



ITEM NO 1
MEETING DATE Jan. 28th, 2016
STAFF Clay Frickey

ADMINISTRATIVE HEARING OFFICER

STAFF REPORT

PROJECT: Centerpoint Plaza, PDP150014

APPLICANT: Patricia Parish
RMG – Rocky Mountain Group
2910 Austin Buffs
Suite 100
Colorado Springs, CO 80919

OWNERS: NexGen Riverbend Holdings
5251 DTC Parkway
Suite 800
Greenwood Village, CO 80111

PROJECT DESCRIPTION:

This is a request for approval of a previously expired Project Development Plan to construct a mixed-use building, which will include both office and retail space on a 2.07 acre site. The building is proposed to be a 24,000 square foot, two-story structure with a mezzanine level. Additional street right-of-way had previously been dedicated to allow for road improvements on Timberline Road. The site is in the (E) Employment zoning district.

RECOMMENDATION: Staff recommends approval of Centerpoint Plaza, PDP150014.

EXECUTIVE SUMMARY:

Staff finds the proposed Centerpoint Plaza Project Development Plan complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The Project Development Plan complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Project Development Plan complies with relevant standards of Article 3 – General Development Standards.

- The Project Development Plan complies with relevant standards located in Division 4.27 Employment (E) of Article 4 – Districts.

COMMENTS:

1. Background

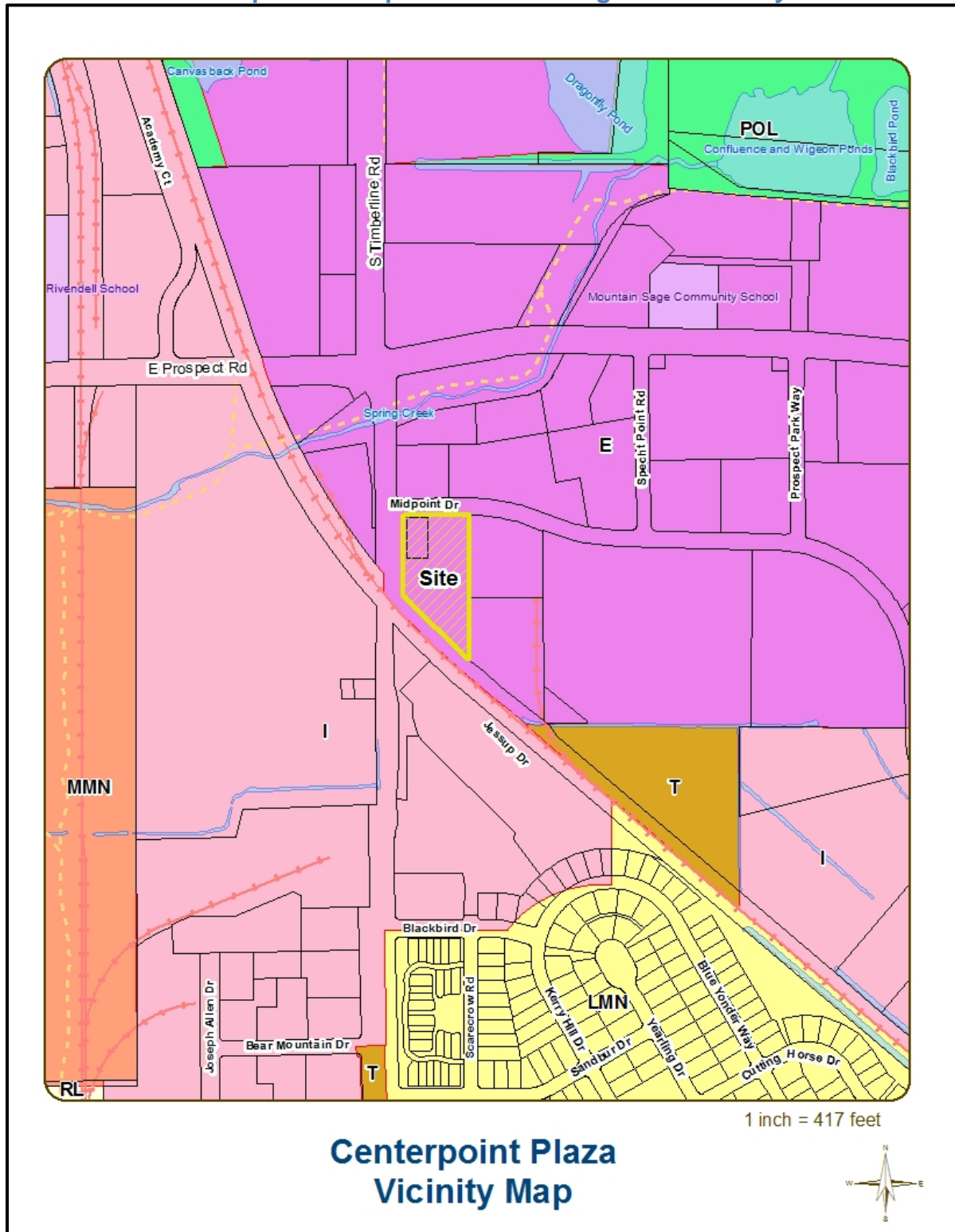
This property was annexed into the City of Fort Collins on September 6th, 1973. In 2003, the lot was platted as Lot 1 of the Centerpoint Plaza subdivision. The original Centerpoint Plaza development contained the existing building at the southeast corner of Midpoint Drive and Timberline Road. The southern half of Lot 1 was left vacant to allow for future development. In 2009, Vignette Studios sought to replat and develop the southern half of Lot 1 of Centerpoint Plaza, which became the Centerpoint Plaza Replat Project Development Plan. Vignette Studios proposed the construction of a 48,000 square foot, 2 ½ story building with 83 parking spaces. The Centerpoint Plaza Replat PDP gained approval from a hearing officer and was recorded with the City of Fort Collins on June 17th, 2009. Despite gaining approval, the development team for the Centerpoint Plaza Replat did not install the public infrastructure necessary to achieve vesting of their development plan. The approved Project Development Plan lapsed June 17th, 2012.

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Employment (E)	Office, retail, gasoline sales, drive-thru restaurant
South	Industrial (I), Low Density Mixed-Use Neighborhood (LMN)	Retail, restaurant, single-family homes, multi-family homes
East	Employment (E)	Institutional, office, light industrial
West	Industrial (I), Medium Density Mixed-Use Neighborhood (MMN)	Institutional, light industrial

A zoning and site vicinity map is presented on the following page.

Map 1: Centerpoint Plaza Zoning & Site Vicinity



2. Compliance with Article 3 of the Land Use Code – General Development Standards:

The project complies with all applicable General Development Standards as follows:

A. *Division 3.2.1(D)(1)(c) – Tree Planting Standards - Full Tree Stocking*

The proposed landscaping meets the minimum tree stocking standards. The landscape plan shows groups of canopy and ornamental trees planted with spacing that meets the minimum requirements outlined in the code.

B. *Section 3.2.1(D)(2) - Tree Planting Standards - Street Trees*

The Land Use Code requires canopy shade trees to be planted at thirty to forty-foot spacing in the center of parkway areas where the sidewalk is detached from the street. Two of the proposed trees are not canopy shade trees. The applicant proposes two Sargent Crabapple trees along Timberline Road. This is due to a Poudre River Power Authority (PRPA) easement encumbering much of the southwestern portion of the property (Attachment 3). PRPA has transmission lines that abut the southwestern edge of the property that require a 100 foot easement for maintenance purposes. As such, PRPA does not allow canopy shade trees within their easements. PRPA has reviewed and approved the proposed landscape plan as part of this Project Development Plan. The Land Use Code provides relief from this standard by allowing ornamental trees to substitute canopy shade trees where overhead lines prevent normal growth and maturity in section 3.2.1(D)(2)(c). Since the proposed landscape plan meets the exception outlined in 3.2.1(D)(2)(c) and has been approved by PRPA, staff finds the proposed landscape plan meets this code section.

C. *Section 3.2.1(E)(3) – Water Conservation*

The proposed landscape plan uses appropriate water conservation techniques to achieve a total annual water use less than 15 gallons/square foot over the entire site and meet this code standard.

D. *Section 3.2.1(E)(4) - Parking Lot Perimeter Landscaping*

The proposed parking lot perimeter landscaping meets this code requirement by screening parking areas from abutting uses, providing one tree every 25 feet along public streets and screening the parking lot from abutting uses and the street. The perimeter of the parking area will be screened with a low wall consisting of tall grasses, small shrubs, and ornamental trees.

E. *Section 3.2.1(E)(5) - Parking Lot Interior Landscaping*

The proposed parking lot interior landscaping meets this code requirement by providing areas of shading and landscaped islands. Each landscaped island will have at least one canopy tree with a complement of small shrubs and grasses, except for islands within the PRPA easement, which will provide ornamental trees. The parking areas also exceed the 6% minimum parking lot interior landscaping requirement.

F. *Section 3.2.2(C)(4)(b) - Bicycle Parking Space Requirements*

The Land Use Code requires one bicycle parking space per 4,000 square feet with 20% provided in an enclosure and 80% provided via fixed racks. For a 24,000 square foot office building, the Land Use Code requires six bike parking spaces with one provided in an enclosure and five provided via fixed racks. The proposed building will provide two enclosed bicycle parking spaces and four fixed rack bicycle parking spaces.

G. *Section 3.2.2(C)(5) - Walkways*

Walkways must be provided to link sidewalks with building entries through parking lots. These walkways must also provide direct connections to off-site pedestrian and bicycle destinations. The proposed walkways connect the main entrances of the building to the sidewalk network of the adjacent development to the north. The walkways also connect to the sidewalk along Timberline Road.

H. *Section 3.2.2(D)(1) – Access and Parking Lot Requirements - Pedestrian/Vehicle Separation*

To the maximum extent feasible, pedestrians and vehicles shall be separated through provisions of a sidewalk or walkway. The site complies

with this standard by providing an extensive sidewalk network around the building. The sidewalk is separated from vehicle use areas by a curb.

I. *Section 3.2.2(E) - Parking Lot Layout*

The proposed parking lot layout is consistent with requirements of the Land Use Code in regards to circulation routes, orientation, landscaped islands, and points of conflict.

J. *Section 3.2.2(J) - Setbacks*

The proposed parking areas are setback further than the 10-foot minimum from non-arterial streets and 5-foot minimum along a lot line required per the Land Use Code.

K. *Section 3.2.2(K)(2) - Nonresidential Parking Requirements*

The minimum, maximum, and proposed parking are contained in the table below. The proposed parking is within the range of required parking and thus meets the requirements of the Land Use Code.

Table 1: Proposed Parking

Use	Min. Parking	Max. Parking	Parking Provided
Office (12,000 square feet)	1/1,000 square feet = 12 parking spaces	3/1,000 square feet = 36 parking spaces	36 spaces
Retail (12,000 square feet)	2/1,000 square feet = 24 parking spaces	4/1,000 square feet = 48 parking spaces	44 spaces

L. *Section 3.2.2(K)(5) - Handicap Parking*

Parking lots with 76-100 parking spaces are required to provide four handicap accessible spaces with at least one van accessible parking space. The proposed site plan shows four handicap accessible parking spaces, two of which are van accessible.

M. *Section 3.2.3 - Solar access, orientation, shading*

All developments must be designed to accommodate active and/or passive solar installations and must not deny adjacent properties access

to sunshine. The proposed building is designed and located to minimize the casting of shadows on adjacent properties and could accommodate future active and/or passive solar installations.

N. *Section 3.2.4 - Site Lighting*

The proposed lighting plan is consistent with the requirements of the Land Use Code in regards to the general standard, lighting levels, and design standards.

O. *Section 3.2.5 - Trash and Recycling Enclosures*

Trash and recycling enclosures must be provided in locations abutting refuse collection or storage areas, shall be designed to allow walk-in access without having to open the main service gate, shall be screened from public view, and shall be constructed on a concrete pad. The proposed trash and recycling enclosure abuts a storage area, allows walk-in access without having to open the main service gate, is screened from public view, and is built on a concrete pad.

P. *Section 3.5.1 - Building and Project Compatibility*

The proposed plan is consistent with the requirements of the Land Use Code in regards to building and project compatibility including building size, height, bulk, mass, scale, mechanical equipment screening, and operational/physical compatibility.

Size, Height, Bulk, Mass and Scale

The projects adjacent to Centerpoint Plaza include a 2 ½ story office building to the north and a two story industrial building to the east. Other non-adjacent developments include a three story institutional building, one story car wash, and a one story office park complex.

The proposed building will be of a similar height and scale to the majority of the developments in its immediate surroundings. The proposed building will use similar materials to the Centerpoint Plaza. The proposed building elevations also show nearly identical details to the existing building to the north. Given these similarities, the proposed structure will fit in seamlessly with its surroundings and meets this code standard.

Outdoor Storage Areas/Mechanical Equipment

The proposed plan is consistent with the requirements of the Land Use Code in regards to the location of outdoor storage, screening of storage areas, and screening of rooftop mechanical equipment from public view.

Operational/Physical Compatibility

The proposed plan is consistent with the requirements of the Land Use Code in regards to hours of operation, placement of trash receptacles, and location and number of off-street parking spaces.

Q. *Section 3.5.3(D) - Variation in Massing*

The proposed building is consistent with the requirements of the Land Use Code in regards to horizontal massing and changes in massing being related to entrances, the integral structure and interior spaces of the building. No horizontal plane exceeds a 1:3 height-width ratio. The changes in massing also relate to building features such as doors and windows, which are integral to the interior spaces of the building.

R. *Section 3.5.3(E) - Character and Image*

The proposed building is consistent with the relevant requirements of this Land Use Code section including façade treatments, entrances, and base and top treatments. All walls break up their mass with windows, change in materials, and fenestration pattern to provide a human scale. Each entrance to the building is clearly defined by an extruded archway. The proposed building has a distinct base, middle, and top defined by changes in materials, brick/stucco banding, and prominent entry features.

S. *Section 3.6.6 – Emergency Access*

An emergency access easement is proposed that runs through the parking area on the south side of the site. The emergency access easement ensures emergency vehicles can gain proper access and maneuvering to reach all portions of the proposed building.

3. **Compliance with Article 4 of the Land Use Code – Employment (E), Division 4.27:**

The project complies with all applicable Article 4 standards as follows:

A. *Section 4.28(B)(2)(c) – Permitted Uses*

The proposed uses, office and retail, are permitted in the Employment zone district and are consistent with the district's intent to provide a variety of workplaces throughout the community.

B. *Section 4.27(D)(4)(a) – Dimensional Standards - Maximum Building Height*

The proposed building complies with the 4-story maximum building height requirement.

5. **Findings of Fact/Conclusion:**

In evaluating the request for the Centerpoint Plaza Project Development Plan, Staff makes the following findings of fact:

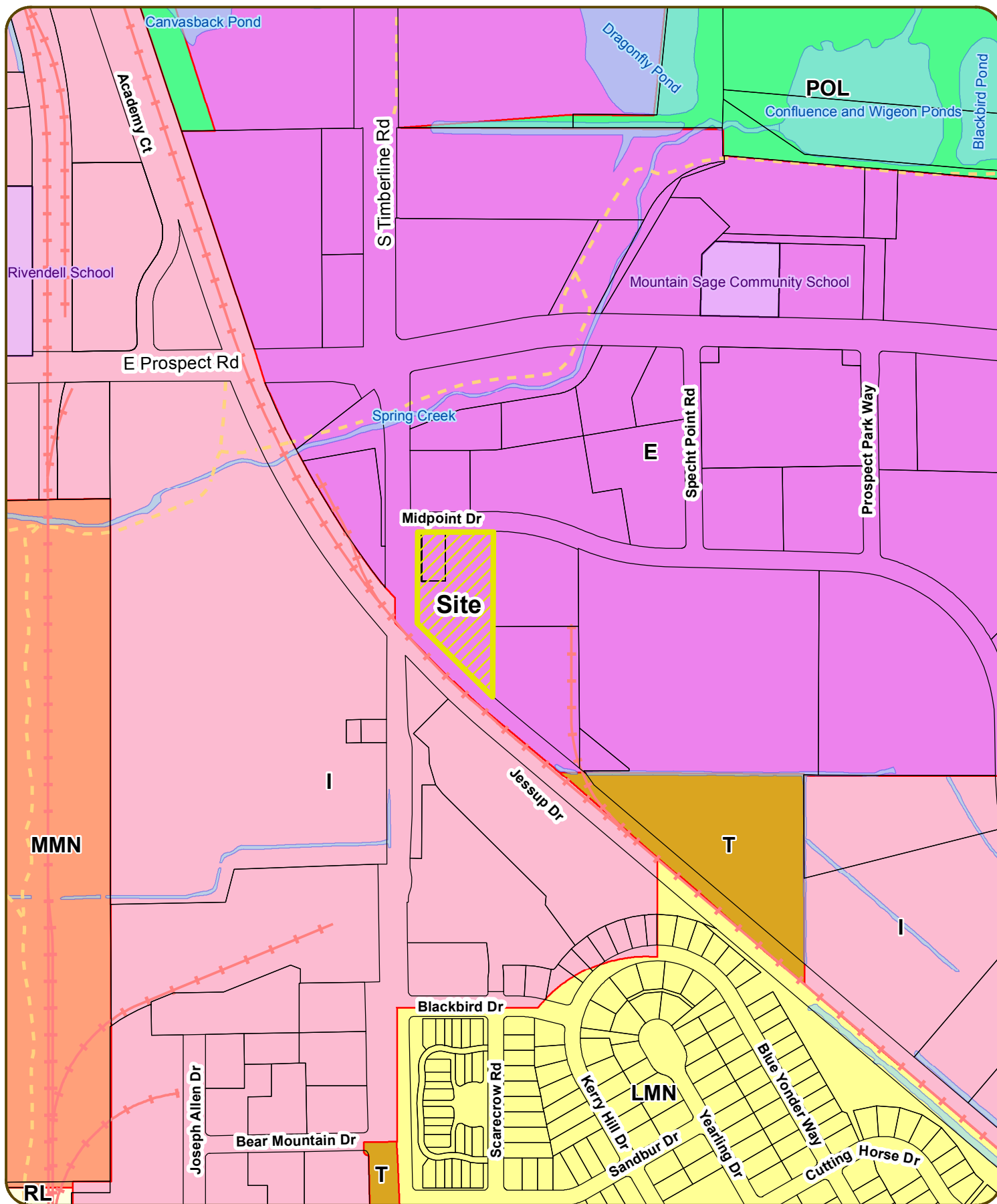
- A. The Project Development Plan complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The Project Development Plan complies with relevant standards located in Article 3 – General Development Standards.
- C. The Project Development Plan complies with relevant standards located in Division 4.27 Employment (E) of Article 4 – Districts.

RECOMMENDATION:

Staff recommends approval of the Centerpoint Plaza, PDP150014.

ATTACHMENTS:

1. Zoning & Site Vicinity Map
2. Applicant's Statement of Planning Objectives
3. Centerpoint Plaza Planning Document Set (Site Plan, Elevations, Landscape Plan & Photometric Plan)



1 inch = 417 feet

Centerpoint Plaza Vicinity Map





July 15, 2015

Planning and Zoning Board

Fort Collins Planning
281 North College Ave.
Fort Collins, CO 80524

**RE: Planning Objectives for
Centerpoint Plaza Project Development Plan (PDP)**

Dear Planning and Zoning Board Members

The proposed Centerpoint Plaza PDP is located south of Midpoint Drive and east of Timberline Road. The Burlington Northern Railroad runs adjacent to the south side site. An existing warehouse distributing facility is located to the southeast of the property, which is accessed from Midpoint Drive and a commercial development is directly north, across Midpoint Drive. The applicant proposes one mixed-use building, which will be a combination of office and retail uses on 2.07 acres. The building is proposed to be a two-story with a mezzanine level and will consist of office and retail. Additional street right-of-way (ROW) has previously been dedicated to allow for road improvements on Timberline Road. Additional right-of-way has also been dedicated adjacent to Midpoint Drive.

- (i) The site currently zoned E - Employment Zoning District. The Final Development Plan was approved in 2009 but unfortunately was not completed in terms of conditions of approval prior to the expiration date. The plans submitted will be brought up to current Ft. Collins's development plan standards. Previous versions satisfied the City Plan Principles and Policies and were approved as such.
- (ii) The design objectives of the proposed landscape plan are to provide an attractive streetscape, screen parking and service areas and to enhance the pedestrian and vehicular experience within the site. Deciduous and evergreen trees and foundation plantings will be used to enhance the architecture and provide shade and seasonal color. The applicant proposes to achieve an overall balanced landscape plan that will comply with the landscape and tree protection requirements slated in the current Land Use Code. The proposed landscape plan for the project will utilize the following xeriscape principles; plant material with low to moderate water requirements and limited turf areas, effective use of soil amendments and mulches. An efficient irrigation system, appropriate

maintenance, buffers along Timberline Road, Midpoint Drive and along the south property line, interior trees to enhance shading the paved areas to cool the property.

- (iii) Open space on the private property will consist of landscaped buffers. The property owners will maintain these areas of landscape and the building area unless a Condominium Association is formed.
- (iv) Approximately 58 employees are proposed for the site.
- (v) This is an infill site within a busy commercial/office/warehouse area. Its easy access to Prospect Street, a 4-lane arterial, and Timberline, a major 6-lane arterial makes this an ideal location for an employment center. Ft. Collins is on the upswing for economic development, partly because of its planning principles and ideology. This building will be an attractive addition to an area that is “up and coming” as it sits just north of a large lot, agricultural area just south of the Burlington Northern Railroad tracks. The easy access to the bus system, sidewalks and bike trails will allow a sustainable pool of employees with adequate transportation to and from work.
- (vi) Site Development Standards will be adhered to. (See section (ii) for Landscape Plan comments). Traffic, landscape and utilities will be coordinated to maximize the benefits and mitigate the conflicts. Pedestrian, non-motorized and motorized vehicles will be designed for maximum safety and circulation. Bicycle racks are positioned for easy access. Setbacks, maximum building height and lot coverage will meet the E Zone District standards. Two points of access are provided off Midpoint Drive, which are aligned with the vehicular accesses to the Spring Creek Center development north of Midpoint Drive. The Development Plan shows a total of 130 parking spaces, adding 76 standard and 4 ADA spaces to the already existing 44 spaces to the north, servicing the existing office/retail building known as Riverbend. (See Attachment “A” for Alternative Compliance Request) Parking ratios are based on the Land Use Code requirement of 1- 2 parking spaces per 1,000 square feet for office /retail (The higher requirement of 2/1,000 square feet was used since the ratio of office to retail is not known until the building is leased).. The maximum height of the building is 40 feet (similar to existing building on Lot 1). The building is scaled to the pedestrian level, with metal roof with parapet and a variety of complimentary colors and materials. Building materials consist of masonry, synthetic stucco and architectural pre-finished metal siding, similar to the adjacent Riverbend Services office/retail building to the north.

The mixed-use building compliments the surrounding development and promotes a compact employment center, well-served by all modes of transportation. Direct pedestrian connections will be provided and encouraged. The buildings have been designed to provide an interesting facade with architectural features over main entry doors.

Grading, drainage and erosion control will be shown on the plans, utilizing existing catch basins and improvements proposed.

- (vii) No wetlands, natural features or wildlife habitat are reported to be present on the land.

(viii) At a previous neighborhood meeting in 2009 of surrounding neighbors, there were no specific comments to address.

(ix) Previous name of the Project was the same as the current name: Centerpoint Plaza

Thank you for your consideration and we look forward to working with you during the development review process.

Sincerely,

A handwritten signature in green ink that reads "Patricia Parish". The signature is fluid and cursive, with the first name and last name clearly distinguishable.

Patricia Parish, AICP
Land Planning Director
RMG – Rocky Mountain Group

Attachment A

Alternative Compliance Request Centerpoint Plaza Project Development Plan July 15, 2015

This request is for an alternative compliance for parking as outlined in the Fort Collins Land Use Code. The alternative compliance being requested is from Section 3.2.2(N), *Exception to the General Office Parking Standard*.

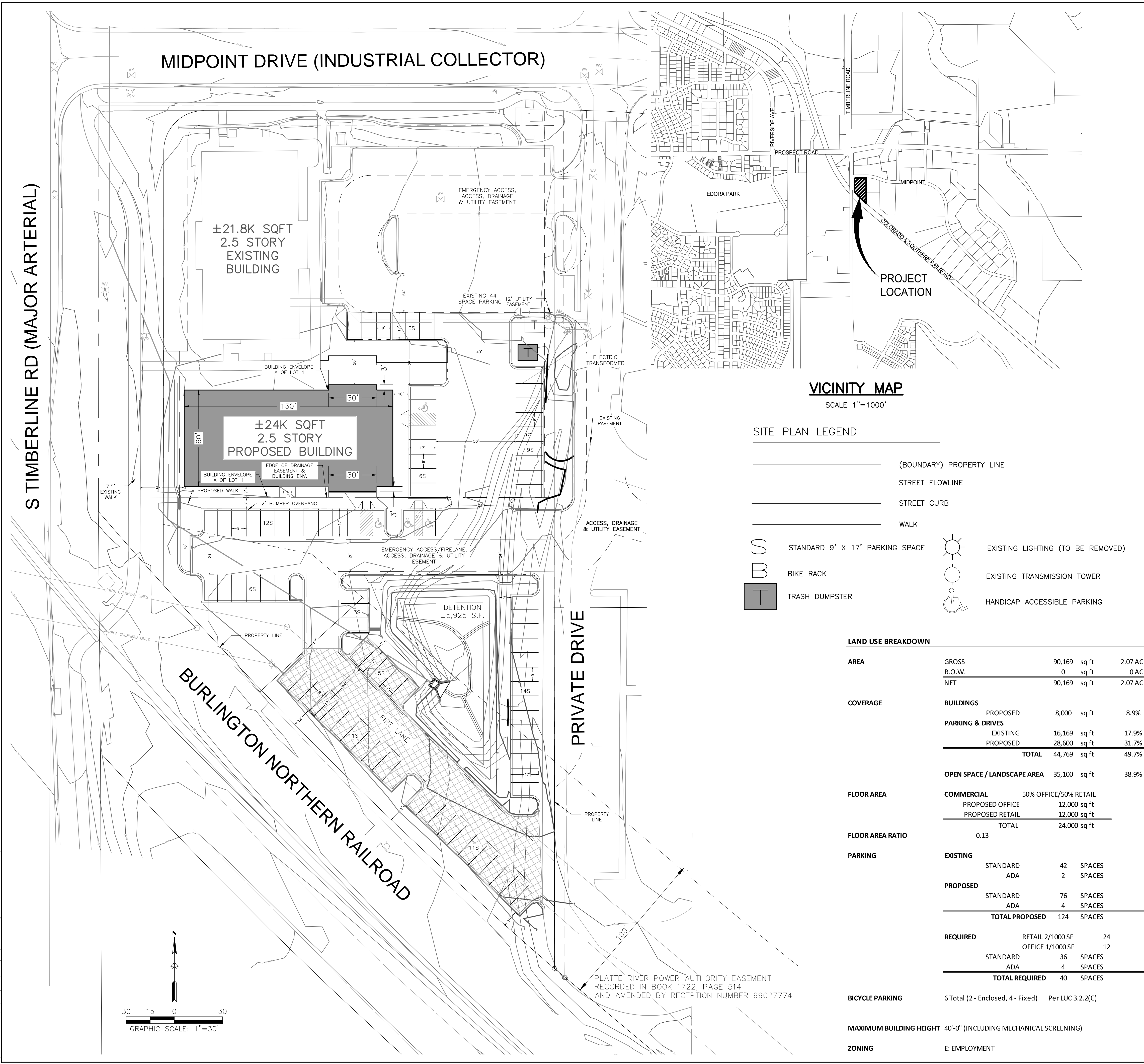
The applicant is proposing to construct the entire parking and access identified on the alternative compliance plan for Lot 1, which includes buildings A and B. Buildings A and B will be phased with building B constructed in phase one and building A in phase two. The parking for each building per the Land Use Code under Section 3.2.2 (A) includes:

<u>Building Use</u>	<u>Parking Spaces</u>
General Office/Retail: 24,000 S.F. at 2/1000 Sq. Ft	Min. 48
	Max. 72
Total proposed parking spaces	86
Total proposed parking spaces above the Max.	14
Total Percent above the Max. requested	16%
Total Percent above the Max. allowed	20%

This request is based on the fact that no on-street parking exists. There is a connection to the parking lot to the north, which is on the property, but is currently being used by Riverbend Services without adequate overage to accommodate additional users. This is also the reason for the request. Overage from Riverbend Services will be able to utilize the extra parking at Centerpoint Plaza.

Thank you for your consideration of this request.

\\s028 - Centerpoint Plaza\Drawings\Draws - Working\Plan 005 - SitePlan.dwg 2015-11-09 11:48AM - JKH



VICINITY MAP
SCALE 1"=1000'

SITE PLAN LEGEND

- (BOUNDARY) PROPERTY LINE
- STREET FLOWLINE
- STREET CURB
- WALK
- STANDARD 9' X 17' PARKING SPACE
- BIKE RACK
- TRASH DUMPSTER
- EXISTING LIGHTING (TO BE REMOVED)
- EXISTING TRANSMISSION TOWER
- HANDICAP ACCESSIBLE PARKING

LAND USE BREAKDOWN

AREA	GROSS	90,169	sq ft	2.07 AC +/-
	R.O.W.	0	sq ft	0 AC +/-
	NET	90,169	sq ft	2.07 AC +/-
COVERAGE	BUILDINGS			
	PROPOSED	8,000	sq ft	8.9%
	PARKING & DRIVES			
	EXISTING	16,169	sq ft	17.9%
	PROPOSED	28,600	sq ft	31.7%
	TOTAL	44,769	sq ft	49.7%
	OPEN SPACE / LANDSCAPE AREA	35,100	sq ft	38.9%
FLOOR AREA	COMMERCIAL 50% OFFICE/50% RETAIL			
	PROPOSED OFFICE	12,000	sq ft	
	PROPOSED RETAIL	12,000	sq ft	
	TOTAL	24,000	sq ft	
FLOOR AREA RATIO	0.13			
PARKING	EXISTING			
	STANDARD	42	SPACES	
	ADA	2	SPACES	
	PROPOSED			
	STANDARD	76	SPACES	
	ADA	4	SPACES	
	TOTAL PROPOSED	124	SPACES	
	REQUIRED			
	RETAIL 2/1000 SF	24		
	OFFICE 1/1000 SF	12		
BICYCLE PARKING	STANDARD	36	SPACES	
	ADA	4	SPACES	
	TOTAL REQUIRED	40	SPACES	
	6 Total (2 - Enclosed, 4 - Fixed)	Per LUC 3.2.2(C)		
MAXIMUM BUILDING HEIGHT	40'-0" (INCLUDING MECHANICAL SCREENING)			
ZONING	E: EMPLOYMENT			

LEGAL DESCRIPTION

LOT 1, CENTERPOINT PLAZA FIRST REPLAT
LOCATED IN THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 7
NORTH FORT COLLINS, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

SIGNATURES

OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS
OF REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT
I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER: SEAN SJODIN, as managing director of NEXGEN Properties, LLC

NOTARY CERTIFICATE

STATE OF COLORADO
COUNTY OF
SUBSCRIBED and sworn to before me this ____ day of ____ 20__
by
WITNESS my hand and official seal. My commission expires ____
Notary Public ____

DIRECTOR OF PLANNING

APPROVED BY THE DIRECTOR OF PLANNING OF THE CITY OF FORT
COLLINS, COLORADO, THIS ____ DAY OF ____ A.D. 20__

DIRECTOR OF PLANNING

SHEET INDEX

1. SITE PLAN
2. ARCHITECTURAL ELEVATIONS
3. LANDSCAPE PLAN
4. IRRIGATION PLAN
5. LIGHTING PLAN

- SITE PLAN NOTES
1. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS OF STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES.
 2. REFER TO THE FINAL CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION REGARDING PROPOSED TOPOGRAPHY, UTILITY AND STREET IMPROVEMENTS.
 3. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
 4. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
 5. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
 6. ALL LIGHTING FIXTURE ILLUMINATION LEVELS PROVIDED WITH THE DEVELOPMENT SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND WITH CITY OF FORT COLLINS LIGHT AND POWER UTILITY REQUIREMENTS. ALL LIGHTING FIXTURES PROVIDED WITH THE DEVELOPMENT SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE AND SHALL FEATURE SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
 7. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THESE FINAL PLANS AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
 8. FIRE HYDRANTS MUST MEET OR EXCEED Poudre FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
 9. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
 10. ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSABLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSABLE PARKING SPACES. ACCESSABLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
 11. PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&R'S), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF XERISCAPE LANDSCAPING, SOLAR/PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), ODOR-CONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.
 12. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.

GENERAL NOTES

1. SEE SUBDIVISION PLAT AND UTILITY PLANS FOR DESIGN OF ALL EASEMENTS, LOT AREAS AND DIMENSIONS, AND DESIGN OF STREETS AND WALKS.
2. PUBLIC STREETS WILL MEET OR EXCEED CITY OF FORT COLLINS DESIGN CRITERIA.
3. SIGNS TO COMPLY WITH CITY SIGN CODE UNLESS SPECIFIC VARIANCE IS GRANTED.
4. FOOTPRINTS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. FINAL FOOTPRINTS MAY VARY FROM THOSE SHOWN.
5. WITH FINAL DEVELOPMENT PLANS, DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE LAND PLAN DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH, NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
6. CURBS ON FIRE LANES WILL BE PAINTED RED, OR POSTED "NO PARKING, FIRE LANE" EXCEPT AT DESIGNATED PARKING STALLS
7. LIGHTING WITHIN THE PROJECT SHALL COMPLY WITH CITY OF FORT COLLINS LAND USE CODE REQUIREMENTS
8. ALL EMPLOYMENT DISTRICT (E) TYPE 1 USES ARE PERMITTED, WITH THE EXCEPTION OF RESIDENTIAL USES WHICH IS NOT PERMITTED.

NEXGEN PROPERTIES, LLC

CENTERPOINT PLAZA FIRST REPLAT

CITY OF FORT COLLINS

RICK

ENGINEERING COMPANY

4 INVERNESS COURT EAST, SUITE 300

ENGLEWOOD, CO 80112

303.225.9125

Tucson - San Diego - Riverside - Orange
Sacramento - San Luis Obispo - Phoenix

rickengineering.com

COLORADO LICENSED
PROFESSIONAL ENGINEER
48704

REVIEWED FOR COMPLIANCE BY:

SIGNATURE DATE

SIGNATURE DATE

REVISIONS:

NO.	DESCRIPTION	DATE:
1		

SCALE: 1"=30'

DATE: 11-05-2015

DRAWN BY: JDK

CHECKED BY: RKF

JOB NO: 1028

CENTERPOINT

PLAZA

FIRST REPLAT

SITE PLAN

PROJECT NO. XXXX

DRAWING NO. XX.XX

SHEET NO. 01 OF 05 SHEETS

© 2015 Rick Engineering Company



3 NORTH (BACK)- ELEVATION
SCALE: 1/8" = 1'-0"



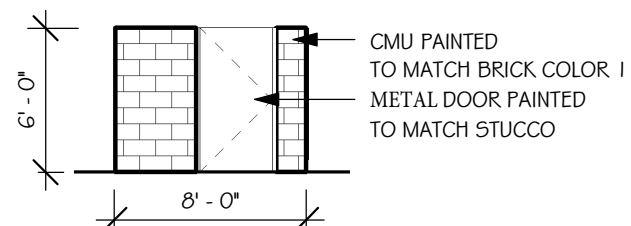
2 WEST (LEFT SIDE)- ELEVATION
SCALE: 1/8" = 1'-0"



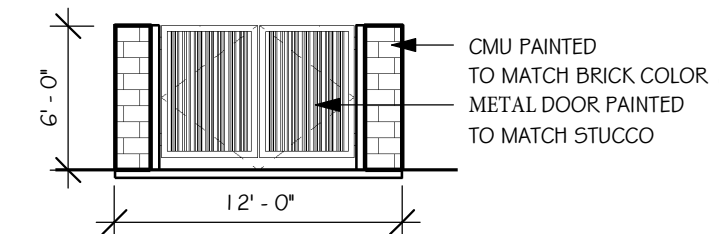
4 EAST (RIGHT SIDE)- ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH (FRONT)- ELEVATION
SCALE: 1/8" = 1'-0"



6 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/8" = 1'-0"



5 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR COLORS	
BRICK 1	ACME BRICK #245 "VEL. MOD. CHOCOLATE"
BRICK 2	ACME BRICK #100 "BURNT PUMPKIN"
BRICK 3	ACME BRICK #114 "PARK AVE"
STUCCO	LT. BEIGE
METAL ROOF	DREXMET "BUCKSKIN"

REVISIONS:
1. CORRECTIONS PER TECHNICAL SERVICES
8-12-15 REDLINES



IRRIGATION SCHEDULE: EQUIPMENT SCHEDULE:		
SYM.	SIZE	DESCRIPTION/REMARKS
	16 STATION	RAINBIRD ESPASMT16-16 INTERNAL MODULAR SMART CONTROLLER W/ (2) 6-ZONE EXPANSION MODULES. 16 STATIONS TOTAL. INSTALLATION AND REQUIRED COMPONENTS PER MANUFACTURER'S SPECIFICATIONS.
	1.00"	WILKINS 975XLSEU BACKFLOW PREVENTER TO BE INSTALLED BY OTHERS. SEE MECHANICAL CIVIL DRAWINGS FOR LOCATION.
	1.00"	BERNAD R-910 X SERIES HYDROMETER MASTER CONTROL VALVE. SUBMIT CUT-SHEET FOR APPROVAL PRIOR TO INSTALLATION. INSTALLED PER MANUFACTURER'S SPECIFICATIONS. INSTALL WITH TUCOR INC. TUCOR WIRE 15-18 WIRE WIRE.
	1.00"	RAINBIRD EPB-CP-PRS-D SERIES BRASS VALVE WITH PRS-D PRESSURE REGULATING MODULE. ALL VALVES TO HAVE INDIVIDUAL FIELD DECODER FOR USE WITH TWO-WIRE SYSTEM.
	1.00"	RAINBIRD X2Z-075-PRF DRIP CONTROL ZONE KIT FOR DRIP ZONES 0 GPM, 3 GPM, RAINBIRD X2Z-100-8 COM DRIP CONTROL ZONE KIT FOR DRIP ZONES 15 GPM, 15 GPM. REFER TO WATERING SCHEDULE BELOW FOR PROPER FIELD APPLICATION PER DRIP ZONE. INSTALL RAINBIRD (XBT-10) 1/2" EMITTERS PER DETAIL FOR ALL SHRUBS AND GRASSES.
	.75"	RAINBIRD 44LRC QUICK COUPLING VALVE W/ LOOKING COVER KEY.
	1.00"	APOLLO VALVES 2-PIECE STANDARD PORT BRASS VALVE (MANUAL DRAINS).
	1.00"	NIBCO T-113K GATE VALVE (MANLINE ISOLATION VALVE) FOR PIPING 3" AND SMALLER. TYPICAL. USE BRASS BUSHING. MATCH PIPING SIZE AS REQUIRED.
	RKL-D-05	TUCOR INC. RKL-D-050 SINGLE ADDRESS LINE DECODER TO ACCOMPANY EACH VALVE. INSTALLED PER MANUFACTURER'S SPECIFICATIONS. EACH VALVE IS TO HAVE INDIVIDUAL DECODER. INSTALL WITH TUCOR INC. TUCOR WIRE 15-18 WIRE WIRE.
	SP-100	TUCOR INC. SP-100 SURGE PROTECTOR TO BE INSTALLED AND GROUNDING EVERY 500 FEET AND AT THE END OF A WIRE RUN. INSTALLED PER MANUFACTURER'S SPECIFICATIONS. INSTALL IN 10" ROUND BOX.
	---	TUCOR TRB-10 TIPPING RAIN BUCKET WITH MOUNTING HARDWARE AS NECESSARY. INSTALL PER MANUFACTURER'S SPECIFICATIONS. MOUNT ON 12" POLE.
	1.00"	AIR RELIEF VALVE TO BE INSTALLED AT THE HIGHEST POINT IN THE MAINLINE. FIELD VERIFY HIGH POINT OF IRRIGATION SYSTEM.
POINT OF CONNECTION DETAIL		
-16 STATION SMART CONTROLLER -1" BACKFLOW PREVENTER BY OTHERS -PROPOSED 2" DIA. METER VAULT W/ 1" METER -PROPOSED 1" TYPE 'K' COPPER IRRIGATION SERVICE-Stub & Plug 5' OUTSIDE OF VAULT W/ BACKFLOW PREVENTER		
VALVE NO. EST. GPM VALVE SIZE	SLEEVE SIZE SLEEVE DEPTH	
1.25"	CLASS 40 PVC MAINLINE (BOE, NSF RATED) (SOLVENT WELD ONLY)	
1.00"	CLASS 40 PVC LATERAL PIPE (BOE, NSF RATED, SOLVENT WELD ONLY)	
1.00"=0.58"	RAINBIRD XT-700 DISTRIBUTION TUBING	
1.00"=0.53"	RAINBIRD XFD-06-72 IN LINE DRIP TUBING FOR TREE RINGS. DRIPLINE TO HAVE 0.61 GPH EMITTERS AT 12" SPACING.	
1.4"	RAINBIRD 14" DISTRIBUTION TUBING TO BE USED FOR INDICATOR EMITTER ONLY WITH BURIED TREE RINGS PER DETAIL.	
2.00"	CLASS 40 PVC SLEEVE UNDER PARKING AREA & DRIVEWAY PAVING. CLASS 200 PVC SLEEVE ALL OTHERS.	
RAINBIRD 1804 POP-UP U SERIES. OPERATING PRESSURE 30 PSI.		
8R	Q	T
28 GPM	35 GPM	52 GPM
41 GPM	55 GPM	82 GPM
58 GPM	1.21 GPM	1.73 GPM
20 GPM	39 GPM	67 GPM
1.34 GPM		
RAINBIRD 5000-MPR-25 (RED) PLUS SERIES NOZZLE Rotor designed for 35PSI.		
35 GPM	1.21 GPM	1.73 GPM
35 GPM	1.21 GPM	1.73 GPM
RAINBIRD 3500-PC-SAM (1.0) PLUS SERIES NOZZLE Rotor designed for 35PSI.		
20 GPM	39 GPM	67 GPM
1.34 GPM		

SMART CONTROLLER NOTES:

1. NEW RAINBIRD ESP SMART CONTROLLER.
2. INSTALLATION TO BE FOR INTERNAL MOUNT PER MANUFACTURER'S RECOMMENDATIONS.
3. INSTALLATION TO INCLUDE ANY AND ALL NECESSARY COMMUNICATION WIRE Wires FOR OPERATING CENTRAL CONTROL FEATURES, HYDROMETER, ETC.
4. HYDROMETER TO BE PER THE SPECIFICATIONS AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE COMMUNICATION WIRE TO NEW CONTROLLER.

IRRIGATION PLAN NOTES:

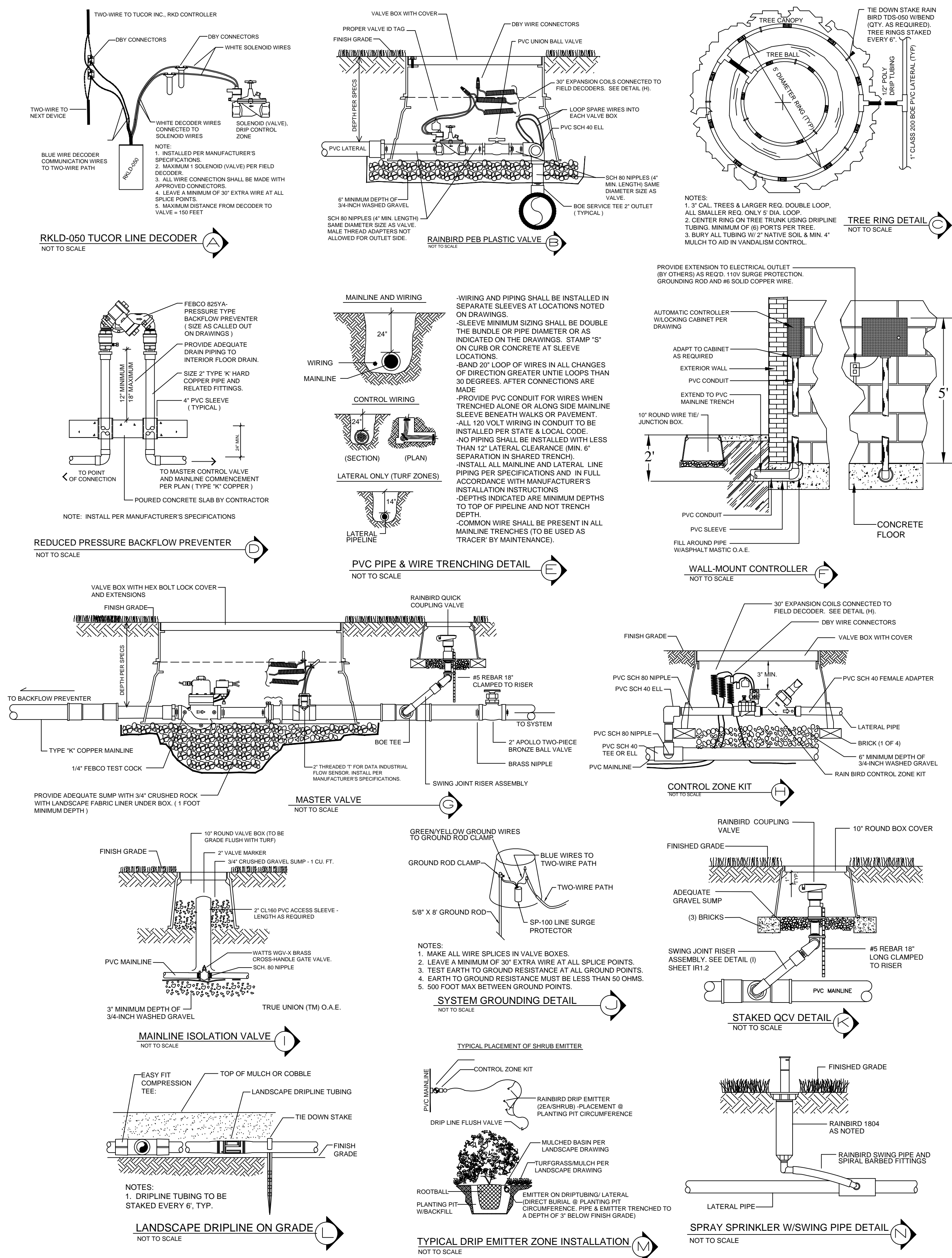
1. ALL MAINLINE LOCATIONS TO BE MARKED WITH TRACER WIRE.
2. ALL NEW MAINLINE TO BE LOCATED A MINIMUM 2' FROM BACK OF WALKWAYS.
3. PRECIPITATION RATE IS THE AVERAGE PRECIPITATION FOR THIS ZONE EXPRESSED IN INCHES PER HOUR.
4. RUN TIME (I.E. R.T.) IS THE REQUIRED OPERATING TIME NEEDED TO APPLY 1.25 INCHES OF WATER PER WEEK FOR SOD AREAS AND 1.00 INCHES OF WATER PER WEEK FOR NATIVE SEED AREAS.
5. DRAWING IS DIAGRAMMATIC. PRECISE PLACEMENT OF EQUIPMENT MAY NOT BE POSSIBLE AS INDICATED. FIELD CHANGES WHICH DO NOT ALTER DESIGN INTENT MAY BE PERFORMED BY INSTALLER.
6. QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS PREVAIL OVER SCHEDULED QUANTITIES.
7. RUN TIMES ARE FOR A THREE (3) DAY WATERING SCHEDULE.
8. SEASONAL APPLICATION RATES ARE AS FOLLOWS: SPRING 70%, SUMMER 100%, FALL 60%.
9. CONTRACTOR TO ADJUST NOZZLE SIZES AS NEEDED TO ENSURE ADEQUATE COVERAGE.
10. ALL IRRIGATION ZONE LATERALS NOT LABELED SHALL BE 1" IN SIZE.
11. DRIP LINE EXTENDS TO ALL TREES AND SHRUBS. 30 MINUTE RUN TIME 3 DAYS A WEEK.
12. ALL MAINLINE STUB-OUTS THAT SERVICE ONLY DRIP IRRIGATION VALVES SHALL BE 1" MAINLINE.
13. ALL IRRIGATION ZONE LATERALS NOT LABELED SHALL BE 1" IN SIZE.

VALVE SCHEDULE:				
NO.	FLOW (GPM)	ZONE	SIZE	RUN TIME
01	8.2	A01	1.00"	38 MIN.
02	13.8	A02	1.00"	13 MIN.
03	13.8	A03	1.00"	13 MIN.
04	13.2	A04	1.00"	48 MIN.
05	14.5	A05	1.00"	48 MIN.
06	14.5	A06	1.00"	36 MIN.
07	14.2	A07	1.00"	14 MIN.
D01	-----	A08	1.00"	60 MIN.
D02	-----	A08	1.00"	60 MIN.
D03	-----	A09	1.00"	60 MIN.
D04	-----	A09	1.00"	60 MIN.
D05	-----	A10	1.00"	60 MIN.
D06	-----	A10	1.00"	60 MIN.

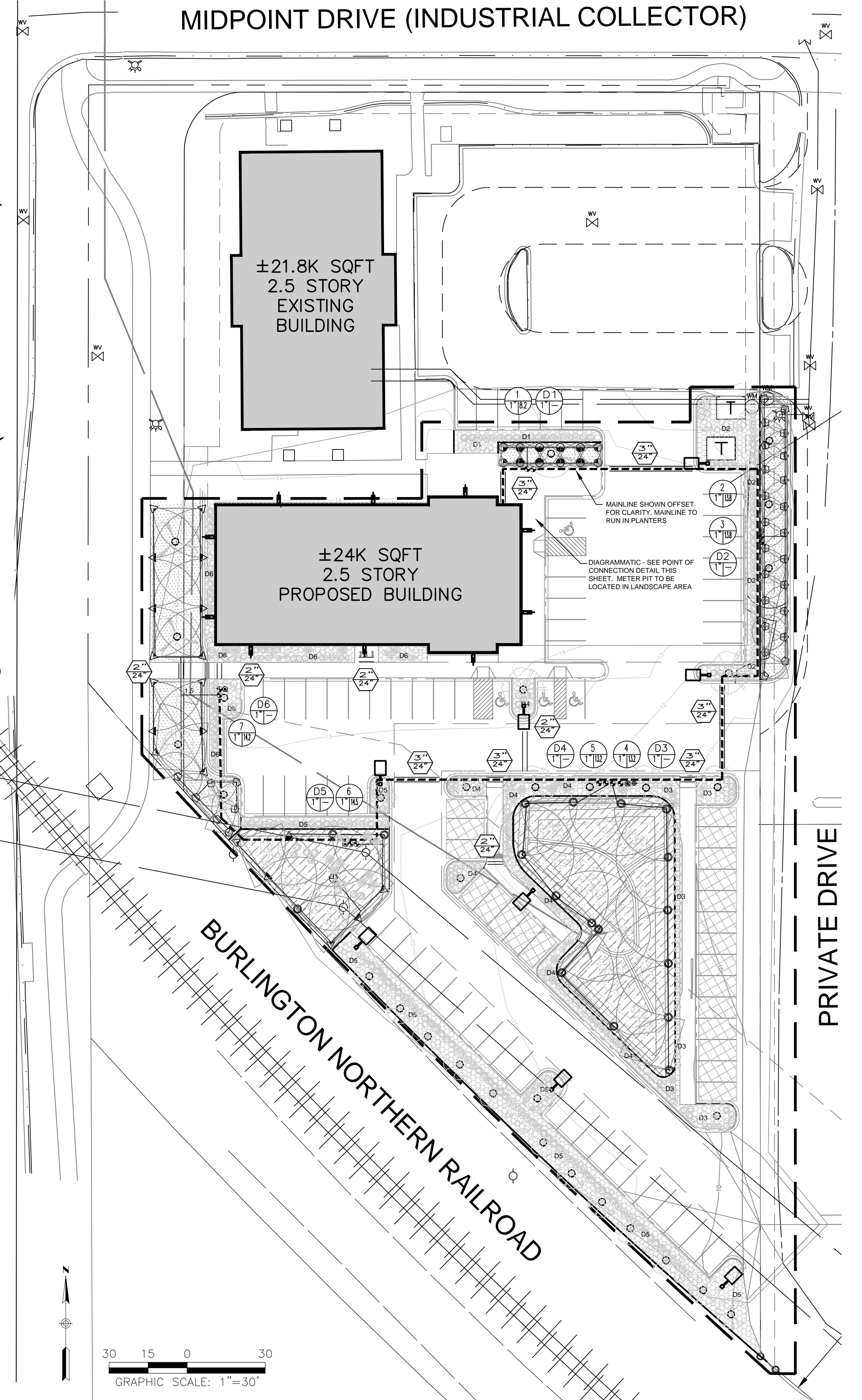
TOTAL WATER USE	
LWR ₁ = 1 x [(ET ₁ x K ₁ - R ₁) x A x C _u]	
D _u = 1 x [(7.0 x 10 ⁻² - 8.2) x 25570 x 0.62]	
LWR = 796.9 GAL/DAY	
LWR = 12.6 GAL/SF	

SMART CONTROLLER DATA INPUT CHART:					
NO.	SPRINKLER TYPE	PREC. RATE (IN/HR)	ZONE	PLANT MATERIAL TYPE	SOIL TYPE / MICROCLIMATE (SUN/SHADE)
01	SPRAY	.61	A01	SOD	CLAY / SHADY MOST OF DAY
02	SPRAY	1.86	A02	SOD	CLAY / SUNNY ALL DAY
03	SPRAY	1.86	A03	SOD	CLAY / SUNNY ALL DAY
04	ROTOR	.41	A04	SEED SHRUBS	CLAY / SUNNY ALL DAY
05	ROTOR	.41	A05	SEED SHRUBS	CLAY / SUNNY ALL DAY
06	ROTOR	.88	A06	SEED SHRUBS	CLAY / SUNNY ALL DAY
07	ROTOR	1.41	A07	SOD	CLAY / SUNNY MOST OF DAY
D01	DRIP	N/A	A08	SHRUBS, TREES	CLAY / SUNNY MOST OF DAY
D02	DRIP	N/A	A08	SHRUBS, TREES	CLAY / SUNNY MOST OF DAY
D03	DRIP	N/A	A09	SHRUBS, TREES	CLAY / SUNNY MOST OF DAY
D04	DRIP	N/A	A09	SHRUBS, TREES	CLAY / SUNNY MOST OF DAY
D05	DRIP	N/A	A10	SHRUBS, TREES	CLAY / SUNNY MOST OF DAY
D06	DRIP	N/A	A10	SHRUBS, TREES	CLAY / SHADY MOST OF DAY

ANNUAL WATER USE CHART:				
NO.	IRRIGATED AREA (SF)	HYDROZONE	ZONE	TOTAL WATER USE (GAL)
01	1,704	HIGH	A01	30,672
02	706	HIGH	A02	12,708
03	706	HIGH	A03	12,708
04	3,088	LOW	A05	9,294
05	2,052	MEDIUM	A06	20,520
07	1,014	HIGH	A07	12,672
D01	1,051	MEDIUM	A08	10,510
D02	1,267	MEDIUM	A08	12,670
D03	1,188	MEDIUM	A09	11,880
D04	1,090	MEDIUM	A09	10,900
D05	3,590	MEDIUM	A10	35,900
D06	1,355	MEDIUM	A10	13,550



S TIMBERLINE RD (MAJOR ARTERIAL)



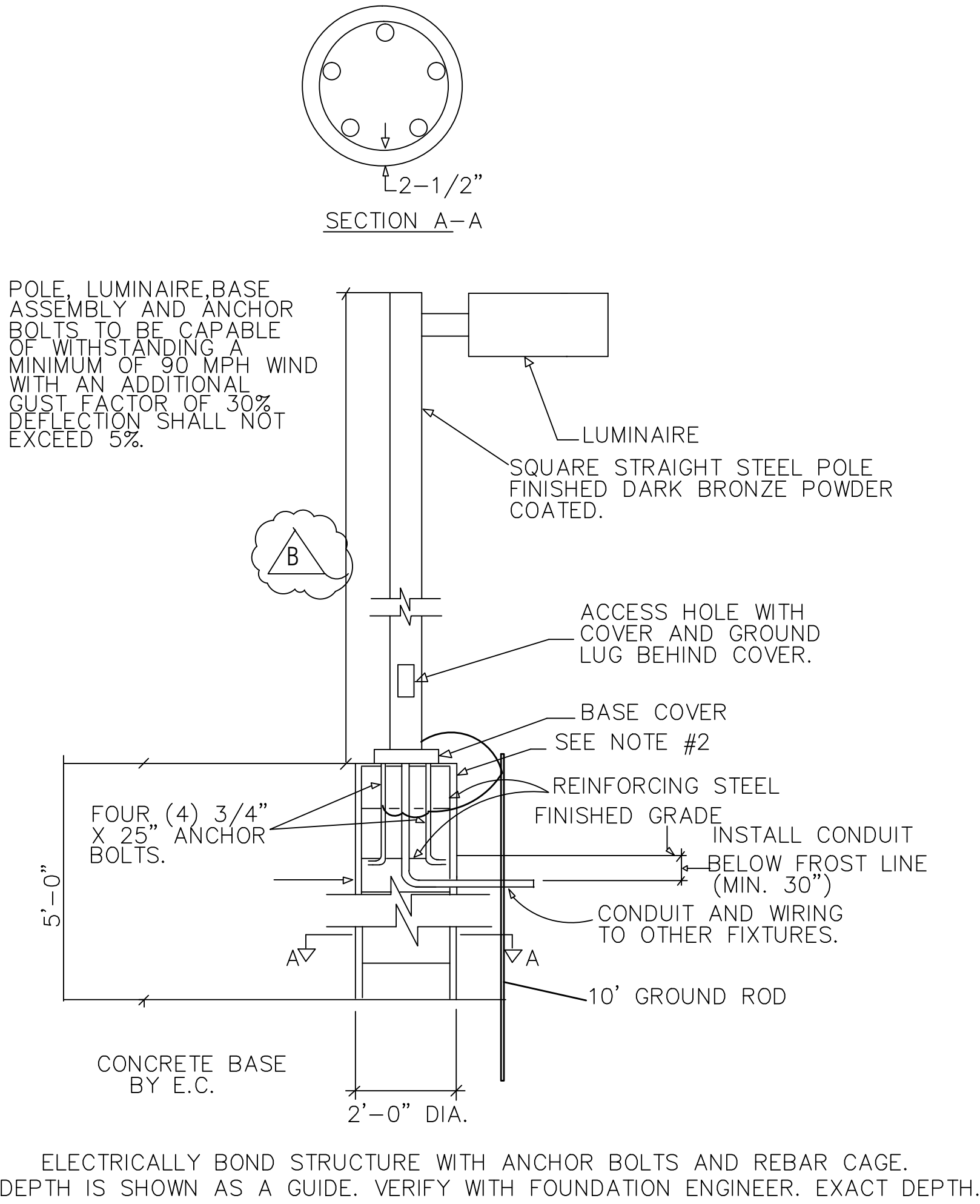
CENTERPOINT PLAZA FIRST REPLAT LANDSCAPE IRRIGATION PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

PLATTE RIVER POWER
AUTHORITY APPROVAL

DATE: 09/23/15
DRAWN BY: MST
CHECKED BY: WFG
SCALE: 1" = 30'-0"
SHEET: 4 OF 5

RAISED POLE BASE DETAIL



EXTERIOR LIGHTING SCHEDULE						
KEY	SYMBOLS	LAMPS	DESCRIPTION	MANUFACTURER	MOUNTING	REMARKS
A		LED	RAB Lighting WPLEDC104Y 104W Cutoff Warm LED Wall Pack,	RAB OR EQUAL	SURFACE	FULL CUTOFF TYPE
B		1-250 W INDUCTION CIRCULAR	POLE MOUNTED LED PARKING LOT FIXTURE, D-SERIES SIZE2	LITHONIA OR EQ.	15' HIGH POLE	FULL CUTOFF TYPE
C		1-250 W INDUCTION CIRCULAR	POLE MOUNTED LED PARKING LOT FIXTURE, D-SERIES SIZE2	LITHONIA OR EQ.	17' HIGH POLE	FULL CUTOFF TYPE

NOTE: ALL EXTERIOR LIGHT FIXTURES TO BE FULL CUT OFF TYPES.
PROPOSED FIXTURES TO MEET AND COMPLY WITH DESIGN STANDARDS OUTLINED IN SECTION 3.24 (D) OF CITY OF FORT COLLINS LAND USE CODE.

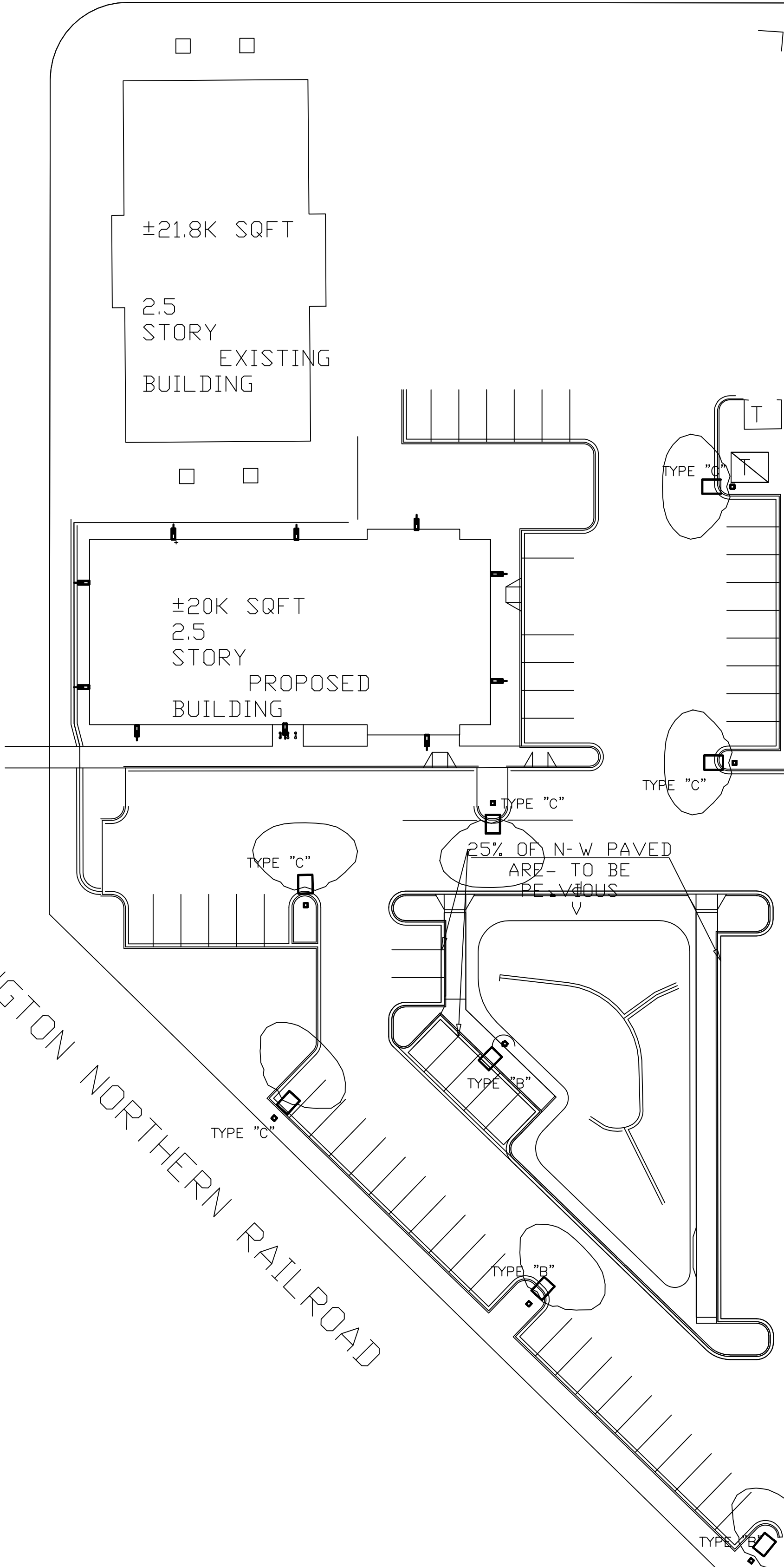
REVIDED POLE HEIGHT TO 15' IN LOCATIONS MARKED AS TYPE "B" , TYPE "A' POLES TO REMAIN AT 17' HIEGHT.

S TIMBERLINE RD (MAJOR ARTERIAL)

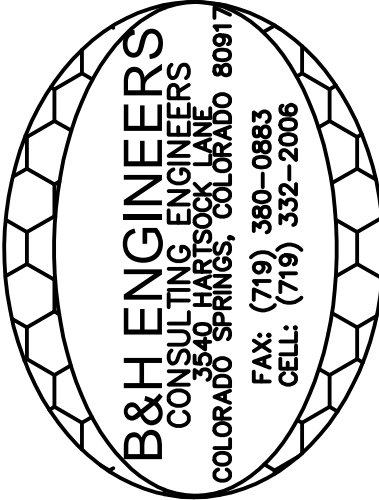
MIDPOINT DRIVE (INDUSTRIAL COLLECTOR)

BURLINGTON NORTHERN RAILROAD

PRIVATE DRIVE



SCALE: 30' = 1'0"



B&H ENGINEERS
CONSULTING ELECTRICAL, MECHANICAL, & PLUMBING ENGINEERS
3540 HARTSOCK LANE
COLORADO SPRINGS, COLORADO 80917
(719) 332-2006
DATE: 9-11-15
JOB NO. A
DRAWN BY: BP
CHECKED BY: BP
REVISION/DATE
FILE NAME

CENTERPOINT PLAZA
FIRST REPLAT

B&H ENGINEERS

SITE LIGHTING PLAN