

ITEM NO MEETING DATE

<u>1</u> Jan. 28<sup>th</sup>, 2016

STAFF Clay Frickey

#### ADMINISTRATIVE HEARING OFFICER

#### **STAFF REPORT**

**PROJECT:** Centerpoint Plaza, PDP150014

**APPLICANT:** Patricia Parish

RMG – Rocky Mountain Group

2910 Austin Buffs

Suite 100

Colorado Springs, CO 80919

**OWNERS:** NexGen Riverbend Holdings

5251 DTC Parkway

Suite 800

Greenwood Village, CO 80111

#### PROJECT DESCRIPTION:

This is a request for approval of a previously expired Project Development Plan to construct a mixed-use building, which will include both office and retail space on a 2.07 acre site. The building is proposed to be a 24,000 square foot, two-story structure with a mezzanine level. Additional street right-of-way had previously been dedicated to allow for road improvements on Timberline Road. The site is in the (E) Employment zoning district.

**RECOMMENDATION:** Staff recommends approval of Centerpoint Plaza, PDP150014.

#### **EXECUTIVE SUMMARY:**

Staff finds the proposed Centerpoint Plaza Project Development Plan complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The Project Development Plan complies with the process located in Division 2.2
   Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Project Development Plan complies with relevant standards of Article 3 General Development Standards.

• The Project Development Plan complies with relevant standards located in Division 4.27 Employment (E) of Article 4 – Districts.

#### **COMMENTS:**

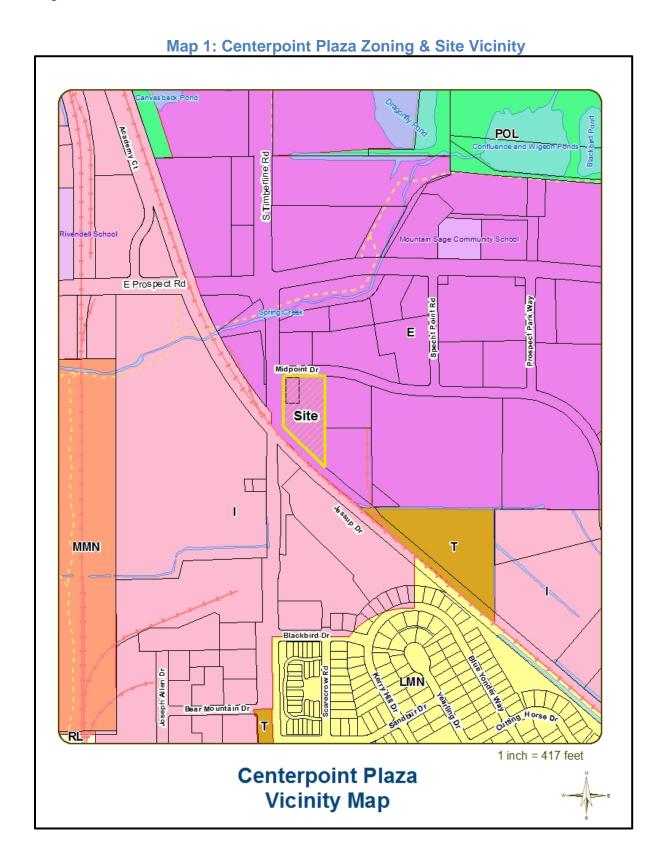
#### 1. Background

This property was annexed into the City of Fort Collins on September 6<sup>th</sup>, 1973. In 2003, the lot was platted as Lot 1 of the Centerpoint Plaza subdivision. The original Centerpoint Plaza development contained the existing building at the southeast corner of Midpoint Drive and Timberline Road. The southern half of Lot 1 was left vacant to allow for future development. In 2009, Vignette Studios sought to replat and develop the southern half of Lot 1 of Centerpoint Plaza, which became the Centerpoint Plaza Replat Project Development Plan. Vignette Studios proposed the construction of a 48,000 square foot, 2½ story building with 83 parking spaces. The Centerpoint Plaza Replat PDP gained approval from a hearing officer and was recorded with the City of Fort Collins on June 17<sup>th</sup>, 2009. Despite gaining approval, the development team for the Centerpoint Plaza Replat did not install the public infrastructure necessary to achieve vesting of their development plan. The approved Project Development Plan lapsed June 17<sup>th</sup>, 2012.

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses		
North	Employment (E)	Office, retail, gasoline sales, drive-thru restaurant		
South	Industrial (I), Low Density Mixed-Use Neighborhood (LMN)	Retail, restaurant, single-family homes, multi-family homes		
East	Employment (E)	Institutional, office, light industrial		
West	Industrial (I), Medium Density Mixed- Use Neighborhood (MMN)	Institutional, light industrial		

A zoning and site vicinity map is presented on the following page.



## 2. <u>Compliance with Article 3 of the Land Use Code – General Development</u> Standards:

The project complies with all applicable General Development Standards as follows:

A. Division 3.2.1(D)(1)(c) – Tree Planting Standards - Full Tree Stocking

The proposed landscaping meets the minimum tree stocking standards. The landscape plan shows groups of canopy and ornamental trees planted with spacing that meets the minimum requirements outlined in the code.

B. Section 3.2.1(D)(2) - Tree Planting Standards - Street Trees

The Land Use Code requires canopy shade trees to be planted at thirty to forty-foot spacing in the center of parkway areas where the sidewalk is detached from the street. Two of the proposed trees are not canopy shade trees. The applicant proposes two Sargent Crabapple trees along Timberline Road. This is due to a Poudre River Power Authority (PRPA) easement encumbering much of the southwestern portion of the property (Attachment 3). PRPA has transmission lines that abut the southwestern edge of the property that require a 100 foot easement for maintenance purposes. As such, PRPA does not allow canopy shade trees within their easements. PRPA has reviewed and approved the proposed landscape plan as part of this Project Development Plan. The Land Use Code provides relief from this standard by allowing ornamental trees to substitute canopy shade trees where overhead lines prevent normal growth and maturity in section 3.2.1(D)(2)(c). Since the proposed landscape plan meets the exception outlined in 3.2.1(D)(2)(c) and has been approved by PRPA, staff finds the proposed landscape plan meets this code section.

#### C. Section 3.2.1(E)(3) – Water Conservation

The proposed landscape plan uses appropriate water conservation techniques to achieve a total annual water use less than 15 gallons/square foot over the entire site and meet this code standard.

#### D. Section 3.2.1(E)(4) - Parking Lot Perimeter Landscaping

The proposed parking lot perimeter landscaping meets this code requirement by screening parking areas from abutting uses, providing one tree every 25 feet along public streets and screening the parking lot from abutting uses and the street. The perimeter of the parking area will be screened with a low wall consisting of tall grasses, small shrubs, and ornamental trees.

#### E. Section 3.2.1(E)(5) - Parking Lot Interior Landscaping

The proposed parking lot interior landscaping meets this code requirement by providing areas of shading and landscaped islands. Each landscaped island will have at least one canopy tree with a complement of small shrubs and grasses, except for islands within the PRPA easement, which will provide ornamental trees. The parking areas also exceed the 6% minimum parking lot interior landscaping requirement.

#### F. Section 3.2.2(C)(4)(b) - Bicycle Parking Space Requirements

The Land Use Code requires one bicycle parking space per 4,000 square feet with 20% provided in an enclosure and 80% provided via fixed racks. For a 24,000 square foot office building, the Land Use Code requires six bike parking spaces with one provided in an enclosure and five provided via fixed racks. The proposed building will provide two enclosed bicycle parking spaces and four fixed rack bicycle parking spaces.

#### G. Section 3.2.2(C)(5) - Walkways

Walkways must be provided to link sidewalks with building entries through parking lots. These walkways must also provide direct connections to off-site pedestrian and bicycle destinations. The proposed walkways connect the main entrances of the building to the sidewalk network of the adjacent development to the north. The walkways also connect to the sidewalk along Timberline Road.

## H. Section 3.2.2(D)(1) – Access and Parking Lot Requirements - Pedestrian/Vehicle Separation

To the maximum extent feasible, pedestrians and vehicles shall be separated through provisions of a sidewalk or walkway. The site complies

with this standard by providing an extensive sidewalk network around the building. The sidewalk is separated from vehicle use areas by a curb.

#### I. Section 3.2.2(E) - Parking Lot Layout

The proposed parking lot layout is consistent with requirements of the Land Use Code in regards to circulation routes, orientation, landscaped islands, and points of conflict.

#### J. Section 3.2.2(J) - Setbacks

The proposed parking areas are setback further than the 10-foot minimum from non-arterial streets and 5-foot minimum along a lot line required per the Land Use Code.

#### K. Section 3.2.2(K)(2) - Nonresidential Parking Requirements

The minimum, maximum, and proposed parking are contained in the table below. The proposed parking is within the range of required parking and thus meets the requirements of the Land Use Code.

**Table 1: Proposed Parking** 

Use	Min. Parking	Max. Parking	Parking Provided
Office (12,000	1/1,000 square	3/1,000 square	36 spaces
square feet)	feet = 12 parking	feet = 36 parking	
	spaces	spaces	
Retail (12,000	2/1,000 square	4/1,000 square	44 spaces
square feet)	feet = 24 parking	feet = 48 parking	
	spaces	spaces	

#### L. Section 3.2.2(K)(5) - Handicap Parking

Parking lots with 76-100 parking spaces are required to provide four handicap accessible spaces with at least one van accessible parking space. The proposed site plan shows four handicap accessible parking spaces, two of which are van accessible.

#### M. Section 3.2.3 - Solar access, orientation, shading

All developments must be designed to accommodate active and/or passive solar installations and must not deny adjacent properties access

to sunshine. The proposed building is designed and located to minimize the casting of shadows on adjacent properties and could accommodate future active and/or passive solar installations.

#### N. Section 3.2.4 - Site Lighting

The proposed lighting plan is consistent with the requirements of the Land Use Code in regards to the general standard, lighting levels, and design standards.

#### O. Section 3.2.5 - Trash and Recycling Enclosures

Trash and recycling enclosures must be provided in locations abutting refuse collection or storage areas, shall be designed to allow walk-in access without having to open the main service gate, shall be screened from public view, and shall be constructed on a concrete pad. The proposed trash and recycling enclosure abuts a storage area, allows walk-in access without having to open the main service gate, is screened from public view, and is built on a concrete pad.

#### P. Section 3.5.1 - Building and Project Compatibility

The proposed plan is consistent with the requirements of the Land Use Code in regards to building and project compatibility including building size, height, bulk, mass, scale, mechanical equipment screening, and operational/physical compatibility.

#### Size, Height, Bulk, Mass and Scale

The projects adjacent to Centerpoint Plaza include a 2 ½ story office building to the north and a two story industrial building to the east. Other non-adjacent developments include a three story institutional building, one story car wash, and a one story office park complex.

The proposed building will be of a similar height and scale to the majority of the developments in its immediate surroundings. The proposed building will use similar materials to the Centerpoint Plaza. The proposed building elevations also show nearly identical details to the existing building to the north. Given these similarities, the proposed structure will fit in seamlessly with its surroundings and meets this code standard.

#### **Outdoor Storage Areas/Mechanical Equipment**

The proposed plan is consistent with the requirements of the Land Use Code in regards to the location of outdoor storage, screening of storage areas, and screening of rooftop mechanical equipment from public view.

#### **Operational/Physical Compatibility**

The proposed plan is consistent with the requirements of the Land Use Code in regards to hours of operation, placement of trash receptacles, and location and number of off-street parking spaces.

#### Q. Section 3.5.3(D) - Variation in Massing

The proposed building is consistent with the requirements of the Land Use Code in regards to horizontal massing and changes in massing being related to entrances, the integral structure and interior spaces of the building. No horizontal plane exceeds a 1:3 height-width ratio. The changes in massing also relate to building features such as doors and windows, which are integral to the interior spaces of the building.

#### R. Section 3.5.3(E) - Character and Image

The proposed building is consistent with the relevant requirements of this Land Use Code section including façade treatments, entrances, and base and top treatments. All walls break up their mass with windows, change in materials, and fenestration pattern to provide a human scale. Each entrance to the building is clearly defined by an extruded archway. The proposed building has a distinct base, middle, and top defined by changes in materials, brick/stucco banding, and prominent entry features.

#### S. Section 3.6.6 – Emergency Access

An emergency access easement is proposed that runs through the parking area on the south side of the site. The emergency access easement ensures emergency vehicles can gain proper access and maneuvering to reach all portions of the proposed building.

## 3. <u>Compliance with Article 4 of the Land Use Code – Employment (E), Division 4.27:</u>

The project complies with all applicable Article 4 standards as follows:

A. Section 4.28(B)(2)(c) – Permitted Uses

The proposed uses, office and retail, are permitted in the Employment zone district and are consistent with the district's intent to provide a variety of workplaces throughout the community.

B. Section 4.27(D)(4)(a) – Dimensional Standards - Maximum Building Height

The proposed building complies with the 4-story maximum building height requirement.

#### 5. Findings of Fact/Conclusion:

In evaluating the request for the Centerpoint Plaza Project Development Plan, Staff makes the following findings of fact:

- A. The Project Development Plan complies with process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 Administration.
- B. The Project Development Plan complies with relevant standards located in Article 3 General Development Standards.
- C. The Project Development Plan complies with relevant standards located in Division 4.27 Employment (E) of Article 4 Districts.

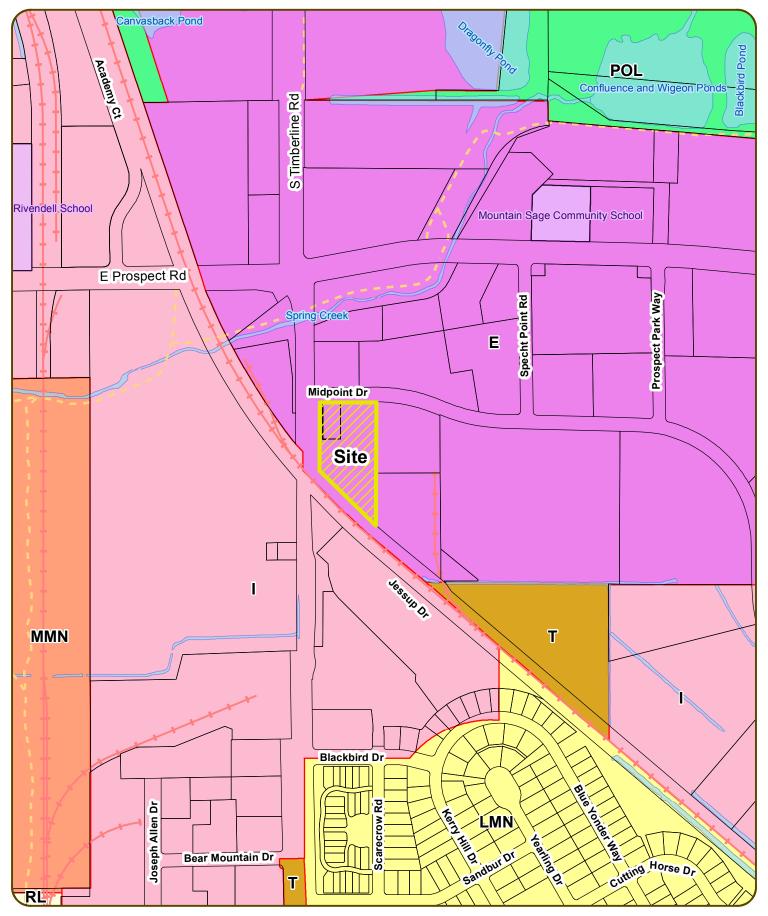
#### **RECOMMENDATION:**

Staff recommends approval of the Centerpoint Plaza, PDP150014.

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#### **ATTACHMENTS:**

- 1. Zoning & Site Vicinity Map
- Applicant's Statement of Planning Objectives
   Centerpoint Plaza Planning Document Set (Site Plan, Elevations, Landscape Plan & Photometric Plan)



1 inch = 417 feet

# Centerpoint Plaza Vicinity Map





July 15, 2015

Planning and Zoning Board

Fort Collins Planning 281 North College Ave. Fort Collins, CO 80524

RE: Planning Objectives for

Centerpoint Plaza Project Development Plan (PDP)

#### Dear Planning and Zoning Board Members

The proposed Centerpoint Plaza PDP is located south of Midpoint Drive and east of Timberline Road. The Burlington Northern Railroad runs adjacent to the south side site. An existing warehouse distributing facility is located to the southeast of the property, which is accessed from Midpoint Drive and a commercial development is directly north, across Midpoint Drive. The applicant proposes one mixed-use building, which will be a combination of office and retail uses on 2.07 acres. The building is proposed to be a two-story with a mezzanine level and will consist of office and retail. Additional street right-of-way (ROW) has previously been dedicated to allow for road improvements on Timberline Road. Additional right- of-way has also been dedicated adjacent to Midpoint Drive.

- (i) The site currently zoned E Employment Zoning District. The Final Development Plan was approved in 2009 but unfortunately was not completed in terms of conditions of approval prior to the expiration date. The plans submitted will be brought up to current Ft. Collin's development plan standards. Previous versions satisfied the City Plan Principles and Policies and were approved as such.
- (ii) The design objectives of the proposed landscape plan are to provide an attractive streetscape, screen parking and service areas and to enhance the pedestrian and vehicular experience within the site. Deciduous and evergreen trees and foundation plantings will be used to enhance the architecture and provide shade and seasonal color. The applicant proposes to achieve an overall balanced landscape plan that will comply with the landscape and tree protection requirements slated in the current Land Use Code. The proposed landscape plan for the project will utilize the following xeriscape principles; plant material with low to moderate water requirements and limited turf areas, effective use of soil amendments and mulches. An efficient irrigation system, appropriate

maintenance, buffers along Timberline Road, Midpoint Drive and along the south property line, interior trees to enhance shading the paved areas to cool the property.

- (iii) Open space on the private property will consist of landscaped buffers. The property owners will maintain these areas of landscape and the building area unless a Condominium Association is formed.
- (iv) Approximately 58 employees are proposed for the site.
- (v) This is an infill site within a busy commercial/office/warehouse area. Its easy access to Prospect Street, a 4-lane arterial, and Timberline, a major 6-lane arterial makes this an ideal location for an employment center. Ft. Collins is on the upswing for economic development, partly because of its planning principles and ideology. This building will be an attractive addition to an area that is "up and coming" as it sits just north of a large lot, agricultural area just south of the Burlington Northern Railroad tracks. The easy access to the bus system, sidewalks and bike trails will allow a sustainable pool of employees with adequate transportation to and from work.
- Site Development Standards will be adhered do. (See section (ii) for Landscape (vi) Plan comments). Traffic, landscape and utilities will be coordinated to maximize the benefits and mitigate the conflicts. Pedestrian, non-motorized and motorized vehicles will be designed for maximum safety and circulation. Bicycle racks are positioned for easy access. Setbacks, maximum building height and lot coverage will meet the E Zone District standards. Two points of access are provided off Midpoint Drive, which are aligned with the vehicular accesses to the Spring Creek Center development north of Midpoint Drive. The Development Plan shows a total of 130 parking spaces, adding 76 standard and 4 ADA spaces to the already existing 44 spaces to the north, servicing the existing office/retail building known as Riverbend. .(See Attachment "A" for Alternative Compliance Request) Parking ratios are based on the Land Use Code requirement of 1- 2 parking spaces per 1,000 square feet for office /retail (The higher requirement of 2/1,000 square feet was used since the ratio of office to retail is not known until the building is leased).. The maximum height of the building is 40 feet (similar to existing building on Lot 1). The building is scaled to the pedestrian level, with metal roof with parapet and a variety of complimentary colors and materials. Building materials consist of masonry, synthetic stucco and architectural prefinished metal siding, similar to the adjacent Riverbend Services office/retail building to the north.

The mixed-use building compliments the surrounding development and promotes a compact employment center, well-served by all modes of transportation. Direct pedestrian connections will be provided and encouraged. The buildings have been designed to provide an interesting facade with architectural features over main entry doors. Grading, drainage and erosion control will be shown on the plans, utilizing existing catch basins and improvements proposed.

(vii) No wetlands, natural features or wildlife habitat are reported to be present on the land.

- (viii) At a previous neighborhood meeting in 2009 of surrounding neighbors, there were no specific comments to address.
- (ix) Previous name of the Project was the same as the current name: Centerpoint Plaza

Thank you for your consideration and we look forward to working with you during the development review process.

Sincerely,

Patricia Parish, AICP Land Planning Director

RMG - Rocky Mountain Group

#### **Attachment A**

Alternative Compliance Request Centerpoint Plaza Project Development Plan July 15, 2015

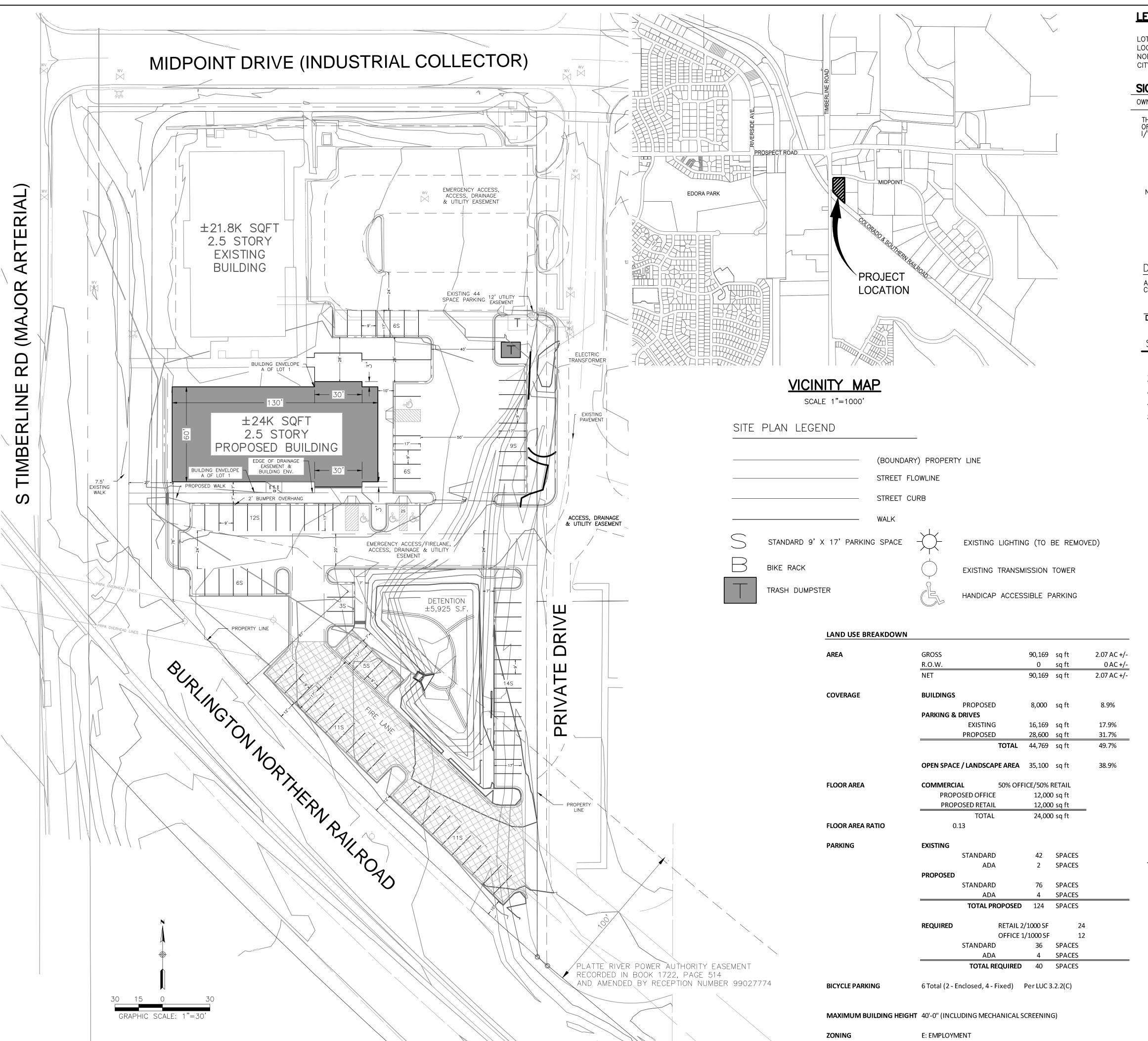
This request is for an alternative compliance for parking as outlined in the Fort Collins Land Use Code. The alternative compliance being requested is from Section 3.2.2(N), Exception to the General Office Parking Standard.

The applicant is proposing to construct the entire parking and access identified on the alternative compliance plan for Lot 1, which includes buildings A and B. Buildings A and B will be phased with building B constructed in phase one and building A in phase two. The parking for each building per the Land Use Code under Section 3.2.2 (A) includes:

Building Use	Parking Spaces
General Office/Retail: 24,000 S.F. at 2/1000 Sq. Ft	Min. 48
	Max. 72
Total proposed parking spaces	86
Total proposed parking spaces above the Max.	14
Total Percent above the Max. requested	16%
Total Percent above the Max. allowed	20%

This request is based on the fact that no on-street parking exists. There is a connection to the parking lot to the north, which is on the property, but is currently being used by Riverbend Services without adequate overage to accommodate additional users. This is also the reason for the request. Overage from Riverbend Services will be able to utilize the extra parking at Centerpoint Plaza.

Thank you for your consideration of this request.



## LEGAL DESCRIPTION

LOT 1, CENTERPOINT PLAZA FIRST REPLAT LOCATED IN THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 7 NORTH FORT COLLINS, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

#### **SIGNATURES**

OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER: SEAN SJODIN, as managing director of NEXGEN Properties, LLC

NOTARY CERTIFICATE

STATE OF COLORADO

SUBSCRIBED and sworn to before me this \_\_\_\_ day of \_\_\_\_ 20\_\_ WITNESS my hand and official seal. Mv commission expires \_\_\_\_\_

DIRECTOR OF PLANNING

APPROVED BY THE DIRECTOR OF PLANNING OF THE CITY OF FORT COLLINS, COLORADO, THIS \_\_\_ DAY OF \_\_\_\_ A.D. 20\_\_

#### DIRECTOR OF PLANNING

#### SHEET INDEX

- 1. SITE PLAN
- 2. ARCHITECTURAL ELEVATIONS
- 3. LANDSCAPE PLAN
- 4. IRRIGATION PLAN
- 5. LIGHTING PLAN

#### **SITE PLAN NOTES**

1. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS OF STORM DRAINAGE

STRUCTURES, UTILITY MAINS AND SERVICES.

2. REFER TO THE FINAL CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION REGARDING PROPOSED TOPOGRAPHY, UTILITY AND STREET IMPROVEMENTS. 3. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND

DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY

4. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS

5. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.

6. ALL LIGHTING FIXTURE ILLUMINATION LEVELS PROVIDED WITH THE DEVELOPMENT SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND WITH CITY OF FORT COLLINS LIGHT AND POWER UTILITY REQUIREMENTS. ALL LIGHTING FIXTURES PROVIDED WITH THE DEVELOPMENT SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE AND SHALL FEATURE SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.

7. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THESE FINAL PLANS AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY. 8. FIRE HYDRANTS MUST MEET OR EXCEED POUDRE FIRE AUTHORITY STANDARDS. ALL

BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM. 9. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.

10. ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSABLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSABLE PARKING SPACES. ACCESSABLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.

11. PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&R'S), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF XERISCAPE LANDSCAPING, SOLAR/PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), ODOR-CONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.

12. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.

### **GENERAL NOTES**

- 1 SEE SUBDIVISION PLAT AND UTILITY PLANS FOR DESIGN OF ALL EASEMENTS, LOT AREAS AND DIMENSIONS, AND DESIGN OF STREETS AND WALKS.
- PUBLIC STREEETS WILL MEET OR EXCEED CITY OF FORT COLLINS DESIGN CRITERIA.
- SIGNS TO COMPLY WITH CITY SIGN CODE UNLESS SPECIFIC VARIANCE IS GRANTED.
- 4 FOOTPRINTS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. FINAL FOOTPRINTS MAY VARY FROM THOSE SHOWN.
- 5 WITH FINAL DEVELOPMENT PLANS, DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE LAND PLAN DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH, NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- CURBS ON FIRE LANES WILL BE PAINTED RED, OR POSTED "NO PARKING, FIRE LANE" EXCEPT AT DESIGNATED PARKING STALLS
- 7 LIGHTING WITHIN THE PROJECT SHALL COMPLY WITH CITY OF FORT COLLINS LAND USE
- CODE REQUIREMENTS 8 ALL EMPLOYMENT DISTRICT (E) TYPE 1 USES ARE PERMITTED, WITH THE EXCEPTION OF RESIDENTIAL USES WHICH IS NOT PERMITTED.

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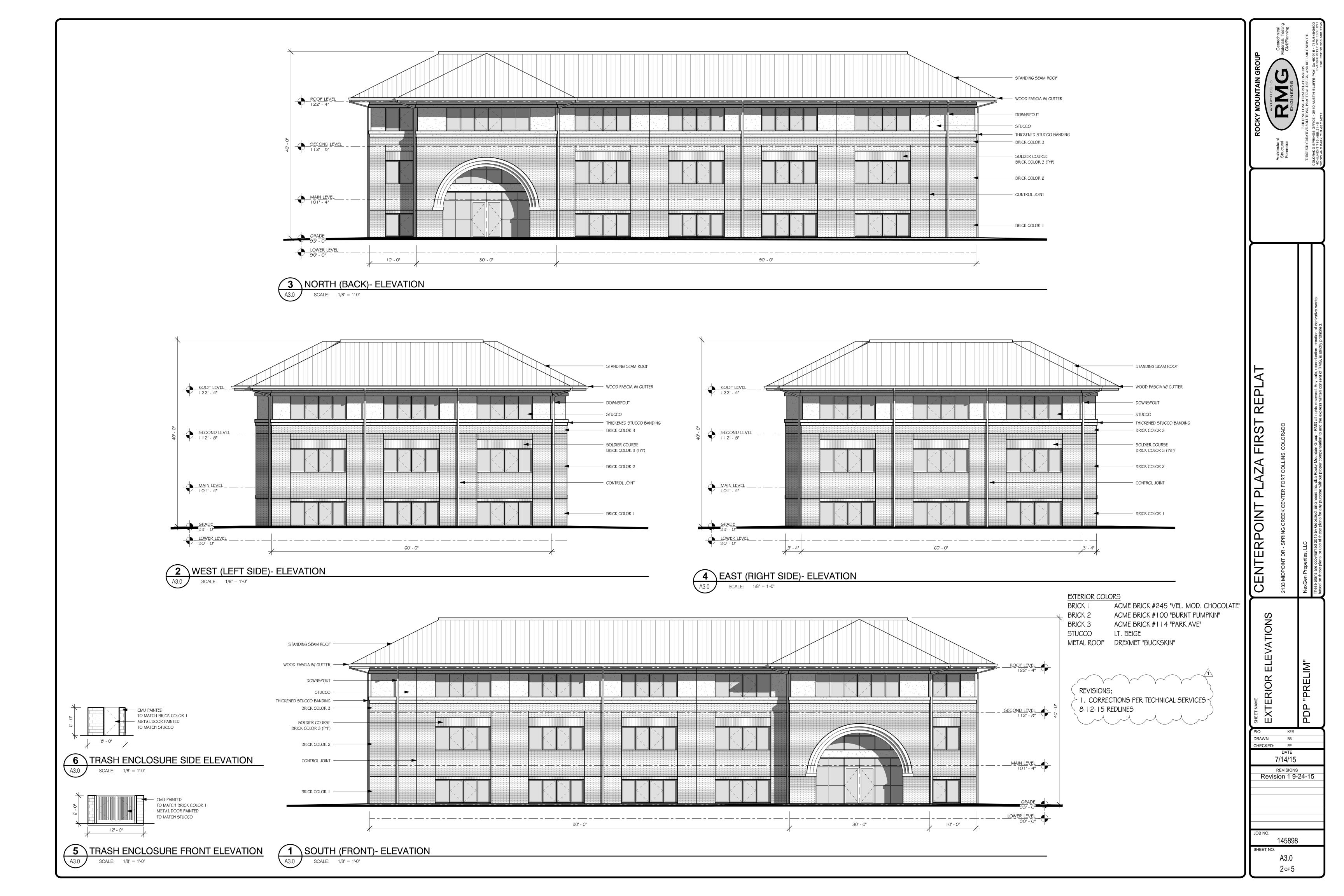
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CENTERPOINT PLAZA FIRST REPLAT

SITE PLAN

PROJECT NO. DRAWING NO. XX.XX SHEET NO. 01 OF 05 SHEETS



A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED. PRUNED OR REMOVED IN THE PUBLIC. RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.

STREET TREE NOTES:

- 1. A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- 2. CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL MUST BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
- 3. STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES. ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORS WHERE REQUIRED BY CODE.STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
- 4. THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, WITH AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- 5. SUBJECT TO APPROVAL BY THE CITY FORESTER -- STREET TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION IS APPROVED BY THE CITY TO MEET SEPARATION STANDARDS.

TREE PROTECTION NOTES:

1. ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL

2. WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE,

- THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE. 3. ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE
- CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- 4. PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SLICH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT SECURED WITH METAL T-POSTS NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- 5. DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT CONCRETE. MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- 6. NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE
- '. LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- 8. THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE CHART BELOW:

Tree Diameter at Breast Height (inches)	Auger Distance From Face of Tree (feet)		
0-2	1		
3-4	2		
5-9	5		
10-14	10		
15-19	12		
Over 19	15		

9. ALL TREE REMOVAL SHOWN SHALL BE COMPLETED OUTSIDE OF THE SONGBIRD NESTING SEASON (FEB 1 - JULY 31) OR CONDUCT A SURVEY OF TREES ENSURING NO ACTIVE NESTS

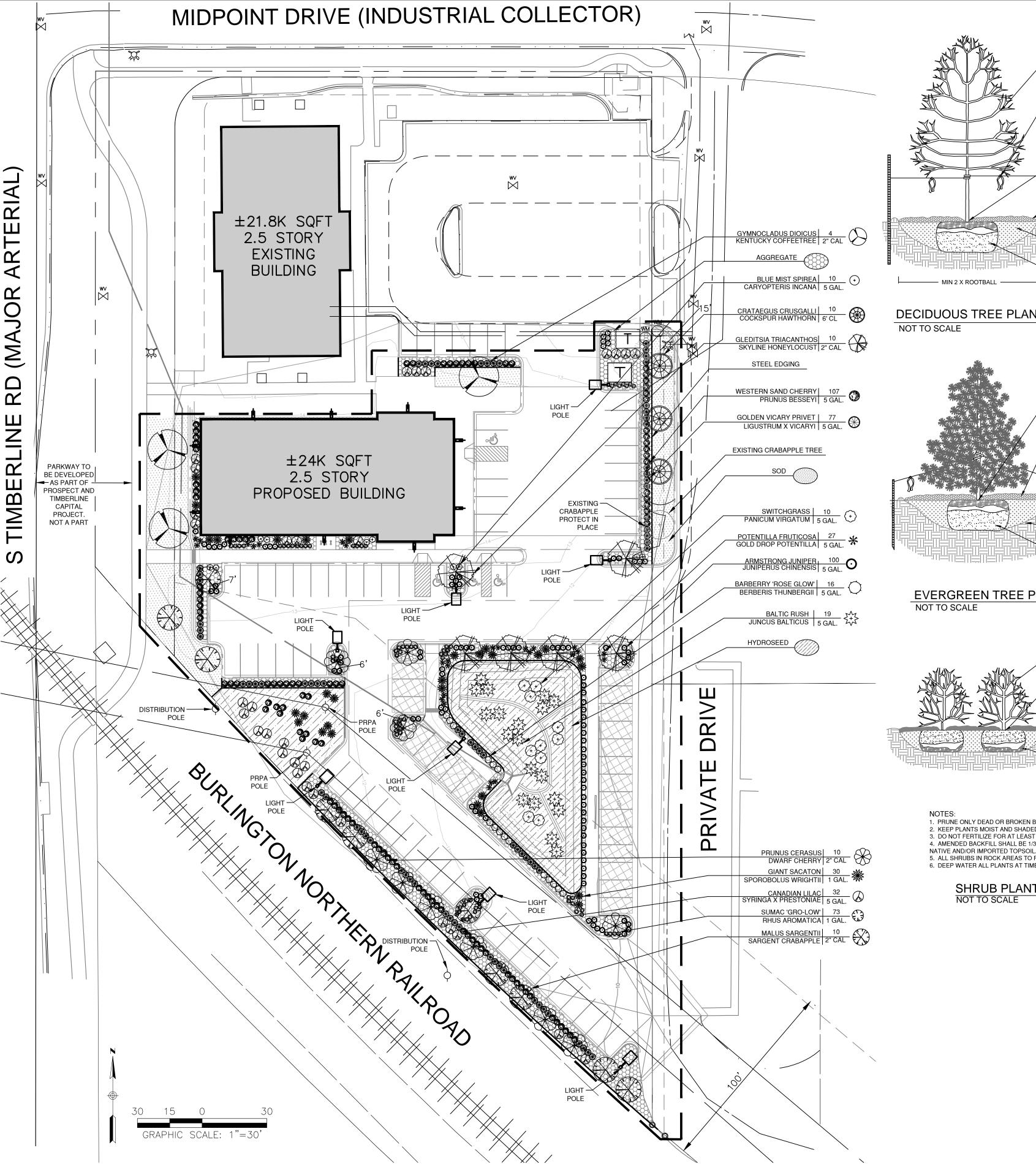
> SHALL BE RESPONSIBLE FOR MAINTENANCE OF LANDSCAPING SHOWN INCLUDING THAT WITHIN THE RIGHT-OF-WAY

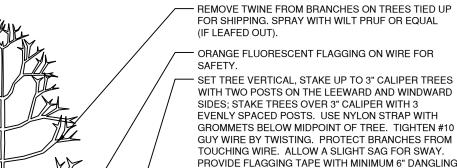
#### **GENERAL LANDSCAPE NOTES:**

- . PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
- . <u>IRRIGATION</u>: ALL LANDSCAPE AREAS WITHIN THE SITE NCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED. WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM. OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL
- 3. <u>TOPSOIL</u>: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- 4. SOIL AMENDMENTS: SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1.000) SQUARE FEET OF LANDSCAPE AREA, Prior to the issuance of any certificate of occupancy, A written certification MUST BE SUBMITTED TO THE CITY that all planted areas, or areas to be planted, have been thoroughly loosened and the soil amended, consistent with the requirements set forth in SECTION
- INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL RE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH, ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT. PERFORMANCE BOND. OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- 6. Maintenance: Trees and vegetation, irrigation systems, fences, walls and other landscape elements WITH THESE FINAL PLANS shall be considered as elements of the project in the same manner as parking, building materials and other site details. The applicant, landowner or successors in interest shall be jointly and severally esponsible for the regular maintenance of all landscaping elements in good condition. All landscaping shall be maintained free from disease, pests, weeds and litter, and all landscape structures such as fences and walls shall be repaired and replaced periodically to maintain a structurally sound condition
- . <u>REPLACEMENT</u>: ANY LANDSCAPE ELEMENT THAT DIES, OR IS THERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
- 8. THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:
- 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS 15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES. SANITARY AND STORM SEWER LINES
- 9. ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS

4 FEET BETWEEN TREES AND GAS LINES

- 10. PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
- . COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS STREET MEDIANS AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS ASSOCIATION THE PROPERTY OWNERS ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND ON ALL DRIVEWAYS, PRIVATE DRIVES AND PARKING AREAS WITHIN THE DEVELOPMENT.
- 2. THE DEVELOPER SHALL ENSURE THAT THE FINAL LANDSCAPE PLAN IS COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- 13. MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
- 14. ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.
- 15. IRRIGATED TURF SHALL BE TEXAS BLUEGRASS/KENTUCKY BLUEGRASS HYBRID REVEILLE OR APPROVED EQUAL.
- 16. EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 18" X 4" STEEL SET LEVEL WITH TOP OF SOD OR APPROVED





EVENLY SPACED POSTS. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 6" DANGLING. SET STAKES IN MINIMUM 18" FIRM SOIL. REMOVE STAKES WITHIN 12-18 MONTHS OF PLANTING.

TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL. POSITION ROOT FLARE AT GRADE.

4" DEPTH OF SPECIFIED MULCH. PROVIDE A 3' DIAMETER WOOD MULCH RING AND 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONES ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK. DO NOT PLACE FABRIC UNDER MULCH. NO RIM FOR TREES LOCATED IN TURF AREAS.

SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED

AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE,

DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL. POSITION ROOT FLARE AT GRADE - 4" DEPTH OF SPECIFIED MULCH. KEEP MULCH AWAY

— MIN 2 X ROOTBALL ——

LANDSCAPE FABRIC UNDER MULCH. PROVIDE A 6' DIAMETER MULCH RING WITH A 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONES ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDE 6" RIM ON DOWNHILL SIDE ON SLOPES. NO RIM FOR TREES IN IRRIGATED TURF AREAS.

FROM CONTACT WITH WOODY TRUNK. DO NOT PLACE

ORANGE FLUORESCENT FLAGGING ON WIRE FOR - SET TREE VERTICAL, STAKE TREES SMALLER THAN 6' WITH TWO POSTS ON THE LEEWARD AND WINDWARD SIDES: STAKE TREES 6' HEIGHT AND GREATER WITH 3 METAL ANGLE IRONS, PLACED 120 DEGREES APART, USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING FOR VISIBILITY. SET STAKES IN MINIMUM 18" FIRM SOIL. REMOVE STAKES WITHIN 12-18

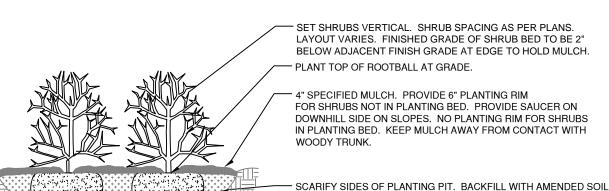
 SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED

- AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE,

MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

REMOVE ALL PACKAGING MATERIAL. FOR POT BOUND PLANTS

EVERGREEN TREE PLANTING DETAIL



ONLY: MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT FOR ROOT BIND AT BOTTOM OF BALL: SPLIT ROOTBALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING HOLE.

1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES. 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON. 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3

5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS. 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING. SHRUB PLANTING DETAIL

#### **PLANTING NOTES:**

1. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO

THE EDGE OF THE CROWN. 2. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS. 3. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

4. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON. 5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL 6. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE,

7. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

### **GENERAL NOTES:**

1. DRAWINGS ARE DIAGRAMMATIC: PRECISE PLACEMENT OF COMPONENTS MAY NOT BE POSSIBLE AS INDICATED, CONSULT PROJECT LANDSCAPE ARCHITECT PRIOR TO MAKING RANDOM FIELD CHANGES WHICH MAY ALTER DESIGN INTENT 2. QUANTITIES ARE PROVIDED FOR REFERENCE ONLY; VERIFY ALL QUANTITIES PRIOR TO SUBMITTING COST PROPOSAL. IN THE EVENT OF A CONFLICT BETWEEN SCHEDULED, IMPLIED, OR EXPRESSED QUANTITIES. THOSE QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS WILL PREVAIL IN ANY CASE. 3. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND VERIFICATION OF ALL FIELD

MAY AFFECT THE LANDSCAPE INSTALLATION. MOBILIZING SHALL BE CONSTRUED AS 4. COORDINATE ALL WORK INDICATED ON THESE DRAWINGS WITH WORK OF OTHER TRADES. 5. THE PROJECT LANDSCAPE ARCHITECT RESERVES THE RIGHT TO CONSIDER AND APPROVE ALTERNATE INSTALLATIONS AT ANY TIME WHICH IN THE LANDSCAPE ARCHITECT'S OPINION MAXIMIZES THE CONSTRUCTION BUDGET AND MAINTAINS DESIGN INTENT. 6. ALL TREES TO HAVE 4" DEPTH WOOD MULCH RING IN ROCK MULCH, SOD, AND NATIVE

CONDITIONS AND RESOLVING CONFLICTS PERTAINING TO DIMENSIONS, LAYOUT, ETC., WHICH

SEED AREAS AS SHOWN IN THE DETAILS. 7. THERE SHALL BE A 3 FOOT CLEAR SPACE MAINTAINED AROUND THE CIRCUMFERENCE AROUND ALL FIRE HYDRANTS 8. EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEEDED AREAS ON SLOPES

INDICATED ON DRAWINGS 9 CONTRACTOR TO LITH IZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. IF THE AMOUNT OF TOPSOIL NEEDED TO COMPLETE FINAL GRADING IS NOT AVAILABLE, THE CONTRACTOR SHALL IMPORT THE AMOUNT OF SOIL NEEDED. TILL INTO THE 10. ALL PARKING LOT ISLANDS AND MEDIANS NOT PROPOSED AS WATER QUALITY SWALES TO

BE TILLED TO A DEPTH OF 30" PRIOR TO SOIL AMENDMENT AND PLANT INSTALLATION. 11. ALL PARKING LOT ISLANDS AND MEDIANS NOT PROPOSED AS WATER QUALITY SWALES TO BE MOUNDED TO A HEIGHT OF 24" ABOVE FINISHED GRADE. 12. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE DONE BY THE OWNER UPON COMPLETION OF LANDSCAPE INSTALLATIONS.

## LANDSCAPE SCHEDULE:

#### PLANTING SCHEDULE: TREES GLEDITSIA TRIACANTHOS 'INERMIS' L-M SKYLINE HONEYLOCUST CRATAEGUS CRUSGALLI 'INERMIS COCKSPUR HAWTHORN MALUS SARGENTII 12-15' 12-15' SARGENT CRABAPPLE PRUNUS CERASUS 12'-15 12'-15 2" CAL GYMNOCI ADUS DIOICUS L-M KENTUCKY COFFEETREE **SHRUBS** SYRINGA X PRESTONIA CANADIAN LILAC OTENTILLA FRUTICOSA 'GOLD DROP' GOLD DROP POTENTILLA LIGUSTRUM X VICARYI **GOLDEN VICARY PRIVE** RHUS AROMATICA 'GROW LOW' DWARF FRAGANT SUMAC CARYOPTERIS INCANA BLUE MIST SPIREA PRUNUS BESSEY 4-6' 4-6' 5 GAL. 107 I WESTERN SAND CHERRY 16 BERBERIS THUNBERGII 'ROSEGLOW BARBERRY 'ROSE GLOW' **GRASSES & RUSHES** SPOROBOLUS WRIGHTII GIANT SACATON PANICUM VIRGATUM JUNCUS BALTICUS Symbol Key: SYMBOL DESCRIPTION/REMARKS

STEEL MAINTENANCE EDGE UNIFORMLY PLACED TO A 4" DEPTH AROUND ALL TREE ROOT BALLS.

AGGREGATE: 2-4" WHOLE WASHED RIVER COBBLE TO A DEPTH OF 4" ON FABRIC

Site Name or Location Detention Basin Mix 2015 Area 43.560 ft2 or 1 acre Current Condition of Soils and/or Site disturbed Seeds/ft2 and/or Lbs/PLS/Acre 70 Seeds/ft2 (50 grass and 20 forb) and/or 6 Lbs/PLS/Acre (3.3 grass and 2.7 forb) Mix Created CS 2015

> Sideoats Grama Bouteloua curtipendula Blue Grama Bouteloua gracilis Canada Wild Ry Elymus canadensis Switchgrass Panicum virgatum Little Bluesten six weeks fescue Vulpia octoflora Cleome serrulata Mexican hat Black-eved Susar Rudbeckia hirta Please note that the pounds per acre are in PLS (Pure Live Seed) and must be ordered that way

\* This mix is based on 70 seeds/ square foot and is only calculated for one acre. This mix is based on the contractor using a drill seed application. Contractor is responsible for calculating the appropriate seed amounts to purchase. Mix should be doubled if hand broadcasted. All materials furnished shall be free of Colorado State noxious weeds as defined in Article II Section 21-40 of the Code of the City of Fort Collins. Any changes to this seed mix must be approved by City of Fort Collins Natural Areas Program staff. For questions or concerns please call:

Office 970-416-2133

Milliam Gaman

719 633 9700

Email info@guman net

CENTERPOINT PLAZA FIRST REPLAT LANDSCAPE PLANTING PLAN

**PRELIMINARY** NOT FOR CONSTRUCTION

PLATTE RIVER POWER

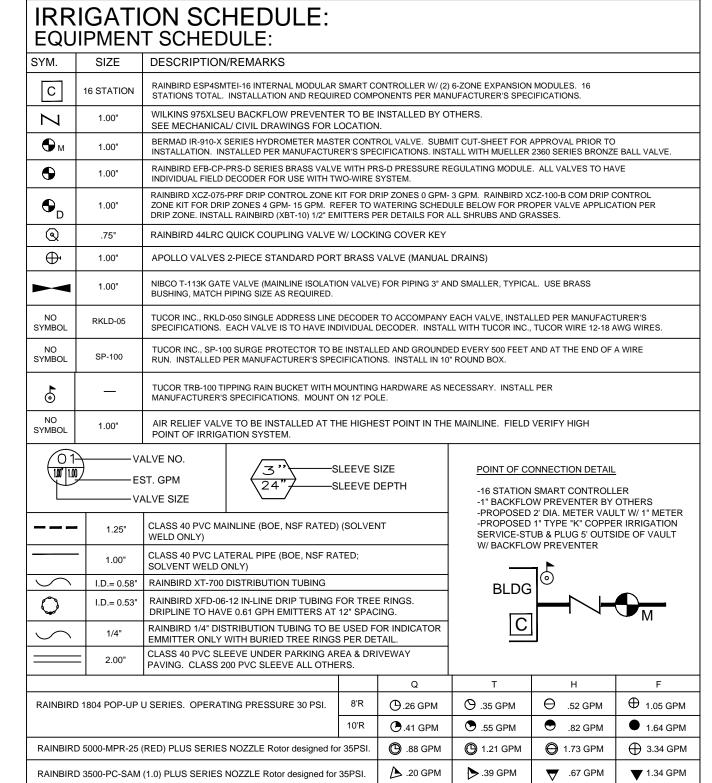
CHECKED BY: WFG SCALE: 1" = 30'-0"

**AUTHORITY APPROVAL** 

SHEET: 3 OF 5

DATE: 09/23/15

DRAWN BY: MST



#### **SMART CONTROLLER NOTES:**

- NEW RAINBIRD ESP SMART CONTROLLER. INSTALLATION TO BE FOR INTERNAL MOUNT PER MANUFACTURER'S RECOMMENDATIONS INSTALLATION TO INCLUDE ANY AND ALL NECESSARY COMMUNICATION/ PHONE WIRES FOR
- OPERATING CENTRAL CONTROL FEATURES, HYDROMETER, ETC. HYDROMETER TO BE PER THE SPECIFICATIONS AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE COMMUNICATION WIRE TO NEW CONTROLLER.

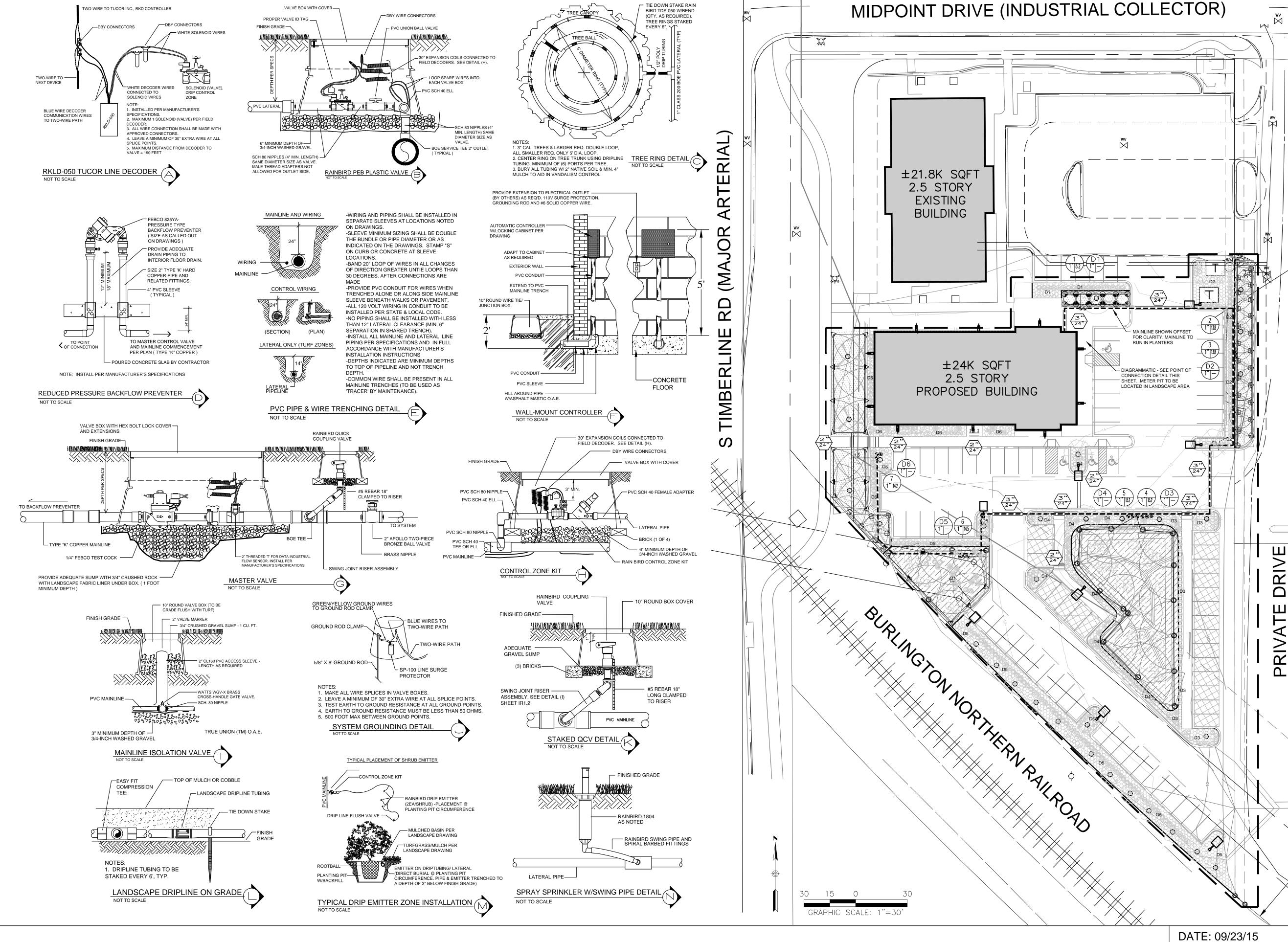
## IRRIGATION PLAN NOTES: 1. ALL MAINLINE LOCATIONS TO BE MARKED WITH TRACER WIRE.

- ALL NEW MAINLINE TO BE LOCATED A MINIMUM 2' FROM BACK OF WALKWAYS.
- PRECIPITATION RATE IS THE AVERAGE PRECIPITATION FOR THIS ZONE EXPRESSED IN INCHES PER HOUR. RUN TIME (I.E. R.T.) IS THE REQUIRED OPERATING TIME NEEDED TO APPLY 1.25 INCHES OF WATER PER WEEK FOR SOD
- AREAS AND 1.00 INCHES OF WATER PER WEEK FOR NATIVE SEED AREAS. DRAWING IS DIAGRAMMATIC; PRECISE PLACEMENT OF EQUIPMENT MAY NOT BE POSSIBLE AS INDICATED. FIELD CHANGES
- WHICH DO NOT ALTER DESIGN INTENT MAY BE PERFORMED BY INSTALLER.
  QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS PREVAIL OVER SCHEDULED QUANTITIES. RUN TIMES ARE FOR A THREE (3) DAY WATERING SCHEDULE.
- SEASONAL APPLICATION RATES ARE AS FOLLOWS: SPRING 70%, SUMMER 100%, FALL 60%.
- CONTRACTOR TO ADJUST NOZZLE SIZES AS NEEDED TO ENSURE ADEQUATE COVERAGE 10. ALL IRRIGATION ZONE LATERALS NOT LABELED SHALL BE 1" IN SIZE.
- 12. ALL MAINLINE STUB-OUTS THAT SERVICE ONLY DRIP IRRIGATION VALVES SHALL BE 1" MAINLINE. 13. ALL IRRIGATION ZONE LATERALS NOT LABELED SHALL BE 1" IN SIZE.

VAL	VE SCHED	ULE:			TOTAL WATER USE
NO.	FLOW (GPM)	ZONE	SIZE	RUN TIME	
01	8.2	A01	1.00"	38 MIN.	
02	13.8	A02	1.00"	13 MIN.	$\overline{DU_{D}}$
03	13.8	A03	1.00"	13 MIN.	
04	13.2	A04	1.00"	48 MIN.	LWR = 1 x [(.70 x 1.2)8"] x 25570 x 0.62
05	13.2	A05	1.00"	48 MIN.	.80
06	14.5	A06	1.00"	36 MIN.	]
07	14.2	A07	1.00"	14 MIN.	LWR = 796.9 GAL/DAY
D01		A08	1.00"	60 MIN.	LWR = 12.6 GAL/SF
D02		A08	1.00"	60 MIN.	
D03		A09	1.00"	60 MIN.	
D04		A09	1.00"	60 MIN.	
D05		A10	1.00"	60 MIN.	
D06		A10	1.00"	60 MIN.	

C. RATE IR)	ZONE	PLANT	SOIL	MICDOCLIMATE
łR)			JOIL	MICROCLIMATE
		MATERIAL TYPE	TYPE	(SUN/SHADE)
.61	A01	SOD	CLAY	SHADY MOST OF DAY
1.86	A02	SOD	CLAY	SUNNY ALL DAY
1.86	A03	SOD	CLAY	SUNNY ALL DAY
.41	A04	SEED, SHRUBS	CLAY	SUNNY ALL DAY
.41	A05	SEED, SHRUBS	CLAY	SUNNY ALL DAY
.68	A06	SEED, SHRUBS	CLAY	SUNNY ALL DAY
1.41	A07	SOD	CLAY	SUNNY MOST OF DAY
N/A	A08	SHRUBS, TREES	CLAY	SHADY MOST OF DAY
N/A	A08	SHRUBS, TREES	CLAY	SUNNY MOST OF DAY
N/A	A09	SHRUBS, TREES	CLAY	SUNNY MOST OF DAY
N/A	A09	SHRUBS, TREES	CLAY	SUNNY MOST OF DAY
N/A	A10	SHRUBS, TREES	CLAY	SUNNY MOST OF DAY
N/A	A10	SHRUBS, TREES	CLAY	SHADY MOST OF DAY
	1.86 1.86 .41 .41 .68 1.41 N/A N/A N/A N/A N/A	1.86 A02 1.86 A03 .41 A04 .41 A05 .68 A06 1.41 A07 N/A A08 N/A A08 N/A A09 N/A A09 N/A A09 N/A A10	1.86         A02         SOD           1.86         A03         SOD           .41         A04         SEED, SHRUBS           .41         A05         SEED, SHRUBS           .68         A06         SEED, SHRUBS           1.41         A07         SOD           N/A         A08         SHRUBS, TREES           N/A         A08         SHRUBS, TREES           N/A         A09         SHRUBS, TREES           N/A         A09         SHRUBS, TREES           N/A         A10         SHRUBS, TREES	1.86         A02         SOD         CLAY           1.86         A03         SOD         CLAY           .41         A04         SEED, SHRUBS         CLAY           .41         A05         SEED, SHRUBS         CLAY           .68         A06         SEED, SHRUBS         CLAY           1.41         A07         SOD         CLAY           N/A         A08         SHRUBS, TREES         CLAY           N/A         A09         SHRUBS, TREES         CLAY           N/A         A09         SHRUBS, TREES         CLAY           N/A         A10         SHRUBS, TREES         CLAY           N/A         A10         SHRUBS, TREES         CLAY

ANNUAL WATER USE CHART:							
NO.	IRRIGATED AREA (SF)	HYDROZONE	ZONE	WATER USE (GAL/SF)	TOTAL WATER USE (GAL)		
01	1,704	HIGH	A01	18	30,672		
02	706	HIGH	A02	18	12,708		
03	706	HIGH	A03	18	12,708		
04	3,098	LOW	A04	3	9,294		
05	3,098	LOW	A05	3	9,294		
06	2,052	MEDIUM	A06	10	20,520		
07	1,014	HIGH	A07	18	18,252		
D01	1,051	MEDIUM	A08	10	10,510		
D02	1,267	MEDIUM	A08	10	12,670		
D03	1,188	MEDIUM	A09	10	11,880		
D04	1,090	MEDIUM	A09	10	10,900		
D05	3,590	MEDIUM	A10	10	35,900		
D06	1,355	MEDIUM	A10	10	13,550		





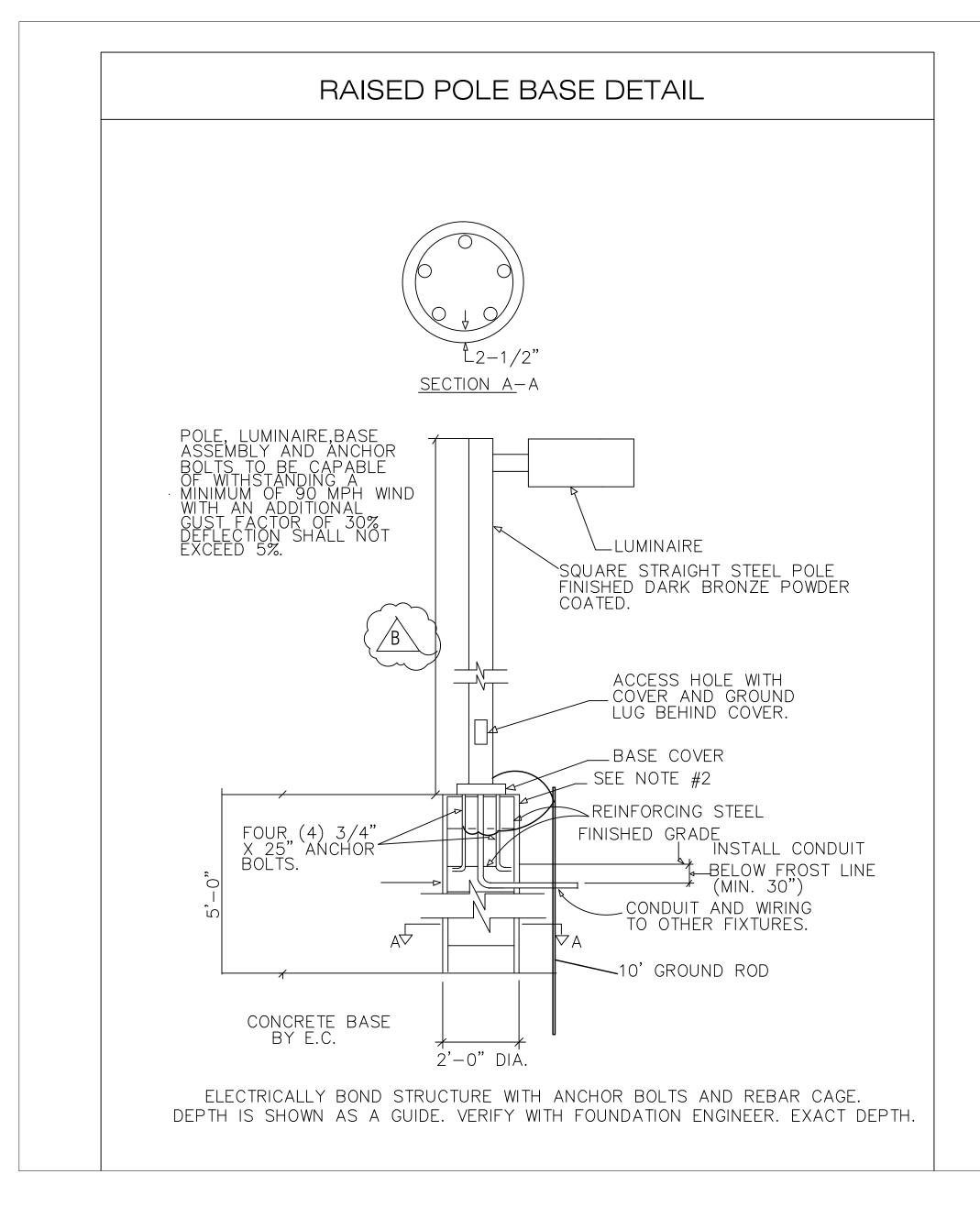
## CENTERPOINT PLAZA FIRST REPLAT LANDSCAPE IRRIGATION PLAN

**PRELIMINARY** NOT FOR CONSTRUCTION

PLATTE RIVER POWER **AUTHORITY APPROVAL**  **CHECKED BY: WFG** SCALE: 1" = 30'-0"

SHEET: 4 OF 5

DRAWN BY: MST





NOTE: ALL EXTERIOR LIGHT FIXTURES TO BE FULL CUT OFF TYPES. PROPOSED FIXTURES TO MEET AND COMPLY WITH DESIGN STANDARDS OUTLINED IN SECTION 3.24 (D) OF CITY OF FORT COLLINS LAND USE CODE.

B REVIDED POLE HEIGHT TO 15' IN LOCATIONS MARKED AS TYPE "B" , TYPE "A' POLES TO REMAIN AT 17' HIEGHT.

