CITY OF FORT COLLINS TYPE 1 ADMINISTRATIVE HEARING FINDINGS AND DECISION

| HEARING DATE: | May 20, 2015 |
|------------------|--|
| PROJECT NAME: | Centre for Advanced Technology 23 rd Lot 2 Office Building |
| CASE NUMBER: | FDP150007 |
| APPLICANT: | Cathy Mathis The Birdsall Group 444 Mountain Avenue Berthoud, CO 80513 |
| OWNER: | Colorado State Research Foundation 601 South Howes Street Fort Collins, CO 80521 |
| HEARING OFFICER: | Kendra L. Carberry |

PROJECT DESCRIPTION: This is a request for a consolidated Project Development Plan/Final Plan (FDP) to construct a 31,619 square foot office building on 1.88 acres. The project is located at the northwest corner of Rolland Moore Drive and Centre Avenue, between Centre Avenue and Perennial Drive. The FDP requests one Modification of Standard (Section 3.5.3(C)(2), Orientation to Build-to Lines for Streetfront Buildings) to provide a small parking lot on the south end of the building.

SUMMARY OF DECISION: Approved

ZONE DISTRICT: Employment (E)

HEARING: The Hearing Officer opened the hearing at approximately 5:30 p.m. on May 20, 2015, in Conference Room A, 281 North College Avenue, Fort Collins, Colorado.

EVIDENCE: During the hearing, the Hearing Officer accepted the following evidence: (1) Planning Department Staff Report; (2) application, plans, maps and other supporting documents submitted by the applicant; and (3) email from Shana Fisher dated May 18, 2015 (the Land Use Code, the Comprehensive Plan and the formally promulgated polices of the City are all considered part of the record considered by the Hearing Officer).

TESTIMONY: The following persons testified at the hearing:

| From the City: | Clay Frickey |
|---------------------|-------------------------------------|
| From the Applicant: | Cathy Mathis, Jeff Hansen, Bo Brown |
| From the Public: | N/A |

FINDINGS

1. Evidence presented to the Hearing Officer established the fact that the hearing was properly posted, legal notices mailed and notice published, with the exception that the published and mailed notices referred to the "Northeast corner of Rolland Moore Dr. and Centre Ave." when the evidence presented at the hearing demonstrated that the site is actually located on the Northwest corner of Rolland Moore Drive and Centre Avenue. However, the Hearing Officer finds that the mailed notice contained an accurate map, and the posted notice was posted on the correct property. Therefore, the Hearing Officer finds that the error was *de minimus* and that the notices were adequate to inform the public of the time and place of the hearing and the subject of the hearing.

2. The FDP complies with the applicable General Development Standards contained in Article 3 of the Code.

a. The FDP complies with Section 3.2.1(D)(1)(c), Tree Planting Standards – Full Tree Stocking, because the landscaping includes groups of canopy, coniferous evergreen, and ornamental trees planted in compliance with the Code.

b. The FDP complies with Section 3.2.1(D)(2), Tree Planting Standards – Street Trees, because the FDP includes ornamental Chanticleer Pear trees planted in compliance with the required spacing.

c. The FDP complies with Section 3.2.1(E)(4), Parking Lot Perimeter Landscaping, because the parking areas are screened from abutting uses with one tree every 25', plus a low wall of tall grasses, small shrubs and a mix of ornamental and evergreen trees.

d. The FDP complies with Section 3.2.2(E)(5), Parking Lot Interior Landscaping, because the parking lots includes shaded areas and landscaped islands, and each landscaped island includes at least one canopy tree with complementary small shrubs and grasses.

e. The FDP complies with Section 3.2.2(C)(4)(b), Bicycle Parking Space Requirements, because 8 it includes enclosed bicycle parking spaces and 8 fixed rack bicycle parking spaces.

f. The FDP complies with Section 3.2.2(C)(5), Walkways, because the walkways connect both entrances to the building to the sidewalk network on Perennial Lane, Rolland Moore Drive and Centre Avenue.

g. The FDP complies with Section 3.2.2(D)(1), Access and Parking Lot Requirements, because an extensive sidewalk network is provided around the building, which sidewalk is separated from vehicle use areas by a curb.

h. The FDP complies with Section 3.2.2(E), Parking Lot Layout, because the parking lot layout contains adequate circulation routes, orientation and landscaped islands, and minimizes points of conflict.

i. The FDP complies with Section 3.2.2(J), Setbacks, because the proposed parking lot is set back further than the 10' minimum from non-arterial streets and 5' minimum along lot lines.

j. The FDP complies with Section 3.2.2(K)(2), Nonresidential Parking Requirements, because it includes 97 parking spaces, which is greater than the minimum required, but does not exceed the maximum required.

k. The FDP complies with Section 3.2.2(K)(5), Handicap Parking, because the small lot will provide 2 handicap accessible spaces and the large lot will provide 3 handicap accessible spaces.

1. The FDP complies with Section 3.2.3, Solar Access, Orientation, Shading, because the building is designed and located to minimize the casting of shadows on adjacent properties and could accommodate future active and passive solar installations.

m. The FDP complies with Section 3.2.4, Site Lighting, because the proposed lighting plan is consistent with the requirements of the Code.

n. The FDP complies with Section 3.2.5, Trash and Recycling Enclosures, because the trash and recycling enclosure abuts a storage area, allows walk-in access without having to open the main service gate, is screened from public view and is built on a concrete pad.

o. The FDP complies with Section 3.5.1, Building and Project Compatibility, because: the building is of similar height and scale to surrounding developments; the building appears to have less bulk than surrounding developments, because of its L-shaped footprint; the building materials will minimize massing; the outdoor storage area is appropriately located and screened; and the rooftop mechanical equipment is appropriately screened.

p. The FDP complies with Section 3.5.3(D), Variation in Massing, because t he proposed building is consistent with the requirements of the Land Use Code in regards to horizontal massing and changes in massing being related to entrances, the integral structure and interior spaces of the building. No horizontal plane exceeds a 1:3 height-width ratio. The changes in massing also relate to building features such as doors and windows, which are integral to the interior spaces of the building.

q. The FDP complies with Section 3.5.3(E), Character and Image, because: all walls break up their mass with windows, change in materials and fenestration pattern to provide a human scale; each entrance to the building is clearly defined by awnings and recession from abutting sections; extruded bays with a cornice line and window shades on the first story define a clear base of the building; and sloped roofs, a cornice line and awnings define a clear top of the building.

r. The FDP complies with Section 3.6.6, Emergency Access, because an emergency access easement runs through the large parking lot.

3. The FDP complies with the applicable standards contained in Article 4 of the Code for the Employment zone district.

a. The FDP complies with Section 4.28(B)(2), Permitted Uses, because office use is permitted in the Employment zone district.

b. The FDP complies with Section 4.27(D)(4)(a), Dimensional Standards – Maximum Building Height, because the structure is less than the 4-story maximum.

c. The FDP complies with Section 4.27(E)(1)(b), Site Design, because the office building is similar in size and scale to the abutting residential buildings and prevents an abrupt change in the scale and height of buildings.

4. The Modification of Standard (Section 3.5.3(C)(2), Orientation to Build-to Lines for Streetfront Buildings) meets the applicable requirements of Section 2.8.2(H) of the Code.

a. The Modification would not be detrimental to the public good.

b. The Modification will promote the general purpose of the standard equally well or better than would a plan which complies with the standard.

c. The visual impact of the parking lot will be mitigated on all sides by the landscaping, which includes a low screen wall of native grass, shrubs, ornamental trees and canopy trees. The pedestrian experience will also be enhanced by the connecting walkway, allowing pedestrians to access the building at either entrance without crossing a drive aisle.

DECISION

Based on the foregoing findings, the Hearing Officer hereby enters the following rulings:

1. The FDP and the Modification of Standard are approved as submitted.

DATED this 3rd day of June, 2015.

finaia farberry

Kendra L. Carberry Hearing Officer



1 inch = 500 feet

CAT 23rd - Office Vicinity Map





February 25, 2015

Centre For Advanced Technology 23rd Filing, Lot 2 Office Building

Statement of Planning Objectives

This proposal is for a new office building to be located on Lot 2 of the Centre For Advanced Technology 23rd Filing. The project location is at the corner of Rolland Moore Drive, between Perennial Lane and Centre Avenue. The surrounding infrastructure, utilities, street paving, and parking are all in place from the construction of the Grove.

Uses surrounding the property consist of the following:

South: The Grove parking lot, Zoned E West: The Grove apartment buildings, Zoned E North: Sunshine House Day Care, Zoned E East: NRRC Research Campus, CSU

This building will be designed as a multi-tenant office building. It will have 2 stories fully above grade plus a lower, walk-out garden level. The building footprint is approx. 12,070 sq.ft. with total area for all 3 levels approx. 31,070 sq.ft. Architectural style will be contemporary with multiple building masses accentuated by changes in plane and/or materials. Elevations feature a mix of punched openings and larger, multi-story openings framed with aluminum storefront and curtainwall systems. Roofs will be a combination of flat single membrane roofs with extended parapet walls and sloping roofs with standing seam prefinished metal. Exterior wall finish materials will be primarily brick and stucco.

Main access to the site is provided from Perennial Lane, which serves the lower parking area, containing parking for 89 cars for employees and visitors. Access to the upper parking area will utilize an existing entrance off of Rolland Moore Drive, which currently aligns with the existing parking lot for the Grove. 12 parking spaces will be provided for visitors.

The 1.88-acre site is in the E- Employment zoning district. The area surrounding the proposed office building contains a mix of single and multi-family, government buildings, office parks, a senior living campus and community gardens. The site is ideal for this type of use as it provides a high-quality office building in a vacant infill site in Fort Collins. The proposed project is located within walking and biking distance to neighborhoods, restaurants, employment, and shopping centers. There is an existing transit stop directly across Centre Avenue and there is a new pad for a stop on the west side of Centre. There are bike lanes in Centre Avenue and the Spring Creek Bike Trail is close to the site. In addition, there are ample resources for the office building's employees to tap into, such as the Gardens on Spring Creek, numerous bike trails, Rolland Moore Park and the MAX bus route.

(i) Statement of appropriate City Plan Principles and Policies achieved by the proposed plan:

This proposal meets the following applicable City Plan Principles and Policies:

Environmental Health

Principle ENV 19: The City will pursue opportunities to protect and restore the natural function of the community's urban watersheds and streams as a key component of minimizing flood risk, reducing urban runoff pollution, and improving the ecological health of urban streams.

Policy ENV 19.2 – Pursue Low Impact Development

The project is implementing LID by incorporating grass swales and pervious pavement, which will treat runoff from the new building.

Community and Neighborhood Livability

Principle LIV 38: Employment Districts will be the major employment centers in the community, and will also include a variety of complementary uses to meet the needs of employees. By design, they will be accessible to the City's multimodal transportation system and encourage walking, bicycling, car and van pooling, and transit use. Policy LIV 38.1 - Mix of Uses Policy LIV 38.5 – Coordinate District Design Policy LIV 38.7 – Address Parking Policy LIV 38.8 – Provide Walkways and Bikeways Policy LIV 38.10 – Link to Transit

The proposed office building is a primary use located in rapidly developing area. The area surrounding the site contains a mix of residential, institutional, employment, office and retail. The visual impacts of the parking lot have been reduced by placing the parking to the side of the building and enhancing with landscaping. Centre Avenue, the Spring Creek trail and the nearby MAX BRT all will help promote and encourage the use of multi-modal transportation.

Transportation

Principle T 8: Transportation that provides opportunities for residents to lead healthy and active lifestyles will be promoted. Policy T 8.1 – Support Active Transportation Policy T 8.2 – Design for Active Living

The location of this office building will support active lifestyles by utilizing onstreet sidewalks, designated bike lanes, bike and walking trails and transit. Principle T 9: Enhanced Travel Corridors will contain amenities and designs that specifically promote walking, the use of mass transit, and bicycling.

Policy T 9.1 – Locating Enhanced Travel Corridors

The project is located within walking distance to the MAX Bus Rapid Transit.

Principle T10: Using transit will be a safe, affordable, easy, and convenient mobility option for all ages and abilities. Policy T 10.1 – Transit Stops

There are existing transit stops on Centre Avenue, very close to the site.

Principle T11: Bicycling will be a safe, easy, and convenient mobility option for all ages and abilities

The location of the office building will promote and support the idea of the employees and clients to utilize alternative modes of transportation (walking/biking) or public transportation. There are bike lanes and sidewalks on all of the public streets.

- (ii) Description of proposed open space, wetlands, natural habitats and features, landscaping, circulation, transition areas, and associated buffering on site and in the general vicinity of the project. There are no wetlands or significant natural habitats within the boundaries of the site. However, due to the proximity to the existing Larimer County Canal No. 2 irrigation ditch, an ECS letter has been provided.
- (iii) Statement of proposed ownership and maintenance of public and private open space areas; applicant's intentions with regard to future ownership of all or portions of the project development plan. The facility will be constructed and owned by CSURF.
- (iv) Estimate of number of employees for business, commercial, and industrial uses. 45 - 60
- (v) Description of rationale behind the assumptions and choices made by the applicant.

Our assumptions are based on the following rationale for the proposed office use:

The motivation behind the new building was to provide Class A office space for lease. The site has been vacant for many years and the improvements will create an attractive corner presence at the intersection of two busy streets.

(vi) The applicant shall submit as evidence of successful completion of the applicable criteria, the completed documents pursuant to these regulations for each proposed use. The planning Director may require,

or the applicant may choose to submit, evidence that is beyond what is required in that section. Any variance from the criteria shall be described.

At this time the project is not proposing any variance from the City of Fort Collins criteria.

- (vii) Narrative description of how conflicts between land uses or disturbances to wetlands, natural habitats and features and or wildlife are being avoided to the maximum extent feasible or are mitigated. There are not existing wetlands, natural habitats or features currently located on site. See above.
- (viii) Written narrative addressing each concern/issue raised at the neighborhood meeting(s), if a meeting has been held. There was no neighborhood meeting held.
- (ix) Name of the project as well as any previous name the project may have had during Conceptual Review. The project is called CAT 3rd Lot 2 Office Building. The project was called Centre For Advanced Technology - Office at Conceptual Review.



February 25, 2015

Administrative Hearing Officer c/o City of Fort Collins Current Planning Department 281 North College Ave. Fort Collins, CO 80524

Re: CAT 23rd Lot 2 Office Building

Please accept this request for a Modification of Standards to **Sections 3.5.3(C)(2)** of the Land Use Code.

Background

This proposal is for a new office building to be located on Lot 2 of the Centre For Advanced Technology 23rd Filing. The project location is at the corner of Rolland Moore Drive, between Perennial Lane and Centre Avenue. The surrounding infrastructure, utilities, street paving, and parking are all in place from the construction of the Grove.

The proposed building will contain approximately 31,600 sq. ft. of office space and is one to three stories in height. Main access to the site is provided from Perennial Lane, which serves the lower parking area, containing parking for 89 cars for employees and visitors. Access to the upper parking area will utilize an existing entrance off of Rolland Moore Drive, which currently aligns with the existing parking lot for the Grove. 12 parking spaces will be provided for visitors.

The 1.88-acre site is in the E- Employment zoning district. The area surrounding the proposed office building contains a mix of single and multi-family, government buildings, office parks, a senior living campus and community gardens. The site is ideal for this type of use as it provides a high-quality office building in a vacant infill site in Fort Collins. The proposed project is located within walking and biking distance to neighborhoods, restaurants, employment and shopping centers. There is an existing transit stop directly across Centre Avenue and there is a new pad for a stop on the west side of Centre. There are bike lanes in Centre Avenue and the Spring Creek Bike Trail is close to the site. In addition, there are ample resources for the office building's employees to tap into, such as the Gardens on Spring Creek, numerous bike trails, Rolland Moore Park and the MAX bus route.

The modifications are requested in accordance with the review procedures set forth in Section 2.8.2(H) of the Land Use Code as follows:

Modification to Section 3.5.3(C)(2)

<u>Code Language:</u> Section 3.5.3(C) *Relationship of Buildings to Streets, Walkways and Parking* states the following:

(2) Orientation to Build-to Lines for Streetfront Buildings. Build-to lines based on a consistent relationship of buildings to the street sidewalk shall be established by development projects for new buildings and, to the extent reasonably feasible, by development projects for additions or modifications of existing buildings, in order to form visually continuous, pedestrian-oriented streetfronts with <u>no vehicle use area</u> between building faces and the street.

<u>Requested Modification:</u> We request that the proposed building have a vehicle use area between the south building face and Rolland Moore Drive.

Modification Criteria

The request of approval for this modification complies with the standards per Review Criteria 2.8.2 (H)(1) in the following ways:

1. The plan as submitted will promote the general purpose of the standard for which the modification is requested **equally well or better than** would a plan which complies with the standard for which a modification is requested.

Further, We feel that the granting of the modification would **not be detrimental to the public good**.

Justification

We feel that the plan as submitted will promote the general purpose of the standard for which the modification is requested **equally well or better than** would a plan which complies with the standard for which a modification is requested for the following reasons:

- The intervening vehicle use area that separates the southwest side of the building from Rolland Moore Drive allows vehicles to circulate and park on the south side of the building. This area is relatively small in size and will be paved with pourous pavers, thus minimizing the fact that there is a parking lot between the building and the street.
- The pedestrian-oriented streetfront is reinforced by the fact that there is a continuous connecting walkway from the building entry to the street so that pedestrains do not have to cross a drive aisle. The building entry plaza is a significant feature that mitigates the impact of the vehicle use area. The purpose of the connecting walkway is to strengthen the relationship between the building and the street and the plaza feature accomplishes this purpose well.
- Due to the existing site grading, the siting of the building is unique, offering a lower level walk out on the north side of the building and an upper level entrance on the south side. Allowing a small parking area to be located here allows visitors to have a convenient place to park.
- The proposed alternative plan continues to improve the design, quality and character of new development by exceeding the building standards set forth in Section 3.5. The use of high quality building materials, building articulation, projections and recesses ensure sensitivity to and compatibility with the surrounding neighborhood.

- The proposed alternative plan continues to encourage the development of vacant properties within established areas. The site is surrounded by existing development a mix of multi-family, government office buildings, a day care center and a community garden.
- The visual impacts of the vehicle use area is greatly reduced by the use of extensive, enhanced landscaping along the frontage of Rolland Moore Drive, utilizing a combination of shrubs, grasses and trees that will provide ample screening.

We look forward to working with you during this process and will be happy to answer any questions you may have.

Sincerely,

Cathy Mathi

Cathy Mathis, APA Project Manager, The Birdsall Group



- 12. THE TRASH AND RECYCLING ENCLOSURE WILL BE CONSTRUCTED ON A CEMENT CONCRETE PAD PER LUC 3.2.5(C)(7).

| • | Vicinity Map: | |
|---|--|--|
| | NOT TO SOULE NORTH | Iandscape architecture planning illustration |
| PROJECT | X X <td></td> | |
| | | 444 Mountain Ave. TEL 970.532.5891 Berthoud,CO 80513 WEB TBGroup.us |
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| | Land-Use Statistics | CENTRE FOR ADVANCED |
| | EXISTING ZONING: E - EMPLOYMENT | TECHNOLOGY 23RD |
| | GROSS LAND AREA: 82,264 SF 1.88 AC NUMBER OF BUILDINGS: 1 | FILING, LOT 2 OFFICE BUILDING |
| ľ | LAND USE: OFFICE | |
| | TOTAL BUILDING GROSS S.F.: 32,294 SF | |
| | TOTAL STORIES:3FLOOR AREA RATIO:2.6:1 F.A.R. | Fort Collins, Colorado |
| | | PREPARED FOR |
| | GROSS AREA COVERAGE | Colorado State University Research Foundation |
| | SQUARE FEET ACRES % OF | PO Box 483 Fort Collins CO 80522 |
| | BUILDING FOOTPRINT 11,756 0.270 14% LANDSCAPE AREA 28,530 0.655 35% | Contact: Bo Brown Phone: 970.492.4503 |
| | PAVED DRIVES AND PARKING 37,461 0.860 46% | T Hone. 970.492.4909 |
| | SIDEWALKS / PATIOS 4,517 0.103 5% | |
| | TOTAL AREA: 82,264 1.888 100% | |
| / | OFF-STREET PARKING: | |
| | PER LUC SECTION 3.2.2(K)(2)(A): GENERAL OFFICE: MIN. 1 / 1,000 SQ. FT. MAX. 1 / 3,000 SQ. FT. | |
| | REQUIRED: MIN. MAX. 32 97 | |
| | PROVIDED: | |
| | STANDARD 97 ACCESSIBLE 5 | |
| | TOTAL SPACES PROVIDED 102 | |
| , , | BICYCLE PARKING : | |
| | REQUIRED: 1 SPACE PER 4,000 SQ. FT. 8 SPACES | |
| | PROVIDED: ENCLOSED 8 SPACES | |
| | FIXED RACKS 8 SPACES TOTAL SPACES PROVIDED 16 SPACES | |
| CES RESEARCH NRRC) D E | I OTAL SPACES PROVIDED IN SPACES | |
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- STREET AND ORNAMENTAL TREES SHALL BE PLANTED TO MEET STANDARDS IN LUC 3.2.1.G. THEY SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET AND FIFTEEN (15) FEET RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER MAINS, SIX (6) FEET FROM WATER AND SEWER SERVICE LINES, FOUR (4) FEET FROM GAS, TELEPHONE AND ELECTRIC UTILITIES, EIGHT (8) FEET FROM ANY DRIVEWAY AND TWENTY (20) FEET FROM SIGNS AND TRAFFIC CONTROL DEVICES
- 2. MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTED IN FRONT OF FDC.
- 3. IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY WITH OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT. 4. ALL LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME OWNER WILL
- BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE. TREES AND VEGETATION. IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- 5. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING **REVEGETATION AND LANDSCAPING.**
- 6. EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
- 7. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND WALL FOUNDATIONS AND A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOSED GRADES
- 8. PRIOR TO FINE GRADING, SOD AREAS AND PLANTING BEDS, SHALL BE THOROUGHLY LOOSENED AND TILLE. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIRECTION, ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS. THE SOIL IN ALL LANDSCAPE AREAS. INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. DO NOT CULTIVATE SOIL WITHIN THE DRIP LINE OF EXISTING TREES TO RETAIN.
- 9. UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT OUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- 10. ONCE COMPACTED AND FINE GRADED ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE AND REMOVED FROM SITE.
- 11. SOD TO BE 100% COLORADO GROWN BLUEGRASS BLEND SPECIFICALLY GROWN FOR LOW WATER AND HIGH TRAFFIC LAWN APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM. ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED. COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATIONS.
- 12. ALL TREES SHRUBS AND PERENNIAL SHRUB BEDS OUTSIDE OF IRRIGATED AREAS ARE TO BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM. PERENNIAL SHRUB BEDS SHALL BE IRRIGATED BY 6" POP-UP SPRAY HEADS. IRRIGATION SYSTEM TO BE DESIGNED AND BUILT BY CONTRACTOR.
- 13. A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- 14. THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN APPROVAL BY THE CITY FORESTER FOR STREET TREES IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF THE DEVELOPMENT.
- 15. ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS. ALL PLANTS SHALL BE A-GRADE OR NO. 1 GRADE, FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- 16. IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS SHALL BE PROMPTLY REPLACED BASED ON THE REQUIREMENTS OF THE FORT COLLINS LAND USE CODES AND REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE CITY.
- 17. CHANGES IN PLANT SPECIES OF PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE CITY PRIOR TO INSTALLATION OF REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- 18. ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED.
- 19. ALL PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BIODEGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT. PRIOR TO PLANTING.
- 20. ALL SHRUB BEDS SHALL HAVE MINIMUM 5" DEPTH SHREDDED CEDAR MULCH NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. A CONTINUOUS LAYER OF TYPAR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4' O.C. IN ALL DIRECTIONS.
- 21. EDGING BETWEEN GRASS TYPES AND SHRUB BEDS / ROCK COBBLE SHALL BE DURA-EDGE HEAVY DUTY STEEL EDGER MIN. 14 GA x 4" WITH ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN CEDAR MULCH / COBBLE TRANSITIONS 22. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND
- HEALTHY GROWTH. ALL LANDSCAPING IN EACH PHASE SHALL EITHER BE INSTALLED OR THE INSTALLATION SHALL BE SECURED WITH A LETTER OF CREDIT, ESCROW OF PERFORMANCE BOND FOR ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE VALUE OF THE LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- 23. HEALTHY, MATURE TREES THAT ARE REMOVED BY THE APPLICANT OR BY ANYONE ACTING ON BEHALF OF OR WITH THE APPROVAL OF THE APPLICANT SHALL BE REPLACED WITH NOT LESS THAN ONE (1) OR MORE THAN SIX (6) REPLACEMENT TREES SUFFICIENT TO MITIGATE THE LOSS OF VALUE OF THE REMOVED TREE. THE APPLICANT SHALL SELECT EITHER THE CITY FORESTER OR A QUALIFIED LANDSCAPE APPRAISER TO DETERMINE SUCH LOSS BASED UPON AN APPRAISAL OF THE REMOVED TREE.
- 24. LANDSCAPING WITHIN THE R.O.W. IS RESTRICTED TO PLANTS THAT DO NOT EXCEED 24 INCHES IN HEIGHT MEASURED FROM THE STREET FLOWLINE (TREES EXCEPTED). IF THE LANDSCAPING WITHIN THE R.O.W. EXCEEDS THIS HEIGHT OR CREATES A SIGHT DISTANCE CONCERN THE PROPERTY OWNER SHALL BE REQUIRED TO TRIM THE LANDSCAPE MATERIAL.
- 25. DEVELOPER SHALL ENSURE THAT SITE PLAN AND LANDSCAPE PLAN AND UTILITY PLANS ARE COORDINATED SO THAT THE GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPING ELEMENTS AS SHOWN ON THE APPROVED PLANS.
- 26. ALL LANDSCAPE PLANTINGS INSTALLED WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT SIGHT DISTANCE AND INTERSECTION SIGHT TRIANGLE STANDARDS IN CHAPTERS 7 THROUGH 9 OF THE LARIMER COUNTY URBAN AREA STREET STANDARDS. TREE CANOPIES SHOULD NOT OBSTRUCT VISIBILITY OF TRAFFIC RELATED REGULATORY SIGNAGE
- 27. LANDSCAPING INCLUDING STREET TREES IN EACH PHASE SHALL BE OR SECURED WITH A LETTER OF CREDIT, ESCROW, OR PERFORMANCE BOND FOR 125% OF THE VALUE OF THE LANDSCAPING AND INSTALLATION PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR ANY BUILDING. ALL CITY STREET TREES MUST BE INSTALLED ESTABLISHED, OF AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO FINAL RELEASE OF FINANCIAL SECURITY.



DECIDUOUS TREE PLANTING DETAIL

Plant List

| KEY | QTY | RATIO | | BOTANICAL NAME | HEIGHT | WIDTH | SIZE | INSTALLATION NOTES |
|--|----------------|-------|--|---|----------|----------|----------------------|--|
| ADE / CANOP | TREES - | 24 | | | | | | |
| \bigcirc | 8 | 11.9% | COFFEE TREE, KENTUCY | Gymnocladus dioicus | 50' | 40' | 2" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| | 4 | 6.0% | HACKBERRY, WESTERN | Celtis occidentalis | 60' | 50' | 2" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| Sof | 8 | 11.9% | HONEYLOCUST, IMPERIAL | Gleditsia triacanthos inermis 'Imperial' | 40' | 40' | 2" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| \bigtriangledown | 4 | 6.0% | OAK, SHUMARD | Quercus shumardii | 50' | 40' | 2" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| VERGREEN TRE | : E S - | 8 | | | | | | |
| m H H H H H H H H H H H H H H H H H H H | 8 | 11.9% | SPRUCE, BAKERI | Picea pungens 'Bakerii' | 35' | 15' | 6' BB | FULL SPECIMEN, EVENLY AND WELL BRANCHED W/ STRAIGHT TRUNK & TOP LEADER |
| DRNAMENTAL TE | REES - | 35 | | | | | | |
| | 10 | 14.9% | CRABAPPLE, SPRING SNOW | Malus spp. 'Spring Snow' | 20' | 20' | 1.5" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| | 7 | 10.4% | MAPLE, AMUR | Acer ginnala 'Flame' | 20' | 20' | 1.5" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| | 3 | 4.5% | PEAR, CHANTICLEER | Pyrus calleryana 'Chanticleer' | 25' | 20' | 1.5" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| | 6 | 9.0% | PEAR, CHANTICLEER | Pyrus calleryana 'Chanticleer' | 25' | 20' | 2.0" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| | 9 | 13.4% | SERVICEBERRY, AUTUMN BRILLANCE | Amelanchier grandiflora 'Autumn Brillance' | 20' | 20' | 1.5" cal. BB | BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER |
| | UBS - | 6 | | | | | | |
| Junity Market | 6 | - | PINE, MUGO SLOWMOUND | Pinus mugo 'slowmound' | 3' | 5' | 5 Gallon | 18" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED |
| | UBS - | 211 | | | | | | |
| | 9 | - | BUTTERFLY BUSH, COMPACT PURPLE | Buddleja davidii nanhoensis 'Petite Plum' | 5' | 5' | 5 Gallon | 24" (h) FULL SPECIMEN, EVENLY AND WELL BRANCHED |
| \bigotimes | 29 | _ | CHOKEBERRY, BRILLIANT RED | Aronia arbutifolia 'Brilliantissima' | 6' | 6' | 5 Gallon | 24" (h) FULL SPECIMEN, EVENLY |
| 0 | 36 | _ | EUONYMUS, COMPACT BURNING BUSH | Euonymus alatus compacta | 7' | 7' | 5 Gallon | AND WELL BRANCHED |
| 0 | 28 | _ | LILAC, DWARF KOREAN | Syringa meyeri 'Palibin' | 4' | 4' | 5 Gallon | AND WELL BRANCHED 24" (h) FULL SPECIMEN, EVENLY |
| 0 | 34 | | POTENTILLA, MCKAY'S WHITE | Potentilla fruticosa 'McKay's | 2' | 3' | 5 Gallon | AND WELL BRANCHED 18" (h) FULL SPECIMEN, EVENLY |
| \bigcirc | 8 | | SAND CHERRY, WESTERN PAWNEE | White' Prunus besseyi 'Pawnee Buttes' | 30" | 6' | 5 Gallon | AND WELL BRANCHED 24" (h) FULL SPECIMEN, EVENLY |
| © | 18 | | BUTTES SPIREA, BLUE MIST | Caryopteris x clandonensis 'Blue | 4' | 3' | 5 Gallon | AND WELL BRANCHED 24" (h) FULL SPECIMEN, EVENLY |
| | 49 | | SUMAC, THREE LEAF | Mist' | 5' | 5' | 5 Gallon | AND WELL BRANCHED 24" (h) FULL SPECIMEN, EVENLY |
| | | | | Rhus trilobata | | , | | AND WELL BRANCHED |
| ERENNIALS / GF | 67 | 587 | | Helichtotrichon sempervirens | 21 | 21 | 1 Callon | WELL ROOTED AND |
| * | 134 | - | GRASS, AVENA GRASS, GRAMA BLONDE AMBITION | Bouteloua gracilis 'Blonde | 2' 2' | 2' 2' | 1 Gallon 1 Gallon | ESTABLISHED WELL ROOTED AND |
| | | - | GRAMA | Ambition' Calamagrostis acutiflora 'Karl | | | | ESTABLISHED WELL ROOTED AND |
| Ø | 313 | - | GRASS, FEATHER REED | Foerster' Muhlenbergia capillaris 'Regal | 4' | 2' | 1 Gallon | ESTABLISHED WELL ROOTED AND |
| | 14 | - | GRASS, REGAL MIST MUHLY | Mist' | 3' | 3' | 1 Gallon | ESTABLISHED WELL ROOTED AND |
| \bigotimes | 59 | - | GRASS, HEAVY METAL BLUE SWITCH | Panicum virgatum 'Heavy Metal' | 3' | 18" | 1 Gallon | ESTABLISHED |



GROUND COVER & SHRUB PLANTING DETAIL

CONIFER TREE PLANTING DETAIL

A FREE PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY STREET TREES ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY/TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATION AFTER UTILITY LOCATES. STREET TREES MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.

Street Tree Notes

- 1 A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- 2. CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE
- 3. STREET TREE SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
- 4. THE DEVELOPER SHALL REPLACE ALL DEAD AND DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED OF AN APPROVED SPECIES AND OF ACCEPTABLE LE CONDITION PRIOR TO ACCEPTANCE.
- 5. STREET TREE LOCATIONS AND NUMBERS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY STANDARDS, SEPARATION BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES SHALL BE CENTERED IN THE MIDDLE OF THE PARKWAY. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION OCCURS TO MEET SEPARATION STANDARDS. Irrigation Notes
- 1. ENTIRE IRRIGATION SYSTEM WITH RAIN SENSOR TO BE DESIGNED FOR LANDSCAPE SHOWN ON PLAN AND BUILT BY CONTRACTOR UTILIZING EXISTING IRRIGATION SYSTEM. IRRIGATION CONTRACTOR SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM.
- ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.
- 3. ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF POP-UP IRRIGATED AREAS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. IRRIGATION SYSTEM AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL
- 4. QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLES SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- 5. ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- 6. COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- 7. ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

Hydrozone Table

Landsca

15,999 S.F MODERATE HYDR

4.506 S.F VERY LOW HYDRO

| GALLONS |
|-------------------------------------|
| 0 GAL |
| 159,990 GAL |
| 29,247 GAL |
| 0 GAL |
| 6.2 GAL/SF |
| |
| 15 S.F. PERENNIAL PLANTING |
| AGASTACHE RUPESTRIS (SUNSET HYSSOP) |
| |
| STEEL EDGER, ROUNDED TOP |
| EXISTING TREES |
| |
| |
| |
| |

Native Grass Seed Mix

- NATIVE GRASS NATIVE PRAIRIE MEADOW GRASS MIX:
- 1. SEED SHALL BE AS MANUFACTURED BY ARKANSAS VALLEY SEED SOLUTIONS, 4625 COLORADO
- BOULEVARD, DENVER, CO 80216, (877) 957-3337 2. SEED SHALL BE A MIXTURE THAT MATCHES THE FOLLOWING
- NON-IRRIGATED FOOTHILLS MIX

| NON-IRRIGATED FOOTHILLS MIX | |
|-----------------------------|-----|
| COMMON NAME | % |
| ANNUAL RYEGRASS | 20% |
| SLENDER WHEATGRASS | 15% |
| CRESTED WHEATGRASS | 12% |
| MOUNTAIN BROME | 10% |
| HARD FESCUE | 10% |
| CANADA BLUEGRASS | 10% |
| SIDEOATS GRAMA | 6% |
| BIG BLUESTEM | 5% |
| BLUE GRAMA (COATED) | 5% |
| SAND DROPSEED | 1% |
| | |

- 3. DRILLED APPLICATION RATE: 25.0 LBS (PLS) PER ACRE (0.57 LBS / 1000 SF
- 4. NATIVE SEED AREAS: ADEQUATE TEMPORARY IRRIGATION OR BY WATER TRUCK WILL BE PROVIDED FOR THE ESTABLISHMENT AND MAINTENANCE FOR THESE SEEDED AREAS, AND THAT NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS, TRASH AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.

MULCH IN ALL NATIVE SEED AREAS:

- IMMEDIATELY FOLLOWING THE RAKING OPERATION, ADD STRAW MULCH TO THE SEEDED AREAS.
- APPLY STRAW MULCH AT A MINIMUM OF 1.5 TONS PER ACRE OF AIR DRY MATERIAL. SPREAD STRAW MULCH UNIFORMLY OVER THE AREA WITH MECHANICAL MULCH SPREADER / CRIMPER. DO NOT MULCH WHEN WIND VELOCITY EXCEEDS 10 MPH.
- 3. WHEREVER THE USE OF CRIMPING EQUIPMENT IS PRACTICAL, PLACE MULCH IN THE MANNER NOTED ABOVE AND ANCHOR IT INTO THE SOIL. USE A DISC SUCH AS A MULCH TILLER, WITH A FLAT SERRATED DISC AT LEAS 1/4 INCH IN THICKNESS, HAVING DULL EDGES, AND SPACE NO MORE THAN 9 INCHES APART, WITH DISCS OF SUFFICIENT DIAMETER TO PREVENT THE FRAME OF THE EQUIPMENT FROM DRAGGING THE MULCH. ANCHOR MULCH A MINIMUM DEPTH OF 2 INCHES AND ACROSS THE SLOPE WHERE PRACTICAL WITH NO MORE THAN TWO PASSES OF THE ANCHORING EQUIPMENT.
- 4. IMMEDIATELY UPON COMPLETION OF THE MULCHING AND BINDING OPERATION, THE SEEDED AREAS SHALL BE IRRIGATED, KEEPING THE TOP 2 INCHES OF SOIL EVENLY MOIST UNTIL SEED HAS UNIFORMLY GERMINATED AND GROWN TO A HEIGHT OF 2-INCHES.
- WATERING APPLICATION SHALL BE DONE IN A MANNER WHICH WILL PROVIDE UNIFORM COVERAGE BUT WHICH WILL NOT CAUSE EROSION, MOVEMENT, OR DAMAGE TO THE FINISHED SURFACE



444 Mountain Ave. TEL 970.532.5891 Berthoud, CO 80513 | WEB TBGroup.us

PROJECT TITLE

SEAL

CENTRE FOR ADVANCED **TECHNOLOGY 23RD** FILING. LOT 2 OFFICE BUILDING

Fort Collins, Colorado

PREPARED FOR

Colorado State University Research Foundation PO Box 483 Fort Collins CO 80522 Contact: Bo Brown Phone: 970.492.4503

| REVISIONS | DATE |
|----------------|----------|
| STAFF COMMENTS | 04.22.15 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

DATE

FEBRUARY 25, 2015

Landscape Notes, **Details & Schedules**

SHEET INFORMATION

SHEET OF



| KEY | QTY | RATIO | | landscape architecture planning illustratic |
|--|---------|-------|---------------------------------------|--|
| SHADE / CANOPY | TREES - | 24 | | ia iuscape al ci illecture pia il illi g illustratic |
| $\left(\circ \right)$ | 8 | 11.9% | COFFEE TREE, KENTUCY | 444 Mountain Ave. те. 970.532.589 Berthoud,CO 80513 wев TBGroup.u |
| | 4 | 6.0% | HACKBERRY, WESTERN | SEAL |
| Pog | 8 | 11.9% | HONEYLOCUST, IMPERIAL | |
| \Diamond | 4 | 6.0% | OAK, SHUMARD | |
| EVERGREEN TRE | €⁄S - | 8 | | |
| why why | 8 | 11.9% | SPRUCE, BAKERI | |
| ORNAMENTAL TR | EES - | 35 | | PROJECT TITLE |
| | 10 | 14.9% | CRABAPPLE, SPRING SNOW | CENTRE FOR ADVANCED |
| | 7 | 10.4% | MAPLE, AMUR | TECHNOLOGY 23RD FILING, LOT 2 OFFIC BUILDING |
| $\left(\begin{array}{c} \\ \\ \\ \end{array} \right)$ | 3 | 4.5% | PEAR, CHANTICLEER | |
| $\left(\begin{array}{c} \\ \end{array} \right)$ | 6 | 9.0% | PEAR, CHANTICLEER | Fort Collins, Colorado PREPARED FOR |
| | 9 | 13.4% | SERVICEBERRY, AUTUMN BRILLANCE | Colorado State University Research Foundation PO Box 483 |
| EVERGREEN SHR | UBS - | 6 | | Fort Collins CO 80522 |
| and the second | 6 | - | PINE, MUGO SLOWMOUND | Contact: Bo Brown Phone: 970.492.4503 |
| | JBS - | 211 | | |
| | 9 | - | BUTTERFLY BUSH, COMPACT PURPLE | |
| \bigotimes | 29 | - | CHOKEBERRY, BRILLIANT RED | |
| 0 | 36 | - | EUONYMUS, COMPACT BURNING BUSH | |
| 0 | 28 | _ | LILAC, DWARF KOREAN | |
| © | 34 | | POTENTILLA, MCKAY'S WHITE | |
| $\tilde{\Box}$ | 8 | _ | SAND CHERRY, WESTERN PAWNEE | |
| | 18 | | BUTTES SPIREA, BLUE MIST | |
| | | - | | |
| | 49 | - | SUMAC, THREE LEAF | |
| PERENNIALS / GR | | 587 | | |
| | 67 | - | GRASS, AVENA | |
| * | 134 | - | GRASS, GRAMA BLONDE AMBITION GRAMA | |
| Ø | 313 | - | GRASS, FEATHER REED | |
| \oplus | 14 | _ | GRASS, REGAL MIST MUHLY | |

Parking Lot Area Landscape

PER LUC 3.2.1 (E)(5): <u>SMALL LOT</u> TOTAL PARKING AREA = X SF X 6% = 1,385 SF REQUIRED PARKING LOT AREA LANDSCAPE = LARGE LOT TOTAL PARKING AREA = 37,196 SF X 6% = 411 SF REQUIRED PARKING LOT AREA LANDSCAPE =

5,986 SF PROVIDED

980 SF PROVIDED

REVISIONS DATE STAFF COMMENTS 04.22.15

DATE

FEBRUARY 25, 2015

SHEET TITLE

Landscape Plan

SHEET INFORMATION

A FREE PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY STREET TREES ARE PLANTED IN PARKWAYS BETWEEN THE SIDEWALK AND CURB. STREET TREE LOCATIONS AND NUMBERS MAY CHANGE TO MEET ACTUAL UTILITY/TREE SEPARATION STANDARDS. LANDSCAPE CONTRACTOR MUST OBTAIN APPROVAL OF STREET TREE LOCATION AFTER UTILITY LOCATES. STREET TREES MUST BE INSPECTED AND APPROVED BEFORE PLANTING. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CODE OF THE CITY OF FORT COLLINS.

SHEET 2 of 2

| EXTERIOR FINISHES |
|---|
| UTILITY BRICK |
| STANDARD BRICK |
| PRECAST WALL BASE PRECAST WINDOW HEADS & S PRECAST WALL CAPS AT DEC |
| METAL PANELS METAL ROOF PREFINISHED SHEET METAL FLASHING ALUMINUM FRAMES EXPOSED STEEL FRAMING |
| VISION GLAZING |
| SPANDREL GLAZING |
| GENERAL NOTE: ALL EXTERIOR WALL MOUNTED |



| & COLOR SELECTION STRATEGY | | | | |
|----------------------------|--|--|--|--|
| | BOLD, UNIFORM TO SLIGHTLY VARIEGATED COLOR SELECTED FROM THE BRICK MANUFACTURER'S "RED" PALETTE | | | |
| | MUTED AND VARIEGATED COLOR SELECTED FROM THE BRICK MANUFACTURER'S "GRAY/BUFF" PALETTE | | | |
| SILLS ECKS | LIGHT & WARM UNIFORM COLOR SELCTED TO COMPLIMENT BOTH THE UTILITY BRICK AND STANDARD BRICK COLORS | | | |
| | NEUTRAL COLOR OF A MEDIUM TO MEDIUM-DARK VALUE. ROOF MATERIAL REQUIRED TO MEET LEED STANDARDS FOR REFLECTIVE ROOFING. | | | |
| | GRAY TINTED. SOLARBAN COATING ON SOUTH FACING GLAZING | | | |
| | COOL, MEDIUM GRAY BACK-PAINTED GLASS | | | |

D LIGHTS TO BE FULL CUT-OFF.















1 NORTH ELEVATION 1/8" = 1'-0"

MECHANICAL SCREEN

METAL PANEL SIDING

UTILITY BRICK -METAL ROOF

BUILDING SIGN/ADDRESS

ALUMINUM FRAMED GLAZING

ALUMINUM FRAMED SPANDREL GLAZING

STANDARD BRICK

4 TRASH & BIKE ENCLOSURES - FRONT ELEVATION







PROJECT NUMBER:

2014-122

| EXTERIOR FINISHES & COLOR SELECTION STRATEGY | | | | |
|---|--|--|--|--|
| UTILITY BRICK | BOLD, UNIFORM TO SLIGHTLY VARIEGATED COLOR SELECTED FROM THE BRICK MANUFACTURER'S "RED" PALETTE | | | |
| STANDARD BRICK | MUTED AND VARIEGATED COLOR SELECTED FROM THE BRICK MANUFACTURER'S "GRAY/BUFF" PALET | | | |
| PRECAST WALL BASE PRECAST WINDOW HEADS & SILLS PRECAST WALL CAPS AT DECKS | LIGHT & WARM UNIFORM COLOR SELCTED TO COMPLIMENT BOTH THE UTILITY BRICK AND STANDARD BRICK COLORS | | | |
| METAL PANELS METAL ROOF PREFINISHED SHEET METAL FLASHING ALUMINUM FRAMES EXPOSED STEEL FRAMING | NEUTRAL COLOR OF A MEDIUM TO MEDIUM-DARK VALUE. ROOF MATERIAL REQUIRED TO MEET LEED STANDARDS FOR REFLECTIVE ROOFING. | | | |
| VISION GLAZING | GRAY TINTED. SOLARBAN COATING ON SOUTH FACING GLAZING | | | |
| SPANDREL GLAZING | COOL, MEDIUM GRAY BACK-PAINTED GLASS | | | |

13' - 1 1/2" PREFINISHED STANDING SEAM METAL ROOF ON PAINTED STEEL FRAME, MATCH COLOR AND PROFILE ON BUILDING. 12" SPLIT FACE CMU RETAINING WALLS PRE-FINISHED SHEET METAL FLASHING. MATCH PROFILE AND COLOR ON BUILDING — 36" WIDE ACCESS DOOR -UTILITY BRICK ON CMU WALL. MATCH BRICK ON BUILDING -BIKE RACK PER LANDSCAPE DRAWINGS

3 TRASH & BIKE ENCLOSURES - LEFT ELEVATION











| PROJECT NUMBER: 2014-122 |
|---|
| LOT 2, CENTER |
| for ADVANCED |
| |
| TECHNOLOGY, |
| 23rd FILING |
| FORT COLLINS, COLORADO |
| |
| |
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| |
| VAUGHT FRYE LARSON architects |
| Strongth in decign Strongth in partnership |
| Strength in design. Strength in partnership. Strength in community. |
| 401 West Mountain Avenue, Suite 100 Fort Collins, CO 80521 ph: 970.224.1191 www.theartofconstruction.com |
| IN ASSOCIATION WITH: |
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| SCHEMATIC DESIGN |
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| 2 PDP RE-SUBMITTAL 04-22-2015 3 |
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| drawn by: RJH Author |
| CHECKED BY: RJH |
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| PERSPECTIVE VIEWS |
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| A3 |

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| VAUGHT FI | RYE LARSO | ∧ architects |
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| | |) Fort Collins, CO 80521 |
| | 1191 www.theartof | construction.com |
| IN ASSOCIATION WITH: | | |
| APS, INC. | ELECTRICA | L ENGINEERS |
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| 9249 S. BROADWAY #2 HIGHLANDS RANCH, CO | | 7726 PARK RIDGE CIRCLE FORT COLLINS, CO 80528 |
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| Symbol | Label | Quantity | Manufact | turer | Catalog Numbe | er | Descripti | on | | Lamp | | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage | |
|---------------------------|--|--|---|--|---|---|---|---|--|--|--|-----------------|--|--|--|-----------|----------|
| \bigcirc | AA | 5 | Lithonia I | Lighting | MRP LED 1 63 SR5 | B530/00K | 63LED's | , 530mA DF | M MODULE, RIVER, 4000K TURE, TYPE 5 | ONE 108.5-W AIMED DOWI | | 1 | MRP_LED_1_63B 530_40K_SR5.ies | 8670.639 | 0.8 | 108.5 | |
| 0 | AA1 | 1 | Lithonia I | Lighting | MRP LED 1 63 SR4 | B530/00K | 63LED's | , 530mA DF | M MODULE, RIVER, 4000K TURE, TYPE 4 | ONE 109-WA AIMED DOWI | , | 1 | MRP_LED_1_63B 530_40K_SR4.ies | 8195.206 | 0.8 | 109 | |
| \hat{O} | BB | 11 | Lithonia I | _ighting | DSXB LED 120 ASY | C 350 30K | 3000K L | EDS OPER AND ASYMI | | LED | | 1 | DSXB_LED_12C_ 350_30K_ASY.ies | 714.6833 | 1 | 16 | |
| | CC | 4 | Lithonia I | _ighting | DSXW1 LED 2 T4M MVOLT | OC 700 30K | ENGINE | LED WITH S, 20 LED's , 3000K LEI 1 OPTIC | s, 700mA | LED | | 1 | DSXW1_LED_20C _700_30K_T4M_ MVOLT.ies | 3362.251 | 1 | 47 | |
| \bigcirc | DD | 4 | Lithonia I | Lighting | DOM8 LED 15 | 00L | | ndirect Down | nlight 1500 ominal | ONE 35.8-WA POS. | NTT LED, UP | 1 | DOM8_LED_1500 L.ies | 1505.307 | 1 | 35.8 | |
| $\hat{\Box}$ | EE | 2 | Hydrel | | 4451 40I LLV | | RECESS | SED STEP I | H X 3-1/4" D LIGHT. LOUVER PERED GLASS. | | | 1 | 4451_40I_LLV.ies | 415 | 1 | 39.24 | |
| ninaire Lo | ocations | | | | | | | | | | | | | | | | |
| | abel X AA -7.41 | Location Y 182.45 | Z 25.00 | MH 25.00 | Orientation 43.09 | Tilt 0.00 | X -6.54 | Aim Y 183.38 | Z 0.00 | | | | | LIGH | HTING | FIXT | 7 |
| 2 / 3 / | AA 59.59 AA -2.41 AA -69.41 | 122.45 51.45 111.45 | 25.00 25.00 25.00 | 25.00 25.00 25.00 | 41.99 227.20 218.66 | 0.00 0.00 0.00 | 60.44 -3.34 -70.20 | 123.40 50.59 110.46 | 0.00 0.00 0.00 | TYPE | LAMPS | 0 | DESCRIF | | 700 | FINISH | |
| і / А | AA -171.76 AA1 -226.54 | -41.14 -0.15 | 25.00 25.00 | 25.00 25.00 | 48.12 50.53 | 0.00 | -170.81 -225.56 | -40.29 0.66 | 0.00 | AA | 'LED' FURN. ₩∕ UNIT | ARE | -OFF TYPE 'L TA LIGHT WITH TE NO. 1) | | | BRONZE | |
| | BB -57.41 BB -83.41 BB -108.41 BB -133.41 BB -158.41 | 22.91 46.45 68.45 90.45 93.45 | 3.00 3.00 3.00 3.00 3.00 | 3.00 3.00 3.00 3.00 3.00 | 41.63 41.63 41.63 41.63 124.22 | 0.00 0.00 0.00 0.00 0.00 | -57.41 -83.41 -108.41 -133.41 -158.41 | 22.91 46.45 68.45 90.45 93.45 | 0.00 0.00 0.00 0.00 0.00 | AA1 | 'LED' FURN. W/ UNIT | CUT ARE | T–OFF TYPE 'L TA LIGHT WITH TE NO. 1) | | | BRONZE | |
| 2 E 3 E | BB -189.33 BB -193.25 BB -37.41 BB -17.70 BB -163.13 | 36.85 65.43 5.45 -12.35 17.16 | 3.00 3.00 3.00 3.00 3.00 3.00 | 3.00 3.00 3.00 3.00 3.00 3.00 | 236.89 127.55 41.63 45.00 33.47 | 0.00 0.00 0.00 0.00 0.00 | -189.33 -193.25 -37.41 -17.70 -163.13 | 36.85 65.43 5.45 -12.35 17.16 | 0.00 0.00 0.00 0.00 0.00 | BB | 'LED' FURN. ₩∕ UNIT 'LED' | BOL OPT | | SYMMETRIC | | BRONZE | |
| 7 E () . () ; () | BB -153.68 CC -48.83 CC -130.89 CC -155.28 | -76.99 -2.46 3.43 66.81 | 3.00 12.00 20.00 12.00 | 3.00 12.00 20.00 12.00 | 104.52 38.99 223.78 -45.00 | 0.00 0.00 0.00 0.00 | -153.68 -48.83 -130.89 -155.28 | -76.99 -2.46 3.43 66.81 | 0.00 0.00 0.00 0.00 | CC DD | FURN. W/ UNI1 'LED' FURN. | - BRA 8" I | C-OFF TYPE 'L ACKET WITH TY DIA. SHALLOW | YPE 4 OPT | | BRONZE | |
| | CC -166.20 DD -126.38 DD -70.66 DD -103.01 DD -96.18 | 33.85 -50.63 23.21 -2.25 -8.23 | 6.75 8.50 11.50 11.50 11.50 | 6.75 8.50 11.50 11.50 11.50 | 220.77 0.00 36.87 0.00 0.00 | 0.00 0.00 0.00 0.00 0.00 | -166.20 -126.38 -70.66 -103.01 -96.18 | 33.85 -50.63 23.21 -2.25 -8.23 | 0.00 0.00 0.00 0.00 0.00 | EE | W/ UNIT 'LED' FURN. W/ UNIT | LED | WNLIGHT ' STEP LIGHT 1 | WITH LOU | VER | BRONZE | |
| | EE 3.59 EE -7.41 | -29.55 -19.55 | 3.00 3.00 | 3.00 3.00 | 41.19 48.37 | 0.00 | 3.59 -7.41 | -29.55 -19.55 | 0.00 | _ | _ | _ | | | | _ | |
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| | <i>atalog number.</i> white switch vivory switch | | Notes 1 Total system delivered lumens; power factor > 0.90, 2 Not available with ELRB722. 3 White integral flange standard. 4 ELRB722 available with 900L only. 5 One 5A relay with one 0-10VDC dimming output, shipped installed. Requires additional nLightbus power supply. | THIS DRAWING MAY NOT BE PHOTOGRAPHED, SCANNED, TRACED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF VFLA. |
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ADMINISTRATIVE HEARING OFFICER

STAFF REPORT

| PROJECT: | Centre for Advanced Technology 23 rd Lot 2 Office Building, FDP150007 |
|------------|--|
| APPLICANT: | Cathy Mathis The Birdsall Group 444 Mountain Ave. Berthoud, CO 80513 |
| OWNERS: | Colorado State Research Foundation 601 S Howes St. Fort Collins, CO 80521 |

PROJECT DESCRIPTION:

This is a consolidated Project Development Plan/Final Plan request to construct a 31,619 square foot office building on 1.88 acres. Due to the topography of the site, the building will be two stories on the south side and three stories on the north side. The project will provide 102 parking spaces. The project is located at the northwest corner of Rolland Moore Dr. and Centre Ave., between Centre Ave. and Perennial Dr. This site is located in the Employment (E) zone district. The parcel is platted as Lot 2 of the Centre for Advanced Technology 23rd subdivision.

RECOMMENDATION: Staff recommends approval of Centre for Advanced Technology 23rd Lot 2 Office Building, FDP150007.

EXECUTIVE SUMMARY:

Staff finds the proposed Centre for Advanced Technology 23rd Lot 2 Office Building Project Development Plan/Final Plan complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

 The Project Development Plan/Final Plan complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration. Staff Report – Centre for Advanced Technology 23rd Lot 2 Office Building, FDP150007 Administrative Hearing 05-20-2015 Page 2

- The Modification of Standard to Section 3.5.3(C)(2) that is proposed with this Project Development Plan/Final Plan meets the applicable requirements of Section 2.8.2(H), in that the granting of the Modification would not be detrimental to the public good and the plan will promote the general purpose of the standard for which the modification is requested equally or better than would a plan which complies with the standard for which a modification is requested.
- The Project Development Plan/Final Plan complies with relevant standards of Article 3 – General Development Standards, if the Modification of Standard to Section 3.5.3(C)(2) is approved.
- The Project Development Plan/Final Plan complies with relevant standards located in Division 4.27 Employment (E) of Article 4 Districts.

COMMENTS:

1. <u>Background</u>

The properties were annexed into the City of Fort Collins as part of the College Fourth Annexation in September 1965. The parcel was platted as Lot 2 of the Centre for Advanced Technology 23rd Filing subdivision in February 2014.

The surrounding zoning and land uses are as follows:

| Direction | Zone District | Existing Land Uses |
|-----------|--|--|
| North | Employment (E), Low Density Residential (RL) | Child care, single-family detached residential |
| South | Employment (E) | Vacant, office, retail, tennis courts |
| East | CSU | Offices and research facilities |
| West | Employment (E), Medium Density Mixed-Use Neighborhood (MMN) | Multi-family residential |

A zoning and site vicinity map is presented on the following page.

Staff Report – Centre for Advanced Technology 23rd Lot 2 Office Building, FDP150007 Administrative Hearing 05-20-2015 Page 3



Map 1: Centre for Advanced Technology 23rd Lot 2 Office Building Zoning & Site Vicinity

2. <u>Compliance with Section 2.8.2(H) of the Land Use Code - Modification of</u> <u>Standards</u>

Modification Description:

The applicant requests a Modification to section 3.5.3(C)(2) - Orientation to Buildto Lines for Streetfront Buildings to provide a small parking lot on the south end of the building.

Land Use Code Standard Proposed to be Modified (areas underlined and bolded for emphasis):

Land Use Code 3.5.3(C)(2):

Build-to lines based on a consistent relationship of buildings to the street sidewalk shall be established by development projects for new buildings and, to the extent reasonably feasible, by development projects for additions or modifications of existing buildings, in order to form visually continuous, pedestrian-oriented streetfronts with no vehicle use area between building faces and the street.

- (a) To establish "build-to" lines, buildings shall be located and designed to align or approximately align with any previously established building/sidewalk relationships that are consistent with this standard. Accordingly, at least thirty (30) percent of the total length of the building along the street shall be extended to the build-to line area. If a parcel, lot or tract has multiple streets, then the building shall be built to at least two (2) of them according to (b) through (d) below, i.e. to a street corner. If there is a choice of two (2) or more corners, then the building shall be built to the corner that is projected to have the most pedestrian activity associated with the building.
- (b) Buildings shall be located no more than fifteen (15) feet from the right-ofway of an adjoining street if the street is smaller than a full arterial or has on-street parking.
- (c) Buildings shall be located at least ten (10) and no more than twenty-five (25) feet behind the street right-of-way of an adjoining street that is larger than a two-lane arterial that does not have on-street parking.

Examples & Explanations

(d) Exceptions to the build-to line standards shall be permitted:

1. In order to form an outdoor space such as a plaza, courtyard, patio or garden between a building and the sidewalk. Such a larger front yard area

shall have landscaping, low walls, fencing or railings, a tree canopy and/or other similar site improvements along the sidewalk designed for pedestrian interest, comfort and visual continuity.

2. if the building abuts a four-lane or six-lane arterial street, and the Director has determined that an alternative to the street sidewalk better serves the purpose of connecting commercial destinations due to one (1) or more of the following constraints:

- a. high volume and/or speed of traffic on the abutting street(s),
- b. landform,

c. an established pattern of existing buildings that makes a pedestrian-oriented streetfront infeasible.

Such an alternative to the street sidewalk must include a connecting walkway(s) and may include internal walkways or other directly connecting outdoor spaces such as plazas, courtyards, squares or gardens.

3. In the case of Large Retail Establishments, Supermarkets or other anchor-tenant buildings that face internal connecting walkways with pedestrian frontage in a development that includes additional outlying buildings abutting the street(s).

Examples & Explanations

4. If a larger or otherwise noncompliant front yard area is required by the City to continue an established drainage channel or access drive, or other easement.

5. In order to conform to an established pattern of building and street relationships, a contextual build-to line may fall at any point between the required build-to line and the build-to line that exists on a lot that abuts, and is oriented to, the same street as the subject lot. If the subject lot is a corner lot, the contextual build-to line may fall at any point between the required build-to line and the build-to line that exists on the lot that is abutting and oriented to the same street as the subject lot. A contextual build-to line shall not be construed as allowing a vehicular use area between the building and the street.

Land Use Code Modification Criteria:

"The decision maker may grant a modification of standards only if it finds that the granting of the modification would not be detrimental to the public good, and that:

(1) the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested; or

(2) the granting of a modification from the strict application of any standard would, without impairing the intent and purpose of this Land Use Code, substantially alleviate an existing, defined and described problem of city-wide concern or would result in a substantial benefit to the city by reason of the fact that the proposed project would substantially address an important community need specifically and expressly defined and described in the city's Comprehensive Plan or in an adopted policy, ordinance or resolution of the City Council, and the strict application of such a standard would render the project practically infeasible; or

(3) by reason of exceptional physical conditions or other extraordinary and exceptional situations, unique to such property, including, but not limited to, physical conditions such as exceptional narrowness, shallowness or topography, or physical conditions which hinder the owner's ability to install a solar energy system, the strict application of the standard sought to be modified would result in unusual and exceptional practical difficulties, or exceptional or undue hardship upon the owner of such property, provided that such difficulties or hardship are not caused by the act or omission of the applicant; or

(4) the plan as submitted will not diverge from the standards of the Land Use Code that are authorized by this Division to be modified except in a nominal, inconsequential way when considered from the perspective of the entire development plan, and will continue to advance the purposes of the Land Use Code as contained in Section 1.2.2.

Any finding made under subparagraph (1), (2), (3) or (4) above shall be supported by specific findings showing how the plan, as submitted, meets the requirements and criteria of said subparagraph (1), (2), (3) or (4).

Summary of Applicant's Justification:

The applicant requests that the Modification be approved and provides the following justification based upon Criterion 1 (proposal is equal or better than provisions in the Land Use Code):

Applicant's Justification for Criterion 1:

- The pedestrian-oriented streetfront is reinforced by the fact that there is a continuous connecting walkway from the building entry to the street so that pedestrians do not have to cross a drive aisle. The building entry plaza is a significant feature that mitigates the impact of the vehicle use area. The purpose of the connecting walkway is to strengthen the relationship between the building and the street and the plaza feature accomplishes this purpose well.
- The visual impacts of the vehicle use area is greatly reduced by the use of extensive, enhanced landscaping along the frontage of Rolland Moore Drive, utilizing a combination of shrubs, grasses and trees that will provide ample screening.
- Due to the existing site grading, the siting of the building is unique, offering a lower level walk out on the north side of the building and an upper level entrance on the south side. Allowing a small parking area to be located here allows visitors to have a convenient place to park.

Staff Finding:

Staff finds that the request for a Modification of Standard to section 3.5.3(C)(2) is justified by the applicable standards in 2.8.2(H)(4).

- A. The granting of the Modification would not be detrimental to the public good
- B. The project design satisfies 2.8.2(H)(1): the plan as submitted will promote the general purpose of the standard for which the modification is requested equally well or better than would a plan which complies with the standard for which a modification is requested.

Staff finds that the proposed plan meets the intent of the code section equal to or better than would a plan that complies with the standard for which this modification is requested. The purpose of the code standard is to minimize the visual impact of parking lots and to promote a pedestrian-friendly built environment. The visual impact of the parking lot will be mitigated on all sides by the landscape treatment, which includes a low screen wall of native grass, shrubs, ornamental trees and canopy trees. The pedestrian experience will also be enhanced by the provision of a connecting walkway that allows pedestrians to access the building at either entrance without having to cross a drive aisle.

3. <u>Compliance with Article 3 of the Land Use Code – General Development</u> <u>Standards:</u>

The project complies with all applicable General Development Standards as follows:

A. Division 3.2.1(D)(1)(c) – Tree Planting Standards - Full Tree Stocking

The proposed landscaping meets the minimum tree stocking standards. The proposed landscape plan shows groups of canopy, coniferous evergreen, and ornamental trees planted in closer proximity than the minimum requirements outlined in the code.

B. Section 3.2.1(D)(2) - Tree Planting Standards - Street Trees

The Land Use Code requires canopy shade trees to be planted at thirty to forty-foot spacing in the center of parkway areas where the sidewalk is detached from the street. The proposed trees are upsized Chanticleer Pear, which is an ornamental tree. This tree type is consistent with the street trees on Centre Avenue that were installed with the development of Lot 1 of the Centre for Advanced Technology 23rd filing. Upsized Chanticleer Pear trees were used since the narrow parkway along Centre Avenue cannot support canopy trees. Due to the width limitation of the parkway, the proposed development meets this code requirement by staying consistent with the street tree planting standards applied to adjacent developments.

C. Section 3.2.1(E)(4) - Parking Lot Perimeter Landscaping

The proposed parking lot perimeter landscaping meets this code requirement by screening parking areas from abutting uses, providing one tree every 25 feet along public streets and screening the parking lot from abutting uses and the street. The perimeter of both parking lots will be screened with a low wall consisting of tall grasses, small shrubs and a mix of ornamental and evergreen trees.

D. Section 3.2.2(E)(5) - Parking Lot Interior Landscaping

The proposed parking lot interior landscaping meets this code requirement by providing areas of shading and landscaped islands. Each landscaped island will have at least one canopy tree with a complement of small shrubs and grasses. Both parking lots also exceed the 6% minimum landscaping requirement.

E. Section 3.2.2(C)(4)(b) - Bicycle Parking Space Requirements

The Land Use Code requires one bicycle parking space per 4,000 square feet with 20% provided in an enclosure and 80% provided via fixed racks. For a 32,294 square foot office building, the Land Use Code requires eight bike parking spaces with two provided in an enclosure and six provided via fixed racks. The proposed building will provide eight enclosed bicycle parking spaces and eight fixed rack bicycle parking spaces.

F. Section 3.2.2(C)(5) - Walkways

Walkways must be provided to link sidewalks with building entries through parking lots. These walkways must also provide direct connections to offsite pedestrian and bicycle destinations. The proposed walkways connect both entrances to the building to the sidewalk network on Perennial Lane, Rolland Moore Drive and Centre Avenue. The walkways also allow pedestrians to navigate the site without crossing any drive aisles.

G. Section 3.2.2(D)(1) – Access and Parking Lot Requirements -Pedestrian/Vehicle Separation

To the maximum extent feasible, pedestrians and vehicles shall be separated through provisions of a sidewalk or walkway. The site complies with this standard by providing an extensive sidewalk network around the building. The sidewalk is separated from vehicle use areas by a curb.

H. Section 3.2.2(E) - Parking Lot Layout

The proposed parking lot layout is consistent with requirements of the Land Use Code in regards to circulation routes, orientation, landscaped islands, and points of conflict.

I. Section 3.2.2(J) - Setbacks

The proposed parking lot is setback further than the 10-foot minimum from non-arterial streets and 5-foot minimum along a lot line required per the Land Use Code.

J. Section 3.2.2(K)(2) - Nonresidential Parking Requirements

The minimum, maximum and proposed parking are contained in the table below. The proposed parking is within the range of required parking and thus meets the requirements of the Land Use Code.

| Use | Min. Parking | Max. Parking | Parking Provided | | | | | | |
|----------------|-------------------|-------------------|------------------|--|--|--|--|--|--|
| Office (32,294 | 1/1,000 square | 3/1,000 square | 97 spaces | | | | | | |
| square feet) | feet = 33 parking | feet = 97 parking | - | | | | | | |
| | spaces | spaces | | | | | | | |

Table 1: Proposed Parking

K. Section 3.2.2(K)(5) - Handicap Parking

Parking lots with less than 25 parking spaces are required to provide one handicap accessible space and parking lots with 76-100 parking spaces are required to provide four handicap accessible spaces for a total of five handicap parking spaces. The small lot will provide two handicap accessible spaces and the large lot will provide three handicap accessible spaces resulting in five handicap parking spaces.

L. Section 3.2.3 - Solar access, orientation, shading

All developments must be designed to accommodate active and/or passive solar installations and must not deny adjacent properties access to sunshine. The proposed building is designed and located to minimize the casting of shadows on adjacent properties and could accommodate future active and/or passive solar installations.

M. Section 3.2.4 - Site Lighting

The proposed lighting plan is consistent with the requirements of the Land Use Code in regards to the general standard, lighting levels and design standards.

N. Section 3.2.5 - Trash and Recycling Enclosures

Trash and recycling enclosures must be provided in locations abutting refuse collection or storage areas, shall be designed to allow walk-in access without having to open the main service gate, shall be screened from public view and shall be constructed on a concrete pad. The proposed trash and recycling enclosure abuts a storage area, allows walkin access without having to open the main service gate, is screened from public view and is built on a concrete pad.

O. Section 3.5.1 - Building and Project Compatibility

The proposed plan is consistent with the requirements of the Land Use Code in regards to building and project compatibility including building size, height, bulk, mass, scale, mechanical equipment screening and operational/physical compatibility.

Size, Height, Bulk, Mass and Scale

The projects adjacent to the Centre for Advanced Technology 23rd include an 11-building residential complex to the northwest comprised of threestory buildings. The development to the east is an office/research park comprised of large two, three and four story buildings with similar walk out features where there are steep grades. The development on Lot 1 of the Centre for Advanced Technology 23rd is a one-story building that is smaller in scale than its surroundings.

The proposed building will be of a similar height and scale to the majority of the developments in its immediate surroundings. The proposed building will appear to have less bulk than its neighbors due to the Lshaped building footprint. The proposed building will also break up its massing through change of materials, the change of planes in vertical architectural elements and a defined base, middle and top.

Outdoor Storage Areas/Mechanical Equipment

The proposed plan is consistent with the requirements of the Land Use Code in regards to the location of outdoor storage, screening of storage areas, and screening of rooftop mechanical equipment from public view.

Operational/Physical Compatibility

The proposed plan is consistent with the requirements of the Land Use Code in regards to hours of operation, placement of trash receptacles and location and number of off-street parking spaces.

P. Section 3.5.3(D) - Variation in Massing

The proposed building is consistent with the requirements of the Land Use Code in regards to horizontal massing and changes in massing being related to entrances, the integral structure and interior spaces of the building. No horizontal plane exceeds a 1:3 height-width ratio. The changes in massing also relate to building features such as doors and windows, which are integral to the interior spaces of the building.

Q. Section 3.5.3(E) - Character and Image

The proposed building is consistent with the relevant requirements of this Land Use Code section including façade treatments, entrances, and base and top treatments. All walls break up their mass with windows, change in materials and fenestration pattern to provide a human scale. Each entrance to the building is clearly defined by awnings and recession from abutting sections of the building. Extruded bays with a cornice line and window shades on the first story define a clear base of the building. Sloped roofs, a cornice line and awnings define a clear top of the building.

R. Section 3.6.6 – Emergency Access

An emergency access easement is proposed that runs through the large parking lot on the north side of the site. The emergency access easement ensures emergency vehicles can gain proper access and maneuvering to reach all portions of the proposed building.

4. <u>Compliance with Article 4 of the Land Use Code – Employment (E), Division</u> <u>4.27:</u>

The project complies with all applicable Article 4 standards as follows:

A. Section 4.28(B)(2)(c) – Permitted Uses

The proposed use, office, is permitted in the Employment zone district and is consistent with the district's intent to provide a variety of workplaces throughout the community.

B. Section 4.27(D)(4)(a) – Dimensional Standards - Maximum Building Height

The proposed building complies with the 4-story maximum building height requirement.

C. Section 4.27(E)(1)(b) – Site Design

Where an employment use abuts a residential area, there shall be no drastic and abrupt change in the scale and height of buildings. The project abuts a residential development to the north called The Grove. The Grove is comprised of 11 buildings that are each three stories tall. The largest of these 11 buildings are 30,420 square feet. The proposed office building will be three stories at its tallest point on the south side of the building with 31,619 square feet of floor area. The proposed office building is similar in size and scale to the existing residential use and prevents an abrupt change in the scale and height of buildings.

5. <u>Findings of Fact/Conclusion:</u>

In evaluating the request for the Centre for Advanced Technology 23rd Lot 2 Office Building Project Development Plan/Final Plan, Staff makes the following findings of fact:

- A. The Project Development Plan/Final Plan complies with process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The Modification of Standard to Section 3.5.3(C)(2) that is proposed with this Project Development Plan/Final Plan meets the applicable requirements of Section 2.8.2(H), in that the granting of the Modification would not be detrimental to the public good and the plan will promote the general purpose of the standard for which the modification is requested equally or better than would a plan which complies with the standard for which a modification is requested.
- C. The Project Development Plan/Final Plan complies with relevant standards located in Article 3 General Development Standards.
- D. The Project Development Plan/Final Plan complies with relevant standards located in Division 4.27 Employment (E) of Article 4 Districts.

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RECOMMENDATION:

Staff recommends approval of the Centre for Advanced Technology 23rd Lot 2 Office Building, FDP150007.

ATTACHMENTS:

- 1. Zoning & Site Vicinity Map
- 2. Applicant's Statement of Planning Objectives
- 3. Applicant's Modification of Standard Request
- 4. Centre for Advanced Technology 23rd Lot 2 Office Building Planning Document Set (Site Plan, Landscape Plan, Elevations & Photometric Plan)