

**STAFF REPORT**  
Hearing Officer

June 6, 2016

**PROJECT NAME**

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**ANGIE LEE PERIODONTICS, PDP160012****STAFF**

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Jason Holland, City Planner

**PROJECT INFORMATION**

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**PROJECT DESCRIPTION:** This is a proposal for a one-story 7,300 square foot building composed of a 4,400 square foot dental office for Angie Lee Periodontics and a 2,900 square foot building expansion area. The plan also proposes 23 off-street parking spaces, a 6-foot wide sidewalk to the north, street trees and other landscaping. The property is located on Lot 2 of the Miramont Self Storage P.U.D (southwest of the Oakridge Drive and Boardwalk Drive intersection) and is zoned Harmony Corridor District (H-C). This project is subject to approval by a Hearing Officer (Type 1 review).

**APPLICANT:** Russ Lee  
Ripley Design, Inc.  
419 Canyon Avenue, Suite 200  
Fort Collins, CO 80521

**OWNER:** Aspen Summit LLC  
1223 Red Oak Ct.  
Fort Collins, CO 80525

**RECOMMENDATION:** Approval

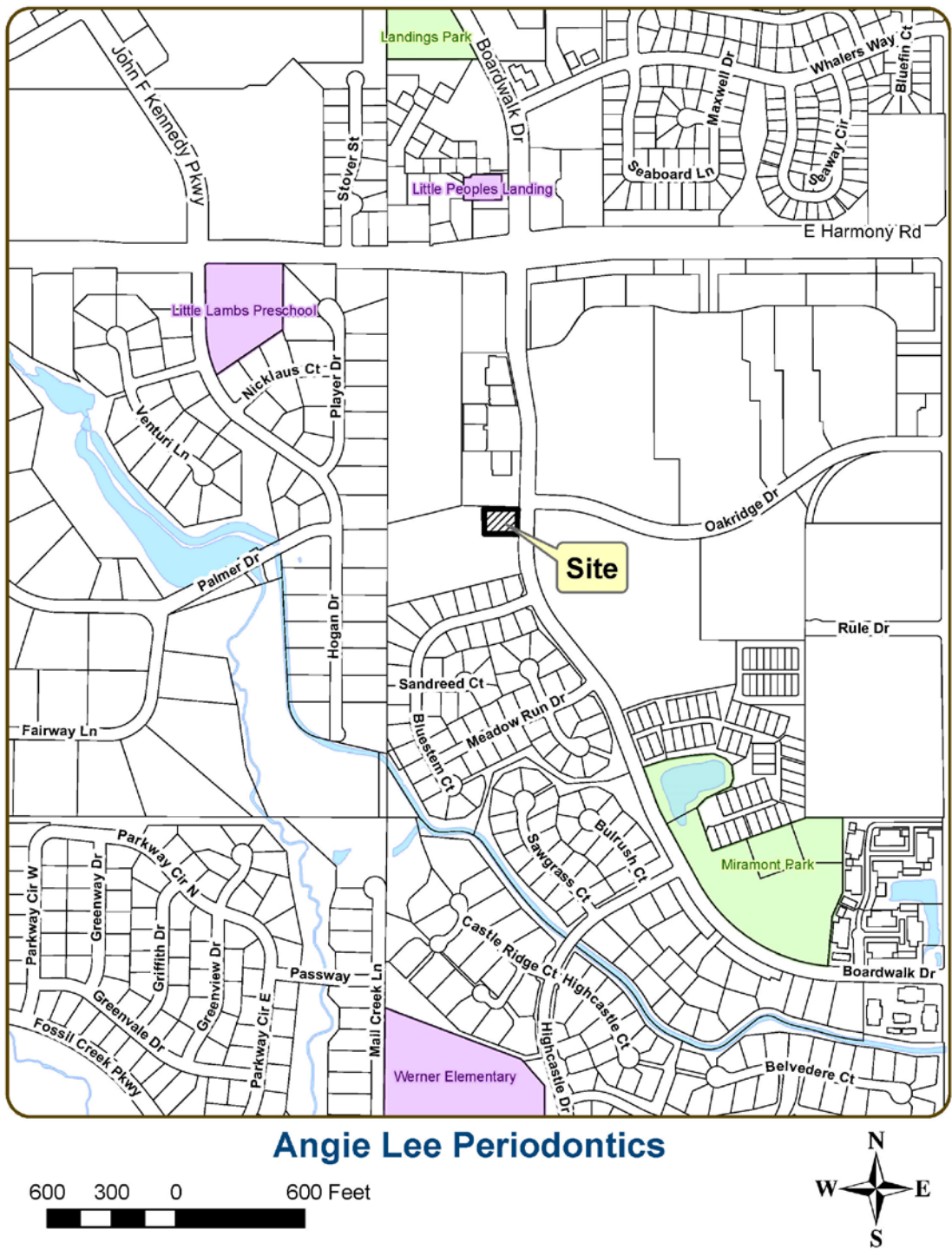
**EXECUTIVE SUMMARY**

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The approval of the Angie Lee PDP complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The Angie Lee PDP complies with process located in Division 2.2 - Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Angie Lee PDP complies with the relevant Harmony Corridor District standards in Division 4.26 of the Land Use Code.
- The Angie Lee PDP complies with the relevant standards located in Article 3.

VICINITY MAP:



Angie Lee Periodontics

**COMMENTS:****1. Background:**

The surrounding zoning and land uses are as follows:

Direction	Zone District	Existing Land Uses
North	Harmony Corridor District (H-C)	Miramont Office Park – Learning Experience child care
South	Harmony Corridor District (H-C)	Miramont Self Storage PUD
East	Medium Density Mixed-Use Neighborhood District (M-M-N)	Oak Hill Apartments PUD
West	Harmony Corridor District (H-C)	Miramont Self Storage PUD

- The property and surrounding area was annexed in August 1980 as part of the Keenland Annexation.
- The subject property was originally planned in 2001 as Lot 2 of the Miramont Self Storage PUD (see attached plan). At that time, Lot 2 was planned as a 7,500 “Office Building” with a similar site layout as what is proposed with the Angie Lee Periodontics PDP.

**2. Compliance with Applicable Harmony Corridor District Standards:**

The project complies with all applicable Harmony Corridor standards with the following relevant comments provided:

**A. *Section 4.26(A) - Purpose***

The proposed land uses and site configuration are consistent with the purpose of the Harmony Corridor District, by contributing to an attractive and complete mixed-use area with a major employment base.

**B. *Section 4.26(B) - Permitted Uses***

The proposed land uses are consistent with the permitted uses in the Harmony Corridor District, subject to a Type 1 administrative review. The development uses specifically proposed with the P.D.P. are *Offices, Financial Services and Clinics*. All of these proposed uses are considered Primary Commercial Uses and no Secondary Uses are proposed.

Examples of Primary Uses in the H-C District are research and testing facilities, hospitals, industrial, regional and international headquarters, private schools and universities, and professional offices.

Examples of Secondary Uses in the H-C District are child care centers, lodging, convenience shopping centers, standard restaurants, and residential uses. Secondary Uses are limited to not more than 25% of the total gross area of development plans in the H-C zone district.

*C. Section 4.26(D) - Land Use Standards*

Section 4.26(D)(3)(a) designates a maximum building height of 6 stories for all nonresidential buildings. A maximum building height of 1 story is proposed in conformance with this standard.

*D. Section 4.26(E) - Development Standards*

Section 4.26(E)(1) requires that all development in the H-C Harmony Corridor District shall also comply with the applicable Harmony Corridor design standards. A copy of the Harmony Corridor standards that are referenced in the Land Use Code can be viewed here:

<http://www.fcgov.com/planning/pdf/harmony-corridor-standards-doc.pdf>

Typically these standards are more relevant for larger scale projects that include multiple parcels, buildings, and uses. Also, additional standards apply to development proposals with frontage on Harmony Road. The project is in compliance with all applicable design standards as follows:

- The landscape pattern, plant selection, and sidewalk alignment are consistent with the Harmony standards.
- The building design provides an overall high quality, attractive architectural design, consistent with the Harmony Corridor Standards.
- All parking is fully screened from public streets by plant material and building placement.

**3. Compliance with Article 3 of the Land Use Code - General Development Standards**

The project complies with all applicable General Development Standards with the following relevant comments provided:

*A. Section 3.2.1 - Landscaping*

- Street trees and "Full Tree Stocking" are provided along all high use and high visibility areas of the development in accordance with the standards of this section.
- Ground cover areas in parking lots and at the building foundation are also planted in accordance with the minimum requirements, with deciduous and evergreen shrubs, perennials and ornamental grasses used extensively. Trees are planted in the parking lot interior and perimeter in conformance with the minimum requirements and in conformance with the standards recommended with the Harmony Corridor design guidelines.
- Ornamental Street trees are proposed along East Boardwalk Drive. Tree spacing is required to be between 20 and 40 foot intervals when ornamental trees are used. The project has approximately 145 feet of frontage and six ornamental trees are proposed, which is an average spacing of 24 feet, in compliance with this standard.



- Native and low-water-use landscaping is provided along the building foundation, in compliance with Section 3.2.1(E)(2)(d) which requires that planting beds at least five feet in depth are provided along at least 50% of the building walls.
- Section 3.2.1(E)(5) *Parking Lot Interior Landscaping* requires a minimum of 6% interior landscape space. The parking lot area perimeter is approximately 7,740 square feet, with 464 square feet of interior landscape area required. The project provides approximately 630 square feet of interior landscape area, in compliance with this standard.
- This section also requires that requires that landscaped islands with canopy shade trees be evenly distributed through the project:
  - *3.2.1(E)(5)(b) Maximized Area of Shading. Landscaped islands shall be evenly distributed to the maximum extent feasible. At a minimum, trees shall be planted at a ratio of at least one (1) canopy shade tree per one hundred fifty (150) square feet of internal landscaped area with a landscaped surface of turf, ground cover perennials or mulched shrub plantings.*
  - *3.2.1(E)(5)(b) (c) Landscaped Islands. In addition to any pedestrian refuge areas, each landscaped island shall include one (1) or more canopy shade trees, be of length greater than eight (8) feet in its smallest dimension, include at least eighty (80) square feet of ground area per tree to allow for root aeration, and have raised concrete curbs.*
  - The project provides a total of four canopy shade trees within the parking area in conformance with this standard.

**B. Section 3.2.2 - Access, Circulation and Parking**

A total of 23 off-street parking spaces are provided in accordance with the minimum and maximum quantity permitted in this section. The building is 7,300 square feet total. For the uses proposed, the following minimum and maximum parking is calculated as follows per LUC Section 3.2.2(K)(1)(a):

- Minimum: 2/1000; 15 spaces required;
- Maximum: 3.5/1000 (average); 25 spaces permitted.

The parking spaces and drive isles provided meet the minimum dimensional requirements in this section. In conformance with the Purpose, General Standard and Development Standards described in this section, the parking and circulation system provided with the project is well designed with regard to safety, efficiency and convenience for vehicles, bicycles, pedestrians and transit.

**C. Section 3.5.3 - Mixed-Use, Institutional and Commercial Buildings**

- The overall building design provides a reasonable level of quality that satisfies the commercial building requirements of this section. Variations in massing, juxtaposed materials and forms with varied patterns of recesses and projections provide vertical and horizontal interest, breaking down the overall scale of the building.

- All building elevations provide a recognizable base and top treatment in accordance with Section 3.5.3(D)(6). Entrance canopies and vertically projecting roof elements are used to further articulate the building and provide material emphasis.
- The building is oriented towards the street in conformance with the “build-to” line requirement;
- Entrances are clearly identified and articulated with a prominent steel entrance canopy as a sheltering element;
- All facades are subdivided and proportioned using features such as windows, changes in roofline, architectural columns, masonry panels, and changes in texture and material.

#### **4. Neighborhood Meeting**

Due to the uses proposed, a City neighborhood meeting was not required and the applicant did not elect to hold a neighborhood meeting for the project.

#### **5. Findings of Fact**

When considering the Angie Lee Periodontics Project Development Plan, PDP160012, staff makes the following findings of fact:

- A. The Angie Lee Periodontics PDP complies with the process located in Division 2.2 - Common Development Review Procedures for Development Applications of Article 2 - Administration.
- B. The Angie Lee Periodontics PDP complies with the relevant Harmony Corridor District standards in Division 4.26 of the Land Use Code.
- C. The Major Amendment complies with the relevant standards located in Article 3 - General Development Standards, provided that the Modification of Standard is approved.

#### **RECOMMENDATION:**

Staff recommends Angie Lee Periodontics Project Development Plan, PDP160012 based on the Findings of Fact.

## **ATTACHMENTS**

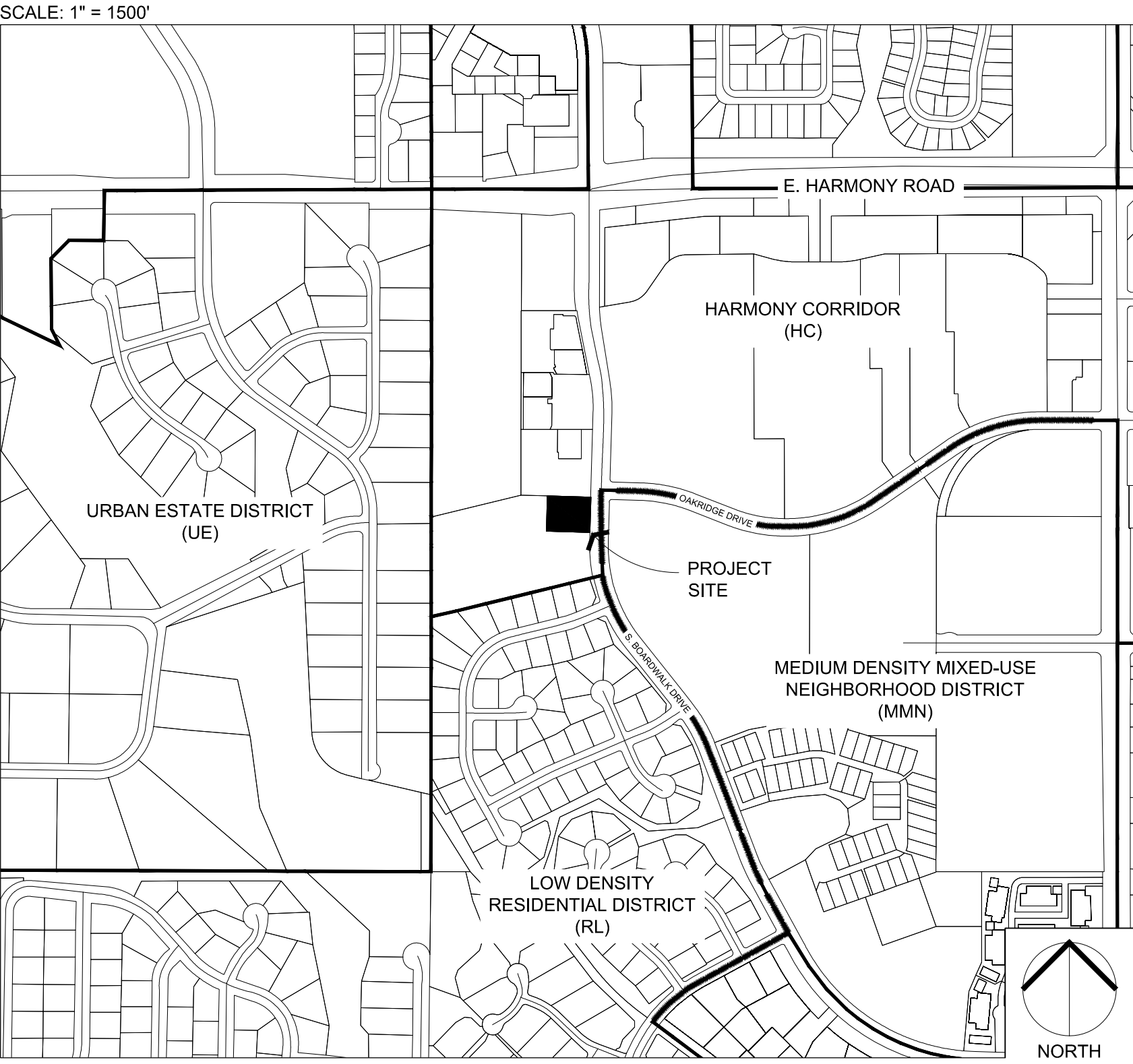
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1. Site, Landscape and Lighting Plan (PDF)
2. Building Elevations (PDF)
3. Utility Plan (PDF)
4. Statement of Planning Objectives (PDF)
5. Existing Miramont Plat (PDF)
6. Existing Miramont Office Park Plat (PDF)
7. Original Miramont PUD plan (PDF)
8. Easement Letter (PDF)

# Project Development Plan for ANGIE LEE PERIODONTICS

March 2016

## VICINITY MAP



## LEGAL DESCRIPTION

LOT 2, MIRAMONT SELF STORAGE P.U.D. LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

## PLANNING CERTIFICATE

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

Director Signature

## OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER (SIGNED) \_\_\_\_\_ Date \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20 \_\_\_\_ BY \_\_\_\_\_

(PRINT NAME)

AS \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

ADDRESS

### Sheet List Table

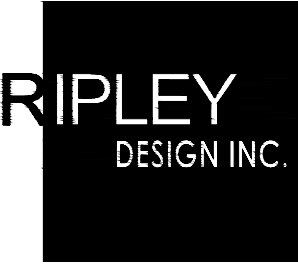
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	LANDSCAPE PLAN
4	LANDSCAPE NOTES AND DETAILS
5	LIGHTING PLAN
A1-A2	ARCHITECTURAL ELEVATIONS

ANGIE LEE  
PERIODONTICS

PDP SUBMITTAL

FORT COLLINS, CO

PREPARED BY:



■ land planning ■ landscape architecture ■  
■ urban design ■ entitlement ■

419 Canyon Ave. Suite 200 Fort Collins, CO 80521  
phone 970.224.5828 | fax 970.225.6657 | www.ripleydesigninc.com

### APPLICANT

RIPLEY DESIGN INC.  
Project Manager  
419 Canyon Ave. Suite 200  
Fort Collins, CO 80521  
p. 970.224.5828  
f. 970.225.6657

### OWNER

ASPEN SUMMIT, LLC  
Angie Lee and Jesus Martin  
1223 Red Oak Ct.  
Fort Collins, CO 80525

### ARCHITECT

VAUGHT FRYE LARSON ARCHITECTS  
CHRIS ARONSON  
419 Canyon Ave. Suite 200  
Fort Collins, CO 80521  
p. 970.224.1191

### CIVIL ENGINEER

UNITED CIVIL  
Kevin Brazzelton  
1501 Academy Ct.  
Fort Collins, CO 80524  
p. 970.530.4044

### LIGHTING ENGINEER

SRB CONSULTING ENGINEERING  
Chris Weaver  
37127 Cullison Ridge Road  
Windsor CO 80550  
p. 970.686.1004

### ORIGINAL SIZE 24X36

#### ISSUED

No.	DESCRIPTION	DATE
01	PDR SUBMITTAL	08/28/15
02	PDP SUBMITTAL RD1	03/30/16
03	PRICING SET	04/26/16
04	PDP SUBMITTAL RD2	05/02/16

#### REVISIONS

No.	DESCRIPTION	DATE
01	REVISED PER COMMENTS	04/25/16
02	REVISED PER COMMENTS	05/18/16

COVER SHEET

SEAL:



PROJECT No.:	R15-051
DRAWN BY:	DS
REVIEWED BY:	RL

DRAWING NUMBER:

LEGEND

- EXISTING LOT LINE
- EXISTING EASEMENT
- EXISTING CURB & GUTTER
- EXISTING CONCRETE  
PAVEMENT OR SIDEWALK
- EXISTING PLANT MATERIAL
- EXISTING WATER
- EXISTING SANITARY
- EXISTING STORM SEWER
- EXISTING GAS
- EXISTING ELECTRIC
- PROPOSED WATER SERVICE
- PROPOSED GAS SERVICE
- PROPOSED SANITARY SERVICE

LAND USE CHART

EXISTING ZONING			HARMONY CORRIDOR (HC)		
LAND USE: OFFICES, FINANCIAL SERVICES OR CLINIC					
AREA					
	AREA (SF)	%			
BUILDING COVERAGE (INCLUDES EXPANSION)	7,300	27.24			
DRIVES AND PARKING (EXCLUDES PUBLIC ROW)	7,200	26.87			
OPEN SPACE AND LANDSCAPE (EXCLUDES PUBLIC ROW)	7,200	26.87			
HARDSCAPE (EXCLUDES PUBLIC ROW)	1,300	4.85			
**PUBLIC STREET RIGHT-OF-WAY	3,800.00	14.18			
HARDSCAPE	1,500				
DRIVES AND PARKING	400				
LANDSCAPE	1,900				
TOTAL AREA COVERAGE	26,800.00 SF (0.62 AC)	100.00			

FLOOR AREA RATIO		
BUILDING AREA (INCLUDES EXPANSION) (SF)	7,300	
LOT AREA (SF)	23,087	
FLOOR AREA RATIO	0.32	

BUILDING HEIGHT		
	MAXIMUM HEIGHT	STORIES
BUILDING 01	16'-0"	1
BUILDING 02 (FUTURE EXPANSION)	16'-0"	1

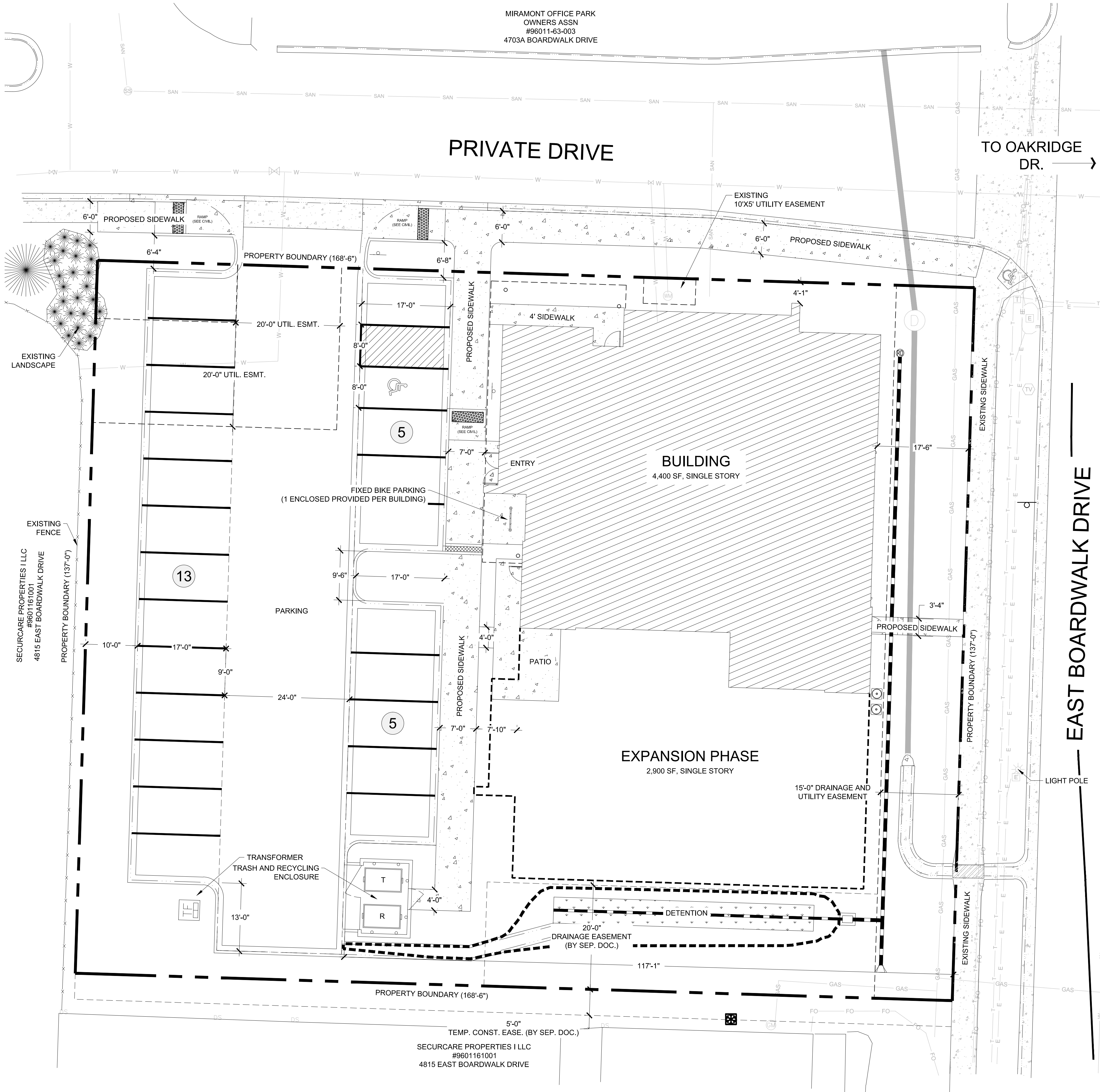
PROJECT PARKING (MEDICAL OFFICE)		
	PROVIDED	*REQUIRED
LONG-TERM PARKING STALLS	22	14
HANDICAP	1	1
TOTAL	23	15

\* REQUIRED SPACES ARE CALCULATED AS FOLLOWS:  
2 SPACES / 1,000 SF : 2 X 7,300 SF = 15 SPACES  
1-25 SPACES = 1 HANDICAP (VAN ACCESSIBLE)

BICYCLE PARKING		
	PROVIDED	REQUIRED *
BICYCLE SPACES		
ENCLOSED	2	2
FIXED	5	5

\* REQUIRED BICYCLE SPACES ARE CALCULATED AS FOLLOWS:  
1 SPACE / 4,000 SF (4 MIN.): 1 X 7,300 SF = 2 SPACES REQ. 4 PROVIDED.  
20% REQUIRED TO BE ENCLOSED, 80% FIXED.

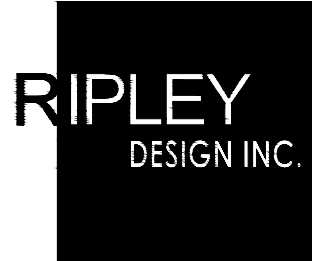
PROVIDED  
5 FIXED SPACES PROVIDED WITH PHASE I BUILDING  
2 ENCLOSED SPACES TO BE PROVIDED IN FUTURE EXPANSION



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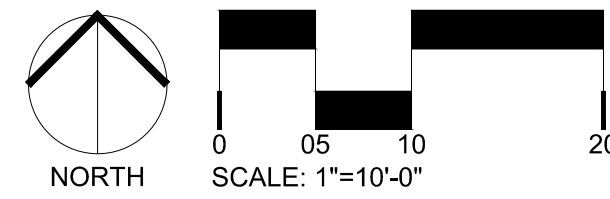
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SITE PLAN

SEAL:

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

PROJECT No.:	R15-051
DRAWN BY:	DS
REVIEWED BY:	RL

DRAWING NUMBER:






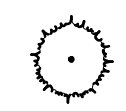
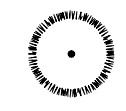
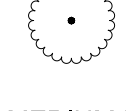

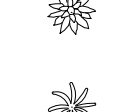

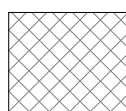
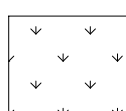
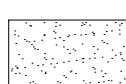
A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27.31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.

## MATERIAL KEY

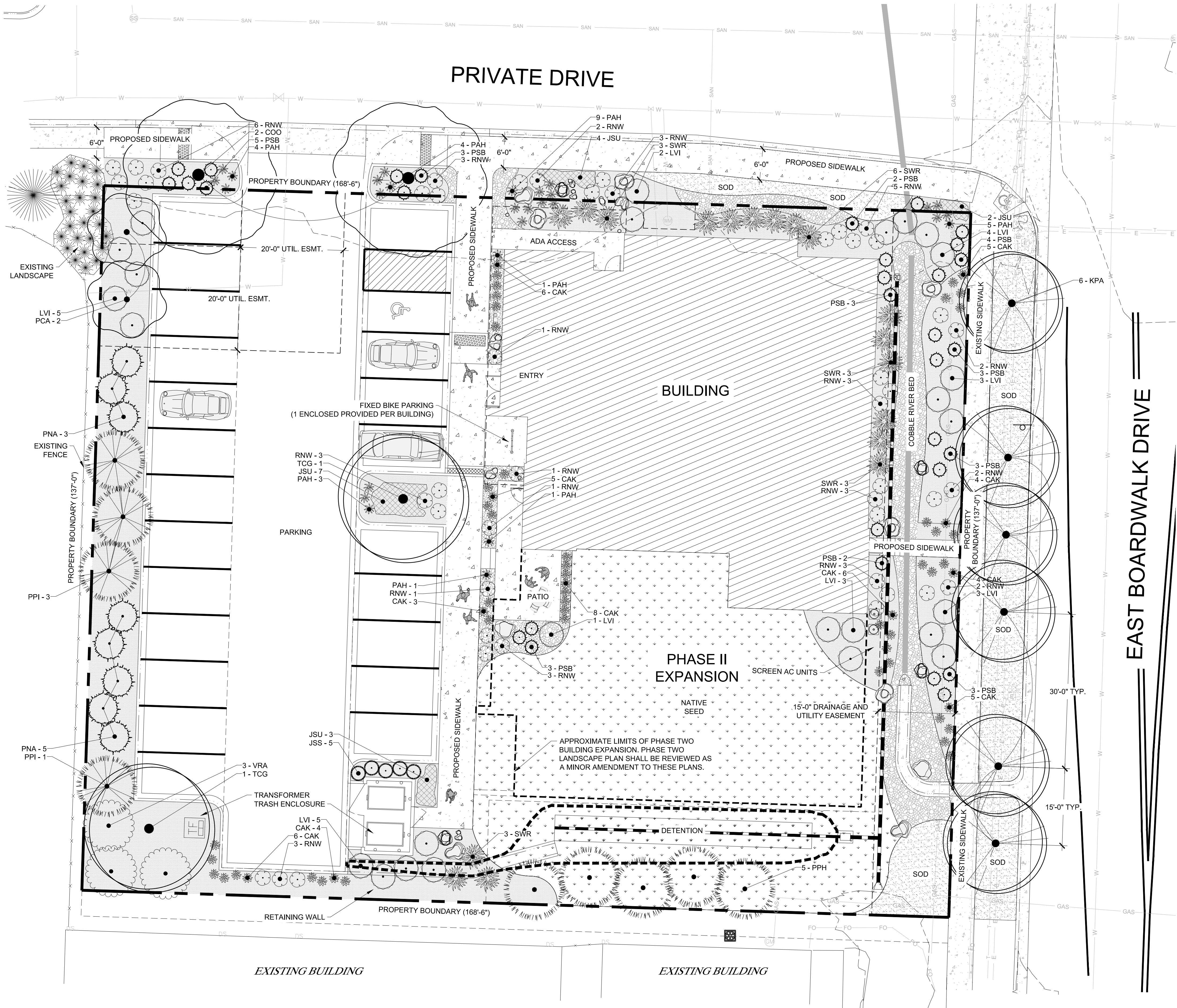
SYMBOL DESCRIPTION  
4" GALVANIZED STEEL (14 GAUGE) ROLL TOP EDGING. PINNED AT 6" INTERVALS.

SYMBOL DESCRIPTION  
MIXED GRAY COBBLE 2"-4" AVERAGE SIZE WITH PINNED FABRIC.  
SHREDDED CEDAR MULCH. 3" DEPTH WITH PINNED WEED BARRIER FABRIC.

## PLANT SCHEDULE

	<u>CODE</u>	<u>COMMON NAME</u>
	PPH	HOOPSII SPRUCE
	PPI	COLUMNARE COLORADO BLUE SPRUCE
	PNA	COLUMNAR AUSTRIAN PINE
<u>ORNAMENTAL TREE</u>	<u>CODE</u>	<u>COMMON NAME</u>
	KPA	GOLDEN RAIN TREE
	PCA	AUTUMN BLAZE ORNAMENTAL PEAR
<u>SHADE TREE</u>	<u>CODE</u>	<u>COMMON NAME</u>
	COO	WESTERN HACKBERRY
	TCG	GREENSPIRE LINDEN
<u>SPECIALTY CONIFERS</u>	<u>CODE</u>	<u>COMMON NAME</u>
	PSB	DWARF BLUE EASTERN WHITE PINE
<u>UPRIGHT JUNIPERS</u>	<u>CODE</u>	<u>COMMON NAME</u>
	JSS	SKYROCKET JUNIPER
<u>LARGE DECIDUOUS SHRUB</u>	<u>CODE</u>	<u>COMMON NAME</u>
	VRA	ALLEGHANY VIBURNUM
<u>MEDIUM DECIDUOUS SHRUB</u>	<u>CODE</u>	<u>COMMON NAME</u>
	LVI	GOLDEN VICARYI PRIVET
<u>ORNAMENTAL GRASS</u>	<u>CODE</u>	<u>COMMON NAME</u>
	CAK	FEATHER REED GRASS
	PAH	DWARF FOUNTAIN GRASS
	SWR	GIANT SACATON
<u>SHRUB ROSE</u>	<u>CODE</u>	<u>COMMON NAME</u>
	RNW	NEARLY WILD SHRUB ROSE
<u>SHRUB AREAS</u>	<u>CODE</u>	<u>COMMON NAME</u>
	JSU	BUFFALO JUNIPER
<u>SEED &amp; WILDFLOWER</u>	<u>CODE</u>	<u>COMMON NAME</u>
	FNM	PBSI FOOTHILLS NATIVE MIX
<u>SOD/SEED</u>	<u>CODE</u>	<u>COMMON NAME</u>
	PKT	KEN-TEX OR THERMAL BLUEGRASS

NOTES  
• NO EXISTING TREE FOUND ON SITE.  
• SEE SHEET 4 FOR COMPLETE PLANT SCHEDULE.

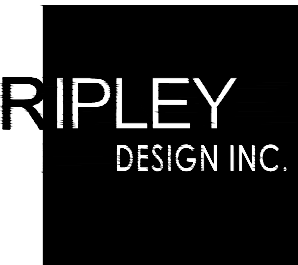


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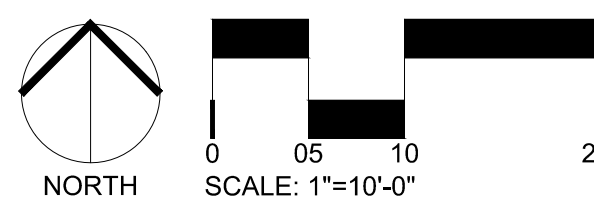
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LANDSCAPE PLAN

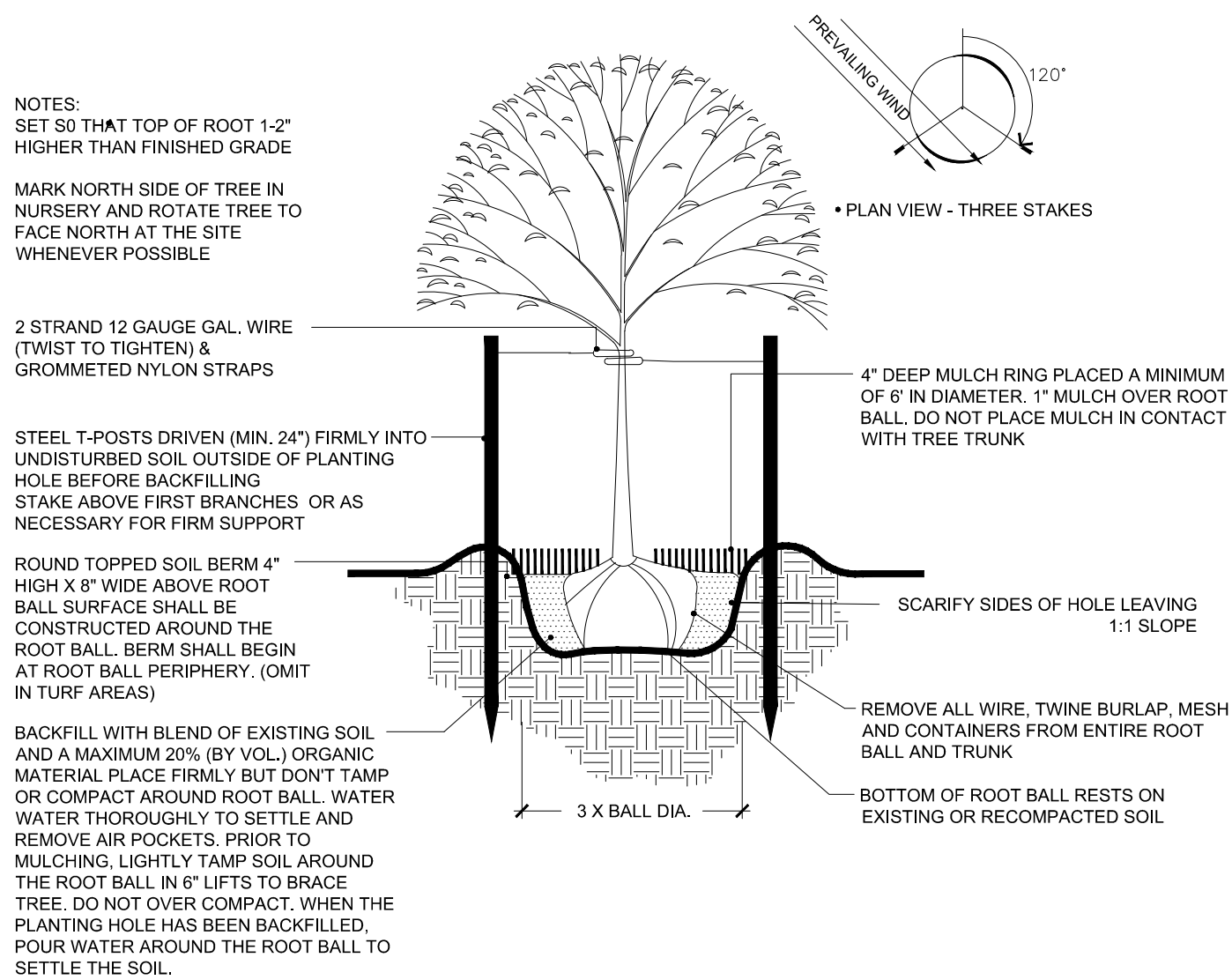
SEAL:

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

PROJECT No.: R15-051  
DRAWN BY: DS  
REVIEWED BY: RL  
DRAWING NUMBER:



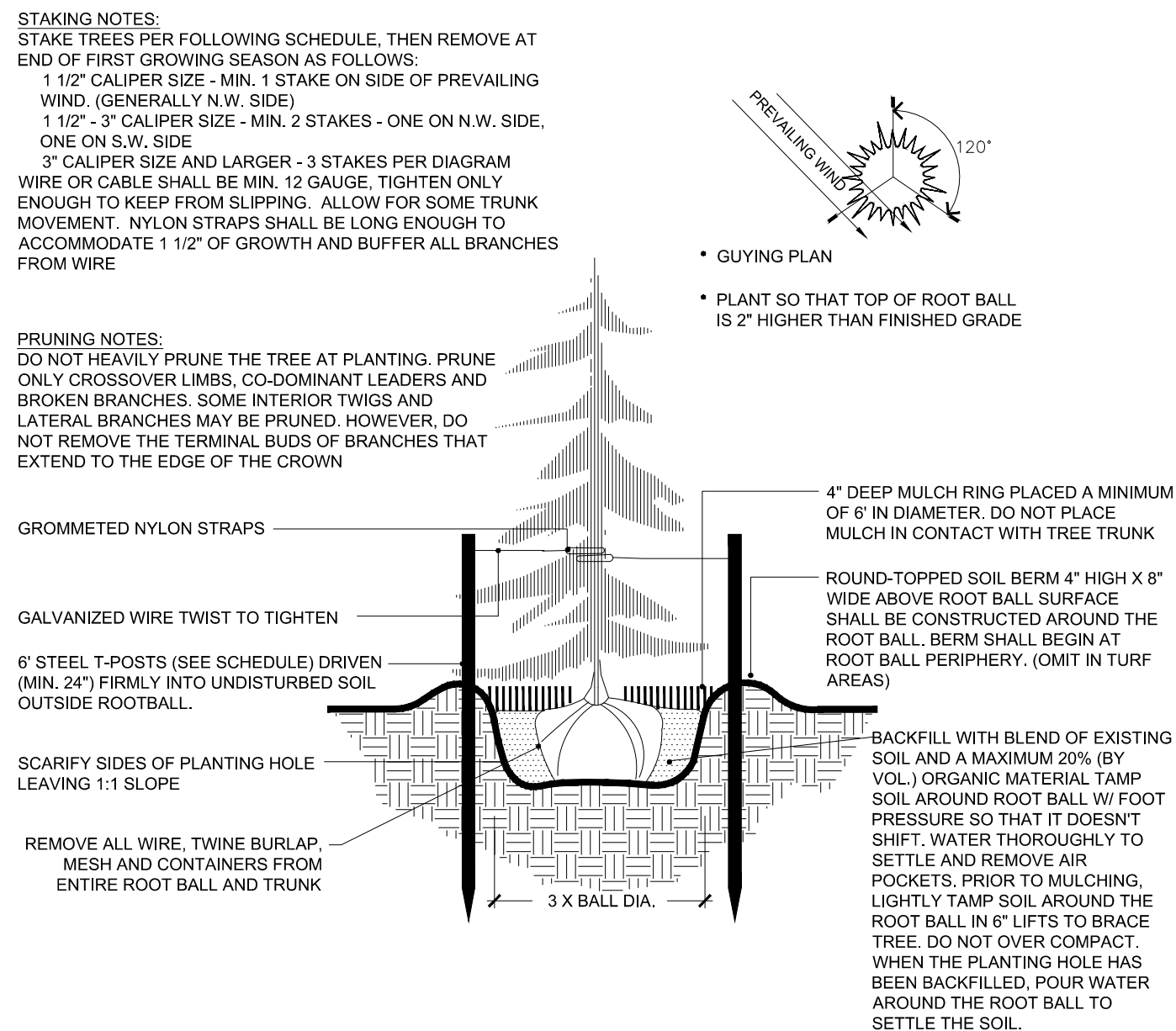
Plotted By: David Schmidt Layout: 4 LANDSCAPE NOTES AND DETAILS Printed On: 5/26/2016 8:35 AM File Name: 4 LANDSCAPE NOTES AND DETAILS.dwg



## 1 TREE PLANTING DETAIL - STEEL POSTS

SCALE: NTS

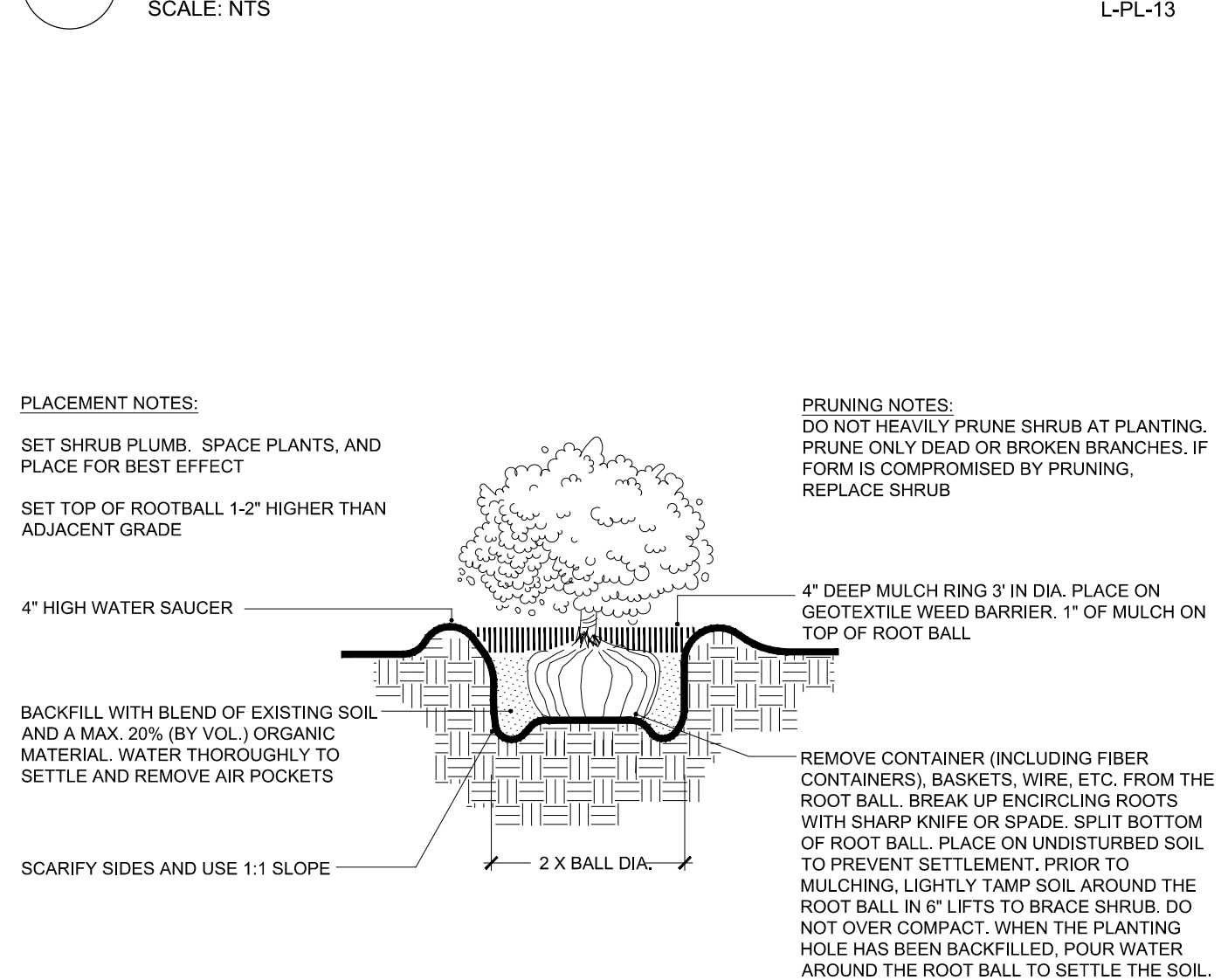
L-PL-12



## 2 CONIFER TREE PLANTING DETAIL - STEEL POSTS

SCALE: NTS

L-PL-13



## 3 SHRUB PLANTING DETAIL

SCALE: NTS

L-PL-14

# WATER USE TABLE

HYDROZONE	AREA (SF)	WATER NEEDED (GALLONS/SF)	ANNUAL WATER USE (GALLONS)
HIGH	1540	18	27,720
MODERATE	5700	10	57,000
LOW	4550	3	13650
VERY LOW	0	0	0
TOTAL	11,790	8	98,370

ANNUAL WATER USE NOT TO EXCEED 15 GAL./SF. AVERAGE OVER THE SITE

# TREE SPECIES DIVERSITY

PER CITY OF FORT COLLINS 3.2.1(D)3 PROPOSED PLAN MUST HAVE A SPECIES DIVERSITY OF (10-19 TREES > 50%, 20-39 TREES > 33%, 40-59 TREES > 25%, 60+ TREES > 15%), OF THE 32 TOTAL TREES SURVEYED AND PROPOSED ON SITE, NO SPECIES MAY HAVE MORE THAN 11 QUANTITY.

*TYPE (PROPOSED & EXISTING TO REMAIN)	COUNT	SPECIES (%)
Hoopsi Spruce	5	17
Columnare Colorado Blue Spruce	4	14
Columnare Austrian Pine	8	28
Autumn Blaze Ornamental Pear	2	7
Golden Rain Tree	6	21
Western Hackberry	2	7
Greenspire Linden	2	7
TOTAL TREES	29	

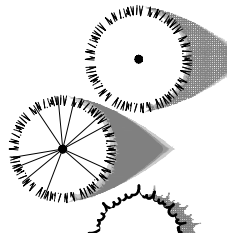
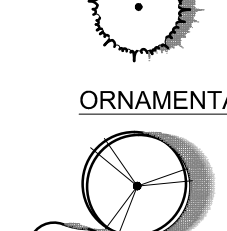
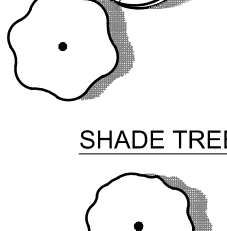
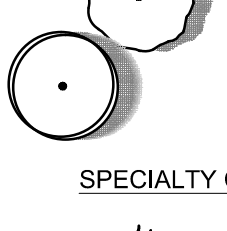
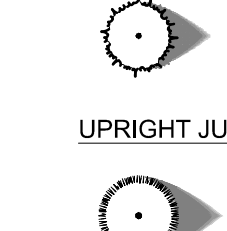
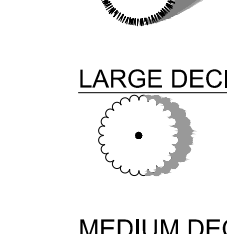
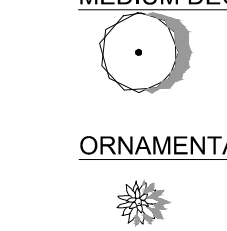
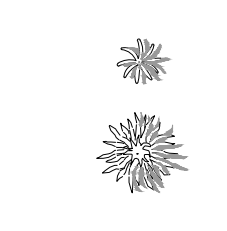
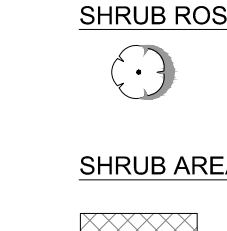
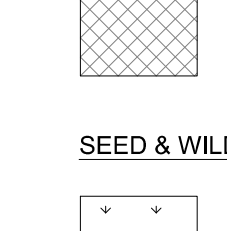
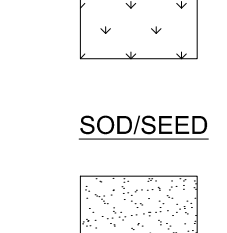
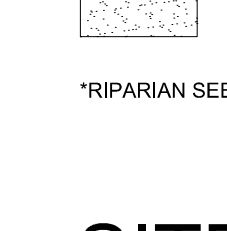
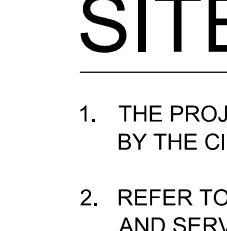
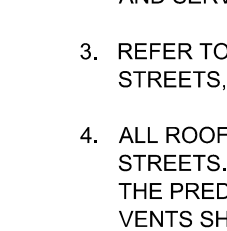
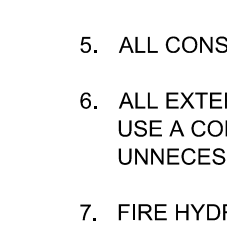
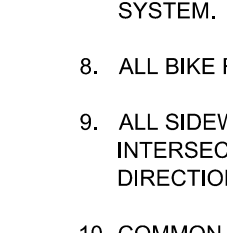
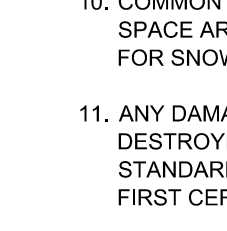
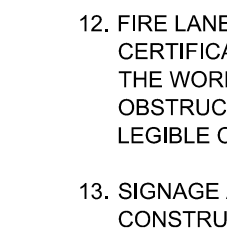
\*CITY OF FORT COLLINS CODE SECTION 3.2.1(D)3 MINIMUM SPECIES DIVERSITY

# GENERAL LANDSCAPE NOTES

- PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
- IRRIGATION: ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- SOIL AMENDMENTS: THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA.
- INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH; ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- MAINTENANCE: TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- REPLACEMENT: ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
- THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:
  - 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
  - 15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS
  - 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
  - 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES
  - 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
  - 4 FEET BETWEEN TREES AND GAS LINES

- ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 3.2.1(D)(2)(g).
- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
- COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS ASSOCIATION. THE PROPERTY OWNERS ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
- LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS AND TRAFFIC CIRCLES ADJACENT TO RESIDENTIAL LOTS ARE REQUIRED TO BE MAINTAINED BY THE PROPERTY OWNER OF THE RESIDENTIAL LOT, AND THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS.
- THE DEVELOPER SHALL ENSURE THAT THE FINAL LANDSCAPE PLAN IS COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
- ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.
- IRRIGATED TURF SHALL BE TEXAS BLUEGRASS/KENTUCKY BLUEGRASS HYBRID REVELLE OR APPROVED EQUAL.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 18" X 4" ROLLED TOP STEEL SET LEVEL WITH TOP OF SOD OR APPROVED EQUAL.

# PLANT SCHEDULE

EVERGREEN TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	VERY LOW	LOW	MEDIUM	HIGH
	PHH	5	PICEA PUNGENS 'HOOPSII' / HOOPSII SPRUCE	-	-	6' HT			X	
	PPI	4	PICEA PUNGENS 'ISELI FASTIGIATE' / COLUMNARE COLORADO BLUE SPRUCE	-	-	6' HT			X	
	PNA	8	PINUS NIGRA 'ARNOLD SENTINEL' / COLUMNAR AUSTRIAN PINE	-	-	6' HT			X	
ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	VERY LOW	LOW	MEDIUM	HIGH
	KPA	6	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	-	1.5"	-	X			
	PCA	2	PYRUS CALLERYANA 'AUTUM BLAZE' / AUTUMN BLAZE ORNAMENTAL PEAR	-	1.5"	-			X	
	COO	2	CELTIS OCCIDENTALIS / WESTERN HACKBERRY	-	2"	-		X		
	TGG	2	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	-	2"	-			X	
SPECIALTY CONIFERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	VERY LOW	LOW	MEDIUM	HIGH
	PSB	31	PINUS STROBUS 'BLUE SHAG' / DWARF BLUE EASTERN WHITE PINE	6 GAL	-	-			X	
UPRIGHT JUNIPERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	VERY LOW	LOW	MEDIUM	HIGH
	JSS	5	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	15 GAL	-	-		X		
LARGE DECIDUOUS SHRUB	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE			VERY LOW	LOW	MEDIUM	HIGH
	VRA	3	VIBURNUM X RHYTIDOPHYLOIDES 'ALLEGHANY' / ALLEGHANY VIBURNUM	5 GAL				X		
MEDIUM DECIDUOUS SHRUB	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE			VERY LOW	LOW	MEDIUM	HIGH
	LVI	26	LIGUSTRUM X VICARYI / GOLDEN VICARYI PRIVET	5 GAL					X	
ORNAMENTAL GRASS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE			VERY LOW	LOW	MEDIUM	HIGH
	CAK	56	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL					X	
	PAH	33	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS (WHITE SEED HEAD)	1 GAL			X	X		
	SWR	18	SPOROBOLUS WRIGHTII / GIANT SACATON	5 GAL					X	
SHRUB ROSE	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE			VERY LOW	LOW	MEDIUM	HIGH
	RNW	48	ROSA X 'NEARLY WILD' / NEARLY WILD SHRUB ROSE (PINK FLOWER, EARLY-SUMMER)	5 GAL				X		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT		SPACING	VERY LOW	LOW	MEDIUM	HIGH
	JSU	16	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL		36" o.c.			X	
SEED & WILDFLOWER	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT		SPACING	VERY LOW	LOW	MEDIUM	HIGH
	FMN	4,548 SF	PBSI FOOTHILLS NATIVE MIX / PBSI FOOTHILLS NATIVE MX (25 LBS/ACRE)	SEED			X			
SOD/SEED	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT		SPACING	VERY LOW	LOW	MEDIUM	HIGH
	PKT	1,539 SF	POA PRATENSIS / KEN-TEX OR THERMAL BLUEGRASS	SOD					X	

\*RIPARIAN SEED AND PLANTINGS TO COMPLY WITH THE CITY OF FORT COLLINS LANDSCAPE DESIGN STANDARDS AND GUIDELINES FOR STORM WATER DETENTION FACILITIES

# SITE PLAN NOTES

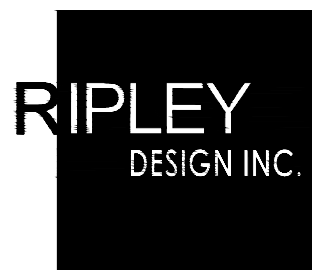
- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
- REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
- REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
- ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
- ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
- FIRE HYDRANTS MUST MEET OR EXCEED POUDERE FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
- ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
- ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS' ASSOCIATION. THE PROPERTY OWNERS' ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND Revised November 12, 2015 3 LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
- SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.

ANGIE LEE  
PERIODONTICS

## PDP SUBMITTAL

FORT COLLINS, CO

PREPARED BY:



■ land planning ■ landscape architecture ■  
■ urban design ■ entitlement ■

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phone 970.224.5828 | fax 970.225.6657 | www.ripleydesigninc.com

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CIVIL ENGINEER

UNITED CIVIL  
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p. 970.530.4044

LIGHTING ENGINEER

SRB CONSULTING ENGINEERING  
Chris Weaver  
37127 Cullison Ridge Road  
Windsor CO 80550  
p. 970.686.1004

ORIGINAL SIZE 24X36

ISSUED

No.	DESCRIPTION	DATE
01	PDR SUBMITTAL	08/28/15
02	PDP SUBMITTAL RD1	03/30/16
03	PRICING SET	04/26/16
04	PDP SUBMITTAL RD2	05/02/16

REVISIONS

No.	DESCRIPTION	DATE
01	REVISED PER COMMENTS	04/25/16
02	REVISED PER COMMENTS	05/18/16

## LANDSCAPE NOTES AND DETAILS

SEAL:

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

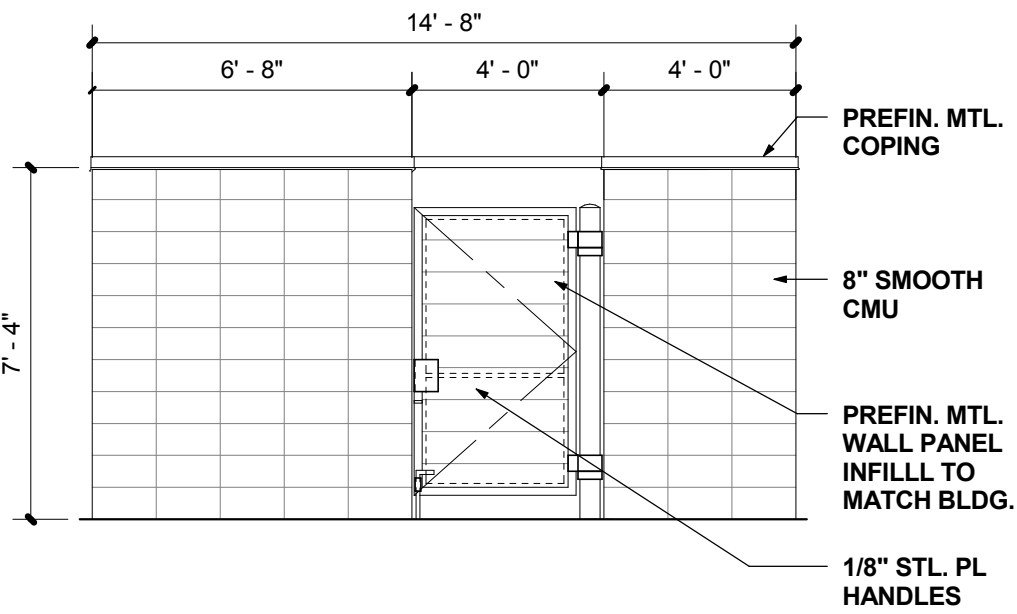
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DRAWN BY:	DS
REVIEWED BY:	RL

DRAWING NUMBER:

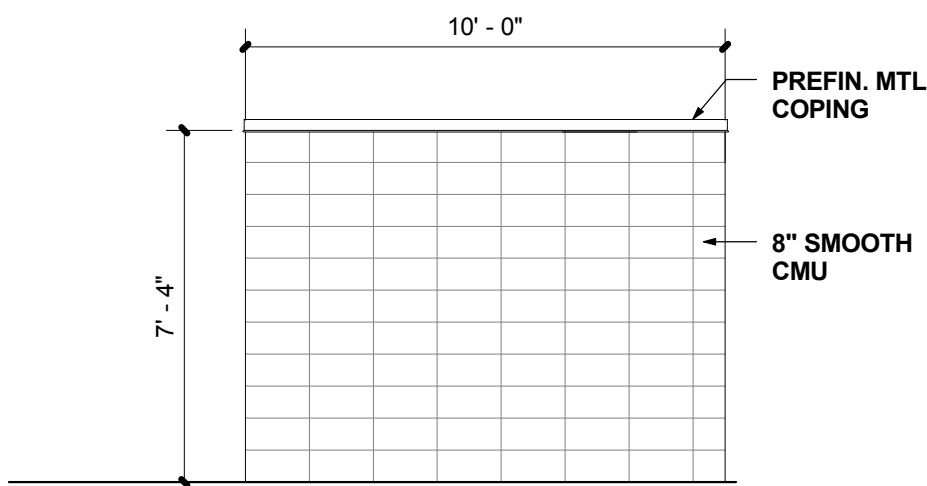




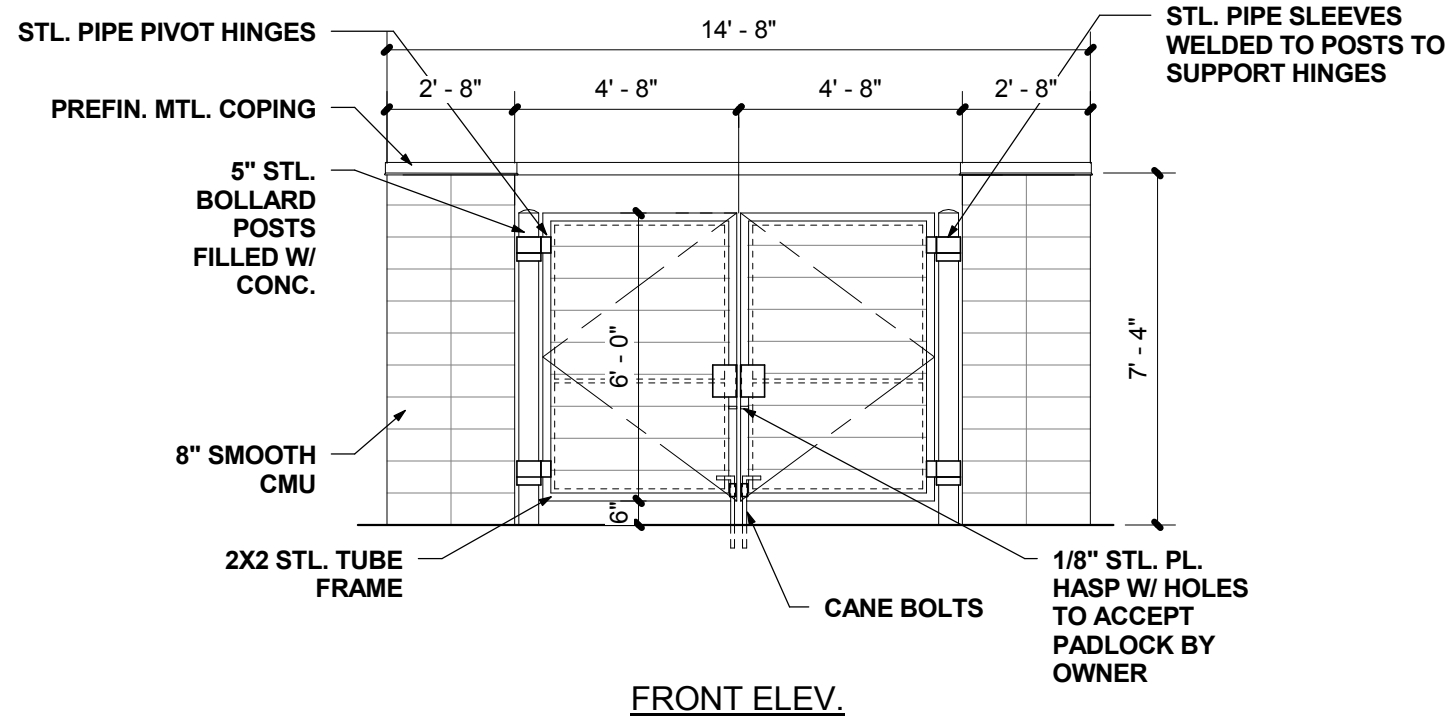




SIDE ELEV (NO GATE OPP. SIDE)

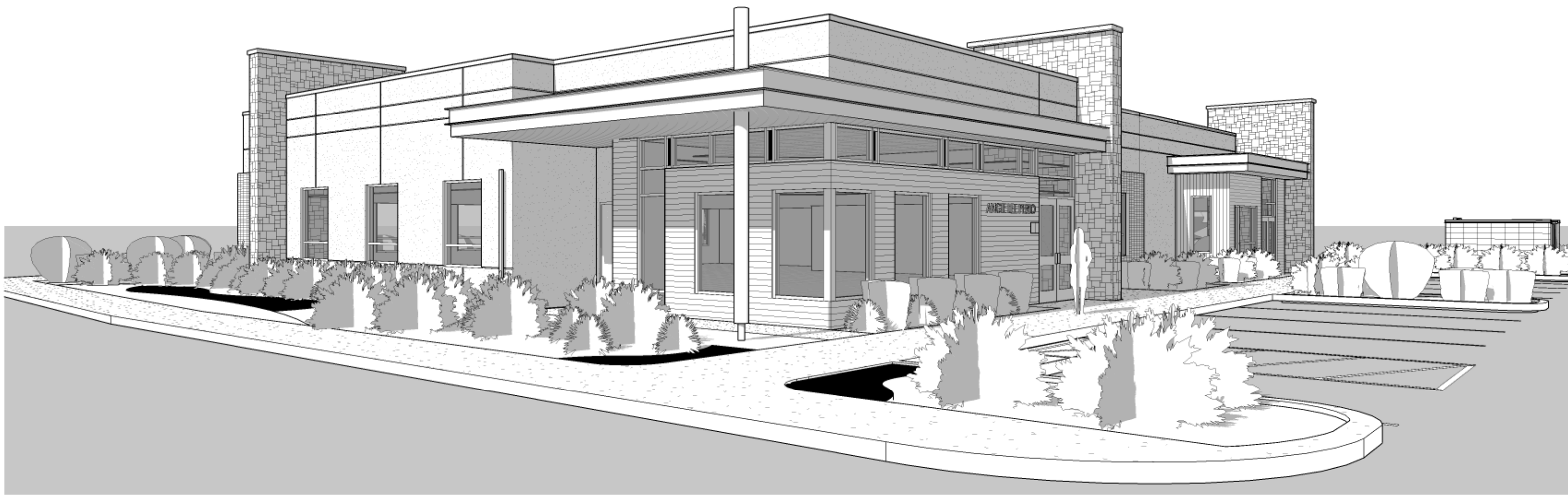


SIDE ELEV (NO GATE OPP. SIDE)

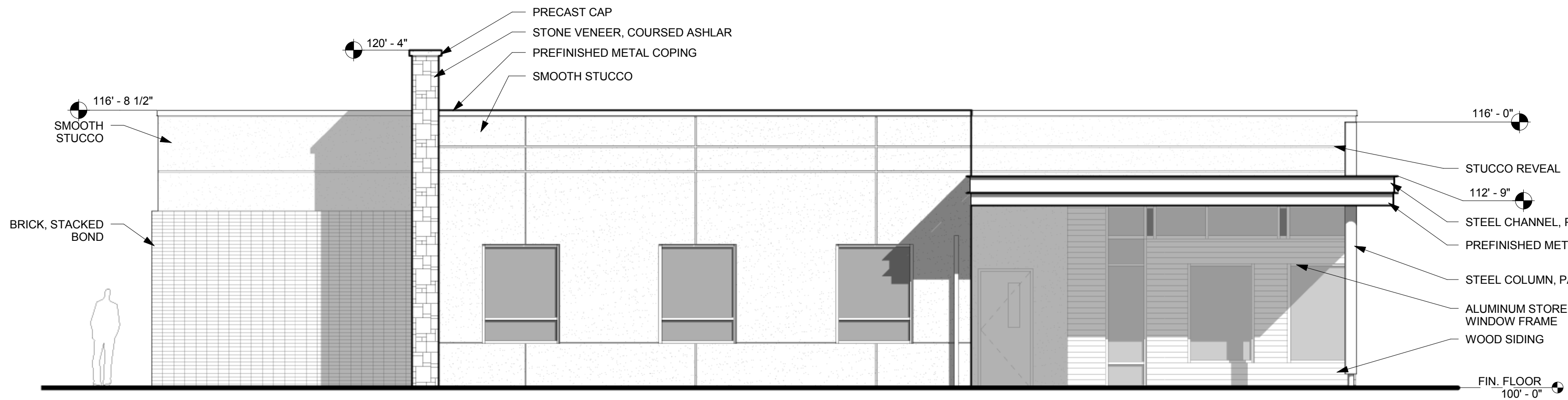


FRONT ELEV.

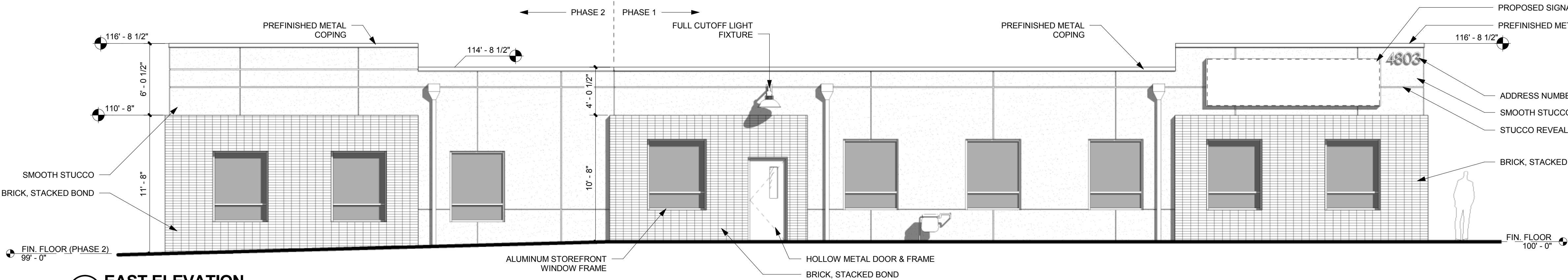
4 TRASH ENCLOSURE ELEVATION - MASONRY  
1/4" = 1'-0"



3 PLANNING - NORTHWEST CORNER



2 NORTH ELEVATION  
3/16" = 1'-0"



1 EAST ELEVATION  
3/16" = 1'-0"

#### EXTERIOR FINISH SCHEDULE

WOOD SIDING	BROWN
BRICK	BROWN
STONE VENEER	COURSED ASHLAR- MIX GREY & TAN
STUCCO	TAN
PRECAST CAPS	MED. GREY
STOREFRONT	SILVER
GLAZING	GREY TINTED
STEEL & FLASHINGS	LIGHT GREY
PREFINISHED METAL COPING	GREY
CMU	GREY

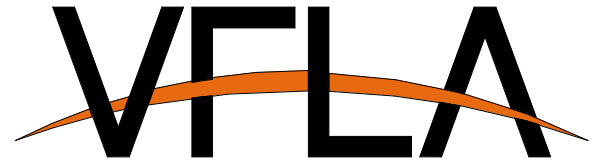
GENERAL NOTE:  
ALL EXTERIOR WALL MOUNTED LIGHTS TO BE FULL CUT-OFF.

NOTE:  
FINAL BUILDING DESIGN IS SHOWN FOR PHASE ONE AND TWO. AT THE TIME OF BUILDING PERMIT, BUILDING PLANS AND ELEVATIONS SHALL BE REVIEWED FOR COMPLIANCE WITH THESE FINAL PLANS AND ELEVATIONS. THE DIRECTOR SHALL DETERMINE WHETHER THE APPROVAL OF VARIATIONS TO THESE PLANS SHALL BE PERMITTED AS PART OF THE BUILDING PERMIT OR WHETHER AN AMENDMENT TO THESE PLANS IS REQUIRED.

PROJECT NUMBER: 2015-71

## ANGIE LEE PERIODONTICS

4803 BOARDWALK DR.  
FORT COLLINS, CO 80525



VAUGHT FRYE LARSON architects

Strength in design. Strength in partnership.  
Strength in community.

419 Canyon Avenue, Suite 200 Fort Collins, CO 80521  
ph: 970.224.1191 www.VFLA.com

IN ASSOCIATION WITH:



#### PDP ROUND 2

No.	Description	Date
1	PDP ROUND 1	03-30-16
2	PDP ROUND 2	05-02-16
3		
4		
5		
6		

No.	Description	Date

DRAWN BY: GD, CA

CHECKED BY: GD

SEAL:

COPYRIGHT: 5/26/2016 3:43:25 PM  
VAUGHT FRYE LARSON ARCHITECTS, INC.  
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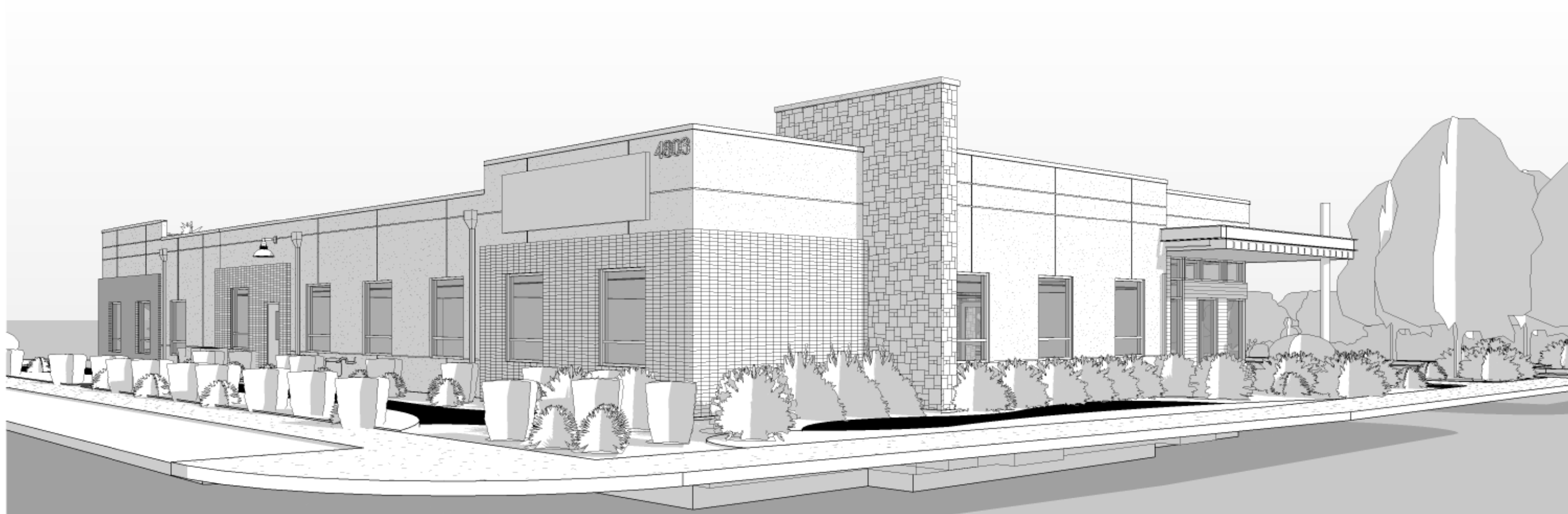
## ARCHITECTURAL ELEVATIONS

DRAWING NUMBER:

A1



C:\Users\bolin\Documents\2016-02-10 Lee Periodontics Shell\_bolin.rvt 5/26/2016 3:43:54 PM

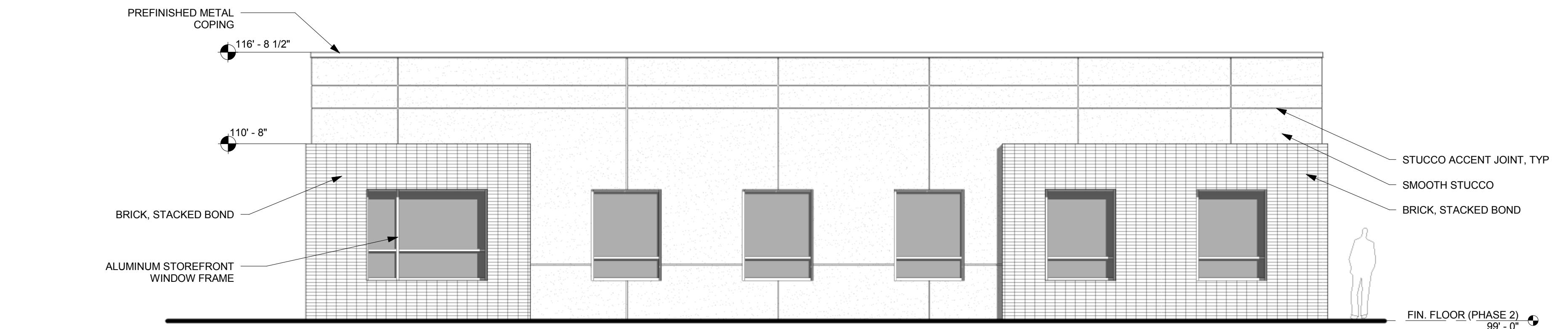


4 PLANNING - NORTHEAST CORNER

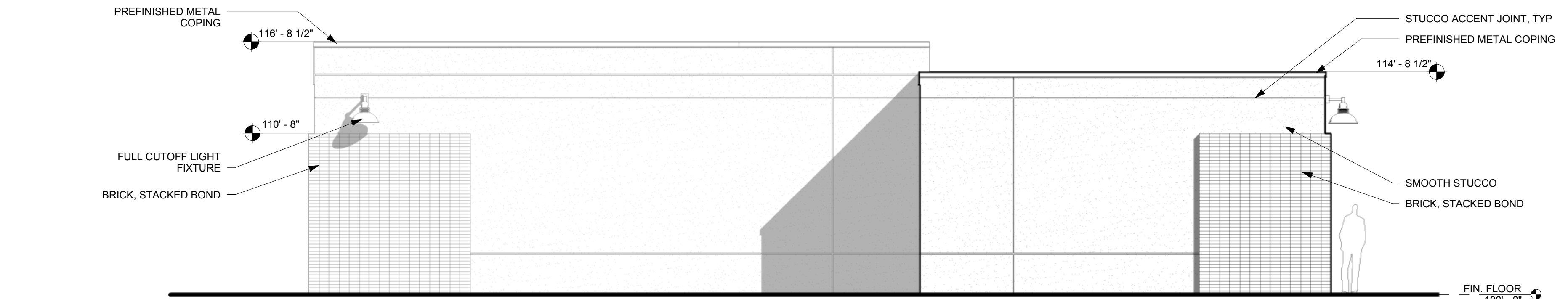
EXTERIOR FINISH SCHEDULE	
WOOD SIDING	BROWN
BRICK	BROWN
STONE VENEER	COURSED ASHLAR- MIX GREY & TAN
STUCCO	TAN
PRECAST CAPS	MED. GREY
STOREFRONT	SILVER
GLAZING	GREY TINTED
STEEL & FLASHINGS	LIGHT GREY
PREFINISHED METAL COPING	GREY
CMU	GREY

GENERAL NOTE:  
ALL EXTERIOR WALL MOUNTED LIGHTS TO BE FULL CUT-OFF.

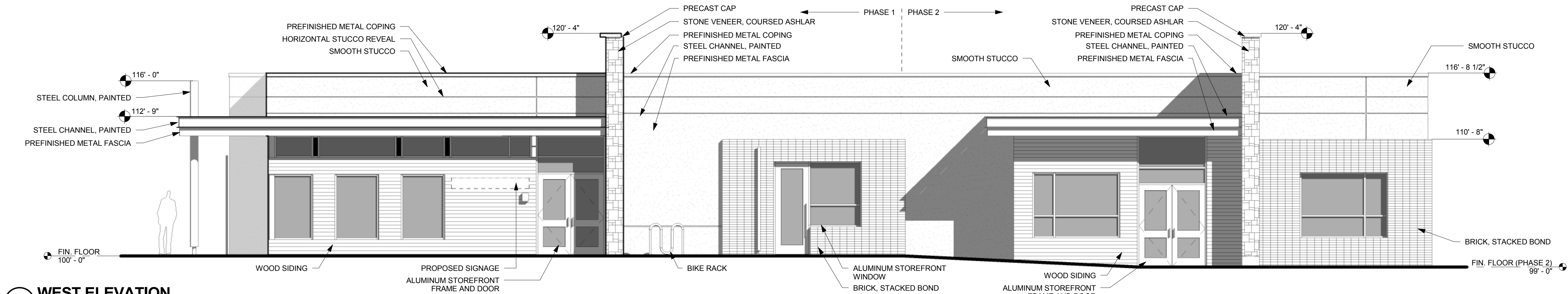
NOTE:  
FINAL BUILDING DESIGN IS SHOWN FOR PHASE ONE AND TWO. AT THE TIME OF BUILDING PERMIT, BUILDING PLANS AND ELEVATIONS SHALL BE REVIEWED FOR COMPLIANCE WITH THESE FINAL PLANS AND ELEVATIONS. THE DIRECTOR SHALL DETERMINE WHETHER THE APPROVAL OF VARIATIONS TO THESE PLANS SHALL BE PERMITTED AS PART OF THE BUILDING PERMIT OR WHETHER AN AMENDMENT TO THESE PLANS IS REQUIRED.



3 SOUTH ELEVATION - PHASE 2  
3/16" = 1'-0"



2 SOUTH ELEVATION - PHASE 1  
3/16" = 1'-0"



1 WEST ELEVATION  
3/16" = 1'-0"

PROJECT NUMBER: 2015-71

## ANGIE LEE PERIODONTICS

4803 BOARDWALK DR.  
FORT COLLINS, CO 80525



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ph: 970.224.1191 www.VFLA.com

IN ASSOCIATION WITH:



### PDP ROUND 2

Issued		
No.	Description	Date
1	PDP ROUND 1	03-30-16
2	PDP ROUND 2	05-02-16
3		
4		
5		
6		

Revisions		
No.	Description	Date

DRAWN BY: GD, CA

CHECKED BY: GD

SEAL:

COPYRIGHT: 5/26/2016 3:43:54 PM

VAUGHT FRYE LARSON ARCHITECTS, INC.  
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COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF VFLA.

## ARCHITECTURAL ELEVATIONS

DRAWING NUMBER:

A2



# ANGIE LEE PERIODONTICS

MAY 2016

SHEET NUMBER  
**C000**  
OF **7** SHEETS  
SCALE  
VERTICAL: 1" = N/A  
HORIZONTAL: 1" = N/A  
JOB NUMBER  
**U15103**

DATE: 5/19/2016 TIME: 1:45:50 PM PROJ. MGR. KRB DESIGNER: SDR  
DRAWING NAME: C0.00\_COVER  
P:\J15013 - 4803 BOARDWALK OFFICE\CADD\CP\C0.00 COVER.DWG

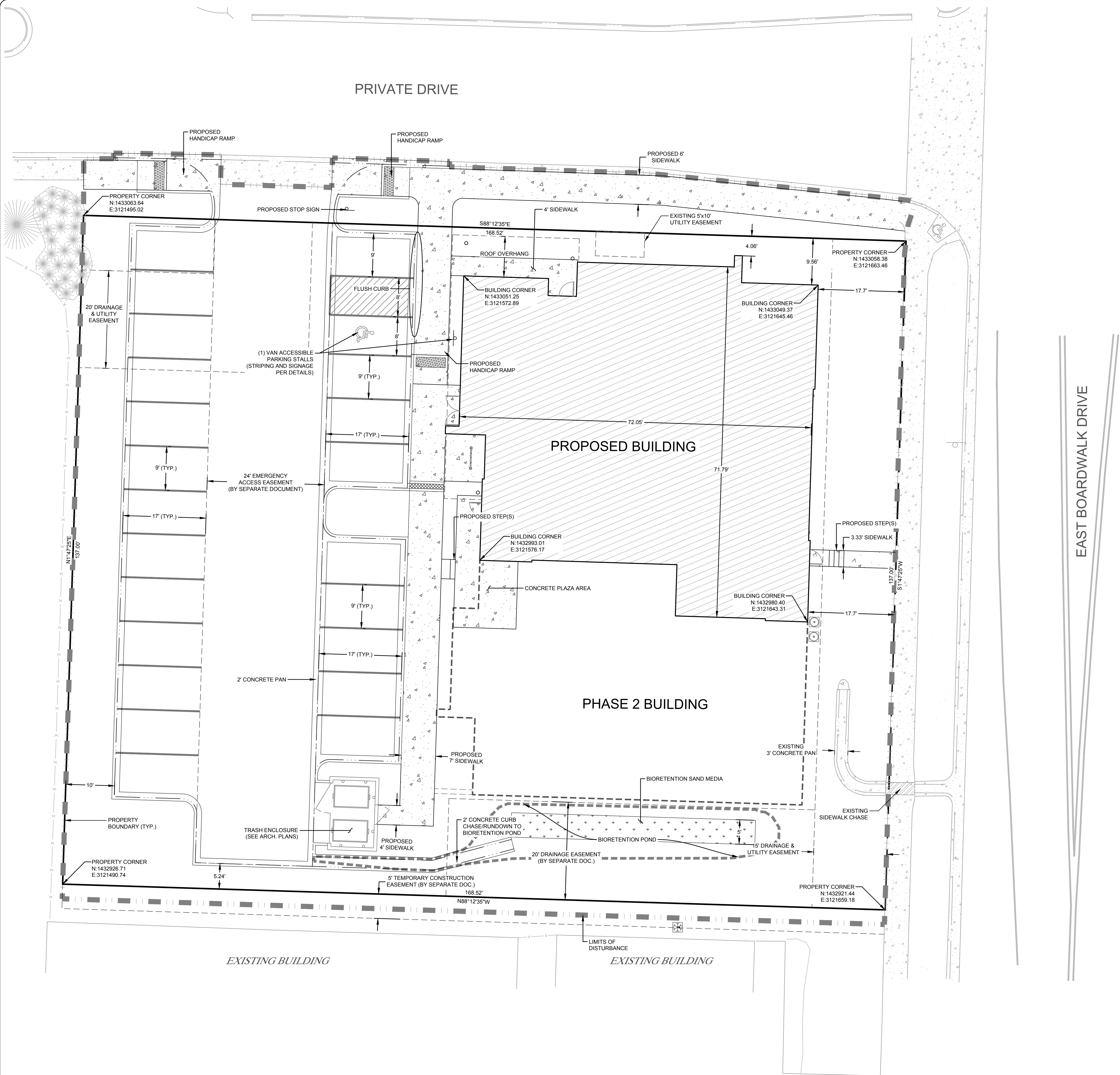










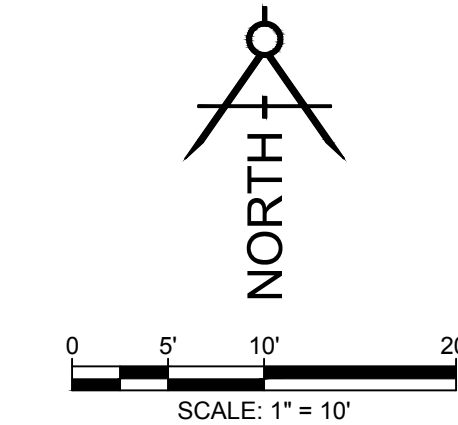


LEGEND

- |  |     |                            |
|--|-----|----------------------------|
| EXISTING PAVEMENT STRIPING             | W   | EXISTING WATER             |
| EXISTING FENCE                         | SS  | EXISTING SANITARY          |
| EXISTING EASEMENT                      | ST  | EXISTING STORM SEWER       |
| EXISTING RIGHT-OF-WAY LINE             | G   | EXISTING GAS               |
| EXISTING LOT LINE                      | E   | EXISTING ELECTRIC          |
| LIMITS OF DISTURBANCE                  | OHE | EXISTING OVERHEAD ELECTRIC |
| EXISTING CURB & GUTTER                 | CTV | EXISTING CABLE TV          |
| EXISTING CONCRETE PAVEMENT OR SIDEWALK |     |                            |
| PROPOSED CONCRETE PAVEMENT OR SIDEWALK |     |                            |
| PROPOSED BUILDING                      |     |                            |
| PROPOSED CURB & GUTTER                 |     |                            |
| PROPOSED PAVEMENT STRIPING             |     |                            |

NOTES

- FOR BUILDING LAYOUT REFERENCE ARCHITECTURAL PLANS. LAYOUT AND DIMENSION INFORMATION SHOWN REPRESENTS OUTSIDE FACE OF WALL AND IS SHOWN FOR INFORMATION ONLY. SPECIAL CARE SHALL BE TAKEN IN ORDER TO ENSURE THAT ALL BUILDING IMPROVEMENTS UNLESS OTHERWISE NOTED ON THESE OR THE ARCHITECTURAL PLANS ARE LOCATED ENTIRELY WITHIN EXISTING PROPERTY LINE LIMITS.
- ALL DIMENSIONS AND LINE AND CURVE INFORMATION ARE MEASURED TO CURB FLOW LINE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO AND COORDINATE WITH THE APPROVED LANDSCAPE DRAWINGS FOR ALL LANDSCAPE AND SITE FEATURES SUCH AS BIKE RACKS, TRASH RECEPTACLES, CONCRETE PLAZA DETAILS, LANDSCAPE ROCK AND MULCH, ETC.
- ALL HANDICAP RAMPS (PRIVATE AND PUBLIC) SHALL BE INSTALLED WITH TRUNCATED DOME WARNING DETECTION SYSTEMS PER LARIMER COUNTY URBAN AREA STREET STANDARD DETAILS.
- CONCRETE SIDEWALKS SHALL BE 6-INCH MINIMUM THICKNESS UNLESS NOTED OTHERWISE.



City of Fort Collins, Colorado UTILITY PLAN APPROVAL		
APPROVED:	City Engineer	Date
CHECKED BY:	Water & Wastewater Utility	Date
CHECKED BY:	Stormwater Utility	Date
CHECKED BY:	Parks & Recreation	Date
CHECKED BY:	Traffic Engineer	Date
CHECKED BY:	Environmental Planner	Date



Civil Engineering & Consulting  
1501 Academy Ct.  
Ste. 203  
Fort Collins, CO 80524  
(970) 530-4044  
www.unitedcivil.com

REVISIONS		
NO.	DATE	BY

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

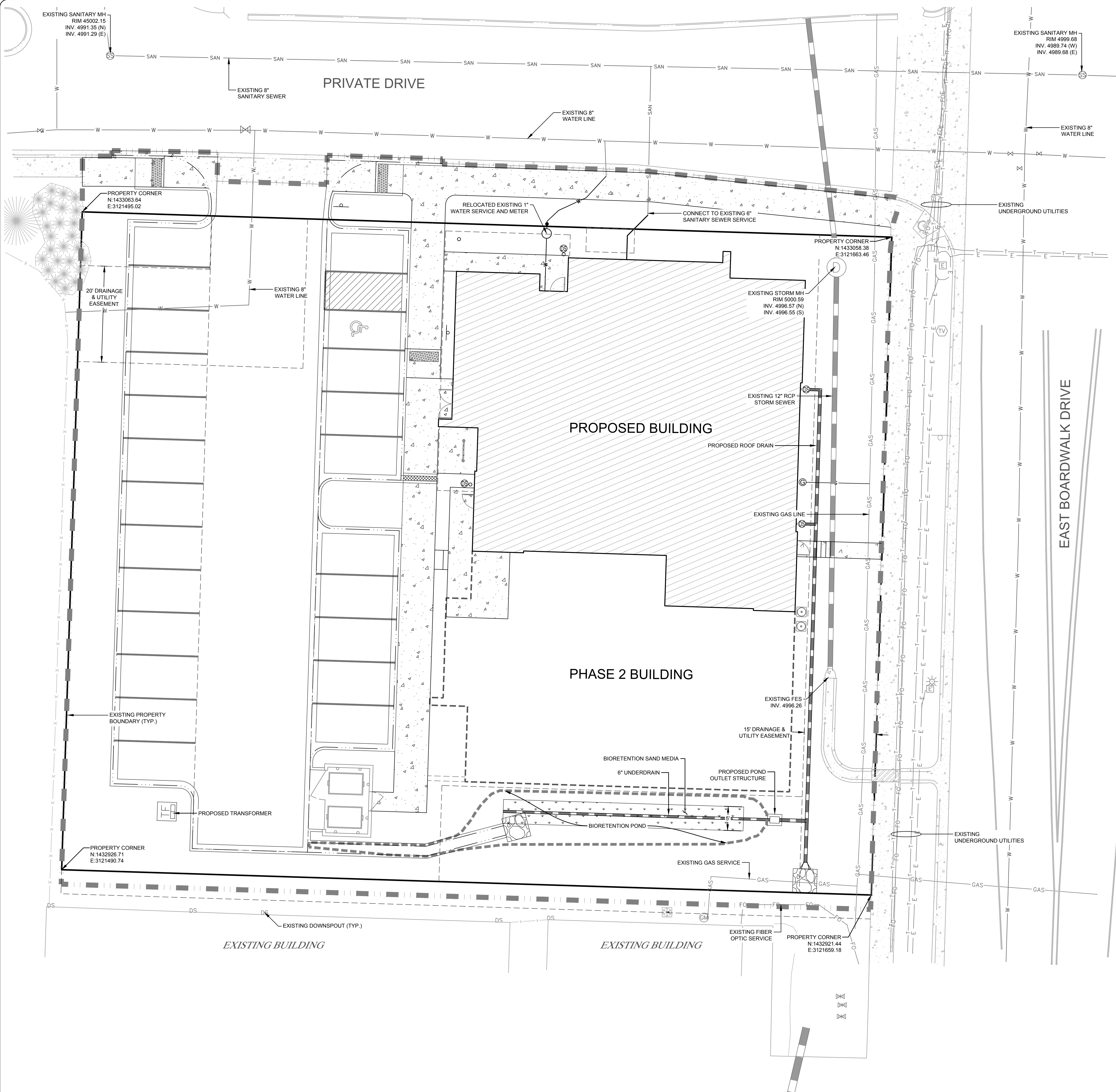
ANGIE LEE PERIODONTICS  
HORIZONTAL CONTROL PLAN

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET NUMBER  
**C200**  
OF 7 SHEETS  
SCALE  
VERTICAL: 1" = 10'  
HORIZONTAL: 1" = 10'  
JOB NUMBER  
U15103

PREPARED FOR: ASPEN SUMMIT LLC  
DATE SUBMITTED: 05/19/16



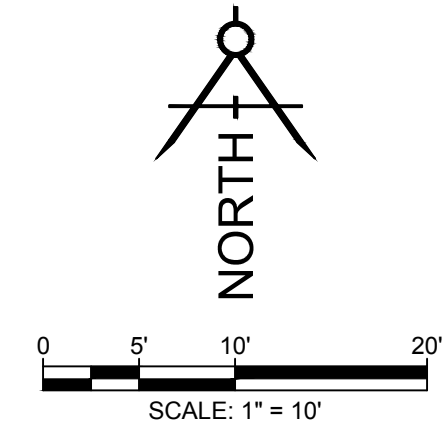


LEGEND

	EXISTING PAVEMENT STRIPING		EXISTING WATER
	EXISTING FENCE		EXISTING SANITARY
	EXISTING EASEMENT		EXISTING STORM SEWER
	EXISTING RIGHT-OF-WAY LINE		EXISTING GAS
	EXISTING LOT LINE		EXISTING ELECTRIC
	LIMITS OF DISTURBANCE		EXISTING OVERHEAD ELECTRIC
	EXISTING CURB & GUTTER		EXISTING CABLE TV
	EXISTING CONCRETE PAVEMENT OR SIDEWALK		PROPOSED FIRE SERVICE
	PROPOSED CONCRETE PAVEMENT OR SIDEWALK		PROPOSED WATER SERVICE
	PROPOSED BUILDING		PROPOSED GAS SERVICE
	PROPOSED CURB & GUTTER		PROPOSED SANITARY SERVICE
	PROPOSED PAVEMENT STRIPING		

NOTES

- EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO ANY CONSTRUCTION TO VERIFY EXACT UTILITY LOCATIONS.
- THE PROPOSED CONSTRUCTION WILL BE IN CLOSE PROXIMITY TO SEVERAL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY PROVIDERS PRIOR TO AND DURING CONSTRUCTION TO MINIMIZE SERVICE INTERRUPTIONS TO SURROUNDING BUILDINGS OR PROPERTIES.
- THE PLUMBING CONTRACTOR SHALL TERMINATE UTILITY LATERALS 5' OUTSIDE OF BUILDING UNLESS NOTED OTHERWISE. EXACT LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL UTILITY CONNECTIONS INTO THE PROPOSED BUILDING SHALL BE COORDINATED WITH APPROVED ARCHITECTURAL DRAWINGS.
- REFER TO APPROVED SITE ELECTRICAL PLANS FOR ALL CONDUITS AND POWER LINE ROUTING FOR SITE LIGHTING.
- WATER AND SEWER SERVICE PROVIDED BY THE CITY OF FORT COLLINS AND ALL WATER AND SEWER CONSTRUCTION SHALL BE PER THE CITY OF FORT COLLINS STANDARD CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
- MINIMUM DEPTH OF COVER OVER WATER MAINS SHALL BE 4.5'. MAXIMUM COVER SHALL BE 5.5'.
- MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER & WATER MAINS & SERVICES.
- ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
- FIRE SERVICES SHALL BE AWWA C-900 PVC, 1-1/2" AND 2" WATER SERVICES MAY BE EITHER TYPE K COPPER OR SDR 9 HDPE PIPE WITH A PRESSURE RATING OF 200 PSI.
- THE LOCATION OF PROPOSED DRY UTILITIES AS SHOWN ON THIS DRAWING ARE SHOWN FOR HORIZONTAL ALIGNMENTS ONLY AND ARE APPROXIMATE. FINAL DESIGNS OF DRY UTILITIES WILL BE PERFORMED BY THE APPROPRIATE UTILITY COMPANY.



City of Fort Collins, Colorado UTILITY PLAN APPROVAL			
APPROVED:	City Engineer	Date	
CHECKED BY:	Water & Wastewater Utility	Date	
CHECKED BY:	Stormwater Utility	Date	
CHECKED BY:	Parks & Recreation	Date	
CHECKED BY:	Traffic Engineer	Date	
CHECKED BY:	Environmental Planner	Date	



Civil Engineering & Consulting  
1501 Academy Ct.  
Ste. 203  
Fort Collins, CO 80524  
(970) 530-4044  
www.unitedcivil.com

REVISIONS	DATE	BY	AS

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

ANGIE LEE PERIODONTICS  
UTILITY PLAN

PREPARED FOR: ASPEN SUMMIT LLC DATE SUBMITTED: 05/19/16

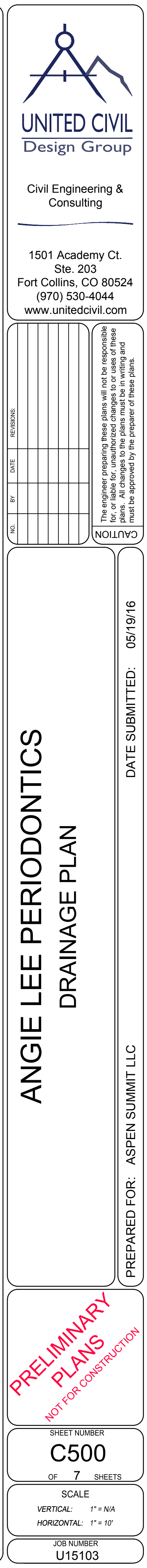
PRELIMINARY  
PLANS  
NOT FOR CONSTRUCTION

SHEET NUMBER	C300
OF 7 SHEETS	
SCALE	
VERTICAL: 1" = 10'	
HORIZONTAL: 1" = 10'	
JOB NUMBER	U15103













land planning ■ landscape architecture ■ urban design ■ entitlement

March 30, 2016

## Planning Objectives

### **Angie Lee Periodontics PDP**

The Applicant, Angie Lee Periodontics is proposing to construct of a 7,000 s.f. single story building composed of a 4,000 s.f. dental office and a future 3,000 s.f. general office space on .53 acres located south west of the intersection of Oakridge Drive and East Boardwalk Drive. The proposed development closely follows the approved office building on the Miramont Self Storage PUD approved in 2001.

The property is zoned Harmony Corridor (HC).

Additional commercial offices are located to the north and west, Miramont Apartments are located adjacent to the east and Walmart Sam's Club is located to the north east across South Boardwalk Drive. The HC district is intended for attractive and complete mixed-use area with a major employment base and the proposed use meets this criteria.

The site is currently vacant with no existing trees or habitat however the site will be buffered from the adjacent storage facility with evergreen trees and shrubs.

Access is from Oakridge Drive approximately 140 feet west of South Boardwalk Drive. Parking is proposed adjacent to the site with 22 spaces (1 ADA accessible). A trash and recycling enclosure is located at the south end of the parking lot to serve the tenants of this building.

An existing detached public sidewalk exists that runs the full length of the property along East Boardwalk Drive. This walk is accessed by an ADA accessible ramp and re-connects to the existing detached public sidewalk at the south end of the property.

The drainage report and plans prepared by Stantec in 2006 showed an onsite extended detention water quality pond. We propose re-positioning the pond to fit the new configuration of the building to maintain this natural drainage pattern. The drainage swale and associated landscaping along East Boardwalk Drive provide water quality treatment for the storm water before it leaves the site and enters the City's storm water system. Plant beds will be landscaped with various drought tolerant species that are adapted to our local climate. Turf areas on the site have been minimized. Additionally drip irrigation will be used in all plant beds and high efficiency spray nozzles will be used in all proposed turf areas.

*Thinking outside of the box for over two decades.*



The proposed building height will be 16' and will not have automatic fire sprinklers. The Two spaces will be separated with fire rated construction and the individual units will be less than 5,000s.f. The architecture will be compatible with the adjacent neighborhood with regards to scale and massing. High quality materials will be used (stone, brick, stucco).The building is anticipated to employ 8-10 employees.

Construction on the first phase to commence approximately on or around August 2016. Phase two date of construction to be determined.

A preliminary design review was held 8/28/15 and responses are being submitted today.

The project as designed meets all the performance standards in the HC District. The General Development Standards in Chapter 3 of the Land Use Code are also being met.

City Plan Principles and Policies achieved by the project include the following:

- **Economic Health** by maintaining a balanced mix of land uses to support fiscal sustainability.

**Property owner:**

Aspen Summit, LLC  
1223 Red Oak Ct.  
Fort Collins, CO 80525  
Attn: Jesus Martin or Angie Lee

We are excited to be presenting this project and look forward to additional discussions regarding this project.

NORTH QUARTER CORNER  
SECTION 1-6-69  
2 1/2" ALUMINUM CAP IN RANGE BOX

# FRONT RANGE BAPTIST CHURCH MINOR SUBDIVISION

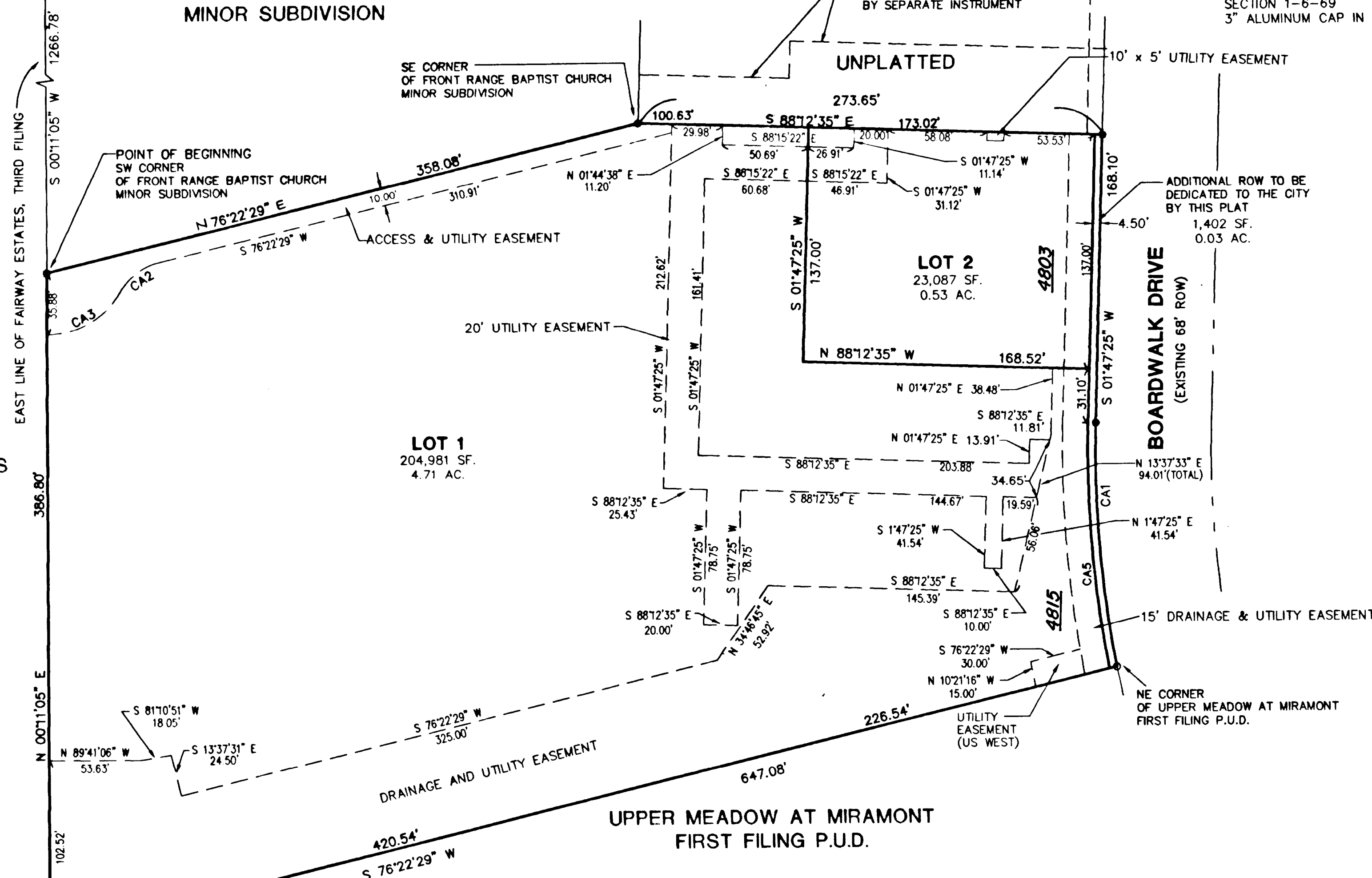
ACCESS, UTILITY AND  
DRAINAGE EASEMENT  
BY SEPARATE INSTRUMENT

NORTHEAST CORNER  
SECTION 1-6-69  
3" ALUMINUM CAP IN RANGE BOX

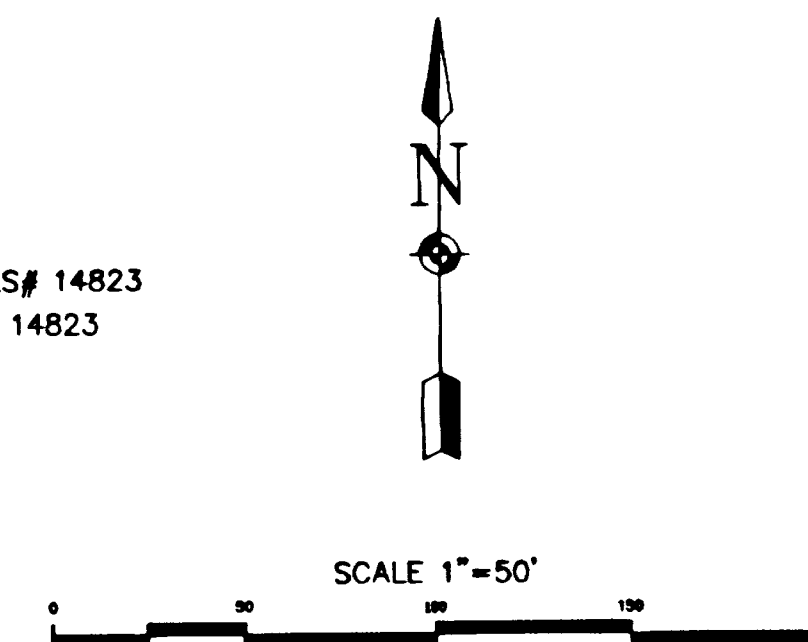
## A PLAT OF MIRAMONT SELF STORAGE P.U.D.

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF  
SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH  
PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF  
LARIMER, STATE OF COLORADO.

FAIRWAY ESTATES  
THIRD FILING



- = FOUND #4 REBAR WITH CAP LS# 14823
- = SET #4 REBAR WITH CAP LS# 14823



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
CA1	644.00'	142.90'	71.75'	142.61'	S 04°34'00" E	12°42'50"
CA2	36.00'	28.90'	15.28'	28.13'	S 53°22'29" W	45°59'59"
CA3	50.00'	52.07'	28.68'	49.75'	S 60°12'35" W	59°40'10"
CA5	648.50'	144.10'	72.36'	143.82'	S 04°34'34" E	12°43'57"

### STATEMENT OF OWNERSHIP, SUBDIVISION AND DEDICATION

Know all men by these presents; that the undersigned being owners of the following described land;

A tract of land located in the Northeast Quarter of Section 1, Township 6 North, Range 69 West of the 6th Principal Meridian, City of Fort Collins, Larimer County, Colorado, being more particularly described as follows:

Considering the North line of the Northeast Quarter of said Section 1 as bearing North 89°58'54" East from an aluminum cap in range box at the North Quarter corner of said Section 1 to an aluminum cap in range box at the Northeast corner of said Section 1 and with all bearings contained herein relative thereto:

Commencing at the North Quarter corner of said Section 1, said point also being on the East line of Third Filing of Fairway Estates on file at the Clerk and Recorder, Larimer County, Colorado; thence along said East line, South 00°11'05" West, 1266.78 feet to the Southwest corner of Front Range Baptist Church Minor Subdivision on file at the Clerk and Recorder, Larimer County, Colorado and the POINT OF BEGINNING; thence along the South line of said Front Range Baptist Church Minor Subdivision, North 76°22'29" East, 358.08 feet to the Southeast corner of said Front Range Baptist Church Minor Subdivision; thence departing said South line, South 88°12'35" East, 273.65 feet to a point on the West right-of-way line of Boardwalk Drive; thence along said West right-of-way line, South 01°47'25" West, 168.10 to a curve concave to the East, having a central angle of 12°42'50", a radius of 644.00 feet and the chord of which bears South 04°34'00" East, 142.61 feet; thence along the arc of said curve 142.90 feet to a point on a non-tangent line, said point also being the Northeast corner of Upper Meadow At Miramont, First Filing P.U.D. on file at the Clerk and Recorder, Larimer County, Colorado; thence along the North line of said Upper Meadow At Miramont, First Filing P.U.D., South 76°22'29" West, 647.08 feet to the Northwest corner of said Upper Meadow At Miramont First Filing P.U.D., said point also being on the East line of said Third Filing of Fairway Estates; thence along said East line, North 00°11'05" East, 386.80 feet to the Point of Beginning.

The above tract of land contains 5.268 acres.

The undersigned have caused the above described land to be surveyed and subdivided into lots, tracts and streets as shown on this plat to be known as Miramont Self Storage P.U.D., subject to all easements and rights-of-way now of record or existing or indicated on this plat.

The undersigned does hereby dedicate and convey to and for public use, forever, the streets and easements as laid out and designated on this plat; provided, however, that: 1) acceptance by the City of this dedication of easements does not impose upon the City a duty to maintain the easements so dedicated; and 2) acceptance by the City of this dedication of streets does not impose upon the City a duty to maintain the streets so dedicated until such time as the streets are inspected and accepted by the Director of Engineering.

All maintenance of the above described streets shall be performed by the undersigned (and his/her successors in interest) until such time as the City expressly assumes, in writing, the duty of such maintenance.

### LOT 2

Witness our hands and seals this 8th day of December, A.D., 1997.

By: Sharon K. Nordic By: \_\_\_\_\_  
Sharon K. Nordic

STATE OF COLORADO )  
COUNTY OF LARIMER ) ss.

The foregoing instrument was acknowledged before me this 8th day of December, A.D., 1997, by Sharon K. Nordic.

Witness my hand and official seal.

My Notarial Commission expires 11/29/98



**THE SEAR-BROWN GROUP**  
FULL-SERVICE DESIGN PROFESSIONALS

FORMERLY RBD, INC.  
209 SOUTH WELDRUM  
FORT COLLINS, CO 80521-2605  
(970) 482-5922

### LOT 1

Witness our hands and seals this 9th day of December, A.D., 1997.

By: Fort Collins Storage, LLC

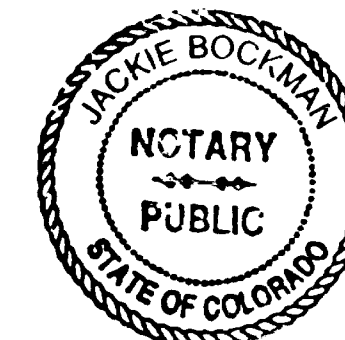
By: William L. Neal By: \_\_\_\_\_  
William L. Neal, Member

STATE OF COLORADO )  
COUNTY OF LARIMER ) ss.

The foregoing instrument was acknowledged before me this 9th day of December, A.D., 1997, by William L. Neal, Member of Fort Collins Storage, LLC, Colorado Limited Liability Company.

Witness my hand and official seal.

My Notarial Commission expires 06/30/2001



Notary Public  
Address: 1255 S. Hovos  
Fort Collins, CO 80521  
City, State, Zip Code

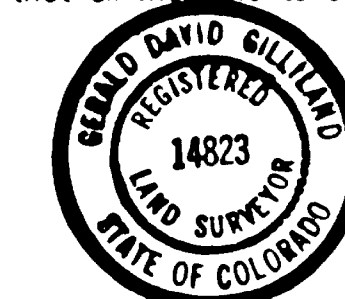
### ATTORNEY'S CERTIFICATE

This is to certify that on the 15th day of December, 1997, I examined the title to the property as described hereon and established that the owners and proprietors of record of the said property as construed in C.R.S. 1973, 31-23-111, are as shown hereon as of said date.

Address: 1255 S. Hovos  
Fort Collins, CO 80521  
Registration No. 6586

### SURVEYOR'S STATEMENT

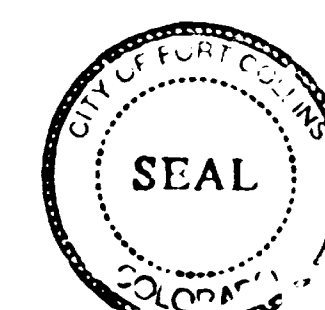
I, Gerald D. Gilliland, a Professional Land Surveyor in the State of Colorado, do hereby state that the survey and legal description shown hereon was made under my direct responsibility, supervision and checking and that this plat accurately represents said survey and that all monuments exist as shown hereon.



Gerald D. Gilliland  
Registered Land Surveyor  
Colorado Registration No. 14823  
12/8/97  
Date

NOTICE: According to Colorado Law, you must commence any legal action based upon any defect on this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of survey shown hereon.

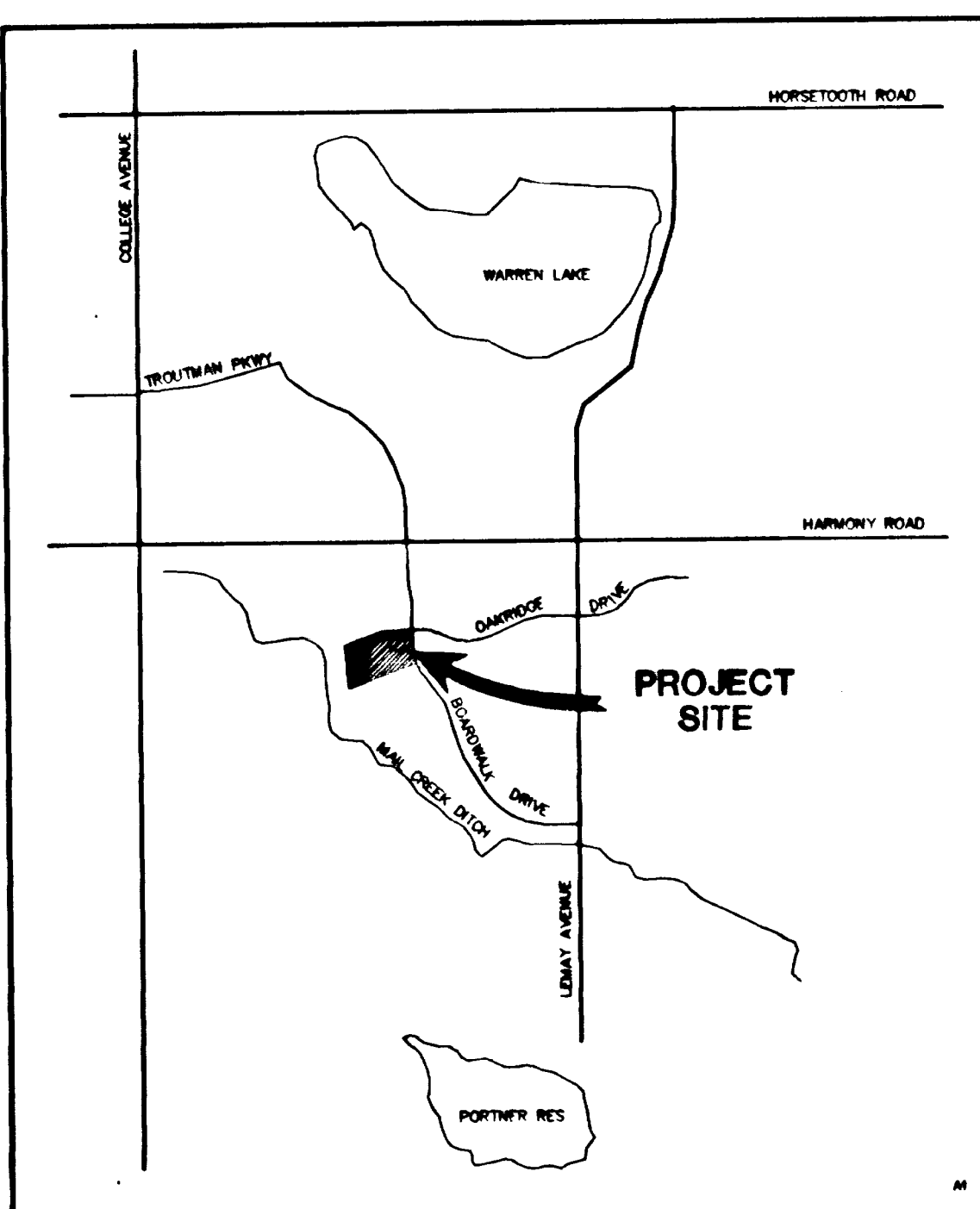
Approved as to form by the Director of Engineering of the City of Fort Collins, on the 21st day of August, A.D., 1997.



Director of Engineering

Approved by the City of Fort Collins Planning and Zoning Board on this 21st day of August, A.D., 1997.

Secretary of Planning and Zoning Board



### US WEST APPROVAL

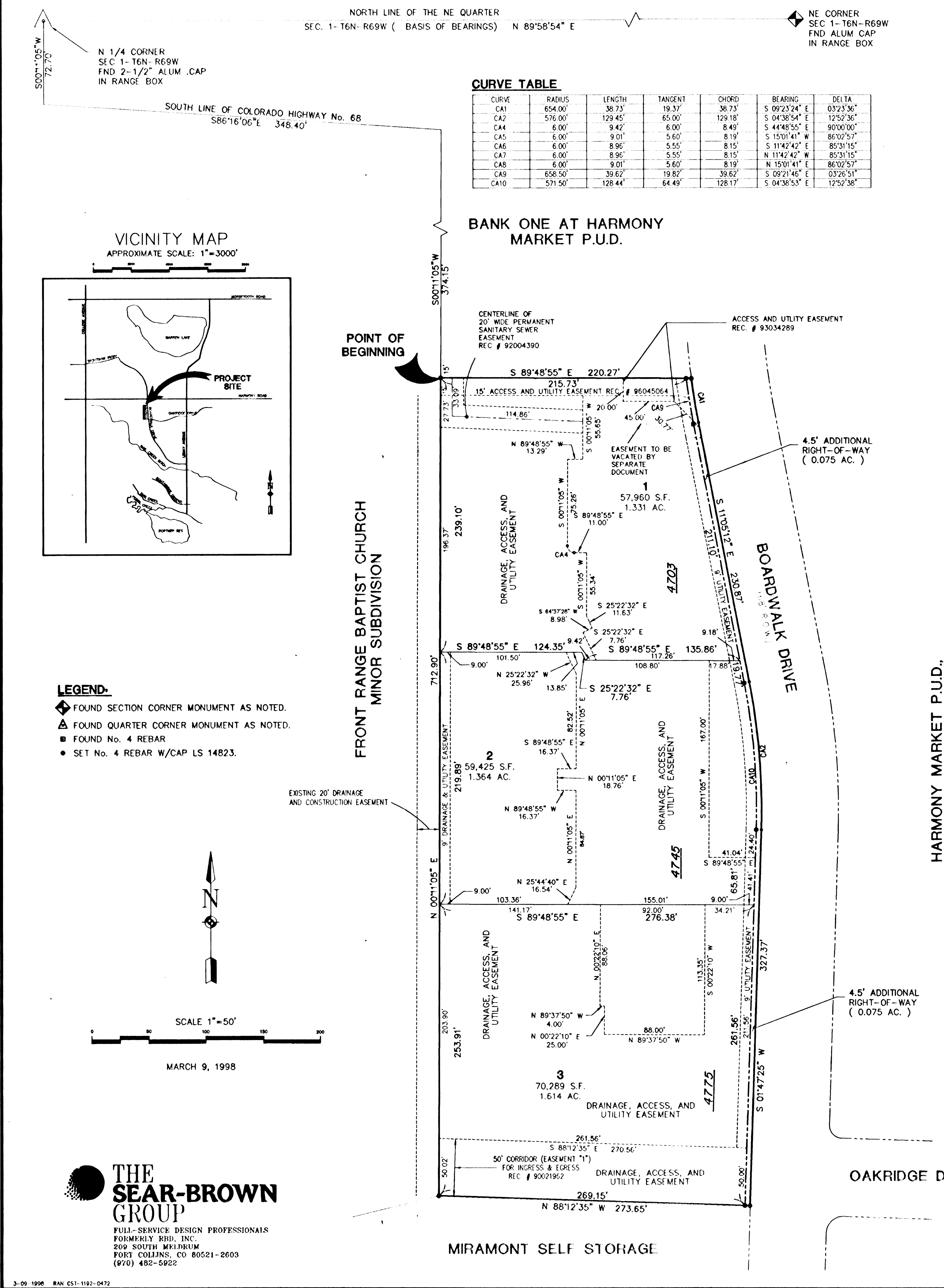
APPROVED \_\_\_\_\_

DATE 12/2/97



M-96 2100

DWG NAME: 5040210.DWG X-REFS: NONE



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
CA1	654.00'	38.73'	19.37'	38.73'	S 09°23'24" E	03°23'36"
CA2	576.00'	129.45'	65.00'	129.18'	S 04°38'54" E	12°52'36"
CA3	6.00'	9.42'	6.00'	8.49'	S 44°48'55" E	90°00'00"
CA4	6.00'	9.01'	5.60'	8.19'	S 15°01'41" W	86°02'57"
CA5	6.00'	8.96'	5.55'	8.15'	S 11°42'42" E	85°31'15"
CA6	6.00'	8.96'	5.55'	8.15'	N 11°42'42" W	85°31'15"
CA7	6.00'	9.01'	5.60'	8.19'	N 15°01'41" E	86°02'57"
CA8	658.50'	39.62'	19.82'	39.62'	S 09°21'46" E	03°26'51"
CA9	571.50'	128.44'	64.49'	128.17'	S 04°38'53" E	12°52'38"
CA10						

A PLAT OF  
**MIRAMONT OFFICE PARK**  
A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER  
OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 69 WEST  
OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FORT  
COLLINS, LARIMER COUNTY, COLORADO.

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, being all the Owners and Lienholder of the following described property;

A tract of land located in the Northeast Quarter of Section 1, Township 6 North, Range 69 West of the 6th Principal Meridian, City of Fort Collins, Larimer County, Colorado, being more particularly described as follows:

Considering the North line of the Northeast Quarter of said Section 1 as bearing North 89°58'54" East and with all bearings contained herein relative thereto:

Commencing at the North Quarter corner of said Section 1; thence South 00°11'05" West, 72.70 feet to the South right-of-way line of Colorado State Highway No. 68; thence along said South right-of-way line, South 86°16'06" East, 348.40 feet; thence departing said South right-of-way line, South 00°11'05" West, 374.15 feet to the POINT OF BEGINNING, said point also being the Southeast corner of Bank One at Harmony Market P.U.D.; thence along the South line thereof, South 89°48'55" East, 220.27 feet to a point on a non-tangent curve concave to the Northeast having a central angle of 03°23'36", a radius of 654.00 feet and the chord of which bears South 09°23'24" East, 38.73 feet, said point also being on the West right-of-way line of Boardwalk Drive; thence along the arc of said curve and said West line, 38.74 feet; thence, South 11°05'12" East, 230.87 feet to a curve concave to the West having a central angle of 12°52'36", a radius of 576.00 feet and the chord of which bears South 04°38'54" East, 129.18 feet; thence along the arc of said curve, 129.45 feet; thence, South 01°47'25" West, 327.37 feet to the Northeast corner of Miramont Self Storage; thence along said North line thereof, North 88°12'35" West, 273.65 feet to the Southeast corner of Front Range Baptist Church Minor Subdivision; thence along said East line thereof, North 00°11'05" East, 712.90 feet to the POINT OF BEGINNING.

The above described tract of land contains 4.383 acres more or less.

The undersigned have caused the above described land to be surveyed and subdivided into lots, tracts, passageways, streets, utility and other easements as shown on this Plat to be known as "MIRAMONT OFFICE PARK" and is subject to all easements and rights-of-ways now on record or existing.

The undersigned does hereby dedicate and convey to the public use, forever, streets and easements as laid out and designated on this plat; provided, however, that: 1) acceptance by the City of this dedication of easements does not impose upon the City a duty to maintain the easements so dedicated and 2) acceptance by the City of this dedication of streets does not impose upon the City a duty to maintain the streets so dedicated until such time as the streets are inspected and accepted by the Director of Engineering.

All maintenance to the above described streets shall be performed by the undersigned (and his/her successors in interest) until such time as the City expressly assumes, in writing, the duty of such maintenance.

All expenses involving necessary improvements for a water system, sanitary sewer system, storm sewer system, curbs and gutters, sidewalks, street improvements, street signs, traffic control signs, grading and surfacing, gas service, electric service, grading and landscaping shall be paid by the Owner.

OWNER AND LIENHOLDER:  
Witness our hands and seals this 10<sup>th</sup> day of March, A.D., 1998.

By: Gary E. Nordic, Manager.  
STATE OF COLORADO ) ss.  
COUNTY OF LARIMER )  
The foregoing instrument was acknowledged before me this 6<sup>th</sup> day of March, A.D., 1998 by Gary E. Nordic, Manager.

Witness my hand and official seal.  
My Notarial Commission expires 2/28/2000  
Notary Public  
1319 White Oak Court  
Fort Collins, CO 80525  
City, State, Zip Code

OWNER:  
Witness our hands and seals this 10<sup>th</sup> day of March, A.D., 1998.

By: Allan E. Vaughan  
Allan E. Vaughan  
STATE OF COLORADO ) ss.  
COUNTY OF LARIMER )  
The foregoing instrument was acknowledged before me this 16<sup>th</sup> day of March, A.D., 1998 by Allan E. Vaughan.

Witness my hand and official seal.  
My Notarial Commission expires 2/28/2000  
Notary Public  
1319 White Oak Court  
Fort Collins, CO 80525  
City, State, Zip Code

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STATE OF COLORADO ) ss.  
COUNTY OF LARIMER )  
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Witness my hand and official seal.  
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Notary Public  
1319 White Oak Court  
Fort Collins, CO 80525  
City, State, Zip Code

OWNER:  
Witness our hands and seals this 10<sup>th</sup> day of March, A.D., 1998.

By: Carol L. Vaughan  
Carol L. Vaughan  
STATE OF COLORADO ) ss.  
COUNTY OF LARIMER )  
The foregoing instrument was acknowledged before me this 16<sup>th</sup> day of March, A.D., 1998 by Carol L. Vaughan.

Witness my hand and official seal.  
My Notarial Commission expires 2/28/2000  
Notary Public  
1319 White Oak Court  
Fort Collins, CO 80525  
City, State, Zip Code

LIENHOLDER:  
Witness our hands and seals this 9<sup>th</sup> day of March, A.D., 1998.

By: Oak Farm, Inc.  
Michael S. Byrne, President  
By: Roberto S. Martin  
Roberto S. Martin, Secretary  
STATE OF COLORADO ) ss.  
COUNTY OF LARIMER )  
The foregoing instrument was acknowledged before me this 9<sup>th</sup> day of March, A.D., 1998 by Michael S. Byrne, President, Oak Farm, Inc.

Witness my hand and official seal.  
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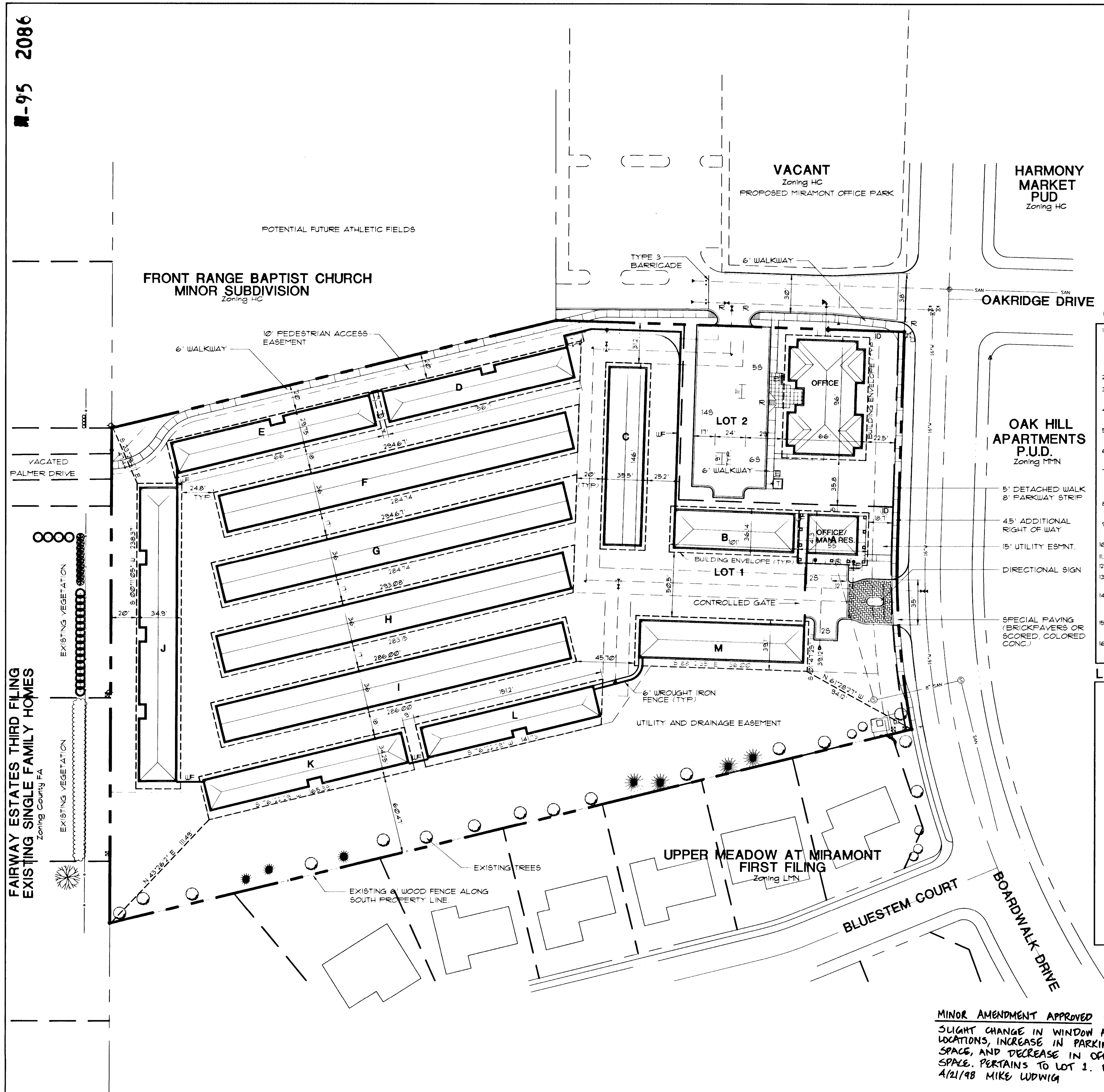
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**THE SEAR-BROWN GROUP**  
FULL-SERVICE DESIGN PROFESSIONALS  
FORMERLY RHD, INC.  
209 SOUTH MILITARY  
FORT COLLINS, CO 80521-2603  
(970) 482-5922

M-96 2100





## PROPERTY DESCRIPTION

A tract of land located in the Northeast Quarter of Section 1, Township 6 North, Range 69 West of the 6th Principal Meridian, City of Fort Collins, Larimer County, Colorado, being more particularly described as follows:

Considering the North line of the Northeast Quarter of said Section 1 as bearing North 89°58'45" East from an aluminum cap in range box at the North Quarter corner of said Section 1 to an aluminum cap in range box at the Northeast corner of said Section 1 and with all bearings contained herein relative thereto:

Commencing at the North Quarter corner of said Section 1, said point also being on the East line of Third Filing of Fairway Estates on file at the Clerk and Recorder, Larimer County, Colorado; thence along said East line, South 00°11'05" West, 1266.78 feet to the Southwest corner of Front Range Baptist Church Minor Subdivision on file at the Clerk and Recorder, Larimer County, Colorado and the POINT OF BEGINNING; thence along the South line of said Front Range Baptist Church Minor Subdivision, North 76°22'29" West, 358.08 feet to the Southeast corner of said Front Range Baptist Church Minor Subdivision; thence departing said South line, South 88°12'35" East, 273.65 feet to a point on the West right-of-way line of Boardwalk Drive; thence along said West right-of-way line, South 04°42'25" West, 168.10 to a curve concave to the East, having a central angle of 12°42'50", a radius of 644.00 feet and the chord of which bears South 04°34'00" East, 142.61 feet; thence along the arc of said curve 142.90 feet to a point on a non-tangent line, said point also being the Northeast corner of Upper Meadow At Miramont, First Filing P.U.D. on file at the Clerk and Recorder, Larimer County, Colorado; thence along the North line of said Upper Meadow At Miramont, First Filing P.U.D., South 76°22'29" West, 647.08 feet to the Northwest corner of said Upper Meadow At Miramont First Filing P.U.D., said point also being on the East line of said Third Filing of Fairway Estates; thence along said East line, North 00°11'05" East, 386.81 feet to the Point of Beginning.

The above tract of land contains 5.268 acres

## GENERAL NOTES

1. ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF ALL BUILDINGS WILL BE LOCATED WITHIN 180" OF AN ACCESS ROADWAY IN WHICH EMERGENCY FIRE EQUIPMENT CAN BE MANEUVERED, OR THE BUILDINGS WILL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM BUILDING SIZE OR OTHER CRITERIA OF THE FPOUR FIRE AUTHORITY MAY ALSO INDICATE THE NEED FOR AN APPROVED FIRE EXTINGUISHING SYSTEM OR OTHER FIRE PROTECTION MEASURES.
2. SEE SUBDIVISION PLAT AND UTILITY PLANS FOR ALL EASEMENTS AND LOT AND TRACT AREAS.
3. HANDICAPPED ACCESS RAMP TO BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT DESIGNATED HANDICAPPED PARKING SPACES.
4. LOCATION AND NUMBER OF BUILDING ENTRIES MAY VARY WITH COMPLETION OF CONSTRUCTION. AN ADMINISTRATIVE CHANGE WILL BE REQUIRED TO MODIFY THE ELEVATIONS.
5. ACCENT LIGHTING OF SIGNAGE, SCULPTURAL AND/OR LANDSCAPE ELEMENTS IS ALLOWED. SUBJECT TO UNIFORM BUILDING CODE REQUIREMENTS.
6. ALL VISIBLE ROOFTOP MECHANICAL UNITS ARE TO BE COMPLETELY SCREENED WITH METAL DECKING STRUCTURES OF A COLOR COMPLEMENTARY TO THE BUILDING FINISH.
7. EXTERIOR LIGHTING, BOTH BUILDING MOUNTED AND POLE MOUNTED, WILL BE PROVIDED FOR SAFETY REASONS. POLE MOUNTED LIGHTING TO BE EQUIPPED WITH HIGH PRESSURE SODIUM AS THE LIGHT SOURCE. 20' MAXIMUM HEIGHT ON POLES. ALL BUILDING OR POLE MOUNTED FIXTURES TO FEATURE SHARP CUT-OFF, DOWN DIRECTIONAL LUMINAIRES.
8. ALL SIGNS UTILIZED WILL COMPLY WITH THE CITY SIGN CODE UNLESS SPECIFIC VARIANCES ARE REQUESTED AND APPROVED BY THE ZONING BOARD OF APPEALS.
9. ALL BIKE RACKS SHALL BE PERMANENTLY MOUNTED TO CONCRETE, AND SHALL NOT INTERFERE WITH PEDESTRIAN ACCESS.
10. TRASH ENCLOSURES TO MATCH FINISH MATERIALS OF ADJACENT BUILDINGS.
11. DEVELOPMENT MAY BE PHASED ON A LOT BY LOT BASIS. LOT 1 WILL BE DEVELOPED FIRST.
12. EASEMENTS FOR WATER METERS ARE TO BE EXCLUDED FROM BUILDING ENVELOPES.
13. COMMON OPEN SPACE AREAS, AND ADJACENT ROW ARE TO BE MAINTAINED BY THE LOT OWNERS/TENANTS.
14. ALL ON-SITE LANDSCAPING TO BE INSTALLED OR SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
15. THIS IS A SITE SPECIFIC DEVELOPMENT PLAN. APPROVAL OF WHICH IS INTENDED TO CREATE A VESTED PROPERTY RIGHT PURSUANT TO ARTICLE 66 OF TITLE 24 C.R.S.
16. ALL BUILDINGS MUST BE SEPARATED BY A MINIMUM OF 10' UNLESS APPROVED. FIRE PROTECTION MEASURES ARE TAKEN PER THE BUILDING CODE.

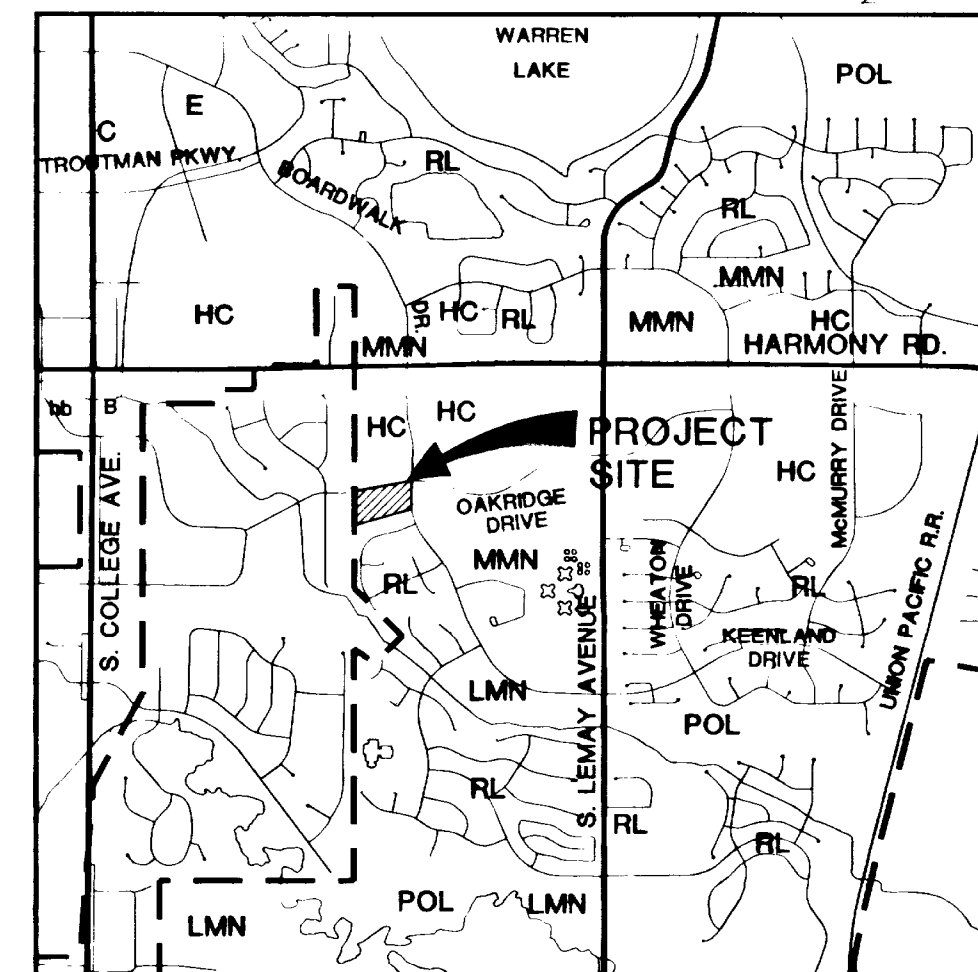
## LAND USE BREAKDOWN

EXISTING ZONING: HC HARMONY CORRIDOR DISTRICT.

AREA	GROSS NET	229,471 sq ft.	5.27 AC
LAND USE	LOT 1: SELF STORAGE UNITS ONE TWO BEDROOM APARTMENT (MANAGER'S RESIDENCE ONLY) LOT 2: OFFICE BUILDING	1246 sq ft. 66,500 sq ft. 140 sq ft. 5,000 sq ft. 14,952 sq ft. 80,633 sq ft.	0.5% 23.0% 0.5% 2.1% 32.1% 35.1%
COVERAGE	STREET ROW SELF STORAGE MANAGER'S RES. LOT 2 OFFICE PARKING & DRIVES LANDSCAPING	1246 sq ft. 66,500 sq ft. 140 sq ft. 5,000 sq ft. 14,952 sq ft. 80,633 sq ft.	0.5% 23.0% 0.5% 2.1% 32.1% 35.1%
FLOOR AREA	LOT 1: SELF STORAGE UNITS MANAGER'S RESIDENCE LOT 2: OFFICE BUILDING	66,500 sq ft. 2,300 sq ft. 75,000 sq ft.	
PARKING PROVIDED	LOT 1: STANDARD HANDICAPPED SUBTOTAL BICYCLES LOT 2: STANDARD HANDICAPPED SUBTOTAL BICYCLES TOTAL VEHICLES (LOT 1 AND 2)	4 spaces 1 spaces 5 spaces 6 spaces 25 spaces 2 spaces 27 spaces 6 spaces 44 spaces	22/1000 SF (6 per rack) 36/1000 SF 45/1000 SF

MINOR AMENDMENT APPROVED TO ALLOW  
SLIGHT CHANGE IN WINDOW AND DOOR  
LOCATIONS, INCREASE IN PARKING / SIDEWALK  
SPACE, AND DECREASE IN OFFICE/RESIDENCE  
SPACE. PERTAINS TO LOT 1. EFFECTIVE  
4/21/98 MIKE LUDWIG

JOHN H. KING III  
DEVELOPMENT CONSULTANT  
8551 SOUTH REVERE PARKWAY, SUITE 225, ENGLEWOOD, CO 80111  
(303) 792-0952

VICINITY MAP  
SCALE 1"=2000'

## SIGNATURE BLOCK

THIS IS TO CERTIFY THAT AS OF THE 31<sup>st</sup> DAY OF DECEMBER, 1997, THE  
UNDERSIGNED PARTIES ARE SOLE OWNERS OF RECORD OF THE REAL PROPERTY  
DESCRIBED IN THE ABOVE SITE PLAN AS CONSTRUED IN C.R.S. 312-11 AND CONSENT  
TO THE DEVELOPMENT OF SAID PROPERTY AS SHOWN ACCORDING TO SAID PLAN.

*William L. Neal*  
WILLIAM L. NEAL MEMBER FT. COLLINS STORAGE, LLC  
NORTHERN COLORADO SELF STORAGE LTD. L.L.P.  
1185 W. DRAKE, FT. COLLINS, CO.  
ADDRESS  
STATE OF COLORADO 805  
COUNTY OF LARIMER 185

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 31<sup>st</sup> DAY OF DECEMBER, 1997, BY William L. Neal and William L. Neal as the sole owners of record of the real property described in the above site plan as construed in C.R.S. 312-11 and consent to the development of said property as shown according to said plan.

MY COMMISSION EXPIRES 11/18/2001  
WITNESS MY HAND AND OFFICIAL SEAL

*Robert E. Blawie*  
NOTARY PUBLIC  
APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF FORT COLLINS, COLORADO ON THIS 21<sup>st</sup> DAY OF AUGUST, 1997.

*Robert E. Blawie*  
SECRETARY OF THE PLANNING AND ZONING BOARD

## LEGEND

●	EXISTING TREES
R	ACCESSIBILITY RAMPS
T	TRASH CURBSTER
E	ELECTRIC TRANSFORMER
B	BIKE RACK
(D)	IDENTIFICATION SIGN
WF	6" WROUGHT IRON FENCE
S	STANDARD PARKING (8' x 17')
CA	HANDICAP PARKING (11' x 17')

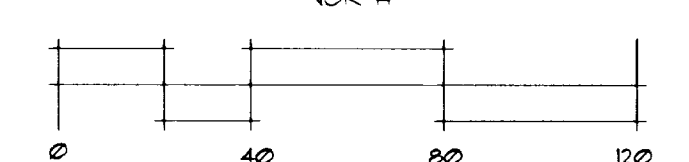
Cityscape  
urban design, inc.  
3555 standard road, suite 105  
fort collins, colorado 80525  
(970) 276-4074

MIRAMONT SELF  
STORAGE P.U.D.

## FINAL SITE PLAN

ACAD FILE: 8/8653  
PROJECT NO: 21066  
SCALE: 1"=40'

DATE OF PREPARATION: 4-23-97  
REVISIONS: BY  
DATE DESCRIPTION  
6-24-97 CITY COMMENTS AG/TH  
8-4-97 CITY COMMENTS AG/TH



SHEET NO 1 OF 3



## TREE PROTECTION NOTES

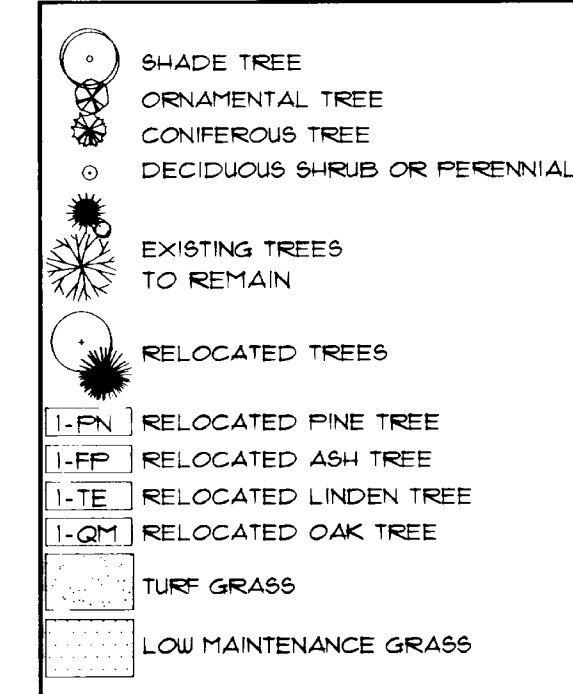
1. TREES TO BE RELOCATED ON SITE SHALL BE SPADE DUG AND MOVED TO THEIR NEW LOCATION WHEN POSSIBLE OR RELOCATED TO A TEMPORARY FACILITY. SUCH FACILITY SHALL BE DESIGNATED BY THE LANDSCAPE CONTRACTOR WHO IS RESPONSIBLE FOR MAINTENANCE OF THESE TREES PER THE SPECIFICATIONS.
2. UTILITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES AT LEAST 48 HRS. PRIOR TO ANY DIGGING.
3. REFERENCE THE SPECIFICATIONS FOR ANY ADDITIONAL NOTES OR REQUIREMENTS RELATED TO THIS PLAN.
4. BASE INFORMATION PROVIDED BY SEAR-BROWN ENGINEERING INC. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING BASE INFORMATION. REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
5. WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE THERE SHALL BE NO CUT OR FILL OVER A FOUR INCH (4") DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
6. PRIOR TO AND DURING CONSTRUCTION BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF 4' HEIGHT SECURED WITH METAL T-POSTS NO CLOSER THAN SIX (6') FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE WHICHEVER IS GREATER THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT MATERIAL, DEBRIS, OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
7. DURING THE CONSTRUCTION STAGE OF DEVELOPMENT THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
8. NO DAMAGING ATTACHMENT, WIRES, SIGNS, OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.

FRONT RANGE BAPTIST CHURCH  
MINOR SUBDIVISION  
Zoning HCVACANT  
Zoning HCHARMONY  
MARKET  
PUD  
Zoning HC

OAKRIDGE DRIVE

OAK HILL  
APARTMENTS  
P.U.D.  
Zoning M1N

## LEGEND



## PLANT NOTES

1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
2. ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
3. ALL TREES TO BE BALLED & BURLAPPED, CONTAINERIZED OR ROOT CONTROL BAG.
4. ALL SHRUB BEDS TO BE MULCHED WITH WOOD OR GRAVEL MULCH (3" AVERAGE DEPTH) ON TYFAR FILTER FABRIC.
5. EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/8" X 4" STEEL SET LEVEL WITH TOP OF SOG.
6. A TREE PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY.
7. MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PUD PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED AS APPROVED BY AN ADMINISTRATIVE CHANGE.
8. ALL ON-SITE LANDSCAPING MUST BE INSTALLED OR SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND INSTALLATION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
9. THE INDIVIDUAL OWNERS WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING THE PLANTINGS IN PUBLIC STREET RIGHTS-OF-WAY.
10. KEEP ALL TREES 10' CLEAR FROM WATER AND SANITARY SEWER LINES, AND 4' CLEAR FROM GAS LINES. ALL SHRUBS MUST BE KEPT 4' CLEAR OF METER FITS.
11. THE IRRIGATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE CITY'S WATER DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT. THE IRRIGATION SYSTEM MUST BE INSTALLED OR SECURED WITH A FINANCIAL INSTRUMENT DEPOSITED WITH THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING.
12. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
13. SOILS SHALL BE AMENDED WITH ORGANIC MATTER AT THE RATE OF 3 CU/YDS PER 1000 SF.
14. TURF GRASSES ARE TO BE SODDED OR SEEDED WITH A TURF TYPE TALL FESCUE GRASS MIX.
15. AREAS INDICATED AS LOW MAINTENANCE GRASSES SHALL BE SEEDED WITH THE LOW MAINTENANCE MIX FROM SHARP BROS. SEED CO. OR EQUAL.
16. CONTRACTOR TO HAVE UTILITIES LOCATED PRIOR TO PLANTING.
17. IF WORK DONE ON THE WATER AND SEWER SERVICE LINES CAUSES SHRUBS TO BE REMOVED THEY MUST BE REPLACED IN ACCORDANCE WITH THIS P.U.D. DOCUMENT AT THE PROPERTY OWNER'S EXPENSE.
18. OWNER TO WORK WITH ADJACENT HOMEOWNERS ON EXACT TREE PLACEMENT TO DETERMINE THE BEST LOCATIONS TO SCREEN VIEWS. ACTUAL LOCATIONS OF PLANT MATERIALS MAY VARY IN THOSE LOCATIONS BUT OVERALL QUANTITIES TO BE CONSISTENT WITH THE PLANS.

## PLANT LIST

CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY	SPACING
DECIDUOUS TREES					
AL	Amelanchier laevis	Cunila Serviceberry	15' cal	3	See Plan
PA	Crataegus ambigua	Russian Hawthorne	15' cal	1	See Plan
MB	Fraxinus mandshurica 'Mancana'	Hawthorne	15' cal	1	See Plan
MB	Fraxinus pennsylvanica 'Palmora'	Palmora Ash	15' cal	6	140' o.c.
TC	Tilia cordata 'Greenspire'	Greenspire Crabapple	15' cal	4	See Plan
QM	Quercus macrocarpa	Burr Oak	2' cal	6	See Plan
CONIFEROUS TREES					
FE	Pinus echula	Pinon Pine	5-6' ht	9	See Plan
FN	Pinus nigra	Austrian Pine	6-8' ht	4	See Plan
FN	Pinus nigra	Austrian Pine	8-10' ht	5	See Plan
FN	Pinus nigra	Austrian Pine	12-15' ht	19	See Plan
FRG	Picea pungens glauca	Colorado Blue Spruce	6-8' ht	4	See Plan
FRG	Picea pungens glauca	Colorado Blue Spruce	8-10' ht	1	See Plan
DECIDUOUS SHRUBS					
AA	Amelanchier alnifolia	Serviceberry	5 gal	8	See Plan
CSB	Cornus sericea 'Isanti'	Isanti Dogwood	5 gal	12	See Plan
RA	Ribes aureum	Golden Currant	5 gal	5	5' o.c.
RMC	Rosa x 'Morden Centennial'	Morden Centennial Rose	5 gal	24	4' o.c.
RO	Ribes odoratum	Yellow Flowering Currant	5 gal	16	5-6' o.c.
SA	Symphoricarpos albus	White Snowberry	5 gal	5	5' o.c.
SB	Spiraea x buntida 'Froebel'	Froebel Spiraea	5 gal	9	4' o.c.
SV	Syringa vulgaris	Common Purple Lilac	5 gal	9	See Plan
VL	Viburnum lentago	Nannyberry Viburnum	5 gal	13	See Plan
VTC	Viburnum trilobum compactum	Compact American Cranberry	5 gal	11	4' o.c.
EVERGREEN SHRUBS					
JA	Juniperus ch. 'Armstrongii'	Armstrong Juniper	5 gal	3	5' o.c.
JBC	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gal	31	5' o.c.
JCC	Juniperus sibirica 'Calgary Carpet'	Calgary Carpet Juniper	5 gal	14	5' o.c.
JH	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal	23	5' o.c.
JS	Juniperus scopulorum	Rocky Mountain Juniper	5 gal	11	See Plan
JTT	Juniperus scop. 'Table Top Blue'	Table Top Blue Juniper	5 gal	31	See Plan
PERENNIALS AND ORNAMENTAL GRASSES					
DAY	Hemerocallis spp.	Daylily	1 gal	20	24" o.c.
MY	Miscanthus sinensis 'Yaku Jima'	Yaku Jima Miscanthus Grass	5 gal	12	30" o.c.
MIS	Miscanthus sinensis 'Gracillimus'	Miscanthus Grass	5 gal	9	4-5' o.c.

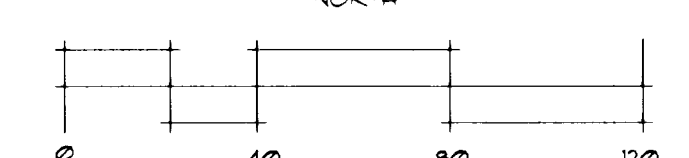
## LANDSCAPE BREAKDOWN

TURF AREAS			
HIGH WATER TURF	0 sq.ft.	0%	
MODERATE WATER TURF	57,984 sq.ft.	13%	
LOW WATER TURF	12,645 sq.ft.	16.0%	
SHRUB BEDS			
HIGH WATER SHRUB BEDS	0 sq.ft.	0%	
MODERATE WATER SHRUB BEDS	3,588 sq.ft.	4.5%	
LOW WATER SHRUB BEDS	5,108 sq.ft.	6.4%	
OTHER			
NON IRRIGATED	0 sq.ft.	0%	
TOTAL LANDSCAPE AREA		79,295 sq.ft.	100%

Cityscape

urban design, inc.  
3550 stonford road, suite 105  
fort collins, colorado 80525  
(970) 226-4074MIRAMONT SELF  
STORAGE P.U.D.

## FINAL LANDSCAPE PLAN

JOHN H. KING III  
DEVELOPMENT CONSULTANT  
6551 SOUTH REVERE PARKWAY, SUITE 225, ENGLEWOOD, CO 80111  
(303) 792-0052DATE OF PREPARATION: 4-23-91  
REVISIONS:  
DATE DESCRIPTION BY  
6-24-91 CITY COMMENTS AG/TH  
8-4-91 CITY COMMENTS AG/TH

SHEET NO. 2 OF 3



February 25, 2016

City of Fort Collins  
Engineering Department  
281 North College Avenue  
Fort Collins, Colorado 80522

**RE: Development of 4803 Boardwalk Avenue  
Fort Collins, Colorado**

Dear City Staff:

This letter is being provided with the following intents:

1. To document for City personnel that the owner of the SecurCare Self Storage facility located at 4815 East Boardwalk Avenue is:  
SecurCare Properties I LLC  
9226 Teddy Lane, Ste 100  
Lone Tree, CO 80124  
(303) 705-8000
2. That the property owner for the proposed development of 4803 East Boardwalk Avenue has contacted SecurCare Properties I LLC (SecurCare) regarding the proposed development. It is understood from these communications that that some minor grading may be required within SecurCare property between the existing office and storage buildings and the east-west lot line shared between the two properties.
3. SecurCare understands that a temporary construction easement, granted by SecurCare, will be required prior to construction to allow for these grading activities.
4. At the date of this letter, SecurCare intends to approve the temporary construction easement for the grading activities provided that: the work is limited to the area north of said buildings, the work does not damage any existing improvements on SecurCare property, and that the property disturbed by the grading be restored to a condition equal to or better than the current conditions.

If you should have any questions regarding this letter, please contact us at the contact information provided above.

Sincerely,

Christine Wess  
Operations Manager

9226 Teddy Lane  
Lone Tree, CO 80124  
[www.securcare.com](http://www.securcare.com)  
303-705-8000