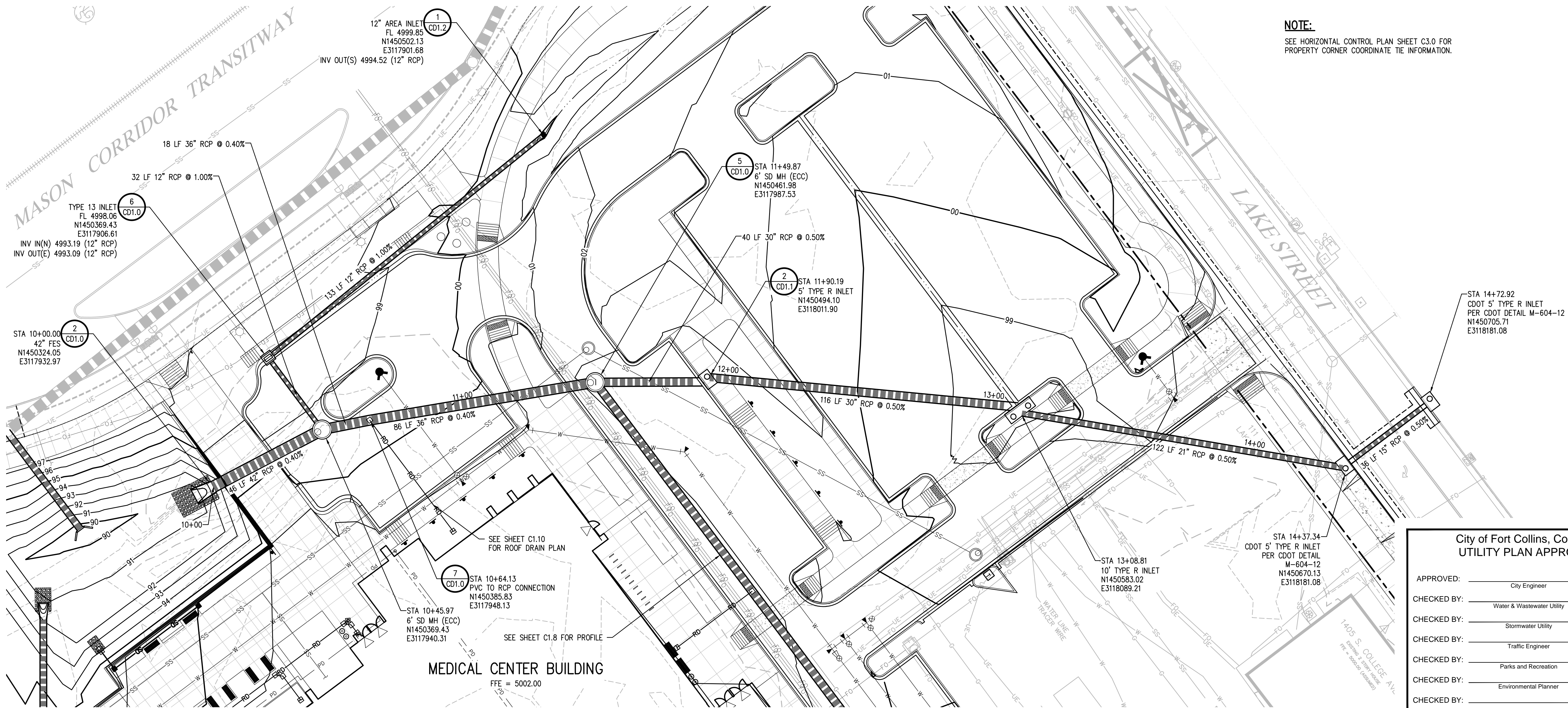
SOUTH COLLEGE AVENUE



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
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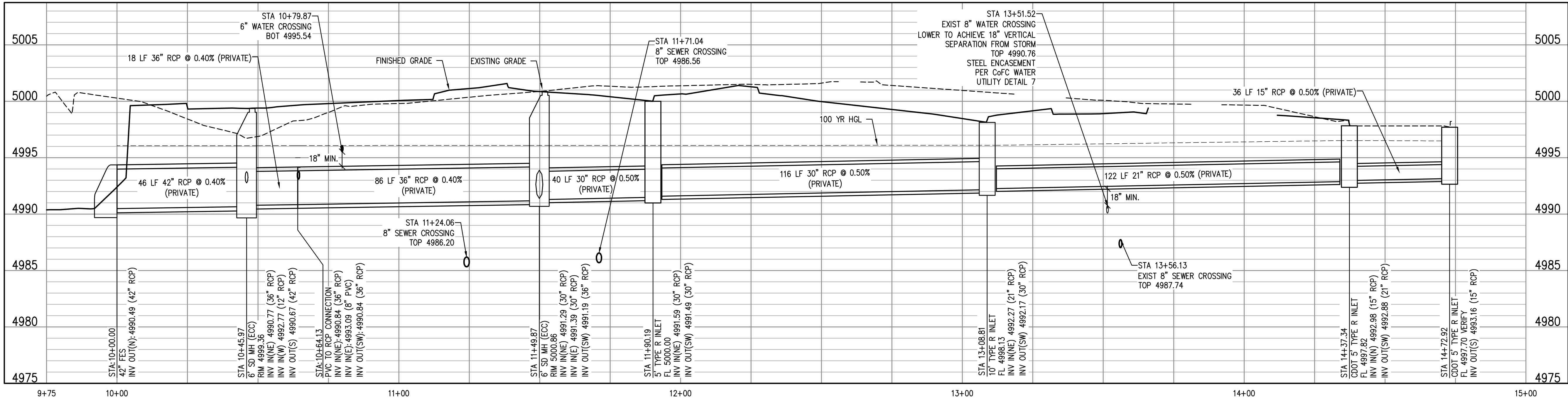




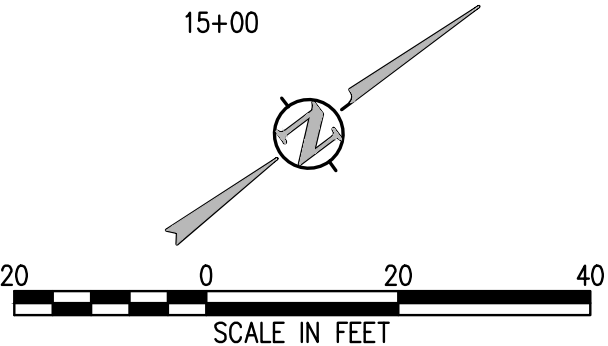
NOTE:
SEE HORIZONTAL CONTROL PLAN SHEET C3.0 FOR
PROPERTY CORNER COORDINATE TIE INFORMATION.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

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STORM A PROFILE
SCALE: 1"=20' HORIZ
1"=5' VERT



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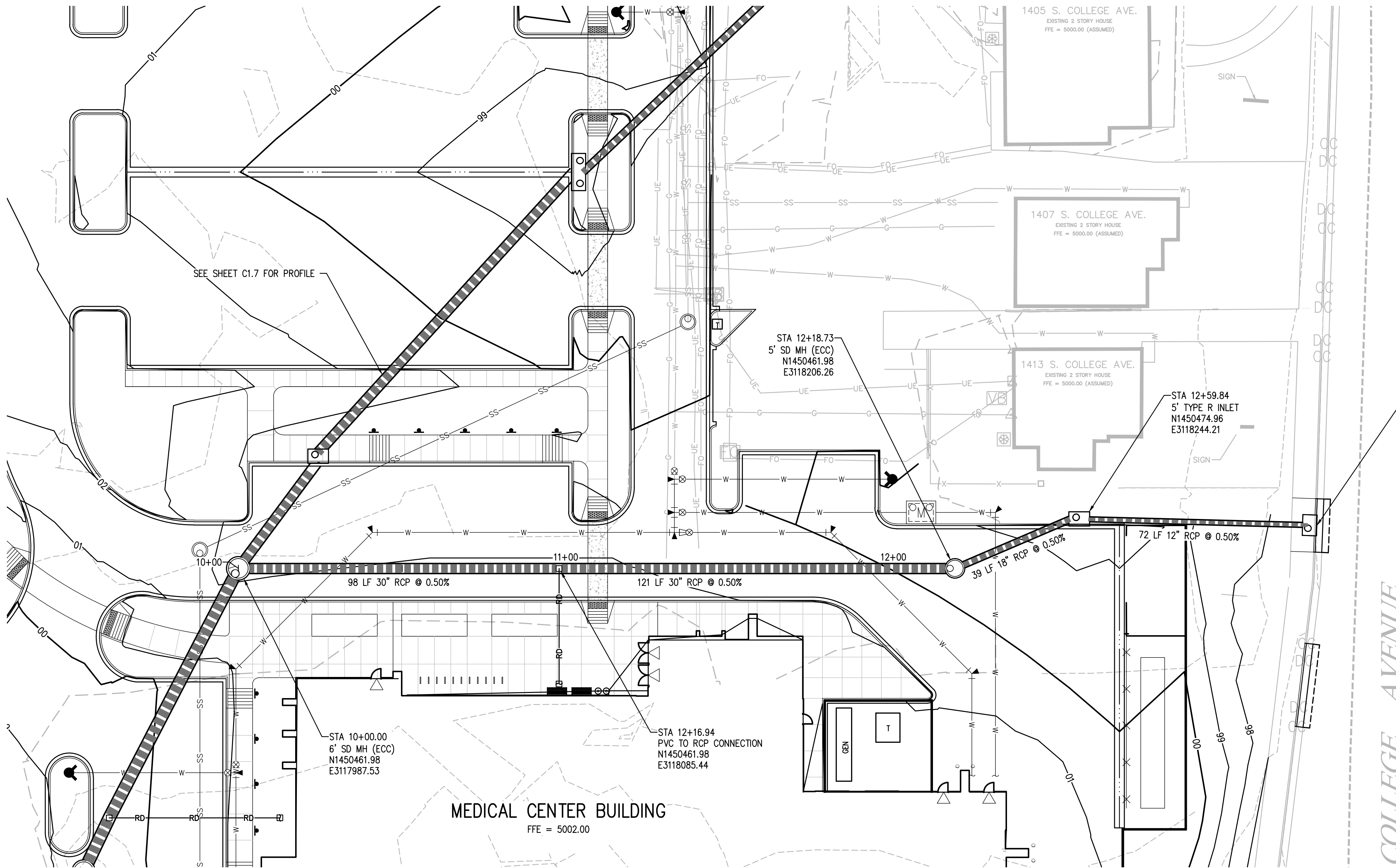
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STORM PLAN & PROFILE



NOTE:
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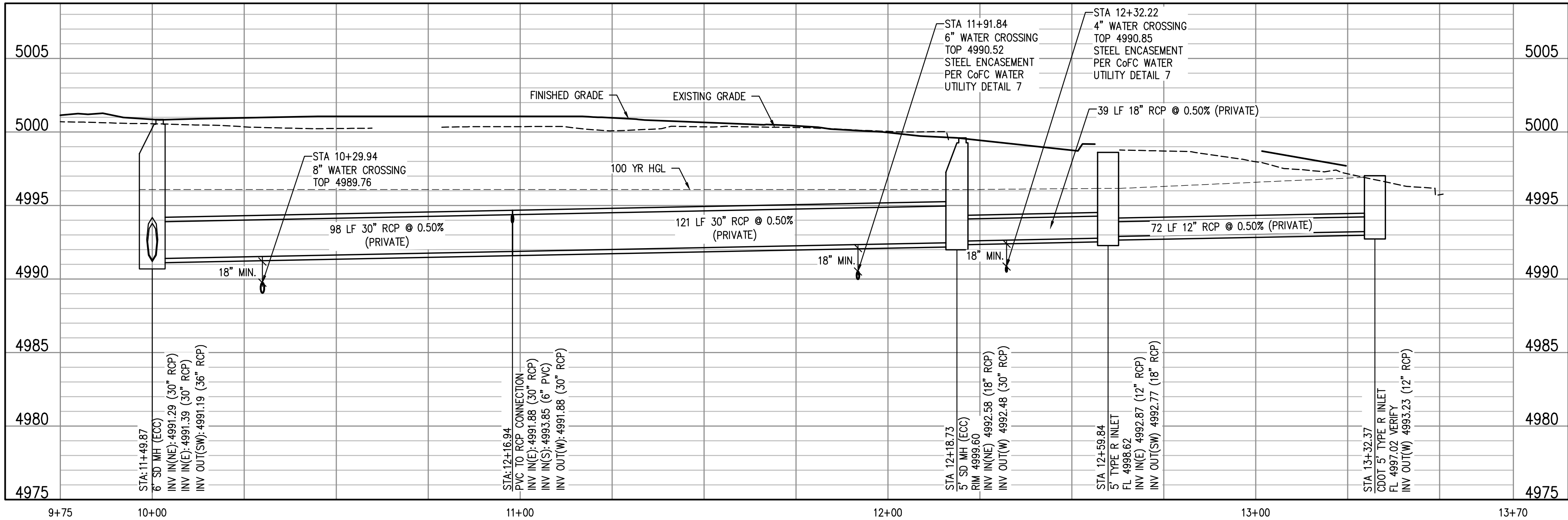
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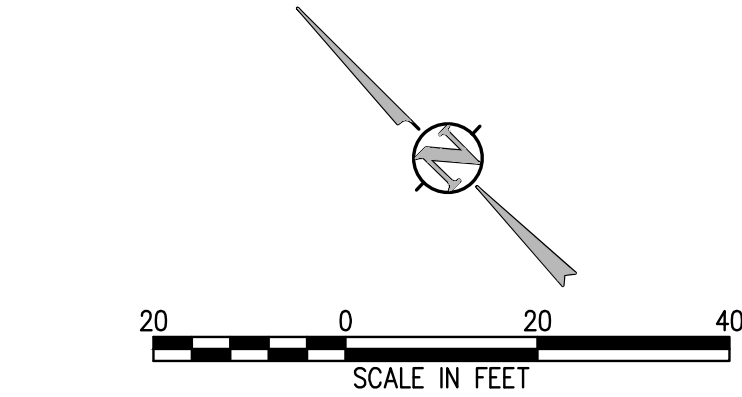
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STORM PLAN & PROFILE



STORM B PROFILE
SCALE: 1"=20' HORIZ
1"=5' VERT



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

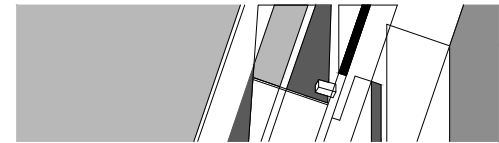
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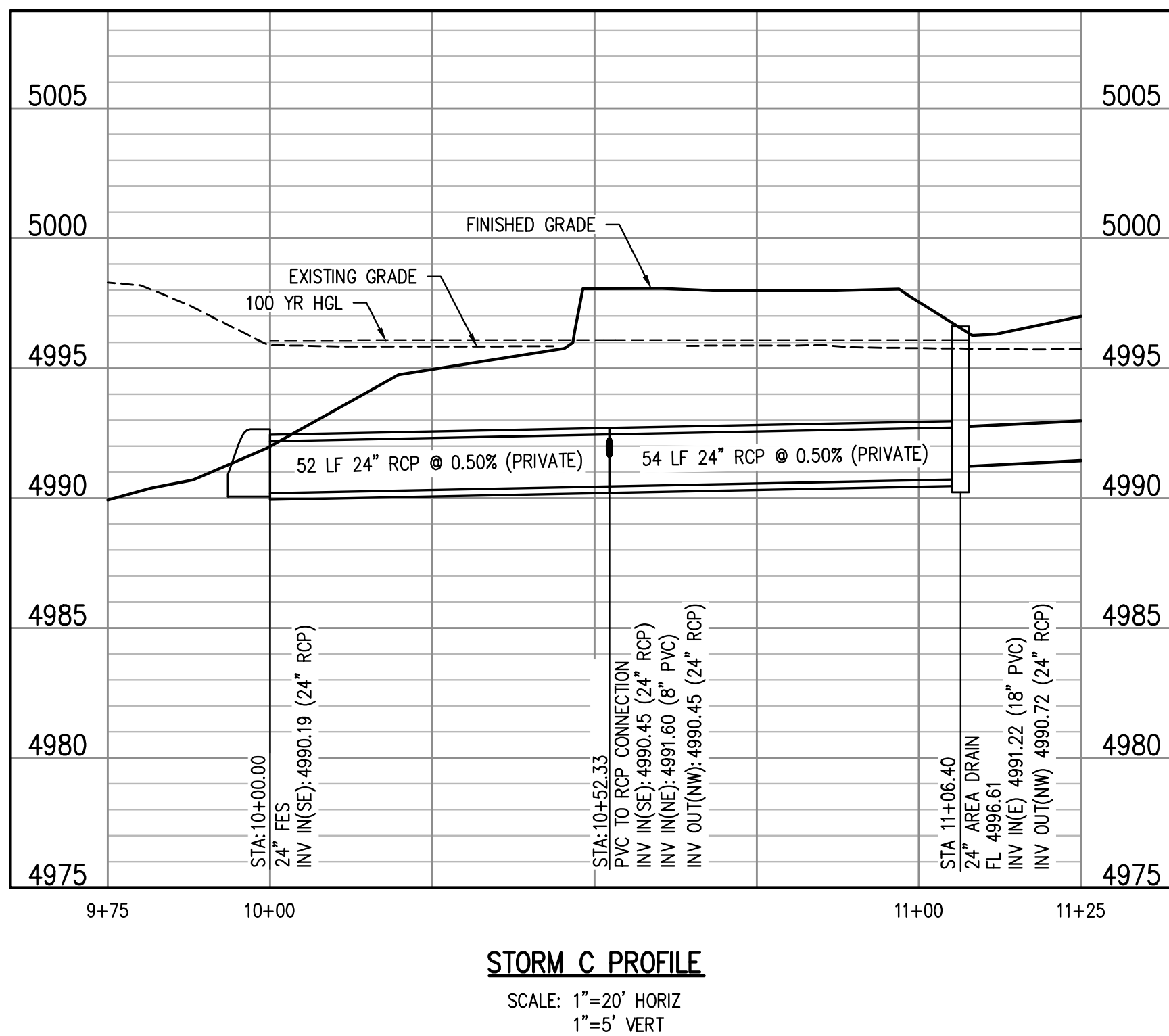
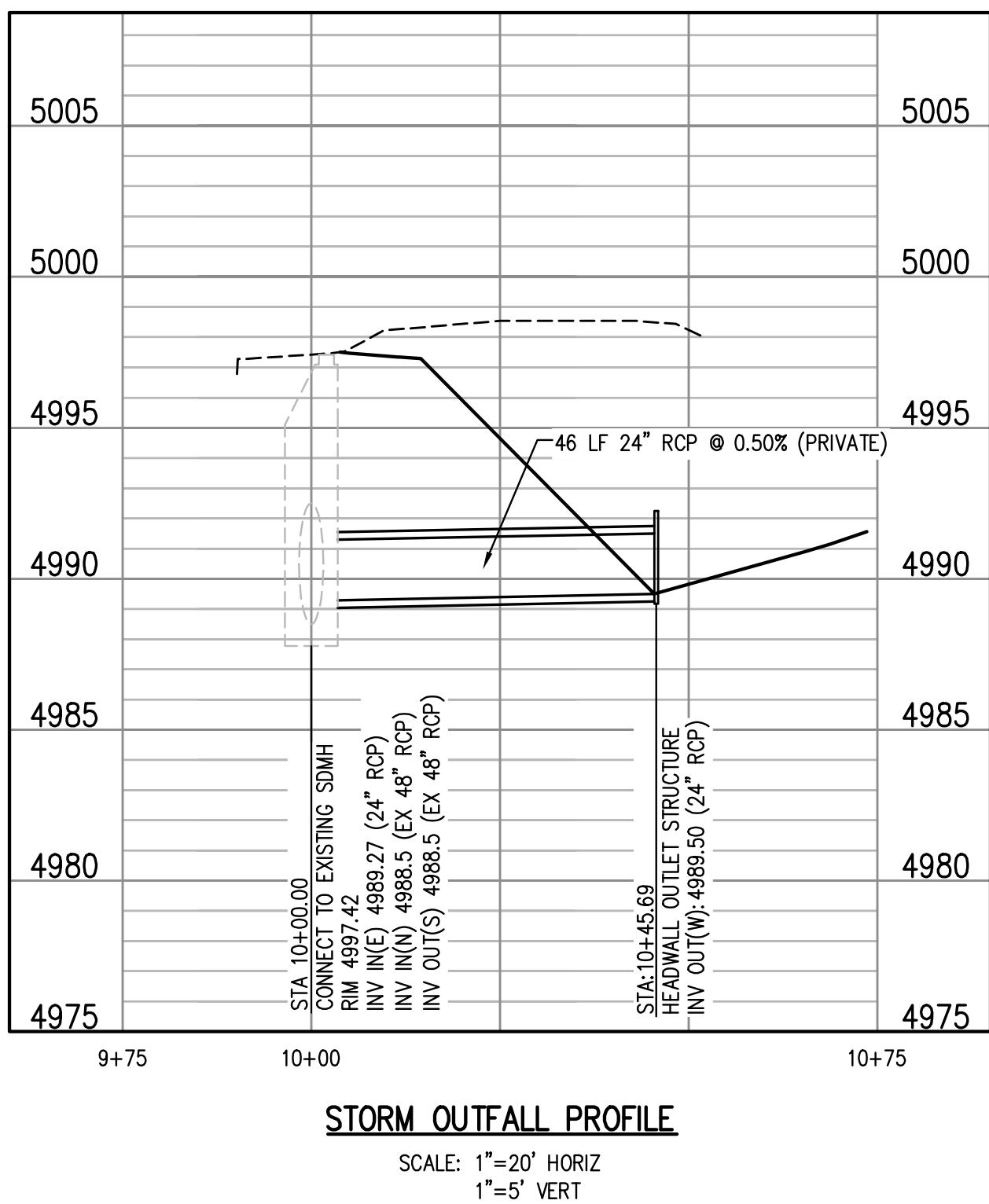
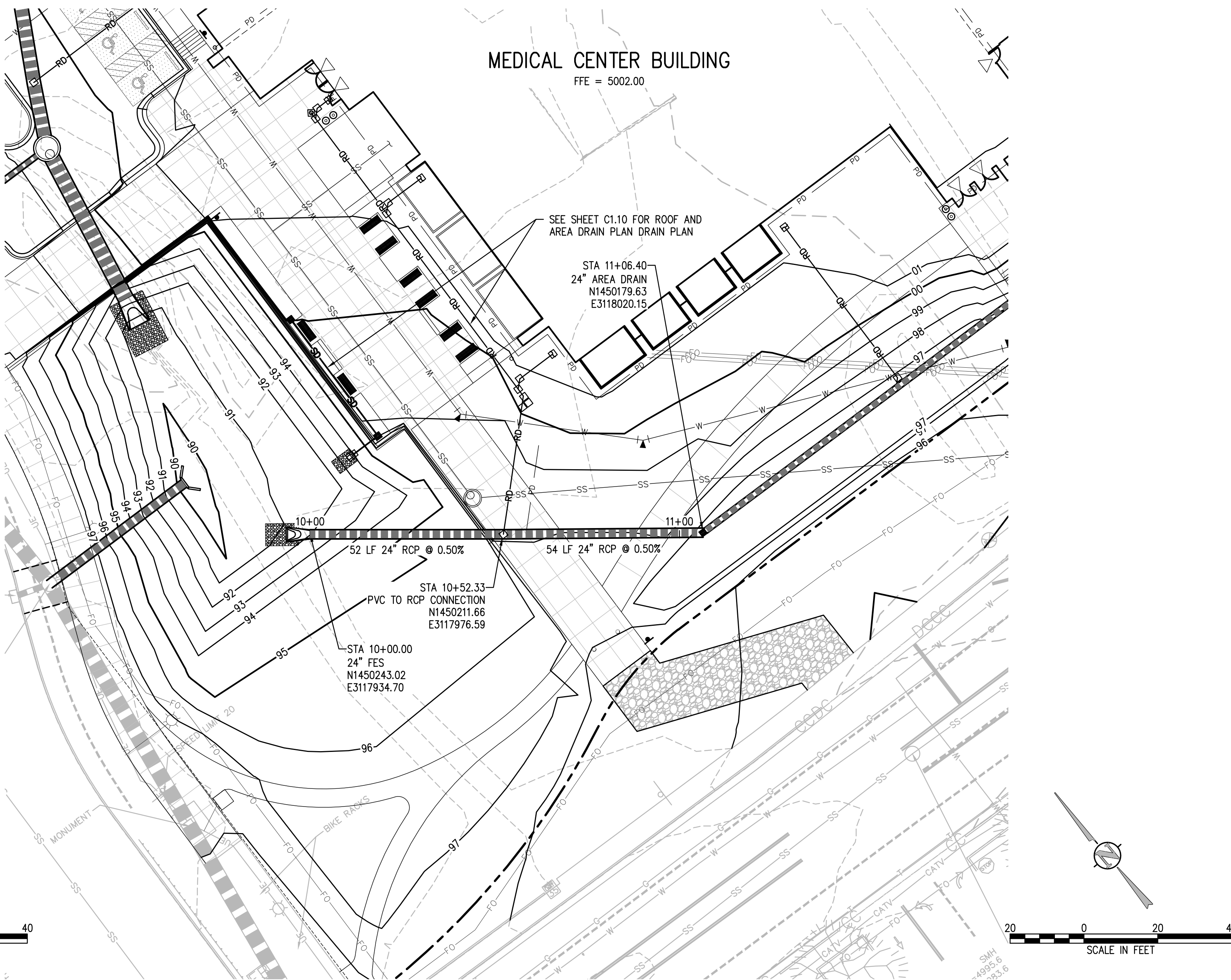
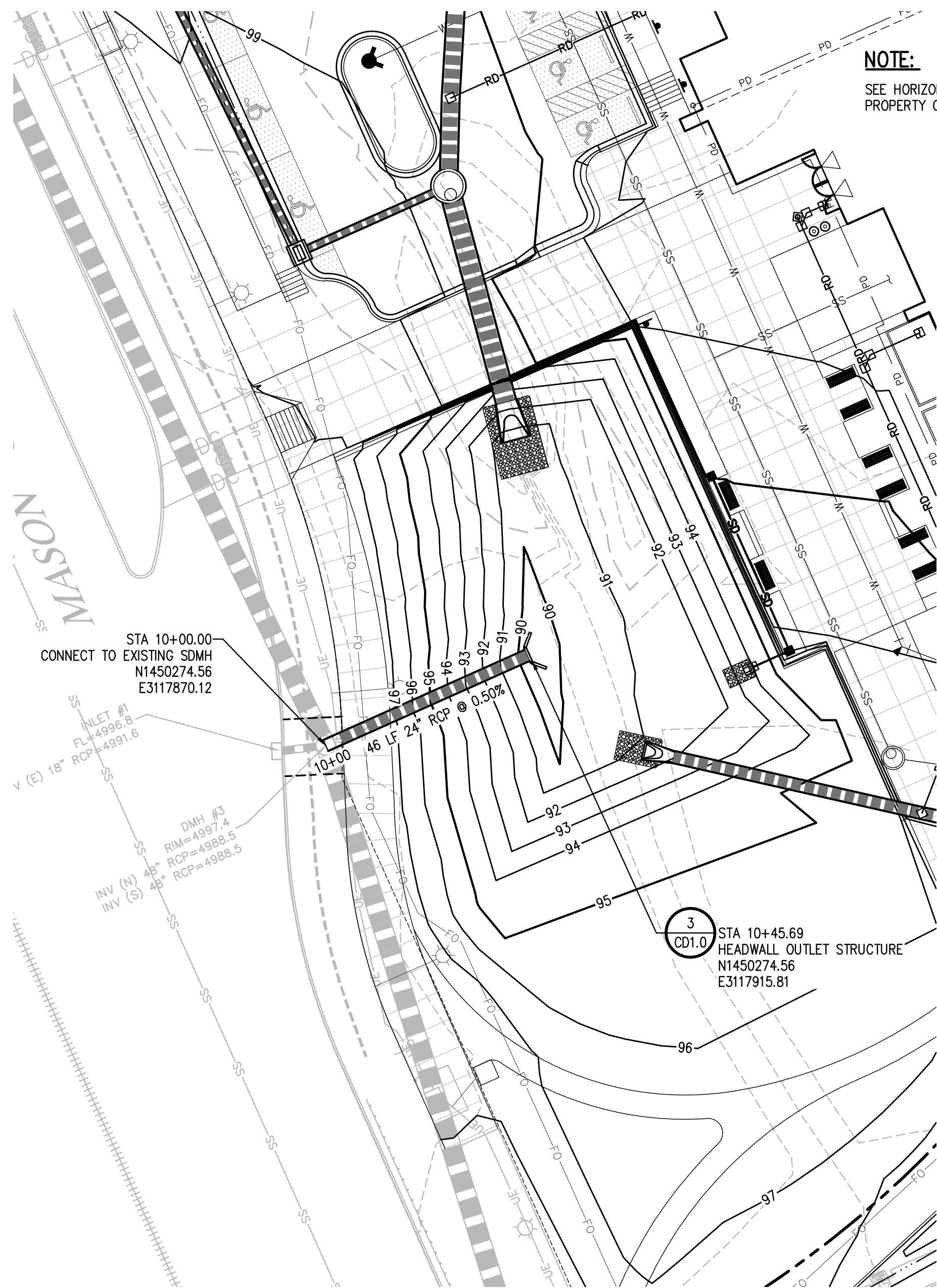
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STORM PLAN & PROFILE

C1.9



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970.491.0080 - Phone
970.491.7572 - Fax

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303.444.1951

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Design Workshop
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303.623.2616

STRUCTURAL ENGINEER

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1319 Spruce St.
Boulder, CO, 80302
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PLUMBING ENGINEERING

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Golden, CO, 80401
303.421.6655

ELECTRICAL

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3317 North Lincoln Ave
Loveland, CO, 80538
970-669-7609

MECHANICAL CONTRACTOR

US Engineering Co
1100 W. 120th Ave #900
Westminster, CO, 80234
303.964.8060

ENERGY / ENVIRONMENTAL

Ambient Energy
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Denver, CO, 80204
303.278.1532

SPECIFICATIONS

Specifications for Architects, Inc.
6560 West Alamo Drive
Littleton, CO, 80123
303.927.8362

NOT FOR CONSTRUCTION

CSU HEALTH AND MEDICAL CENTER

151 W. Lake Street
Fort Collins, CO 80524

Date DECEMBER 11, 2015

Issue 100% UTILITY PLAN SET

Drawn By KRB

Checked By KAT

Project Number 15042.00

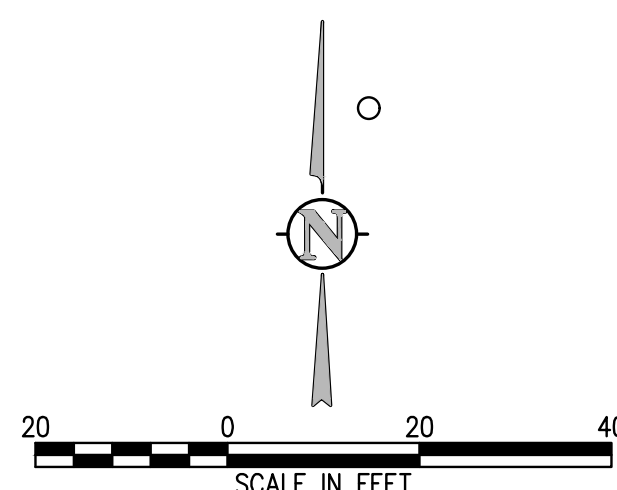
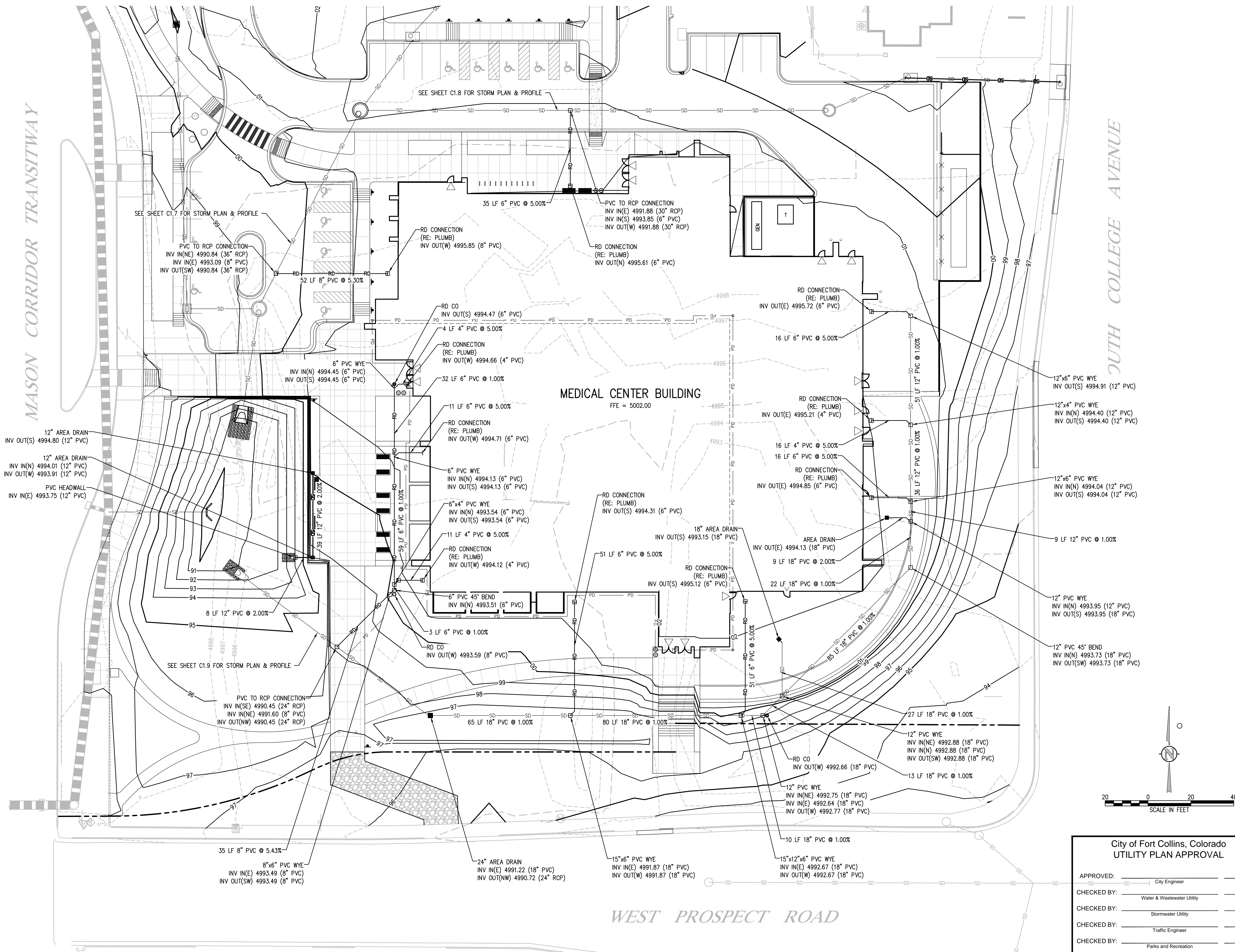
Owner Project Number 14-023

Revisions

Sheet of

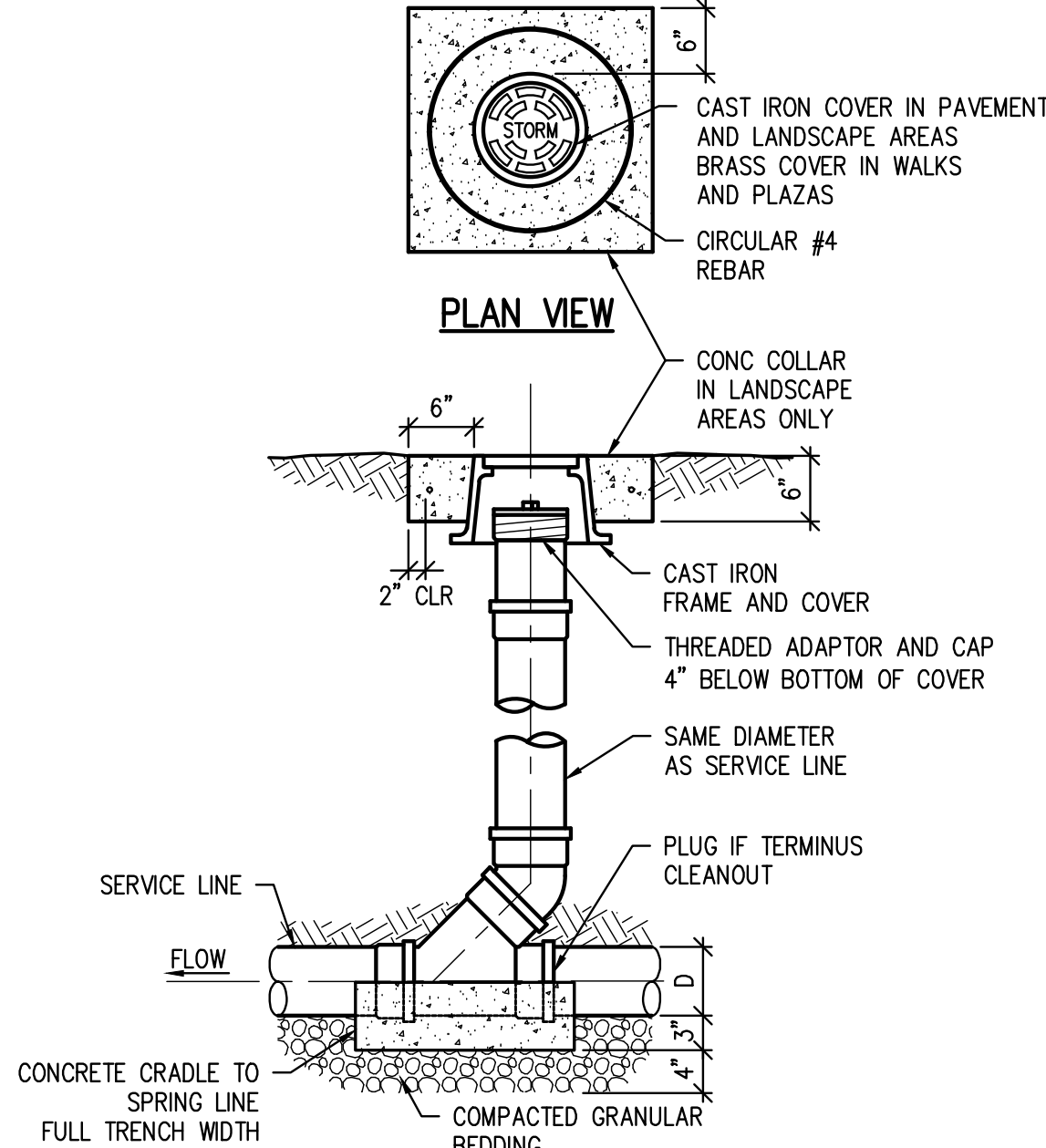
ROOF AND AREA DRAIN PLAN

C1.10



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

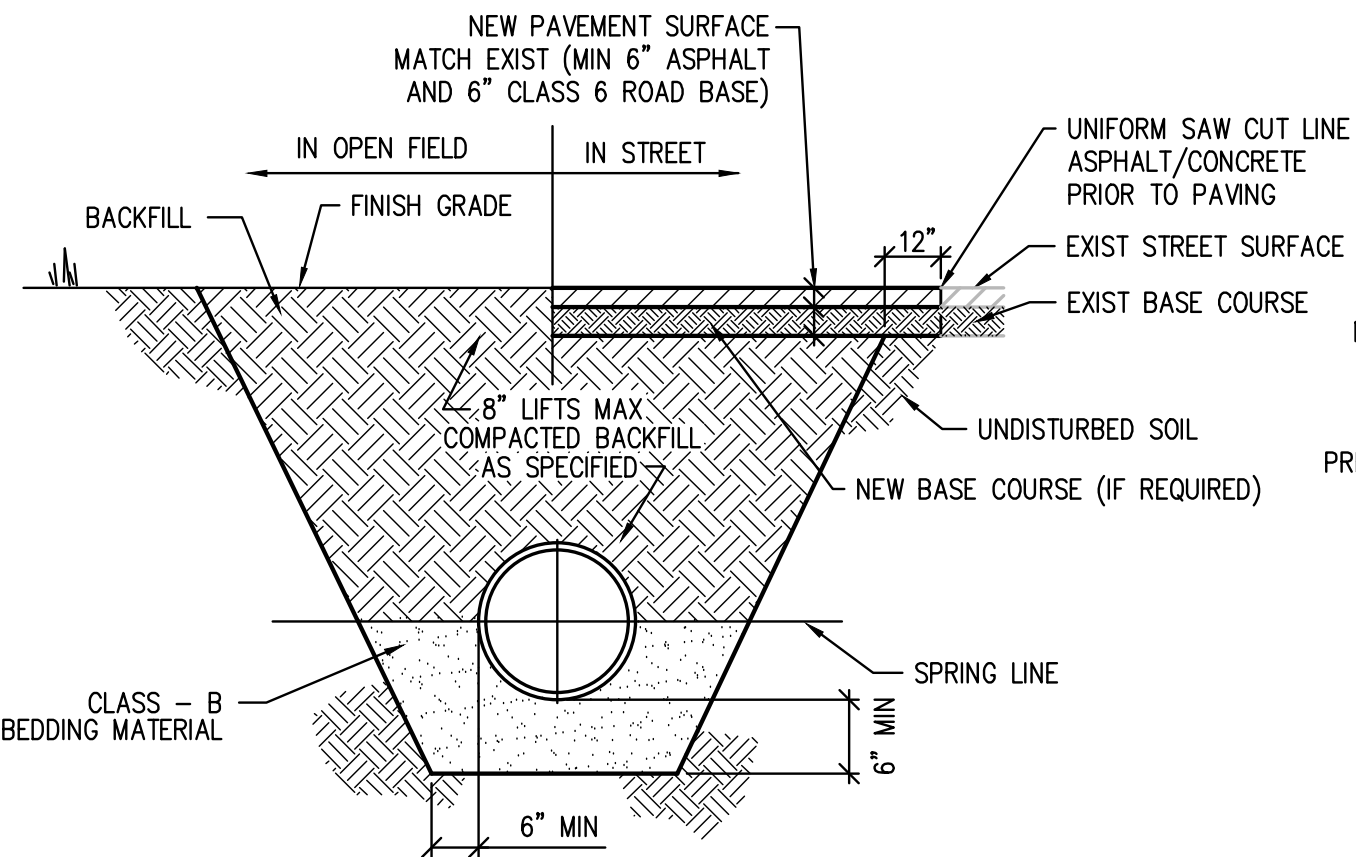
APPROVED:	<u> </u> City Engineer	Date <u> </u>
CHECKED BY:	<u> </u> Water & Wastewater Utility	Date <u> </u>
CHECKED BY:	<u> </u> Stormwater Utility	Date <u> </u>
CHECKED BY:	<u> </u> Traffic Engineer	Date <u> </u>
CHECKED BY:	<u> </u> Parks and Recreation	Date <u> </u>
CHECKED BY:	<u> </u> Environmental Planner	Date <u> </u>
CHECKED BY:	<u> </u>	Date <u> </u>



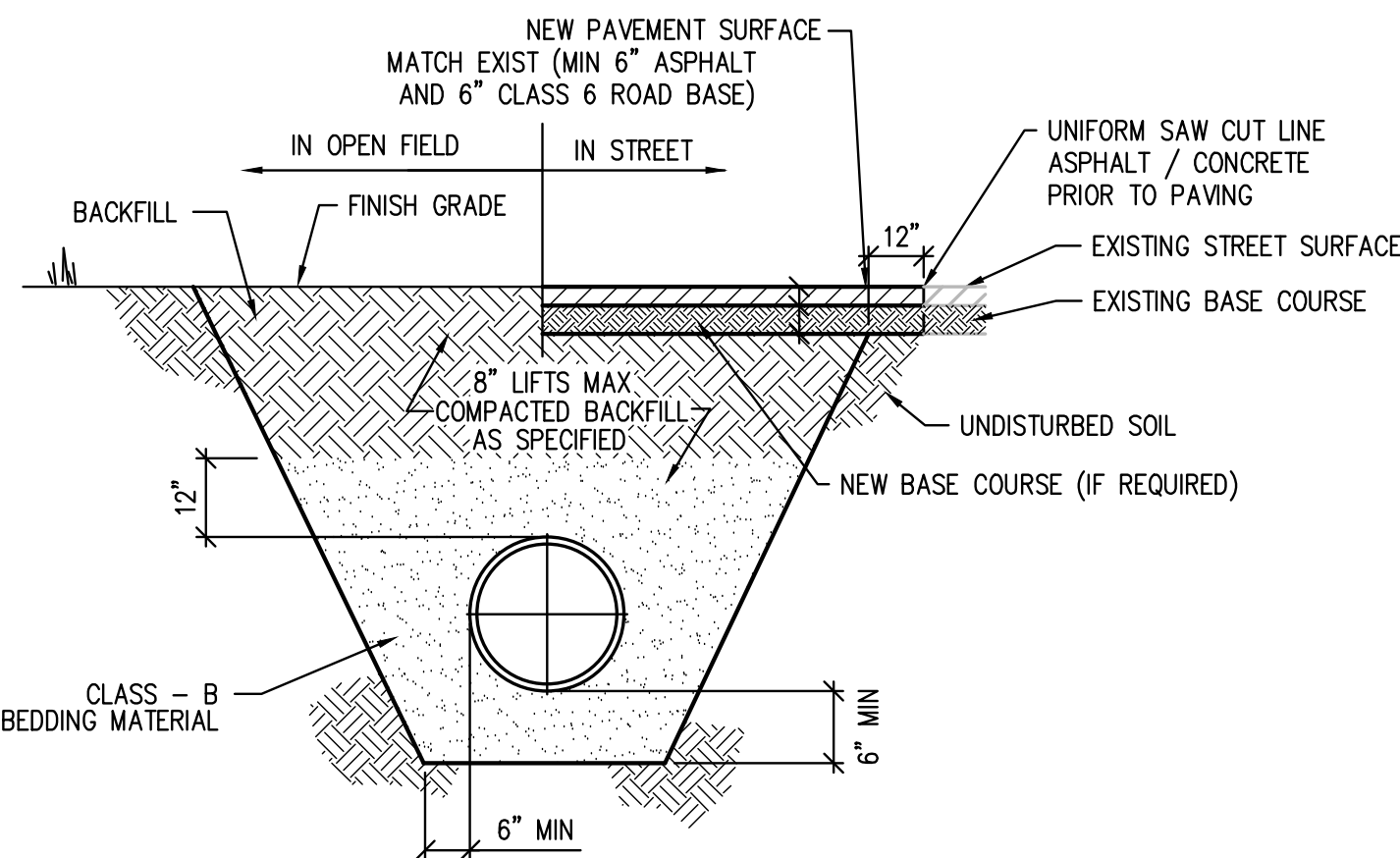
STORM CLEANOUT DETAIL

NTS

C1.10



REINFORCED CONCRETE PIPE



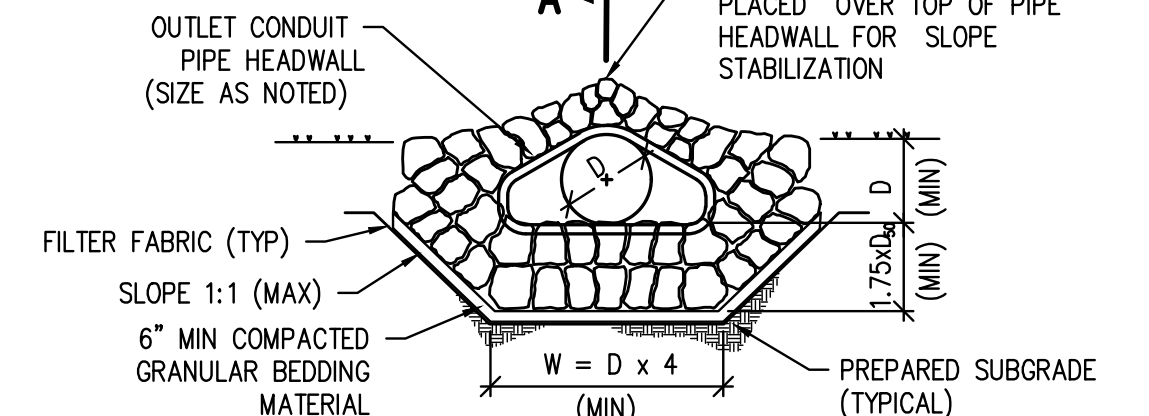
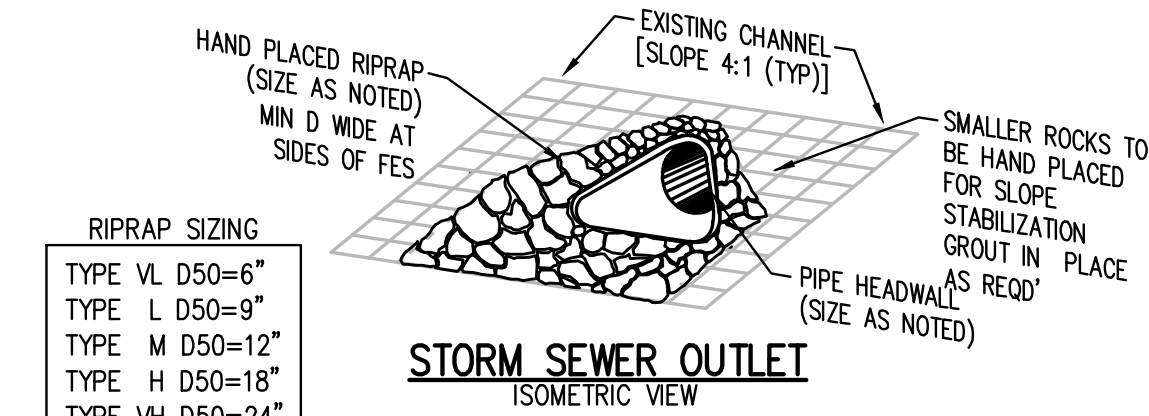
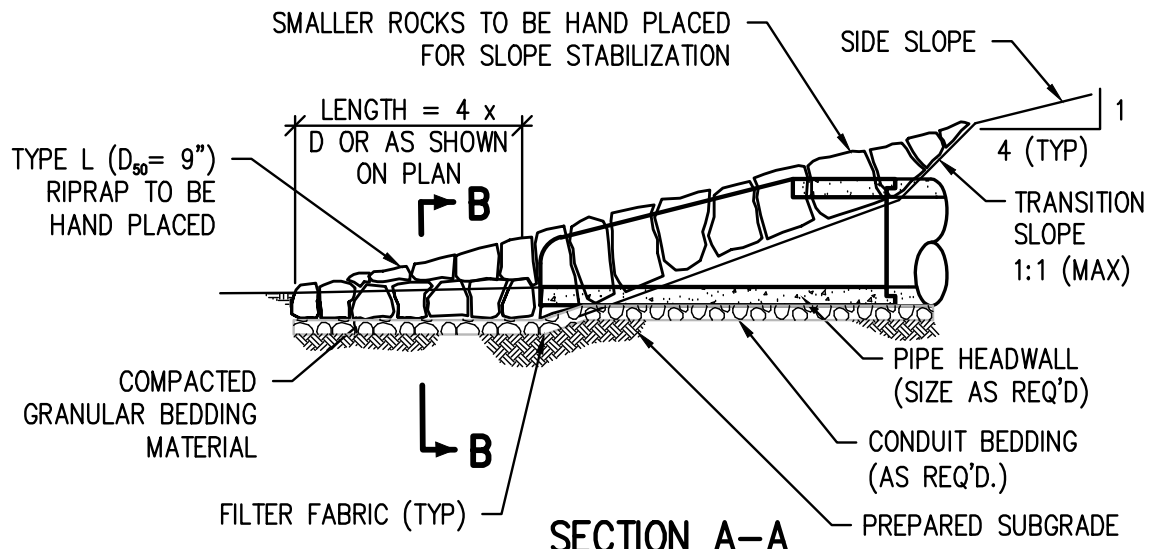
CMP/PVC/HDPE PIPE

- NOTES:
1. IF UNSTABLE MATERIALS ARE FOUND IN TRENCH, OVEREXCAVATE PER SPECIFICATIONS OR AS REQUIRED.
 2. TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES.
 3. MINIMUM COVER IS 18" BELOW FINISHED GRADE.

PIPE BEDDING DETAIL

NTS

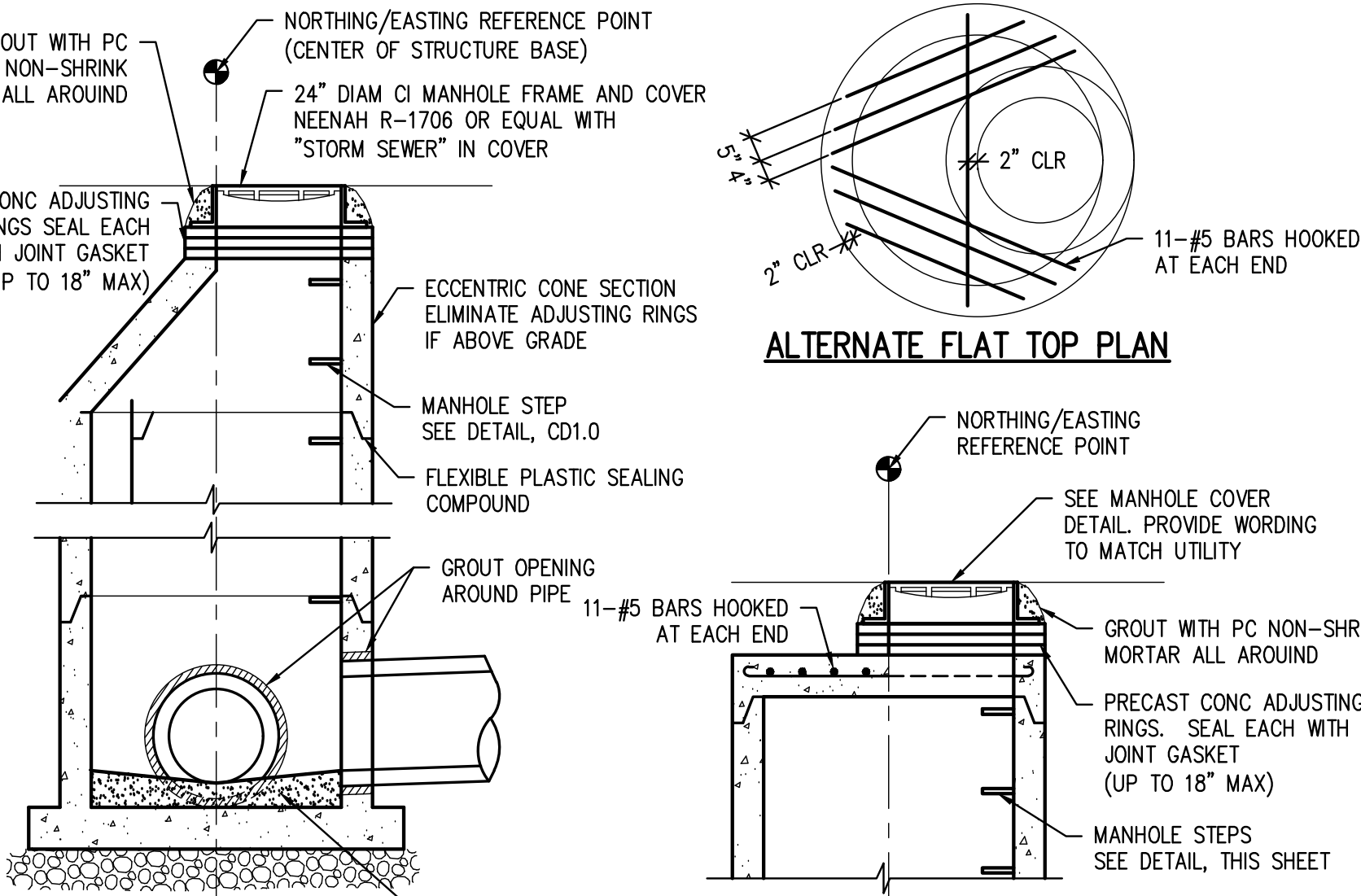
C1.7



STORM SEWER FLARED END SECTION DETAIL

NTS

C1.7



MANHOLE SECTION WITH ECCENTRIC CONE TOP

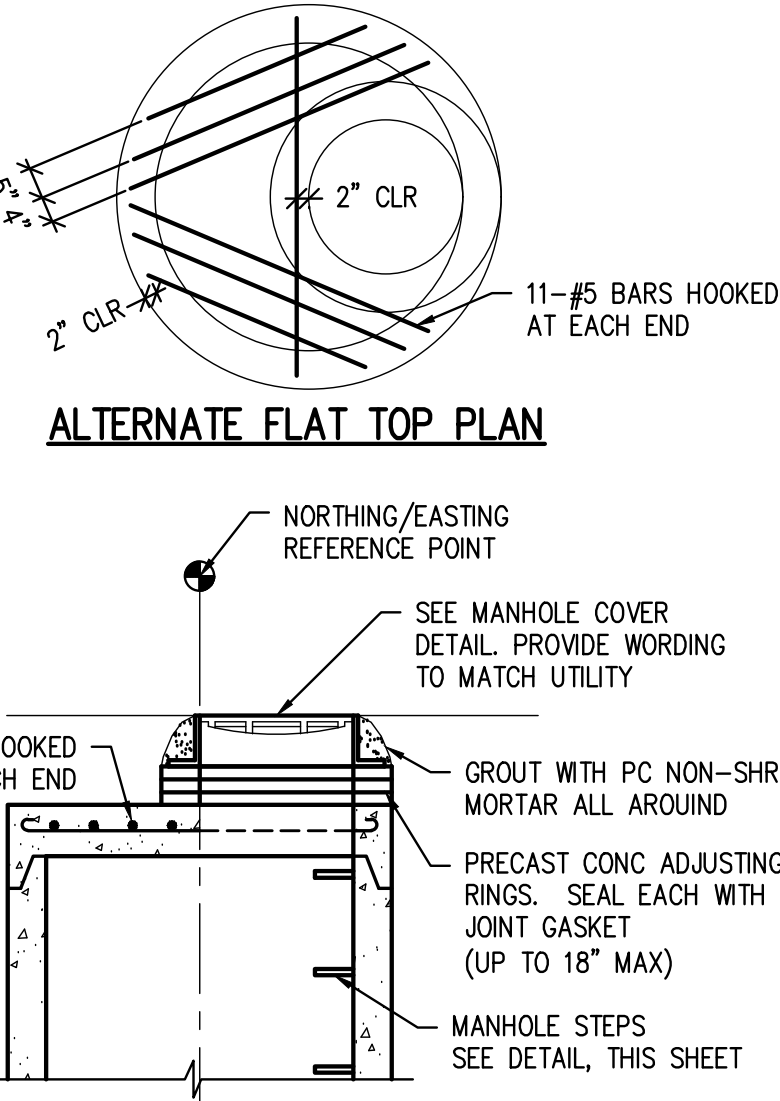
NOTES:

1. ALL JOINTS TO BE SET IN FLEXIBLE BUTYL RESIN SEALING COMPOUND AND PLASTERED WITH MORTAR 5/8" THICK AND EXTENDING 4" EACH SIDE OF JOINT INSIDE AND OUTSIDE.
2. MORTAR ON RISER RINGS IS ACCEPTABLE.
3. MANHOLES INSTALLED OUTSIDE OF STREET RIGHT-OF-WAY SHALL HAVE LOCKING COVERS.
4. "STORM SEWER" TO BE IMPRINTED ON COVER.
5. FOR PIPE 36" AND LARGER, OR WHERE CONDITIONS SUCH AS MULTIPLE PIPES WARRANT, A CONCRETE BOX BASE WILL BE REQUIRED. (SEE CDOT STANDARD DRAWING M-604-20)

STORM MANHOLE DETAIL

NTS

C1.7

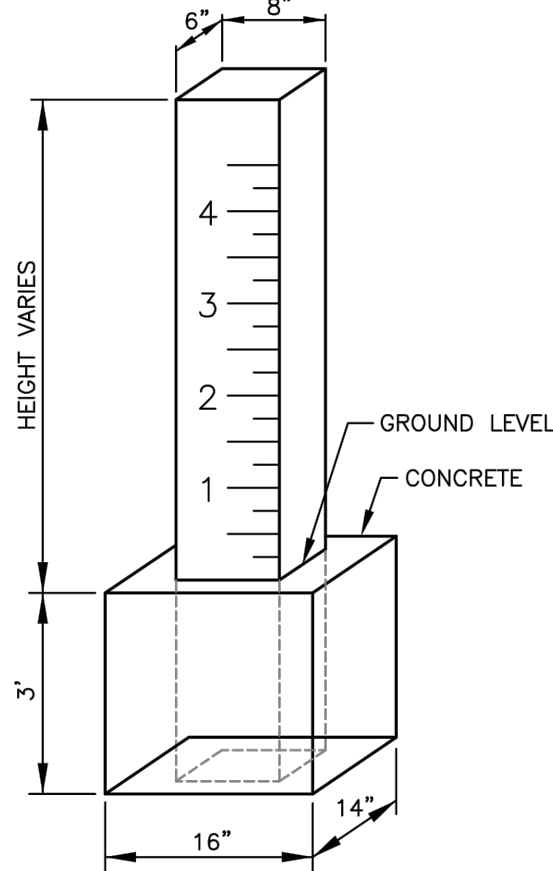


ALTERNATE FLAT TOP SECTION

NOTE:
USE FLAT TOP SECTION FOR
MANHOLES LESS THAN 6' DEEP

DETENTION POND DEPTH GAUGE

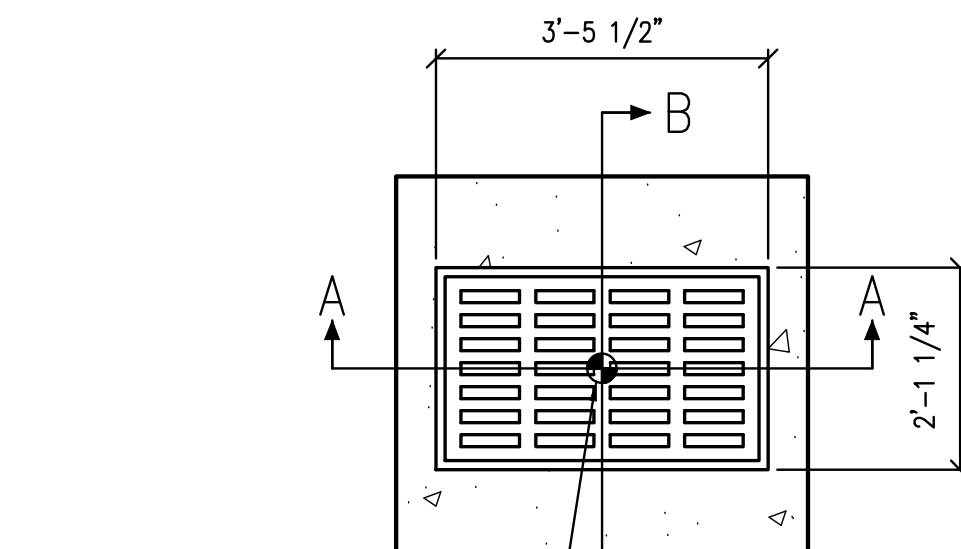
CITY OF FORT COLLINS UTILITIES FORT COLLINS, CO. (970) 521-8700	STORMWATER CONSTRUCTION DETAILS	APPROVED: DATE: 2/18/05 DRAWN BY: TDC	DETAIL D-31
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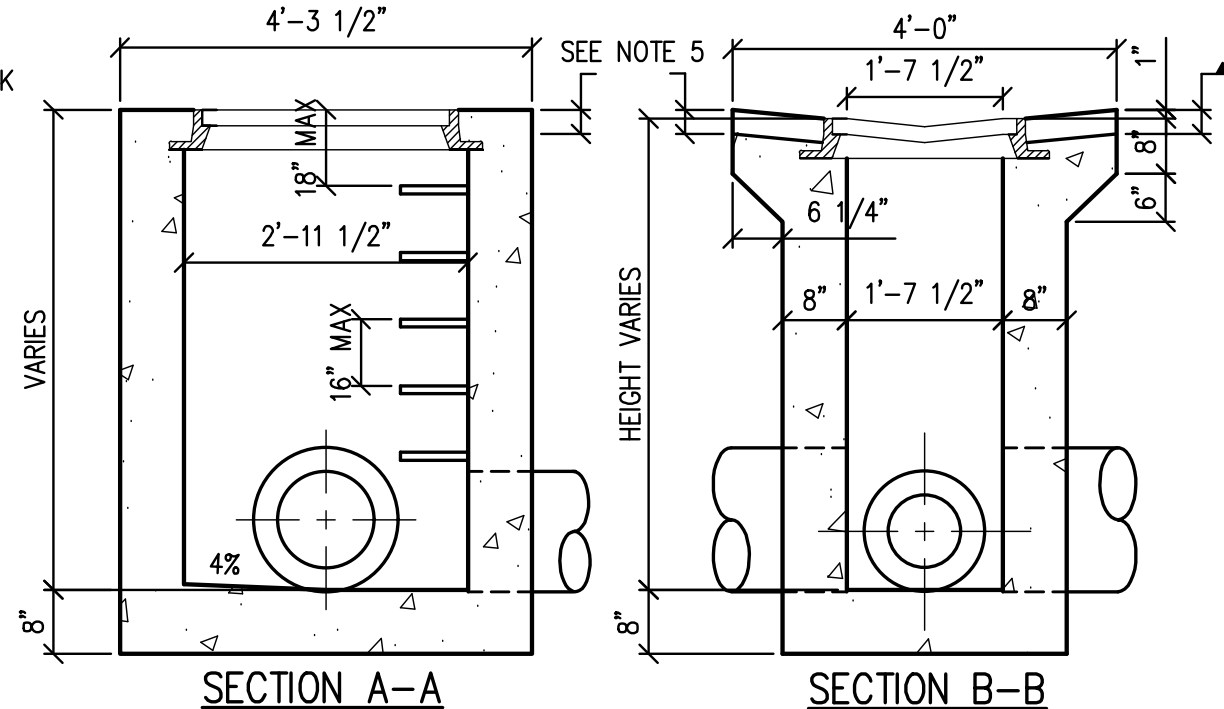
NOTE:
THE GAUGE SHALL BE CONSTRUCTED OF PRESSURE TREATED SQUARE POSTS MEASURING 6"x6" WITH BOTH 8" SIDES ROUTED WITH 6" NUMBERS AND GAUGING MARKS. THE ROUTED MARKINGS AND NUMBERS SHALL BE PAINTED WITH WHITE WATERPROOF PAINT. THE POST SHALL BE ONE FOOT TALLER THAN THE MAXIMUM DEPTH OF THE POND. THE POST SHALL BE EMBEDDED IN CONCRETE WITH A DIMENSION OF 16"x14"x3" IN DEPTH. THE GAUGE SHALL BE PLACED NEAR THE DEEPEST AREA OF THE POND, AND SHALL BE POSITIONED SO THAT IT CAN BE READ FROM THE NEAREST POINT OF PUBLIC ACCESS. THE PONDING DEPTH SHALL BE REFERENCED TO THE DEEPEST POINT OF THE POND.

DETENTION POND DEPTH GAUGE

N.T.S.



PLAN OF TYPE 13 INLET



SECTION A-A

SECTION B-B

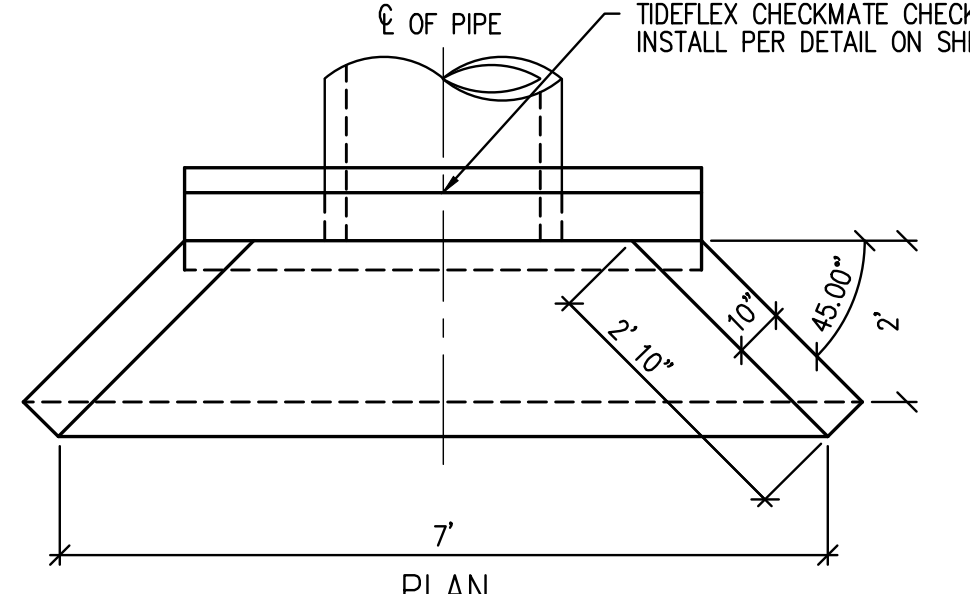
NOTES:

1. CONCRETE SHALL BE CDOT CLASS D. INLET SHALL BE CAST-IN-PLACE, AND CONFORMING TO ASTM C-478.
2. CAST-IN-PLACE CONCRETE WALLS EDGES SHALL BE CHAMFERED 3/4".
3. ALL WALLS AND BASE SHALL BE REINFORCED WITH #4'S @ 8" OC EACH WAY REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A 2" MINIMUM CLEARANCE.
4. STEPS SHALL BE PROVIDED WHEN INLET HEIGHT EXCEEDS 3'-6" AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
5. ALL GRATES AND FRAMES SHALL BE GRAY OR DUCTILE CAST IRON CONFORMING TO CDOT 712.06. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
6. SEE PLAN DETAILS FOR LOCATION AND SIZE OF PIPE.
7. WHEN BITUMINOUS MATERIAL IS TO EXTEND TO THE EDGE OF THE GRATING FRAME, CONCRETE MAY BE DEPRESSED.
8. STEPS SHALL BE CONSTRUCTED AS PER PLASTIC STEP DETAIL.

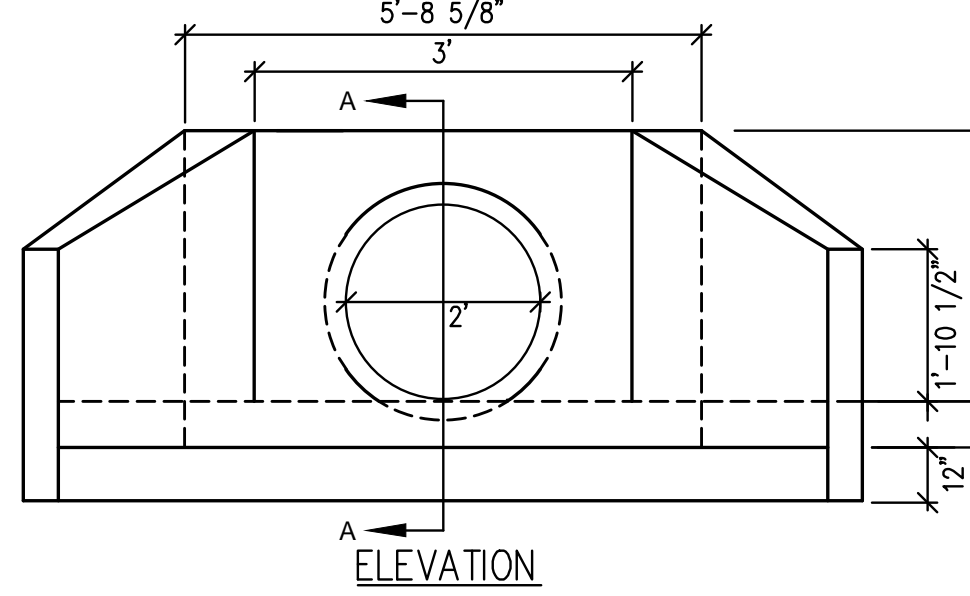
TYPE 13 INLET DETAIL

NTS

C1.7



PLAN

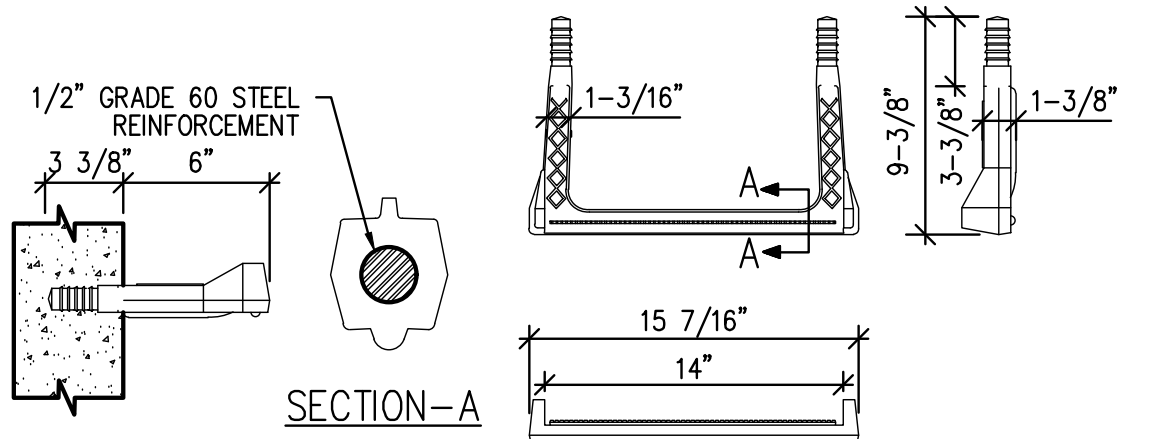


ELEVATION

HEADWALL OUTLET STRUCTURE DETAIL

NTS

C1.5



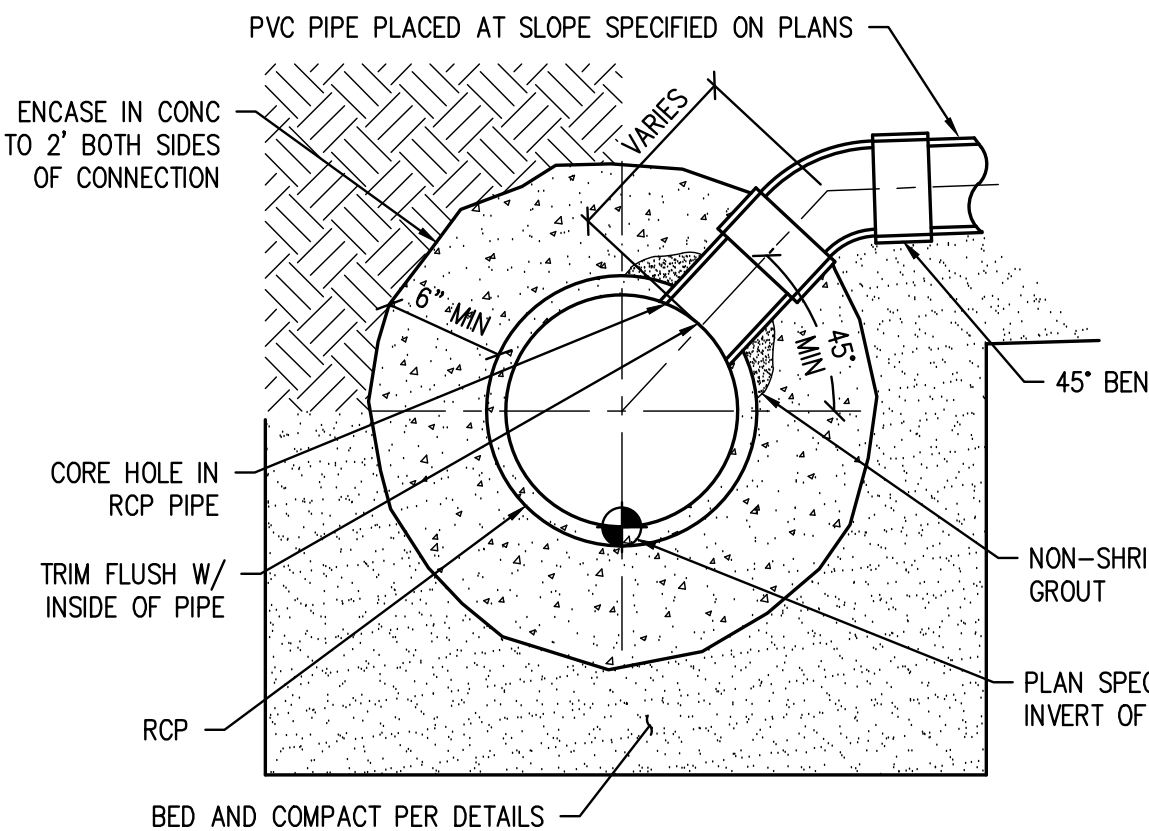
SECTION-A

COPOLYMER POLYPROPYLENE PLASTIC

NOTE:
AS MANUFACTURED BY M.A. INDUSTRIES (MODEL NO. PS2-PF) OR AN APPROVED EQUIVALENT.

PLASTIC MANHOLE STEP DETAIL

NTS



PVC TO RCP CONNECTION

NTS

C1.7

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

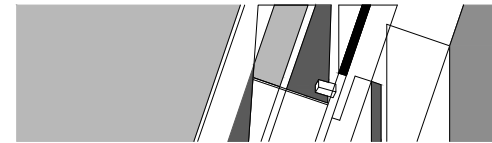
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Parks and Recreation	Date
CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date



Colorado
State
University

Adolfson
& Peterson
Construction

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CSU HEALTH AND MEDICAL CENTER

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Fort Collins, CO 80524

Date: DECEMBER 11, 2015

Issue: 100% UTILITY PLAN SET

Drawn By: KRB

Checked By: KAT

Project Number: 15042.00

Owner Project Number: 14-023

Revisions

Sheet _____ of _____

GRADING & DRAINAGE DETAILS

CD1.0

Section 2722

Engineered Surface Drainage Products

GENERAL

PVC surface drainage inlets shall be of the inline drain type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

MATERIALS

The inline drain required for this contract shall be manufactured from PVC pipe stock, utilizing a thermo-molding process to reform the pipe stock to the furnished configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D2321 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the inline drain body by use of a **swage mechanical joint**. The raw material used to manufacture the pipe stock that is used to manufacture the inline drain body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

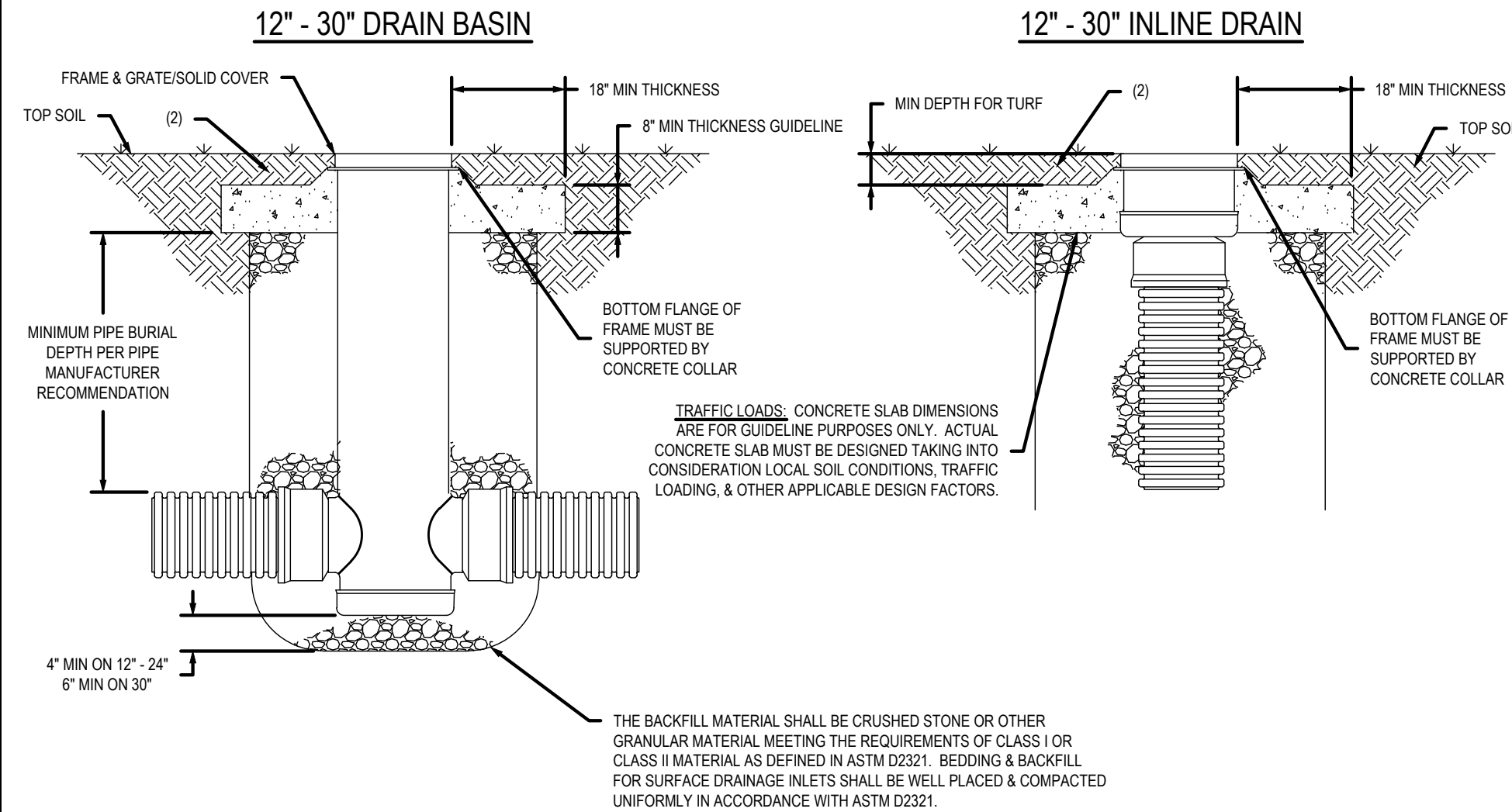
The grates furnished for all surface drainage inlets shall be ductile iron grates for sizes 8", 10", 12", 15", 18", 24" and 30" shall be made specifically for each fitting so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for inline drains shall be capable of supporting H-20 wheel loading for traffic areas or H-10 loading for pedestrian areas. 12" and 15" square grates will be hinged to the frame using pins. Metal used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05 for ductile iron. Grates shall be provided painted black.

INSTALLATION

The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1 or class 2 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For H-20 load rated installations, a concrete ring will be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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DATE 03-10-90	REVISD BY CCA	PROJECT NO./NAME	TITLE
DATE 09-09-13	DWG SIZE A	SCALE 1:1	SHEET 1 OF 1
DWG NO. 7003-110-009	REV D	8 IN - 30 IN INLINE DRAIN SPECIFICATIONS	

NYLOPLAST TURF TRAFFIC INSTALLATION

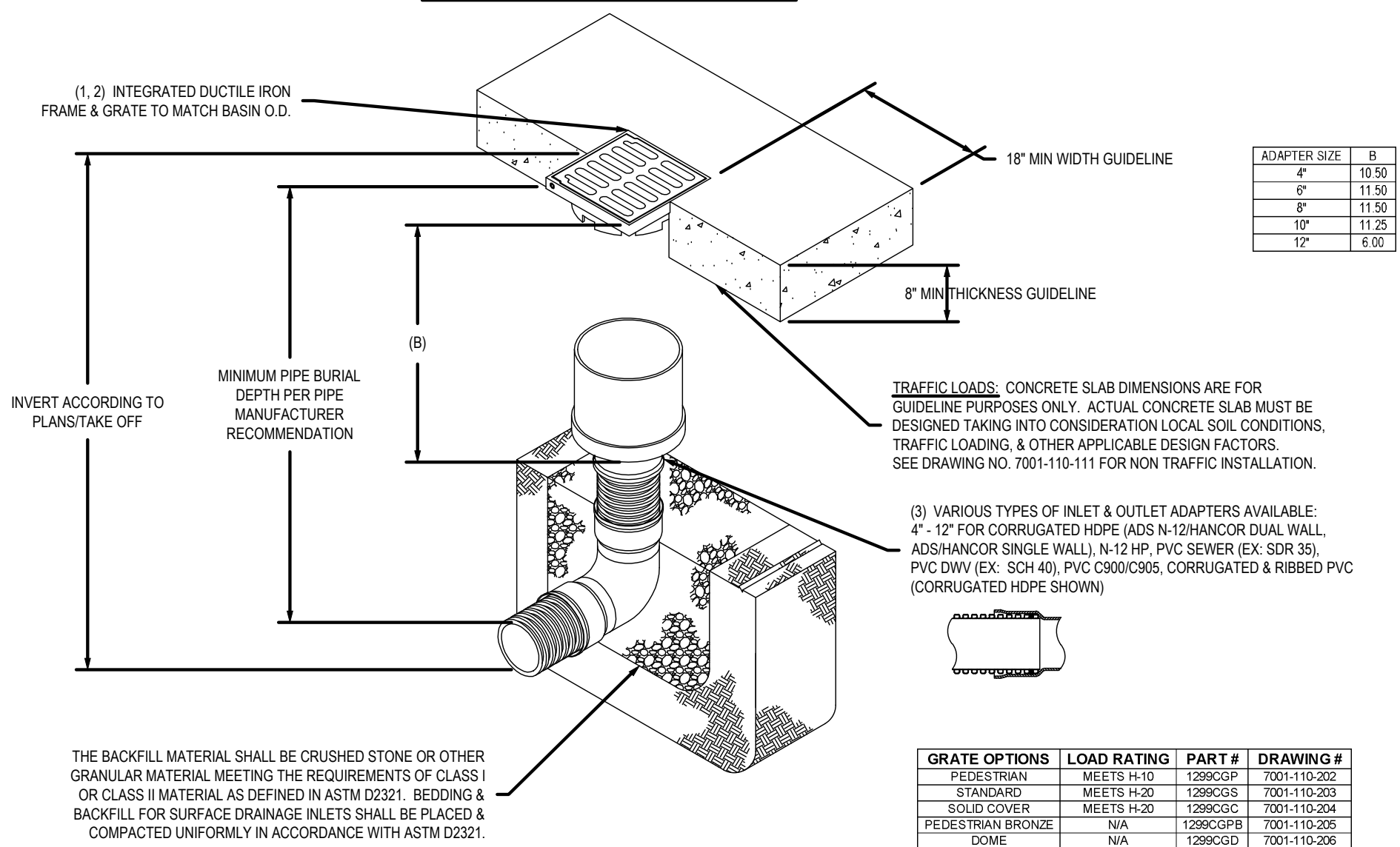


1. GRATES/SOLID COVERS SHALL MEET H-20 LOAD RATING FOR 30" PEDESTRIAN & 12" - 30" STANDARD & SOLID TURF TO GROW AND PREVENT EROSION AROUND GRATE SO THAT HAZARDS DO NOT FORM.	THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.	DRAWN BY EBC	MATERIAL	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
DATE 01-05-99	REVISD BY NMH	PROJECT NO./NAME	TITLE	12 IN - 30 IN DRAIN BASIN & INLINE DRAIN TURF TRAFFIC INSTALLATION
DATE 12-03-14	DWG SIZE A	SCALE 1:25	SHEET 1 OF 1	DWG NO. 7001-110-340
REV E				

NYLOPLAST INLINE DRAIN DETAILS

1
C1.10

NYLOPLAST 12" INLINE DRAIN: 2712AG __ X

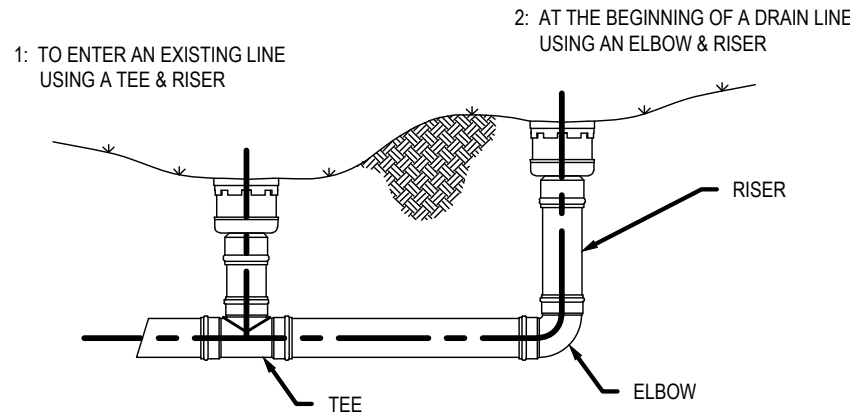


- 1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HDPE ADS N-12 HANCOR DUAL WALL, N-12 HP & PVC SEWER.
- 4 - DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.
- 5 - DIMENSIONS ARE IN INCHES.
- 6 - SEE DRAWING NO. 7001-110-275 FOR ADS N-12 & HANCOR DUAL WALL BELL INFORMATION & DRAWING NO. 7001-110-346 FOR N-12 HP BELL INFORMATION.

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DATE 04-03-90	REVISD BY CCA	PROJECT NO./NAME	TITLE
DATE 08-19-13	DWG SIZE A	SCALE 1:30	SHEET 1 OF 1
DWG NO. 7003-110-025	REV D	12 IN INLINE DRAIN QUICK SPEC INSTALLATION DETAIL	

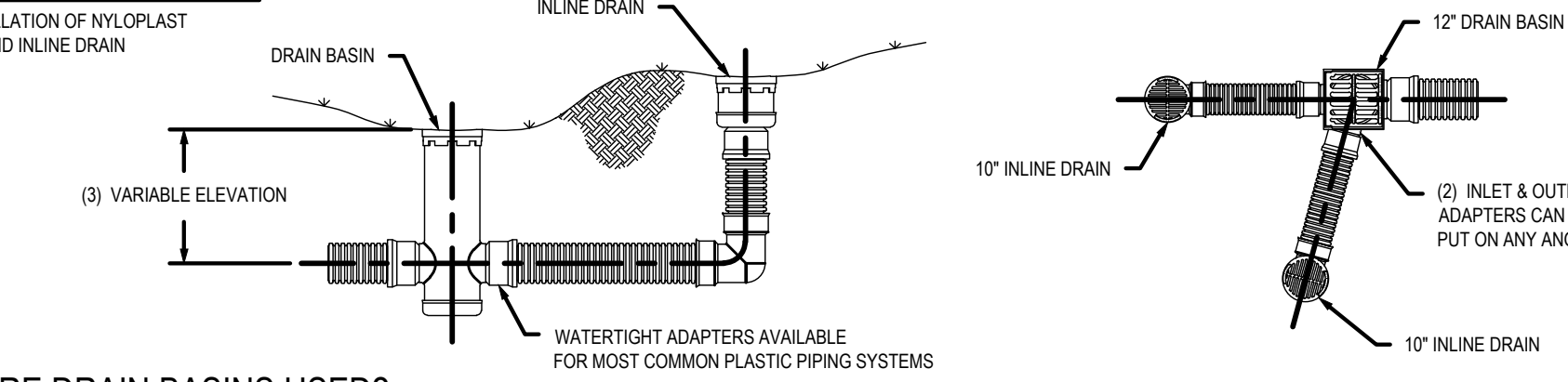
WHEN ARE INLINE DRAINS USED?

2708AG __ X
2710AG __ X
2712AG __ X
2715AG __ X
2718AG __ X
2724AG __ X
2730AG __ X



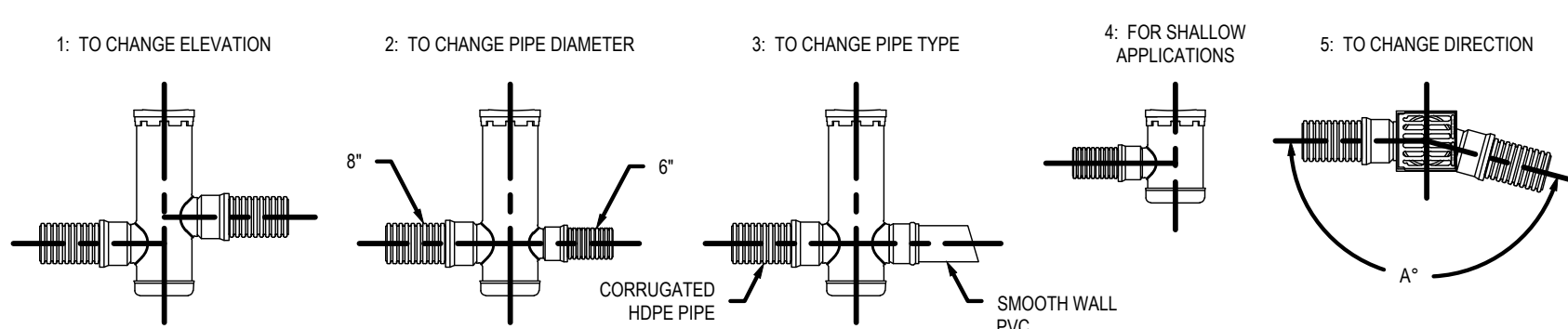
TYPICAL INSTALLATIONS

TYPICAL INSTALLATION OF NYLOPLAST DRAIN BASIN AND INLINE DRAIN



WHEN ARE DRAIN BASINS USED?

2808AG __ X
2810AG __ X
2812AG __ X
2815AG __ X
2818AG __ X
2824AG __ X
2830AG __ X



- 1 - STRUCTURES & ADAPTERS AVAILABLE IN SIZES 8" - 30"
- 2 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 300° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS SEE DRAWING NO. 7001-110-065

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DATE 8-10-00	REVISD BY EBC	PROJECT NO./NAME	TITLE
DATE 1-6-10	DWG SIZE A	SCALE 1:40	SHEET 1 OF 1
DWG NO. 7001-110-042	REV D	8 IN - 30 IN TYPICAL INSTALLATION OPTIONS	

ITEM	QTY.	DESCRIPTION	MAT'L
1	1	CHECKMATE CHECK VALVE	MUST BE SUPPLIED
2	2	CLAMP	MUST BE SUPPLIED

NOTES:

1. PIPE INSIDE DIAMETER - **MUST BE SUPPLIED**
2. CLAMPS INSTALLED IN UPSTREAM OR DOWNSTREAM CUFF DEPENDING ON INSTALLATION ORIENTATION
3. MAXIMUM ALLOWABLE BACK PRESSURE - **20.0 FEET**
4. IT IS RECOMMENDED TO BOLT OR PIN CHECKMATE TO PIPE AS SHOWN, 4 PLACES 90° APART

PRELIMINARY DRAWING
NOT FOR APPROVAL PURPOSES

OPPORTUNITY No: XXXX	SALES ORDER No:TX-XXXX
Tideflex Technologies A Division of Red Valve Company, Inc.	600 N. BELL AVE. CARNEGIE, PA. 15106 info@tideflex.com 412.279.0044 fax 412.279.5410
TT PRODUCT: 24" CHECKMATE CHECK VALVE	TT PART No: CMCB-240-APPROVAL
DR. BY: KEC	DATE: 11-8-13
CAD SCALE: FULL	CHKD. BY: DATE:
PLOT SCALE: NTS	DWG No:TTS-DWG

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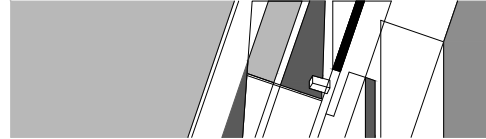
CUSTOMER: XXX
ORDER No: XXX



Colorado State University

Adolfson & Peterson Construction

797 Ventures St.
Aurora, Colorado, 80011
303.363.7101
303.363.9251 Fax



BENNETT WAGNER GRODY ARCHITECTS

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303.623.2836 Fax

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Project Number: 150422.00

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Revisions

Sheet: of

GRADING & DRAINAGE DETAILS

CD1.2

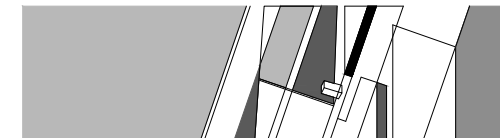
City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
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CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Parks and Recreation	Date
CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date



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151 W. Lake Street
Fort Collins, CO 80524

Date DECEMBER 11, 2015

Issue 100% UTILITY PLAN SET

Drawn By KRB

Checked By KAT

Project Number 15042.00

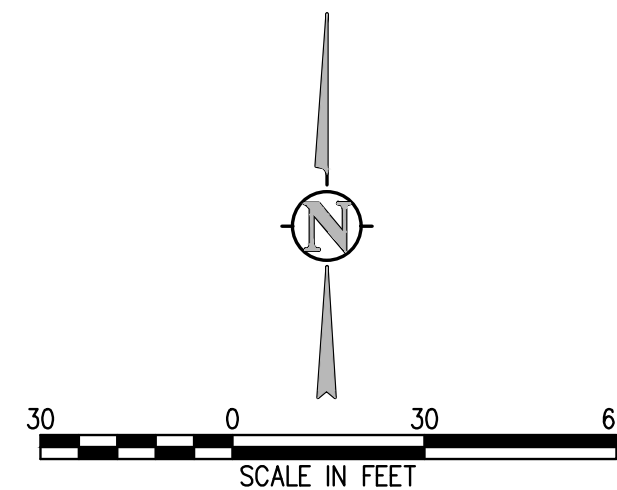
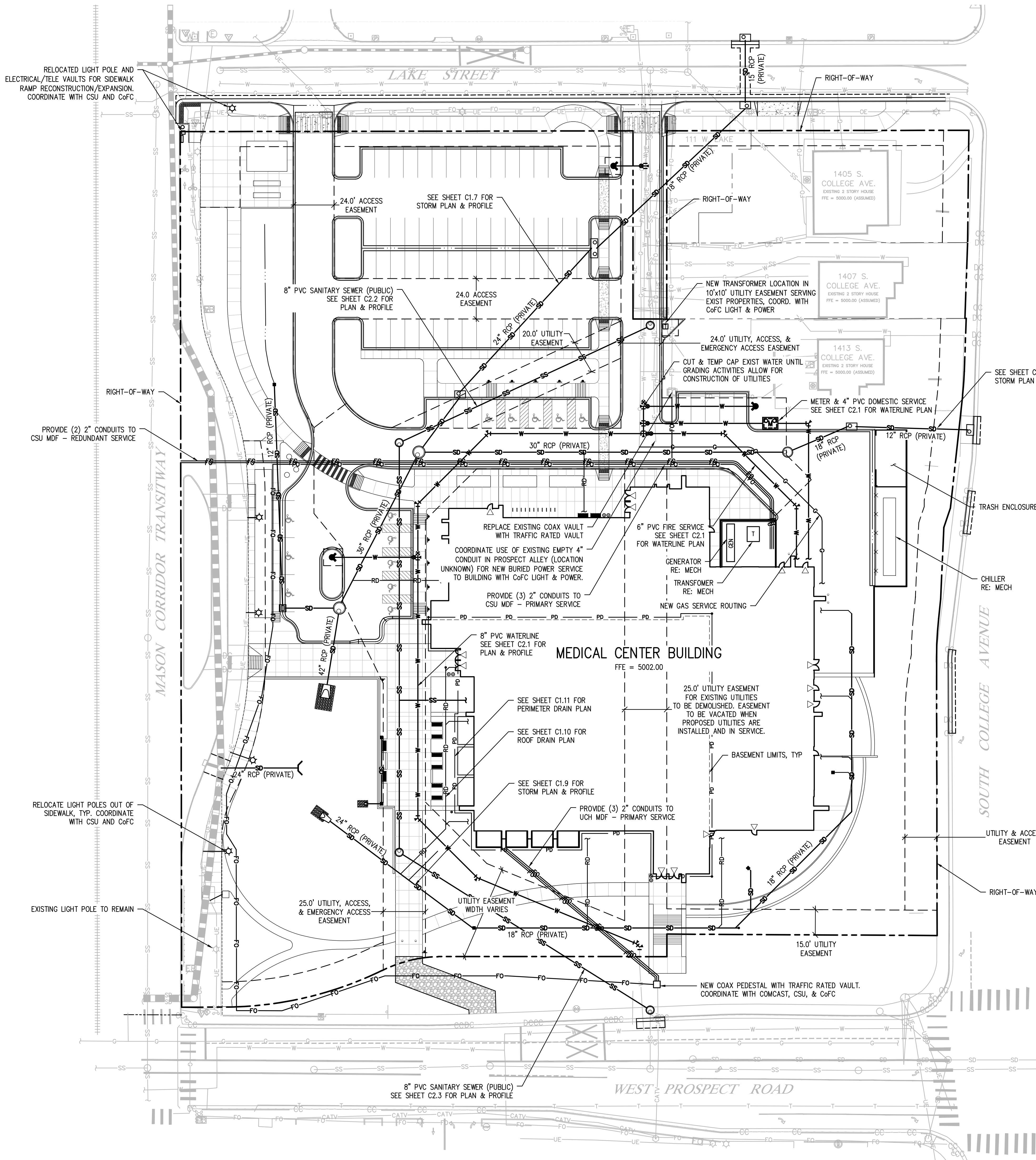
Owner Project Number 14-023

Revisions

Sheet of

UTILITY PLAN

C2.0



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

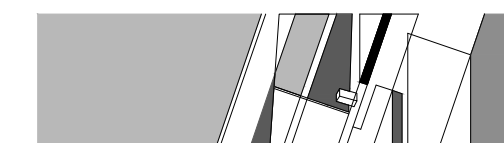
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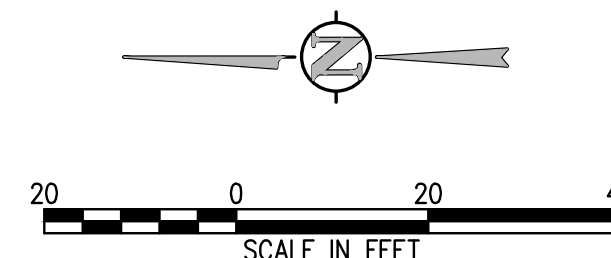
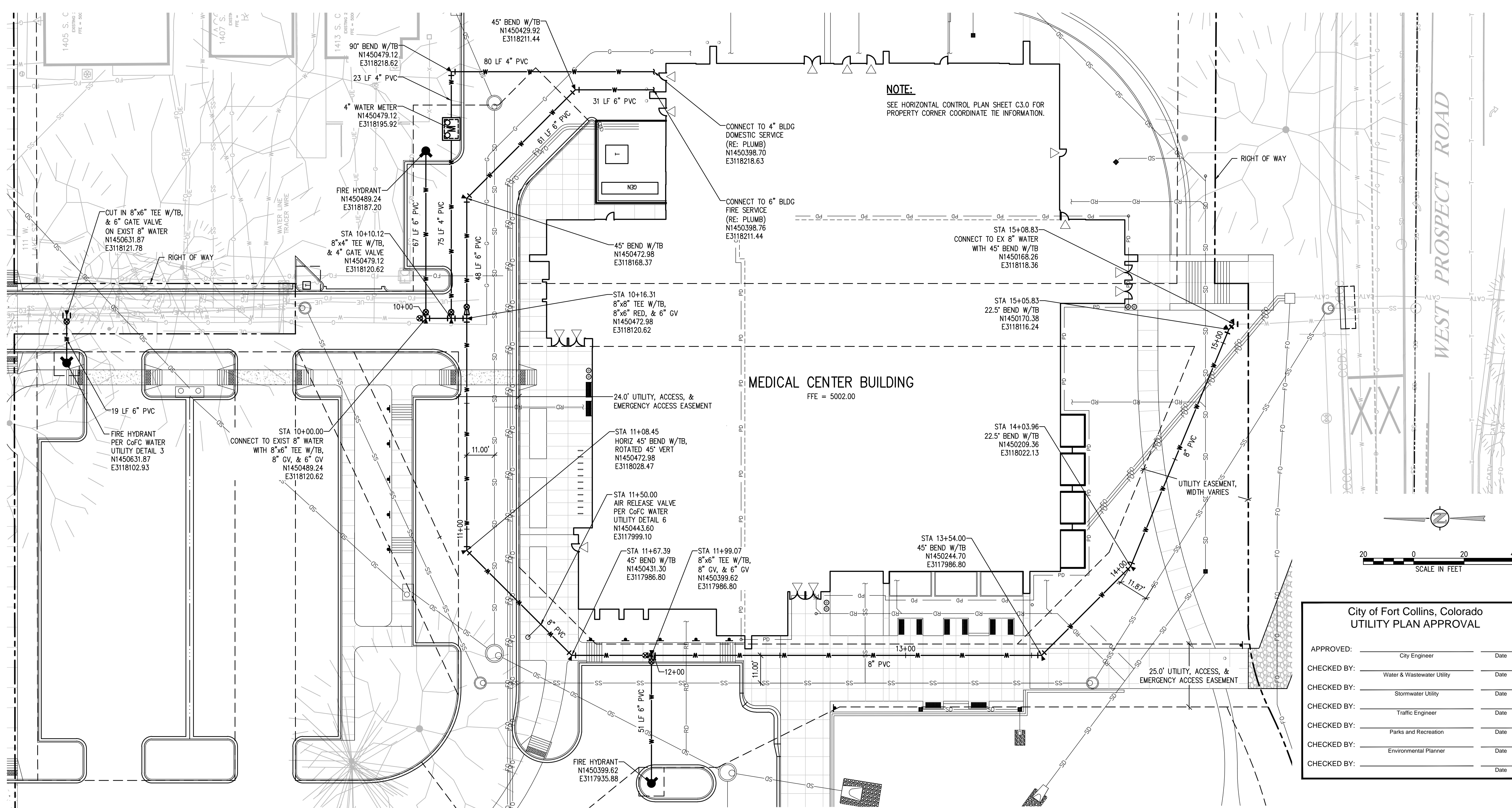
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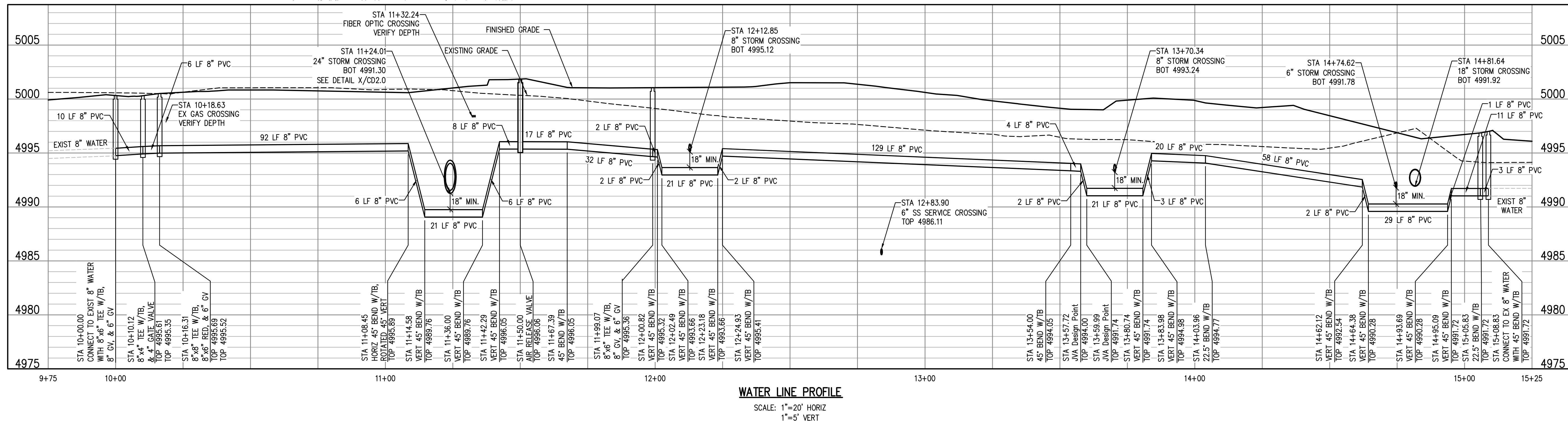
Revisions

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WATER LINE PLAN & PROFILE



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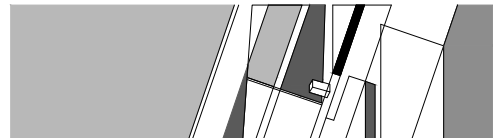
WATER LINE PROFILE
SCALE: 1"=20' HORIZ
1"=5' VERT



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Drawn By KRB

Checked By KAT

Project Number 15042.00

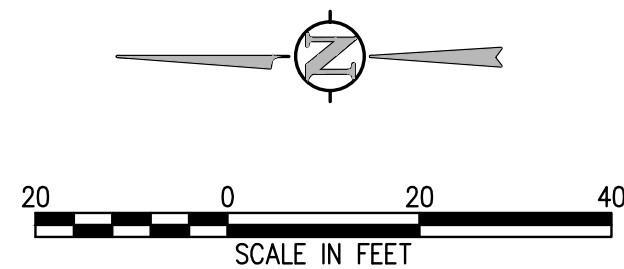
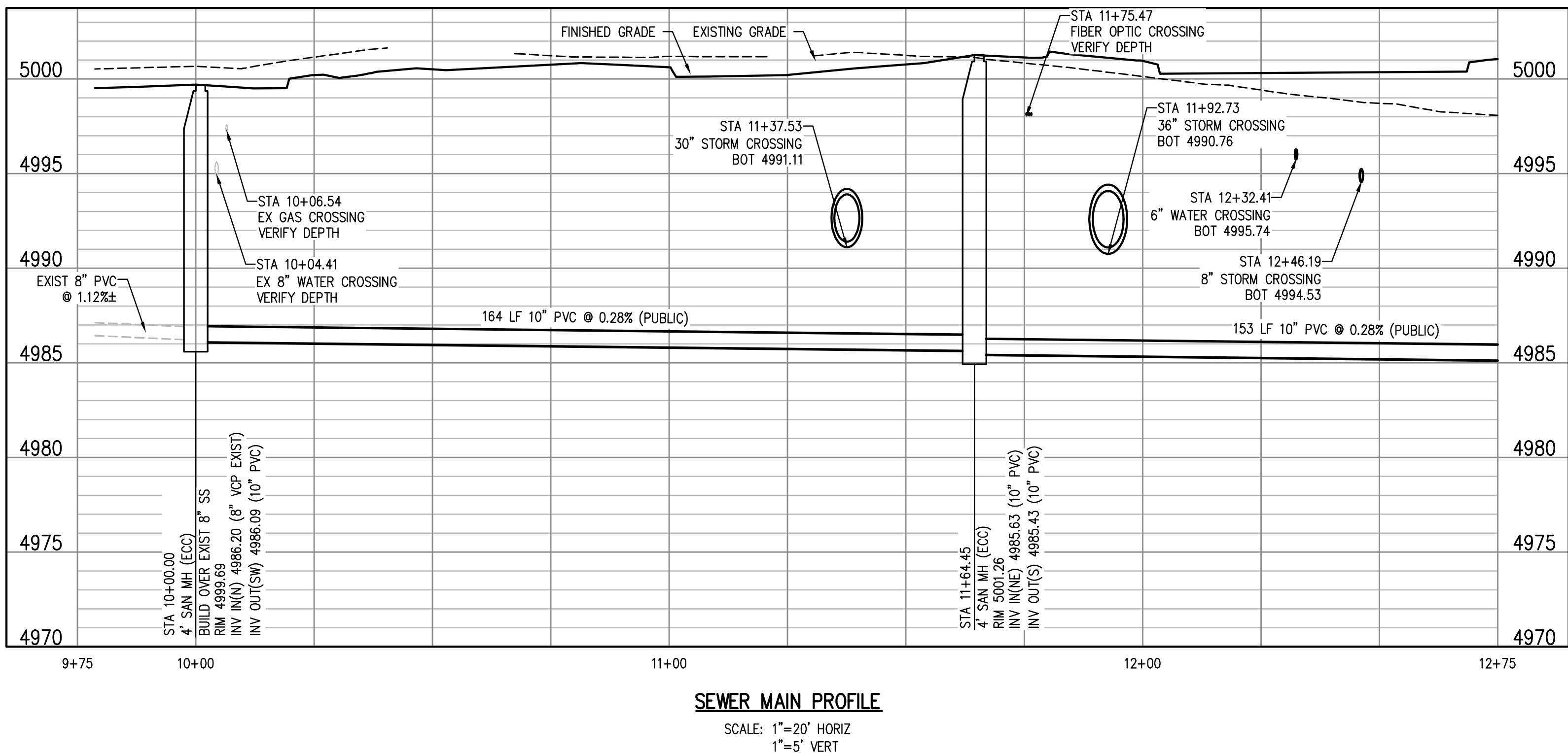
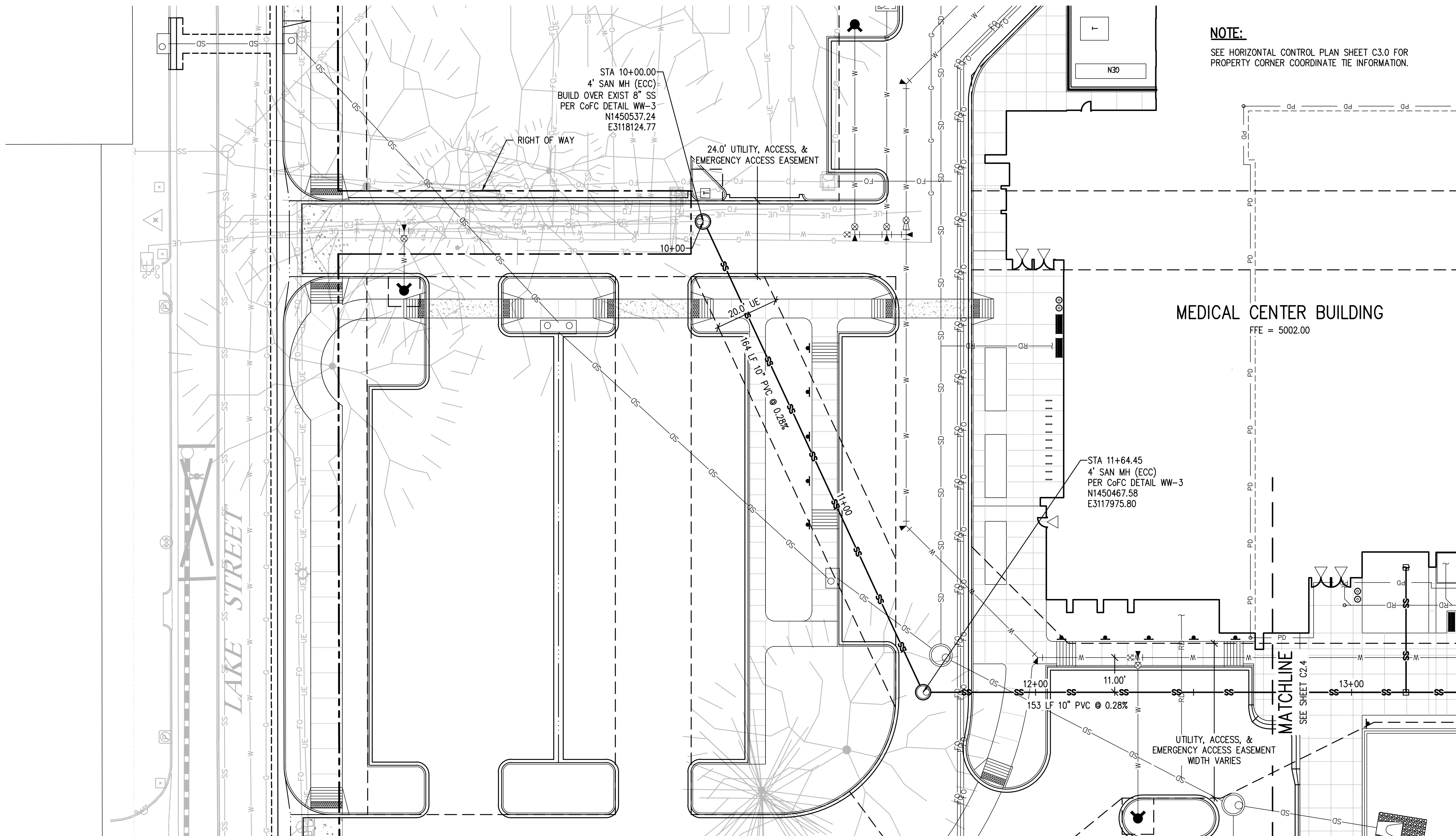
Owner Project Number 14-023

Revisions

Sheet of

SEWER PLAN & PROFILE

C2.2



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

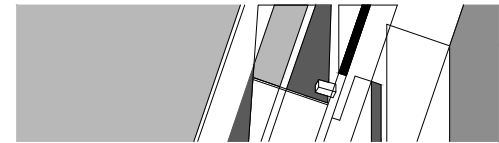
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Issue 100% UTILITY PLAN SET

Drawn By KRB

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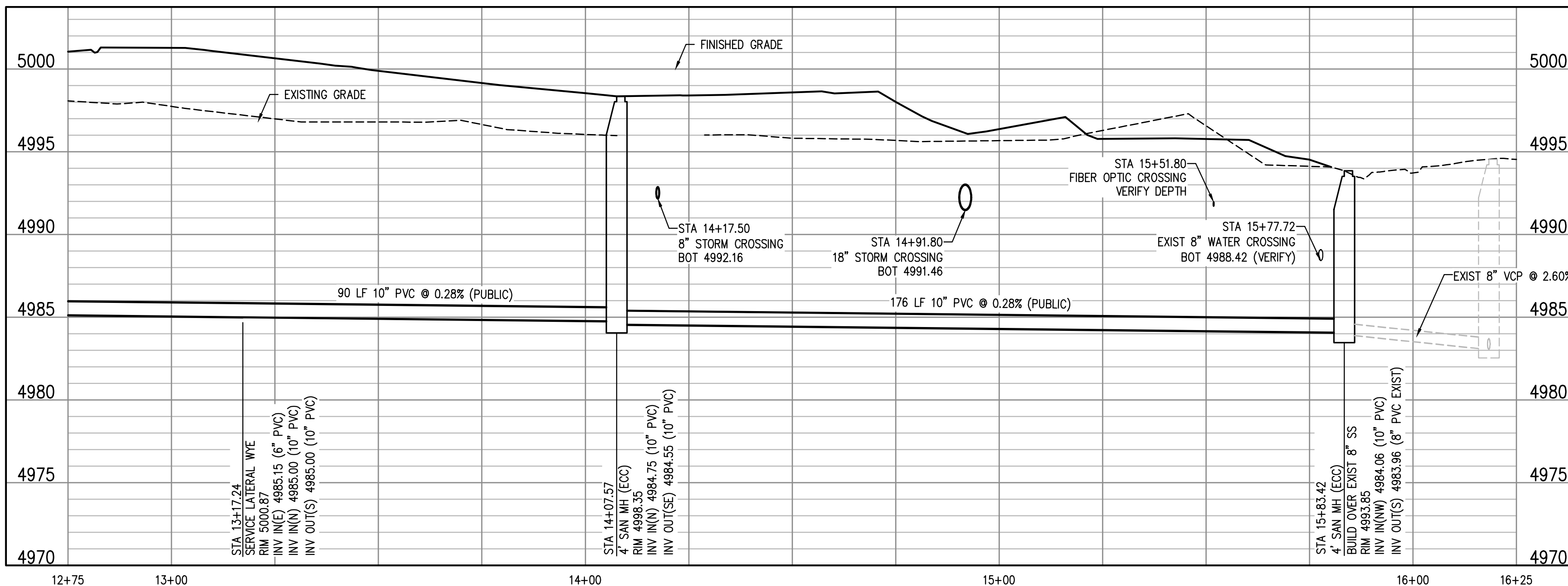
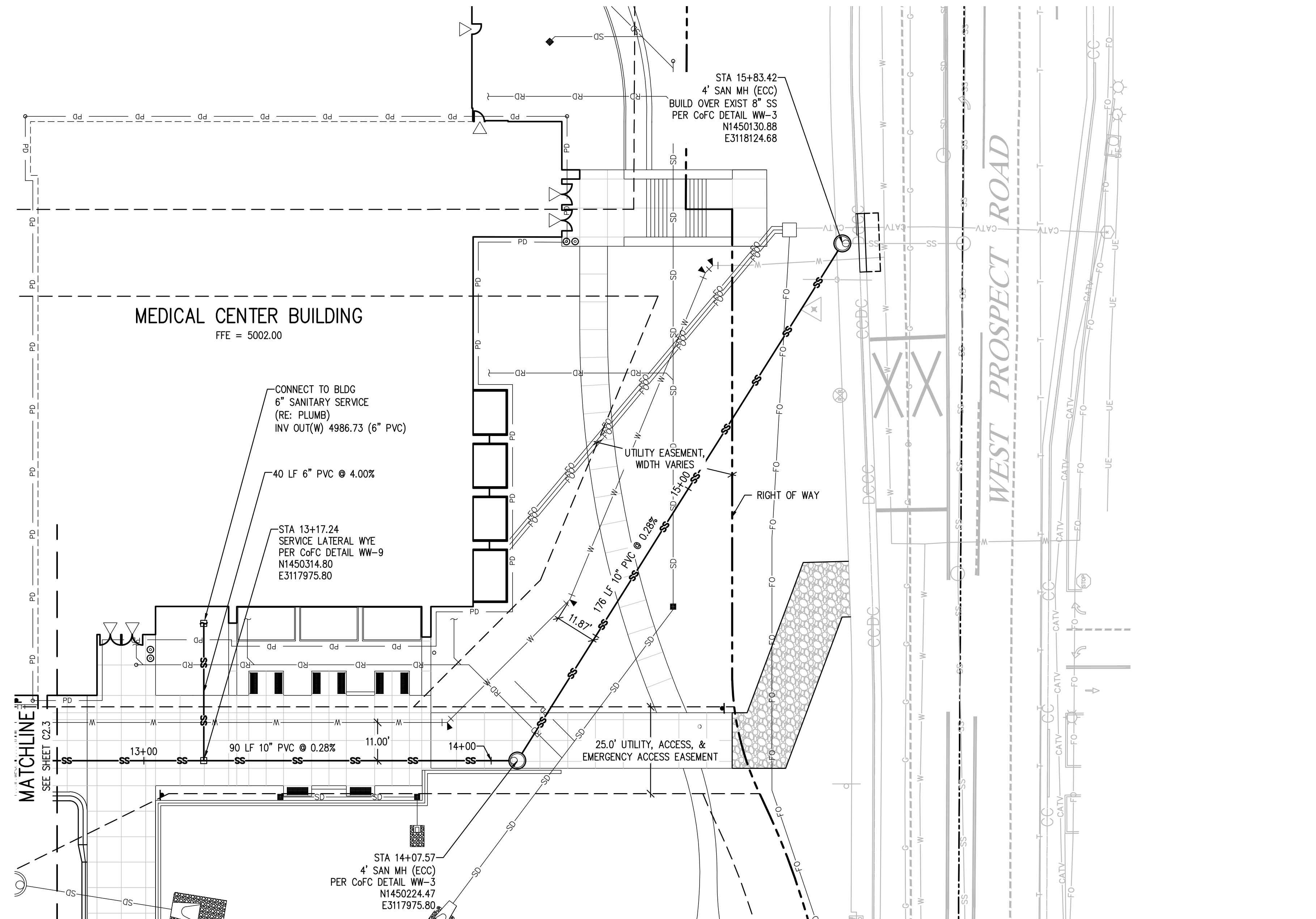
Owner Project Number 14-023

Revisions

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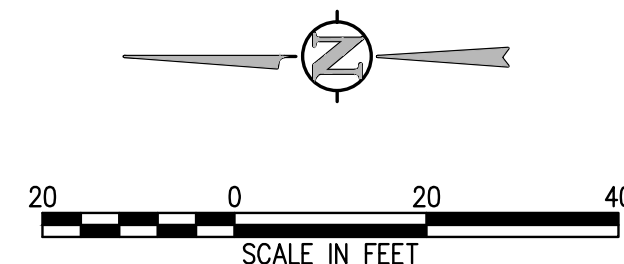
SEWER PLAN & PROFILE

C2.3



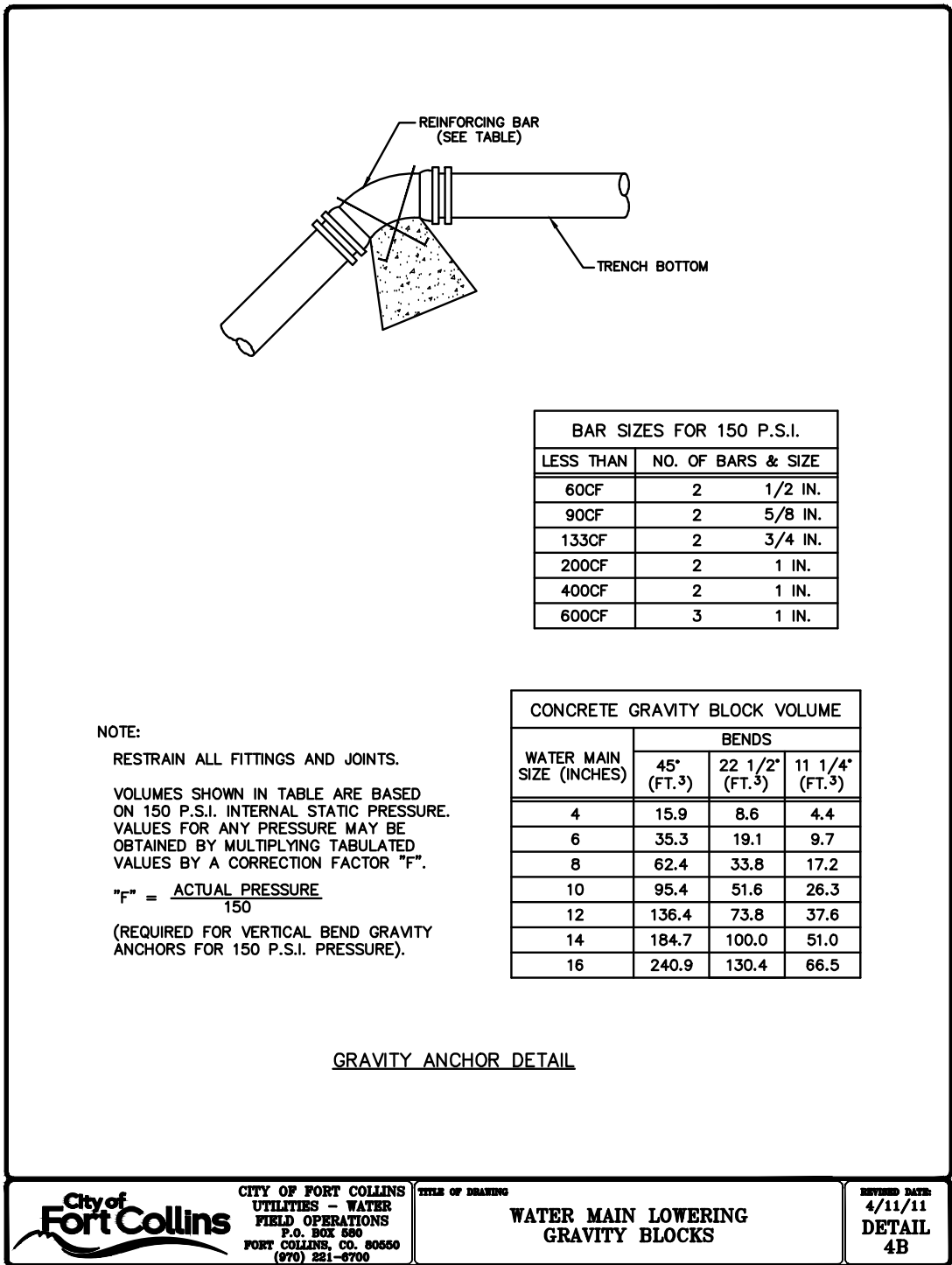
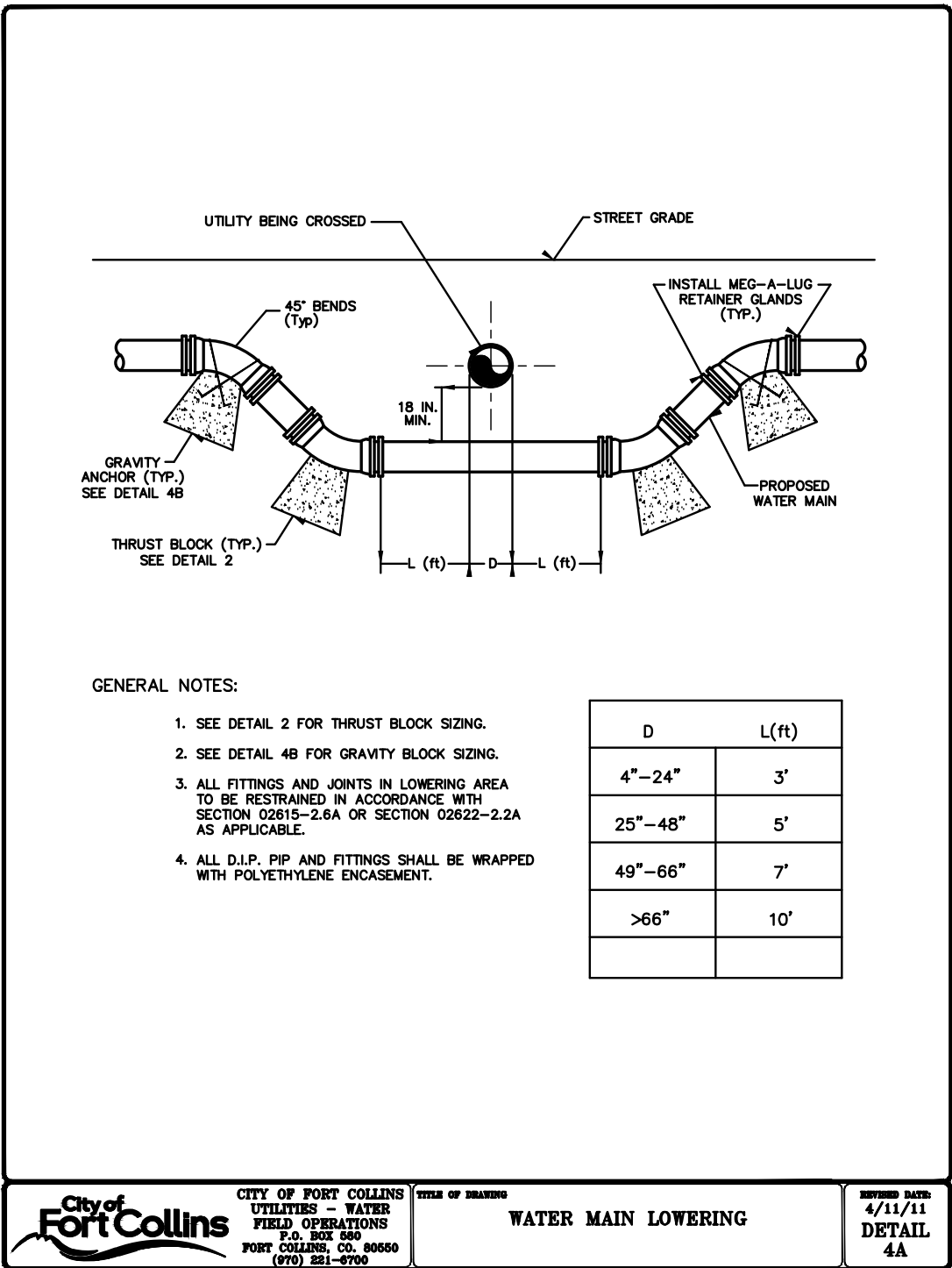
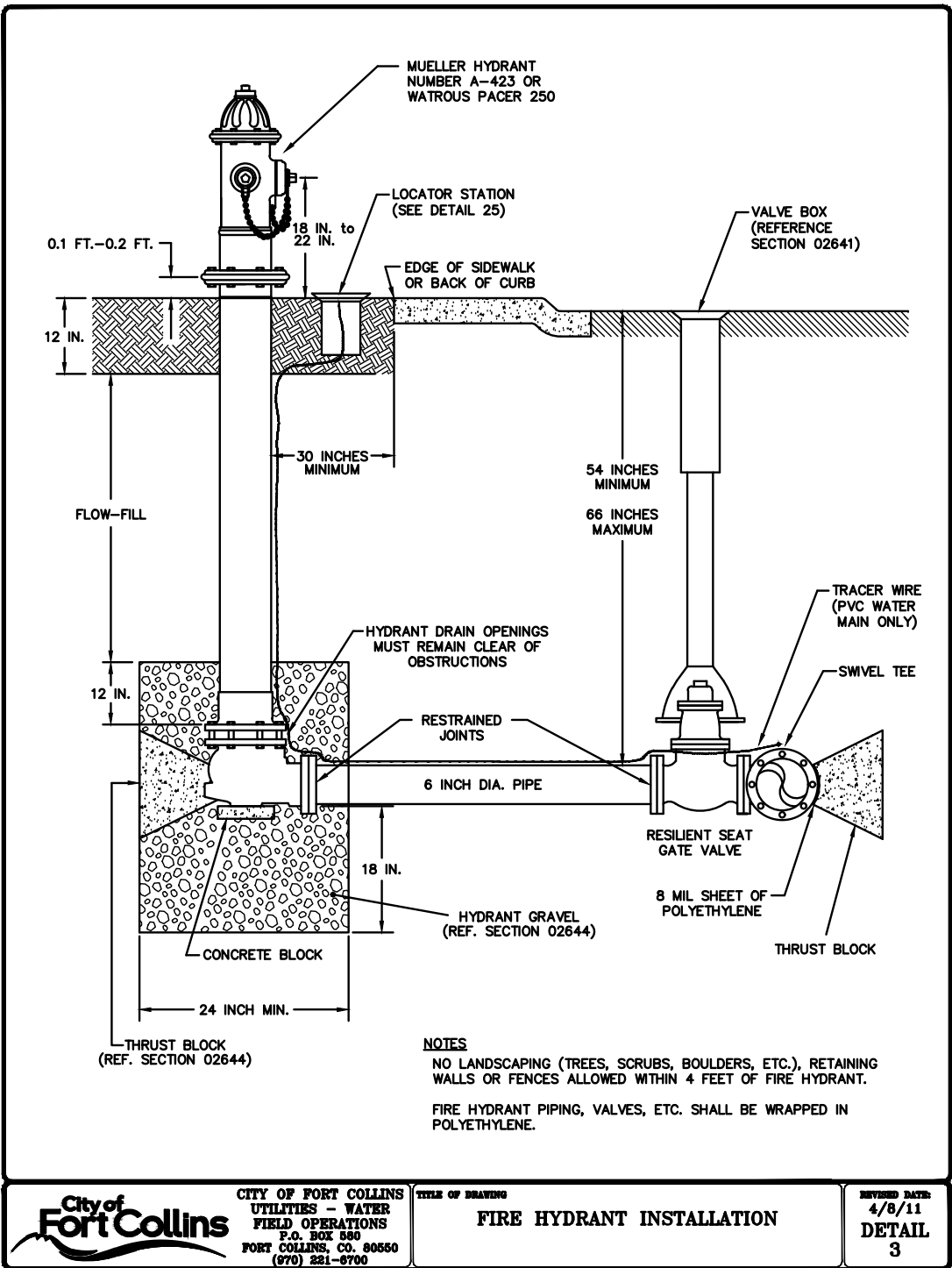
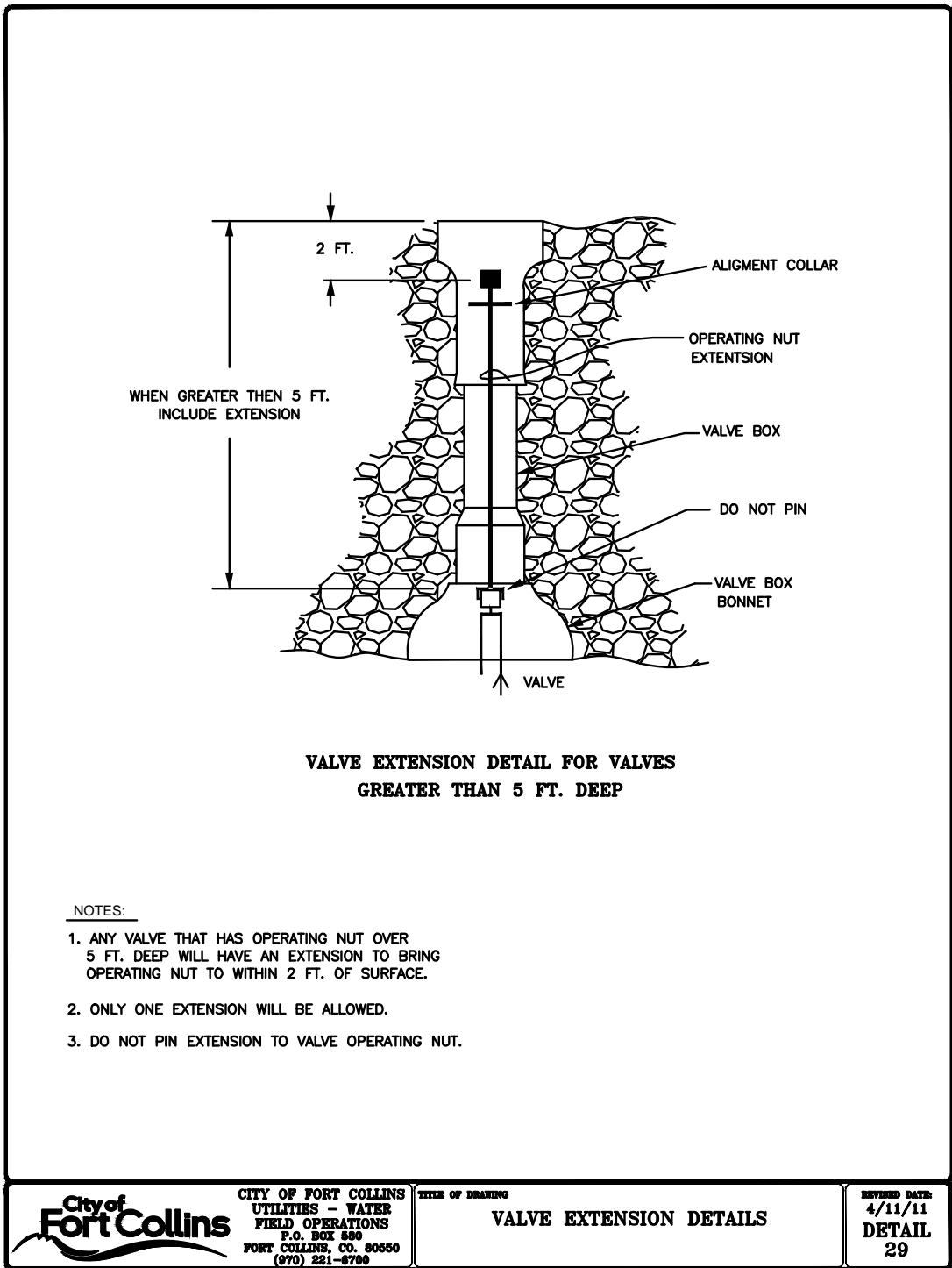
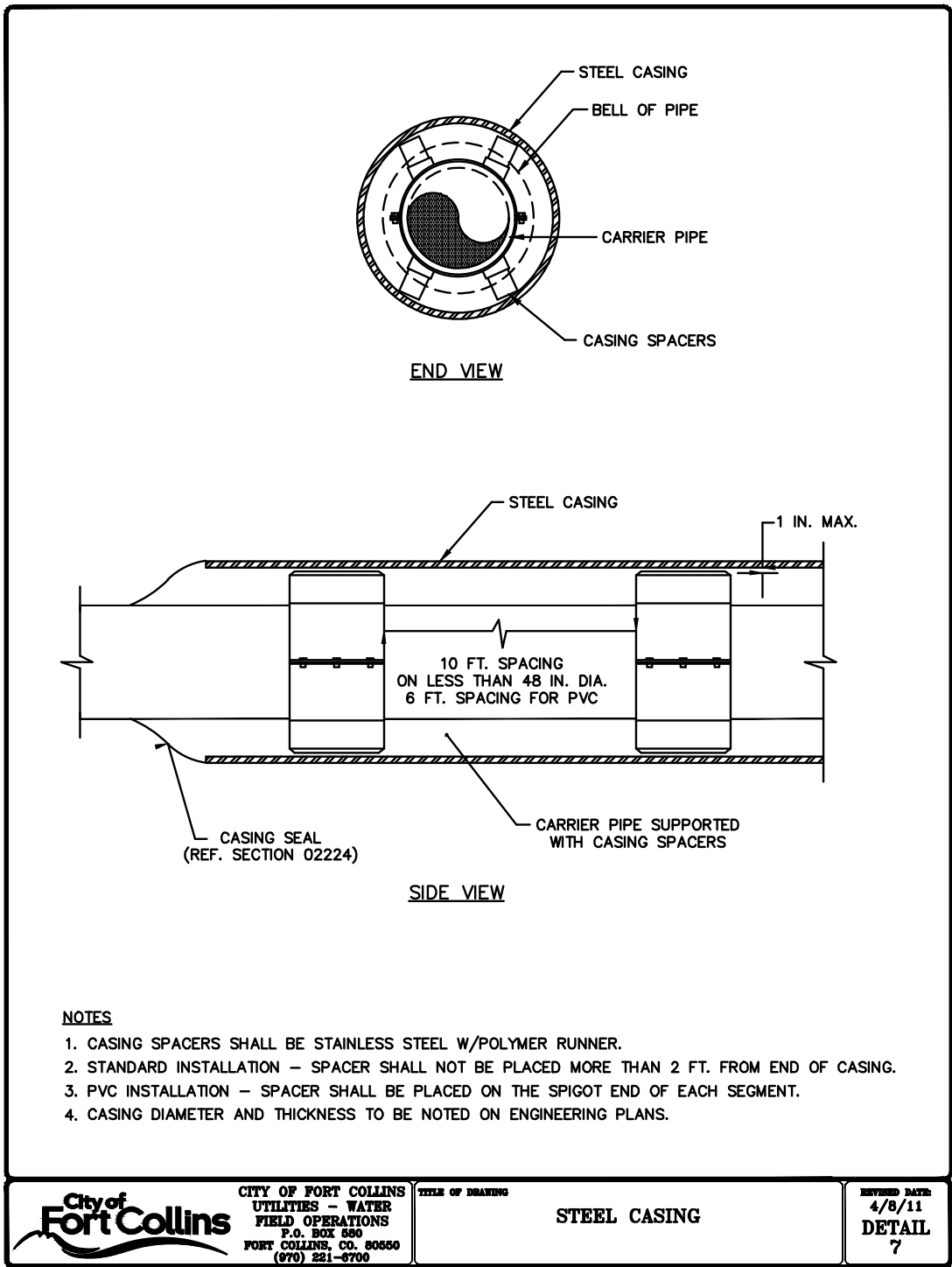
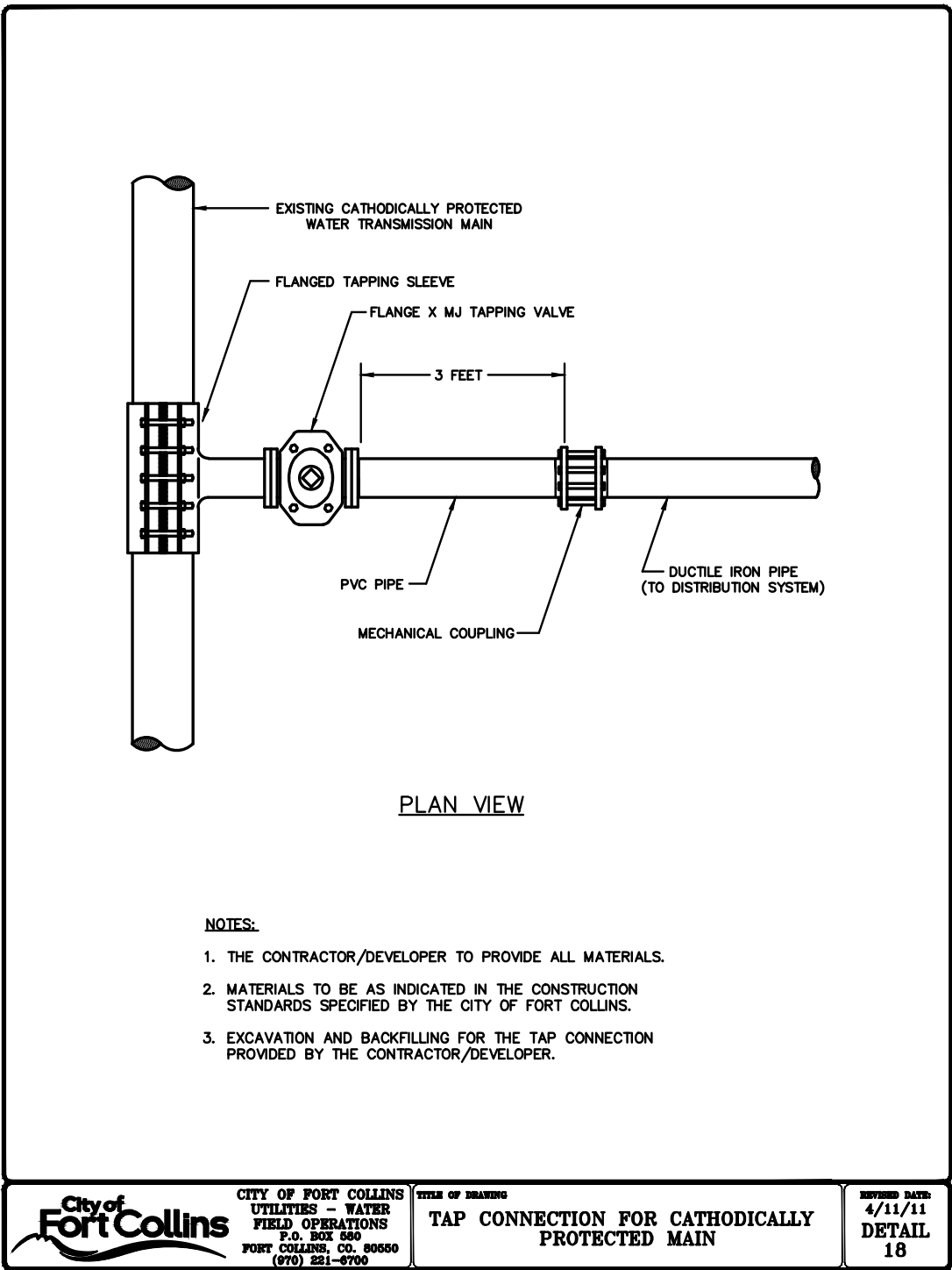
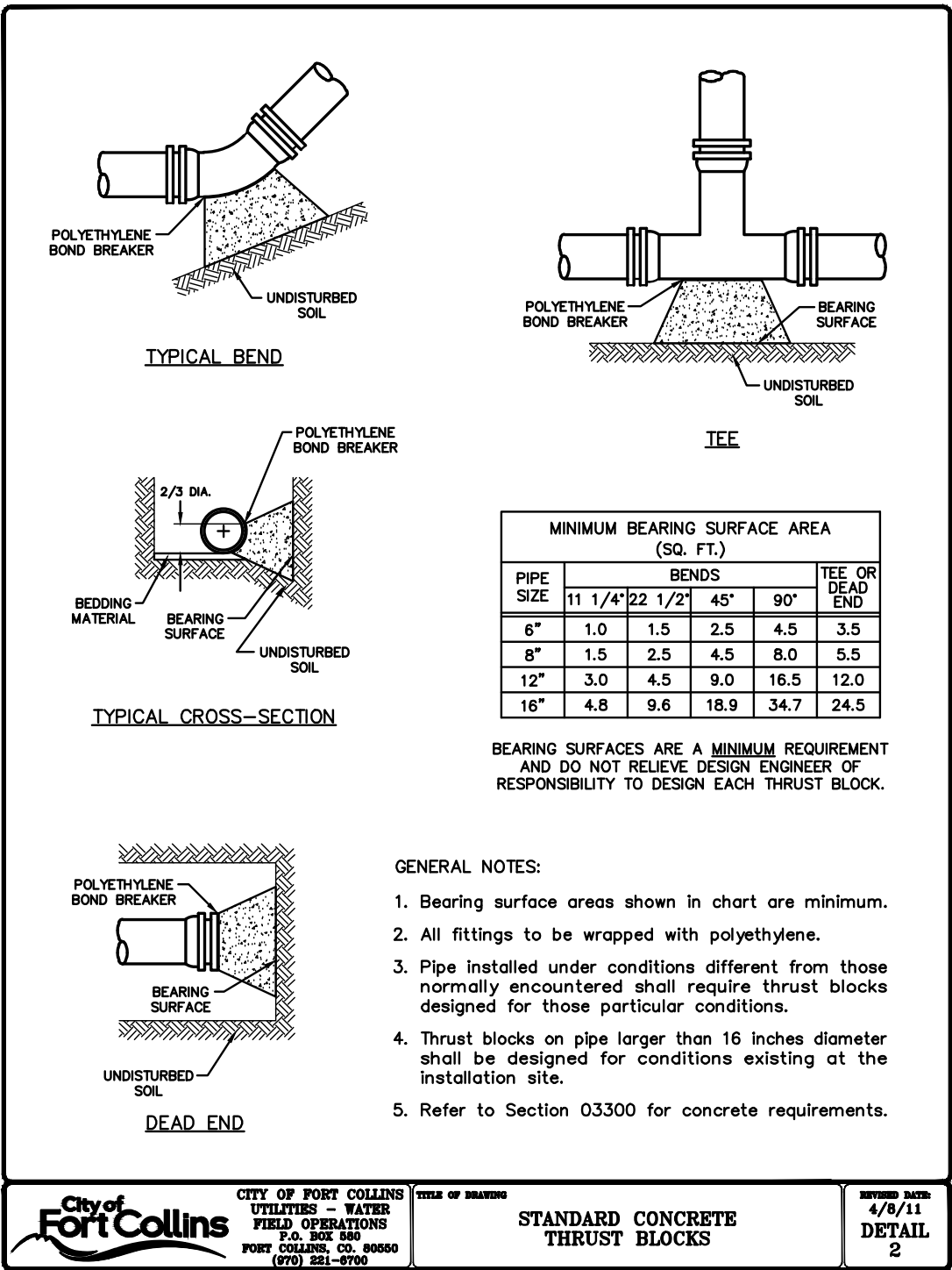
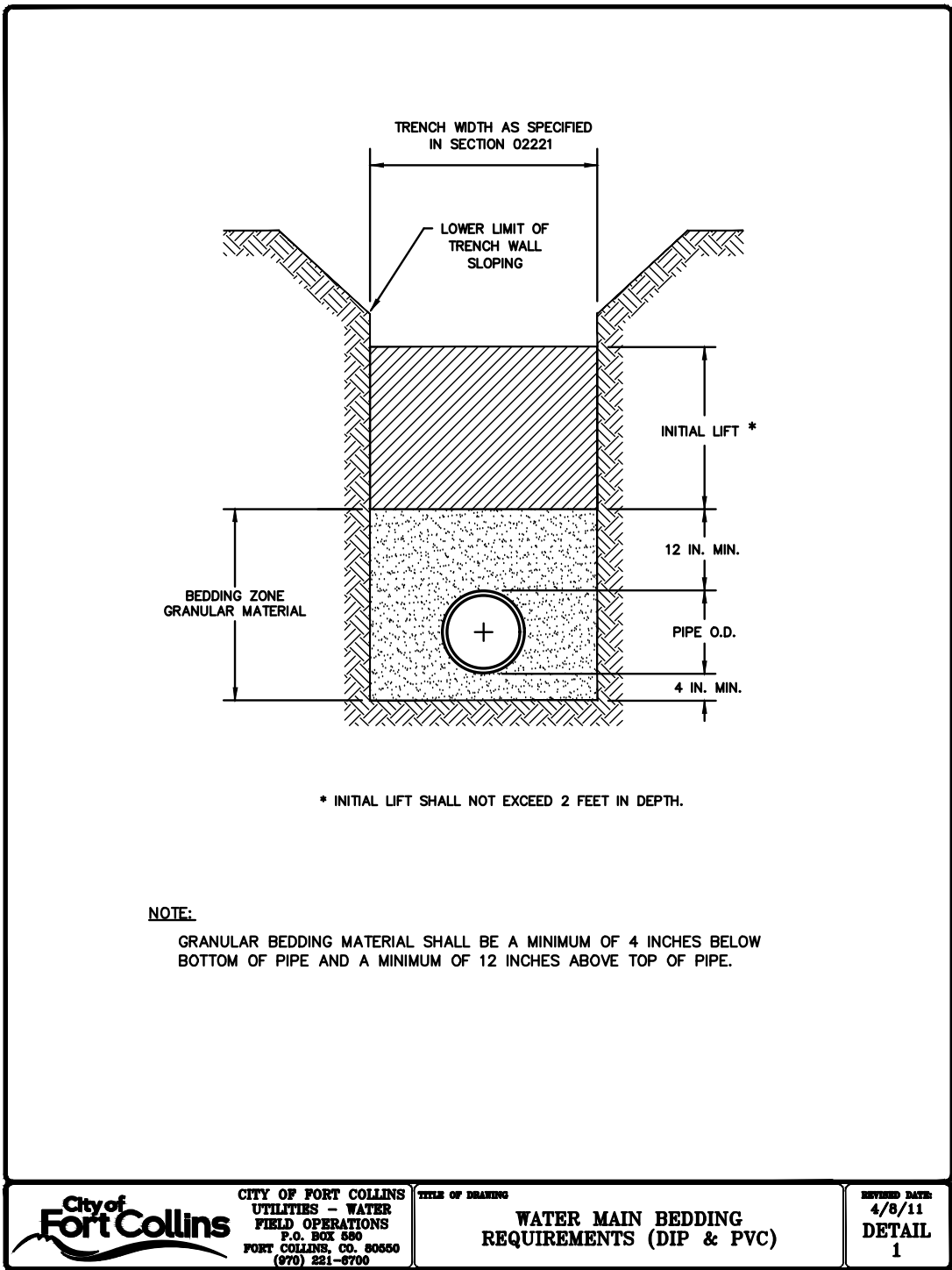
SEWER MAIN PROFILE

SCALE: 1"=20' HORIZ
1"=5' VERT

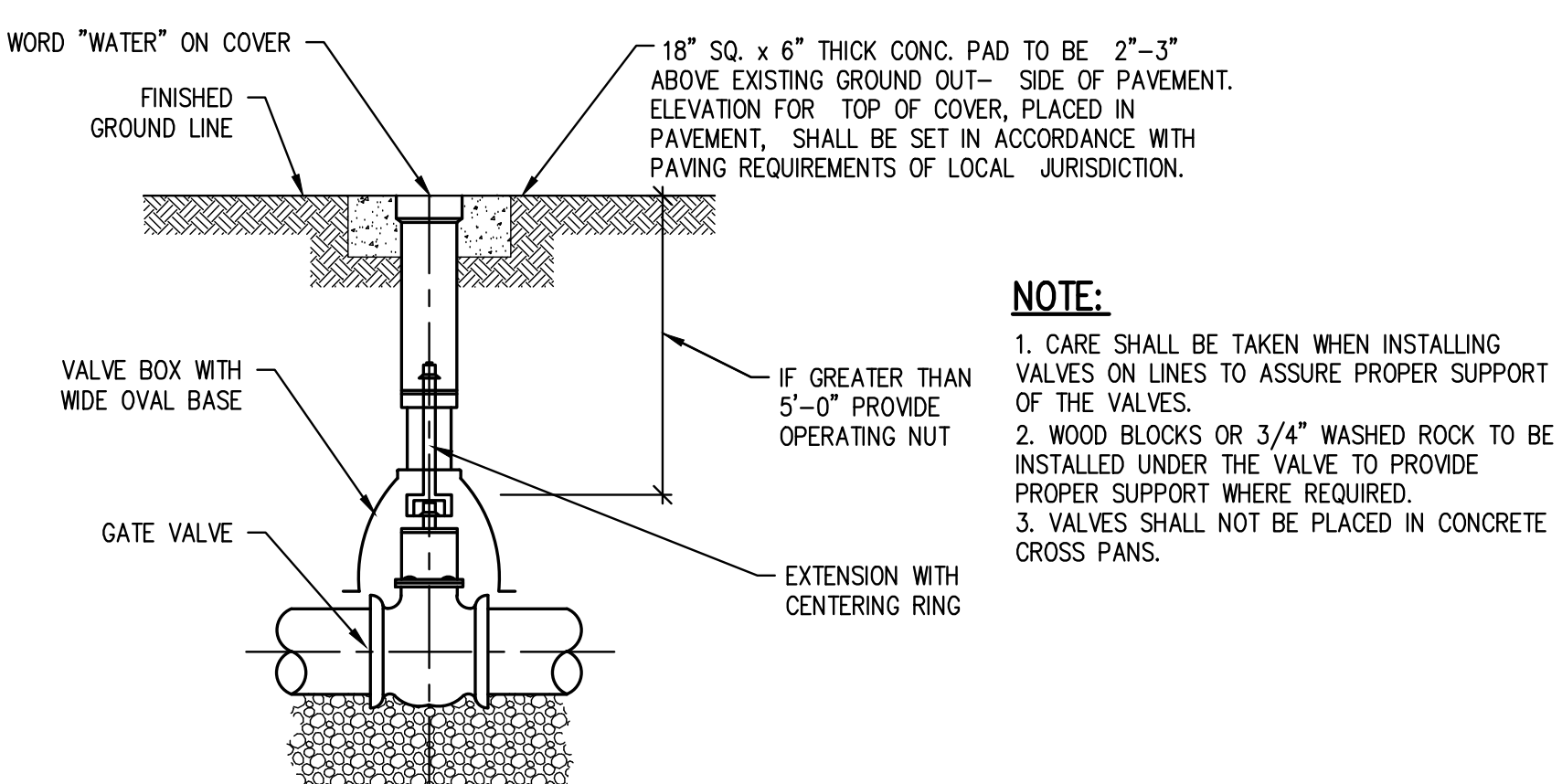
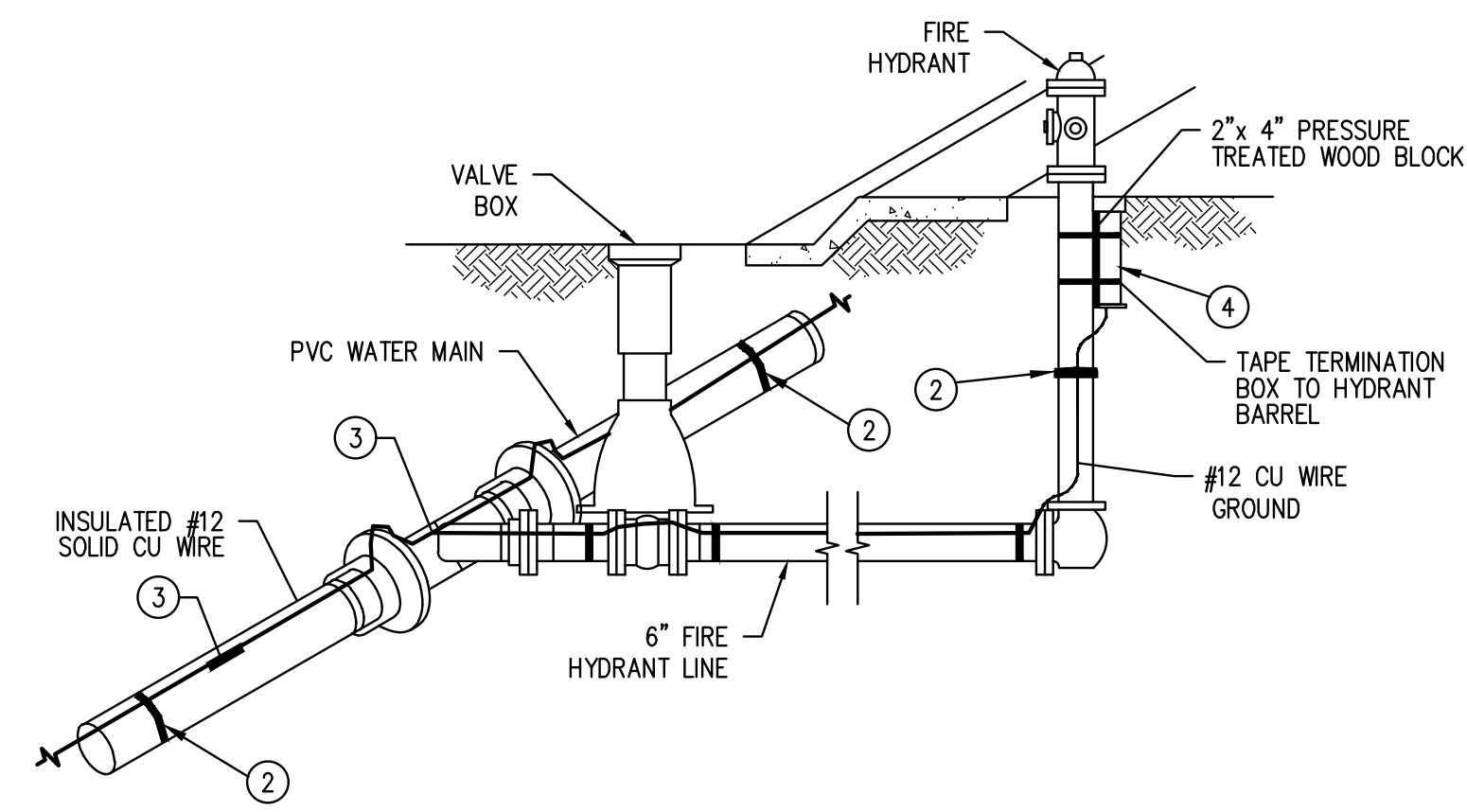


City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
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CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date



- NOTES:**
1. TRACER WIRE IS TO BE PLACED ON ALL NONMETALLIC UTILITY LINES. THE TRACER WIRE IS TO BE PLACED ALONG THE TOP CENTERLINE OF PIPE AND SECURED AS NECESSARY TO PREVENT MOVEMENT OF THE WIRE. TRACER WIRE MUST BE EXPOSED AT EITHER END TO THE UTILITY (ABOVE GRADE) AND MARKED WITH FLAGGING AFTER BACK FILL IS COMPLETED. THE CSU FACILITIES MANAGEMENT UTILITY LOCATOR WILL COORDINATE WITH THE CONTRACTOR TO DETERMINE THE APPROPRIATE POINT AND METHOD OF TERMINATION OF THE TRACER WIRE.
 2. INSTALL TRACER WIRE ON ALL PIPE INSIDE POLYWRAP. TERMINATE TEST LEADS AT EACH HYDRANT, BLOW-OFF AS SHOWN ON PLANS, AND AS DIRECTED BY UTILITY OWNER.
 3. TAPE WIRE ON EACH SIDE OF FITTINGS AND AT 10' MAX ON CENTERS ALONG TOP OF PIPE OR LOOP WIRE AROUND EACH PIPE SECTION 2 OR 3 TIMES W/ 2" PVC TAPE.
 4. USE 12 GAUGE COPPER CONNECTOR DOSSERT NO. DPC2 OR EQUAL FOR SINGLE SPLICE. USE 12 GAUGE COPPER CONNECTOR, BURNOY NO. YC12, 3M TYPE DBY-6 OR EQUAL FOR MULTIPLE SPLICES. SPLICES AT FITTINGS SHALL BE OUTSIDE POLYWRAP.
 5. USE 18" LONG BY 2 1/2" DIA. PVC TERMINATION FITTING W/ CAST IRON LID. CONNECT ALL WIRE(S) TO TERMINAL (C.P. TEST SERVICES, INC. OR EQUAL). PROVIDE AMPLE TRACER WIRE AT TEST STATIONS FOR TESTING.



**City of Fort Collins, Colorado
UTILITY PLAN APPROVAL**

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Date _____ DECEMBER 11, 2015
Issue _____ 100% UTILITY PLAN SET
Drawn By _____ KRB
Checked By _____ KAT
Project Number _____ 150422.00
Owner Project Number _____ 14-023

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NO.	DESCRIPTION	DATE

Sheet _____ of _____

UTILITY DETAILS

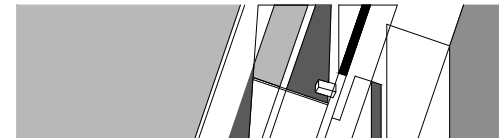
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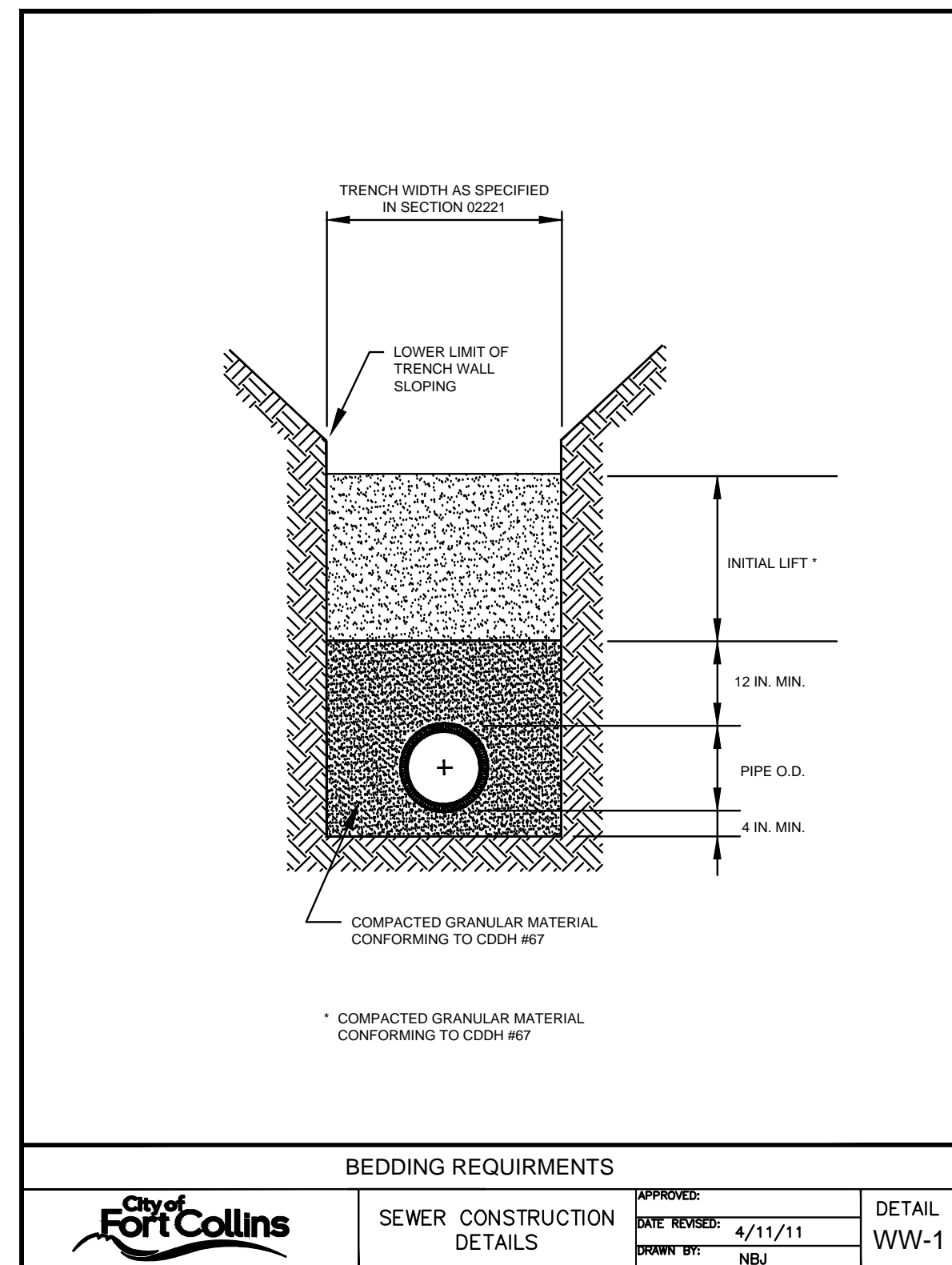
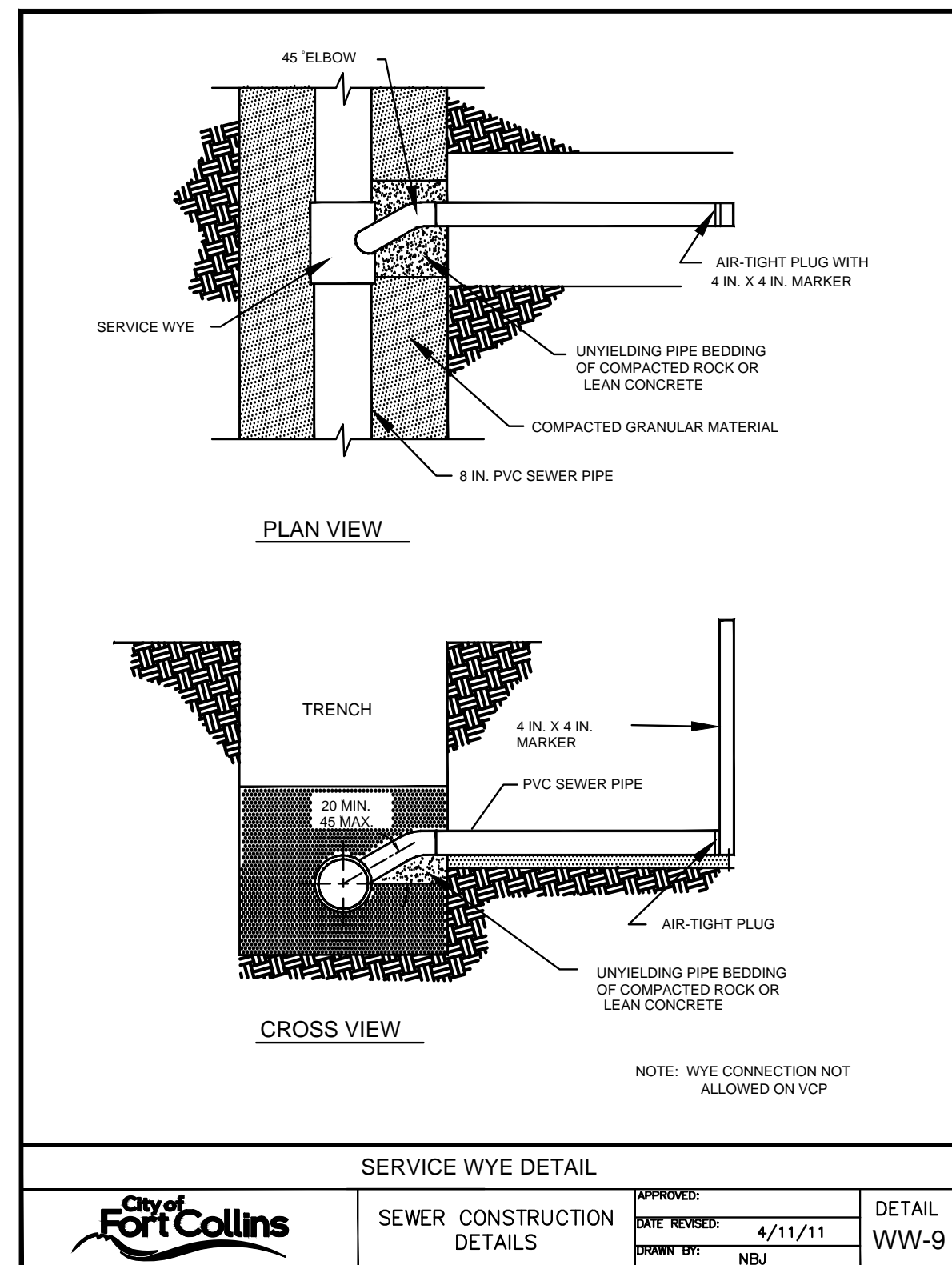
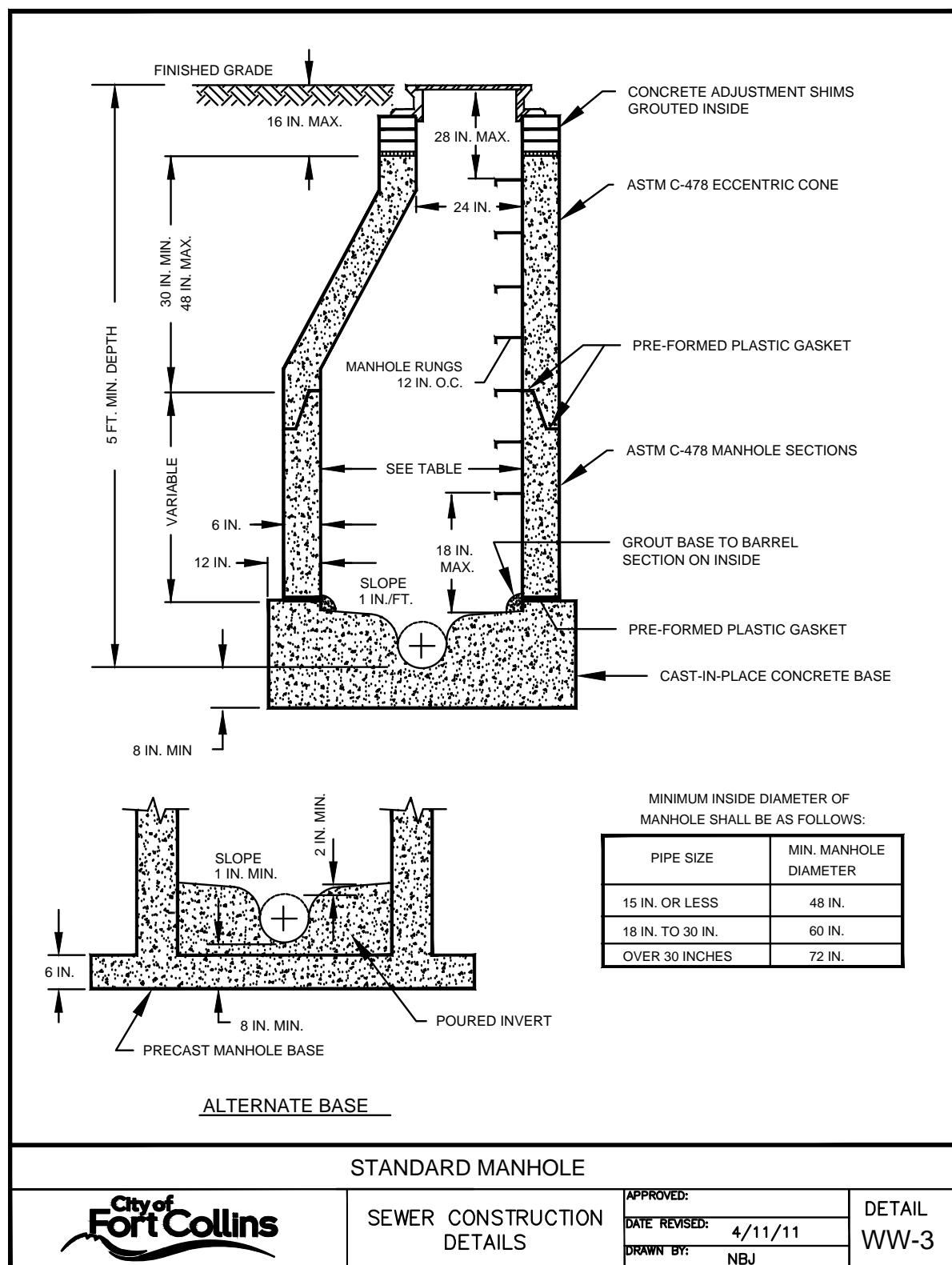
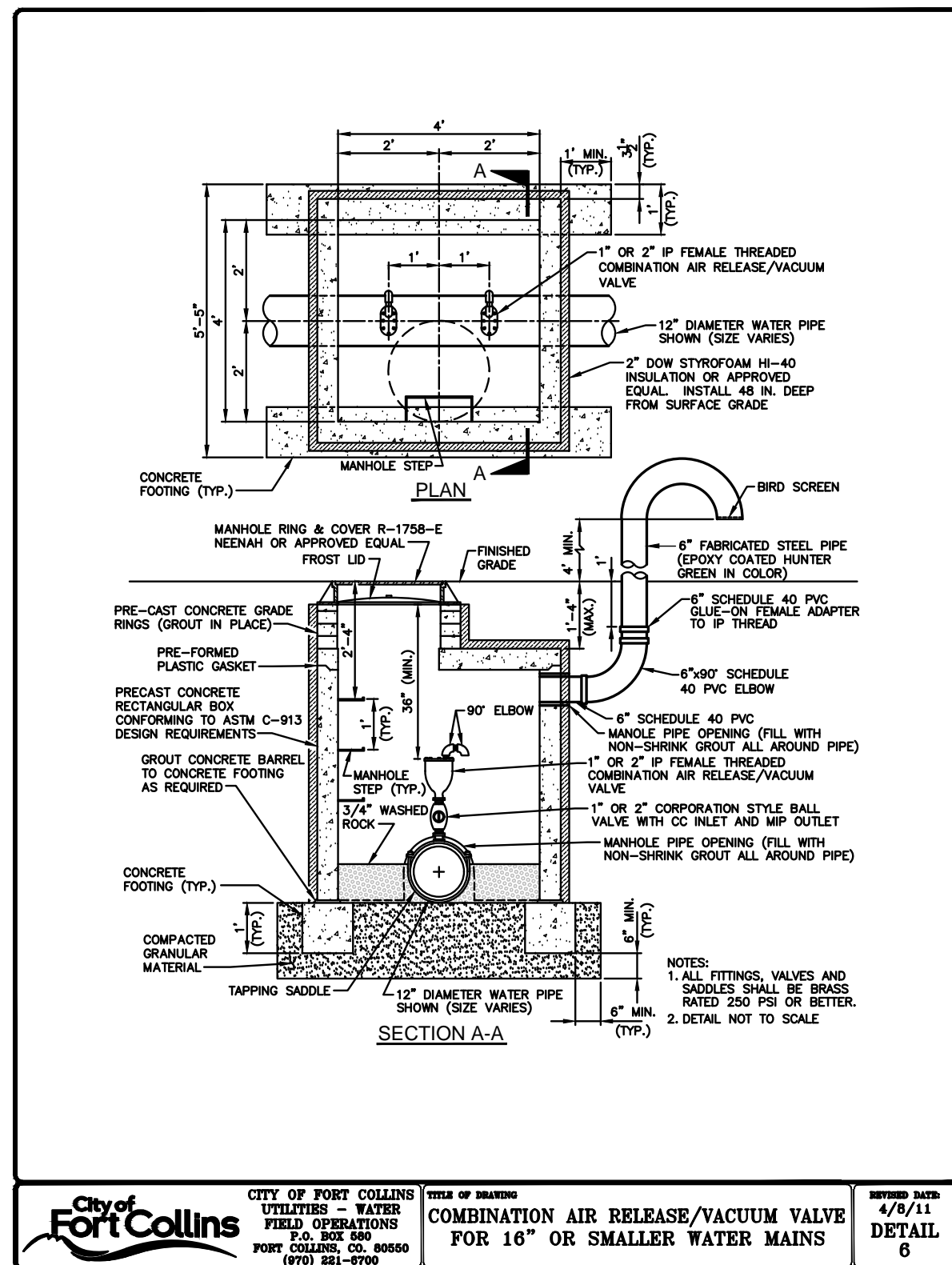
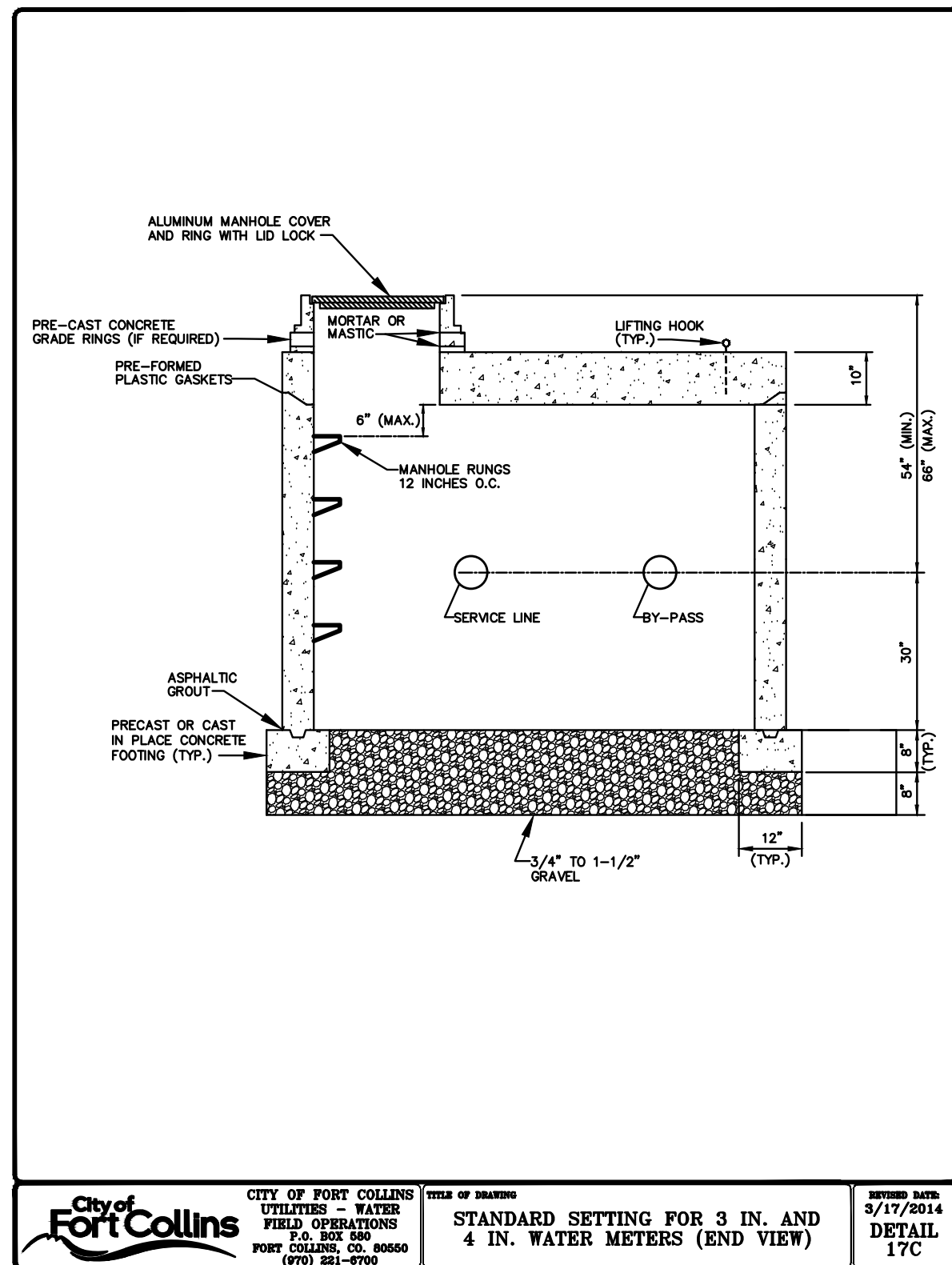
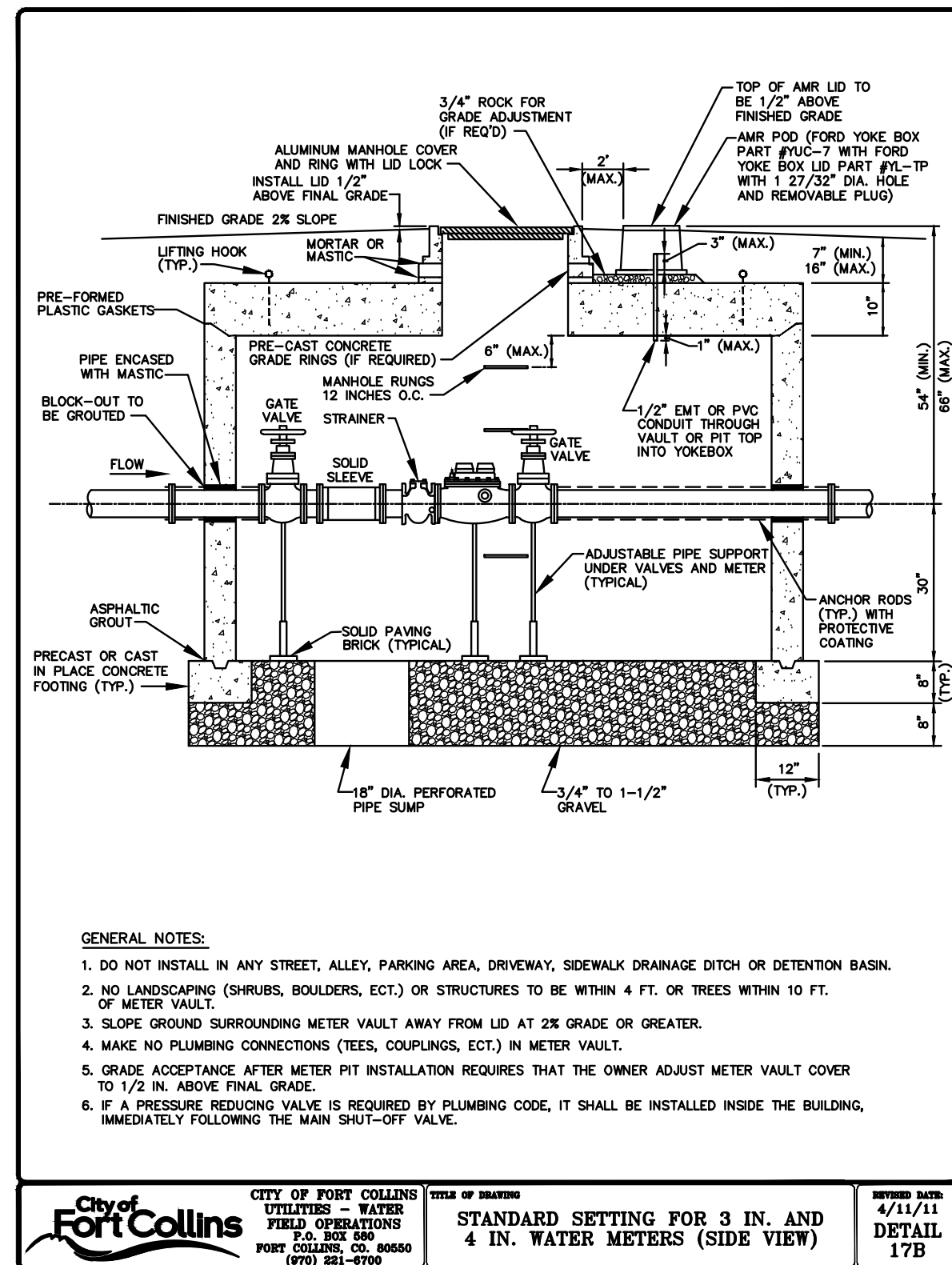
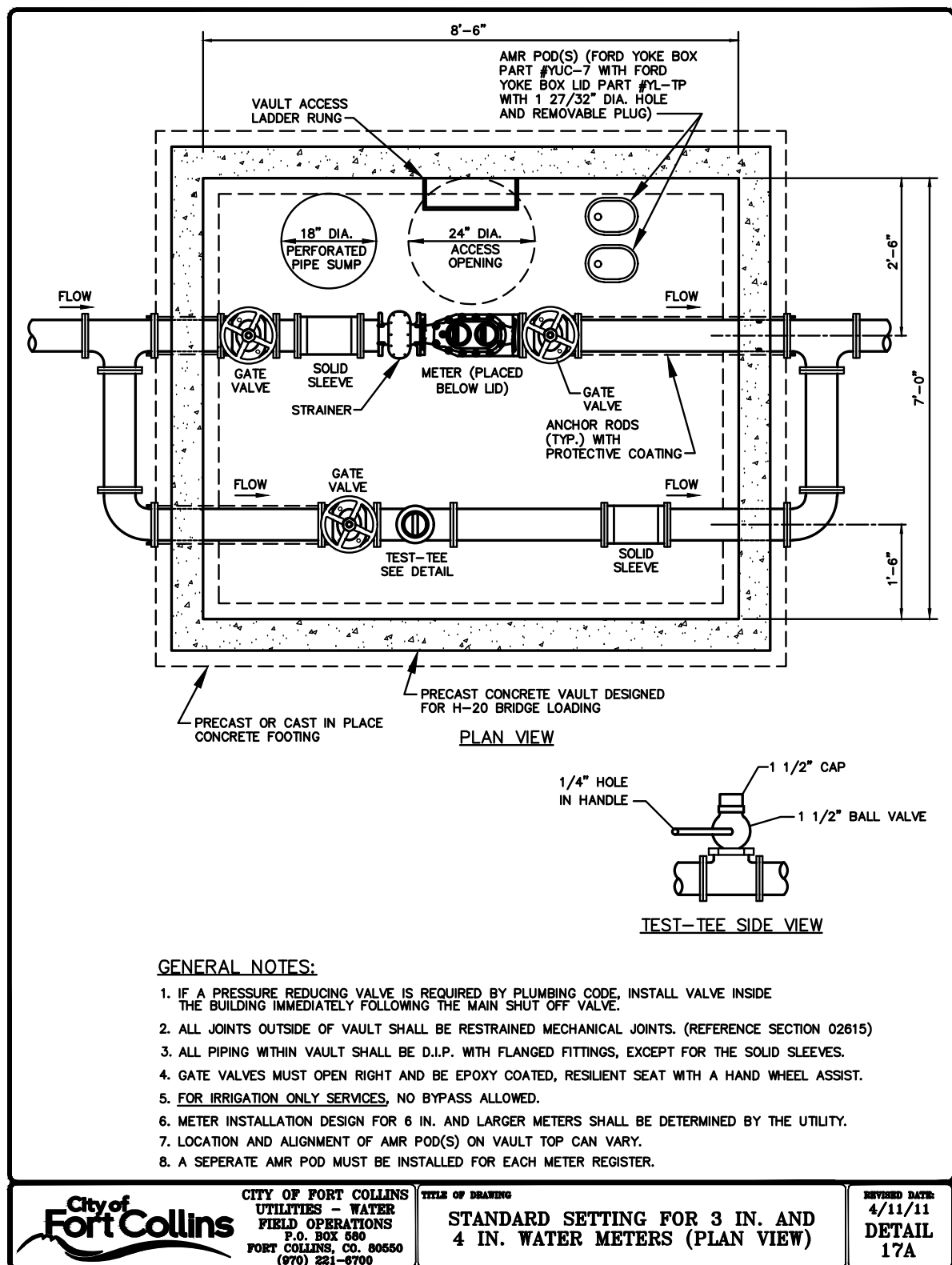
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Revisions

Sheet _____ of _____

UTILITY DETAILS

CD2.1



City of Fort Collins, Colorado UTILITY PLAN APPROVAL

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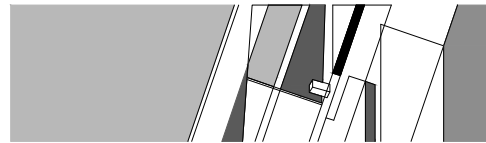
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Westminster, CO, 80234
303.964.8060

ENERGY / ENVIRONMENTAL

Ambient Energy
130 W. 5th Ave
Denver, CO, 80204
303.278.1532

SPECIFICATIONS

Specifications for Architects, Inc.
6560 West Alamo Drive
Littleton, CO, 80123
303.927.8362

NOT FOR CONSTRUCTION

CSU HEALTH AND MEDICAL CENTER

151 W. Lake Street
Fort Collins, CO 80524

Date DECEMBER 11, 2015
Issue 100% UTILITY PLAN SET

Drawn By KRB
Checked By KAT

Project Number 15042.00
Owner Project Number 14-023

Revisions		

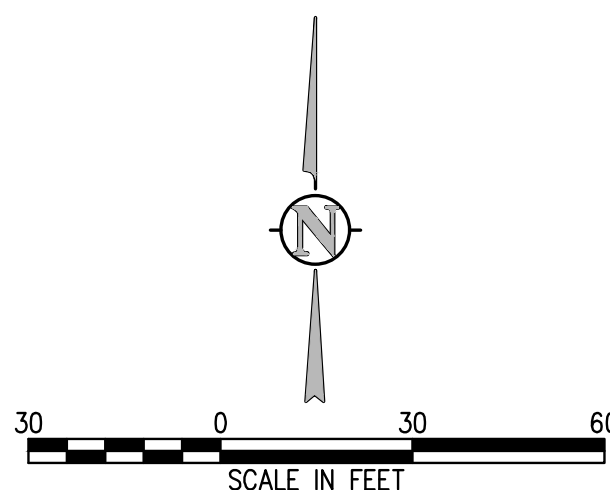
Sheet of

HORIZONTAL CONTROL PLAN

C3.0

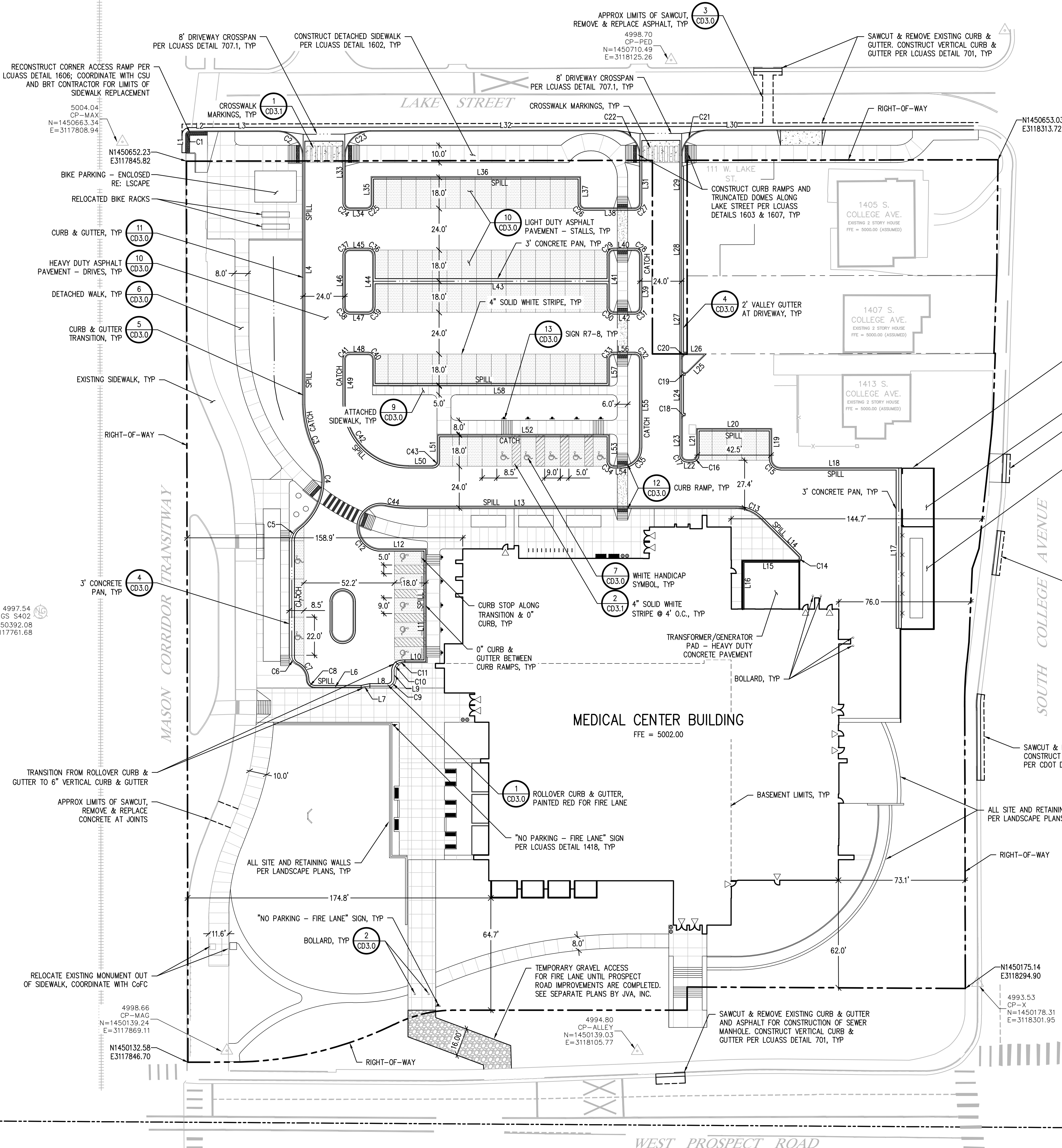
STREET CUT NOTES:

- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THE PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY OF FORT COLLINS ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Parks and Recreation	Date
CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date



4997.54
BM NGS 5402
N=1450392.08
E=3117761.68

4998.66
CP-MAG
N=1450139.24
E=3117869.11
N1450132.58
E3117846.70

4994.80
CP-ALLEY
N=1450139.03
E=3118105.77

4993.53
CP-X
N=1450178.31
E=3118301.95

APPROX LIMITS OF SAWCUT,
REMOVE & REPLACE ASPHALT, TYP
4998.70
CP-PED
N=1450710.49
E=3118125.26

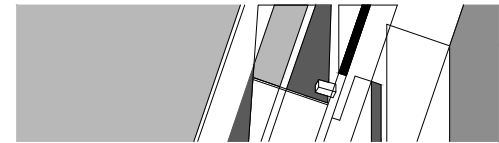
WEST PROSPECT ROAD



Colorado
State
University



797 Ventura St.
Aurora, Colorado, 80011
303 . 363 . 7101
303 . 363 . 9251 Fax



**BENNETT WAGNER GRODY
ARCHITECTS**

1301 Wazee, Suite 100
Denver, Colorado, 80204
303 . 623 . 7323
303 . 623 . 2836 Fax

OWNER'S REPRESENTATIVE

Colorado State University
Facilities Management
251 Edison Drive
Fort Collins, CO, 80523-6030
970.491.0080 - Phone
970.491.7572 - Fax

CIVIL ENGINEER

JVA Consulting Engineers
25 Old Town Square, Ste. 200
Fort Collins, CO 80524
303.444.1951

LANDSCAPE ARCHITECT

Design Workshop
1390 Lawrence St. Ste. 100
Denver, CO, 80204
303.623.2616

STRUCTURAL ENGINEER

JVA Consulting Engineers
1319 Spruce St.
Boulder, CO, 80302
303.444.1951

**MECHANICAL / ELECTRICAL /
PLUMBING ENGINEERING**

ME Engineers
14143 Denver West Parkway, Ste. 300
Golden, CO, 80204
303.421.6655

ELECTRICAL

Gregory Electric
3317 North Lincoln Ave
Loveland, CO, 80538
970-669-7609

MECHANICAL CONTRACTOR

US Engineering Co
1100 W. 120th Ave #900
Westminster, CO, 80234
303.964.8060

ENERGY / ENVIRONMENTAL

Ambient Energy
130 W. 5th Ave
Denver, CO, 80204
303.278.1532

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6560 West Alamo Drive
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CSU HEALTH AND MEDICAL CENTER

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Checked By KAT
Project Number 15042.00
Owner Project Number 14-023

Revisions		

Sheet _____ of _____

LINE AND CURVE TABLES

C3.1

LINE TABLE			
LINE	LENGTH	DIRECTION	START (N, E)
L1	9.82	S0° 16' 06"W	(1450666.94, 3117845.29)
L2	10.11	S89° 32' 29"W	(1450669.65, 3117857.89)
L3	40.18	N89° 53' 19"E	(1450669.65, 3117857.89)
L4	155.94	S0° 00' 13"E	(1450667.76, 3117913.10)
L5	65.75	S0° 00' 00"E	(1450432.63, 3117906.61)
L6	26.61	N90° 00' 00"E	(1450348.86, 3117919.97)
L7	5.04	N82° 24' 19"E	(1450348.86, 3117946.57)
L8	10.22	N90° 00' 00"E	(1450349.53, 3117951.57)
L9	4.69	N0° 00' 00"W	(1450353.36, 3117965.63)
L10	12.00	N90° 00' 00"E	(1450363.55, 3117971.80)
L11	64.80	N0° 00' 00"E	(1450363.55, 3117983.80)
L12	27.43	S89° 59' 53"E	(1450428.35, 3117956.37)
L13	56.67	N90° 00' 00"W	(1450452.27, 3118091.83)
L14	31.22	N45° 05' 03"W	(1450424.39, 3118199.02)
L15	31.62	N90° 00' 00"E	(1450421.82, 3118166.34)
L16	28.12	N0° 00' 00"E	(1450393.70, 3118166.34)
L17	92.32	N0° 00' 00"E	(1450382.81, 3118256.49)
L18	69.59	N90° 00' 00"E	(1450475.12, 3118188.40)
L19	17.07	S0° 00' 00"E	(1450497.69, 3118182.90)
L20	42.51	N90° 00' 00"E	(1450497.69, 3118140.39)
L21	15.00	N0° 00' 00"E	(1450482.68, 3118140.39)
L22	3.00	N90° 00' 00"E	(1450479.68, 3118134.38)
L23	21.11	S0° 00' 00"E	(1450503.80, 3118131.38)
L24	28.00	N0° 00' 00"E	(1450503.80, 3118131.38)
L25	15.13	N45° 00' 00"E	(1450530.38, 3118134.80)
L26	11.11	N89° 52' 37"E	(1450541.06, 3118134.38)
L27	67.23	N0° 00' 00"E	(1450531.80, 3118131.38)
L28	27.92	N0° 00' 00"E	(1450599.02, 3118131.38)
L29	41.25	S0° 00' 00"E	(1450668.19, 3118131.38)
L30	153.40	N89° 53' 16"E	(1450670.22, 3118146.35)

LINE TABLE			
LINE	LENGTH	DIRECTION	START (N, E)
L31	40.20	S0° 00' 00"E	(1450668.14, 3118107.38)
L32	140.28	N89° 53' 16"E	(1450669.84, 3117952.07)
L33	39.78	N0° 00' 00"E	(1450628.03, 3117937.10)
L34	9.61	N90° 00' 00"W	(1450625.02, 3117949.71)
L35	14.92	S0° 00' 00"E	(1450642.95, 3117952.71)
L36	119.96	N90° 00' 00"W	(1450642.95, 3118072.68)
L37	15.00	N0° 00' 00"E	(1450627.94, 3118072.68)
L38	28.70	N90° 00' 00"W	(1450625.44, 3118104.38)
L39	30.01	S0° 00' 00"E	(1450598.02, 3118107.38)
L40	12.00	N90° 00' 00"E	(1450601.02, 3118092.38)
L41	30.01	N0° 00' 00"E	(1450568.02, 3118089.38)
L42	12.00	N90° 00' 00"W	(1450565.01, 3118104.38)
L43	135.81	N90° 00' 00"W	(1450583.02, 3118089.38)
L44	30.01	S0° 00' 00"E	(1450598.02, 3117953.56)
L45	10.46	N90° 00' 00"E	(1450601.02, 3117940.10)
L46	30.01	N0° 00' 00"E	(1450568.02, 3117937.10)
L47	10.46	N90° 00' 00"W	(1450565.01, 3117950.56)
L48	10.46	N90° 00' 00"W	(1450541.01, 3117950.56)
L49	25.85	S0° 00' 16"E	(1450538.08, 3117937.10)
L50	13.83	S90° 00' 00"E	(1450476.27, 3117973.97)
L51	15.00	N0° 00' 00"E	(1450479.27, 3117990.80)
L52	98.57	N90° 00' 00"E	(1450494.27, 3117990.80)
L53	15.00	S0° 00' 00"E	(1450494.27, 3118089.38)
L54	4.50	N90° 00' 00"E	(1450476.27, 3118092.38)
L55	51.25	N0° 00' 00"E	(1450486.77, 3118107.38)
L56	12.00	N90° 00' 00"W	(1450541.01, 3118104.38)
L57	15.00	S0° 00' 00"E	(1450538.01, 3118089.38)
L58	135.81	N90° 00' 00"W	(1450523.01, 3118089.38)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LEN	START (N, E)
C1	4.06	2.52	92°13'44"	S43°26'17"W	3.63	(1450669.57, 3117847.79)
C2	23.59	15.00	90°06'31"	N45°03'29"W	21.23	(1450654.73, 3117913.10)
C3	29.26	60.59	27°40'09"	S14°48'48"E	28.98	(1450511.82, 3117913.11)
C4	48.11	34.76	79°17'43"	S12°59'40"W	44.36	(1450483.81, 3117920.52)
C5	9.19	10.00	52°38'31"	S26°19'16"W	8.87	(1450440.58, 3117910.54)
C6	5.74	5.00	65°49'56"	S32°54'58"E	5.43	(1450366.88, 3117906.61)
C7	11.38	10.00	65°10'45"	S33°14'33"E	10.77	(1450362.32, 3117909.56)
C8	7.02	4.50	89°19'40"	S45°19'35"E	6.33	(1450353.31, 3117915.47)
C9	6.02	3.83	90°00'16"	N45°00'03"E	5.42	(1450349.53, 3117961.80)
C10	4.84	6.17	45°00'00"	N22°30'00"E	4.72	(1450358.05, 3117965.63)
C11	4.55	9.54	27°18'45"	N75°21'17"E	4.51	(1450362.41, 3117967.44)
C12	41.32	12.86	184°06'13"	S9°30'35"W	25.70	(1450453.70, 3117960.61)
C13	15.68	20.00	44°54'57"	N67°32'31"W	15.28	(1450446.43, 3118176.92)
C14	3.54	1.50	135°05'03"	N22°27'29"E	2.77	(1450421.82, 3118197.96)
C15	8.64	5.50	90°00'00"	S45°00'00"E	7.78	(1450480.62, 3118182.90)
C16	4.71	3.00	90°00'00"	N45°00'00"E	4.24	(1450479.68, 3118137.38)
C17	4.71	3.00	90°00'00"	S45°00'00"E	4.24	(1450482.68, 3118131.38)
C18	3.14	2.00	90°00'00"	S45°00'00"W	2.83	(1450505.80, 3118133.38)
C19	4.71	2.00	135°00'00"	S67°30'00"E	3.70	(1450531.80, 3118131.38)
C20	4.71	3.00	90°00'00"	S45°00'00"W	4.24	(1450541.06, 3118134.38)
C21	23.53	15.00	89°53'16"	S44°56'38"W	21.19	(1450670.22, 3118146.35)
C22	23.59	15.00	90°06'44"	N45°03'22"W	21.23	(1450655.11, 3118107.38)
C23	23.53	15.00	89°53'16"	S44°56'38"W	21.19	(1450669.84, 3117952.07)
C24	4.71	3.00	90°00'00"	N45°00'00"W	4.24	(1450625.02, 3117940.10)
C25	4.71	3.00	90°00'00"	S45°00'00"W	4.24	(1450628.03, 3117952.71)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LEN	START (N, E)
C26	4.71	3.00	90°00'00"	N45°00'00"W	4.24	(1450624.94, 3118075.68)
C27	4.71	3.00	90°00'00"	S45°00'00"W	4.24	(1450627.94, 3118107.38)
C28	4.71	3.00	90°00'00"	S45°00'00"E	4.24	(1450601.02, 3118104.38)
C29	4.71	3.00	90°00'00"	N45°00'00"E	4.24	(1450598.02, 3118089.38)
C30	4.71	3.00	90°00'00"	N45°00'00"W	4.24	(1450565.01, 3118092.38)
C31	4.71	3.00	90°00'00"	S45°00'00"W	4.24	(1450568.02, 3118107.38)
C32	4.71	3.00	90°00'00"	N45°00'00"W	4.24	(1450538.01, 3118107.38)
C33	3.93	2.50	90°00'00"	S45°00'00"W	3.54	(1450540.51, 3118092.38)
C34	4.71	3.00	90°00'00"	S45°00'00"E	4.24	(1450479.27, 3118089.38)
C35	16.49	10.50	90°00'00"	N45°00'00"E	14.85	(1450476.27, 3118096.88)
C36	4.71	3.00	90°00'00"	S45°00'00"E	4.24	(1450601.02, 3117950.56)
C37	4.71	3.00	90°00'00"	N45°00'00"E	4.24	(1450598.02, 3117937.10)
C38	4.71	3.00	90°00'00"	N45°00'00"W	4.24	(1450565.01, 3117940.10)
C39	4.71	3.00	90°00'00"	S45°00'00"W	4.24	(1450568.02, 3117953.56)
C40	3.93	2.50	90°00'00"	N45°00'00"W	3.54	(1450538.01, 3117953.06)
C41	3.89	2.50	89°03'14"	S44°31'37"W	3.51	(1450540.51, 3117940.06)
C42	57.13	36.59	89°27'54"	S45°42'41"E	51.50	(1450512.23, 3117937.10)
C43	4.71	3.00	90°00'00"	N45°00'00"E	4.24	(1450476.27, 3117987.80)
C44	13.65	59.96	13°02'39"	N83°57'23"W	13.62	(1450452.27, 3117974.16)

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ Date _____
City Engineer

CHECKED BY: _____ Date _____
Water & Wastewater Utility

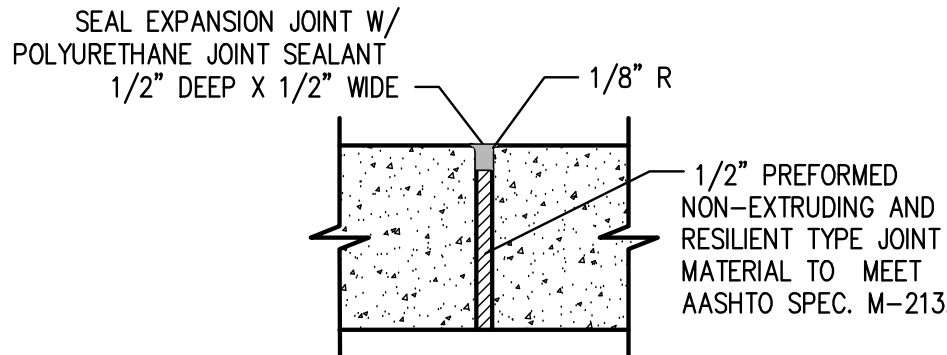
CHECKED BY: _____ Date _____
Stormwater Utility

CHECKED BY: _____ Date _____
Traffic Engineer

CHECKED BY: _____ Date _____
Parks and Recreation

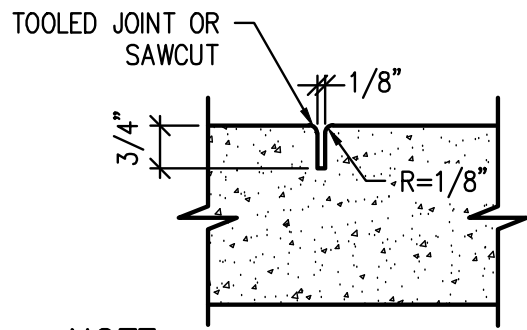
CHECKED BY: _____ Date _____
Environmental Planner

CHECKED BY: _____ Date _____



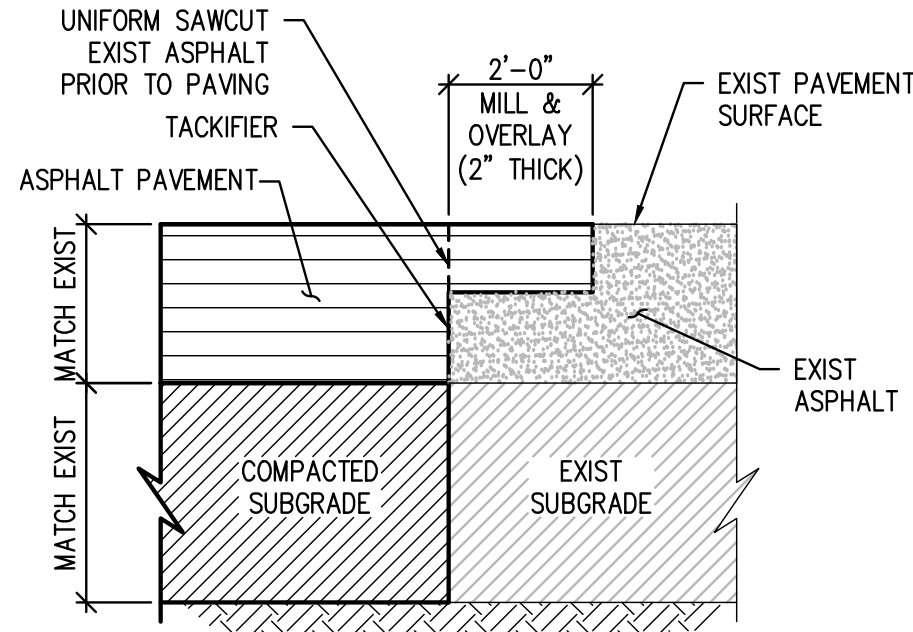
NOTE:
EXPANSION JOINTS EVERY 100' MAX AND WHEREVER SIDEWALK ABUTS EXISTING & PROPOSED CONCRETE STRUCTURES (TYP) - SEE PLAN

EXPANSION JOINT DETAIL
NTS C3.0



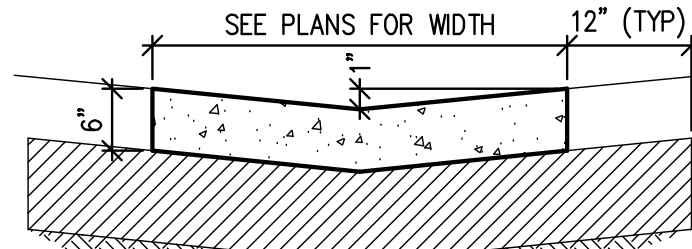
NOTE:
CONTRACTION JOINTS AT INTERVAL TO MATCH WIDTH OF SIDEWALK (TYP).

CONTRACTION JOINT DETAIL
NTS C3.0



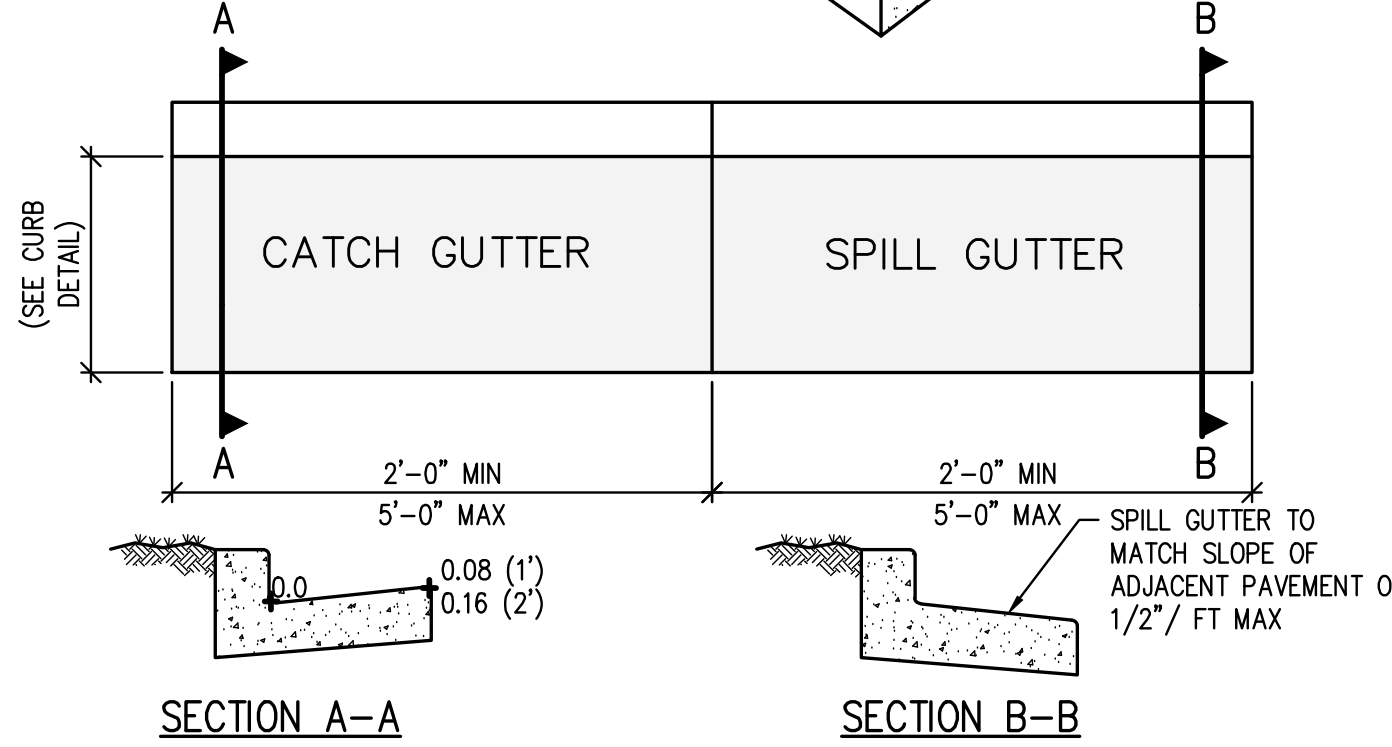
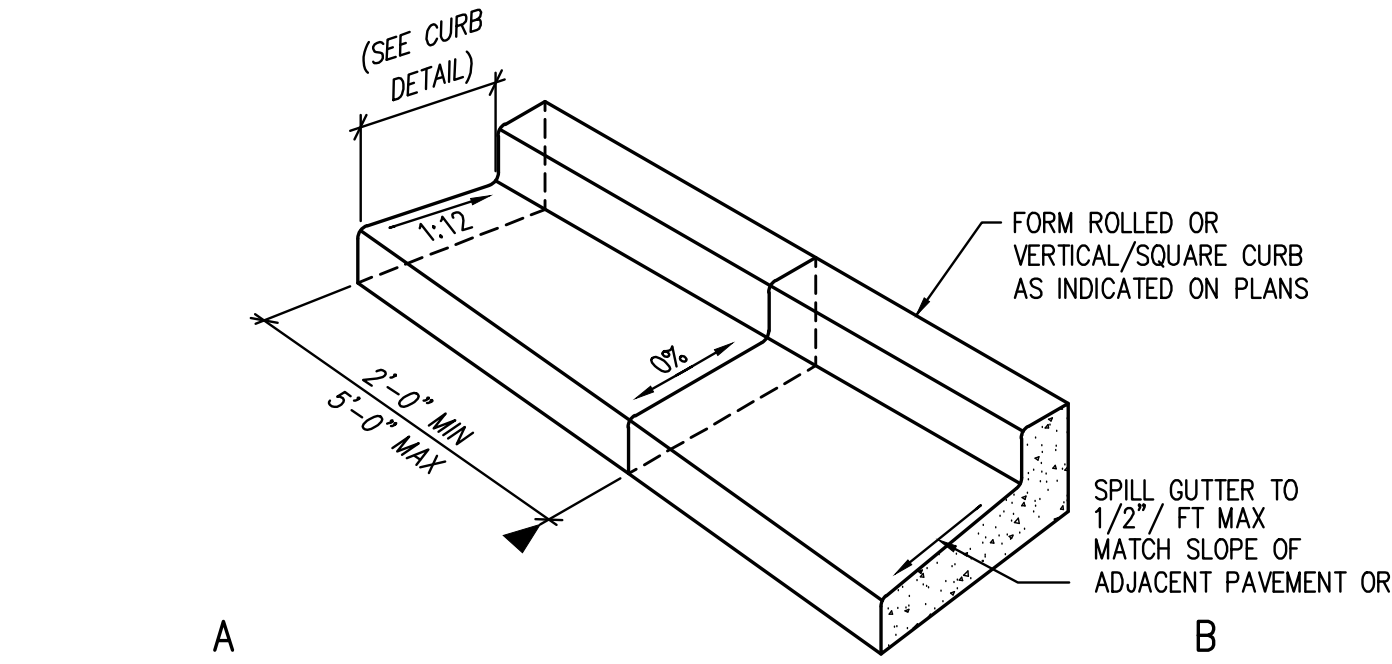
NOTES:
1. MATCH EXIST ASPHALT DEPTH UNLESS OTHERWISE SPECIFIED.
2. COMPACT SUBGRADE PER SPECIFICATIONS.

ASPHALT "T" PATCH DETAIL
NTS C3.0

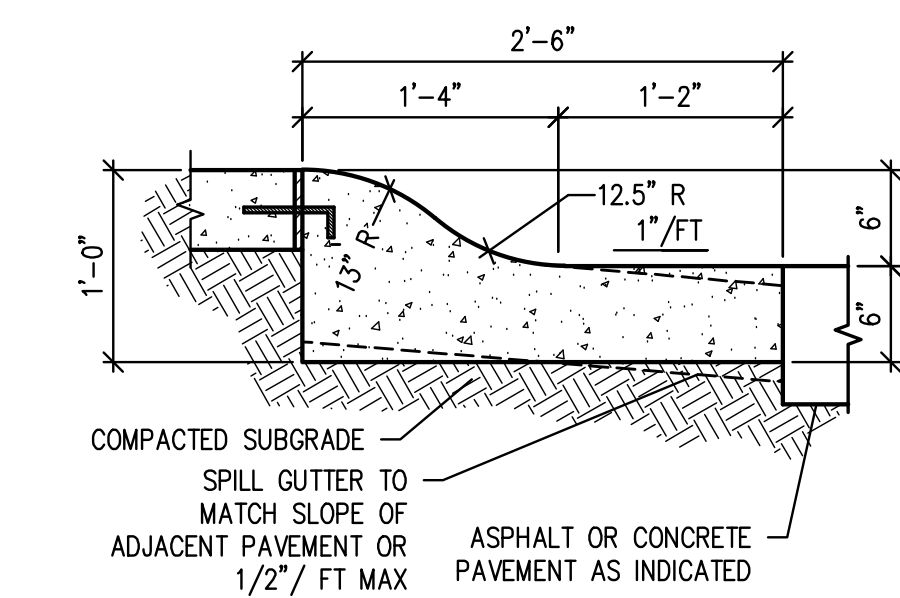


NOTES:
1. SEE CD3.00 FOR CONTRACTION AND EXPANSION JOINT DETAILS.
2. PROVIDE JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. JOINTS TO MATCH ADJOINING SIDEWALK.
3. COMPACT SUBGRADE PER SPECIFICATIONS.

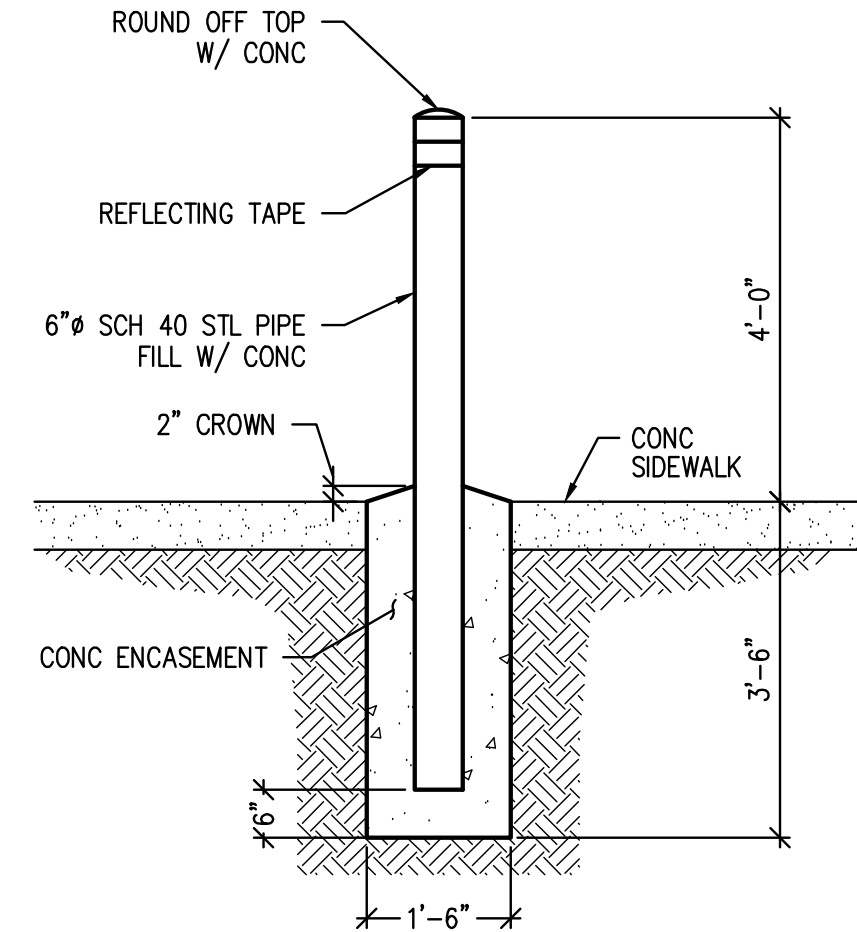
CONCRETE PAN DETAIL
NTS C3.0



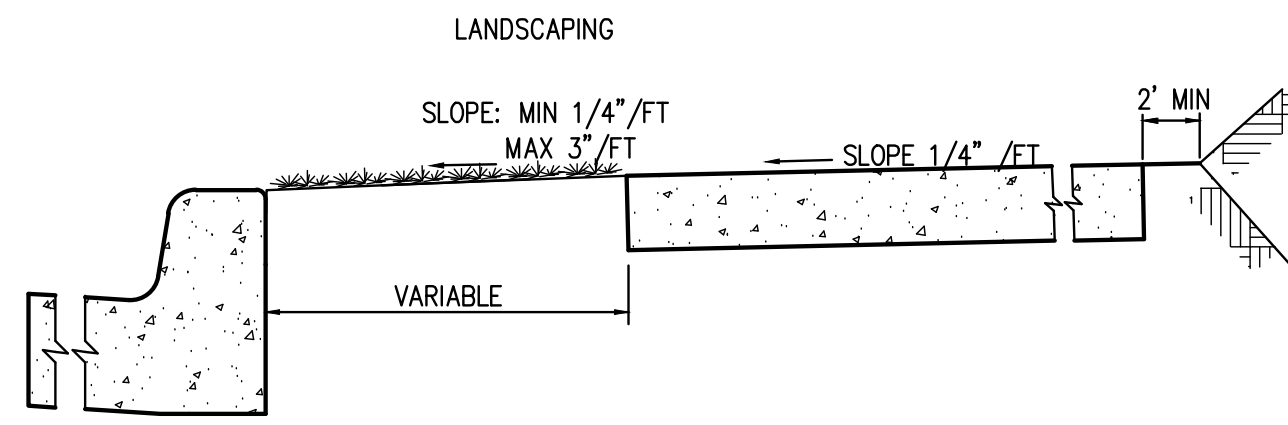
CURB & GUTTER CATCH/SPILL TRANSITION DETAIL
NTS ON-SITE ONLY C3.0



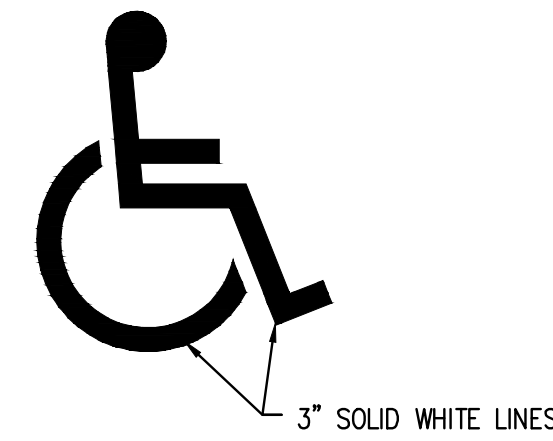
"ROLLED" CURB & GUTTER DETAIL
NTS C3.0



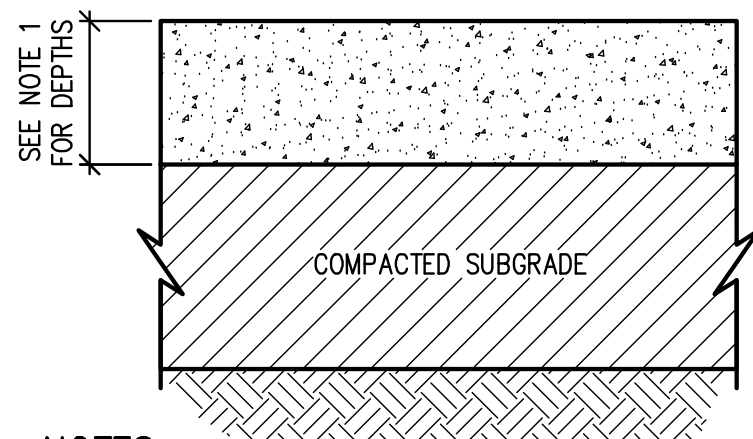
BOLLARD DETAIL
NTS C3.0



DETACHED WALK DETAIL
NTS C3.0

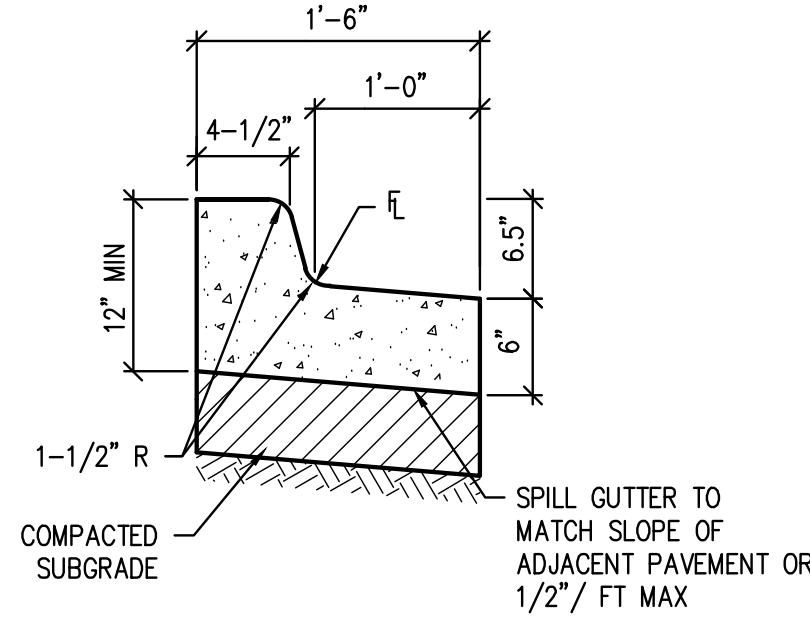


ACCESSIBLE SYMBOL
NTS C3.0

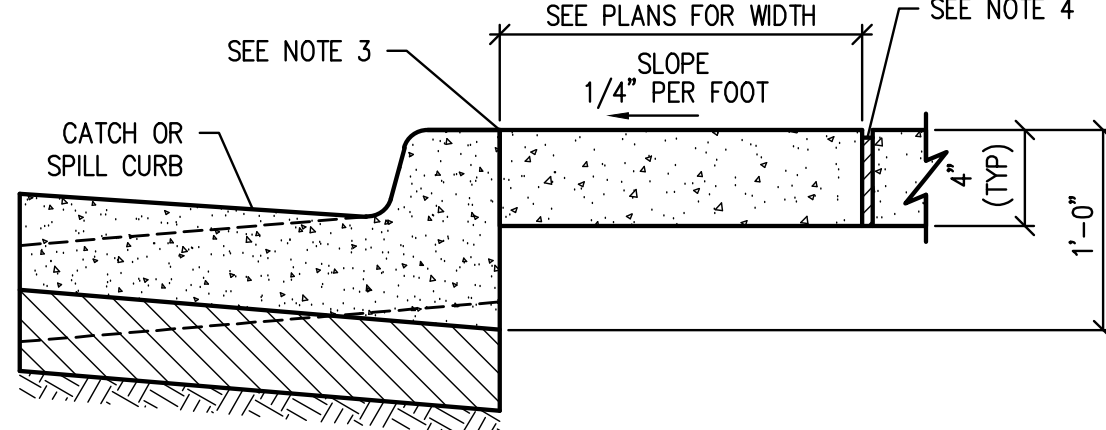


NOTES:
1. CONCRETE THICKNESSES:
4" WALKS INTERIOR TO THE SITE
6" WALKS IN CITY RIGHT OF WAY (LAKE STREET, CENTER AVENUE, & PROSPECT ROAD) AND ALL DRIVES
6" TRASH PADS
2. COMPACT SUBGRADE PER SPECIFICATIONS.
3. SEE CONTRACTION JOINT AND EXPANSION JOINT DETAILS.

CONCRETE PAVING SECTION DETAIL
NTS C3.0

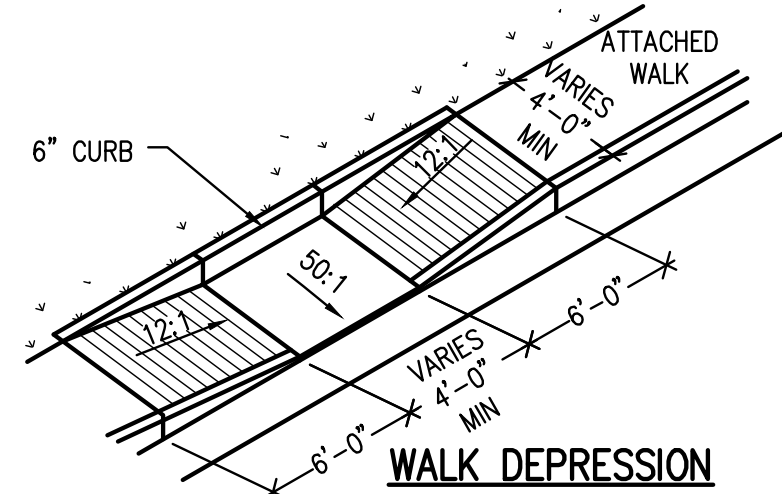


1' CURB AND SPILL GUTTER

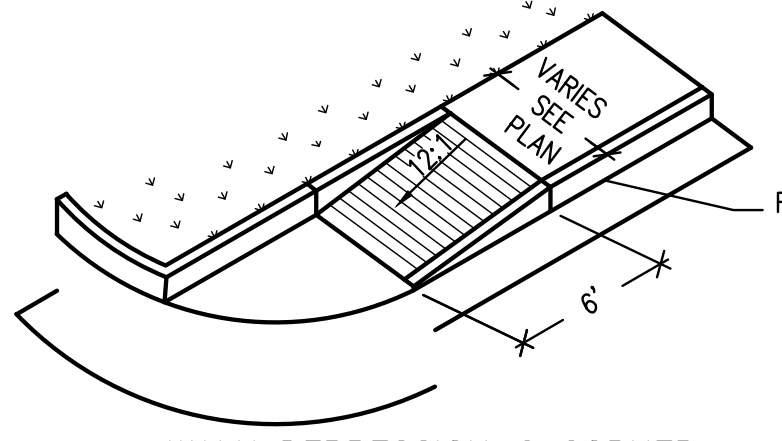


NOTES:
1. FOR CONCRETE REINFORCEMENT, SEE SPECS.
2. FOR CURB & GUTTER DIMENSIONS, SEE DETAIL THIS SHEET.
3. A TOOLED JOINT IS REQUIRED WHEN THE CURB & SIDEWALK ARE POURED MONOLITHICALLY.
4. EXPANSION JOINTS SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURE. EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK AND SHALL EXTEND THE FULL DEPTH OF CONTACT SURFACE.

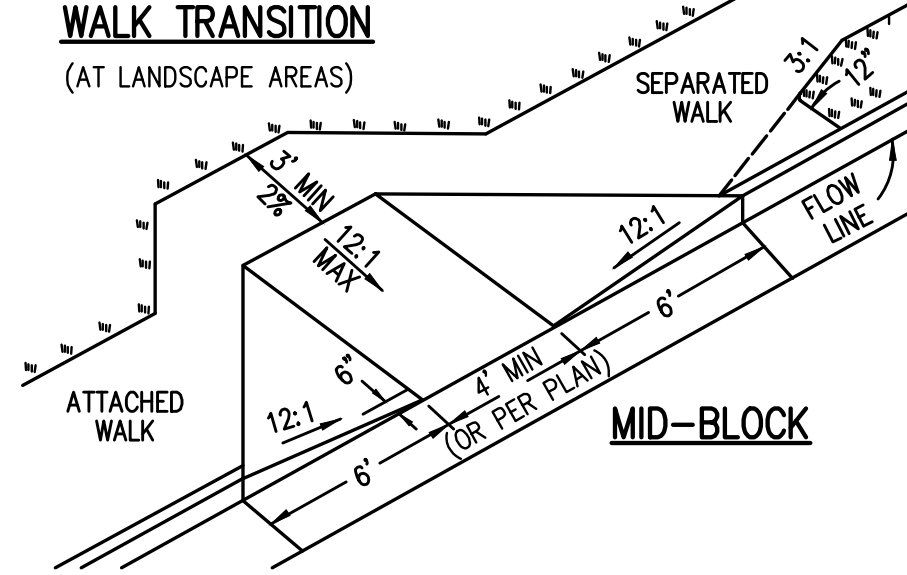
ATTACHED WALK DETAIL
NTS C3.0



WALK DEPRESSION

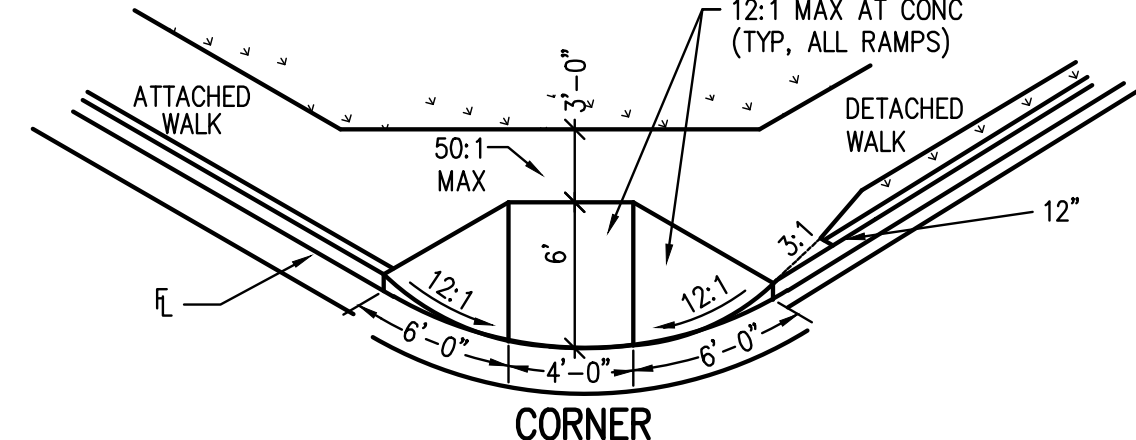


WALK DEPRESSION @ CORNER

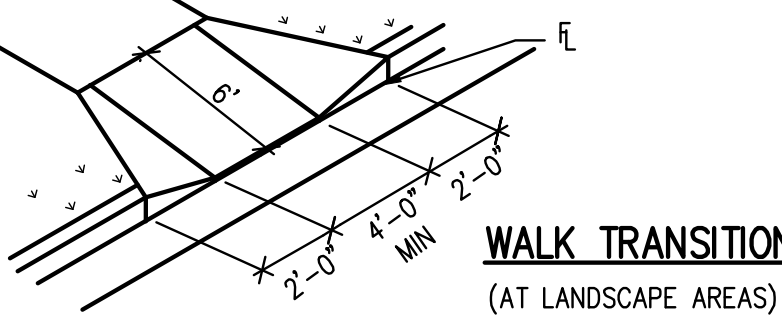


NOTES:
1. THERE SHALL BE NO LIP WHERE THE RAMP MEETS THE GUTTER
2. CURB RAMPS SHALL BE PROVIDED AT ALL CORNERS OF STREET INTERSECTIONS AND AT "T" INTERSECTIONS WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB
3. RAMP LOCATION SHALL BE SPECIFIED ON THE CONSTRUCTION PLANS USE CDOT STANDARDS CURB RAMP DETAIL WITHIN THE RIGHT-OF-WAY
4. SEE CDOT DRAWING M-608-1 FOR FULL NOTES, DETAILS AND DIMENSIONS.

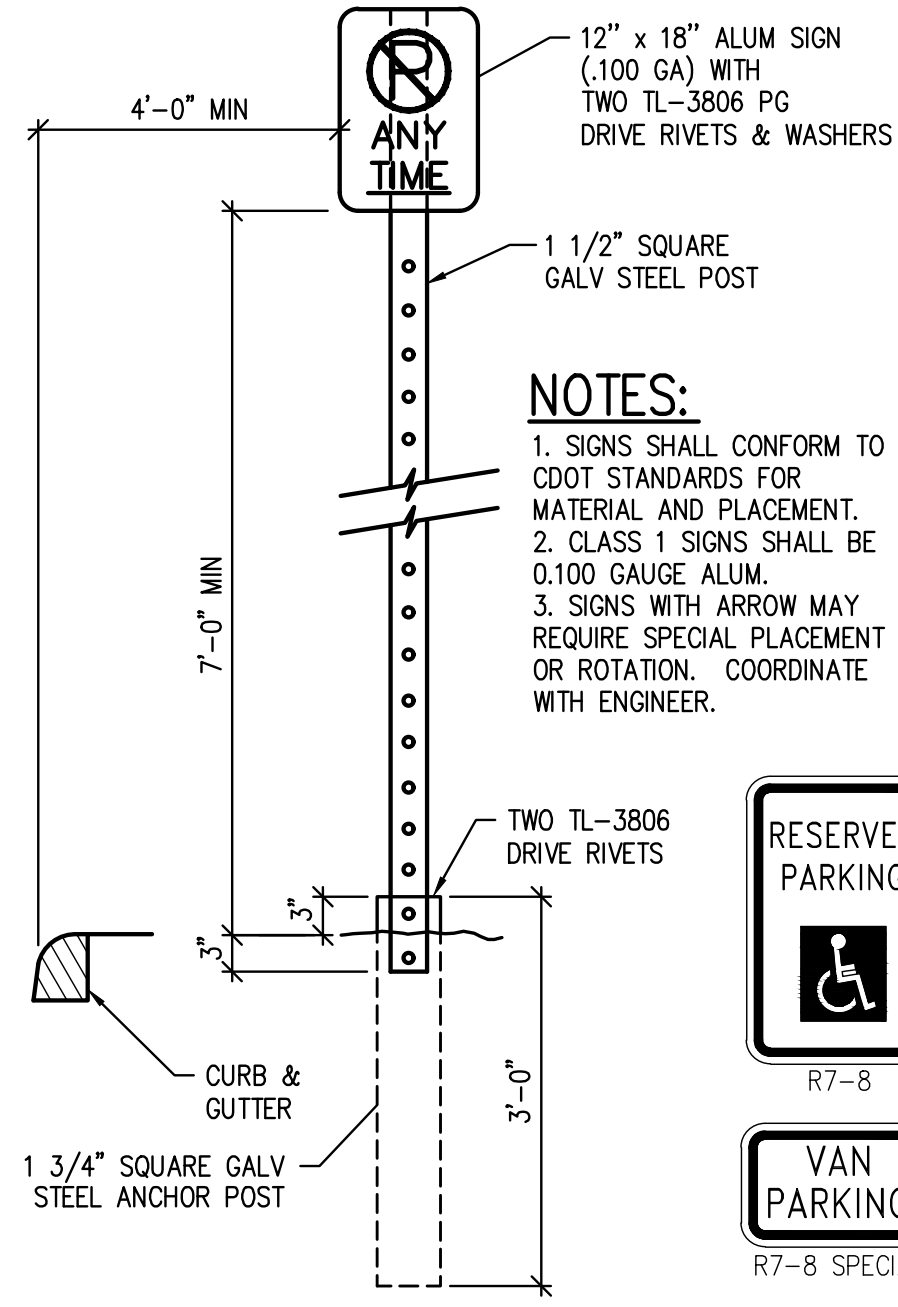
CURB RAMP DETAIL
NTS ON-SITE ONLY C3.0



CORNER



WALK TRANSITION
(AT LANDSCAPE AREAS)



REGULAR/SMALL SIGN SQUARE POST

FOR USE W/ SINGLE SMALL SIGN
(MAX SIZE 12"W X 18"H)

SIGN DETAIL
NTS C3.0

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

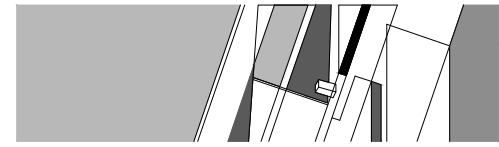
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CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Parks and Recreation	Date
CHECKED BY:	Environmental Planner	Date
CHECKED BY:		Date



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797 Ventura St.
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SPECIFICATIONS

Specifications for Architects, Inc.
6560 West Alamo Drive
Littleton, CO, 80123
303.927.8362

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151 W. Lake Street
Fort Collins, CO 80524

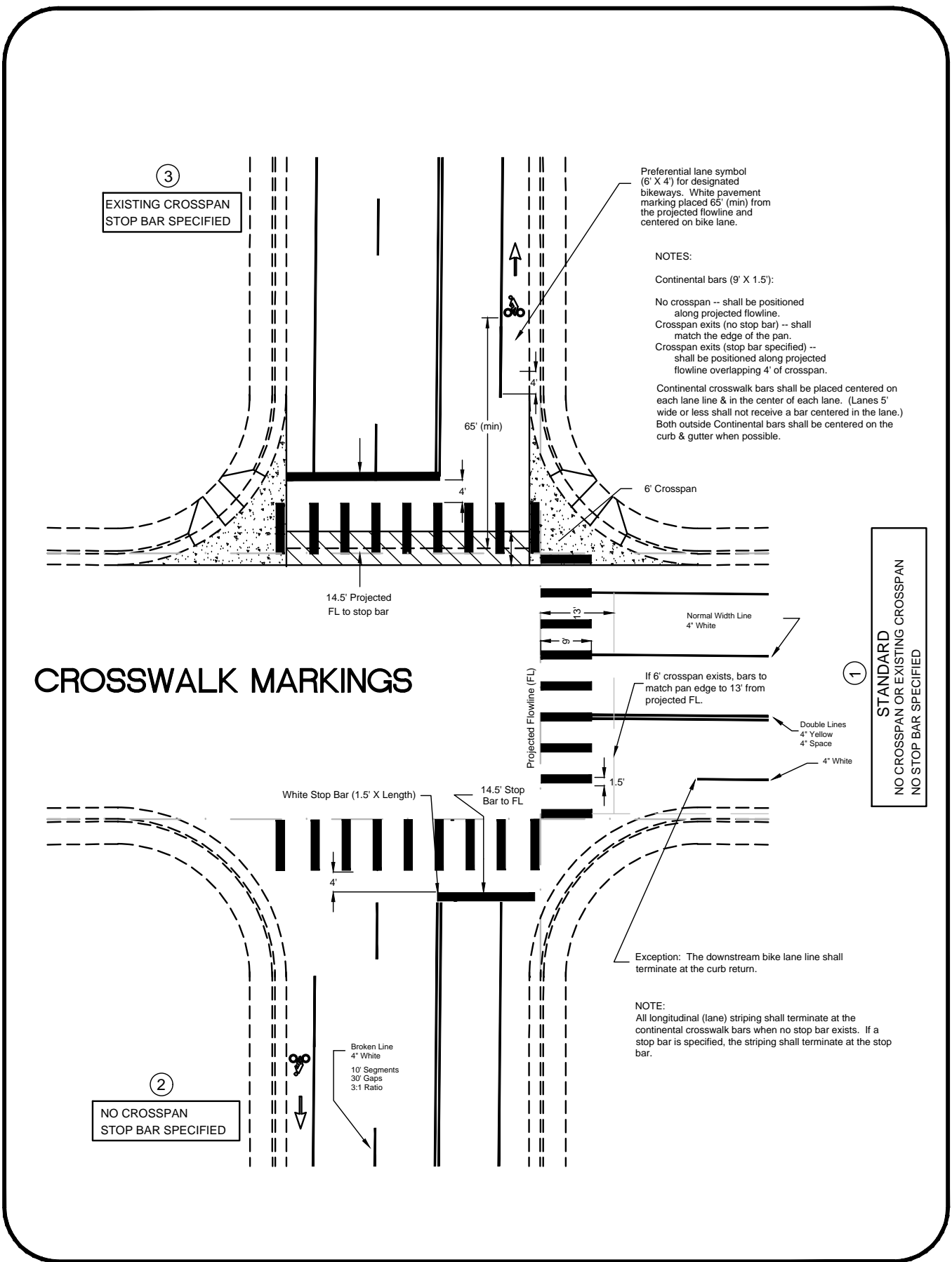
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Issue: 100% UTILITY PLAN SET
Drawn By: KRB
Checked By: KAT
Project Number: 150422.00
Owner Project Number: 14-023

Revisions		

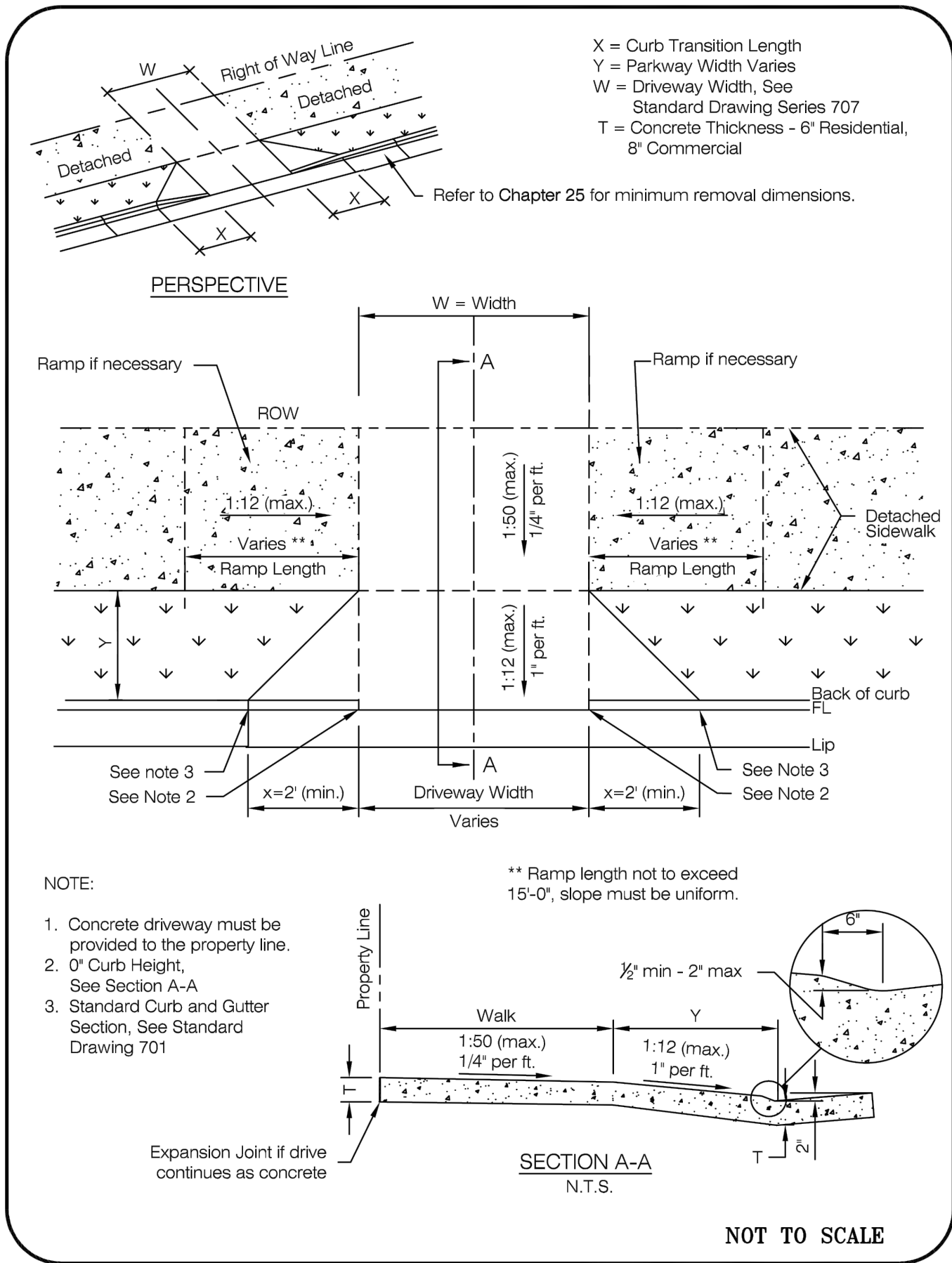
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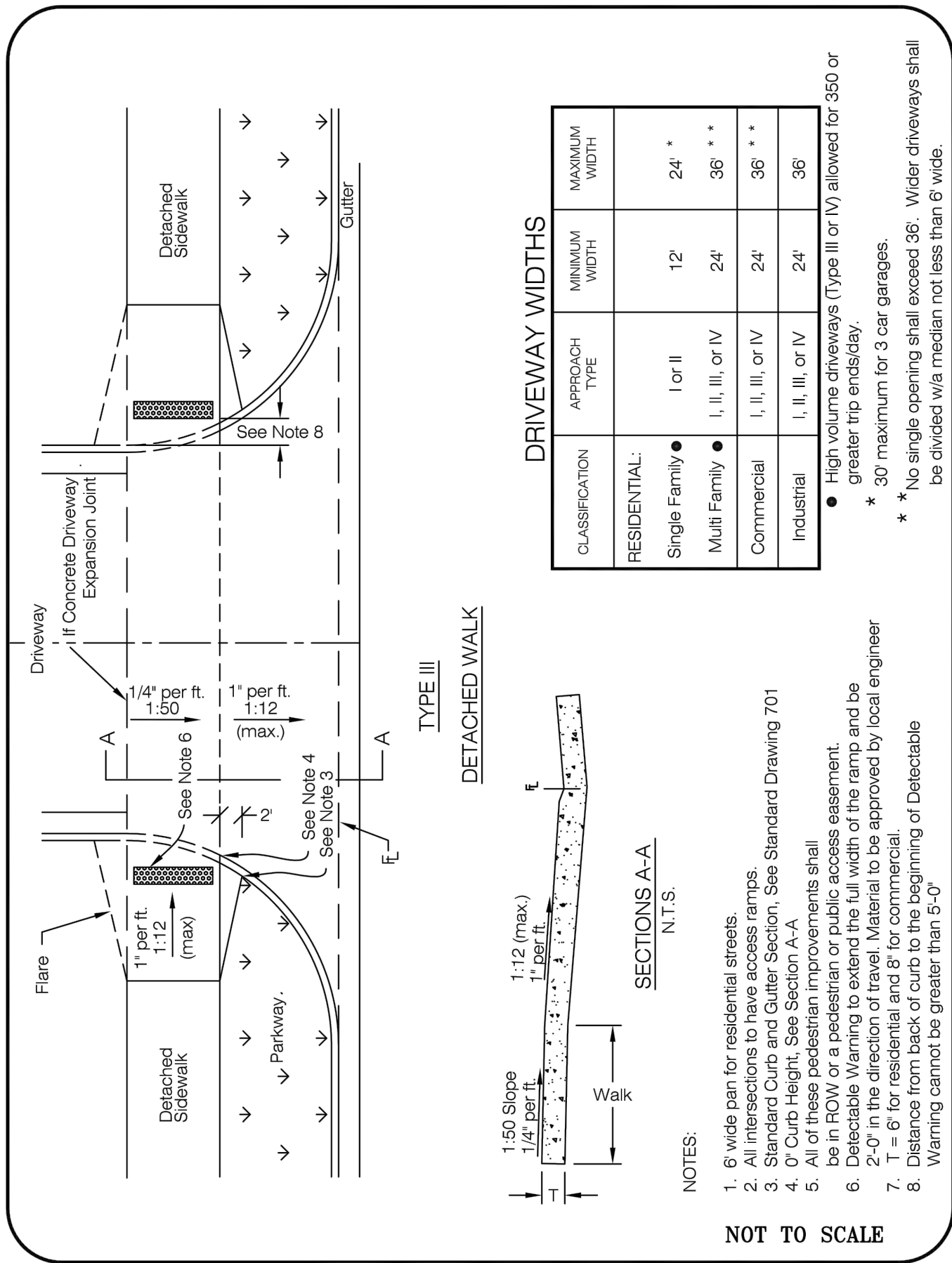
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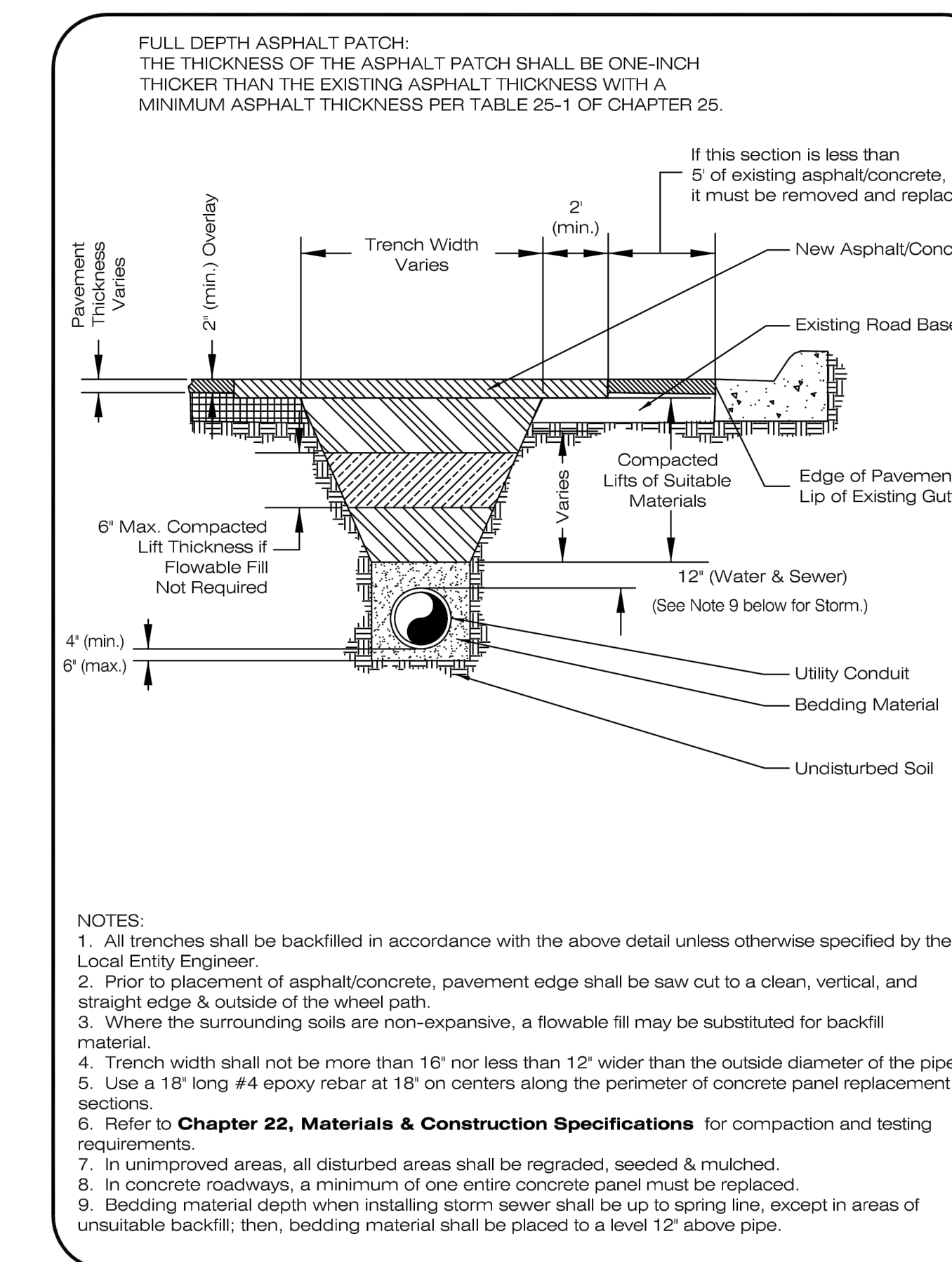
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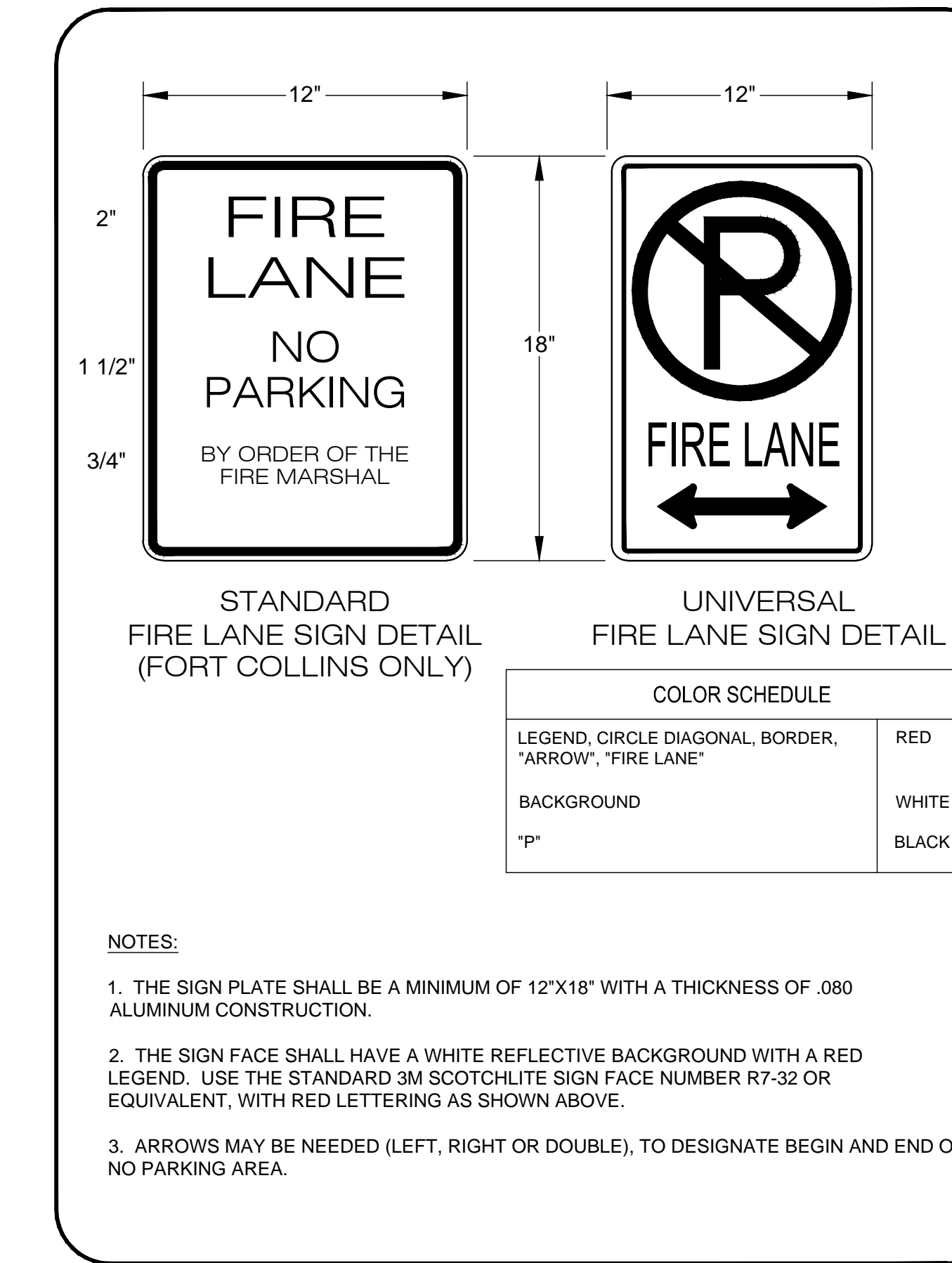
STANDARD DRIVEWAY APPROACH DETACHED WALK (Type I)				
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 02/17/15	DRAWING 706.1	



STANDARD DRIVEWAY APPROACH (HIGH VOLUME DRIVE TYPE III)				
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 4 DATE: 06/26/14	DRAWING 707.1	



TRENCH DETAIL				
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 04/01/07	DRAWING 2201	



FIRE ACCESS ROAD SIGNS				
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 04/01/07	DRAWING 1418	

**City of Fort Collins, Colorado
UTILITY PLAN APPROVAL**

APPROVED: _____ Date _____

CHECKED BY: _____ Date _____

CHECKED BY: _____ Date _____

CHECKED BY: _____ Date _____

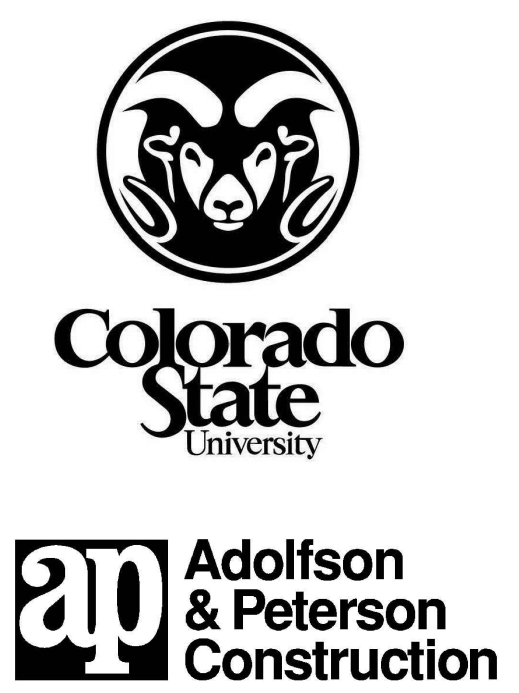
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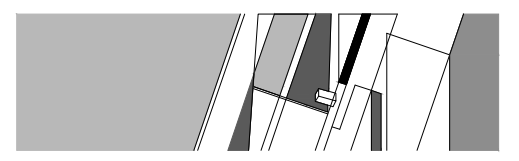
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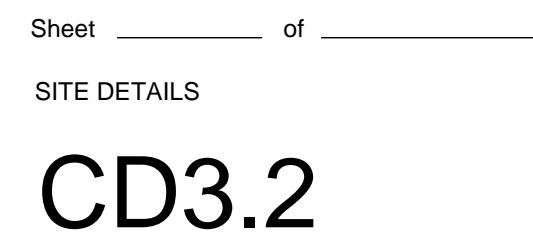
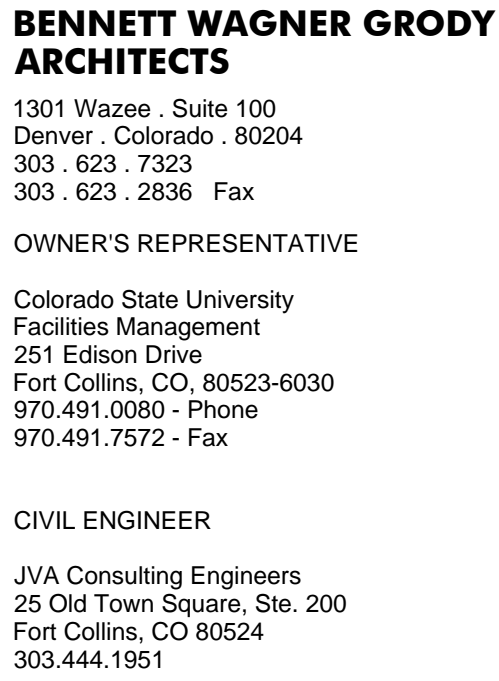
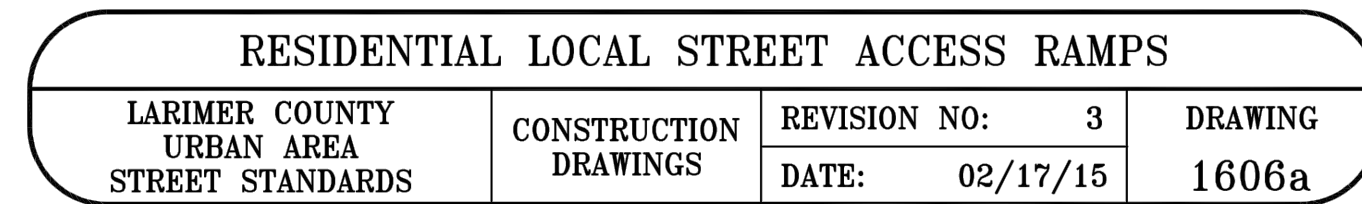
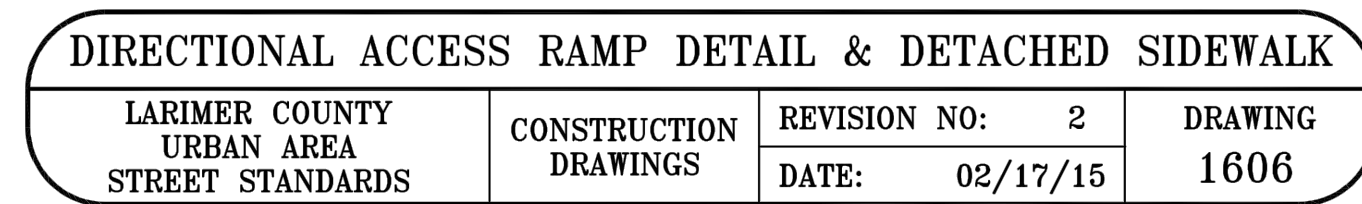
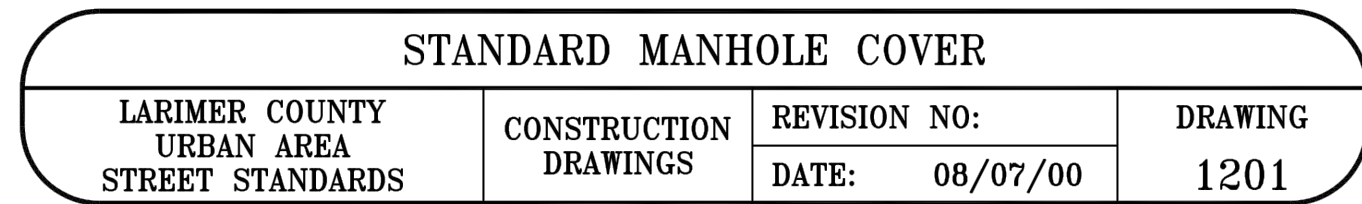
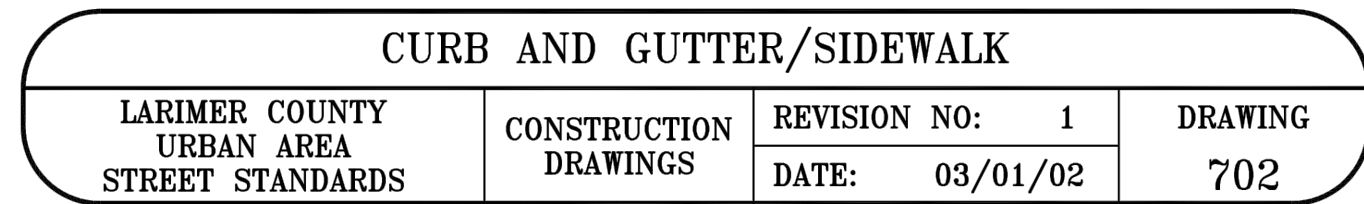
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Issue _____ 100% UTILITY PLAN SET
Drawn By _____ KRB
Checked By _____ KAT
Project Number _____ 150422.00
Owner Project Number _____ 14-023

Revisions		

Sheet _____ of _____

SITE DETAILS

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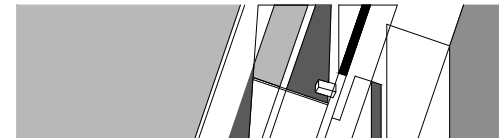




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Date DECEMBER 11, 2015
Issue 100% UTILITY PLAN SET

Drawn By KRB
Checked By KAT

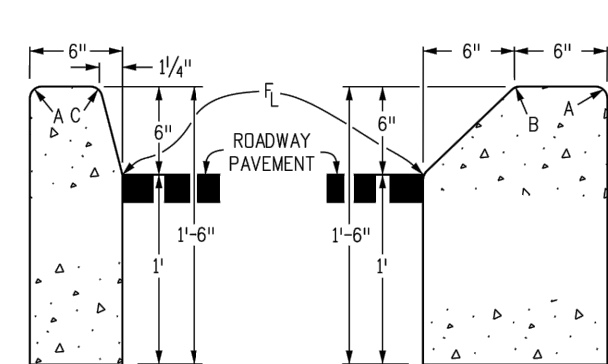
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Owner Project Number 14-023

Revisions

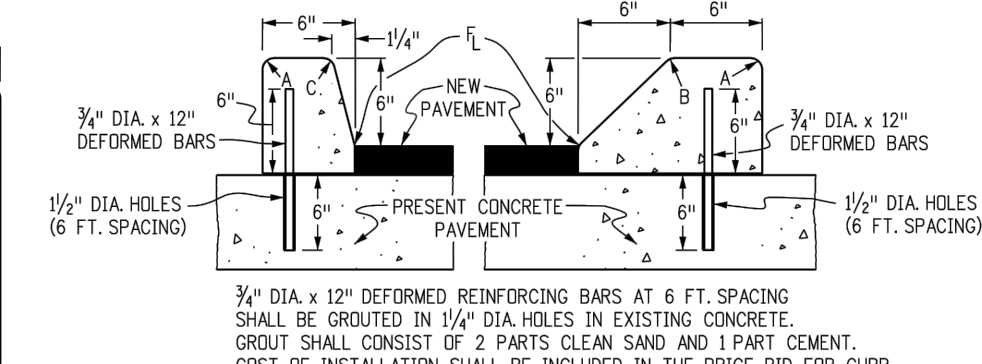
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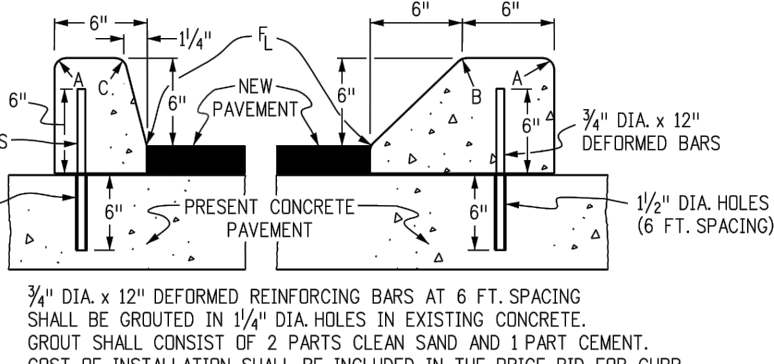
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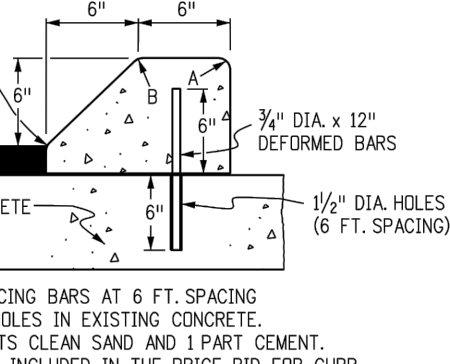
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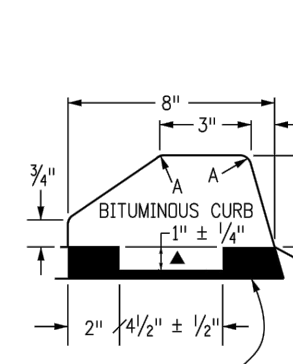
**CURB TYPE 2
(SECTION M)
6 IN. MOUNTABLE**



**CURB TYPE 4
(SECTION B)
6 IN. BARRIER**



**CURB TYPE 4
(SECTION M)
6 IN. MOUNTABLE**

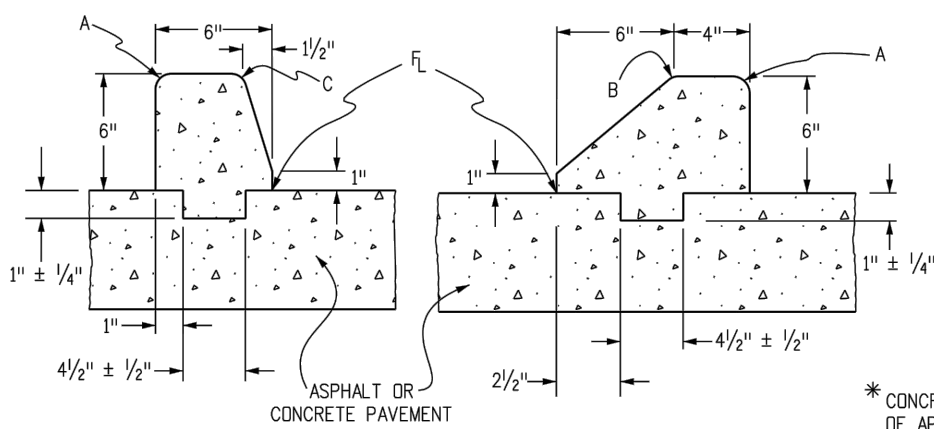


**CURB TYPE 6
(SECTION M)
4 IN. MOUNTABLE**

NOTE: BITUMINOUS OR CONCRETE* UNLESS OTHERWISE SPECIFIED ON THE PLANS.

▲ KEY-WAY MAY BE OMITTED WHEN PLACED UNDER GUARDRAIL.

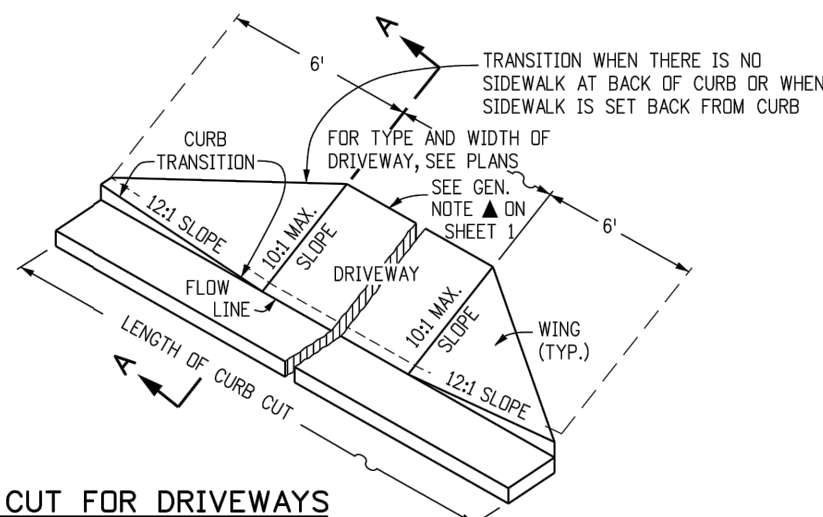
LEGEND FOR RADII
A=1/2" TO 1/4"
B=1"
C=1 1/2"
D=1 1/2" TO 2"



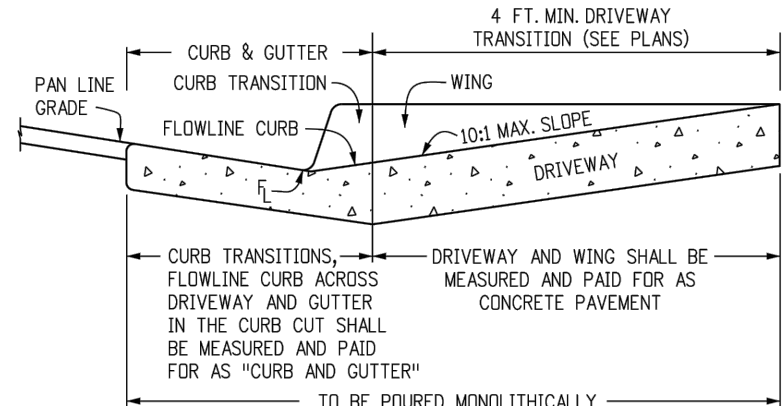
CURB TYPE 4 (KEY-WAY)*

(SECTION M)

* CONCRETE CLASS B SHALL CONTAIN 1.5 POUNDS PER CUBIC YARD OF APPROVED POLYPROPYLENE FIBERS AND MAY HAVE A NOMINAL AGGREGATE SIZE OF 3/4" IN.

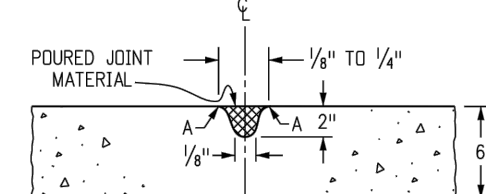


**CURB CUT FOR DRIVEWAYS
(WITHOUT ATTACHED SIDEWALK)**



SECTION A-A

CONCRETE PAVEMENT (DRIVEWAYS)



NOTE: RECOMMENDED JOINT SPACING IS EVERY 8 FOOT ALONG THE WIDTH AND LENGTH OF DRIVEWAY. FOR DRIVEWAYS WIDER THAN 12 FEET, JOINTS ARE REQUIRED.

**TRANSVERSE CONTRACTION JOINT
FOR CONCRETE PAVEMENT (DRIVEWAYS)**

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Last Modification Date: 07/04/12 Initials: LTA
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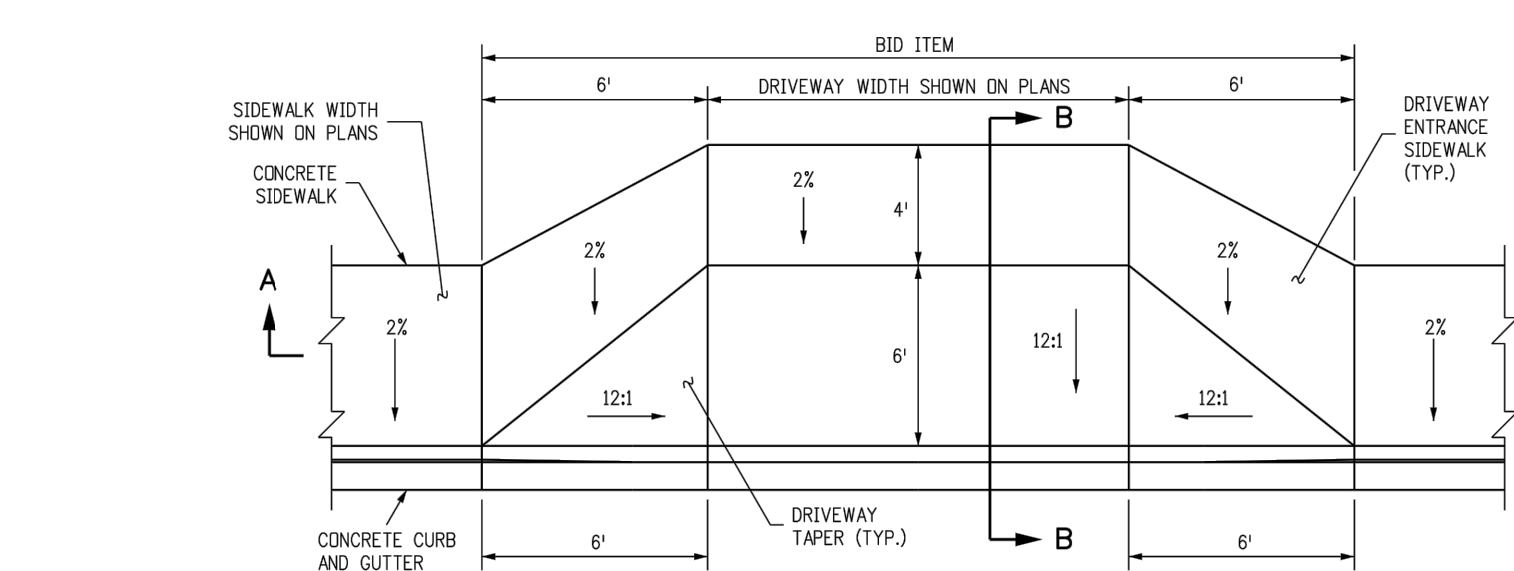
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Date: _____ Comments: _____

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Fax: (303) 757-9820
Project Development Branch DD/LTA

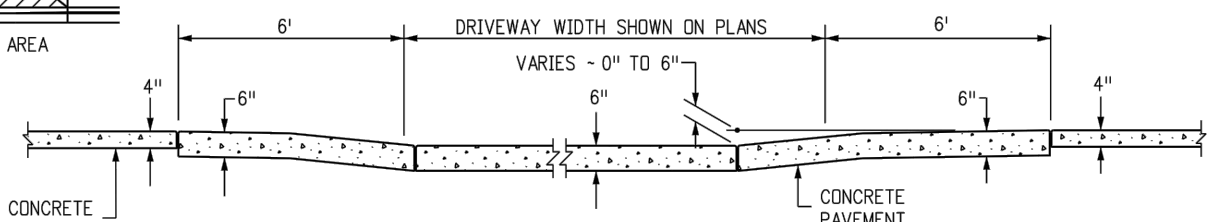
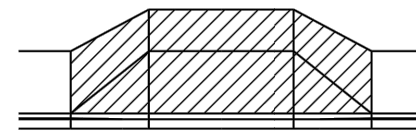
CURB, GUTTERS, AND SIDEWALKS

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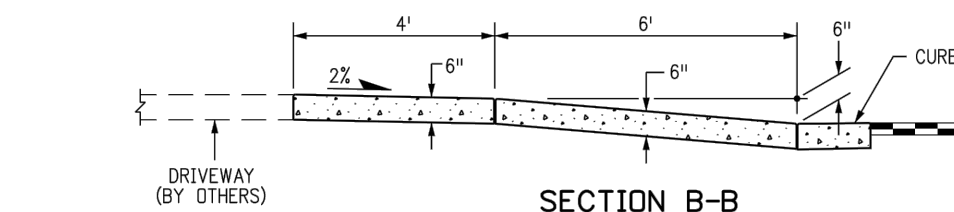
STANDARD PLAN NO.
M-609-1
Sheet No. 2 of 4



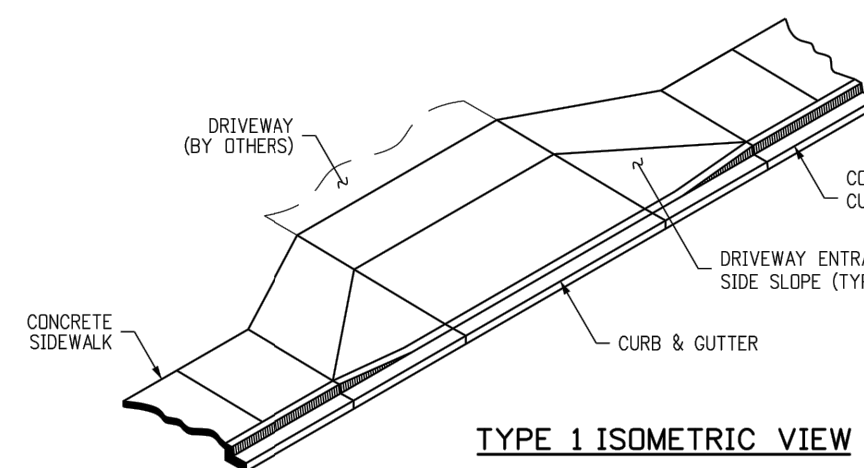
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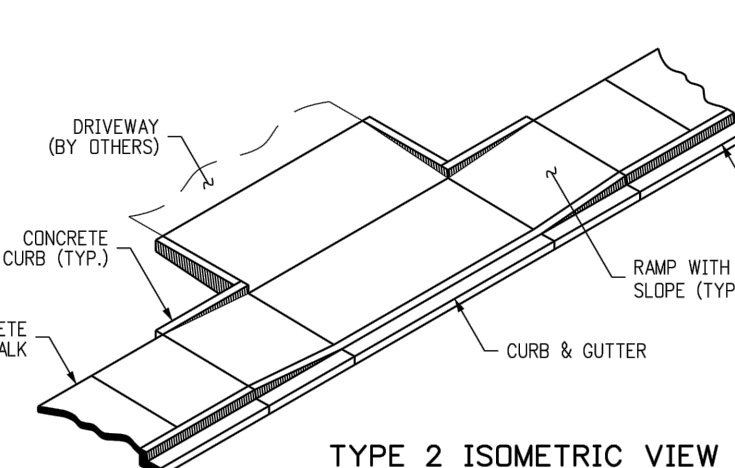
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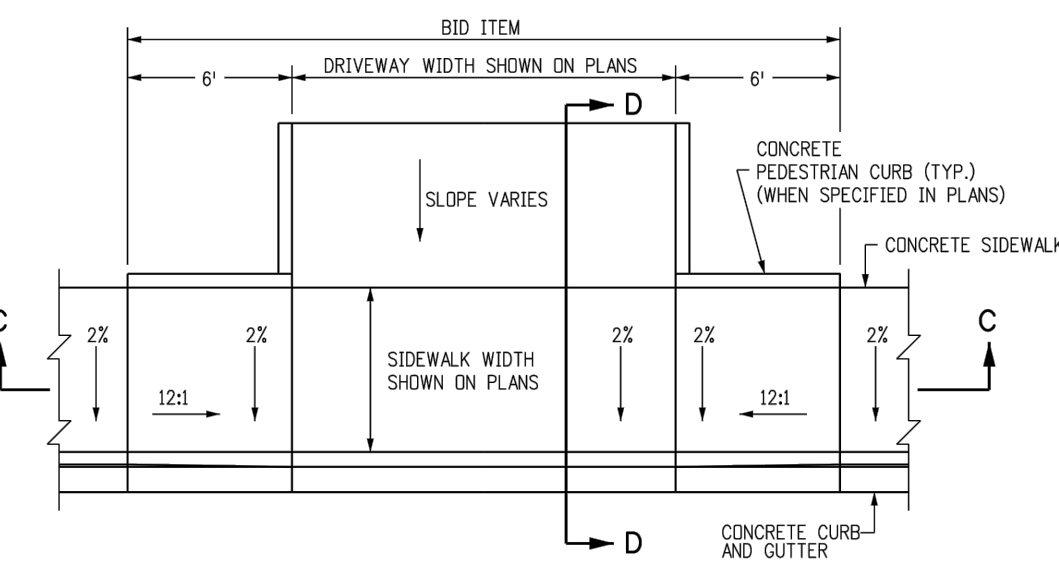
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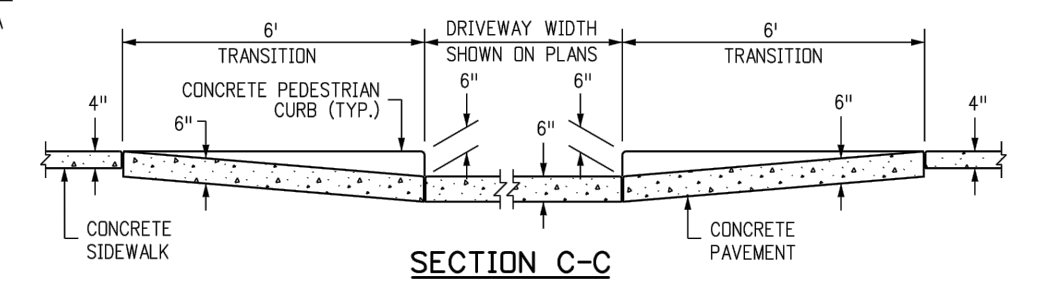
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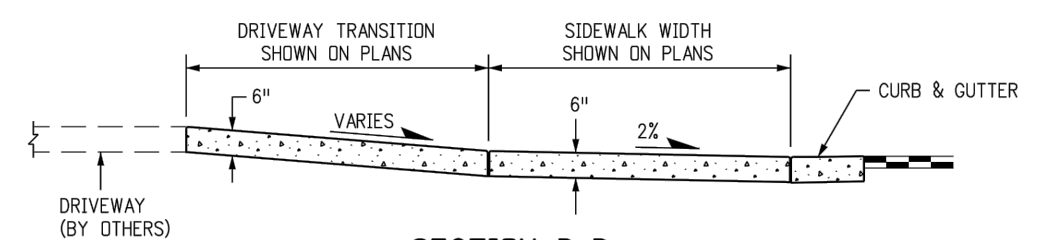
TYPE 2 ISOMETRIC VIEW



CONCRETE DRIVEWAY ENTRANCE TYPE 2



SECTION C-C



SECTION D-D

NOTES

1. DRAINAGE STRUCTURES, TRAFFIC SIGNAL EQUIPMENT, JUNCTION BOXES, AND OTHER OBSTRUCTIONS SHOULD NOT BE PLACED IN FRONT OF THE DRIVEWAY RAMP ACCESS AREAS.
2. FOR THE CURB AND GUTTER SHOWN, SEE PLANS FOR CURB TYPE.
3. RAMP SLOPES SHALL BE 12:1 OR FLATTER.
4. CONSTRUCTION OF THE CONCRETE PEDESTRIAN CURB SHALL BE INCLUDED IN THE BID PRICE OF THE CONCRETE PAVEMENT.

Computer File Information
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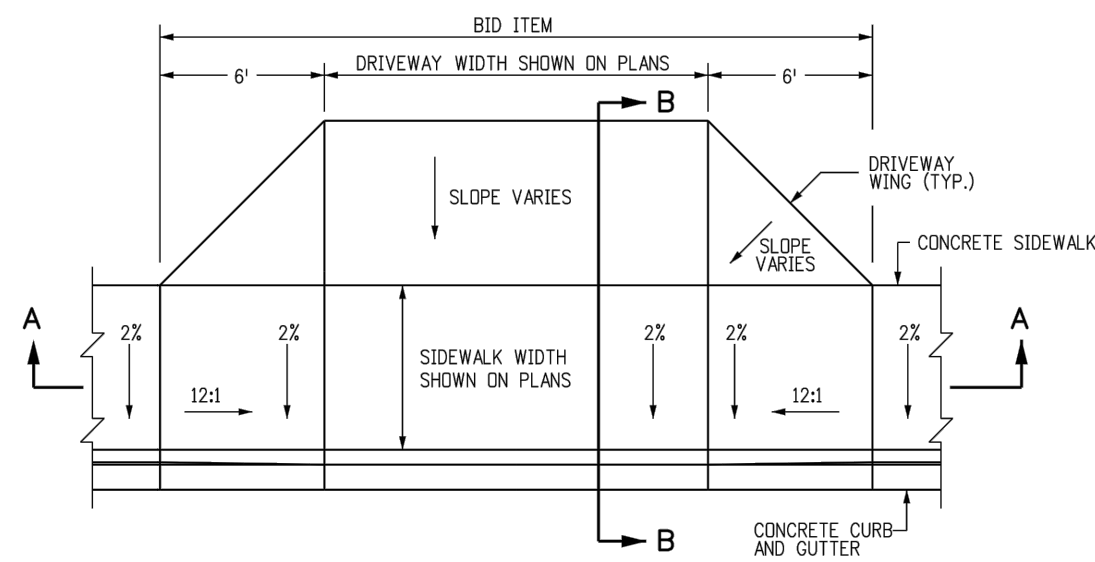
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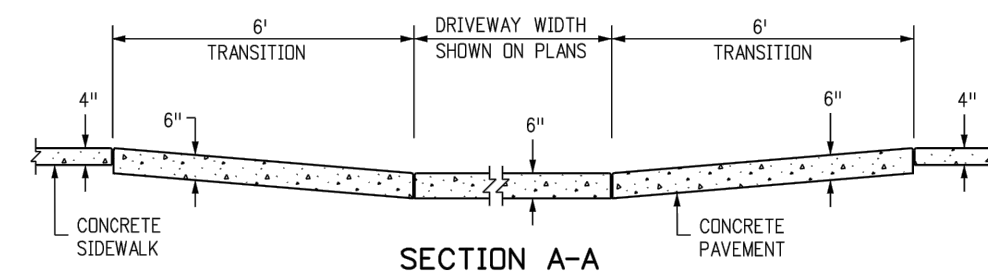
CURB, GUTTERS, AND SIDEWALKS

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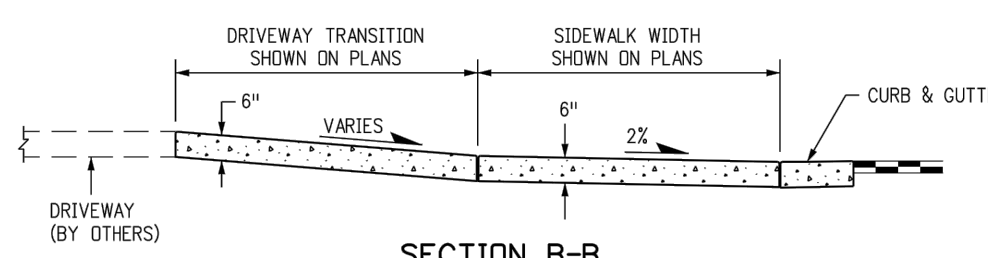
STANDARD PLAN NO.
M-609-1
Sheet No. 3 of 4



CONCRETE DRIVEWAY ENTRANCE TYPE 3



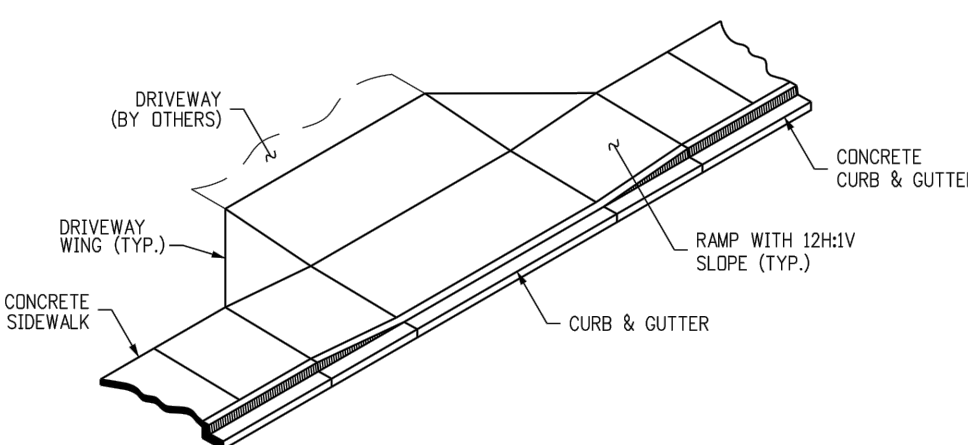
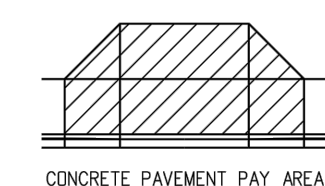
SECTION A-A



SECTION B-B

NOTES

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3. RAMP SLOPES SHALL BE 12:1 OR FLATTER.



TYPE 3 ISOMETRIC VIEW

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Last Modification Date: 07/04/12 Initials: LTA
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Sheet Revisions
Date: _____ Comments: _____

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CURB, GUTTERS, AND SIDEWALKS

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STANDARD PLAN NO.
M-609-1
Sheet No. 4 of 4

City of Fort Collins, Colorado UTILITY PLAN APPROVAL

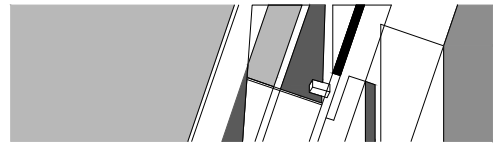
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CHECKED BY: _____	Water & Wastewater Utility	_____	Date
CHECKED BY: _____	Stormwater Utility	_____	Date
CHECKED BY: _____	Traffic Engineer	_____	Date
CHECKED BY: _____	Parks and Recreation	_____	Date
CHECKED BY: _____	Environmental Planner	_____	Date
CHECKED BY: _____		_____	Date



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Issue 100% UTILITY PLAN SET

Drawn By KRB

Checked By KAT

Project Number 15042.00

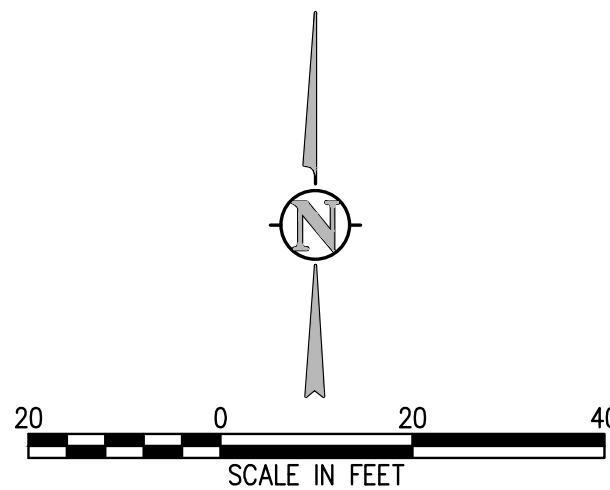
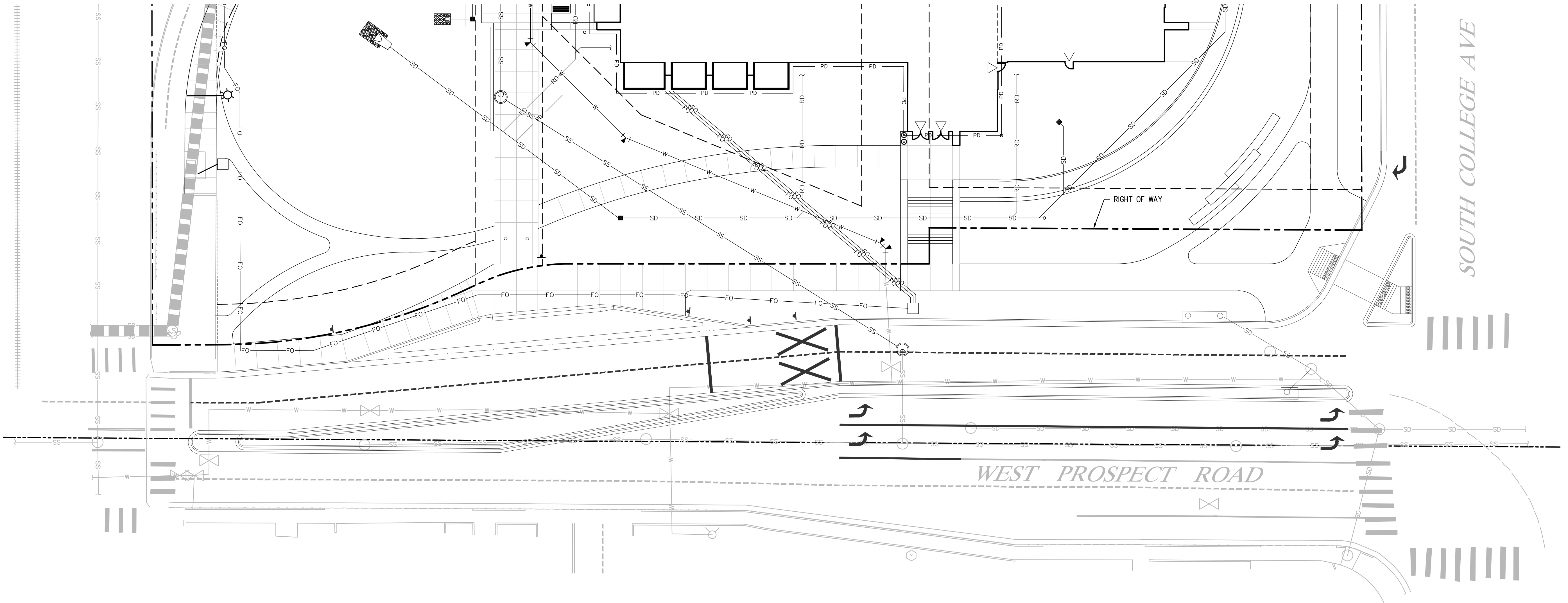
Owner Project Number 14-023

Revisions

Sheet _____ of _____

PROSPECT ROAD IMPROVEMENTS PLAN
(FOR REFERENCE ONLY)

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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ Date _____
City Engineer
CHECKED BY: _____ Date _____
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Stormwater Utility
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Traffic Engineer
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Parks and Recreation
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