June 6, 2016

PROJECT NAME

STAFF

Jason Holland, City Planner

PROJECT INFORMATION

| PROJECT DESCRIPTION: | This is a proposal for a one-story 7,300 square foot building composed of a 4,400 square foot dental office for Angie Lee Periodontics and a 2,900 square foot building expansion area. The plan also proposes 23 off-street parking spaces, a 6-foot wide sidewalk to the north, street trees and other landscaping. The property is located on Lot 2 of the Miramont Self Storage P.U.D (southwest of the Oakridge Drive and Boardwalk Drive intersection) and is zoned Harmony Corridor District (H-C). This project is subject to approval by a Hearing Officer (Type 1 review). |
|----------------------|---|
| APPLICANT: | Russ Lee Ripley Design, Inc. 419 Canyon Avenue, Suite 200 Fort Collins, CO 80521 |
| OWNER: | Aspen Summit LLC 1223 Red Oak Ct. Fort Collins, CO 80525 |
| RECOMMENDATION: | Approval |

EXECUTIVE SUMMARY

The approval of the Angie Lee PDP complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The Angie Lee PDP complies with process located in Division 2.2 Common Development Review Procedures for Development Applications of Article 2 Administration.
- The Angie Lee PDP complies with the relevant Harmony Corridor District standards in Division 4.26 of the Land Use Code.
- The Angie Lee PDP complies with the relevant standards located in Article 3.

VICINITY MAP:



COMMENTS:

1. Background:

The surrounding zoning and land uses are as follows:

| Direction | Zone District | Existing Land Uses | |
|-----------|---------------------------------|--|--|
| North | Harmony Corridor District (H-C) | Miramont Office Park – Learning Experience | |
| | | child care | |
| South | Harmony Corridor District (H-C) | Miramont Self Storage PUD | |
| East | Medium Density Mixed-Use | Oak Hill Apartments PUD | |
| | Neighborhood District (M-M-N) | | |
| West | Harmony Corridor District (H-C) | Miramont Self Storage PUD | |

- The property and surrounding area was annexed in August 1980 as part of the Keenland Annexation.
- The subject property was originally planned in 2001 as Lot 2 of the Miramont Self Storage PUD (see attached plan). At that time, Lot 2 was planned as a 7,500 "Office Building" with a similar site layout as what is proposed with the Angie Lee Periodontics PDP.

2. <u>Compliance with Applicable Harmony Corridor District Standards</u>:

The project complies with all applicable Harmony Corridor standards with the following relevant comments provided:

A. Section 4.26(A) - Purpose

The proposed land uses and site configuration are consistent with the purpose of the Harmony Corridor District, by contributing to an attractive and complete mixed-use area with a major employment base.

B. Section 4.26(B) - Permitted Uses

The proposed land uses are consistent with the permitted uses in the Harmony Corridor District, subject to a Type 1 administrative review. The development uses specifically proposed with the P.D.P. are *Offices, Financial Services and Clinics*. All of these proposed uses are considered Primary Commercial Uses and no Secondary Uses are proposed.

Examples of Primary Uses in the H-C District are research and testing facilities, hospitals, industrial, regional and international headquarters, private schools and universities, and professional offices.

Examples of Secondary Uses in the H-C District are child care centers, lodging, convenience shopping centers, standard restaurants, and residential uses. Secondary Uses are limited to not more than 25% of the total gross area of development plans in the H-C zone district.

C. Section 4.26(D) - Land Use Standards

Section 4.26(D)(3)(a) designates a maximum building height of 6 stories for all nonresidential buildings. A maximum building height of 1 story is proposed in conformance with this standard.

D. Section 4.26(E) - Development Standards

Section 4.26(E)(1) requires that all development in the H-C Harmony Corridor District shall also comply with the applicable Harmony Corridor design standards. A copy of the Harmony Corridor standards that are referenced in the Land Use Code can be viewed here: http://www.fcgov.com/planning/pdf/harmony-corridor-standards-doc.pdf

Typically these standards are more relevant for larger scale projects that include multiple parcels, buildings, and uses. Also, additional standards apply to development proposals with frontage on Harmony Road. The project is in compliance with all applicable design standards as follows:

- The landscape pattern, plant section, and sidewalk alignment are consistent with the Harmony standards.
- The building design provides an overall high quality, attractive architectural design, consistent with the Harmony Corridor Standards.
- All parking is fully screened from public streets by plant material and building placement.

3. <u>Compliance with Article 3 of the Land Use Code - General Development Standards</u>

The project complies with all applicable General Development Standards with the following relevant comments provided:

A. Section 3.2.1 - Landscaping

- Street trees and "Full Tree Stocking" are provided along all high use and high visibility areas of the development in accordance with the standards of this section.
- Ground cover areas in parking lots and at the building foundation are also planted in accordance with the minimum requirements, with deciduous and evergreen shrubs, perennials and ornamental grasses used extensively. Trees are planted in the parking lot interior and perimeter in conformance with the minimum requirements and in conformance with the standards recommended with the Harmony Corridor design guidelines.
- Ornamental Street trees are proposed along East Boardwalk Drive. Tree spacing is required to be between 20 and 40 foot intervals when ornamental trees are used. The project has approximately 145 feet of frontage and six ornamental trees are proposed, which is an average spacing of 24 feet, in compliance with this standard.

- Native and low-water-use landscaping is provided along the building foundation, in compliance with Section 3.2.1(E)(2)(d) which requires that planting beds at least five feet in depth are provided along at least 50% of the building walls.
- Section 3.2.1(E)(5) Parking Lot Interior Landscaping requires a minimum of 6% interior landscape space. The parking lot area perimeter is approximately 7,740 square feet, with 464 square feet of interior landscape area required. The project provides approximately 630 square feet of interior landscape area, in compliance with this standard.
- This section also requires that requires that landscaped islands with canopy shade trees be evenly distributed through the project:
 - 3.2.1(E)(5)(b) Maximized Area of Shading. Landscaped islands shall be evenly distributed to the maximum extent feasible. At a minimum, trees shall be planted at a ratio of at least one (1) canopy shade tree per one hundred fifty (150) square feet of internal landscaped area with a landscaped surface of turf, ground cover perennials or mulched shrub plantings.
 - 3.2.1(E)(5)(b) (c) Landscaped Islands. In addition to any pedestrian refuge areas, each landscaped island shall include one (1) or more canopy shade trees, be of length greater than eight (8) feet in its smallest dimension, include at least eighty (80) square feet of ground area per tree to allow for root aeration, and have raised concrete curbs.
 - The project provides a total of four canopy shade trees within the parking area in conformance with this standard.

B. Section 3.2.2 - Access, Circulation and Parking

A total of 23 off-street parking spaces are provided in accordance with the minimum and maximum quantity permitted in this section. The building is 7,300 square feet total. For the uses proposed, the following minimum and maximum parking is calculated as follows per LUC Section 3.2.2(K)(1)(a):

- Minimum: 2/1000; 15 spaces required;
- Maximum: 3.5/1000 (average); 25 spaces permitted.

The parking spaces and drive isles provided meet the minimum dimensional requirements in this section. In conformance with the Purpose, General Standard and Development Standards described in this section, the parking and circulation system provided with the project is well designed with regard to safety, efficiency and convenience for vehicles, bicycles, pedestrians and transit.

C. Section 3.5.3 - Mixed-Use, Institutional and Commercial Buildings

• The overall building design provides a reasonable level of quality that satisfies the commercial building requirements of this section. Variations in massing, juxtaposed materials and forms with varied patterns of recesses and projections provide vertical and horizontal interest, breaking down the overall scale of the building.

- All building elevations provide a recognizable base and top treatment in accordance with Section 3.5.3(D)(6). Entrance canopies and vertically projecting roof elements are used to further articulate the building and provide material emphasis.
- The building is oriented towards the street in conformance with the "build-to" line requirement;
- Entrances are clearly identified and articulated with a prominent steel entrance canopy as a sheltering element;
- All facades are subdivided and proportioned using features such as windows, changes in roofline, architectural columns, masonry panels, and changes in texture and material.

4. <u>Neighborhood Meeting</u>

Due to the uses proposed, a City neighborhood meeting was not required and the applicant did not elect to hold a neighborhood meeting for the project.

5. Findings of Fact

When considering the Angie Lee Periodontics Project Development Plan, PDP160012, staff makes the following findings of fact:

- A. The Angie Lee Periodontics PDP complies with the process located in Division 2.2 -Common Development Review Procedures for Development Applications of Article 2 -Administration.
- B. The Angie Lee Periodontics PDP complies with the relevant Harmony Corridor District standards in Division 4.26 of the Land Use Code.
- C. The Major Amendment complies with the relevant standards located in Article 3 General Development Standards, provided that the Modification of Standard is approved.

RECOMMENDATION:

Staff recommends Angie Lee Periodontics Project Development Plan, PDP160012 based on the Findings of Fact.

ATTACHMENTS

- 1. Site, Landscape and Lighting Plan (PDF)
- Building Elevations (PDF)
 Utility Plan (PDF)
- 4. Statement of Planning Objectives (PDF)
- 5. Existing Miramont Plat (PDF)
- 6. Existing Miramont Office Park Plat (PDF)
- 7. Original Miramont PUD plan (PDF)
- 8. Easement Letter (PDF)



LEGAL DESCRIPTION

LOT 2, MIRAMONT SELF STORAGE P.U.D. LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

PLANNING CERTIFICATE

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO ON THIS _____ DAY OF _____, 20__.

Director Signature

Project Development Plan for ANGIE LEE PERIODONTICS March 2016

OWNER'S CERTIFICATION

| THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF THE REAL |
|--|
| PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE |
| CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN. |
| |

___ A.D., 20 _____. BY

ADDRESS

OWNER (SIGNED)

Date

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME

DAY OF ____

(PRINT NAME) AS .

THIS _

MY COMMISSION EXPIRES:

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

| Sheet List Table | | |
|-----------------------------|--------------------------------|--|
| SHEET NUMBER SHEET TITLE | | |
| 1 | COVER SHEET | |
| 2 | SITE PLAN | |
| 3 | LANDSCAPE PLAN | |
| 4 | LANDSCAPE NOTES AND DETAILS | |
| 5 | LIGHTING PLAN | |
| A1-A2 | ARCHITECTURAL ELEVATIONS | |

ANGIE LEE PERIODONTICS

PDP SUBMITTAL

FORT COLLINS, CO PREPARED BY:



Iand planning Iandscape architecture ∎ urban design ∎ entitlement 🔳

419 Canyon Ave. Suite 200 Fort Collins, CO 80521 phone 970.224.5828 | fax 970.225.6657 | www.ripleydesigninc.com

APPLICANT

RIPLEY DESIGN INC. Project Manager 419 Canyon Ave. Suite 200 Fort Collins, CO 80521 p. 970.224.5828 f 970.225.6657

OWNER

ASPEN SUMMIT, LLC Angie Lee and Jesus Martin 1223 Red Oak Ct. Fort Collins, CO 80525

ARCHITECT

VAUGHT FRYE LARSON ARCHITECTS CHRIS ARONSON 419 Canyon Ave. Suite 200 Fort Collins, CO 80521 p. 970.224.1191

CIVIL ENGINEER UNITED CIVIL Kevin Brazelton 1501 Academy Ct. Fort Collins, CO 80524 p. 970.530.4044

LIGHTING ENGINEER SRB CONSULTING ENGINEERING Chris Weaver 37127 Cullison Ridge Road Windsor CO 80550 p. 970.686.1004

| IGINAI | SIZE 242 | X36 | |
|--------|----------|-----|--|

| ISSU | ED | |
|-------|----------------------|----------|
| No. | DESCRIPTION | DATE |
| 01 | PDR SUBMITTAL | 08/28/15 |
| 02 | PDP SUBMITTAL RD1 | 03/30/16 |
| 03 | PRICING SET | 04/26/16 |
| 04 | PDP SUBMITTAL RD2 | 05/02/16 |
| | | |
| | | |
| REVIS | SIONS | |
| No. | DESCRIPTION | DATE |
| 01 | REVISED PER COMMENTS | 04/25/16 |
| 02 | REVISED PER COMMENTS | 05/18/16 |
| | | |
| | | |
| | | |

COVER SHEET

SEAL:



PROJECT No.: R15-051 DRAWN BY: DS REVIEWED BY: RL

DRAWING NUMBER:

1 OF 5

LEGEND



EXISTING LOT LINE EXISTING EASEMENT EXISTING CURB & GUTTER

EXISTING CONCRETE PAVEMENT OR SIDEWALK

EXISTING PLANT MATERIAL

EXISTING SANITARY EXISTING STORM SEWER EXISTING GAS EXISTING ELECTRIC PROPOSED WATER SERVICE

PROPOSED GAS SERVICE

PROPOSED SANITARY SERVICE ______SS______

LAND USE CHART

LONG-TERM PARKING STALLS

* REQUIRED SPACES ARE CALCULATED AS FOLLOWS:

2 SPACES / 1,000 SF : 2 X 7,300 SF = 15 SPACES 1-25 SPACES = 1 HANDICAP (VAN ACCESSIBLE)

* REQUIRED BICYCLE SPACES ARE CALCULATED AS FOLLOWS:

2 ENCLOSED SPACES TO BE PROVIDED IN FUTURE EXPANSION

5 FIXED SPACES PROVIDED WITH PHASE I BUILDING

20% REQUIRED TO BE ENCLOSED, 80% FIXED.

1 SPACE / 4,000 SF (4 MIN.): 1 X 7,300 SF = 2 SPACES REQ. 4 PROVIDED.

HANDICAP

BICYCLE PARKING

BICYCLE SPACES

FIXED

PROVIDED

ENCLOSED

TOTAL

| EXISTING ZONING | HARMONY CORRIDOR (HC) | | |
|---|------------------------|--------|--|
| LAND USE: OFFICES, FINANCIAL SERVICES OR CLINIC AREA | | | |
| | | | |
| BUILDING COVERAGE (INCLUDES EXPANSION) | 7,300 | 27.24 | |
| DRIVES AND PARKING (EXCLUDES PUBLIC ROW) | 7,200 | 26.87 | |
| OPEN SPACE AND LANDSCAPE (EXCLUDES PUBLIC ROW) | 7,200 | 26.87 | |
| HARDSCAPE (EXCLUDES PUBLIC ROW) | 1,300 | 4.85 | |
| **PUBLIC STREET RIGHT-OF-WAY | 3,800.00 | 14.18 | |
| HARDSCAPE | 1,500 | | |
| DRIVES AND PARKING | 400 | | |
| LANDSCAPE | 1,900 | | |
| TOTAL AREA COVERAGE | 26,800.00 SF (0.62 AC) | 100.00 | |

| FLOOR AREA RATIO BUILDING AREA (INCLUDES EXPANSION) (SF) | 7,300 | |
|---|----------------|---------|
| LOT AREA (SF) | 23,087 | |
| FLOOR AREA RATIO | 0.32 | |
| BUILDING HEIGHT | | |
| | MAXIMUM HEIGHT | STORIES |
| BUILDING 01 | 16'-0" | 1 |
| BUILDING 02 (FUTURE EXPANSION) | 16'-0" | 1 |
| PROJECT PARKING (MEDICAL OFFICE) | 1 | I |
| | | |

22

1

23

PROVIDED

14

15

REQUIRED *

1

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EXISTING -

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EXISTING -

LANDSCAPE





| PDP SUBMITTA | L |
|--|--|
| ORT COLLINS, CO REPARED BY: | |
| RIPLEY DESIGN INC. | |
| ■ land planning ■ landscape archite ■ urban design ■ entitlement 419 Canyon Ave. Suite 200 Fort Collins, CO 8 phone 970.224.5828 fax 970.225.6657 www.ripleyd | ■ 0521 |
| APPLICANT IPLEY DESIGN INC. roject Manager 19 Canyon Ave. Suite 200 ort Collins, CO 80521 . 970.224.5828 970.225.6657 | |
| OWNER SPEN SUMMIT, LLC .ngie Lee and Jesus Martin 223 Red Oak Ct. ort Collins, CO 80525 | |
| ARCHITECT AUGHT FRYE LARSON ARCHITECTS HRIS ARONSON 19 Canyon Ave. Suite 200 ort Collins, CO 80521 . 970.224.1191 | |
| CIVIL ENGINEER INITED CIVIL ievin Brazelton 501 Academy Ct. ort Collins, CO 80524 . 970.530.4044 | |
| IGHTING ENGINEER RB CONSULTING ENGINEERING Chris Weaver 7127 Cullison Ridge Road Vindsor CO 80550 . 970.686.1004 | |
| NORTH SCALE: 1"=10'-0" | 20 |
| SSUEDNo.DESCRIPTION01PDR SUBMITTAL02PDP SUBMITTAL RD103PRICING SET04PDP SUBMITTAL RD2 | DATE 08/28/15 03/30/16 04/26/16 05/02/16 |
| REVISIONS No. DESCRIPTION 01 REVISED PER COMMENTS 02 REVISED PER COMMENTS | DATE 04/25/16 05/18/16 |
| LANDSCAPE PL/ | <u></u> |
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WATER USE TABLE

| HYDROZONE | AREA (SF) | WATER NEEDED (GALLONS/SF) | ANNUAL WATER USE (GALLONS) |
|--|-----------|------------------------------|-------------------------------|
| HIGH | 1540 | 18 | 27,720 |
| MODERATE | 5700 | 10 | 57,000 |
| LOW | 4550 | 3 | 13650 |
| VERY LOW | 0 | 0 | 0 |
| TOTAL | 11,790 | 8 | 98,370 |
| ANNUAL WATER USE NOT TO EXCEED 15 GAL./SF. AVERAGE OVER THE SITE | | | |

TREE SPECIES DIVERSITY

PER CITY OF FORT COLLINS 3.2.1(D)3 PROPOSED PLAN MUST HAVE A SPECIES DIVERSITY OF (10-19 TREES > 50%, 20-39 TREES > 33%, 40-59 TREES > 25%, 60+ TREES > 15%). OF THE 32 TOTAL TREES SURVEYED AND PROPOSED ON SITE, NO SPECIES MAY HAVE MORE THAN 11 QUANTITY.

| *TYPE (PROPOSED & EXISTING TO REMAIN) | COUNT | SPECIES (%) |
|---------------------------------------|-------|-------------|
| Hoopsi Spruce | 5 | 17 |
| Columnare Colorado Blue Spruce | 4 | 14 |
| Columnare Austrian Pine | 8 | 28 |
| Autumn Blaze Ornamental Pear | 2 | 7 |
| Golden Rain Tree | 6 | 21 |
| Western Hackberry | 2 | 7 |
| Greenspire Linden | 2 | 7 |
| TOTAL TREES | 29 | |
| | | • |

*CITY OF FORT COLLINS CODE SECTION 3.2.1(D)3 MINIMUM SPECIES DIVERSITY

GENERAL LANDSCAPE NOTES

- BURLAP OR EQUIVALENT.
- LANDSCAPING.
- OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- MAINTAIN A STRUCTURALLY SOUND CONDITION.
- 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS 15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS 4 FEET BETWEEN TREES AND GAS LINES
- AND ALLEYS PER LUC 3.2.1(D)(2)(a).
- AN OPEN DESIGN.
- SIDEWALKS.
- MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- TO INSTALLATION.
- EQUAL.
- OF SOD OR APPROVED EQUAL.

1. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND

2. IRRIGATION: ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES. INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.

TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND

4. SOIL AMENDMENTS: THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA.

5. INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE

6. MAINTENANCE: TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING. BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT. LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO

7. REPLACEMENT: ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.

8. THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:

10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES. 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES

9. ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS

10. PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF

11. COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS ASSOCIATION. THE PROPERTY OWNERS ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.

12. LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS AND TRAFFIC CIRCLES ADJACENT TO RESIDENTIAL LOTS ARE REQUIRED TO BE MAINTAINED BY THE PROPERTY OWNER OF THE RESIDENTIAL LOT, AND THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET

13. THE DEVELOPER SHALL ENSURE THAT THE FINAL LANDSCAPE PLAN IS COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND

14. MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR

15. ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.

16. IRRIGATED TURF SHALL BE TEXAS BLUEGRASS/KENTUCKY BLUEGRASS HYBRID REVEILLE OR APPROVED

17. EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 18" X 4" ROLLED TOP STEEL SET LEVEL WITH TOP

PLANT SCHEDULE

| PLANT 50 | | | | | | | | | | |
|---|-------------|------------|---|-------------|------------|----------|----------|-----|--------|-------------|
| EVERGREEN TREES | CODE | QTY | BOTANICAL NAME / COMMON NAME | CONT | CAL | SIZE | VERY LOW | LOW | MEDIUM | <u>HIGH</u> |
| | PPH | 5 | PICEA PUNGENS `HOOPSII` / HOOPSI SPRUCE | - | - | 6` HT | | | х | |
| A CONTRACT OF CONTRACT. | PPI | 4 | PICEA PUNGENS `ISELI FASTIGIATE` / COLUMNARE COLORADO BLUE SPRUCE | - | - | 6` HT | | | Х | |
| $\langle \cdot \rangle$ | PNA | 8 | PINUS NIGRA `ARNOLD SENTINEL` / COLUMNAR AUSTRIAN PINE | - | - | 6` HT | | х | | |
| ORNAMENTAL TREE | CODE | <u>QTY</u> | BOTANICAL NAME / COMMON NAME | CONT | <u>CAL</u> | SIZE | VERY LOW | LOW | MEDIUM | <u>HIGH</u> |
| | KPA | 6 | KOELREUTERIA PANICULATA / GOLDEN RAIN TREE | - | 1.5" | - | х | | | |
| 5 | PCA | 2 | PYRUS CALLERYANA `AUTUM BLAZE` / AUTUMN BLAZE ORNAMENTAL PEAR | - | 1.5" | - | | | х | |
| SHADE TREE | CODE | <u>QTY</u> | BOTANICAL NAME / COMMON NAME | CONT | CAL | SIZE | VERY LOW | LOW | MEDIUM | HIGH |
| $\left\{ \cdot \right\}$ | coo | 2 | CELTIS OCCIDENTALIS / WESTERN HACKBERRY | - | 2" | - | | Х | | |
| | TCG | 2 | TILIA CORDATA `GREENSPIRE` / GREENSPIRE LINDEN | - | 2" | - | | | х | |
| SPECIALTY CONIFERS | CODE | QTY | BOTANICAL NAME / COMMON NAME | <u>CONT</u> | <u>CAL</u> | SIZE | VERY LOW | LOW | MEDIUM | <u>HIGH</u> |
| \bigcirc | PSB | 31 | PINUS STROBUS `BLUE SHAG` / DWARF BLUE EASTERN WHITE PINE | 6 GAL | - | - | | | х | |
| JPRIGHT JUNIPERS | CODE | <u>QTY</u> | BOTANICAL NAME / COMMON NAME | <u>CONT</u> | CAL | SIZE | VERY LOW | LOW | MEDIUM | <u>HIGH</u> |
| A CONTRACT OF A | JSS | 5 | JUNIPERUS SCOPULORUM `SKYROCKET` / SKYROCKET JUNIPER | 15 GAL | - | - | | Х | | |
| ARGE DECIDUOUS SHRUB | <u>CODE</u> | <u>QTY</u> | BOTANICAL NAME / COMMON NAME | <u>SIZE</u> | | | VERY LOW | LOW | MEDIUM | <u>HIGH</u> |
| £) | VRA | 3 | VIBURNUM X RHYTIDOPHYLLOIDES `ALLEGHANY` / ALLEGHANY VIBURNUM | 5 GAL | | | | х | | |
| MEDIUM DECIDUOUS SHRUB | CODE | QTY | BOTANICAL NAME / COMMON NAME | SIZE | | | VERY LOW | LOW | MEDIUM | <u>HIGH</u> |
| \bigcirc | LVI | 26 | LIGUSTRUM X VICARYI / GOLDEN VICARYI PRIVET | 5 GAL | | | | | Х | |
| ORNAMENTAL GRASS | CODE | <u>QTY</u> | BOTANICAL NAME / COMMON NAME | <u>SIZE</u> | | | VERY LOW | LOW | MEDIUM | <u>HIGH</u> |
| 樂 | CAK | 56 | CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER` / FEATHER REED GRASS | 1 GAL | | | | | х | |
| No. | PAH | 33 | PENNISETUM ALOPECUROIDES `HAMELN` / DWARF FOUNTAIN GRASS (WHITE SEED HEAD) | 1 GAL | | | х | х | | |
| | SWR | 18 | SPOROBOLUS WRIGHTII / GIANT SACATON | 5 GAL | | | | х | | |
| SHRUB ROSE | CODE | <u>QTY</u> | BOTANICAL NAME / COMMON NAME | SIZE | | | VERY LOW | LOW | MEDIUM | HIGH |
| \bigcirc | RNW | 48 | ROSA X `NEARLY WILD` / NEARLY WILD SHRUB ROSE (PINK FLOWER, EARLY-SUMMER) | 5 GAL | | | | Х | | |
| SHRUB AREAS | CODE | QTY | BOTANICAL NAME / COMMON NAME | CONT | | SPACING | VERY LOW | LOW | MEDIUM | <u>HIGH</u> |
| | JSU | 16 | JUNIPERUS SABINA `BUFFALO` / BUFFALO JUNIPER | 5 GAL | | 36" o.c. | | x | | |
| SEED & WILDFLOWER | CODE | QTY | BOTANICAL NAME / COMMON NAME | CONT | | SPACING | VERY LOW | LOW | MEDIUM | HIGH |
| | FNM | 4,548 SF | PBSI FOOTHILLS NATIVE MIX / PBSI FOOTHILLS NATIVE MIX (25 LBS/ACRE) | SEED | | | Х | | | |
| SOD/SEED | CODE | QTY | BOTANICAL NAME / COMMON NAME | CONT | | SPACING | VERY LOW | LOW | MEDIUM | HIGH |
| | PKT | 1,539 SF | POA PRATENSIS / KEN-TEX OR THERMAL BLUEGRASS | SOD | | | | | х | |
| | | | | | | | | | | |

*RIPARIAN SEED AND PLANTINGS TO COMPLY WITH THE CITY OF FORT COLLINS LANDSCAPE DESIGN STANDARDS AND GUIDELINES FOR STORM WATER DETENTION FACILITIES

SITE PLAN NOTES

- 1. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND API BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
- 2. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MA AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
- 3. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- 4. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MAT(THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBIN VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
- 5. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE
- 6. ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND \$ USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AN UNNECESSARY DIFFUSION.
- 7. FIRE HYDRANTS MUST MEET OR EXCEED POUDRE FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGL SYSTEM.
- 8. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
- 9. ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSABLE PARKING SPACES. ACCESSABLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLO
- 10. COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS' ASSOCIATION. THE PROPERTY OWNERS' ASSOCIATION IS RESPO FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
- 11. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COL STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE FIRST CERTIFICATE OF OCCUPANCY.
- 12. FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF AN CERTIFICATE OF OCCUPANCY. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLU THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND Revised November 12, 20 LEGIBLE CONDITION AT ALL TIMES AD BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.

13. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRICE CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.

STREET TREE NOTES

| PPROVED MAINS | 1. | A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE | | SIONS |
|--|----|--|--------------|------------------------|
| 5, | | PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY. | 01 02 | REVISED P REVISED P |
| C ATCHING BING | 2. | CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL MUST BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. | | |
| E PLANS. D SHALL AND | 3. | STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES. ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORS WHERE REQUIRED BY CODE.STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR. | L | ANDS. AN |
| GUISHING | 4. | THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, WITH AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE. | SEA | \L: |
| 48 IN ANY OPE. DN OPEN PONSIBLE | 5. | SUBJECT TO APPROVAL BY THE CITY FORESTER – STREET TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION IS APPROVED BY THE CITY TO MEET SEPARATION STANDARDS. | | ENT |
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| FORT COLLINS, CO PREPARED BY: | | | | | | | |
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| RIPLEY DESIGN INC. | | | | | | | |
| ■ land planning ■ landscape archit ■ urban design ■ entitlement | ecture ∎ | | | | | | |
| 419 Canyon Ave. Suite 200 Fort Collins, CO a phone 970.224.5828 fax 970.225.6657 www.ripleyc | | | | | | | |
| APPLICANT RIPLEY DESIGN INC. Project Manager 419 Canyon Ave. Suite 200 Fort Collins, CO 80521 p. 970.224.5828 f. 970.225.6657 | | | | | | | |
| OWNER ASPEN SUMMIT, LLC Angie Lee and Jesus Martin 1223 Red Oak Ct. Fort Collins, CO 80525 | | | | | | | |
| ARCHITECT VAUGHT FRYE LARSON ARCHITECTS CHRIS ARONSON 419 Canyon Ave. Suite 200 Fort Collins, CO 80521 p. 970.224.1191 | | | | | | | |
| CIVIL ENGINEER UNITED CIVIL Kevin Brazelton 1501 Academy Ct. Fort Collins, CO 80524 p. 970.530.4044 | | | | | | | |
| LIGHTING ENGINEER SRB CONSULTING ENGINEERING Chris Weaver 37127 Cullison Ridge Road Windsor CO 80550 p. 970.686.1004 | | | | | | | |
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| ORIGINAL SIZE 24X36 ISSUED No. DESCRIPTION | DATE | | | | | | |
| 01 PDR SUBMITTAL 02 PDP SUBMITTAL RD1 | 08/28/15 03/30/16 | | | | | | |
| 03 PRICING SET 04 PDP SUBMITTAL RD2 | 04/26/16 05/02/16 | | | | | | |
| REVISIONS No. DESCRIPTION 01 REVISED PER COMMENTS 02 REVISED PER COMMENTS | DATE 04/25/16 05/18/16 | | | | | | |
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| LANDSCAPE NOTES AND DETAILS | | | | | | | |
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4 OF 5

TYPE: WW2, WW4 **D-Series Size 1** LED Wall Luminaire Catalog Number NGHTME NEWDY Facts d"series Introduction The D-Series Wall luminaire is a stylish, fully Specifications integrated LED solution for building-mount Luminaire Back Box (BBW, ELCW) applications. It features a sleek, modern design 13-3/4″ **BBW** Width: ^{13-3/4"} Weight: 5 lbs Width: 2.3 kg/ and is carefully engineered to provide long-lasting, (34.9 cm) (34.9 cm) Weight: 4" **ELCW** 10 lbs energy-efficient lighting with a variety of optical 10" Depth: Depth: (25.4 cm) (10.2 cm) Weight: (4.5 kg) and control options for customized performance. Height: 6-3/8" 6-3/8" Height: (16.2 cm) With an expected service life of over 20 years of nighttime use and up to 74% in energy savings 1 D -- D over comparable 250W metal halide luminaires, THE REAL PROPERTY. **____**()____ Н the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are For 3/4" NPT side-entry ______W_____ conduit (BBW only) exceptionally illuminated. Ordering Information EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD DSXW1 LED DSXW1 LED 10C 10...3s 350 350 mA 30K 3000 K T2S lypell Short MV0LT1 Shipped included Shipped installed

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 <td entry) ³ PIRH1FC3V Motion/amibient sensor, 15–30⁴ mounting height, amibient sensor enabled at 1fc⁵ ASYDF Asymmetric diffuse ELCW = mergency battery backup (includes external comoc-nent end cource)* or Options DDBXD Dark pronze DSSXD Sandstone **Shipped** installed Shipped separately ³ DWHGXD lextured white SF Single fuse (120, 277 or 347V) / BSW Bite-externent spikes DBLXD Black DDBTXD Textured dark pronze DSSTXD Textured sandstone DF Double fuse (208, 240 or 480V) / WG Wire guard DNAXD Natura a uminum DBLBXD Textured place HS House-side shield ^a VG Vandal guard DWHXD White DNATXD Textured natural aluminum SPD Separate surge protection 3 DDL Diffused crop lens NOTES 1 MVOLT oriver operates on any line voltage from 120 277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option). Accessories Ordered and shipped separately 2 Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH. Back brackhips installed on listure. Cennot be field installed. Cannot be ordered as a accessory.
 Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
 PIR and PIRTEC3V specifies the Sensor Switch SEGR-10-ODP control; PIRH specifies the Sensor Switch SEGR-6-ODP control; see Motion Sensor Guide for cetails. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming criver stendard. Not available with 20 LED/1000 mA configuration (DSXWI LED 20C 1000). DSXWHS U House-side shield (one per light engine) DSXWBSW L Bird-deterrent spikes DSXW1WG U Wire guard accessory DSXW1VG L Vandal guard accessory Cold weather (200) rates. Not compatible with concuit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at <u>www.lithonia.com</u>
 Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with ELCW. 8 Also available as a separate accessory; see Accessories information. 9 See the electrical section on page 3 for more details. One Lithonia Way • Conyers, Georgia 30012 • Phone: 80 © 2013-2016 Act, ty Brands Lighting, Inc. All rights reserved. One Lithonia Way • Convers, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • www.lithonia.com Performance Data Lumen Ambient Temperature (LAT) Multipliers Electrical Load Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F). Ds Drive Current System 120V 208V 240V 277V 347V 14W 0.13 0.07 0.06 0.06 10C 700 27 W 0.19 0.11 0.09 0.08 700 27 W 0.25 0.14 0.13 0.11
 700
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 700
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 0.11
 1000 74W 0.69 0.40 0.35 0.30 0.23 0.17 Projected LED Lumen Maintenance Data references the extrapolatec performance projections for the DSXW1 LED 20C 1000 platform in a 25°C ambient, based on 10,000 hours of LED tosting (tosted per IESNA LM 80 06 and projected per IESNA TM 21 11). To calculate LLF, use the lumen maintenance factor that corresponds to the desirec number of operating hours below. For other lumen maintenance values, contact factory. 0 25,000 50,000 100,000 1.0 0.95 0.93 0.88 Photometric Diagrams To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Wall Size 1 homepage. Isofootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (154). Distribution over ay comparison to 250W metal halide. 2 3 2 ° 0 1 2 3 2 <u>⊊</u> 4 3 2 1 0 ° 2 3 4 ⊊ ∠ 3 Z [°] G 1 2 3 · LEGEND LEGEND 0.1 fc DSXW1, 0.5 fc 0.5 fc TWF2, 0.5 fc 1.0 fc 10' W Sidewalk LLDs: TWF2 = 0.72 DSXW1 = 0.95 3 DSXW1 LED 20C 40K 1000 T3 DAE2 250M Euka 151 Mount <u>.</u> **Options and Accessorie** T3M (left), ASYDF (right) lenses HS - House-side shields BSW - Bird-deterrent spikes WG - Wire guard VG - Vandal DDL - Diffused drop lens power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD FEATURES & SPECIFICATIONS option, a separate surge protection device is installed within the uninaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2). INTENDED USE The energy savings, ong life and easy to install design of the DiSeries Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility. INSTALLATION Included universe mounting bracket attaches accurally to any 4° round or sociare out at box for ouries and easy installation. Luminaire has a slotted gasket wireway and attaches to the CONSTRUCTION Two-piece of e-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally solate it from the light engines for low operating temperature and long life. Housing is completely scaled against moleture and environmental contain nants (IP65). mounting bracket via corrosion-resistant screws. LISTINGS CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient. DesignLights Consort um® (DLC) qualified product. Not all versions of this product may be QLC qualified. Please check the DLC Qualified Products List at www.design ights.org to FINISH Exterior parts are protected by a zinc infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corresion and weathering. A tightly controlled multi stepp process ensures a minimum 3 mills thickness for a fhish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes. confirm which versions are qualified. WARRANTY Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/ OPTICS Precision-moloeo proprietary acrylic lenses provide multiple photometric ofstributions tailored specifically to building mounted applications. Light engines are available in 3000 K (80 mm. CRI), 4000 K (70 mm. CRI) or 5000 K (70 CRI) configurations. Note: Actual performance may differ as a result of encluser environment and application. All values are dosign on typical volues, measured under laboratory conditions at 25 °C. Specifications subject to change without notice ELECTRICAL Light engine(s) consist of 10 high efficacy LEDs mountee to a metal consideration to maximize heat elss'pation and promotel ong Ife (L88/100,090 ms at 25°C). Class 1 electronic envent have a
 Cone Littonia Way
 Conyers, Georgia 30012
 Phone: 800.2/9.8041
 Fax: 7/0.918.1209
 www.lithonia.com

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 • Phone: 800.2/9.8041
 • Fax: 7/0.918.1209
 • www.lithonia.com
 D\$XW1-LED Rev. 3/09/16

ted By: David Schmidt Layout: 5 LIGHTING PLAN Printed On: 5/26/2016 8:35 AM File Name: 5 LIGHTING PLAN.d

| Symbol | Label | Qty | Catalog Number | Description | Lamp | File | Lumens | LLF | Watts |
|--------|-------|-----|---------------------------------------|---|------|---|----------|------|-------|
| | WW2 | 3 | DSXW1 LED 10C 350 30K T2S MVOLT | DSXW1 LED WITH 1 LIGHT ENGINE, 10 LED's, 350mA DRIVER, 3000K LED, TYPE 2 SHORT OPTIC | LED | DSXW1_LED_ 10C_350_30K_ T2S_MVOLT.ie s | Absolute | 0.77 | 13.23 |
| | WW4 | 6 | DSXW1 LED 10C 700 30K T4M MVOLT | DSXW1 LED WITH 1 LIGHT ENGINE, 10 LED's, 700mA DRIVER, 3000K LED, TYPE 4 MEDIUM OPTIC | LED | DSXW1_LED_ 10C_700_30K_ T4M_MVOLT.i es | Absolute | 0.77 | 27 |

| | STATISTICS | 6 |
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| | Description | |
| | Bldg. Surrounds | |
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| °0.0 °(| 0.0 | [◇] 0.0 | • • • | • • • • | | 0.0 | 0.0 | | 0.0 | 0.1 |).3 – |).5 |).6 | 0.4 ⁴ | 0.4 | 0.4 | NAS | 0.1 | ° 0.1 | [◇] 0.1 | [♦] 0.1 | °0.1 □ | °0.0 | ∞ ≈ ≈ 0.0 | ∞ | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◊] 0.0 | [◇] 0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | ¢0.0 | °0.0 | | 0.0 | | | , | 0.1 | | | | | 3 | | 0.9 | 1.7 | 1.4 | 1.4 | 1.3 | q .5 | [◇] 0.1 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◊] 0.0 | [◊] 0.0 | [◊] 0.0 | [◇] 0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | ♦ 0.0 | ¢0.0 | | 0.0 | ⁺ 0.0 | +0.0 | 0.0 | 0.1 | 0.8 | [▲] ₩₩4 1.5 ₄ □ | | 4 | | | | $X \sim 1$ | NW2 N | w2 1.9 | 1.7 | 0.6 | 0.1 | °0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◊] 0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | [◇] 0.0 | [♦] 0.0 | C | 0.0 | ⁺ 0.0 | | 0.0 | 0.2 | 1.1 | | | | WW4 | | | | | |] 1.1 م ² | 0 .3 | 」 ∳ | < 0.0 [♦] | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 |
| °0.0 °(| 0.0 | [◊] 0.0 | [◇] 0.0 | [♦] 0.0 | | 0.0 | +0.0 | +0.0 | 0.0 | 0.2 | 1.0 | | | | | | | | | | 1.0 | D.3 Ш | 0 .0 | [◇] 0.0 | [◇] 0.0 | °0.0 | [◇] 0.0 | [◊] 0.0 | [◇] 0.0 | [◇] 0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | | 0.0 | + 0.0 | ⁺ 0.0 | 0.0 | 0.1 | 0.8 | | | | | | | | | | 0.7 | b 3 | ¢0.1 | ≤ 0.(E | °0.0 | 0.0 [¢] | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | [◇] 0.0 | | | 0.0 | +0.0 | ⁺ 0.0 | 0.0 | 0.2 | 0.8 | | 1.5 | | | | | | | | 0.8 | 0.5 | 0.1 | ۲ ۱.0 ک | [¢] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 [♦] | C | 0.0 | + 0.0 | ⁺ 0.0 | 0.0 | 0.1 | 0.5 | 1.2 | 1.9 | | | | | | ſ | WW4 | 1.2 | 0 7 | 0 .0 | 0.0 DM | [¢] 0.0 | [≎] 0.0 | [◇] 0.0 | [◊] 0.0 | [◊] 0.0 | [◇] 0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 _× | C | 0.0 | + 0.0 | ⁺ 0.0 | 0.0 | 0.1 + | 0.5 | 1.4 ⁴ | | 2.6 | 1.3 |).5 | 0.1 | | | | 1.3 ₀ | | ء 0.0 ¢ | 0.0 OX | ^{\$} 0.0 | [◇] 0.0 | ^{\$} 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | [¢] 0.0 | C | 0.0 | + 0.0 | ⁺ 0.0 | 0.0 | 0.1 | 0.5 | | 1.7 (*) 1.7 | 1.2 | 1.0 |).5 | 0.1 | | ł | | ح 0.8 | 0.6 | لا 0.0 لا م | | [¢] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | C | 0.0 | 0.0 | ⁺ 0.0 | 0.0 | 0.1 | 0.2 |).5 |).7 (| 0.4 | 0.5 0 |).3 | [°] 0.1 | [°] 0.0 | 0.0 | 0.1 F | 0.4 | 0.3 | ⊔ 0.0 | נו 0.0 | [◇] 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | 0.0 [↓] | C | 0.0 | 0.0 | ⁺ 0.0 | 0.0 | 0.0 | 0.1 |).1 [—] (| ō.1 [□] (| 0.0 | 0.1 (|).1 [□] | [°] 0.0 | [°] 0.0 | 0.0 | D.O | 0.0 gys | 01 | 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | | - | +0.0 | ⁺ 0.0 | 0.0 | 0.0 (|).0 | 0.0 |) 0.0 0 | 0.0 | 0.0 0.0 | D.0 | [°] 0.0 | ^۳ 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | ≷ 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | $^{\diamond}$ 0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | [◇] 0.0 | 0.0 [◇] | | 0.0 | 0.0 | ⁺ 0.0 | 0.0 | 0.0 (|) , 0 (|).0 | 0.0 | 0.0 [°] , [°] , [°] | 0.0 |) 0 | 0.0 | 0.0 * * | 0.0 | 0.0 | 0.0 | | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |).0 (| 0.0 | 0.0 | 0.0 | 0.0 0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 □ | 9.0 9.0 | ар 0.0- | °0.0 | 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | ^{0.0} | ⁻ ≎0.0 | 0,0 [¢] | ^{0.0} | DS | | | | DS | | IS | | | - ₆₀ | F0- | | | | GA: [◆] 0.0 | °0.0 | [◇] 0.0 | 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | °0.0 | ^{0.0} | [◇] 0.0 | °0.0 | °0.0 | [◇] 0.0 | °0.0 | °0.0 | °0.0 | [◇] 0.0 | °0.0 | °0.0 | °0.0 | [◇] 0.0 | °0.0 | 0.0 | ^{\$} 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | 0.0 [¢] | °0.0 | [◇] 0.0 | ^{0.0} | $^{\diamond}$ 0.0 | 0.0 [¢] | °0.0 | [◇] 0.0 | [◇] 0.0 | 0.0 [¢] | °0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | [◇] 0.0 | °0.0 | 0.0 [¢] 🕅 | $^{\diamond}$ 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | °0.0 | [◇] 0.0 | ^{\$} 0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | 0.0 [¢] | °0.0 | [◇] 0.0 | ^{0.0} | $^{\diamond}$ 0.0 | 0.0 [¢] | °0.0 | [◇] 0.0 | [◇] 0.0 | 0.0 [¢] | °0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | [◇] 0.0 | [♦] 0.0 | ⁰ .0 | $^{\diamond}$ 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | °0.0 | [◇] 0.0 | ^{\$} 0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | [◇] 0.0 | °0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | ^{\$} 0.0 | [◇] 0.0 | ^{0.0[°]} | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | ^{\$} 0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | °0.0 | ^{0.0} | °0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | ^{0.0[♦]} | ^{0.0} | °0.0 | [◇] 0.0 | ^{0.0[°]} | °0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | $^{\diamond}$ 0.0 |
| °0.0 °(| 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | 0.0 [¢] | °0.0 | °0.0 | °0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | [◇] 0.0 | °0.0 | °0.0 | °0.0 | ^{0.0°} | °0.0 | °0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| °0.0 °0 | 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | 0.0 [◊] | °0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 | °0.0 | °0.0 | °0.0 | °0.0 | °0.0 | [◇] 0.0 | °0.0 | °0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | [◇] 0.0 | °0.0 |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| Symbol | Avg | Мах | Min | Max/Min | Avg/Min |
|------------|--------|--------|--------|---------|---------|
| | 0.4 fc | 2.7 fc | 0.0 fc | N / A | N / A |
| \diamond | 0.0 fc | 0.1 fc | 0.0 fc | N / A | N / A |
| + | 0.1 fc | 1.5 fc | 0.0 fc | N / A | N / A |
| | | | | | |

| NT. | HGT. | |
|-----|------|--|
| | | |

 MH
 Tilt

 ~12.0'
 0.0

 ~9.0'
 0.0

| ANGIE LEE PERIODONTIC | S | | | | | | | |
|--|----------------------------------|--|--|--|--|--|--|--|
| PDP SUBMITTAL | | | | | | | | |
| FORT COLLINS, CO PREPARED BY: | | | | | | | | |
| RIPLEY DESIGN INC. I land planning = landscape archite I urban design = entitlement 419 Canyon Ave. Suite 200 Fort Collins, CO & phone 970.224.5828 fax 970.225.6657 www.ripleyd | ■ 80521 | | | | | | | |
| APPLICANT RIPLEY DESIGN INC. Project Manager 419 Canyon Ave. Suite 200 Fort Collins, CO 80521 p. 970.224.5828 f. 970.225.6657 | | | | | | | | |
| OWNER ASPEN SUMMIT, LLC Angie Lee and Jesus Martin 1223 Red Oak Ct. Fort Collins, CO 80525 | | | | | | | | |
| ARCHITECT VAUGHT FRYE LARSON ARCHITECTS CHRIS ARONSON 419 Canyon Ave. Suite 200 Fort Collins, CO 80521 p. 970.224.1191 | | | | | | | | |
| CIVIL ENGINEER UNITED CIVIL Kevin Brazelton 1501 Academy Ct. Fort Collins, CO 80524 p. 970.530.4044 | | | | | | | | |
| LIGHTING ENGINEER SRB CONSULTING ENGINEERING Chris Weaver 37127 Cullison Ridge Road Windsor CO 80550 p. 970.686.1004 | | | | | | | | |
| NORTH SCALE: 1"=20'-0" ORIGINAL SIZE 24X36 | 4 0 | | | | | | | |
| ISSUED No. DESCRIPTION 01 PDR SUBMITTAL | DATE 08/28/15 | | | | | | | |
| 02PDP SUBMITTAL RD103PRICING SET04PDP SUBMITTAL RD2 | 03/30/16 04/26/16 05/02/16 | | | | | | | |
| REVISIONS No. DESCRIPTION | DATE | | | | | | | |
| 01 REVISED PER COMMENTS 02 REVISED PER COMMENTS | 04/25/16 05/18/16 | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | - | | | | | | | |
| SEAL: ENTITLEMENT ENTITLEMEGS | | | | | | | | |
| CON | | | | | | | | |
| PROJECT No.:R15-051DRAWN BY:DSREVIEWED BY:RL | | | | | | | | |
| DRAWING NUMBER: | | | | | | | | |
| 5 OF 5 | | | | | | | | |





| EXTERIOR FIN | NISH SCHEDULE | PROJECT NUMBER: | 2015-71 |
|---|---|--|--|
| WOOD SIDING | BROWN | | |
| BRICK | BROWN | | |
| STONE VENEER | COURSED ASHLAR- MIX GREY & TAN | | GIE LEE |
| STUCCO | TAN | | DONTICS |
| PRECAST CAPS STOREFRONT | MED. GREY SILVER | | |
| GLAZING | GREY TINTED | | |
| STEEL & FLASHINGS | LIGHT GREY | 4803 | BOARDWALK DR. |
| PREFINISHED METAL COPING | GREY | | COLLINS, CO 80525 |
| CMU | GREY | | |
| GENERAL NOTE: ALL EXTERIOR WALL | MOUNTED LIGHTS TO | | |
| BE FULL CUT-OFF. | | | |
| NOTE: FINAL BUILDING DESIG ONE AND TWO. AT TH | GN IS SHOWN FOR PHASE | | |
| PERMIT, BUILDING PLA SHALL BE REVIEWED F | ANS AND ELEVATIONS FOR COMPLIANCE WITH | | RYE LARSON architects |
| DIRECTOR SHALL DET | ND ELEVATIONS. THE ERMINE WHETHER THE TONS TO THESE PLANS | ¥AUUIII I I | TE LAROUN arountoots |
| SHALL BE PERMITTED BUILDING PERMIT OR | AS PART OF THE WHETHER AN AMENDMENT | | gn. Strength in partnership. |
| TO THESE PLANS IS RI | EQUIRED. | | ith in community. |
| | | 419 Canyon Aven ph: 970. | ıe, Suite 200 Fort Collins, CO 80521 224.1191 www.VFLA.com |
| | | | DESIGN INC. |
| | | | |
| 116' - | . 0" | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 | DP ROUND 2 |
| 116' - | - 0" | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 | Date 03-30-16 |
| STUCC | COREVEAL | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 | Date 03-30-16 |
| STUCO 112' - | CO REVEAL | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions | Date 03-30-16 05-02-16 |
| STUCO 112' - STEEL | COREVEAL | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 | Date 03-30-16 |
| STUCO 112'- STEEL PREFI | CO REVEAL 9" | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions | Date 03-30-16 05-02-16 |
| STUCO 112' - STEEL PREFI STEEL ALUMI | CO REVEAL 9" CHANNEL, PAINTED NISHED METAL FASCIA COLUMN, PAINTED | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions | Date 03-30-16 05-02-16 |
| STUCO 112' - STEEL PREFIN STEEL ALUMI WINDO | CO REVEAL 9" - - CHANNEL, PAINTED NISHED METAL FASCIA - COLUMN, PAINTED | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD | CO REVEAL 9" - CHANNEL, PAINTED NISHED METAL FASCIA - COLUMN, PAINTED INUM STOREFRONT OW FRAME O SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD | CO REVEAL 9" - CHANNEL, PAINTED NISHED METAL FASCIA - COLUMN, PAINTED INUM STOREFRONT OW FRAME | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD | CO REVEAL 9" - CHANNEL, PAINTED NISHED METAL FASCIA - COLUMN, PAINTED INUM STOREFRONT OW FRAME O SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD | CO REVEAL 9" - CHANNEL, PAINTED NISHED METAL FASCIA - COLUMN, PAINTED INUM STOREFRONT OW FRAME O SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions 6 No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD | CO REVEAL 9" - CHANNEL, PAINTED NISHED METAL FASCIA - COLUMN, PAINTED INUM STOREFRONT OW FRAME O SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions 6 No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD | CO REVEAL 9" - CHANNEL, PAINTED NISHED METAL FASCIA - COLUMN, PAINTED INUM STOREFRONT OW FRAME O SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions 6 No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WNOOD FIN. | CO REVEAL 9" - CHANNEL, PAINTED NISHED METAL FASCIA - COLUMN, PAINTED INUM STOREFRONT OW FRAME O SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions 6 No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED | CO REVEAL 9" CHANNEL, PAINTED INSHED METAL FASCIA COLUMN, PAINTED INUM STOREFRONT OW FRAME D SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions 6 No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WNOOD FIN. | CO REVEAL 9" CHANNEL, PAINTED ISHED METAL FASCIA COLUMN, PAINTED INUM STOREFRONT OW FRAME O SIDING SIGNAGE LOCATION | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions 6 No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED | CO REVEAL 9" CHANNEL, PAINTED ISHED METAL FASCIA COLUMN, PAINTED INUM STOREFRONT OW FRAME O SIDING SIGNAGE LOCATION | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions 6 No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED 116' - 8 1/2" ADDRESS NU | CO REVEAL 9" CHANNEL, PAINTED NISHED METAL FASCIA COLUMN, PAINTED NUM STOREFRONT OW FRAME O SIDING FLOOR 100' - 0" SIGNAGE LOCATION D METAL COPING JMBERS, MIN. 8" | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions 6 No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED 116' - 8 1/2" | CO REVEAL 9" CHANNEL, PAINTED NISHED METAL FASCIA COLUMN, PAINTED NUM STOREFRONT OW FRAME O SIDING FLOOR 100' - 0" SIGNAGE LOCATION O METAL COPING JMBERS, MIN. 8" JCCO | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions No. Description | Date 03-30-16 05-02-16 05-02-16 05-02-16 05-02-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED 116' - 8 1/2" ADDRESS NU SMOOTH STU | CO REVEAL 9" CHANNEL, PAINTED NISHED METAL FASCIA COLUMN, PAINTED NUM STOREFRONT OW FRAME O SIDING FLOOR 100' - 0" SIGNAGE LOCATION O METAL COPING JMBERS, MIN. 8" JCCO | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions No. Description | Date 03-30-16 05-02-16 Date |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED 116' - 8 1/2" ADDRESS NU SMOOTH STU | CO REVEAL 9" CHANNEL, PAINTED NISHED METAL FASCIA COLUMN, PAINTED NUM STOREFRONT W FRAME D SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions No. Description | Date 03-30-16 05-02-16 05-02-16 05-02-16 05-02-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED 116'- 8 1/2" ADDRESS NU SMOOTH STU STUCCO REV | CO REVEAL 9" CHANNEL, PAINTED NISHED METAL FASCIA COLUMN, PAINTED NUM STOREFRONT W FRAME D SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions No. Description | Date 03-30-16 05-02-16 05-02-16 05-02-16 0 Date 0 D |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED 116'- 8 1/2" ADDRESS NU SMOOTH STU STUCCO REV | CO REVEAL 9" CHANNEL, PAINTED NISHED METAL FASCIA COLUMN, PAINTED NUM STOREFRONT W FRAME D SIDING | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions No. Description | Date 03-30-16 05-02-16 |
| STUCO 112'- STEEL PREFIN STEEL ALUMI WINDO WOOD FIN. FIN. PROPOSED S PREFINISHED 116'- 8 1/2" ADDRESS NU SMOOTH STU STUCCO REV | CO REVEAL 9" CHANNEL, PAINTED NISHED METAL FASCIA COLUMN, PAINTED NUM STOREFRONT ON FRAME O SIDING FLOOR 100'-0" ON SIGNAGE LOCATION O METAL COPING JMBERS, MIN. 8" JCCO VEAL SKED BOND | Issued No. Description 1 PDP ROUND 1 2 PDP ROUND 2 3 4 5 6 Revisions No. Description | Date 03-30-16 05-02-16 05-02-16 05-02-16 0 Date 0 D |

A1





4 PLANNING - NORTHEAST CORNER



3 SOUTH ELEVATION - PHASE 2



2 SOUTH ELEVATION - PHASE 1 3/16" = 1'-0"

| EXTERIOR FIN | IISH SCHEDULE | PROJECT NUMBER: |
|----------------------|---|--|
| WOOD SIDING | BROWN | |
| BRICK | BROWN | |
| STONE VENEER | COURSED ASHLAR- MIX | |
| STUCCO | TAN | ANG |
| PRECAST CAPS | MED. GREY | |
| STOREFRONT | SILVER | |
| GLAZING | GREY TINTED | |
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FIN. FLOOR 100' - 0"

120' - 4" SMOOTH STUCCO 116' - 8 1/2" 110' - 8" BRICK, STACKED BOND FIN. FLOOR (PHASE 2) 99' - 0"



ANGIE LEE PERIODONTICS LOT 2, MIRAMONT SELF STORAGE P.U.D. LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS,

PROJECT TEAM

OWNER / APPLICANT /

DEVELOPER ASPEN SUMMIT, LLC. 1223 RED OAK CT FORT COLLINS, CO 80525 PHONE: 970-999-2332 CONTACT: JESUS MARTIN-ROMAN

CIVIL ENGINEER UNITED CIVIL DESIGN GROUP, LLC 1501 ACADEMY CT., STE 203 FORT COLLINS, CO 80524 PHONE: 970-530-4044 CONTACT: KEVIN BRAZELTON

SURVEYOR LAT40°, INC. 1635 FOXTRAIL DRIVE, SUITE 325 LOVELAND, CO 80537 PHONE: 970-776-3321 CONTACT: KYLE RUTZ

ARCHITECT VAUGHT FRYE LARSON ARCHITECTS 419 CANYON AVENUE, SUITE 200 FORT COLLINS, CO 80521 PHONE: 970-224-1191 CONTACT: CHRIS ARONSON

PLANNER/LANDSCAPE ARCHITECT RIPLEY DESIGN INC. 419 CANYON AVENUE, SUITE 200 FORT COLLINS, CO 80521 PHONE: 970-224-5828 CONTACT: RUSS LEE

UTILITY PROVIDERS

UTILITY Water/Wastewater Stormwater Power Natural Gas Telecom Cable

PROVIDER City of Fort Collins Utilities City of Fort Collins Utilities City of Fort Collins Light & Power Xcel Energy Centurylink Comcast

| <u>CONTACT</u> | PHONE |
|----------------|----------------|
| Shane Boyle | (970) 221-6339 |
| Shane Boyle | (970) 221-6339 |
| Todd Vedder | (970) 224-6152 |
| Stephanie Rich | (970) 225-7828 |
| Bill Johnson | (970) 377-6401 |
| Don Kapperman | (970) 567-0245 |

Note: All utility providers listed hereon is provided as a courtesy. It is the responsibility of the recipient to verify the accuracy and completeness of the information shown.

PROJECT COORDINATES

PROJECT DATUM: NAVD 88.

BENCHMARK #1: CITY OF FORT COLLINS 4-08 ON SOUTH SIDE OF HARMONY RD. AT THE NORTHWEST CORNER OF 625 EAST HARMONY RD. (FRONT RANGE BAPTIST CHURCH), ON THE NORTH WALL OF A CONCRETE IRRIGATION DROP STRUCTURE. ELEVATION=5017.14

BENCHMARK #2: CITY OF FORT COLLINS 28-94 ON THE WEST SIDE OF SOUTH LEMAY AVE AT THE SOUTH END OF COLLINWOOD

PROPERTY (5055 SOUTH LEMAY), ON TOP OF THE NORTH WALL OF A CONCRETE STORM WATER CHASE NEAR A FIRE HYDRANT. ELEVATION=4971.69

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED FOR THEIR VERTICAL DATUMS.

IF NGVD29 UNADJUSTED IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED = NAVD88 - 3.20'.

BASIS OF BEARINGS:

THE EAST LINE OF LOT 2, MIRAMONT SELF STORAGE P.U.D., AS BEARING SOUTH 01°47'25" WEST (ASSUMED BEARING).

NOTE

ALL PROJECT CONTROL LISTED HEREON IS PROVIDED AS A COURTESY. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THE ACCURACY OF THE COORDINATES AND ELEVATIONS SHOWN PRIOR TO USING THEM FOR ANY PURPOSES.

UTILITY PLANS FOR

COUNTY OF LARIMER, STATE OF COLORADO

MAY 2016







SHEET INDEX

C000

C001

C100

C200

C300

C400

C500

C600

COVER SHEET GENERAL AND CONSTRUCTION NOTES EXISTING INFORMATION & REMOVAL PLAN HORIZONTAL CONTROL PLAN UTILITY PLAN GRADING AND EROSION CONTROL PLAN DRAINAGE PLAN

CONSTRUCTION DETAILS - RESERVED FOR FINAL SUBMITTAL



I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE CITY OF FORT COLLINS AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DESIGN, REVISIONS, AND RECORD CONDITIONS THAT I HAVE NOTED ON THESE PLANS.

DATE

KEVIN BRAZELTON, PE #38837

DISCLAIMER STATEMENT

THESE PLANS HAVE BEEN REVIEWED BY THE LOCAL ENTITY FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE LOCAL ENTITY ENGINEER, OR THE LOCAL ENTITY FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED IN ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE LOCAL ENTITY FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

| City of Fort Collins, Colorado UTILITY PLAN APPROVAL | | | | |
|---|----------------------------|------|--|--|
| APPROVED: | City Engineer | Date | | |
| CHECKED BY: | Water & Wastewater Utility | Date | | |
| CHECKED BY: | Stormwater Utility | Date | | |
| CHECKED BY: | Parks & Recreation | Date | | |
| CHECKED BY: | Traffic Engineer | Date | | |
| CHECKED BY: | | | | |
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| Fort Collins, CO 805 (970) 530-4044 www.unitedcivil.co | |
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LARIMER COUNTY URBAN AREA STREET STANDARDS - REPEALED AND REENACTED OCTOBER 1, 2002

GENERAL NOTES

- 1. All materials, workmanship, and construction of public improvements shall meet or exceed the Standards and Specifications set forth in the Larimer County Urban Area Street Standards and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the local entity.
- 2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- 3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the local entity engineer. Use of these plans after the expiration date will require a new review and approval process by the local entity prior to commencement of any work shown in these plans.
- 4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the local entity, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the local entity engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the local entity, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
- 5. All sanitary sewer, storm sewer, and water line construction, as well as power and other "dry" utility installations, shall conform to the local entity standards and specifications current at the date of approval of the plans by the local entity engineer.
- 6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The developer shall be responsible for unknown underground utilities.
- 7. The developer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- 8. The developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
- 9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the local entity prior to beginning construction.
- 10. The developer shall coordinate and cooperate with the local entity, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
- 11. No work may commence within any public storm water, sanitary sewer or potable water system until the developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a pre-construction meeting may be required prior to commencement of any work.
- 12. The developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.
- 13. The minimum cover over water lines is 4.5 feet and the maximum is 5.5 fee unless otherwise noted in the plans and approved by the Water Utility.
- 14. A state construction dewatering wastewater discharge permit is required if dewatering is required in order to install utilities or water is discharged into a storm sewer, channel, irrigation ditch or any waters of the united states.
- 15. The developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the storm water management plan, and the erosion control plan.
- 16. The local entity shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
- 17. Prior to final inspection and acceptance by the local entity, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the storm water utility department. Certification shall be submitted to the storm water utility department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Storm Water Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the development agreement.
- 18. The local entity including but not limited to City of Fort Collins, South Fort Collins Sanitation District and Fort Collins-Loveland Water District shall not be responsible for any damages or injuries sustained in this development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the local entity failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
- 19. All recommendations of the preliminary drainage and erosion control study entitled "Angie Lee Periodontics" prepared by United Civil Design Group LLC, and dated March 30, 2016, shall be followed and implemented.
- 20. Temporary erosion control during construction shall be provided as shown on the erosion control plan. All erosion control measures shall be maintained in good repair by the developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
- 21. The developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the local entity street inspector.
- 22. No work may commence within any improved or unimproved public right-of-way until a right-of-way permit or development construction permit is obtained, if applicable.
- 23. The developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The developer shall notify the local entity engineering inspector (Fort Collins - 221-6605) and the local entity erosion control inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the local entity engineer is not available after proper notice of construction activity has been provided, the developer may commence work in the engineers absence. However, the local entity reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
- 24. The developer shall be responsible for obtaining soils tests within the public right-of-way after right-of-way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the developer shall be responsible for a re-design of the subject pavement section or, the developer may use the local entity's default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed professional engineer. The final report shall be submitted to the inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the local entity engineer approves the final report.
- 25. The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the local entity inspector. The engineer or surveyor must certify in a letter to the local entity that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the local entity before installation of base course or asphalt will be allowed on the streets.
- 26. All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
- 27. Portions of Larimer County are within overlay districts. The Larimer County floodplain resolution should be referred to for additional criteria for roads within these districts.
- 28. All road construction in areas designated as wild fire hazard areas shall be done in accordance with the construction criteria as established in the wild fire hazard areas mitigation regulations in force at the time of final plat approval.
- 29. Prior to the commencement of any construction, the contractor shall contact the local entity forester to schedule a site inspection for any tree removal requiring a permit.
- 30. The developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
- 31. The developer shall submit a construction traffic control plan, in accordance with MUTCD, to the appropriate right-of-way authority. (local entity, county or state), for approval, prior to any construction activities within, or affecting, the right-of-way. The developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
- 32. Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact local entity traffic operations department, who will temporarily remove or relocate the sign at no cost to the contractor; however, if the contractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.
- 33. The developer is responsible for all costs for the initial installation of traffic signing and striping for the development related to the development's local street operations. In addition, the developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the development.
- 34. There shall be no site construction activities on Saturdays, unless specifically approved by the local entity engineer, and no site construction activities on Sundays or holidays, unless there is prior written approval by the local entity.
- 35. The developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.
- 36. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the designer for clarification, and annotate the dimension on the as-built record drawings.
- 37. The developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.
- 38. If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the developer shall contact the designer and the local entity engineer immediately.
- 39. The developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and available to the local entity's inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the local entity engineer.

GENERAL NOTES (CONTINUED)

40. The designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks (2) for the project as well as the basis of bearings. The information shall be as follows:

PROJECT DATUM: NAVD 88.

BENCHMARK #1: CITY OF FORT COLLINS 4-08 ON SOUTH SIDE OF HARMONY RD. AT THE NORTHWEST CORNER OF 625 EAST HARMONY RD. (FRONT RANGE BAPTIST CHURCH), ON THE NORTH WALL OF A CONCRETE IRRIGATION DROP STRUCTURE ELEVATION=5017.14

BENCHMARK #2: CITY OF FORT COLLINS 28-94

ON THE WEST SIDE OF SOUTH LEMAY AVE AT THE SOUTH END OF COLLINWOOD PROPERTY (5055 SOUTH LEMAY), ON TOP OF THE NORTH WALL OF A CONCRETE STORM WATER CHASE NEAR A FIRE HYDRANT. ELEVATION=4971.69

PLEASE NOTE: THIS PLAN SET IS USING NAVD88 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NGVD29 UNADJUSTED FOR THEIR VERTICAL DATUMS. IF NGVD29 UNADJUSTED IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NGVD29 UNADJUSTED = NAVD88 - 3.20'.

THE EAST LINE OF LOT 2, MIRAMONT SELF STORAGE P.U.D., AS BEARING SOUTH 01°47'25" WEST (ASSUMED BEARING).

41. All stationing is based on centerline of roadways unless otherwise noted.

- 42. Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the first certificate of occupancy.
- 43. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the local entity construction inspector before any cuts are made. Patching shall be done in accordance with the local entity street repair standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of need for a complete overlay shall be made by the local entity engineer and/or the local entity inspector at the time the cuts are made.
- 44. Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.

45. Standard handicap ramps are to be constructed at all curb returns and at all "T" intersections.

- 46. After acceptance by the local entity, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
- 47. The local entity shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the following private streets: none.

48. Approved variances are listed as follows:

-None

STREET IMPROVEMENTS NOTES

- 1. All street construction is subject to the General Notes on the Cover Sheet of these plans as well as the street improvements notes listed here.
- 2. A paving section design, signed and stamped by a Colorado licensed engineer, must be submitted to the local entity engineer for approval, prior to any street construction activity, (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.
- 3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the local entity engineer in Fort Collins.
- 4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the local entity engineer.
- 5. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings are not allowed.
- 6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, reconstruction and repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete overlay shall be made by the local entity engineer. All overlay work shall be coordinated with adjacent landowners such that future projects do not cut the new asphalt overlay work.
- 7. All traffic control devices shall be in conformance with these plans or as otherwise specified in MUTCD (including Colorado supplement) and as per the right-of-way work permit traffic control plan
- 8. The developer is required to perform a gutter water flow test in the presence of the local entity inspector and prior to installation of asphalt. Gutters that hold more than ¼ inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.
- 9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. And a single axle weight of at least 18,000 lbs. With pneumatic tires inflated to not less than 90 P.S.I.G. "proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. any portion of the subgrade or base material which exhibits excessive pumping or deformation, as determined by the local entity engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The local entity engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be performed in the presence of an inspector.

STORM DRAINAGE NOTES

- 1. All street, sanitary sewer, storm sewer and water construction shall conform to City Standards and Specifications current at date of execution of the Development Agreement pertaining to this development. Any construction occurring three years after the execution of the development agreement shall require re-examination of the plans by the Director who may require that they be made to conform to standards and specifications current at that time.
- 2. The type, size, location, and number of all known underground utilities are approximate as shown on the drawings. It shall be the responsibility of the contractor to verify the existence and location of all underground utilities along the route of the work. Before commencing new construction, the contractor shall be responsible for locating unknown underground utilities.
- 3. These plans have been reviewed by the City for concept only. The review does not imply responsibility by the reviewing department, the City Engineer, or the City for accuracy or correctness of the calculations. Furthermore, the review does not imply that the quantities of the items on the plans are the final quantities required. The review shall not be construed in any reason as acceptance of financial responsibility by the City for additional quantities of items shown that may be required during the construction phase
- 4. Prior to the commencement of any construction, the contractor must give the City Engineering Department (970-221-6605) and the Erosion Control Inspector (970-221-6700) twenty-four (24) hours advance. Initial erosion control measures must be installed and a site inspection by the Erosion Control Inspector is required before commencing construction activities.
- 5. Maintenance of onsite drainage facilities shall be the responsibility of the property owners.
- 6. All recommendations of the preliminary drainage and erosion control study entitled "Angie Lee Periodontics" prepared by United Civil Design Group LLC, and dated March 30, 2016, shall be followed and implemented.
- 7. Prior to final inspection and acceptance by the City, certification of the drainage facilities by a Colorado registered professional engineer must be submitted to and approved by the City Stormwater Department. (including the applicable note as set forth below) For commercial and multi-family developments, certification of all drainage facilities shall be submitted to the City Stormwater Department at least two weeks prior to the release of a certificate of occupancy. Individual lot certification, elevation certification, or floodproofing certification, as specified in the development agreement, must be submitted to the City Stormwater Department at least two weeks prior to the release of a certificate of occupancy for such lot. For single family developments, certification of all drainage facilities must be submitted to the City Stormwater Department in accordance with all conditions as prescribed by the development agreement associated with this development. Individual lot certification, elevation certification, or floodproofing certification, as specified in the development agreement, must be submitted to the City Stormwater Department at least one week prior to the release of a certificate of occupancy for such lot.
- 8. If dewatering is used to install utilities, and discharge will be into the street, gutter, storm sewer, channel, irrigation ditch, or any waters of the State a State Construction Dewatering Industrial Wastewater Discharge Permit is required.
- 9. All land disturbing activities greater than or equal to one acre must comply with the State of Colorado permitting process for Stormwater Discharges Associated with Construction Activity. For more information contact the Colorado Department of Public Health and Environment, Water Quality Control Division, at 303-692-3500 or refer to the web site at http://www.cdphe.state.co.us/wq/PermitsUnit/.

10. Benchmark: See General Note Number 40.

- 11. If fill or dredged material is discharged into waters of the United States, a USACE 404 permit is required.
- 12. If construction affects any Colorado Highway, a Colorado Department of Transportation right-of-way permit is required.

12. The developer installing signs shall be responsible for locating and protecting all underground utilities.

13. Special care shall be taken in sign location to ensure an unobstructed view of each sign.

14. Signage and striping has been determined by information available at the time of review. Prior to initiation of the warranty period, the City of Fort Collins Traffic Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Traffic Engineer determines that an unforeseen condition warrants such signage according to the MUTCD or the CDOT M and S standards. All signage and striping shall fall under the requirements of the two year warranty period for new construction (except fair wear on traffic markings).

STANDARD EROSION AND SEDIMENT CONTROL CONSTRUCTION PLAN NOTES

1. The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.

2. There shall be no earth-disturbing activity outside the limits designated on the accepted plans.

3. All required perimeter silt and construction fencing shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.

4. At all times during construction, the developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize windblown sediment. The developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.

5. Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.

6. All soils exposed during land disturbing activity (striping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPS are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the city/county.

8. When temporary erosion control measures are removed, the developer shall be responsible for the cleanup and removal of all sediment and debris from all drainage infrastructure and other public facilities.

9. The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of way, and make sure streets and walkways are cleaned at the end of each working day.

10. All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.

11. No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.

12. The storm water volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the city/county or Homeowners Association (HOA).

13. City ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and federal regulations.

14. A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.

15. Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The developer shall implement whatever measures are determined necessary, as directed by the city/county.

16. A vehicle tracking control pad shall be installed when needed for construction equipment, including but not limited to personal vehicles exiting existing roadways. No earthen materials, i.e. stone, dirt, etc. shall be placed in the curb & gutter or roadway as a ramp to access temporary stockpiles, staging areas, construction materials, concrete washout areas, and/or building sites.

CITY OF FORT COLLINS WATERLINE NOTES

TRAFFIC SIGNING AND PAVEMENT MARKING CONSTRUCTION NOTES (CONTINUED)

15. Sleeves for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Traffic Control Devices, for additional detail.

7. In order to minimize erosion potential, all temporary (structural) erosion control measures shall:

A. Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.

B. Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector. C. Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.

1. Water mains shall be DIP with polywrap or PVC with tracer wire.

2. Water mains shall be installed with 4.5 to 5.5 feet of cover unless otherwise approved.

3. HDPE pipe may be used for 1-1/2 and 2 inch water services. The pipe shall meet the standards of AWWA 901, NSF Standard 61 and ASTM. The HDPE pipe shall be SDR 9 having a pressure rating of 200 psi. Stiffeners shall be used at all fittings and connections. Tracer wire shall be installed with the HDPE service, and shall extend up the curb stop. The curb stop shall be covered with a metal box and tracer wire test lid per City Water Detail 25.

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SERVICES.

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PROPOSED CONCRETE

PROPOSED BUILDING

PROPOSED CURB & GUTTER

TO ANY CONSTRUCTION TO VERIFY EXACT UTILITY LOCATIONS.

COORDINATED WITH APPROVED ARCHITECTURAL DRAWINGS.

9. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.

HDPE PIPE WITH A PRESSURE RATING OF 200 PSI.

SERVICE INTERRUPTIONS TO SURROUNDING BUILDINGS OR PROPERTIES.

PAVEMENT OR SIDEWALK

PROPOSED PAVEMENT STRIPING

EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO

THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE

DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR

THE PROPOSED CONSTRUCTION WILL BE IN CLOSE PROXIMITY TO SEVERAL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY PROVIDERS PRIOR TO AND DURING CONSTRUCTION TO MINIMIZE

4. REFER TO APPROVED SITE ELECTRICAL PLANS FOR ALL CONDUITS AND POWER LINE ROUTING FOR SITE LIGHTING.

6. MINIMUM DEPTH OF COVER OVER WATER MAINS SHALL BE 4.5'. MAXIMUM COVER SHALL BE 5.5'.

8. ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.

5. WATER AND SEWER SERVICE PROVIDED BY THE CITY OF FORT COLLINS AND ALL WATER AND SEWER CONSTRUCTION SHALL BE PER THE CITY OF FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS, LATEST EDITION.

7. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER & WATER MAINS &

10. FIRE SERVICES SHALL BE AWWA C-900 PVC. 1-1/2" AND 2" WATER SERVICES MAY BE EITHER TYPE K COPPER OR SDR 9

11. THE LOCATION OF PROPOSED DRY UTILITIES AS SHOWN ON THIS DRAWING ARE SHOWN FOR HORIZONTAL ALIGNMENTS

ONLY AND ARE APPROXIMATE. FINAL DESIGNS OF DRY UTILITIES WILL BE PERFORMED BY THE APPROPRIATE UTILITY

THE PLUMBING CONTRACTOR SHALL TERMINATE UTILITY LATERALS 5' OUTSIDE OF BUILDING UNLESS NOTED OTHERWISE. EXACT LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL UTILITY CONNECTIONS INTO THE PROPOSED BUILDING SHALL BE

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| PROPOSED FIRE SERVICE |
| PROPOSED WATER SERVICE |
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> JOB NUMBER U15103

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| Stormwater Utility | Date |
| Parks & Recreation | Date |
| Traffic Engineer | Date |
| Environmental Planner | Date |
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7. TEMPORARY EROSION CONTROL BLANKETS (ECB) SHALL BE NORTH AMERICAN GREEN ERONET S75 OR APPROVED

EROSION CONTROL NOTES

EQUAL.

- 1. THE SITE WILL BE LANDSCAPED TO FINAL STABILIZATION. SEE FINAL LANDSCAPE PLAN FOR DETAILS.
- 2. REFER TO SHEET C001 FOR STANDARD EROSION AND SEDIMENT CONTROL CONSTRUCTION PLAN NOTES.
- EROSION CONTROL PRACTICES, SITE PROTECTION, AND REVEGETATION METHODS SHALL FOLLOW CITY REGULATIONS.
 CONTRACTOR TO TERRACE SLOPES USING A "TRACKED" VEHICLE, RUN PERPENDICULAR TO SLOPE TO INHIBIT RILL/GULLEY EROSION, CONTRACTOR MAY USE OTHER WINDROW-TYPE METHODS AS APPROVED BY ENGINEER. TYPICAL ALL SLOPES, REPEAT AS NECESSARY UNTIL LANDSCAPING IS INSTALLED.
- 5. ANY AREAS USED FOR STOCKPILING AND/OR STAGING SHOULD ALSO HAVE SEDIMENT AND EROSION CONTROL MEASURES AS NECESSARY. THESE AREAS SHOULD BE LOCATED AT LEAST 100' AWAY FROM DRAINAGE WAYS. THE ITEMS MAY INCLUDE BUT ARE NOT LIMITED TO VEHICLE TRACKING CONTROL, SILT FENCE, CONSTRUCTION FENCE, CONCRETE WASHOUT, AND SEDIMENT TRAP.
- 6. SOIL AMENDMENTS SHALL BE INCORPORATED IN ALL LANDSCAPE AREAS TO A DEPTH OF 6" AT A RATE OF 3 CUBIC YARDS PER 1000 SQUARE FEET OF AREA -OR- 4" OF LOOSE TOPSOIL IMPORTED ONTO THE SITE OVER 4" OF LOOSENED SUBGRADE SOILS. REFER TO CITY OF FORT COLLINS CODE SECTIONS 12-130 THROUGH 12-132.
- 7. TEMPORARY SEEDING SHALL BE UTILIZED IN THE EVENT THAT A GRADED AREA IS EXPOSED LONGER THAN 30 DAYS. THE SITE SHALL BE SEEDED WITH 100% SMOOTH BROME AT A MINIMUM APPLICATION RATE OF 30 PLS/LBS/ACRE.

| 8. | A COMMERCIAL FERT | ILIZER WITH THE FOL | LOWING SPECS SHALL BE | USED: |
|----|-------------------|--------------------------|---------------------------------|-------|
| | INGREDIENT | % AVAILABLE BY WEIGHT | APPLICATION RATE IN LBS/ACRE | |
| | NITROGEN | 13 | 65 | |
| | POTASSIUM | 16 | 80 | |
| | POTASSIUM | М | 120 | |

SCALE: 1" = ##'

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| APPROVED: | City Engineer | Date |
| CHECKED BY: | Water & Wastewater Utility | Date |
| CHECKED BY: | Stormwater Utility | Date |
| CHECKED BY: | Parks & Recreation | Date |
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| | BASIN DESIGNATION | | | Ste. 2 Fort Collins, (970) 530 |
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THE BEST INFORMATION AVAILABLE TO THE ENGINEER. 2. VEGETATIVE SWALES AND THE WATERQUALITY POND SHALL BE MAINTAINED BY THE PROPERTY OWNER AND FOLLOW APPLICABLE STANDARD OPERATING PROCEDURES AS SHOWN IN DEVELOPMENT AGREEMENT.

DRAINAGE SUMMARY

| Basin | Design Point | Area | %I | C2 | C100 | Q2 | Q100 |
|--------------|--------------|--------|-----|-------|-------|-------|-------|
| | | (acre) | | | | (cfs) | (cfs) |
| Proposed Bas | ins | | | | | | |
| A1 | A1 | 0.05 | 13% | 0.336 | 0.420 | 0.04 | 0.19 |
| A2 | A2 | 0.21 | 92% | 0.907 | 1.000 | 0.53 | 2.04 |
| A3 | A3 | 0.08 | 90% | 0.950 | 1.000 | 0.23 | 0.83 |
| B1 | B1 | 0.08 | 90% | 0.950 | 1.000 | 0.21 | 0.78 |
| OS1 | OS1 | 0.06 | 10% | 0.315 | 0.394 | 0.05 | 0.20 |
| OS2 | OS2 | 0.06 | 2% | 0.250 | 0.313 | 0.03 | 0.15 |
| OS3 | OS3 | 0.07 | 54% | 0.665 | 0.831 | 0.14 | 0.60 |

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| APPROVED: | City Engineer | Date |
| CHECKED BY: | Water & Wastewater Utility | Date |
| CHECKED BY: | Stormwater Utility | Date |
| CHECKED BY: | Parks & Recreation | Date |
| CHECKED BY: | Traffic Engineer | Date |
| CHECKED BY: | Environmental Planner | Date |



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land planning = landscape architecture = urban design = entitlement

March 30, 2016

Planning Objectives Angie Lee Periodontics PDP

The Applicant, Angie Lee Periodontics is proposing to construct of a 7,000 s.f. single story building composed of a 4,000 s.f. dental office and a future 3.000 s.f. general office space on .53 acres located south west of the intersection of Oakridge Drive and East Boardwalk Drive. The proposed development closely follows the approved office building on the Miramont Self Storage PUD approved in 2001.

The property is zoned Harmony Corridor (HC).

Additional commercial offices are located to the north and west, Miramont Apartments are located adjacent to the east and Walmart Sam's Club is located to the north east across South Boardwalk Drive. The HC district is intended for attractive and complete mixed-use area with a major employment base and the proposed use meets this criteria.

The site is currently vacant with no existing trees or habitat however the site will be buffered from the adjacent storage facility with evergreen trees and shrubs.

Access is from Oakridge Drive approximately 140 feet west of South Boardwalk Drive. Parking is proposed adjacent to the site with 22 spaces (1 ADA accessible). A trash and recycling enclosure is located at the south end of the parking lot to serve the tenants of this building.

An existing detached public sidewalk exists that runs the full length of the property along East Boardwalk Drive. This walk is accessed by an ADA accessible ramp and reconnects to the existing detached public sidewalk at the south end of the property.

The drainage report and plans prepared by Stantec in 2006 showed an onsite extended detention water quality pond. We propose re-positioning the pond to fit the new configuration of the building to maintain this natural drainage pattern. The drainage swale and associated landscaping along East Boardwalk Drive provide water quality treatment for the storm water before it leaves the site and enters the City's storm water system. Plant beds will be landscaped with various drought tolerant species that are adapted to our local climate. Turf areas on the site have been minimized. Additionally drip irrigation will be used in all plant beds and high efficiency spray nozzles will be used in all proposed turf areas.

Thinking outside of the box for over two decades.

The proposed building height will be 16' and will not have automatic fire sprinklers. The Two spaces will be separated with fire rated construction and the individual units will be less than 5,000s.f. The architecture will be compatible with the adjacent neighborhood with regards to scale and massing. High quality materials will be used (stone, brick, stucco). The building is anticipated to employ 8-10 employees.

Construction on the first phase to commence approximately on or around August 2016. Phase two date of construction to be determined.

A preliminary design review was held 8/28/15 and responses are being submitted today.

The project as designed meets all the performance standards in the HC District. The General Development Standards in Chapter 3 of the Land Use Code are also being met.

City Plan Principles and Policies achieved by the project include the following:

• **Economic Health** by maintaining a balanced mix of land uses to support fiscal sustainability.

Property owner:

Aspen Summit, LLC 1223 Red Oak Ct. Fort Collins, CO 80525 Attn: Jesus Martin or Angie Lee

We are excited to be presenting this project and look forward to additional discussions regarding this project.



•

By: Fort Collins Storage, LLC

By: William L. Neal, Member

STATE OF COLORADO))ss. COUNTY OF LARIMER)

Witness my hand and official seal.



A PLAT OF MIRAMONT SELF STORAGE P.U.D.

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6th PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.





3-09-1998 RAN CST-1192-0472

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, being all the Owners and Lienholder of the following described property;

A tract of land located in the Northeast Quarter of Section 1, Township 6 North, Ronge 69 West of the 6th Principal Meridian, City of Fort Collins, Larimer County, Colorodo, being more porticularly described as follows:

Considering the North line of the Northeast Quarter of said Section 1 as bearing North 89'58'54" East and with all bearings contained herein relative thereto:

Commencing at the North Quarter corner of said Section 1; thence South 00°11'05" West, 72.70 feet to the South right-of-way line of Colorado State Highway No. 68; thence along said South right-of-way line, South 86"16'06" East, 348.40 feet; thence departing said South right-of-way line, South 00'11'05" West, 374.15 feet to the POINT OF BEGINNING, soid point also being the Southeast corner of Bank One at Harmony Market P.U.D.; thence along the South line thereof. South 89'48'55" East, 220. 27 feet to a point on a non-tangent curve concave to the Northeast having a central angle of 03'23'36", a radius of 654.00 feet and the chord of which bears South 09°23'24" East, 38.73 feet, said point also being on the West right-of-way line of Boardwalk Drive; thence along the arc of said curve and said West line, 38.74 feet; thence, South 11.05'12" East, 230.87 feet to a curve concave to the West having a central angle of 12'52'36" a radius of 576.00 feet and the chord of which bears South 04°38'54" East. 129.18 feet; thence along the arc of said curve, 129.45 feet; thence, South 01.47'25" West, 327.37 feet to the Northeast corner of Miramont Self Storage; thence along said North line thereof, North 88'12'35" West. 273.65 feet to the Southeast corner of Front Range Baptist Church Minor Subdivision; thence along said East line thereof, North 0071'05" East, 712.90 feet to the POINT OF BEGINNING.

The above described tract of land contains 4.383 acres more or less.

The undersigned have caused the above described land to be surveyed and subdivided into lots, tracts, passageways, streets, utility and other easements as shown on this Plot to be known as "MIRAMONT OFFICE PARK " and is subject to all easements and rights-of-ways now on record or existing.

The undersigned does hereby dedicate and convey to the public use, forever, streets and easements as loid out and designated on this plat; provided, however, that: 1) acceptance by the City of this dedication of easements does not impose upon the City a duty to maintain the easements so dedicated and 2) acceptance by the City of this dedication of streets does not impose upon the City a duty to maintain the streets so dedicated until such time as the streets are inspected and accepted by the Director of Engineering.

All maintenance to the above described streets shall be performed by the undersigned (and his/her successors in interest) until such time as the City expressly assumes, in writing, the duty of such maintenance.

All expenses involving necessary improvements for a water system, sanitary sewer system, storm sewer system, curbs and gutters, sidewalks, street improvements, street signs, traffic control signs, grading and surfacing, gas service, electric service, grading and landscoping shall be paid by the Owner.

2/28/2000

Notory Public

Address

Sille Margas

OWNER AND LIENHOLDER: Witness our hands and seals this 10th day of MARCH

By: Miramont Office Rark, L.L.C. a Colorado Corporation.

Oury E. Nordic, Manager STATE OF COLORADO

COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this _ of March A.D., 1998 by Gary E. Nordic

Monoger. Witness my hand and official seal.

My Notarial Commission expires

OWNER: Witness our honds and seals this 10th day of Marek A.D., 1998

By. Allow E Allon E. Voughon

STATE OF COLORADO

COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this \underline{IU} day of Marcin A.D., 1998 by Allon E. Voughan.

Witness my hand and official seal.



Hay Yul Parigine 1219 White Cuke Address

Jou (1 Maria (10 8652) City, Stote, Zip Code

| TANGENT | CHORD | BEARING | DELTA |
|---------|---------|---------------|-----------|
| 19.37' | 38.73' | S 09'23'24" E | 03'23'36" |
| 65.00' | 129.18' | S 04'38'54" E | 12'52'36" |
| 6.00' | 8.49' | S 44'48'55" E | 90'00'00" |
| 5.60' | 8.19' | S 15'01'41" W | 86'02'57" |
| 5.55' | 8.15' | S 11'42'42" E | 85'31'15" |
| 5.55' | 8.15' | N 11'42'42" W | 85'31'15" |
| 5.60' | 8.19' | N 15'01'41" E | 86'02'57" |
| 19.82' | 39.62' | S 09'21'46" E | 03'26'51" |
| 64.49' | 128.17' | S 04'38'53" E | 12'52'38" |

A PLAT OF MIRAMONT OFFICE PARK A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, LARIMER COUNTY, COLORADO.

19.19 Whate Cak (t

Jour (allens, 30 80525 City, Stote, Zip Code

SEAL

OWNER: Witness our hands and seals this 10th day of March A.D., 1998 lanchan Corol L. Voughon STATE OF COLORADO) COUNTY OF LARIMER) The foregoing instrument was acknowledged before me this $\frac{10^{111}}{10^{111}}$ day of Marcin A.D., 1998 by Carol L. Vaughan. Witness my hand and official seal. 2/28/2000 My Notarial Contraission s true Bulgins NOTARY Notory Public PUBLIC . 1319 White Car Court Address Fire Collina CC SUSAS City, State, Zip Code LIENHOLDER: day of MARCH Witness our hands and seals this A.D., 1998 By: Oak Farm, Inc. Kolute & Martin By Kahl Kg Michael S. Byrne, President Roberto S. Mortin, Secretory STATE OF COLORADO))ss. COUNTY OF LARIMER) The foregoing instrument was acknowledged before me this . of 71/2 2012 A.D., 1998 by Michael S. Byrne President, Oak Forms Inc. Witness my hand and official seal. 2/28/2000 My Notorial Commission expires Arui NOTARY Notory Public 1219 While Cak Court PUBLIC /0 Address Dut Collins, Ci SUS26 City, Stote, Zip Code SURVEYOR'S STATEMENT I, Gerald D. Gilliland, a Professional Land Surveyor in the State of Colorado, do hereby state that the survey and legal description shown hereon was made under my direct responsibility, supervision and checking and that this plat accurately represents sold survey and that all monuments exist as shown hereon. Jull O Millel March 7, 1998 erold D. Gillilond Registered Lond Surveyor Colorado Registration No. 14823 NOTICE: According to Colorado Law, you must commence any legal oction based upon ony defect on this survey within three years ofter you first discover such defect. In no event may ony oction based upon ony defect in this survey be commenced more than ten years from the date of survey shown hereon. Approved as to form by the Director of Engineering of the City of Fort Collins, on the 16th day of March, A.D., 1998. Director of Engineering Approved by the City of Fort Collins Planning and Zoning Board on this 18th doy of beptember, A.D., 1998 Secretory of Planning and Zoning Board ATTORNEY'S CERTIFICATE I hereby certify that the within Subdivision Plat has been duly executed as required pursuant to §2.2.3(C)(3)(a) through (e) inclusive of the Land Use Code of the City of Fort Collins and that all persons signing this Subdivision Plat on behalf of a corporation or other entity are duly authorized signatories under the lows of the State of Colorado. This Certification is based upon an examination of the records of the Clerk and Recorder of

Lorimer County, Colorodo as of this 10th day of March, 199 and other information discovered by me through reasonable inquiry and is limited as authorized by §2.2.3(C)(3)(f) of the Land Use Code.

Address: 222 W. MASIN! A SY, Fort Collins, CD 80521 Registration No. 1592 SHEET 1 OF 1

M - 96

2100



Range 69 West of the 6th Principal Meridian, City of Fort Collins, Larimer County,

Considering the North line of the Northeast Quarter of said Section 1 as bearing North 89'58'45" East from an aluminum cap in range box at the North Quarter corner of said Section 1 to an aluminum cap in range box at the Northeast corner of said

Commencing at the North Quarter corner of said Section 1, said point also being on the East line of Third Filing of Fairway Estates on file at the Clerk and Recorder, Larimer County, Colorado; thence along said East line, South 00'11'05" West, 1266.78 feet to the Southwest corner of Front Range Baptist Church Minor Subdivision on file at the Clerk and Recorder, Larimer County, Colorado and the POINT OF BEGINNING ; thence along the South line of said Front Range Baptist Church Minor Subdivision, North 76'22'29" West, 358.08 feet to the Southeast corner of said Front Range Baptist Church Minor Subdivision; thence departing said South line, South

88'12'35" East, 273.65 feet to a point on the West right-of-way line of Boardwalk Drive; thence along said West right-of-way line, South 0.47'25" West, 168.10 to a curve concave to the East, having a central angle of 12°42'50", a radius of 644.00 feet and the chord of which bears South 04°34'00" East, 142.61 feet; thence along the arc of said curve 142.90 feet to a point on a non-tangent line, said point also being the Northeast corner of Upper Meadow At Miramont, First Filing P.U.D. on file at the Clerk and Recorder, Larimer County, Colorado; thence along the North line of said Upper Meadow At Miramont, First Filing P.U.D., South 76'22'29" West, 647.08

feet to the Northwest corner of said Upper Meadow At Miramont First Filing P.U.D., said point also being on the East line of said Third Filing of Fairway Estates; thence along said East line, North 00°11'05" East, 386.81 feet to the Point of Beginning.

ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF ALL BUILDINGS WILL BE LOCATED MANEUVERED, OR THE BUILDINGS WILL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. BUILDING SIZE OR OTHER CRITERIA OF THE POUDRE FIRE AUTHORITY MAY ALSO INDICATE THE NEED FOR AN APPROVED FIRE EXTINGUISHING SYSTEM OR OTHER

SEE SUBDIVISION PLAT AND UTILITY PLANS FOR ALL EASEMENTS AND LOT AND TRACT AREAS. HANDICAPPED ACCESS RAMPS TO BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS

CONSTRUCTION, AN ADMINISTRATIVE CHANGE WILL BE REQUIRED TO MODIFY THE ELEVATIONS. ACCENT LIGHTING OF SIGNAGE, SCULPTURAL, AND/OR LANDSCAPE ELEMENTS IS ALLOWED,

. ALL VISIBLE ROOFTOP MECHANICAL UNITS ARE TO BE COMPLETELY SCREENED WITH METAL

EXTERIOR LIGHTING, BOTH BUILDING MOUNTED AND POLE MOUNTED, WILL BE PROVIDED FOR SODIUM AS THE LIGHT SOURCE. 20 MAXIMUM HEIGHT ON POLES. ALL BUILDING OR POLE MOUNTED

ALL SIGNS UTILIZED WILL COMPLY WITH THE CITY SIGN CODE UNLESS SPECIFIC VARIANCES

DEVELOPMENT MAY BE PHASED ON A LOT BY LOT BASIS. LOT I WILL BE DEVELOPED FIRST. COMMON OPEN SPACE AREAS, AND ADJACENT ROW. ARE TO BE MAINTAINED BY THE LOT

ALL ON-SITE LANDSCAPING TO BE INSTALLED OR SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE

THIS IS A SITE SPECIFIC DEVELOPMENT PLAN, APPROVAL OF WHICH IS INTENDED TO CREATE

229,471 sq.ft. 5.27 AC 5.24 AC 228,225 sq.ft. LOT I: SELF STORAGE UNITS ONE TWO BEDROOM APARTMENT (MANAGERS RESIDENCE ONLY) LOT 2: OFFICE BUILDING 1246 sq.ft. 66,500 sq.ft. 1,140 sq.ft. 0.5% 29.0% 0.5% 2.2% 32.7% LOT 2 OFFICE PARKING & DRIVES 5000 sq.ft. 74.952 sq.ft 80,633 sq.ft. 35.1% LOT 1: SELF STORAGE UNITS 66,500 sq.ft. MANAGERS RESIDENCE 2,300 sq.ft. OFFICE BUILDING 7,500 sq.ft. 4 spaces 1 spaces 2.2/1000 SF 5 spaces (6 per rack) 6 spaces

| APPED | 25 spaces 2 spaces | |
|----------|-----------------------|----------------------|
| AL ES | 27 spaces 6 spaces | 3.6/ 1 <i>000</i> SF |
| VEHICLES | 44 spaces | 45/1000 SF |
| | | |
| | | |

JOHN H. KING III DEVELOPMENT CONSULTANT

6551 SOUTH REVERE PARKWAY, SUITE 225, ENGLEWOOD, CO 80111 (303) 792-9952



THIS S TO CERTIFY THAT, AS OF THE 8 DAY OF DECOMBER 1997 THE UNDERSIGNED PARTIES ARE SOLE OWNERS OF RECORD OF THE REAL PROPERTY DESCRIBED IN THE ABOVE SITE PLAN AS CONSTRUED IN C.R.S. 31-23-11, AND CONSENT TO THE DEVELOPMENT OF SAID PROPERTY AS SHOWN ACCORDING TO SAID PLAN. AM L. NEAL E BER FT. COLLING STORAGE, LLC WILLIAM L. NEAL NORTHERN COLORADO SELF STORAGE LTD, LLLP 1125 W. DRAKE, PT. COUNS, Co. ADDRESS STATE OF COLORADO COUNTY OF LARIMER THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DT DAY OF DULLINGY 1997, BY ULLING THE AND STRUCTURE STRUCTURE THE AND THE DESCRIPTION OF THE PLANT OF T , PAY OF NOTARY PUBLIC · • 2 . APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF FORT GOLDING? Roht E Blaushers SEAL

LEGEND

EXISTING TREES ACCESSIBILITY RAMPS TRASH DUMPSTER ELECTRIC TRANSFORMER BIKE RACK (D) IDENTIFICATION SIGN WE 6' WROUGHT IRON FENCE STANDARD PARKING (9' x 17') HANDICAP PARKING (11' x 17')

> urban design, inc 3555 stanford road, suite 105 fort collins, colorado 80525 (970) 226-4074

MIRAMONT SELF STORAGE P.U.D. FINAL SITE PLAN

ACAD FILE: 818653 8186 |'=40 PROJECT NO. SCALE

4-23-97

BY

AG/TH

8-4-97 CITY COMMENTS AG/TH SHEET NO. 1 OF 3 20 120 M-95 2085

REVISIONS:

DATE OF PREPARATION:

DATE DESCRIPTION

6-24-91 CITY COMMENTS



DEVELOPMENT CONSULTANT

PLANT NOTES

| - | ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE. |
|------------|--|
| ?. | ALL TURE AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRR'GATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. |
| 3. | ALL TREES TO BE BALLED & BURLAPPED, CONTAINERIZED OR ROOT CONTROL BAG. |
| 4. | ALL SHRUB BEDS TO BE MULCHED WITH WOOD OR GRAVEL MULCH (3' AVERAGE DEPTH) ON TYPAR FILTER FABRIC. |
| 5. | EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/8' \times 4' STEEL SET LEVEL WITH TOP OF SOD. |
| 5. | A FREE PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. |
| T. | MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS, OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PUD PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST. SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED AS APPROVED BY AN ADMINISTRATIVE CHANGE. |
| 3. | ALL ON-SITE LANDSCAPING MUST BE INSTALLED OR SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND INSTALLATION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. |
| Э. | THE INDIVIDUAL OWNERS WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING THE PLANTINGS IN PUBLIC STREET RIGHTS-OF-WAY. |
| 9 . | KEEP ALL TREES 10' CLEAR FROM WATER AND SANITARY SEWER LINES, AND 4' CLEAR FROM GAS LINES. ALL SHRUBS MUST BE KEPT 4' CLEAR OF METER PITS. |
| | THE IRRIGATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE CITY'S WATER |

DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT. THE IRRIGATION SYSTEM MUST BE INSTALLED OR SECURED WITH A FINANCIAL INSTRUMENT DEPOSITED WITH THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING.

DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THE PROPOSED GRADING STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.

13. SOILS SHALL BE AMENDED WITH ORGANIC MATTER AT THE RATE OF 3 CU/YDS. PER 1,000 SF. 14. TURE GRASSES ARE TO BE SODDED OR SEEDED WITH A TURE TYPE TALL FESCUE GRASS MIX. 15. AREAS INDICATED AS LOW MAINTENANCE GRASSES SHALL BE SEEDED WITH THE LOW

MAINTENCE MIX FROM SHARP BROS. SEED CO (OR EQUAL). 16. CONTRACTOR TO HAVE UTILITIES LOCATED PRIOR TO PLANTING.

IF WORK DONE ON THE WATER AND SELVER SERVICE LINES CAUSES SHRUBS TO BE REMOVED. THEY MUST BE REPLACED IN ACCORDANCE WITH THIS PUD. DOCUMENT AT THE PROPERTY OWNER'S EXPENSE

18. OWNER TO WORK WITH ADJACENT HOMEOWNERS ON EXACT TREE PLACEMENT TO DETERMINE THE BEST LOCATIONS TO SCREEN VIEWS. ACTUAL LOCATIONS OF PLANT MATERIALS MAY VARY IN THOSE LOCATIONS, BUT OVERALL QUANTITIES TO BE CONSISTENT WITH THE PLANS.

PLANT LIST

| | | | - | | |
|----------|--|---------------------------------------|-----------------------|---------|----------------------|
| CODE | SCIENTIFIC NAME | COMMON NAME | SIZE | QTY | SPACING |
| ECID | | | | | |
| ۹L | Amelanchier laevis | Cumulus Serviceberry | 15' cal | 3 | See Plan |
| CA | Crataequs ambiqua | Russian Hawthorne | 15' cal | ო ო. | See Plan |
| M | Fraxinus mandshurica 'Mancana' | Mancana Ash | 15° cal | 1 | See Plar |
| 18 18 | Fraxinus pennsylvanica 'Patmore' Malus 'Branzam | Patmore Ash Brandywine Crabapple | 2' cal 15' cal | 64 | 5ee Plar |
| Č | Tilia cordata 'Greenspire' | Greenspire Linden | 2" cal | 6 | See Plar |
| R | Quercus macrocarpa | Burr Oak | 2' cal | 5 | See Plar |
| | EROUS TREES | | | | |
| ΡE | Pinus edulis | Pinyon Pine | 5-6' ht | 9 | See Plar |
| N | Pinus nigra | Austrian Pine | 6-8' ht | 4 | See Plan |
| N N | Pinus niĝra Pinus niĝra | Austrian Pine | 8-10' ht 12-15' ht | 3 19 | See Plar See Plar |
| PPG | Pinus niĝra Picea pungens glauca | Austrian Pine Colorado Blue Spruce | 6-8' ht | 4 | See Plar |
| - PG | Picea pungens glauca | Colorado Blue Spruce | 8-10' ht | Ŧ | See Plar |
| | UOUS SHRUBS | · | | | |
| | | Genviceherru | 5 01 | 8 | See Plar |
| 44 | Amelanchier alnifolius | Serviceberry | 5 gal | 8 12 | |
| 251 | Cornus sericea 'Isanti' Ribos surgum | Isanti Doguood | 5 gal | 5 | See Plar |
| RA | Ribes aureum | Golden Currant | 5 gal | | 5' oc |
| বা ে | Rosa x 'Morden Centennial' | Morden Centennial Rose | 5 gal | 24 | 4' 00 |
| 20 | Ribes odoratum | Yellow Flowering Currant | 5 gal | 16 | 5-6'00 |
| 54 | Symphoricarpos albus | White Snowberry | 5 gal | 5 | 5'00 |
| B | Spiraea x bumalda 'Froebeli' | Froebel Spirea | 5 gal | 9 | 4' 00 |
| 5V | Suringa vulgaris | Common Purple Lilac | 5 gal | 9 | See Pla |
| /L | Viburnum lentago | Nannyberry Viburnum | 5 gal | 13 | See Pla |
| ΛC | Viburnum trilobum compactum | Compact American Cranberry | 5 gal | 11 | 4 00 |
| | REEN SHRUBS | | | | |
| А | Juniperus ch. 'Armstrongii' | Armstrong Juniper | 5 gai | 3 | 5' oc |
| BC | Juniperus horizontalls 'Blue Chip' | Blue Chip Juniper | 5 gal | 31 | 5' oc |
| ICC | Juniperus sabina 'Calgary Carpet' | Calgary Carpet Juniper | 5 gal | 14 | 5' oc |
| μ | Juniperus horizontalis 'Hughes' | Hughes Juniper | 5 gal | 23 | 5' 00 |
| IS | Juniperus scopulorum | Rocky Mountain Juniper | 5 gal | 11 | See Pla |
| ITT | Juniperus scop. 'Table Top Blue' | Table Top Blue Juniper | 5 gal | 31 | See Plan |
| | NIALS AND ORNAMENTAL GRASSES | | _ | | |
| DAY | Hemerocallis spp. | Daylily | gal | 20 | 24' oc |
| 117 | Miscanthus sinensis 'Yaku Jima' | Dwarf Miscanthus Grass | 5 gal 5 gal | 12 | 30'00 |
| 115 | Miscanthus sinensis 'Gracillimus' | Miscanthus Grass | 5 0al | 9 | 4'-5' oc |

LANDSCAPE BREAKDOWN

| TOTAL LANDSCAPE AREA | | 79,295 sq.ft. | 100% | |
|----------------------|--|--------------------------------|--------------------|--|
| | NON IRRIGATED | Ø sq.ft. | Ø% | |
| OTHER | LOW WATER SHRUB BEDS | 5,108 sq.ft. | 6.4% | |
| | HIGH WATER SHRUB BEDS MODERATE WATER SHRUB BEDS | Ø sq.ft. 3.588 sq.ft. | <i>0</i> % 4,5% | |
| SHRUB BEDS | MODERATE WATER TURF LOW WATER TURF | 57,954 sq.ft. 12,645 sq.ft. | 73.1% 16.0% | |
| TURF AREAS | HIGH WATER TURF | Ø sa.ft. | 0% | |



JOHN H. KING III

6551 SOUTH REVERE PARKWAY, SUITE 225, ENGLEWOOD, CO 80111 (303) 792-9952



₿-95

AG/TH

2086



February 25, 2016

City of Fort Collins Engineering Department 281 North College Avenue Fort Collins, Colorado 80522

RE: Development of 4803 Boardwalk Avenue Fort Collins, Colorado

Dear City Staff:

This letter is being provided with the following intents:

1. To document for City personnel that the owner of the SecurCare Self Storage facility located at 4815 East Boardwalk Avenue is:

SecurCare Properties I LLC 9226 Teddy Lane, Ste 100 Lone Tree, CO 80124 (303) 705-8000

- 2. That the property owner for the proposed development of 4803 East Boardwalk Avenue has contacted SecurCare Properties I LLC (SecurCare) regarding the proposed development. It is understood from these communications that that some minor grading may be required within SecurCare property between the existing office and storage buildings and the east-west lot line shared between the two properties.
- 3. SecurCare understands that a temporary construction easement, granted by SecurCare, will be required prior to construction to allow for these grading activities.
- 4. At the date of this letter, SecurCare intends to approve the temporary construction easement for the grading activities provided that: the work is limited to the area north of said buildings, the work does not damage any existing improvements on SecurCare property, and that the property disturbed by the grading be restored to a condition equal to or better than the current conditions.

If you should have any questions regarding this letter, please contact us at the contact information provided above.

Sincerely,

Mustine Works

Christine Wess Operations Manager

9226 Teddy Lane Lone Tree, CO 80124 <u>www.securcare.com</u> 303-705-8000