

PROJECT NAME

ALLIED BUILDING PRODUCTS #PDP180015

STAFF

Kai Klear, Associate Planner

PROJECT INFORMATION

PROJECT DESCRIPTION: This is a request to develop Lot Two of the Centerpoint Plaza Subdivision. The proposal is to build a 6,600 SF material storage building and storage yard to support the existing operations of Allied Building Products to the south. The structure will remain open on the east side and site access will be limited, strictly for the purpose of material pick-up and delivery. Two points of access are proposed from a private drive that runs along the west side of the property and from Midpoint Drive along the north. The parcel is 1.87 acres and will be constructed as a single phase. The property is located at 2145 Midpoint Drive and zoned E, Employment.

APPLICANT: Deanne Fredrickson
Baseline Engineering
4007 S Lincoln, Suite 405
Loveland, CO 80637

OWNER: Gypro Properties LLC
c/o Golden Commercial Group
15400 W. 64th Avenue Unit 9E #11
Arvada, CO 80007

RECOMMENDATION: Staff recommends approval of the Project Development Plan.

EXECUTIVE SUMMARY

- This is an accessory building to the existing principle wholesale distribution building and is a permitted use in the Employment (E) zone subject to Administrative Review.
- The P.D.P. complies with the standards of the Employment zone.
- The P.D.P. complies with the applicable General Development Standards of Article Three.

COMMENTS

1. Background:

The surrounding zoning and land uses are as follows:

Direction	Zone District	Use
North	Employment (E)	Self-Storage
South	Employment (E)	Warehouse (Allied Building Products)
East	Employment (E)	Larimer County Community Corrections
West	Employment (E)	Professional Office

The property was annexed as part of the East Prospect Street First Annexation in 1973. In 2003, the Centerpoint Plaza Subdivision was approved consisting of three lots totaling 6.43 acres. The lot associated with this development application has remained undeveloped and contains a private drive which currently serves Allied Building Products and adjoining lot to the west.

3. Article Four – Employment Zone District:

The P.D.P. complies with the following applicable development standards in Employment zone district:

A. *Section 4.27(D)(4) – Dimensional Standards:*

The maximum allowable height in the E zone is four stories. The proposed building is one story.

4. Article Three – General Development Standards:

A. Section 3.2.1 – Landscaping and Tree Protection:

The key attributes of the Landscape Plan are as follows:

- Street trees will be provided in the parkway along Midpoint Drive generally at intervals that are less than 40 feet which exceeds the standard.
- Behind the sidewalks, between the walk and the building/loading area, additional landscaping is provided primarily in the form of shrub beds and foundation plantings. The northern most shrub bed is designed to fully screen the material storage and vehicle use area year-round with a combination of evergreen and deciduous plant material.
- Trees and shrubs are provided along the east edge next to an existing fence, and along the west edge of the proposed storage shed. Additional trees are provided on the southern portion of the lot in between the proposed building and existing Allied Building Products warehouse.

B. Section 3.2.1(F) – Tree Mitigation:

The site has been inspected by the City Forestry Department. Trees that are scheduled to be removed and found to have value. All trees to be removed have been appraised and assigned a mitigation value. The Landscape Plan reflects the mitigation of five (5) trees which will be replaced at a 1:1 or 1:2 ratio.

C. Section 3.2.2 – Access, Circulation and Parking:

As would be expected for a material storage building and yard with a secured perimeter, there are limited aspects related to access, circulation and parking. There two access points and one located off an internal private drive and another along Midpoint Drive on the north end of the site. An emergency access easement is dedicated internal to the site to ensure unobstructed circulation for emergency responders.

D. Section 3.2.2(C)(5) – Walkways:

A new direct-connecting walkway that links the entrance of the existing Allied Building Products to Midpoint Drive.

E. Section 3.2.4 – Site Lighting:

All lighting is wall-mounted with the exception of a single light fixture on the southernmost portion of the storage yard. All fixtures will feature LED and specified at the lower color range of 3000-degrees Kelvin in order to minimize glare. Fixtures will be fully shielded and down-directional. Illumination is specifically designed to not spillover into any adjacent site.

F. Section 3.5.1(I) Outdoor Storage Areas/Mechanical Equipment.

All outdoor storage taking place on site will be setback 20 feet from the public right-of-way meeting minimum requirements. The overall design of the street fronting portion of the project has been designed in a way that uses high quality fencing and evergreen/deciduous plants to provide year-round screening from adjacent properties and public streets.

G. 3.5.3(E) – Character and Image

The proposal includes façade treatments that meets the standards of this section. The north, west and south walls feature a stone veneer at the base of the building with columns of stone that interrupt the façade at 20-foot intervals. Above the stone veneer base the building includes an ivory corrugated wall system, pitched roof and 12” overhangs.

H. 3.6.6 - Emergency Access

Emergency access will be provided through an updated emergency access easement that passes through the private drive and terminates on the southern paved area of the material storage area. Signs will be used to ensure the area remains free from obstructions.

I. Section 3.8.11 – Fences and Walls

The 6-foot fencing provided along Midpoint Drive will be built in a way that integrates brick columns with wrought-iron fencing. The proposed fencing complements the established character of the area.

6. Findings of Fact/Conclusion:

In evaluating the request for Allied Building Products Project Development Plan, Staff makes the following findings of fact:

1. Wholesale distribution and the accessory building as proposed is a permitted use in the Employment (E) zone district, subject to Administrative Review (Type One).
2. The P.D.P. complies with the development standards of the E zone district
3. The P.D.P. complies with the applicable standards of Article Three – General Development Standards.

RECOMMENDATION

Staff recommends approval of the Allied Building Products Project Development Plan, PDP180015.

ATTACHMENTS

1. Vicinity Map
2. Zoning Map
3. Applicant's Project Narrative
4. Applicant's Planning Objectives
5. Site Plan
6. Landscape Plan
7. Architectural Elevations

Mountain Sage
Community School

E Prospect Rd

Spring Creek

S Timberline Rd

Specht Point Rd

Midpoint Dr

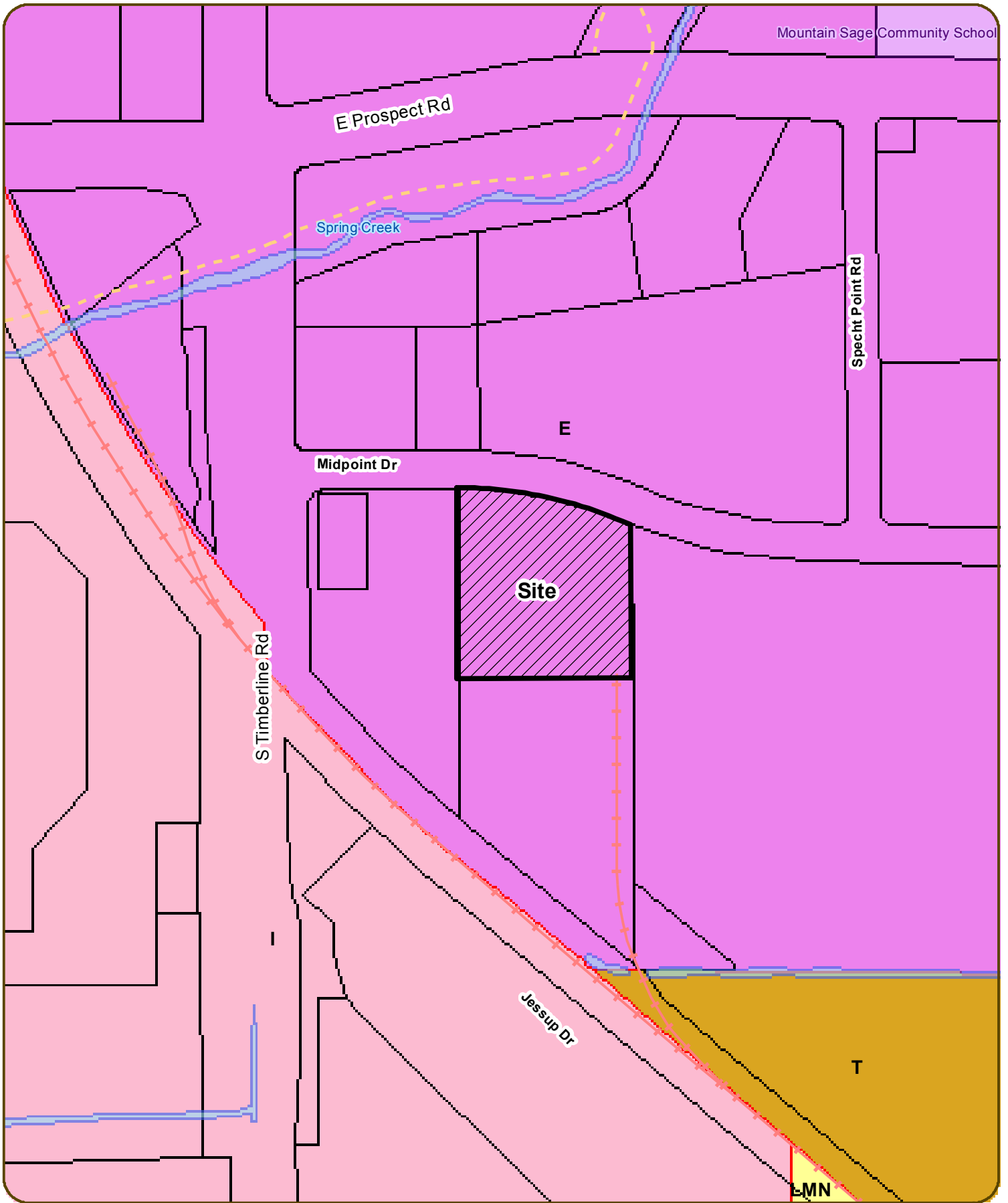
Site

Jessup Dr

1 inch = 208 feet

Allied Building Products Vicinity Map





Mountain Sage Community School

E Prospect Rd

Spring Creek

Specht Point Rd

E

Midpoint Dr

Site

S Timberline Rd

Jessup Dr

T

LMN

1 inch = 208 feet

Allied Building Products Zoning Map



October 3, 2018



City of Fort Collins
Community Development and Neighborhood Services
281 N. College Ave.
Fort Collins, CO 80522-0580

RE: Allied Building Products – Project Development Plan
2155 Midpoint Drive, Fort Collins, CO 80525

Statement of Planning Objectives

This is a request to develop the lot north of 2155 Midpoint Dr, Fort Collins, CO 80525. The proposal is to build a lean-to structure and storage yard to support storage and distribution of roofing materials for the Allied Building Products property to the south. The proposed structure is a 6,600 SF that will be completely open on the east side, opening up to a storage yard. The total site area is 1.87 acres. The proposed project is within the Employment (E) zone district and is subject to administrative (Type 1) Review. The intent is to provide a site to receive and distribute roofing materials. There will be no retail sales at this location.

A neighborhood meeting was not conducted for this proposal. There is no expectation that neighboring property owners would object to this project due to the relative similarities of this project to the neighboring properties.

Site Plan

New construction on the site will consist of the construction of the new lean-to, supporting storage yard, and pedestrian walkway along Midpoint Dr. The site design includes a shared circle driveway for loading/unloading of materials. Once the site plan is approved, existing easements will be vacated and new easements dedicated as needed. The site features terraces along the west side of the building to function as a L.I.D. feature for stormwater infiltration. There is no new parking associated with this site – there will be no new employees, offices or requirements for additional parking. Parking for the Allied employees exists on the south and west sides of the existing Allied Building Products building.

Existing landscape materials have been evaluated by the City Forester. Trees and shrubs to be preserved and replaced are provided on the Landscape plan included herein. There are no wetlands, natural habitats and features and or wildlife that require protection as a result of this project proposal. The facility will be owned and maintained by the owner including the tree lawn located within the Midpoint Drive right of way.

Utilities

There is an existing sanitation and water line running north/south on the west side of the property beneath the driveway. There is an existing gas line running north/south through the center of the

Corporate Headquarters
112 N Rubey Drive, Suite 210
Golden, Colorado 80403
Ph 303.940.9966
Fax 303.940.9959

Rocky Mountains
1169 Hilltop Pkwy, Suite 204, PO Box 770152
Steamboat Springs, Colorado 80477
Ph 970.879.1825
Fax 303.940.9959

Northern Colorado
4007 S Lincoln Avenue, Suite 405
Loveland, Colorado 80537
Ph 970.353.7600
Fax 866.679.4864

property. The existing services for each utility will not be removed or replaced as a result of this project.

Grading, Drainage & Stormwater Management

The overall imperviousness of the site will be increased from 56% to 75%. Direction of the flow is generally northeast to southwest. New runoff has been accounted for and treated, and historic drainage patterns have been maintained. There is an existing water quality pond on the property directly east of the subject property, which was intended to receive stormwater from this site. A full drainage report and grading plans have been included for review and comment.

Thank you for your review of this project, I look forward to the conclusion of this review process.

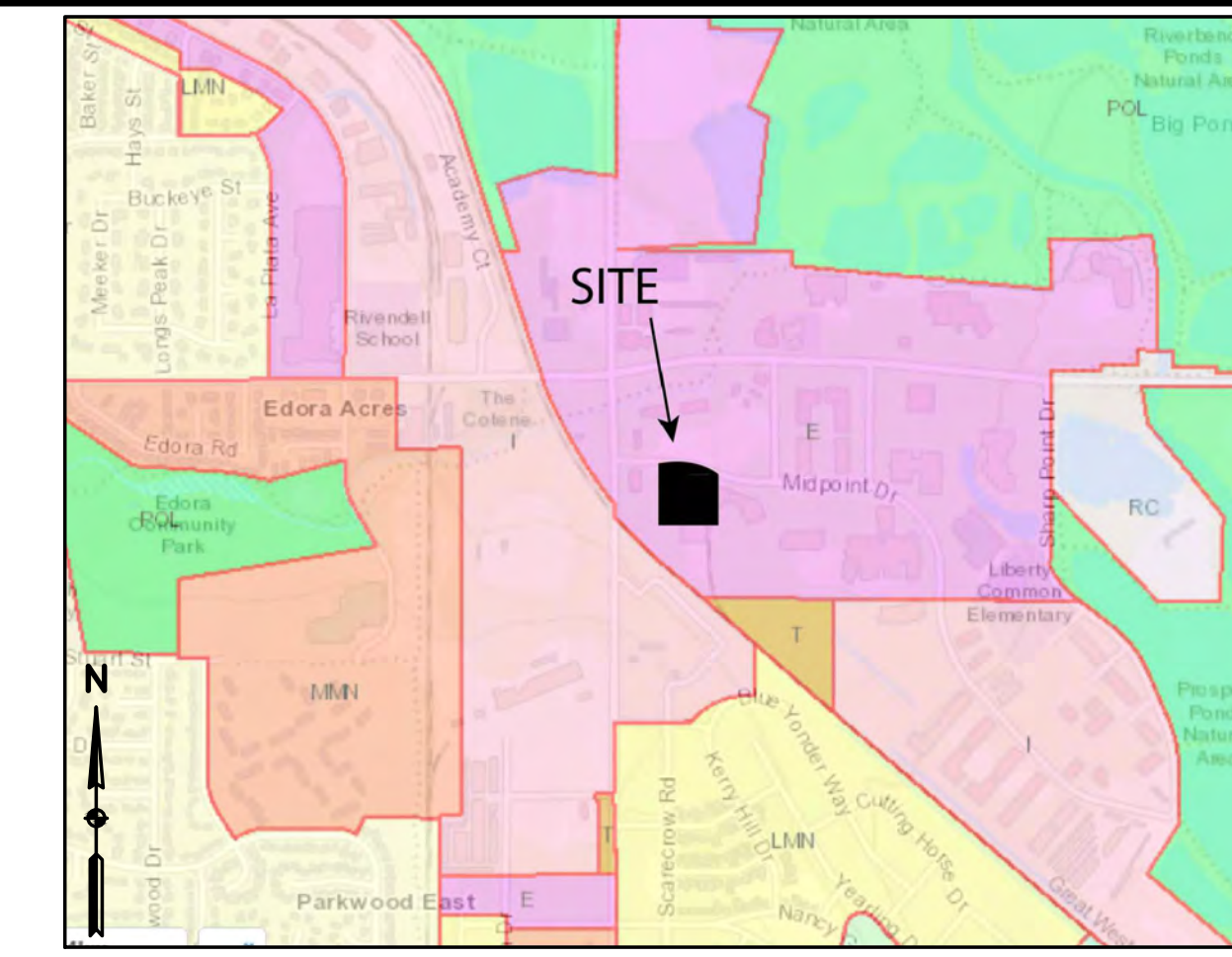
Sincerely,

A handwritten signature in cursive script that reads "Deanne Frederickson".

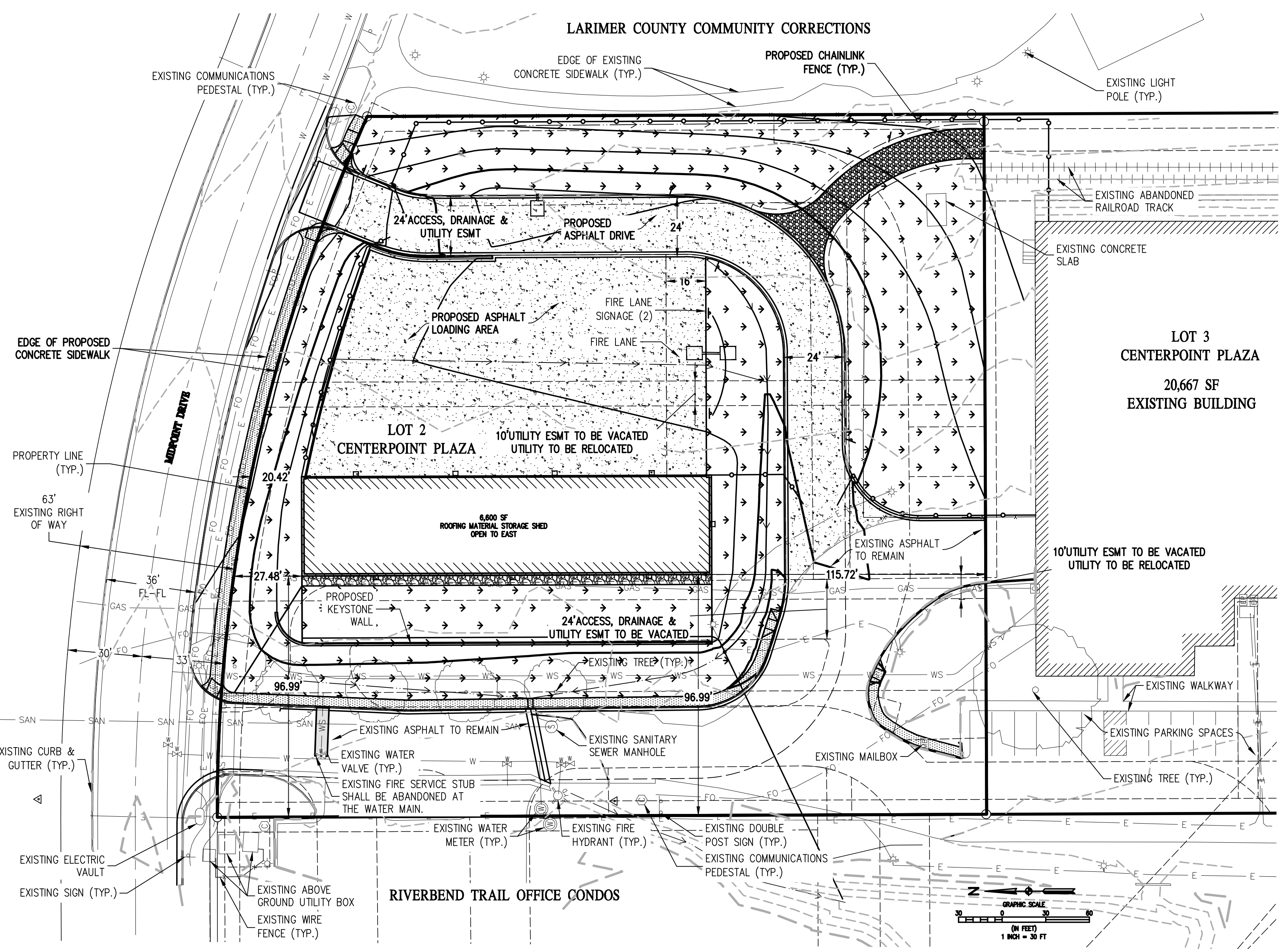
Deanne Frederickson

SITE PLAN ALLIED BUILDING PRODUCTS

LOCATED IN THE NORTHWEST QUARTER OF
SECTION 20, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO



VICINITY MAP
NOT TO SCALE



LAND-USE STATISTICS

EXISTING ZONING:	E - EMPLOYMENT
GROSS LAND AREA:	81,631 S.F. 1.874 AC.
NUMBER OF BUILDINGS:	1
LAND USE:	ROOFING MATERIAL STORAGE
TOTAL BUILDING GROSS S.F.:	6,600 S.F.
TOTAL STORIES:	1
MAXIMUM BUILDING HEIGHT :	30 FEET FROM THE HIGHEST POINT OF ROOF.

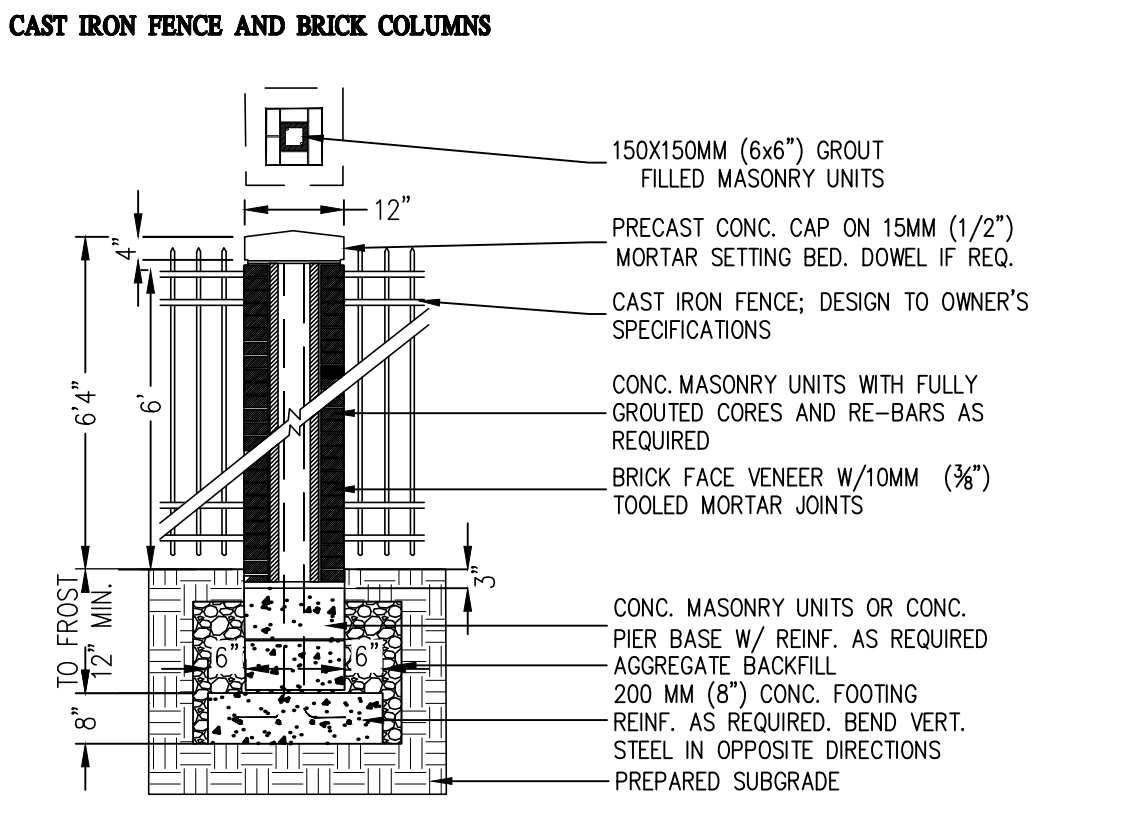
GROSS AREA COVERAGE

	SQUARE FEET	ACRES	% OF
STORAGE BUILDING FOOTPRINT:	6,600	0.1515	8.09%
LANDSCAPE:	39,096	0.8975	47.89%
PAVED DRIVE AND LOADING AREA:	35,935	0.8250	44.02%
TOTAL AREA:	81,631	1.8740	100.0%

OFF-STREET PARKING:
N/A: THE NEW BUILDING WILL SERVE ONLY AS STORAGE. THEREFORE ADDITIONAL PARKING WILL NOT BE REQUIRED FOR THE EMPLOYEES.

BICYCLE PARKING:
N/A: THE NEW BUILDING WILL SERVE ONLY AS STORAGE. THEREFORE ADDITIONAL BICYCLE PARKING WILL NOT BE REQUIRED FOR THE EMPLOYEES.

- SITE PLAN NOTES:**
- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
 - REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
 - REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
 - ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
 - ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
 - ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
 - SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
 - FIRE HYDRANTS MUST MEET OR EXCEED POUEDRE FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
 - ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
 - ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
 - COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS' ASSOCIATION. THE PROPERTY OWNERS' ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
 - PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&R'S), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF XERISCAPE LANDSCAPING, SOLAR/PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), ODOR-CONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.
 - ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
 - FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AD BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
 - PREMISE IDENTIFICATION: AN ADDRESSING PLAN IS REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY AND POUEDRE FIRE AUTHORITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. UNLESS THE PRIVATE DRIVE IS NAMED, MONUMENT SIGNAGE MAY BE REQUIRED TO ALLOW WAY-FINDING. ALL BUILDINGS SHALL HAVE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE, VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, AND POSTED WITH A MINIMUM OF SIX-INCH NUMERALS ON A CONTRASTING BACKGROUND. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.



LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	MAJOR CONTOUR (5' INTERVAL)	MINOR CONTOUR (1' INTERVAL)	PROPERTY BOUNDARY	EASEMENT	FLOODPLAIN	EDGE OF ASPHALT	CURB AND GUTTER (SPILL/CATCH)	EDGE OF BUILDING	WATERLINE	SANITARY SEWER	SANITARY SEWER SERVICE	WATER SERVICE	FIBER OPTIC	GASLINE	UNDERGROUND ELECTRIC	CHAINLINK FENCE	DRAINAGE BASIN	
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EXISTING SYMBOLS	PROPOSED SYMBOLS	FIRE HYDRANT	WATER VALVE	SANITARY MANHOLE	WATER METER	GAS METER	COMMUNICATIONS PEDESTAL	CONTROL POINT	SIGN	DOUBLE POST SIGN	MAILBOX	LIGHTPOLE	SIDEWALK PAVING	ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION	LANDSCAPE
(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)

OWNER'S CERTIFICATION OF APPROVAL:

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS THE ____ DAY OF _____, 20__.

NOTARIAL CERTIFICATE
STATE OF COLORADO)
COUNTY OF _____)
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY
THIS ____ DAY OF _____, 20__.

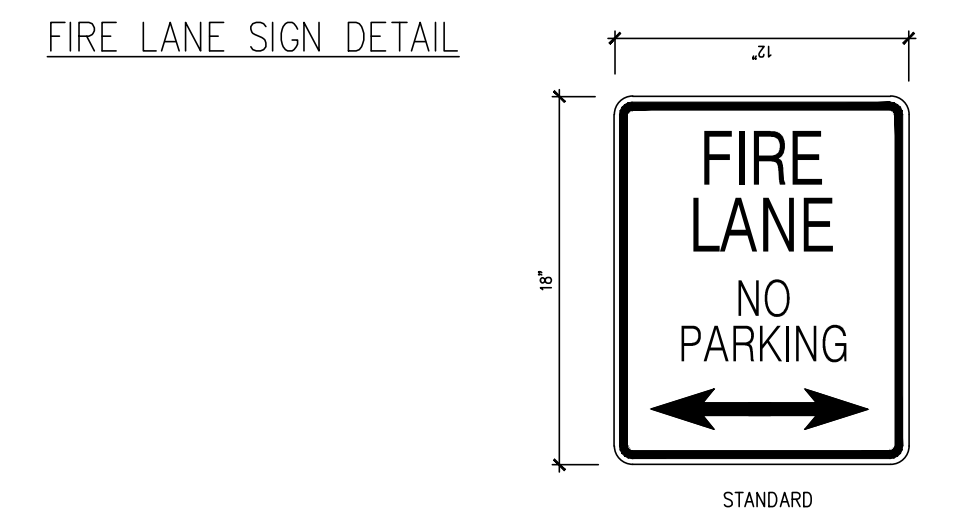
My commission expires: _____

Notary Public

LEGAL DESCRIPTION:
LOT 2 CENTERPOINT PLAZA

PLANNING APPROVAL:
BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES OF THE CITY OF FORT COLLINS, COLORADO
THIS THE ____ DAY OF _____, 20__.

DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES



COLOR SCHEDULE

LEGEND, CIRCLE DIAGONAL, BORDER, "ARROW", "FIRE LANE"	RED
BACKGROUND	WHITE

- NOTES:**
- THE SIGN PLATE SHALL BE A MINIMUM OF 12"x18" WITH A THICKNESS OF 0.080 ALUMINUM CONSTRUCTION.
 - THE SIGN FACE SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED LEGEND. USE THE STANDARD 3M SCOTCHLITE SIGN FACE NUMBER 87-32 OR EQUIVALENT, WITH RED LETTERING AS SHOWN ABOVE.
 - ARROWS MAY BE NEEDED (LEFT, RIGHT, OR DOUBLE), TO DESIGNATE BEGIN AND END OF NO PARKING AREA.
 - STRIPING SHALL COMPLY WITH DETAIL 1419 OF LARIMER COUNTY URBAN AREA STREET STANDARDS.

BASELINE

Engineering - Planning - Surveying

4007 S. LINCOLN AVENUE, SUITE 405 • LOVELAND, COLORADO 80537
P: 970.333.7600 • F: 966.679.4864 • www.baselinecorp.com

DESIGNED BY
TGR

DRAWN BY
TGR

CHECKED BY
NUN

DATE
10/5/18

PREPARED BY
Submitter 1

REVISION DESCRIPTION

Submitter 1

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 10/5/2018

DRAWING SIZE 24" x 36"

SURVEY FIRM SURVEY DATE
BEC 06/08/2018

JOB NO. 373PL

DRAWING NAME
373 - Site Plan.dwg

SHEET 1 OF 1

S1

BEACON ROOFING SUPPLY

LARIMER COUNTY

ALLIED BUILDING PRODUCTS

2155 MIDPOINT DR.

FORT COLLINS

Site Plan

PRELIMINARY
NOT FOR
CONSTRUCTION

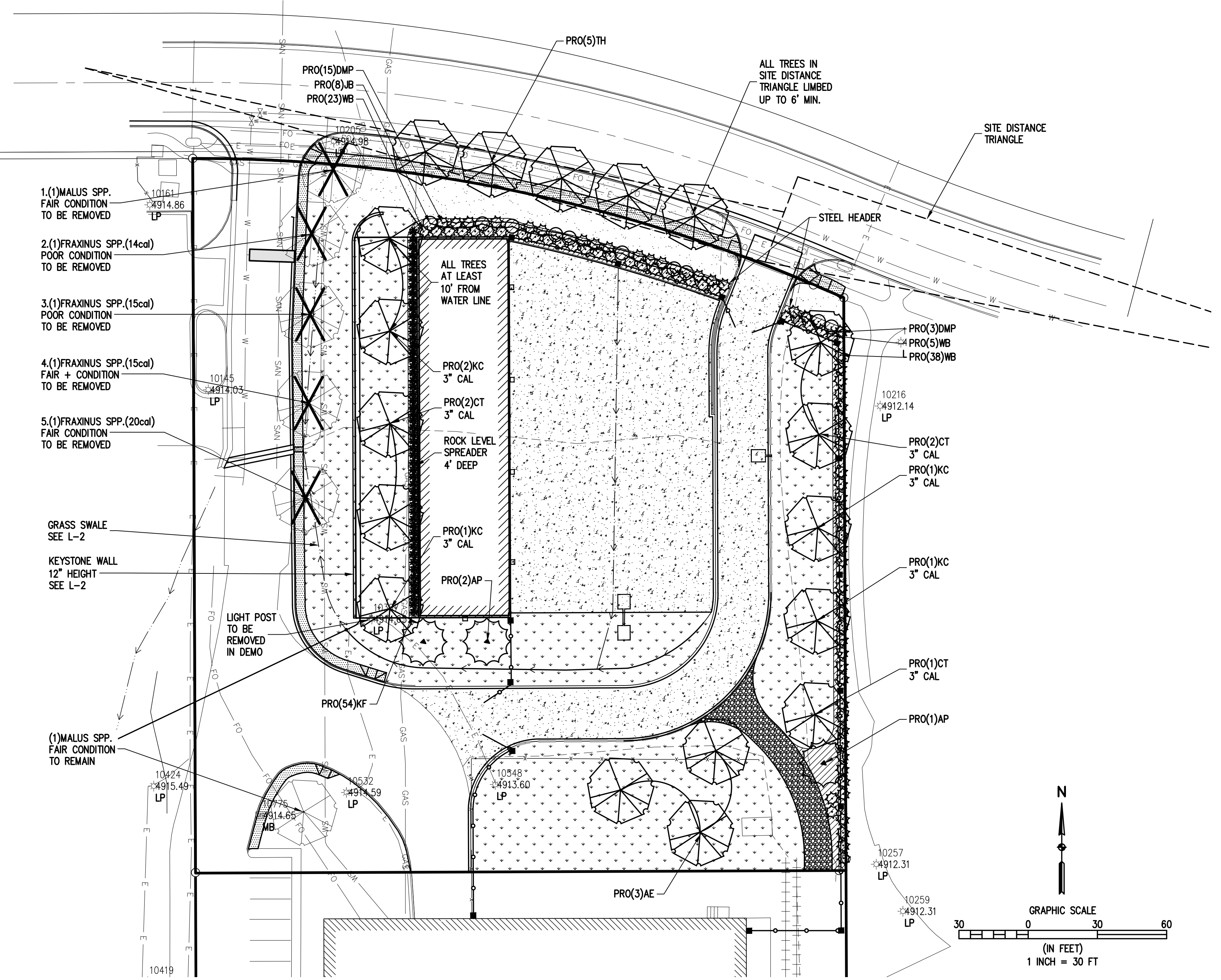
LANDSCAPE PLAN ALLIED BUILDING PRODUCTS

LOCATED IN THE NORTHWEST QUARTER OF
SECTION 20, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

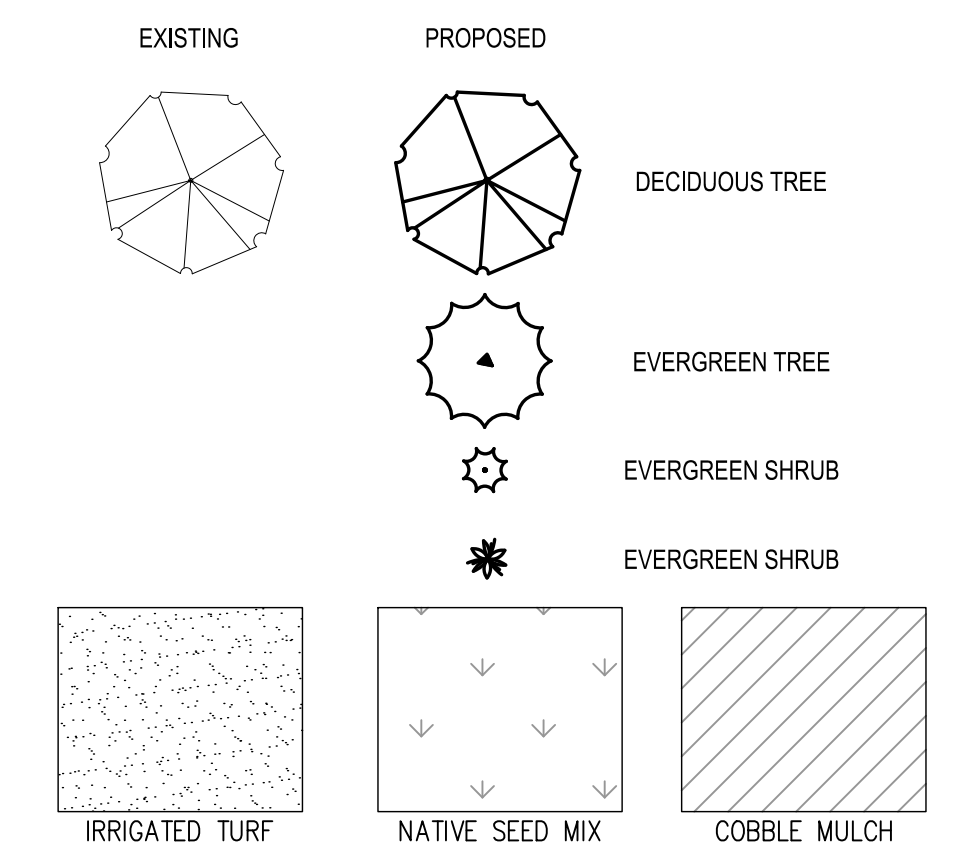
GENERAL NOTES

- PLANT QUALITY:** ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
- IRRIGATION:** ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. IRRIGATION SYSTEMS TO BE TURNED OVER TO THE CITY PARKS DEPARTMENT FOR MAINTENANCE MUST BE APPROVED BY THE PARKS MANAGER AND MEET PARKS IRRIGATION STANDARDS. DESIGN REVIEW SHALL OCCUR DURING UTILITIES DEPARTMENT IRRIGATION REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND CONSTRUCTION OBSERVATION AND INSPECTION BY PARKS SHALL BE INCORPORATED INTO THE CONSTRUCTION PROCESS.
- TOPSOIL:** TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- SOIL AMENDMENTS:** SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENE TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, A WRITTEN CERTIFICATION MUST BE SUBMITTED TO THE CITY THAT ALL PLANTED AREAS, OR AREAS TO BE PLANTED, HAVE BEEN THOROUGHLY LOOSENE AND THE SOIL AMENDED, CONSISTENT WITH THE REQUIREMENTS SET FORTH IN SECTION 12-132.
- INSTALLATION AND GUARANTEE:** ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 15% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
- MAINTENANCE:** TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- REPLACEMENT:** ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
- THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:
 - 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
 - 15 FEET BETWEEN ORNAMENTAL TREES AND STREET LIGHTS
 - 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
 - 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES
 - 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
 - 4 FEET BETWEEN TREES AND GAS LINES
- ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS PER LUC 3.2.1(D)(2)(a).
- PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
- THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION - AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
- ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.

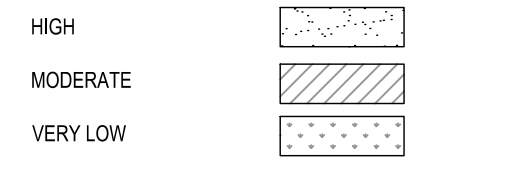
A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED, OR REMOVED ON CITY PROPERTY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.



LANDSCAPE PLAN LEGEND



HYDROZONE LEGEND



WATER BUDGET CHART

HYDROZONE	AREA	WATER NEEDED	ANNUAL USE
HIGH	19,841 SF	18 GAL	353,538 GAL
MODERATE	2,405 SF	19 GAL	24,859 GAL
VERY LOW	19,869 SF	0 GAL	0 GAL
TOTAL	39,994 SF	37 GAL	378,488 GAL
TOTAL SF AVERAGE	99 GAL/ONS/SF/SEASON		

- The average shall not exceed fifteen (15) gallons/square foot for the landscape total annual water use.
- High use areas shall be planted with irrigated turf grass, for non-irrigated native seed grasses, see L-2 for Fort Collins approved seed mix.

SITE INDEX

- L-1, Landscape Plan
- L-2, Landscape Specifications and Details

PLANT LIST

ABB	SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	GROWTH RATE	WATER USAGE	QTY	PERCENT
DECIDUOUS TREES									
TH	2" CAL	Thornless Honeylocust 'Shademaster'	Gleditsia triacanthos inermis 'Shademaster'	35-40'	30-40'	M	MOD	5	24
CT	3" CAL	Northern Catalpa	Catalpa speciosa	40-50'	25-30'	M	MOD	5	24
HC	3" CAL	Kentucky Cucumber 'Espresso'	Gymnocladia dioica 'Espresso'	40-50'	30-40'	M	MOD	5	24
AE	2" CAL	Azolesa Elm	Ulmus Minor 'accipiter'	55-60'	25-40'	M	MOD	3	14
CONIFEROUS TREES									
AP	6"	Austrian Pine	Pinus nigra	40-60'	15-25'	M	MOD	3	14
CONIFEROUS SHRUBS									
WB	5 GAL	Wichita Blue Juniper	Juniperus scopulorum 'Wichita Blue'	10-15'	4-8'	M	MOD	66	78
EDP	5 GAL	Edward Mugo Pine	Pinus mugo var. pumila	3-5'	6-10"	S	LOW	18	22
DECIDUOUS SHRUBS									
AB	5 GAL	Red Leaf Japanese Barberry	Berberis thunbergii 'Atropurpurea'	4'	4'	M	MOD	10	100
ORNAMENTAL GRASS									
KF	1 GAL	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora Karl Foerster	30-60"	24-36"	M	MOD	54	100

TREE MITIGATION TABLE

NUM	SPECIES	DBH	CONDITION	TYPE	VALUE
1	Malus spp.	14"	Fair Minus	Remove	1.5(2)
2	Fraxinus spp.	14"	Poor	Remove	1
3	Fraxinus spp.	15"	Poor	Remove	1
4	Fraxinus spp.	15"	Fair Plus	Remove	2
5	Fraxinus spp.	20"	Fair	Remove	2

DESIGNED BY JFS
DRAWN BY JFS
CHECKED BY DTC

REVISION	DESCRIPTION	DATE	PREPARED BY

DOHN CONSTRUCTION
ALLIED BUILDING PRODUCTS
2155 MIDPOINT DR
LANDSCAPE PLAN
LARIMER COUNTY

FORT COLLINS
PREPARED UNDER THE DIRECT SUPERVISION OF

FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 8/21/2018
DRAWING SIZE 24" X 36"
SURVEY FIRM SURVEY DATE
BASELINE 2018
JOB NO. 373
DRAWING NAME
373 - Landscape.dwg
SHEET 1 OF 3

LANDSCAPE SPECIFICATIONS ALLIED BUILDING PRODUCTS

LANDSCAPE SPECIFICATIONS

STREET TREE NOTES

- A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL MUST BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
- STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES. ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF FORT COLLINS LICENSED ARBORIST WHERE REQUIRED BY CODE. STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
- THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY OF FORT COLLINS FORESTRY DIVISION. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, WITH AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
- SUBJECT TO APPROVAL BY THE CITY FORESTER - STREET TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS, STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION IS APPROVED BY THE CITY TO MEET SEPARATION STANDARDS.

TREE PROTECTION NOTES

- ALL EXISTING TREES WITHIN THE LIMITS OF THE DEVELOPMENT AND WITHIN ANY NATURAL AREA BUFFER ZONES SHALL REMAIN AND BE PROTECTED UNLESS NOTED ON THESE PLANS FOR REMOVAL.
- WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
- ALL PROTECTED EXISTING TREES SHALL BE PRUNED TO THE CITY OF FORT COLLINS FORESTRY STANDARDS. TREE PRUNING AND REMOVAL SHALL BE PERFORMED BY A BUSINESS THAT HOLDS A CURRENT CITY OF FORT COLLINS ARBORIST LICENSE WHERE REQUIRED BY CODE.
- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERRECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR (4) FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR ONE-HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERRECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (G)(3) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN SIX (6) INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM THE FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREST HEIGHT AS DESCRIBED IN THE CHART BELOW.

TREE DIAMETER AT BREST HEIGHT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (FEET)
0-2	1
3-4	2
5-9	5
10-14	10
15-19	12
OVER 19	15
- ALL TREE REMOVAL SHOWN SHALL BE COMPLETED OUTSIDE OF THE SONGBIRD NESTING SEASON (FEB 1 - JULY 31) OR CONDUCT A SURVEY OF TREES ENSURING NO ACTIVE NESTS IN THE AREA.

NATIVE SEED MIX NOTES

- PREPARE SOIL AS NECESSARY AND APPROPRIATE FOR NATIVE SEED MIX SPECIES AND AS OUTLINED IN MUNICIPAL CODE 12_130 THROUGH 12_132. IN NATIVE AREAS THESE REQUIREMENTS ARE TYPICALLY SATISFIED THROUGH SOIL SAMPLES SHOWING QUALITY OF SOIL MEETS THE DEFINITION OF TOP SOIL IN CODE 12_131. THROUGH LOOSENING THE TOP 8 INCHES OF SOIL AND APPLYING 4 INCHES OF TOP SOIL THEN SOIL AMENDMENT REQUIREMENTS CAN BE FULFILLED.
- AFTER SOIL HAS BEEN PROPERLY PREPARED THEN SEED EVENLY IN TWO DIRECTIONS TO DISTRIBUTE SEED OVER ENTIRE AREA. SEED ALL INDICATED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS.
- IF CHANGES ARE TO BE MADE TO SEED MIX BASED ON SITE CONDITIONS THEN APPROVAL MUST BE PROVIDED BY CITY ENVIRONMENTAL PLANNER.
- APPROPRIATE NATIVE SEEDING EQUIPMENT WILL BE USED (STANDARD TURF SEEDING EQUIPMENT OR AGRICULTURE EQUIPMENT SHALL NOT BE USED).
- GENERALLY DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2 INCH DEPTH (OR APPROPRIATE DEPTH FOR SELECTED SPECIES). WHEN USING BROADCAST SEEDING INSTEAD OF DRILL SEEDING METHOD DOUBLE SPECIFIED APPLICATION RATE. REFER TO NATIVE SEED MIX TABLE FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
- PREPARE A WEED MANAGEMENT PLAN TO ENSURE THAT WEEDS ARE PROPERLY MANAGED BEFORE, DURING AND AFTER SEEDING ACTIVITIES.
- AFTER SEEDING THE AREA SHALL BE COVERED WITH CRIMPED STRAW, JUTE MESH, OR OTHER APPROPRIATE METHODS.
- WHERE NEEDED, TEMPORARY IRRIGATION SHOULD BE PROVIDED UNTIL SEED IS ESTABLISHED, IF IRRIGATION IS USED, THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING AND SHALL ENSURE 100% HEAD_TO_HEAD COVERAGE OVER ALL SEEDED AREAS. ALL METHODS AND REQUIREMENTS IN THE APPROVED IRRIGATION PLAN SHALL BE FOLLOWED.
- CONTRACTOR SHALL MONITOR SEEDED AREA FOR PROPER IRRIGATION, EROSION CONTROL, GERMINATION AND RESEEDING AS NEEDED TO ESTABLISH COVER
- THE APPROVED SEED MIX AREA IS INTENDED TO BE MAINTAINED IN A NATURAL LIKE LANDSCAPE AESTHETIC. IF AND WHEN MOWING OCCURS IN NATIVE GRASS SEED MIX AREAS, DO NOT MOW LOWER THAN 8 TO 8 INCHES IN HEIGHT TO AVOID INHIBITING NATIVE PLANT GENERALLY. MOW NO MORE THAN 3 TO 4 TIMES PER YEAR DURING ESTABLISHMENT PERIOD FOR WEED MANAGEMENT WHEN NECESSARY.
- NATIVE SEED AREA WILL BE CONSIDERED ESTABLISHED WHEN SEVENTY PERCENT VEGETATIVE COVER IS REACHED WITH NO LARGER THAN ONE FOOT SQUARE BARE SPOTS AND/OR UNTIL DEEMED ESTABLISHED BY CITY PLANNING SERVICES AND EROSION CONTROL.
- THE DEVELOPER AND/OR LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE SEEDLING COVERAGE AND GROWTH AT THE TIME OF FINAL STABILIZATION, AS DEFINED BY STATE AND LOCAL AGENCIES. IF FINAL STABILIZATION IS NOT ACHIEVED TO THE SATISFACTION OF THE AGENCY, THE DEVELOPER AND/OR LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES TO SATISFY FINAL VEGETATIVE REQUIREMENTS FOR CLOSEOUT.

NATIVE GRASS SEED MIX

COMMON NAME	%	Lbs/PLS
INDIAN RICEGRASS	8%	1.13
SIDEWAYS GRAMA	8%	1.15
BUFFALOGRASS	22%	3.27
BLUE GRAMA	2%	0.25
INLAND SALTGRASS	3%	0.35
BOTTLEBRUSH SQUIRRELTAIL	6.5%	0.95
STREAMBANK WHEATGRASS	9.5%	1.36
PRAIRIE JUNEGRASS	0.5%	0.08
WESTERN WHEATGRASS	11%	1.61
LITTLE BULLESTEM	5%	0.7
PLAINS COREOPSIS	1%	0.17
WHITE PRAIRIE CLOVER	4.5%	0.65
PURPLE PRAIRIE CLOVER	5.5%	0.81
INDIAN SNAKWEEDFLOWER	12%	1.85
MEXICAN HAT	1.5%	0.2
TOTAL FOR DETENTION BASIN MIX	100%	14.54 LBS/PLS/ACRE

ACCEPTABLE SUBSTITUTES FOR GRASSES
 SALT AND PEPPER GRASS (DESCHAMPSIA CAESPITOSA) 0.07 LBS/PLS/ACRE
 SIX WEEKS RESCUE (WILPA OCTOFLORA) 0.19 LBS/PLS/ACRE
 SLENDER WHEATGRASS (ELYMUS TRACHYCALLUS) 1.36 LBS/PLS/ACRE

ACCEPTABLE SUBSTITUTES FOR WILDFLOWERS
 BLUE FLAX (LINUM LEWISII) 0.83 LBS/PLS/ACRE
 BLACK-EYED SUSAN (RUDBECKIA HIRTIA) 0.14 LBS/PLS/ACRE
 PRAIRIE ASTER (MACHAERANTHERA TANACETIFOLIA) 0.49 LBS/PLS/ACRE

MULCH IN ALL NATIVE SEED AREAS

- IMMEDIATELY FOLLOWING THE RAKING OPERATION, ADD STRAW MULCH TO THE SEEDED AREAS.
- APPLY STRAW MULCH AT A MINIMUM OF 4 TONS PER ACRE OF AIR DRY MATERIAL. SPREAD STRAW MULCH UNIFORMLY OVER THE AREA WITH MECHANICAL MULCH SPREADER/CRIMPER. DO NOT MULCH WHEN WIND VELOCITY EXCEEDS 10MPH.
- WHEREVER THE USE OF CRIMPING EQUIPMENT IS PRACTICAL, PLACE MULCH IN THE MANNER NOTED ABOVE AND ANCHOR IT INTO THE SOIL. USE A DISC SUCH AS A MULCH TILLER WITH A FLAT SERRATED DISK AT LEAST 1/4 INCH IN THICKNESS, HAVING DULL EDGES, AND SPACE NO MORE THAN 9 INCHES APART, WITH DISCS OF SUFFICIENT DIAMETER TO PREVENT THE FRAME OF THE EQUIPMENT FROM DRAGGING THE MULCH. ANCHOR MULCH A MINIMUM DEPTH OF 2 INCHES AND ACROSS THE SLOPE WHERE PRACTICAL WITH NO MORE THAN TWO PASSES OF THE ANCHORING EQUIPMENT.
- IMMEDIATELY UPON COMPLETION OF THE MULCHING AND BINDING OPERATION, THE SEEDED AREAS SHALL BE IRRIGATED, KEEPING THE TOP 2 INCHES OF SOIL EVENLY MOIST UNTIL SEED HAS UNIFORMLY GERMINATED AND GROWN TO A HEIGHT OF 2-INCHES.
- WATERING APPLICATION SHALL BE DONE IN A MANNER WHICH WILL PROVIDE UNIFORM COVERAGE BUT WHICH WILL NOT CAUSE EROSION, MOVEMENT, OR DAMAGE TO THE FINISHED SURFACE.

DESIGNED BY
XXX

DRAWN BY
XXX

CHECKED BY
XXX

DATE

PREPARED BY

REVISION

DESCRIPTION

LARIMER COUNTY

FORT COLLINS

BEACON ROOFING SUPPLY

ALLIED BUILDING PRODUCTS

8091 CENTERPOINT PLAZA

LANDSCAPE DETAILS AND SPECIFICATIONS

PREPARED UNDER THE DIRECT SUPERVISION OF

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 8/21/2018

DRAWING SIZE 24" X 36"

SURVEY FIRM SURVEY DATE
BASELINE 2018

JOB NO. 373

DRAWING NAME
373 - Landscape.dwg

SHEET 2 OF 3

L-2

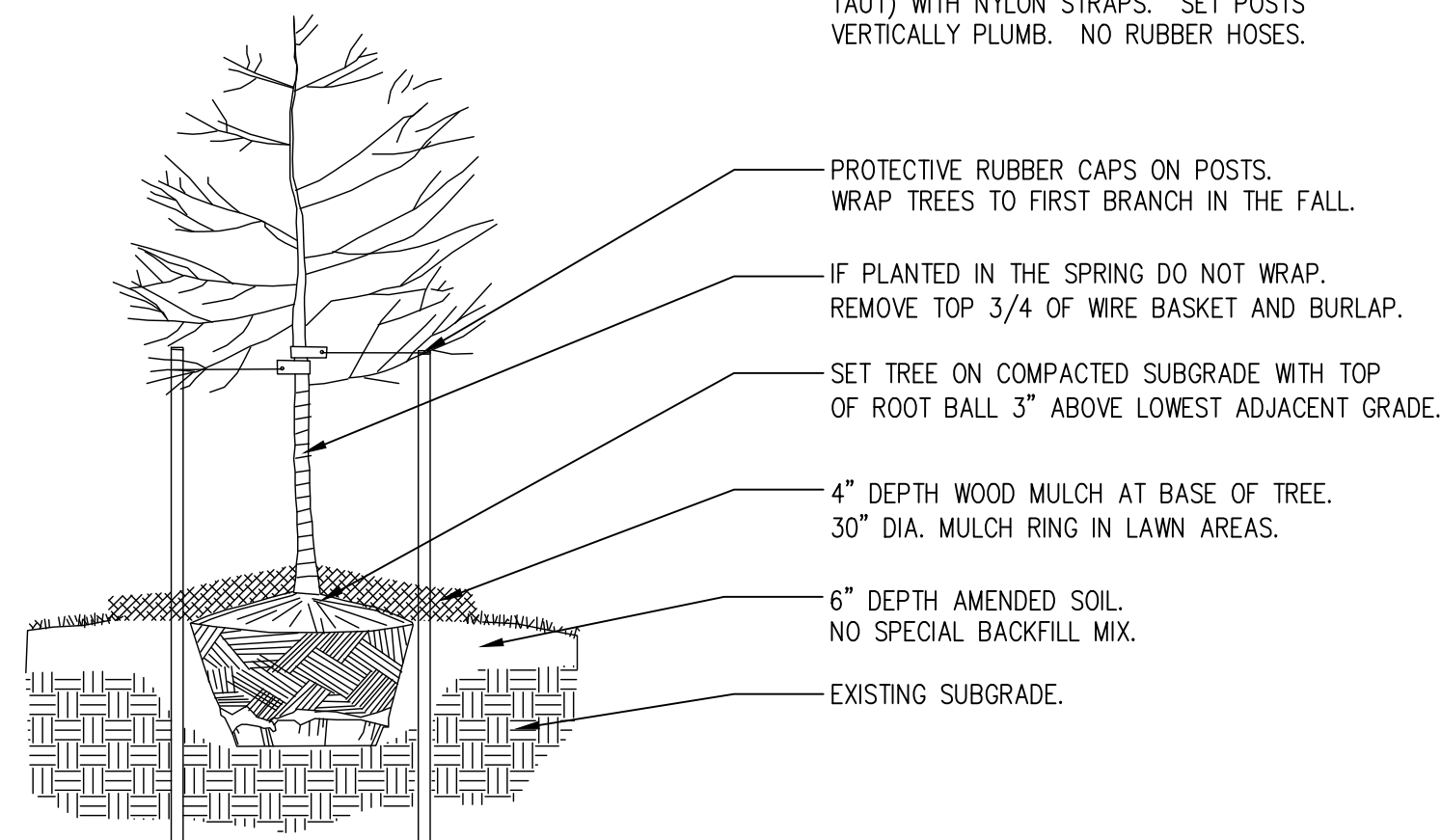
BASELINE
 Engineering • Planning • Surveying
 172 N. RIBEY DRIVE SUITE 270 • GOLDEN, COLORADO 80403
 P. 303.940.9966 • F. 303.940.9966 • www.baselinecorp.com

LANDSCAPE DETAILS ALLIED BUILDING PRODUCTS

TREE AND SHRUB INSTALLATION

DECIDUOUS TREES

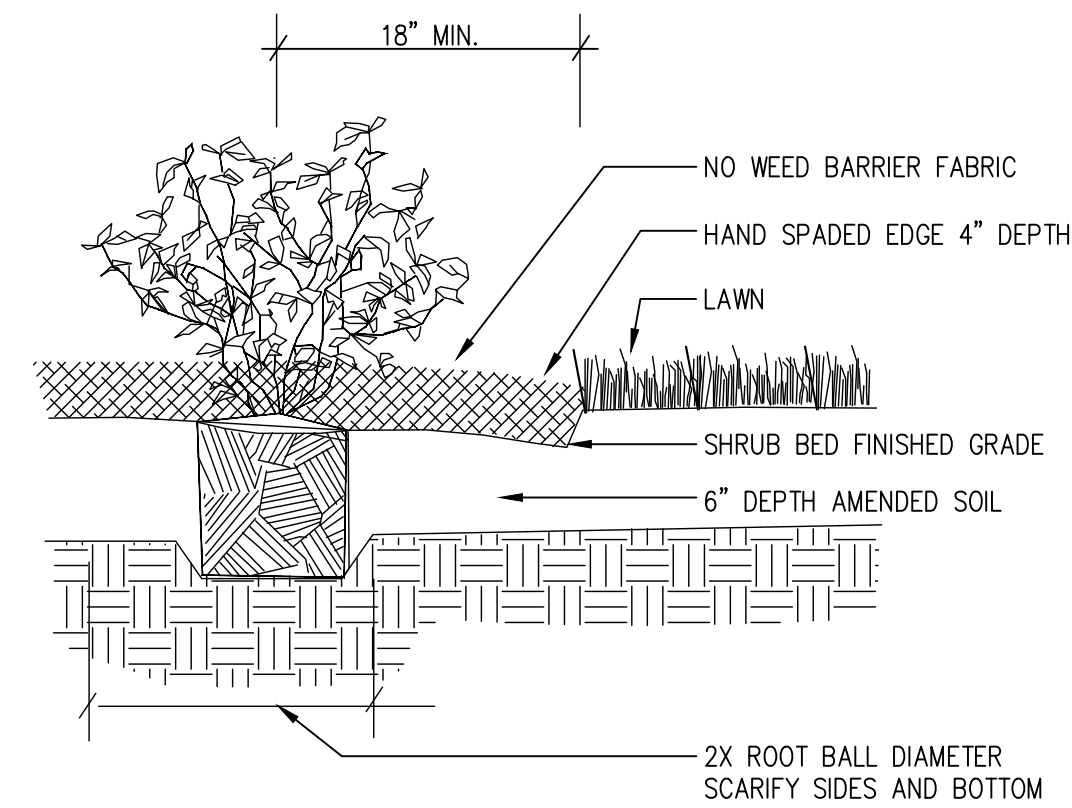
STAKE TREES USING METAL POSTS WIRED (SLIGHTLY TAUT) WITH NYLON STRAPS. SET POSTS VERTICALLY PLUMB. NO RUBBER HOSES.



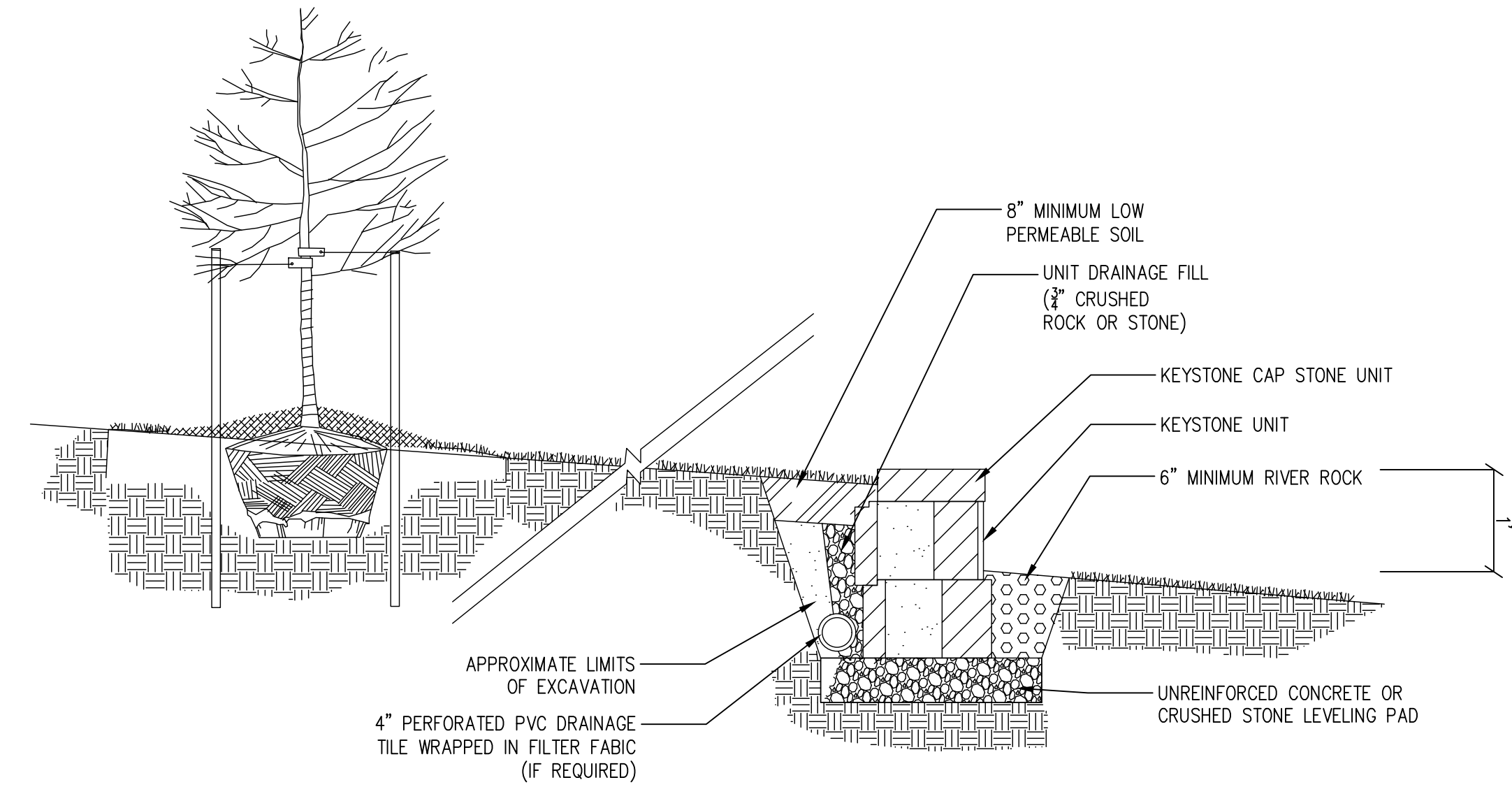
SHRUBS

PLACE SHRUBS A MINIMUM OF 18" FROM PLANTING BED EDGE (STEEL HEADER, CURBS, WALKS, WALLS, ETC.) FOR 1 GALLON SHRUBS, 3' MINIMUM FOR 5 GALLON DECIDUOUS SHRUBS, 4' FOR CONIFER SHRUB.

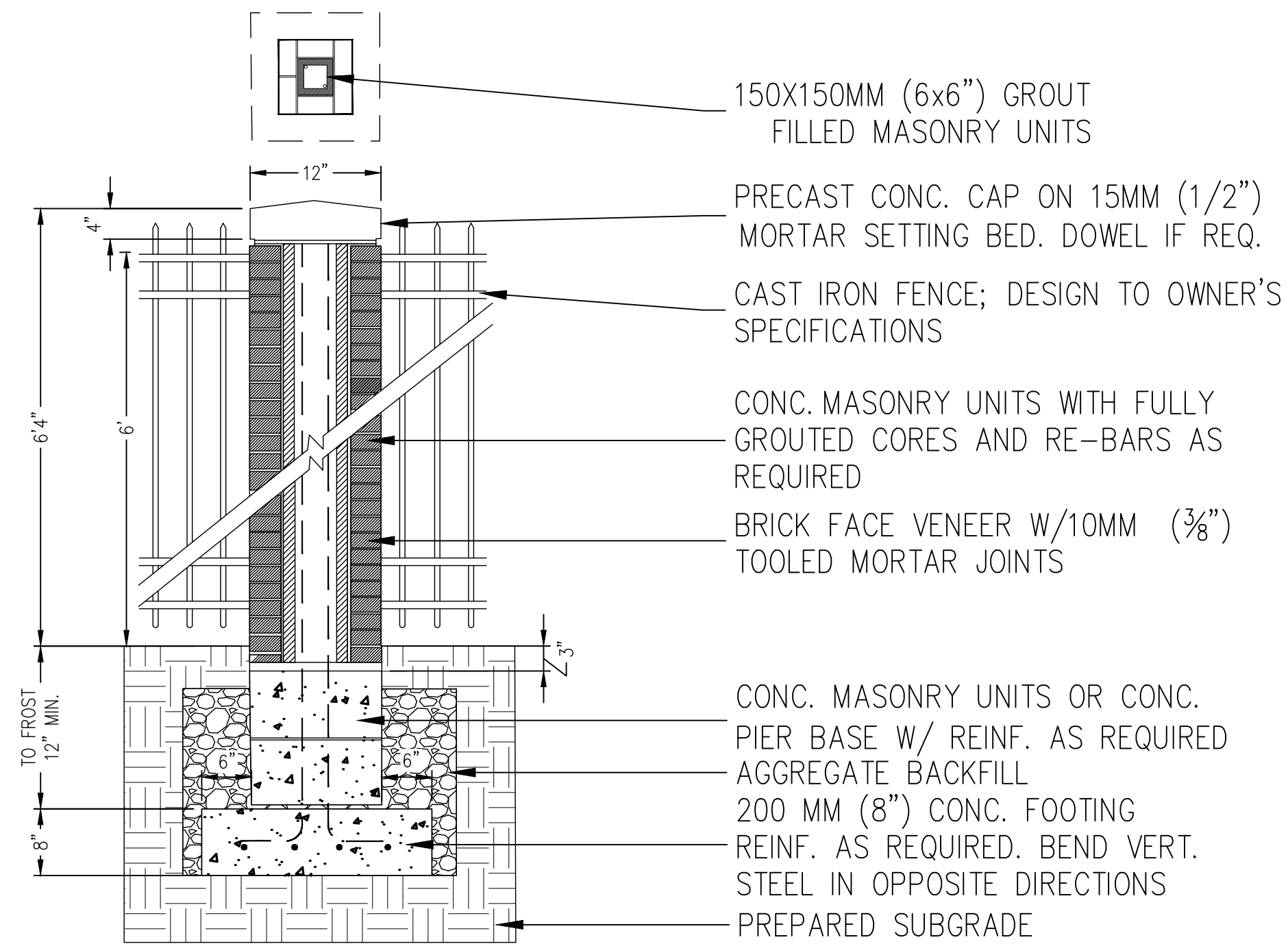
FOR 5 GALLON AND LARGER PLANT MATERIAL CONSTRUCT A 2" HIGH WATERING RING AROUND SHRUB AT EDGE OF PLANTING PIT. FOR 1 GALLON MATERIAL, CONSTRUCT A 2" X 18" DIA. WATER RING AND MULCH WITH WOOD BARK INSIDE OF THE WATER RING.



KEYSTONE WALL AND RAIN GARDEN CONSTRUCTION



CAST IRON FENCE AND BRICK COLUMNS



DESIGNED BY XXX
DRAWN BY XXX
CHECKED BY XXX

DATE

PREPARED BY

REVISION DESCRIPTION

REVISION DESCRIPTION

REVISION DESCRIPTION

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LARIMER COUNTY

BEACON ROOFING SUPPLY
ALLIED BUILDING PRODUCTS
8091 CENTERPOINT PLAZA
LANDSCAPE DETAILS AND SPECIFICATIONS

FORT COLLINS

PREPARED UNDER THE DIRECT SUPERVISION OF

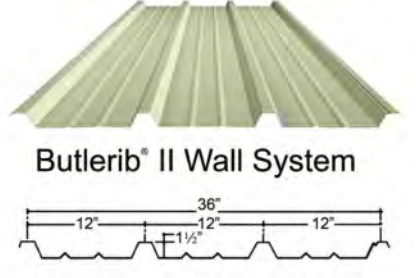
FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 8/21/2018
DRAWING SIZE 24" X 36"
SURVEY FIRM SURVEY DATE
BASELINE 2018
JOB NO. 373
DRAWING NAME
373 - Landscape.dwg
SHEET 2 OF 3
L-3

C:\Dropbox (C2D Architects)\C2D\Projects\18-08-124 Allied Building Supply\C2D\Revit\Allied Building Products OPTION 1.rvt

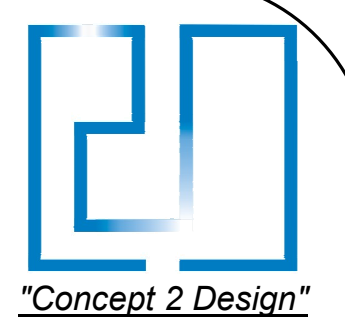
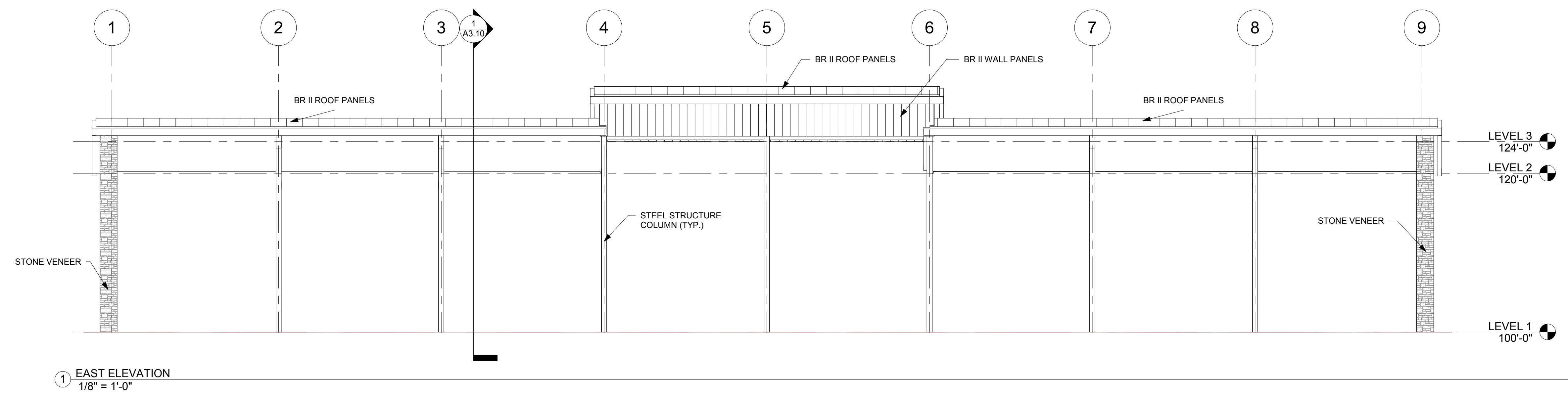
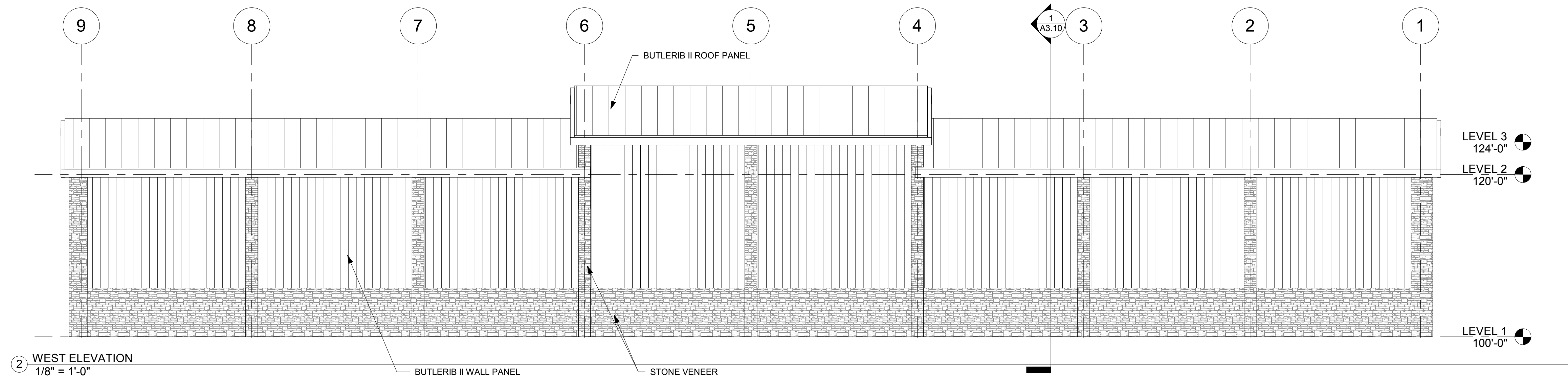
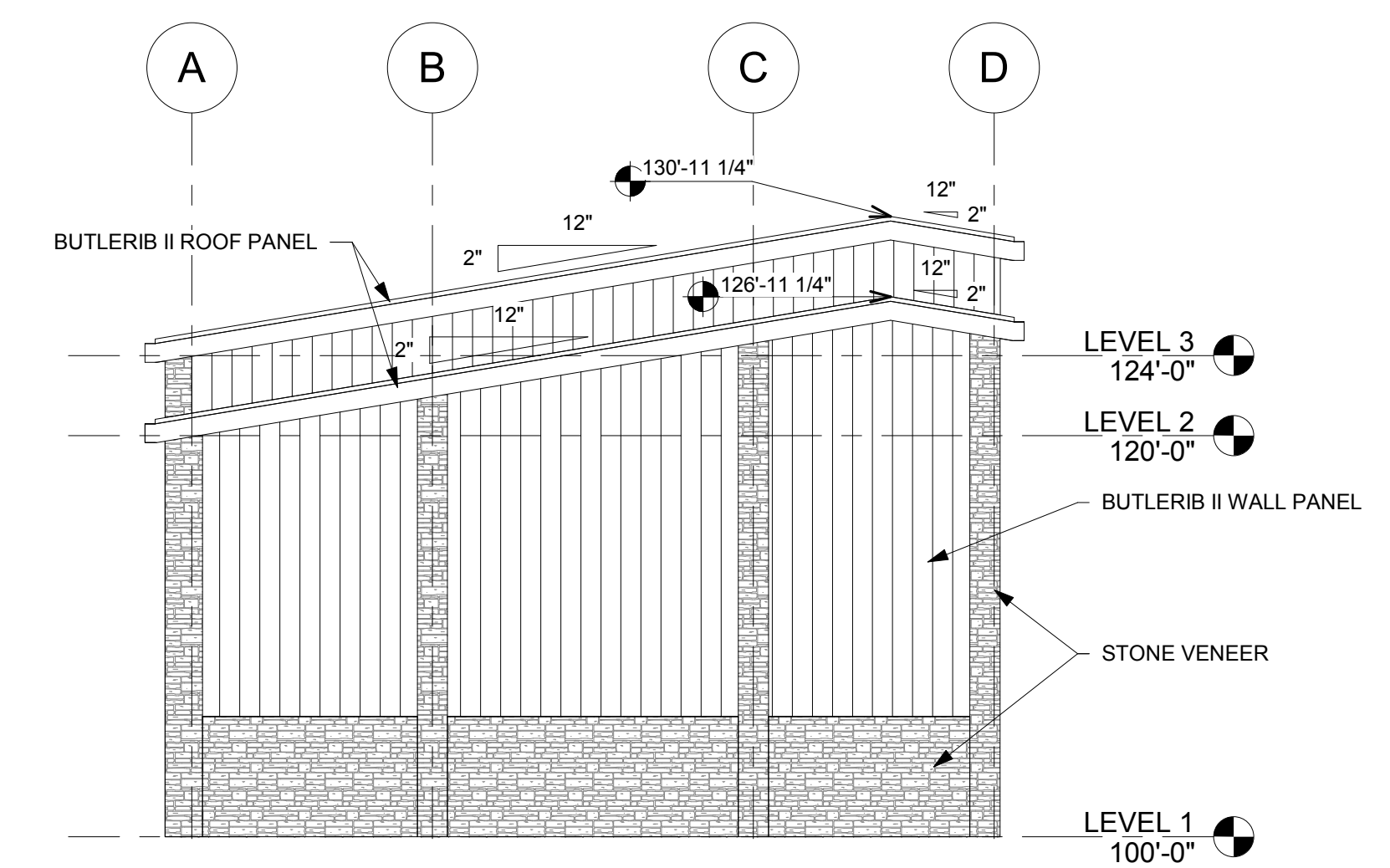
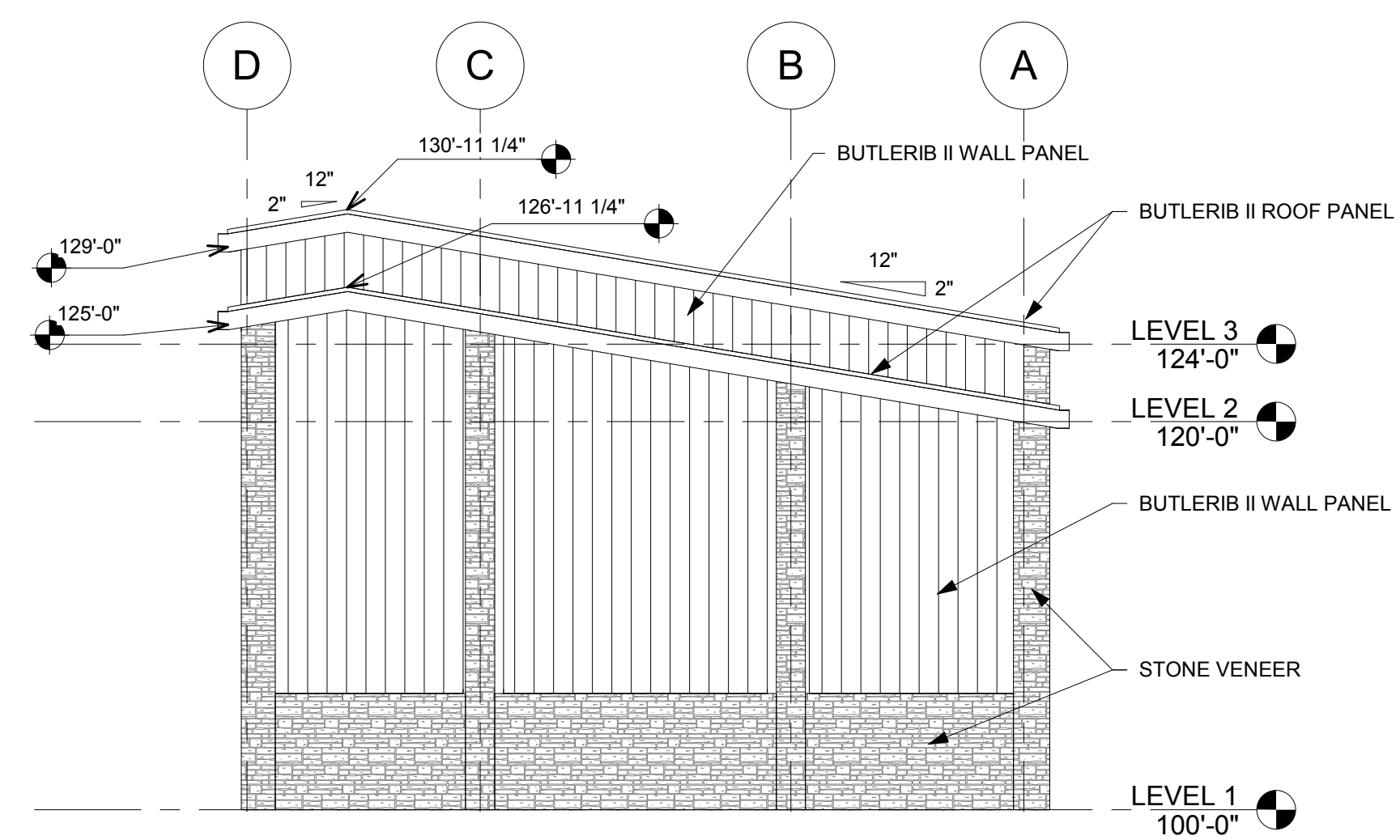
STONE:
Product# 43155405
Brand CORONADO
Type OLD COUNTRY LEDGE FLT
Color MONARCH
DRystack



ROOF AND WALL:
BUTLER
Butler II Roof System
Color: White (Roof)
Color: Ivory (Wall)



5 Building Materials Legend
1/8" = 1'-0"



C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6675

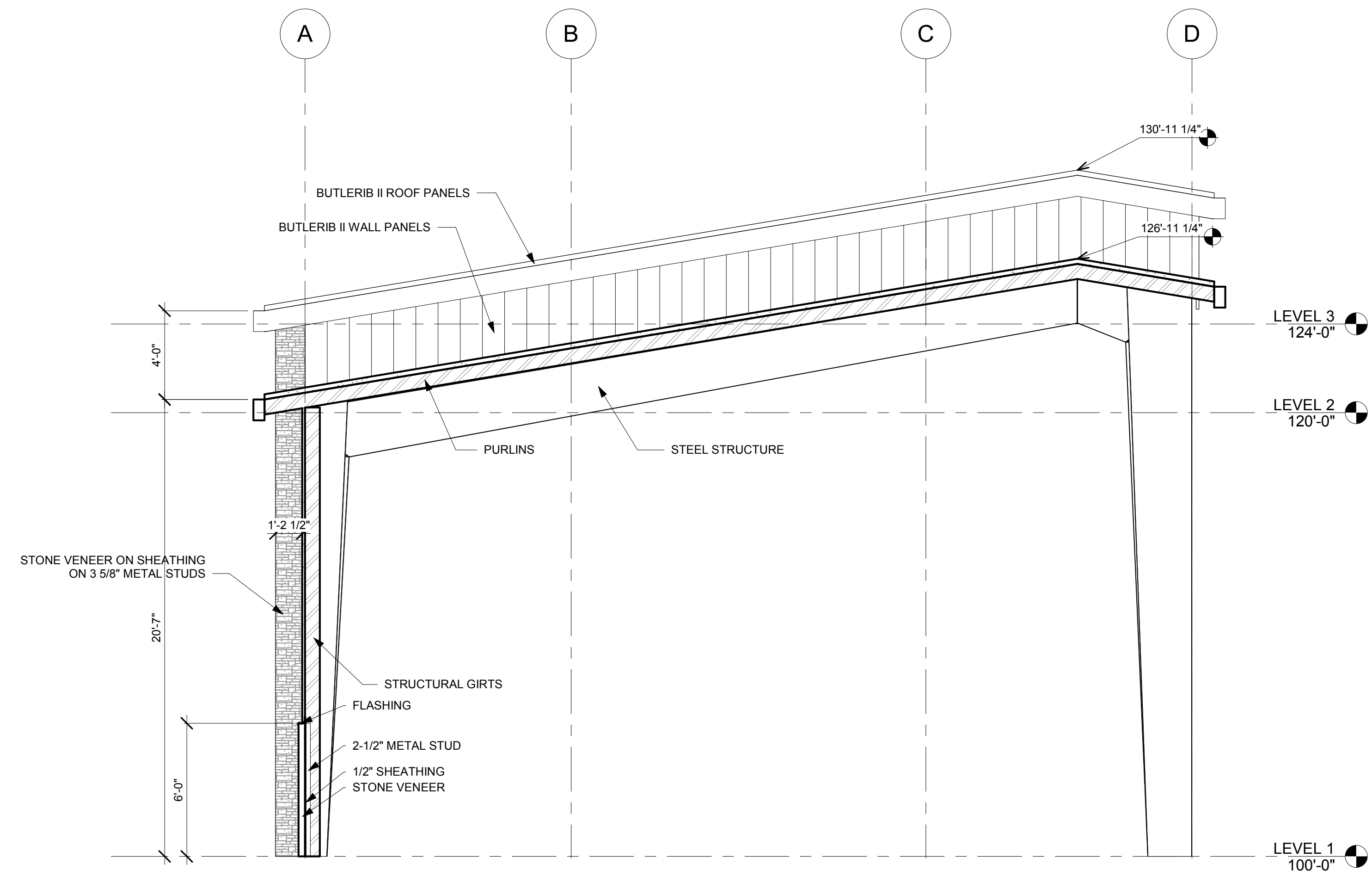
Project Status: FINAL SUBMITTAL
BEACON ROOFING SUPPLY
ALLIED BUILDING PRODUCTS
2155 Midpoint Drive
Ft. Collins, CO

Drawn By: RDW
EXTERIOR ELEVATIONS

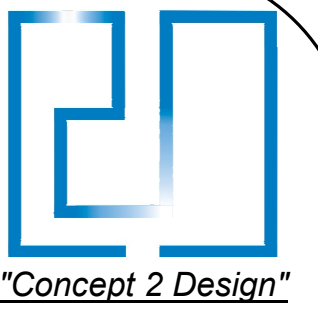
#	Date	Information
09/13/18	SD	For Review
09/20/18	SD	For Coord.
10/02/18	DD	For Review
10/03/18	DD	For Coord.
12/19/18	DD	City Review

PROJECT #:
18-08-124
SHEET #:
A2.10

NOT FOR CONSTRUCTION



1 BUILDING SECTION
1/4" = 1'-0"



"Concept 2 Design"

Date Printed: 12/19/2018 1:52:16 PM

C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greely, CO 80633
(970) 515-6675

Project Status: FINAL SUBMITTAL

BEACON ROOFING SUPPLY
ALLIED BUILDING PRODUCTS
2155 Midpoint Drive
Ft. Collins, CO

Drawn By: RDW

BUILDING SECTIONS

Issues / Revisions / #		
#	Date	Information
12/19/18	DD	City Review

PROJECT #: 18-08-124

SHEET #: A3.10

NOT FOR CONSTRUCTION



D-Series Size 1 LED Area Luminaire. Specifications: EPA: 1.01 ft² (0.09 m²), Length: 33" (83.8 cm), Width: 13" (33.0 cm), Height: 7-1/2" (19.0 cm), Weight (max): 27 lbs (12.3 kg).

AA3S & AA3T Capable Luminaire. This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability. All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

Ordering Information table for DSX1 LED. Columns include Series, LEDs, Color temperature, Distribution, Voltage, Mounting, Shipped included, and Control options.

LITHONIA LIGHTING. One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com. DSX1-LED Rev. 10/25/17 Page 1 of 7

D-Series Size 1 LED Wall Luminaire. Specifications: Width: 13-3/4" (34.9 cm), Depth: 10" (25.4 cm), Height: 6-3/8" (16.2 cm), Weight: 12 lbs (5.4 kg).

Back Box (BBW, ELCW) specifications: Width: 13-3/4" (34.9 cm), Depth: 4" (10.2 cm), Height: 6-3/8" (16.2 cm), Weight: 5 lbs (2.3 kg).

Ordering Information table for DSXW1 LED. Columns include Series, LEDs, Drive Current, Color temperature, Distribution, Voltage, Mounting, Shipped included, and Control options.

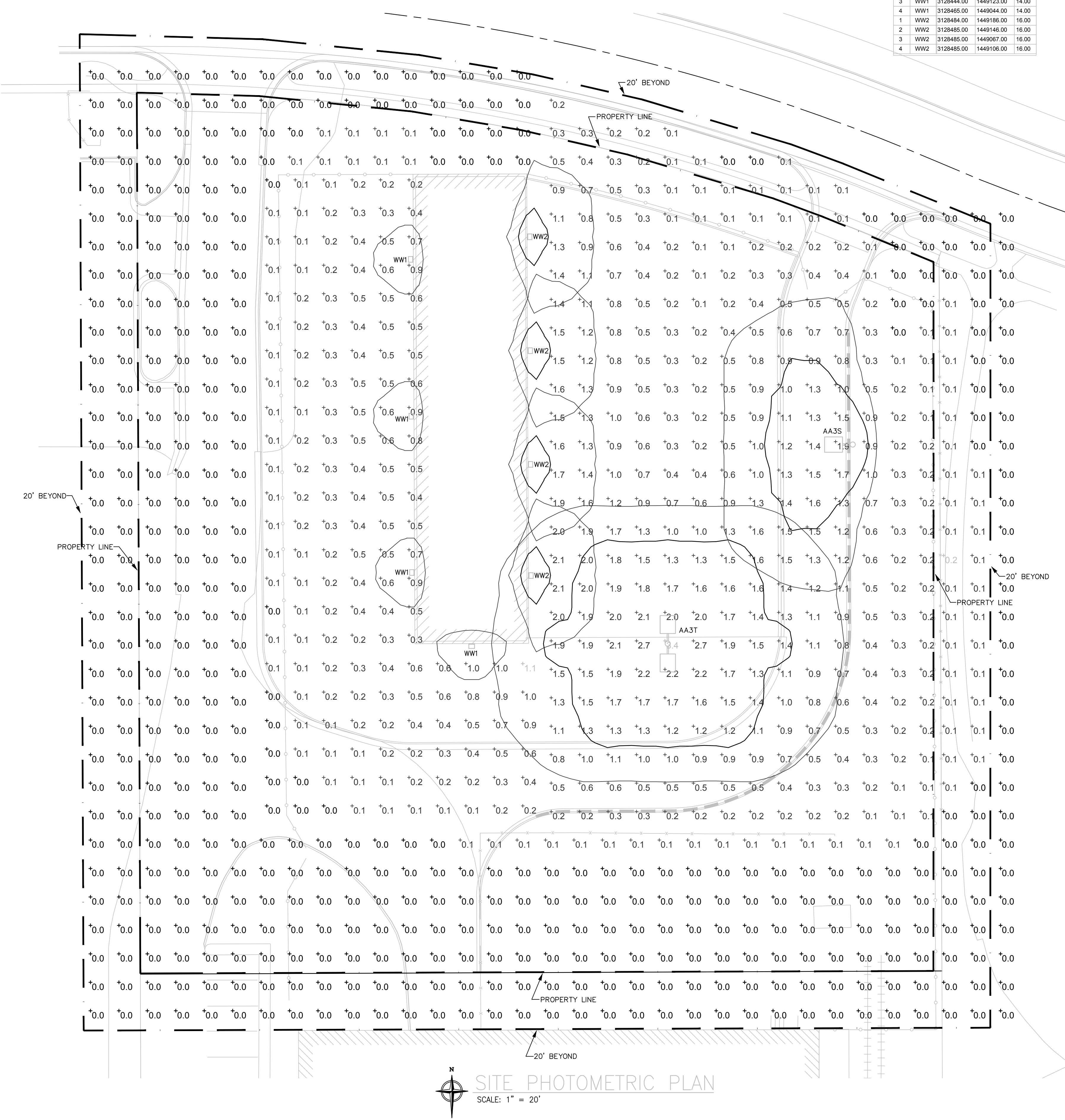
Accessories and Notes section. Lists various accessories like photocell, photocell sensor, and emergency battery backup, along with installation notes.

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Schedule table listing luminaire symbols (WW1, WW2, AA3T, AA3S), quantities, manufacturers, catalog numbers, descriptions, lamp types, wattages, and lumens per lamp.

Statistics table showing average, maximum, and minimum values for various metrics like Avg, Max, Min, Max/Mn, and Avg/Mn.

Luminaire Locations table with columns for No., Label, X, Y, and Z coordinates for each luminaire.



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Table with columns DATE and DESC. Row 1: 12/19/18, Photometric Set.

SITE PHOTOMETRIC PLAN

SP-1

SCALE: 1" = 20'