
PROJECT NAME

GULLEY DURAN SUBDIVISION #FDP180021

STAFF

Kai Kleer, Associate Planner

PROJECT INFORMATION

PROJECT DESCRIPTION: This is a request for a Final Development Plan to plat a 17.93-acre site and construct one single-family detached house and accessory building. The site is currently undeveloped and was formerly used as agricultural land. The project proposal does not yet have a street address but will take access through an existing Right of Way that passes through the Gulley Greenhouse site located at 6029 S Shields Street, in the Urban Estate(U-E) zone district.

APPLICANT & OWNER: Elizabeth (Beth) Gulley
1810 Empire Avenue
Loveland, CO 80538

RECOMMENDATION: Approval of the Gulley Duran Subdivision Final Development Plan, FDP180021.

EXECUTIVE SUMMARY

Staff finds the proposed Gulley Duran Subdivision Final Development Plan complies with the applicable requirements of the City of Fort Collins Land Use Code (LUC), more specifically:

- The Final Development Plan complies with procedures located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- The Final Development Plan complies with relevant standards of Article 3 – General Development Standards.
- The Final Development Plan complies with relevant standards located in Division 4.2, Urban Estate District (U-E) of Article 4 – Districts.

COMMENTS

1. Background:

The surrounding zoning and land uses to each side of the project site are as follows:

Direction	Zone District	Existing Land Uses
North	Public Open Lands (P-O-L)	Natural Area, Cathy Fromme Prairie
South	Urban Estate (U-E)	Unimproved land, Fossil Creek
East	Urban Estate (U-E)	Single family house, Gulley Greenhouse
West	Public Open Lands (P-O-L)	Natural Area, Cathy Fromme Prairie

The project site was originally annexed into Fort Collins as part of the Southwest Enclave Annexation Phase Three in 2006 and has not been platted. The property is believed to have been used for the cultivation of hay in the recent past. The Cathy Fromme Prairie Natural Area forms the north and west boundary of the site. The project site is zoned Urban Estate (U-E). There are no existing improvements on site.

A zoning and site vicinity map is attached separately as attachment 1.

2. Article Four – Urban Estate Zone District:

The project complies with all applicable Article 4 standards as follows:

A. Section 4.2(B)(2)(a) – Permitted Uses

Detached single-family residential development and accessory building is permitted in the Urban Estate (U-E) zone district subject to Administrative (Type 1) Review. The detached single-family use proposed for the final development plan meets all applicable standards.

B. Section 4.2(D)(1) – Density/Intensity

The proposed single-family residence on 17.98-acres consists of an overall average density is 0.05 dwelling units per gross acre, exceeding the 2-dwelling unit per gross acre minimum. The proposed single-family residence on 17.98 acres meets and exceeds the minimum lot size of 0.5 acres.

C. Section 4.2(D)(2) Dimensional Standards

The lot's width is 889.72 feet on the eastern edge, exceeding the 100-foot minimum lot width for single-family residence. The lot's front yard depth is 554.2', exceeding the minimum front yard depth of 30 feet. The lot's rear yard depth is 250', exceeding the minimum rear yard depth of 25 feet. The lot's side yard depth is 100 feet, exceeding the minimum side yard width of 20 feet. The

proposed single-family residence is a single story, not exceeding the 3-story maximum height limit.

3. Article Three – General Development Standards:

The project complies with all applicable Article 3 standards as follows:

A. Section 3.2.2(K)(1)(c) – Required Number of Off-Street Spaces for Type of Use.

Vehicle parking requirements for single-family detached houses are a minimum of 1 parking space on lots with greater than 40 feet of street frontage or 2 parking spaces on lots with 40 feet or less of street frontage. There is no maximum number of parking spaces for a single-family detached house. Three parking spaces are proposed on the site, which exceeds the residential parking minimum.

B. Section 3.3.1(B)(1) – Lots

This section requires lots to meet the area requirements set forth under the applicable zoning of the subject site. The Urban Estate zone district requires lots to be greater than or equal to 0.5 acres per dwelling unit. As proposed, the lot is 17.93 acres, exceeding the minimum requirements for this zone district.

C. Section 3.3.1(C)(1) – Public Sites, Reservations and Dedications

The applicant has satisfactorily coordinated utility requirements with the relevant outside utility providers, including the Fort Collins-Loveland Water District (water), Xcel Energy (gas), Fort Collins Light & Power, and the Larimer County Environmental Health Department (septic). The proposed house will be served by an onsite septic system and complies with the Larimer County Health Department minimum lot size of 2.29 acres.

D. Section 3.4.1 - Natural Habitats and Features

To the the maximum extent feasible, the development plan must be designed and arranged to be compatible with and to protect natural habitats and features and the plants and animals that inhabit them and integrate them within the developed landscape of the community by:

1. directing development away from sensitive resources,
2. minimizing impacts and disturbance through the use of buffer zones,
3. enhancing existing conditions, or
4. restoring or replacing the resource value lost to the community (either on-site or off-site) when a development proposal will result in the disturbance of natural habitats or features.

The development site is within 500 feet of two features: Smith Creek (a tributary to Fossil Creek) to the south and City of Fort Collins Cathy Fromme Prairie Natural Area (bordering site directly on north and west sides).

Because of this, an Ecological Characterization (ECS) study was required and was provided by the applicant on April 2018. The ECS report indicates that the site is dominated by smooth brome (*Bromus inermis*), an exotic species of grass. The impact of proposed development is expected to be minimal as a large portion of the property is to remain as open space.

The proposed project is 100 feet away from the border with Cathy Fromme Prairie Natural Area and over 100 feet from wetlands and Smith Creek. Habitat enhancements are indicated within the setback areas, including addition of native shrubs and application of dryland native seed mix in all disturbed areas.

The applicant is meeting and, in the case of the wetlands, exceeding City natural habitat buffer setback requirements. The landscaping and addition of native plants will provide enhanced opportunities for species' nesting, breeding, and where needed, screening to buffer adjacent areas visually. As proposed the project satisfies the applicable standards set forth in this section of the LUC.

E. Section 3.6.6 – Emergency Access

The proposal meets the emergency access standards of this section and the requirements of the Poudre Fire Authority. Poudre Fire Authority will require an emergency access easement to be recorded by separate document prior to Certificate of Occupancy. The access easement will follow the length of the proposed driveway and provide an area for turnaround in front of the house. The location of the proposed single-family house exceeds the maximum permitted distance from a fire hydrant. However, the proposed house will be equipped with a residential sprinkler system and dedicated emergency access.

4. Findings of Fact/Conclusion:

In evaluating the request for the Gulley Duran Subdivision Final Development Plan, staff makes the following findings of fact:

- A. The Gulley Duran Subdivision Final Development Plan complies with the process located in Division 2.2 – Common Development Review Procedures for Development Applications of Article 2 – Administration.
- B. The Gulley Duran Subdivision and Single-Family Residence Final Development Plan complies with the applicable standards located in Article 3 – General Development Standards.

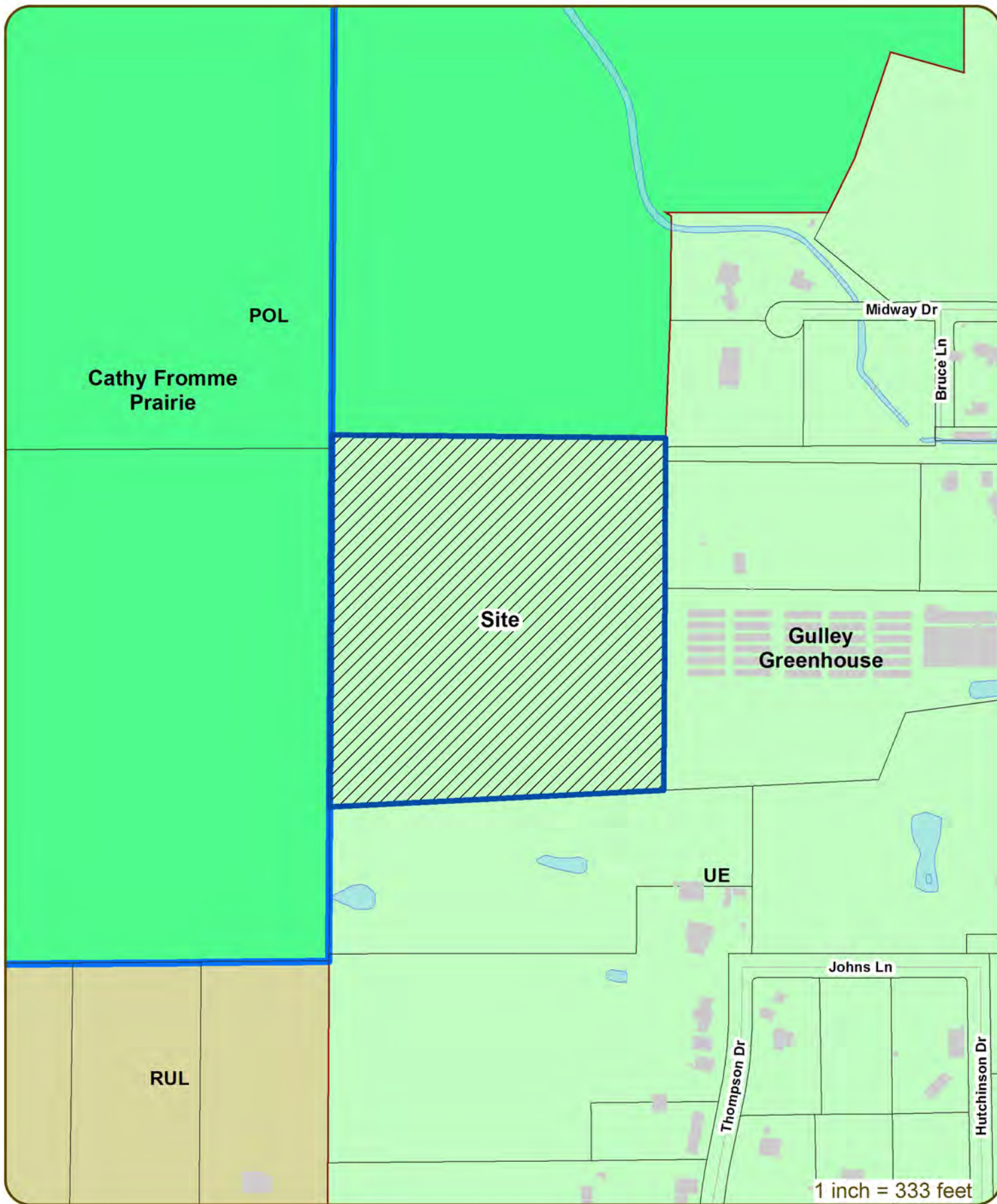
- C. The Gulley Duran Subdivision Final Development Plan complies with the applicable standards in Division 4.2, Urban Estate District of Article 4 – Districts.

RECOMMENDATION

Staff recommends approval of the Gulley Duran Subdivision Final Development Plan, FDP180021.

ATTACHMENTS

1. Site Vicinity Map
2. Applicant's Statement of Planning Objectives
3. Plat
4. Site and Landscape Plan
5. Utility Plans
6. Ecological Characterization Study



Gulley Duran Subdivision Vicinity & Zoning Map



STATEMENT OF PLANNING OBJECTIVES

Revised 11.6.18

Gulley Duran Subdivision – Parcel #9610400006

Our objective with this proposed plan is to construct a single family residential home on parcel #9610400006. One potential (future phase) barn accessory building has been included as part of the development proposal.

- (i) **Statement of appropriate City Plan Principles and Policies achieved by the proposed plan.**
Below are the City Plan Principles that we believe our project will achieve. The other Principles listed in the City Plan most likely will not apply to our location and/or project.
- Economic Health: Although our small project will have little impact on the overall Economic Health of the city, it has the potential to increase the value of the neighboring land and residential homes in the area.
 - Environmental Health: The project is adjacent to the Cathy Fromme Natural Area, so our objective is to preserve the matching natural prairie environment throughout our site as well. From landscaping to architecture, our goal is to maintain open corridors for wildlife movement, create habitat for wildlife and construct the project with minimally invasive construction techniques.
 - Community and Neighborhood Livability: This project qualifies as a small infill project, however does not have much impact on the surrounding community and neighborhood. The landscape will be designed to enhance the natural features of the prairie, while camouflaging the residence so that neighbors will not lose their views of the foothills.
- (ii) **Description of proposed open space, wetlands, natural habitats and features, landscaping, circulation, transition areas, and associated buffering on site and in the general vicinity of the project.**
- The proposed development (built) area will consist of less than 15% of the overall site, leaving the majority of the site as open space. There are no wetlands contained within the site boundaries that will be disturbed. The natural prairie habitat and site features will be preserved and maintained to match the neighboring Cathy Fromme Natural Area except for immediately surrounding the residence. Circulation will consist of one access road (gravel) to support residential traffic as well as fire emergency access. This road will be constructed in the same location as the existing dirt access road, so as not to disturb the site unnecessarily. The project will allow for a 100' minimum transition area / buffer between the built structures and the adjacent parcels. The project also may create separation and screening with plant material by planting several dense stands of evergreen trees, shade trees or shrubs.
- (iii) **Statement of proposed ownership and maintenance of public and private open space areas; applicant's intentions with regard to future ownership of all or portions of the project development plan.**
- Ownership shall be maintained by Elizabeth Gulley with intentions to inhabit the single family dwelling now and in the future. The private open space on the site will be preserved by the owner as a buffer from adjacent neighboring properties. The open space will not change, as only one single family residence (with one potential barn) will be approved to build on the site.

- (iv) **Estimate of number of employees for business, commercial and industrial uses.**
- There will be no jobs created with this project except during its construction. The intention of this project is a single family residence with no commercial or industrial uses.
- (v) **Description of rationale behind the assumptions and choices made by the applicant.**
- The residence is situated on the higher northwest corner of the site to allow for the best site drainage scenario possible with minimal disturbance of the existing site features. The residence location also allows for a shorter run for underground utilities which will also reduce disturbance on the site.
 - The architectural character selected for the single family residence is a modest, one story ranch-style house with earth berm walls on two of the four sides. The berm walls will be to the northwest and northeast sides of the house to protect the residence from the harsh winter winds coming from that direction, while windows to the southwest will allow passive solar heating which will reduce the need for conventional heating. The berm walls will also allow the residence to fit seamlessly into the natural prairie environment found on the site. When viewed from the adjacent Cathy Fromme prairie, the majority of what someone will see will be the earth berm walls and landscape plantings.
 - The remainder of the site will be used for future livestock pasture and open space, keeping with the character of the surrounding parcels. If fencing is added or amended, all new boundary fencing will be wildlife friendly, 3-4 strand smooth wire fences.
 - The access road to the residence will be built in the same location as the existing dirt road that runs through the site, in order to minimize disturbance.
 - The future phase accessory building (barn) shall adhere to all city requirements, and shall be 2,500 SF or less. We understand that it will be subject to building permit requirements at the time it is constructed, but will be included as part of the development approval of this project and will not have to be reviewed for development criteria in the future.
- (vi) **The applicant shall submit as evidence of successful completion of the applicable criteria, the completed documents pursuant to these regulations for each proposed use. The Planning Director may require, or the applicant may choose to submit, evidence that is beyond what is required in that section. Any variance from the criteria shall be described.**
1. Due to the project's rural location, several design criteria have been presented and approved by the Poudre Fire Authority (PFA) as an alternative to normal standards. The site is over 3000 feet away from the nearest fire hydrant. To waive the requirement for a fire hydrant in close proximity (within 400') of the single family residence, the project will propose the following improvements in accordance with PFA recommendations:
 - The main residential house as well as the future guest house will both be designed with a residential sprinkler system; system design will need to be approved by PFA. The sprinkler design plan will be required to submit at Building Permit phase for approval.
 - The access road to the site shall be constructed with a minimum width of 16', increasing to 20' width near the residence for approximately 200' (to allow for space to work and park equipment). The access road shall end in a turnaround with a minimum radii of 25' inside and 50' outside. Turning radii to be detailed on submitted plans.

- The access road will not be required to be paved, but must be shown to be constructed of material and a cross-section capable of supporting 40tons. Access road must maintain an all-weather surface.
- A maintenance plan for the Fire Lane will be required to ensure that it is usable and there is a plan for snow removal and general upkeep. Fire lane signs will be required so it remains unobstructed. Any gates across the Fire Lane will require approved Knox switches or Opticom activation.
- Wayfinding address signs will be required to guide emergency crews to the residence location and shall be designed according to IFC 505.1.

(vii) Narrative description of how conflicts between land uses or disturbances to wetlands, natural habitats and features and or wildlife are being avoided to the maximum extent feasible or are mitigated.

- There are no wetlands contained within the project boundary that will be affected. The native prairie grassland will be maintained on at least 75% of the site without being disturbed; the only area in conflict will be the small envelope of the single family residence, and potentially the future barn structure. The house will be sited on the higher, flat part of the site to minimize impact to the existing drainage and topography on the site. A 100' buffer will be left open between all built structures and the property line to ensure the unobstructed movement of wildlife through the site. If a boundary fence is erected in the future (to contain livestock), it will be smooth wire and wildlife friendly. The proposed landscape plan will introduce some trees and shrubs, none of which currently exist on site. Several dense stands of trees will be planted to provide natural separation and screening for the residence, and will provide increased habitat for birds and other prairie dwelling species. During construction, the contractor will survey for existing wildlife and wildlife habitats, being careful to minimize disruption. Please refer to the Ecological Characterization Study (ECS) provided.

(viii) Written narrative addressing each concern/issue raised at the neighborhood meeting(s), if a meeting has been held.

- No neighborhood meeting has been held at this time.

(ix) Name of the project as well as any previous name the project may have had during Conceptual Review.

Current Name: Gulley Duran Subdivision - Parcel #9610400006

Subdivision Plat Name: Gulley Duran Subdivision

Name in correspondence with City of Fort Collins: Gulley Single Family Residential Project

Name at Conceptual Review: S Shields Single Family

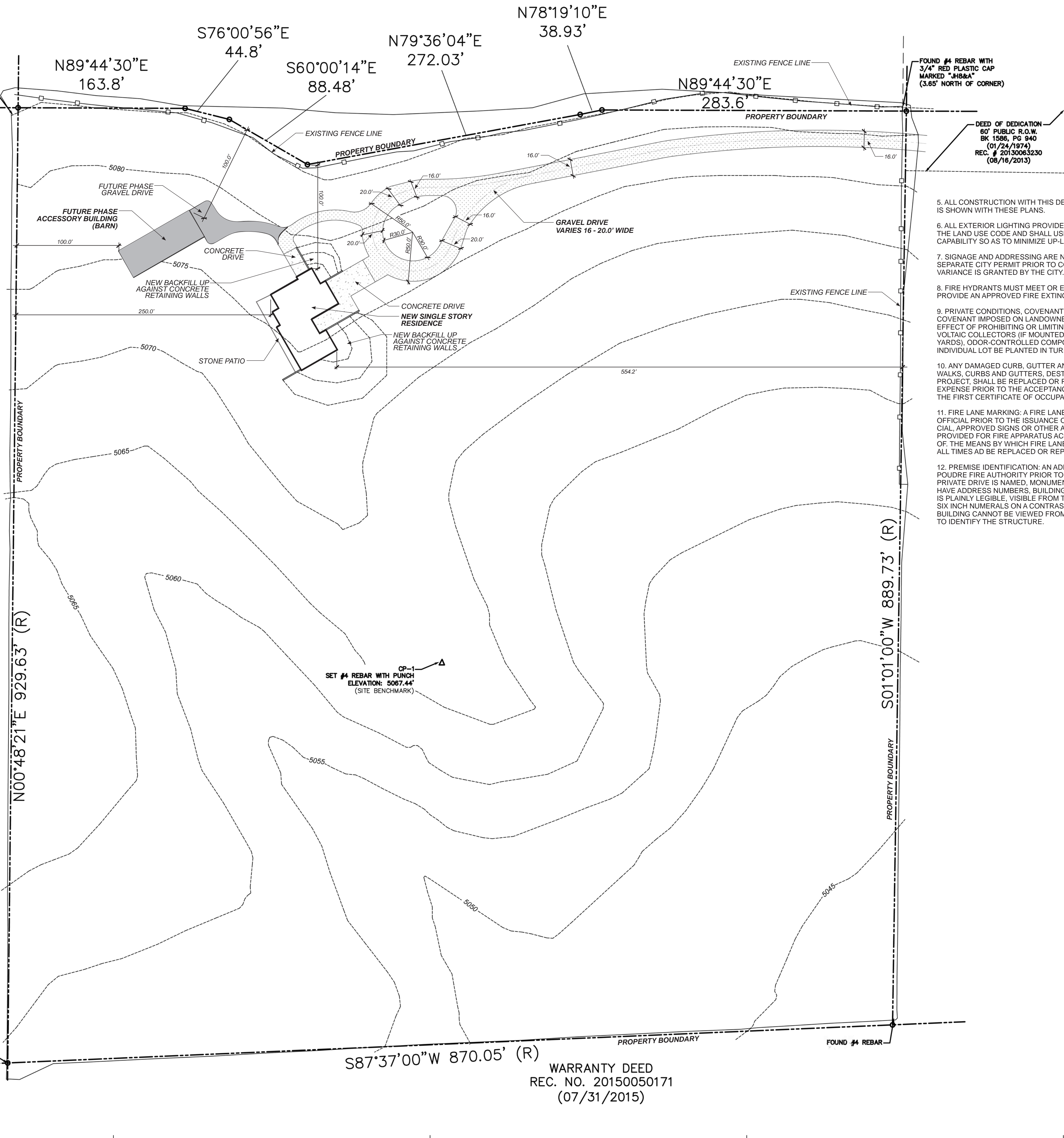
(x) Parking narrative describing the parking demand generated with consideration of: the number of employees, tenants, and/or patrons; the amount and location of parking provided; where anticipated spill-over parking will occur; and, any other considerations regarding vehicle parking.

- All parking will be for residents of the single family home and will be provided within the garage, shop and driveway area of the design; employee and patron parking is not necessary. Parking for Fire and Emergency equipment will be addressed (see section vi.1 above).

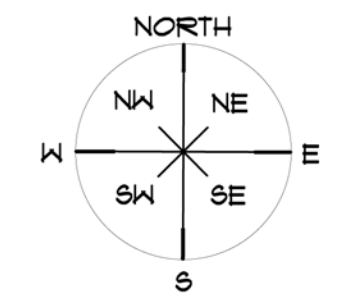
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FOUND #6 REBAR WITH 3" ALUMINUM
CAP MARKED "C1/4 COR, SEC
10-6-69, LS 12374"
(PER MONUMENT RECORD DATED
12/28/1988)

DEED
REC. NO. 2003017770
(02/04/2003)

FOUND #5 REBAR WITH
ORANGE PLASTIC CAP
(ILLEGIBLE)



- SITE PLAN NOTES:**
- REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
 - REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
 - THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
 - ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
 - ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
 - ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 3.2.4 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
 - SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
 - FIRE HYDRANTS MUST MEET OR EXCEED Poudre FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
 - PRIVATE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&R'S), OR ANY OTHER PRIVATE RESTRICTIVE COVENANT IMPOSED ON LANDOWNERS WITHIN THE DEVELOPMENT, MAY NOT BE CREATED OR ENFORCED HAVING THE EFFECT OF PROHIBITING OR LIMITING THE INSTALLATION OF XERISCAPE LANDSCAPING, SOLAR/PHOTO-VOLTAIC COLLECTORS (IF MOUNTED FLUSH UPON ANY ESTABLISHED ROOF LINE), CLOTHES LINES (IF LOCATED IN BACK YARDS), ODOR-CONTROLLED COMPOST BINS, OR WHICH HAVE THE EFFECT OF REQUIRING THAT A PORTION OF ANY INDIVIDUAL LOT BE PLANTED IN TURF GRASS.
 - ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDE-WALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF FORT COLLINS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
 - FIRE LANE MARKING: A FIRE LANE MARKING PLAN MUST BE REVIEWED AND APPROVED BY THE FIRE OFFICIAL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. WHERE REQUIRED BY THE FIRE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THERE-OF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
 - PREMISE IDENTIFICATION: AN ADDRESSING PLAN IS REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY AND Poudre FIRE AUTHORITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. UNLESS THE PRIVATE DRIVE IS NAMED, MONUMENT SIGNAGE MAY BE REQUIRED TO ALLOW WAY FINDING. ALL BUILDINGS SHALL HAVE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE, VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, AND POSTED WITH A MINIMUM OF SIX INCH NUMERALS ON A CONTRASTING BACKGROUND. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.



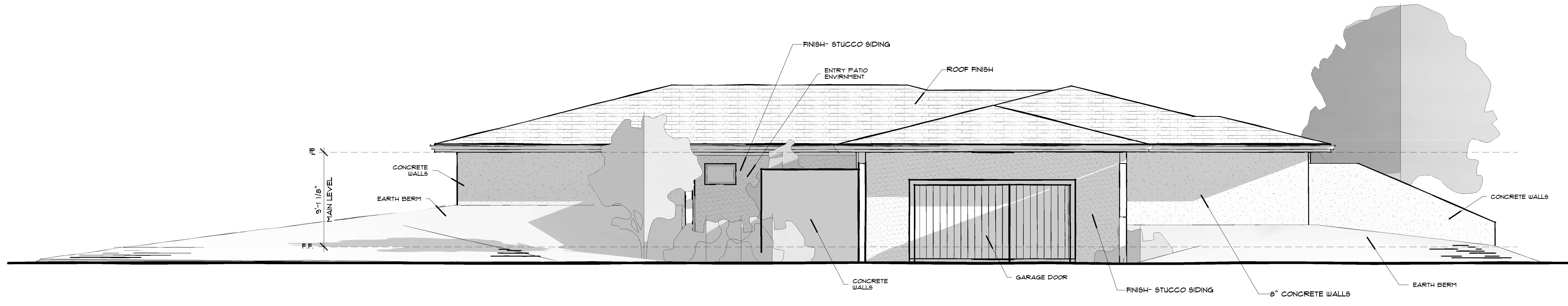
NOTICE: DUTY OF COOPERATION - Release of these plans contemplates further cooperation among the owner, his contractor, and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect immediately and in writing shall constitute acceptance of the plans as shown. The architect is not responsible for any consequences arising out of such omissions. Changes made from the plans without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes. THIS SET IS IN FULL & VOID SHOULD ANY PART OF THE COVER BE OBTAINED FROM THIS SET.

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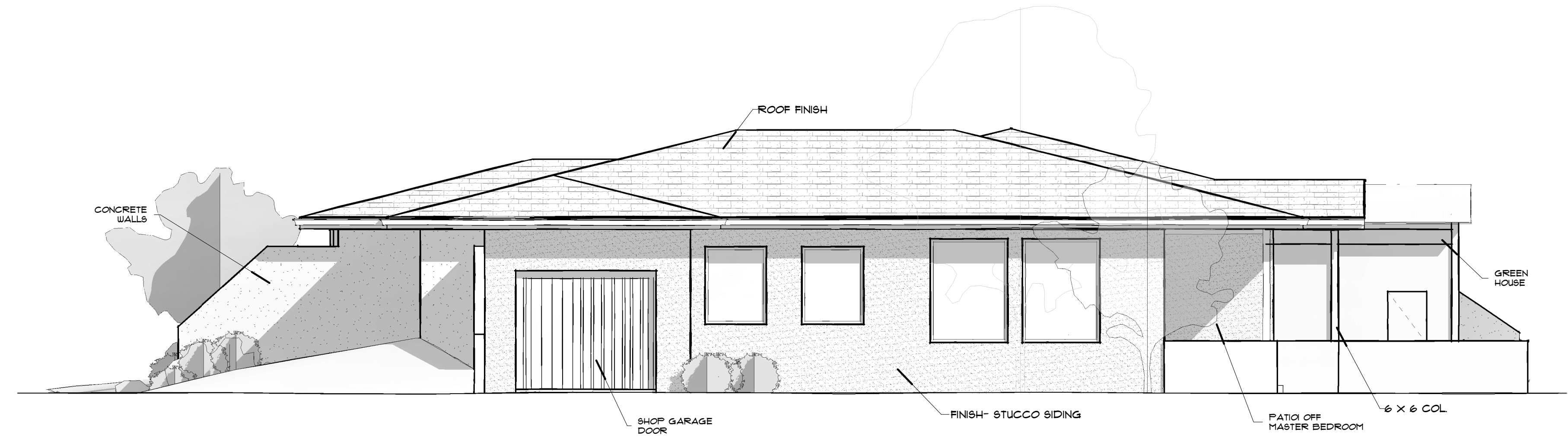
GULLEY DURAN SUBDIVISION
 PARCEL #9610400006
 SOUTH SHIELDS ST.
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 (970) 663-0548

FINAL SITE PLAN
 sheet 2 of 5

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1 NORTHEAST ELEVATION
3/16" = 1'-0"



2 NORTHWEST ELEVATION
3/16" = 1'-0"

NOTICE: DUTY OF COOPERATION - Release of these plans, completes further cooperation among the owner, his contractor, and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect promptly in writing shall constitute acceptance of the plans and shall release the architect of responsibility for all consequences arising out of such changes. Changes made from the plans without the consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes. THIS SET IS NOT A CONTRACT. CONTRACT SHALL BE OBTAINED FROM THE SET.

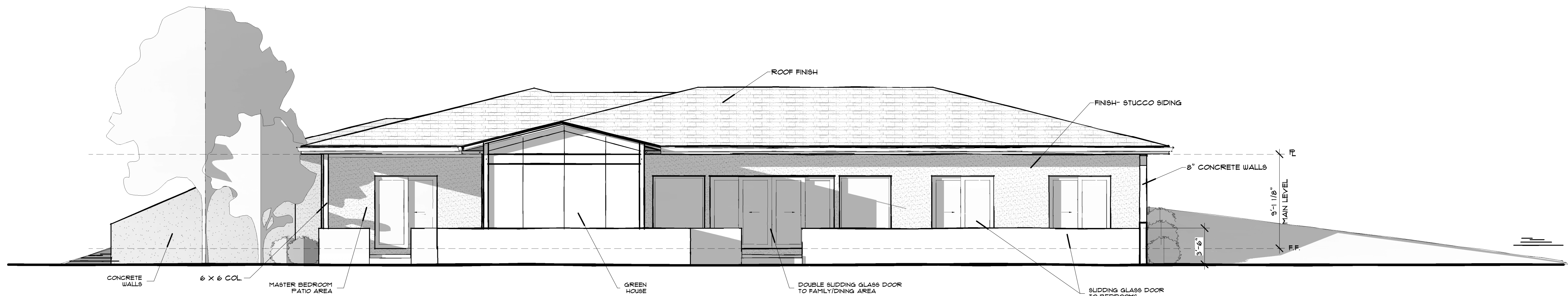
RESIDENCE ELEVATIONS

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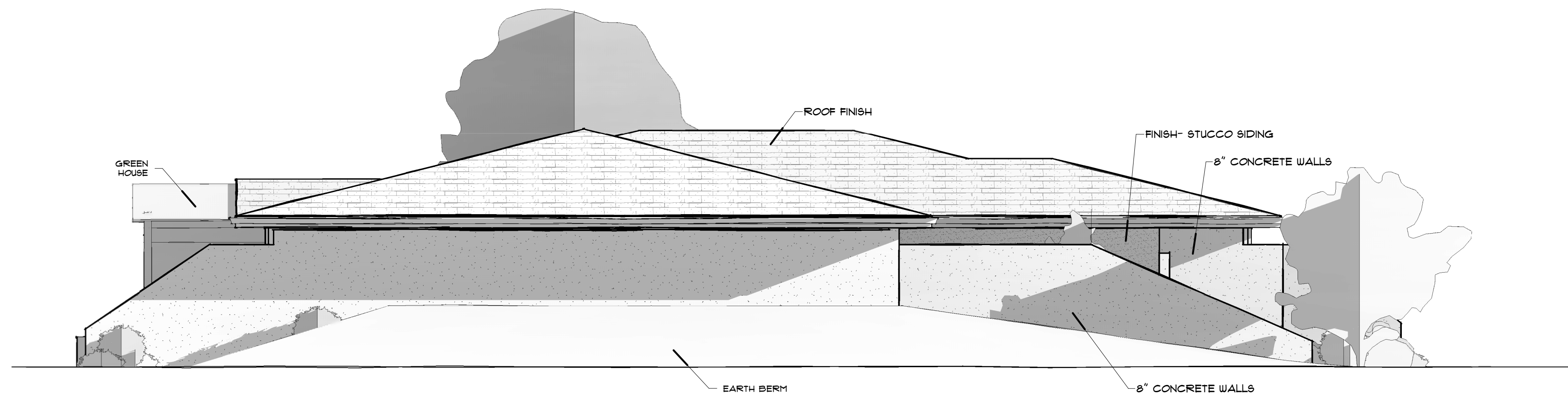
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date: 10/7/18
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3 of 5



1 **SOUTHWEST ELEVATION**
3/16" = 1'-0"



2 **SOUTHEAST ELEVATION**
3/16" = 1'-0"

NOTICE: DUTY OF COOPERATION - Release of these plans, contemplative further cooperation, among the owner, his contractor, and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect promptly in writing shall constitute acceptance of the plans as shown. Changes made from the plans without the consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes. THIS SET IS NOT A FINAL SET. ANY CHANGES SHOULD BE MADE ON THE ORIGINAL SET. ALL CHANGES SHOULD BE CHECKED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED ON THESE PLANS.

RESIDENCE ELEVATIONS

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PARCEL #061040006
SOUTH SHIELDS ST.
FORT COLLINS COLORADO

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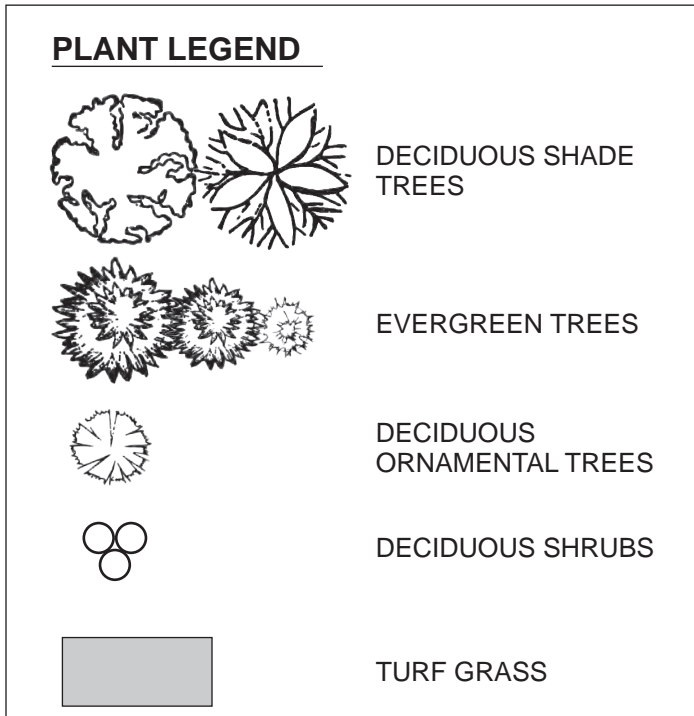
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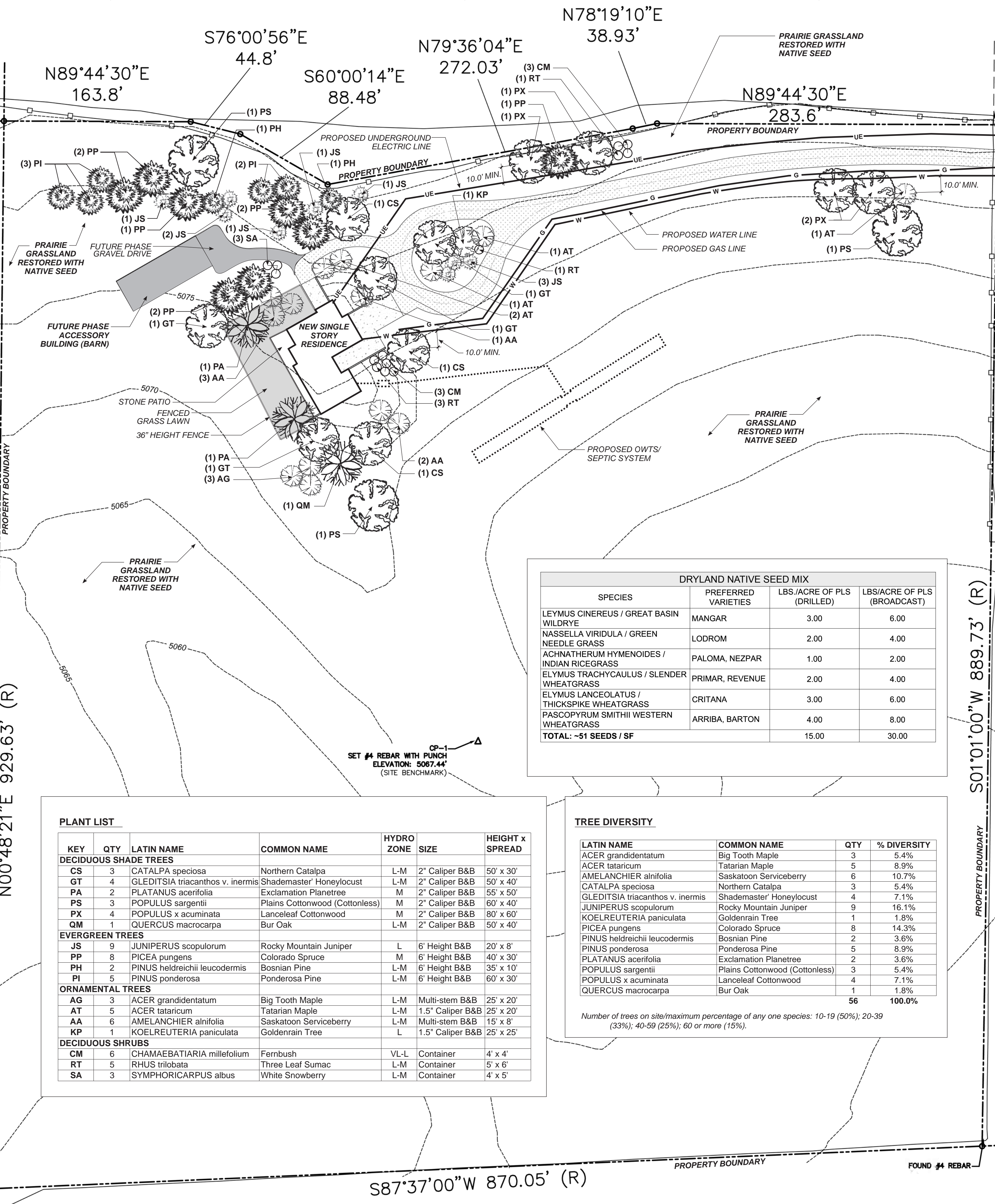
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CENTER 1/4 COR, SEC 10, T6N, R69W,
FOUND #6 REBAR WITH 3" ALUMINUM
CAP MARKED "C1/4 COR, SEC
10-6-89, LS 12374"
(PER MONUMENT RECORD DATED
12/28/1988)



NATIVE SEED NOTES:

1. NATIVE SEED MIX TO BE SUBMITTED FOR APPROVAL BY OWNER'S REPRESENTATIVE. THE GROUND SHALL BE CULTIVATED LIGHTLY THEN SEEDED IN TWO DIRECTIONS TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA.
2. ALL DISTURBED AREAS THAT ARE NOT PERMANENTLY LANDSCAPED SHALL BE SEED WITH NATIVE GRASSES.
3. PRIOR TO SEEDING SOIL WILL BE AERATED WHERE ACCESSIBLE BY EQUIPMENT AND SOIL AMENDMENTS ADDED AS NECESSARY. APPROPRIATE NATIVE SEEDING EQUIPMENT WILL BE USED TO ENSURE SEEDING IS NO DEEPER THAN 1/2 INCH IN SOIL.
4. DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE. FOR BROADCAST SEEDING, DOUBLE SPECIFIED APPLICATION RATE. REFER TO NATIVE SEED MIX TABLE FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
5. TREAT NATIVE SEED MIX AREA PRIOR TO INSTALLATION WITH A PRE-EMERGENT WEED CONTROL.
6. AFTER SEEDING THE AREA SHALL BE COVERED WITH CRIMPED STRAW OR OTHER APPROPRIATE METHODS AND PROVIDED TEMPORARY IRRIGATION UNTIL SEED IS ESTABLISHED. OWNER'S REPRESENTATIVE SHALL MONITOR SEEDING AREA FOR PROPER IRRIGATION, EROSION CONTROL, GERMINATION AND RESEEDING AS NEEDED TO ESTABLISH COVER.
7. THE PRAIRIE GRASSLAND RESTORED AREA IS INTENDED TO BE MAINTAINED IN A NATURAL-LIKE LANDSCAPE AESTHETIC. IF AND WHEN MOWING OCCURS IN NATIVE GRASS SEED MIX AREAS, DO NOT MOW LOWER THAN 6-8 INCHES IN HEIGHT TO AVOID INHIBITING NATIVE PLANT GROWTH.
8. NATIVE SEED AREA WILL BE CONSIDERED ESTABLISHED WHEN SEVENTY-PERCENT TOTAL COVER IS REACHED WITH NO LARGER THAN ONE FOOT SQUARE BARE SPOTS.



TREE PROTECTION NOTES:

1. TREE PROTECTION DOES NOT APPLY; THERE ARE NO EXISTING TREES ON SITE.

GENERAL LANDSCAPE NOTES:

1. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE - FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
2. IRRIGATION: ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF FORT COLLINS WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. IRRIGATION SYSTEMS MUST BE TURNED OVER TO THE CITY PARKS DEPARTMENT FOR MAINTENANCE STANDARDS. DESIGN REVIEW SHALL OCCUR DURING UTILITIES DEPARTMENT IRRIGATION REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND CONSTRUCTION OBSERVATION AND INSPECTION BY PARKS SHALL BE INCORPORATED INTO THE CONSTRUCTION PROCESS.
3. TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
4. SOIL AMENDMENTS: SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12-132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCHING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, A WRITTEN CERTIFICATION MUST BE SUBMITTED TO THE CITY THAT ALL PLANTED AREAS, OR AREAS TO BE PLANTED, HAVE BEEN THOROUGHLY LOOSENEED AND THE SOIL AMENDED, CONSISTENT WITH THE REQUIREMENTS SET FORTH IN SECTION 12-132.
5. INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
6. MAINTENANCE: TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
7. REPLACEMENT: ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
8. THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:
40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
15 FEET BETWEEN ORNAMENTAL TREES AND STREET LIGHTS
10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES
4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
4 FEET BETWEEN TREES AND GAS LINES
9. ALL TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAY (EMERGENCY ACCESS / FIRE LANE) TO ENSURE VISIBILITY AND OPEN ROADWAY AT ALL TIMES.
10. PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF FORT COLLINS. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
11. THE FINAL LANDSCAPE PLAN SHALL BE COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
12. MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
13. ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.

NATURAL AREA BUFFER NOTES:

1. STANDARDS FOR PROTECTION DURING CONSTRUCTION - THE DIRECTOR SHALL ESTABLISH A "LIMITS OF DEVELOPMENT" ("LOD") LINE(S) TO ESTABLISH THE BOUNDARY OF THE PROJECT OUTSIDE OF WHICH NO LAND DISTURBANCE ACTIVITIES WILL OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
2. SEE SECTION 3.4.1 OF THE LAND USE CODE FOR ALLOWABLE USES WITHIN THE BUFFER ZONE.
3. CONSTRUCTION SHALL BE ORGANIZED AND TIMED TO MINIMIZE THE DISTURBANCE OF SENSITIVE SPECIES OCCUPYING OR USING ON-SITE AND ADJACENT NATURAL HABITATS OR FEATURES.
4. CONSTRUCTION OF BARRIER FENCING SHALL BE PROVIDED AT THE LIMITS OF THE DEVELOPMENT DURING CONSTRUCTION.
5. ALL DISTURBED NATURAL PRAIRIE AREAS SHALL BE RETURNED TO THEIR ORIGINAL STATE BY RESEEDING LIKE VARIETIES AS SUGGESTED IN THE ECOLOGICAL CONSERVATION STUDY (PROVIDED).

DRYLAND NATIVE SEED MIX			
SPECIES	PREFERRED VARIETIES	LBS./ACRE OF PLS (DRILLED)	LBS./ACRE OF PLS (BROADCAST)
LEYMUS CINEREUS / GREAT BASIN WILD RYE	MANGAR	3.00	6.00
NASSELLA VIRIDULA / GREEN NEEDLE GRASS	LODROM	2.00	4.00
ACHNATHERUM HYMENOIDES / INDIAN RICEGRASS	PALOMA, NEZPAR	1.00	2.00
ELYMUS TRACHYCAULUS / SLENDER WHEATGRASS	PRIMAR, REVENUE	2.00	4.00
ELYMUS LANCEOLATUS / THICKSPIKE WHEATGRASS	CRITANA	3.00	6.00
PASCOPYRUM SMITHII WESTERN WHEATGRASS	ARRIBA, BARTON	4.00	8.00
TOTAL: ~51 SEEDS / SF		15.00	30.00

TREE DIVERSITY

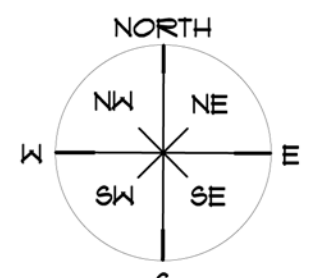
LATIN NAME	COMMON NAME	QTY	% DIVERSITY
ACER grandidentatum	Big Tooth Maple	3	5.4%
ACER tataricum	Tatarian Maple	5	8.9%
AMELANCHIER alnifolia	Saskatoon Serviceberry	6	10.7%
CATALPA speciosa	Northern Catalpa	3	5.4%
GLEDITSIA triacanthos v. inermis	Shademaker Honeylocust	4	7.1%
JUNIPERUS scopulorum	Rocky Mountain Juniper	9	16.1%
KOELREUTERIA paniculata	Goldenrain Tree	1	1.8%
PICEA pungens	Colorado Spruce	8	14.3%
PINUS heldreichii leucodermis	Bosnian Pine	2	3.6%
PINUS ponderosa	Ponderosa Pine	5	8.9%
PLATANUS acerifolia	Exclamation Planetree	2	3.6%
POPULUS sargentii	Plains Cottonwood (Cottonless)	3	5.4%
POPULUS x acuminata	Lanceleaf Cottonwood	4	7.1%
QUERCUS macrocarpa	Bur Oak	1	1.8%
		56	100.0%

Number of trees on site/maximum percentage of any one species: 10-19 (50%); 20-39 (33%); 40-59 (25%); 60 or more (15%).

PLANT LIST

KEY	QTY	LATIN NAME	COMMON NAME	HYDRO ZONE	SIZE	HEIGHT x SPREAD
DECIDUOUS SHADE TREES						
CS	3	CATALPA speciosa	Northern Catalpa	L-M	2' Caliper B&B	50' x 30'
GT	4	GLEDITSIA triacanthos v. inermis	Shademaker Honeylocust	L-M	2' Caliper B&B	50' x 40'
PA	2	PLATANUS acerifolia	Exclamation Planetree	M	2' Caliper B&B	55' x 50'
PS	3	POPULUS sargentii	Plains Cottonwood (Cottonless)	M	2' Caliper B&B	60' x 40'
PX	4	POPULUS x acuminata	Lanceleaf Cottonwood	M	2' Caliper B&B	80' x 60'
QM	1	QUERCUS macrocarpa	Bur Oak	L-M	2' Caliper B&B	50' x 40'
EVERGREEN TREES						
JS	9	JUNIPERUS scopulorum	Rocky Mountain Juniper	L	6' Height B&B	20' x 8'
PP	8	PICEA pungens	Colorado Spruce	M	6' Height B&B	40' x 30'
PH	2	PINUS heldreichii leucodermis	Bosnian Pine	L-M	6' Height B&B	35' x 10'
PI	5	PINUS ponderosa	Ponderosa Pine	L-M	6' Height B&B	60' x 30'
ORNAMENTAL TREES						
AG	3	ACER grandidentatum	Big Tooth Maple	L-M	Multi-stem B&B	25' x 20'
AT	5	ACER tataricum	Tatarian Maple	L-M	1.5' Caliper B&B	25' x 20'
AA	6	AMELANCHIER alnifolia	Saskatoon Serviceberry	L-M	Multi-stem B&B	15' x 8'
KP	1	KOELREUTERIA paniculata	Goldenrain Tree	L	1.5' Caliper B&B	25' x 25'
DECIDUOUS SHRUBS						
AG	6	CHAMAEBATIARIA millefolium	Fernbush	VL-L	Container	4' x 4'
RT	5	RHUS trilobata	Three Leaf Sumac	L-M	Container	5' x 6'
SA	3	SYMPHORICARPUS albus	White Snowberry	L-M	Container	4' x 5'

A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27-31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.



Kenney Lee
architecture group, inc.

GULLEY DURAN SUBDIVISION
FINAL LANDSCAPE PLAN

PARCEL #9610400006
SOUTH SHIELDS ST.
FORT COLLINS COLORADO (970) 663-0548

DATE: 11/6/18
DRAWN: [Signature]
CHECKED: [Signature]
JOB NO.

sheet
5 of 5

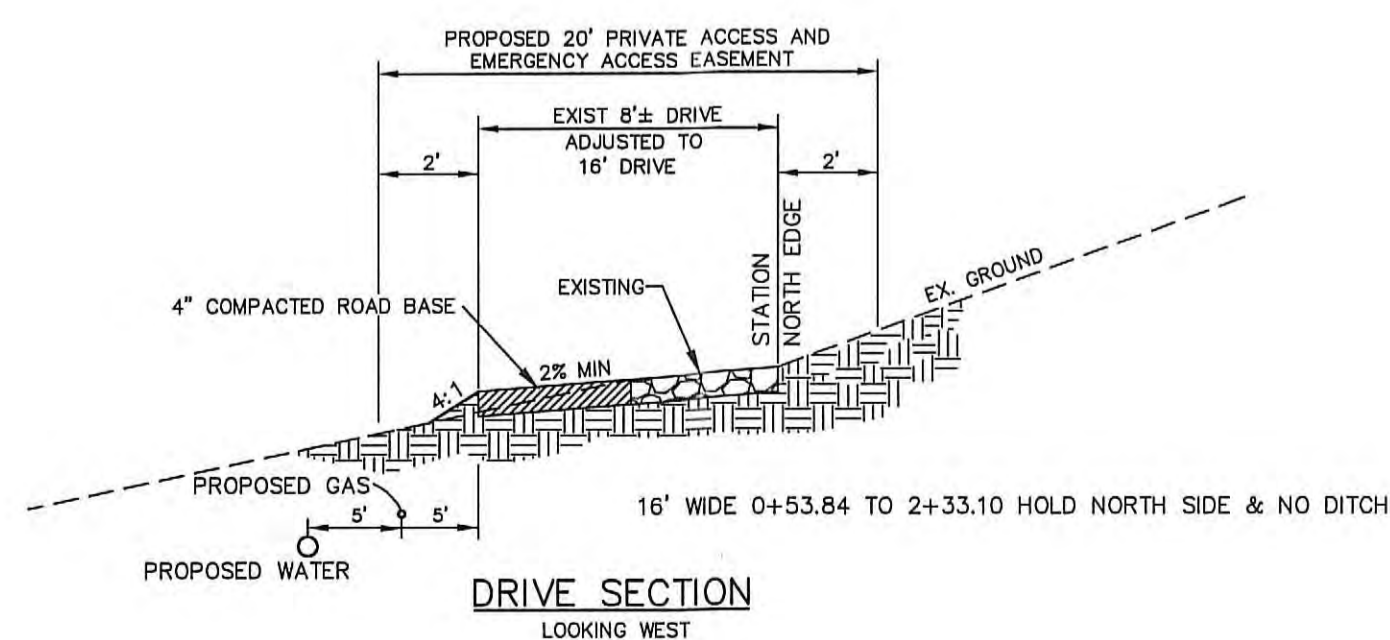
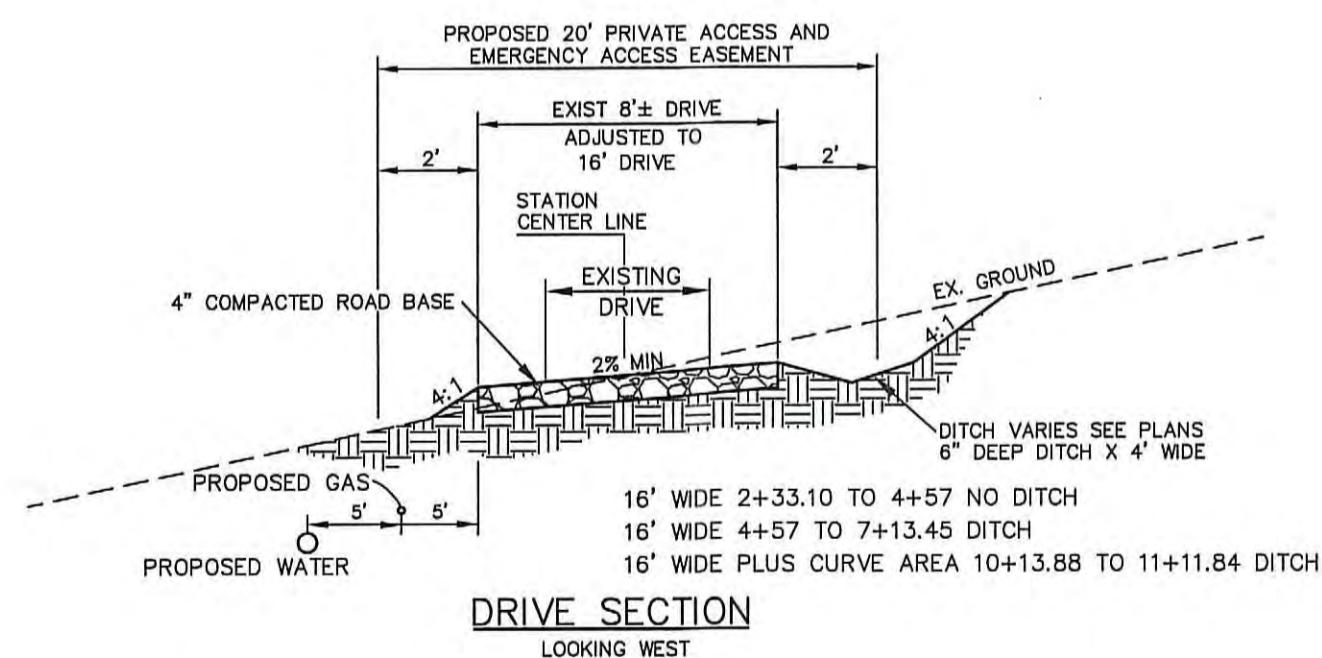
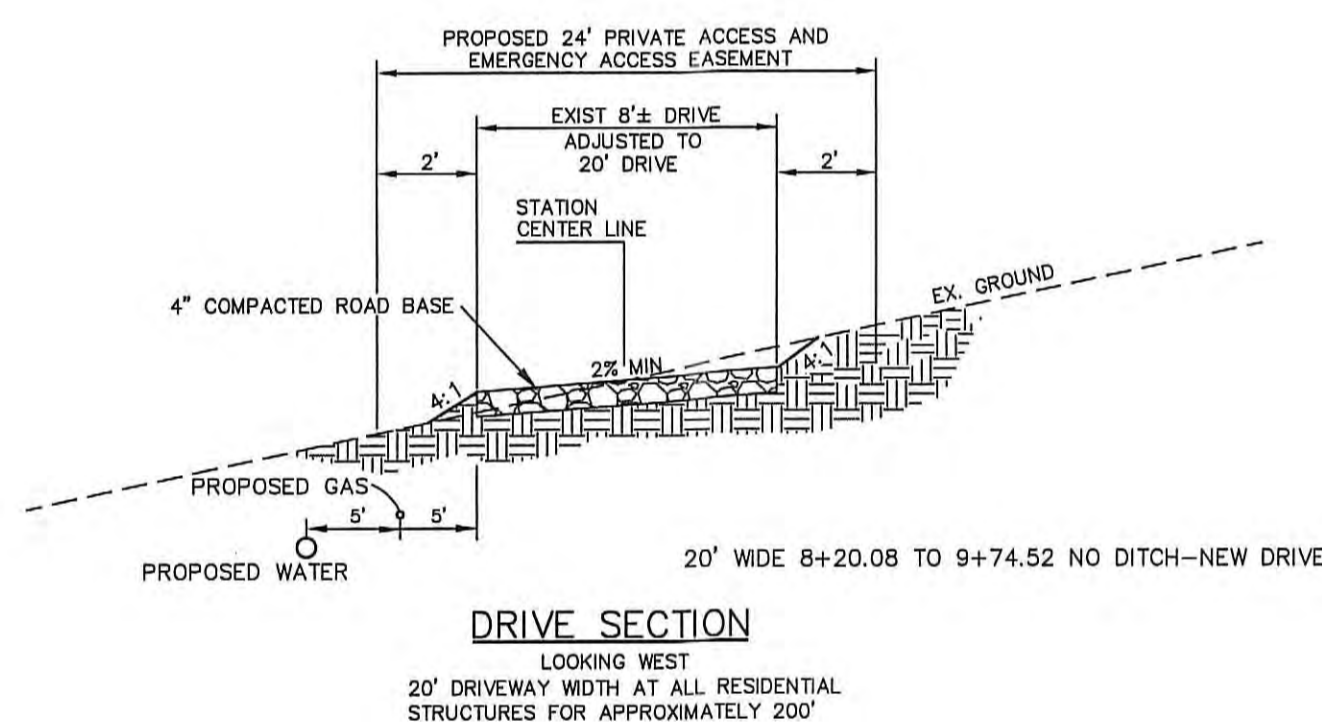
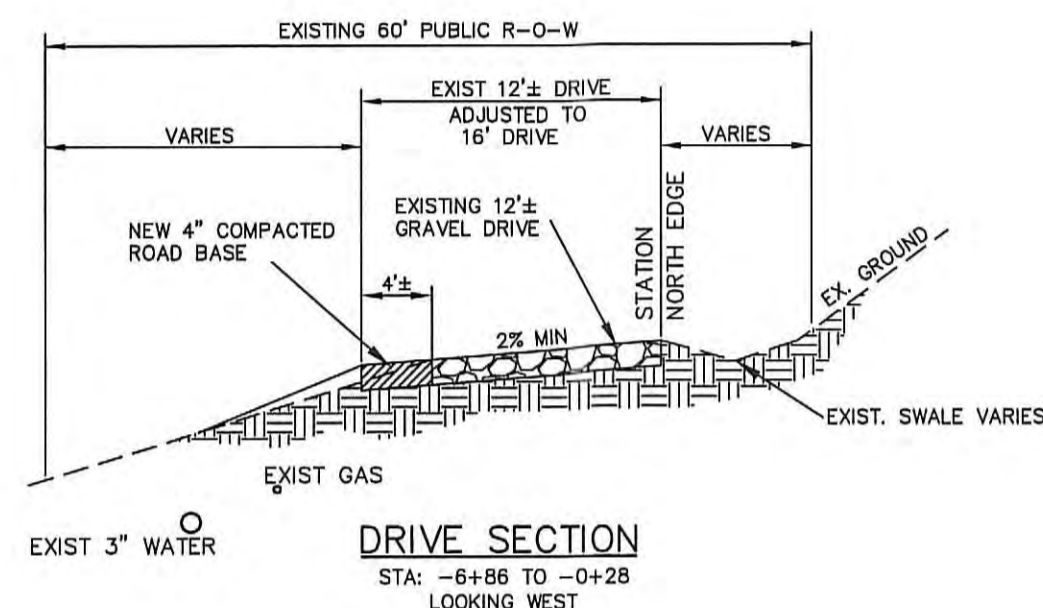
UTILITY PLANS FOR GULLEY DURAN SUBDIVISION

*A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10,
TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO*

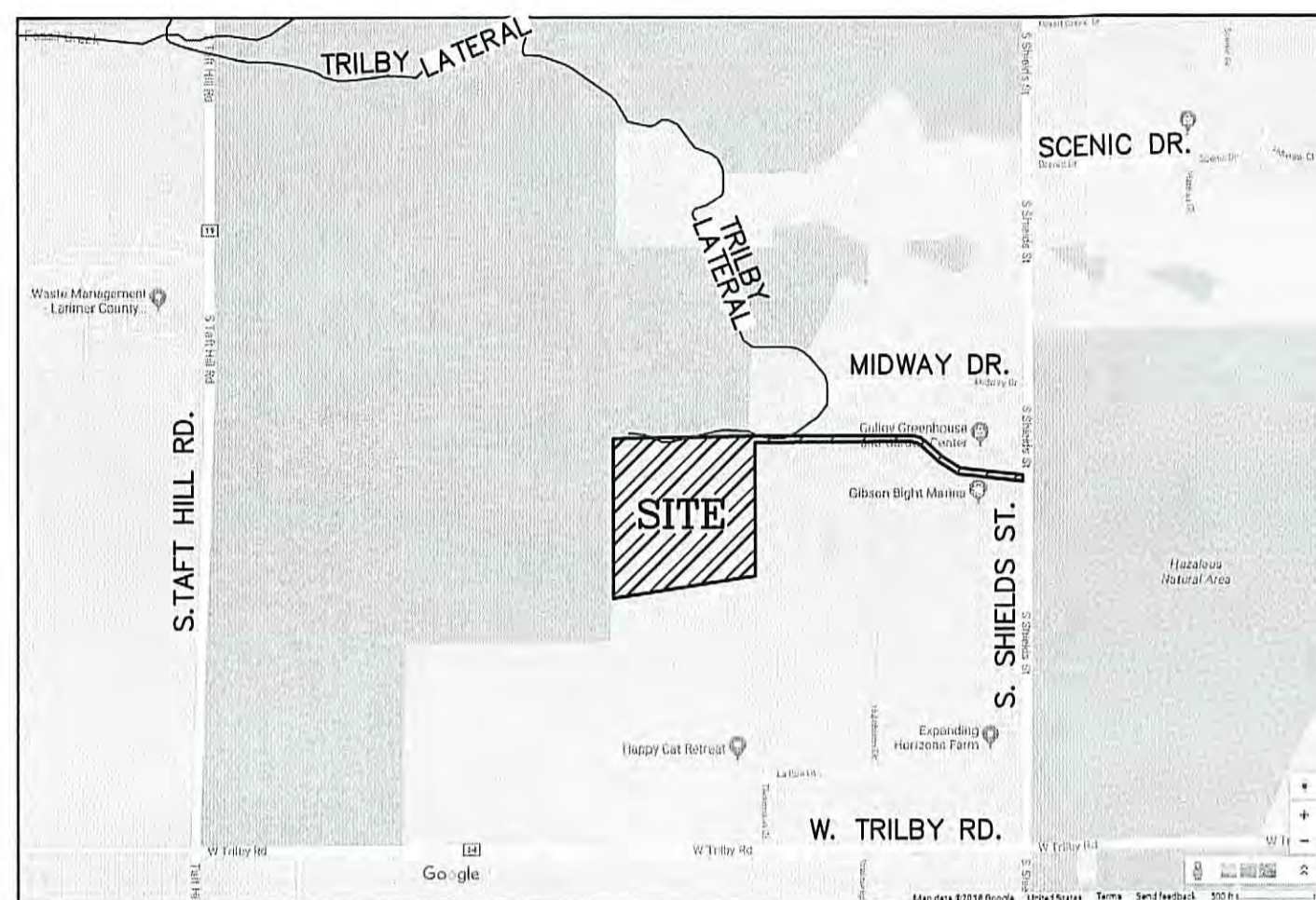
NOVEMBER, 2018

SUPPLEMENTAL GENERAL NOTES:

1. All water distribution system construction shall conform to the most current Fort Collins - Loveland Water District Construction Specifications and requirements.
2. See Sheet 2 for the Larimer County Urban Area Street Standards Standard General Notes and Standard Construction Notes.
3. See Sheet 2 for Fort Collins - Loveland Water District Water General Notes.
4. See Master Utility Plan for Water Construction Notes.
5. A geotechnical subsurface exploration report has been prepared for this site by Earth Engineering Company, Inc. and is titled "Geotechnical Subsurface Exploration; Proposed Gulley Residence; Parcel #9610400006; Larimer County, Colorado"; EEC Project No. 18-01-066; report dated May 22, 2018. All recommendations included in the geotechnical subsurface exploration report shall be considered a part of these general notes and specifications and shall be followed during construction. Contractor and all subcontractors shall familiarize themselves with all recommendations presented in the geotechnical subsurface exploration report.
6. Any discrepancies found in these plans shall be immediately brought to the attention of the engineer.



NOTE: THE ACCESS ROAD TO THE SITE SHALL BE CONSTRUCTED WITH A MINIMUM WIDTH OF 16'. THE ACCESS ROAD SHALL END IN A TURNAROUND WITH A MINIMUM RADIUS OF 25' INSIDE AND AN 50' RADIUS OUTSIDE. SEE SECTIONS ABOVE.



PREPARED FOR:
ELIZABETH (BETH) GULLEY
726 LAPORTE AVENUE
FORT COLLINS, COLORADO 80521
PHONE: (970) 290-4904

PROJECT BENCHMARKS:

- PROJECT DATUM: NAVD88
- CITY OF FORT COLLINS BENCHMARK 41-94
SOUTH SHIELDS STREET AT BRIDGE OVER FOSSIL CREEK (300 FEET NORTH OF FOSSIL CREEK DRIVE), ON THE EAST PARAPET WALL OF THE BRIDGE
ELEVATION = 5008.63
 - BENCHMARK # 10-13
SOUTHEAST CORNER OF SHIELDS STREET AND TRILBY ROAD ON A CONCRETE TRAFFIC SIGNAL BASE.
ELEVATION = 5066.93

Please note: this plan set is using NAVD88 for a vertical datum. Surrounding developments have used NGVD29 unadjusted for their vertical datums.

If NGVD29 unadjusted datum is required for any purpose, the following equation should be used: NVGD unadjusted = NAVD88 - 3.18'

BASIS OF BEARINGS:

BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF N00°18'23"E ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., BETWEEN A FOUND 3" ALUMINUM CAP MARKED "LARIMER COUNTY, T6N, R69W, 1/4, S10, S15, 2006, LS 20123" IN RANGE BOX (PER MONUMENT RECORD DATED 01/31/2018) AT THE SOUTH QUARTER CORNER OF SAID SECTION 10 AND A FOUND #6 REBAR WITH 3" ALUMINUM CAP MARKED "C1/4 COR, SEC 10-6-69, LS 12374" (PER MONUMENT RECORD DATED 12/28/1988) AT THE CENTER QUARTER CORNER OF SAID SECTION 10 AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET
	FINAL PLAT (BY FLATRONS, INC. FOR REFERENCE ONLY)
	TOPOGRAPHIC EXHIBIT (BY FLATRONS, INC. FOR REFERENCE ONLY)
2	PROJECT NOTES
3	MASTER UTILITY PLAN
4	STREET PLAN AND PROFILE (PRIVATE ACCESS DRIVE / FIRE LANE) WEST
5	STREET PLAN AND PROFILE (PRIVATE ACCESS DRIVE / FIRE LANE) EAST
6	GRADING PLAN
7	EROSION CONTROL PLAN
8	DETAILS SHEET

CALL UTILITY NOTIFICATION CENTER OF COLORADO



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

OWNER/DEVELOPER: ELIZABETH GULLEY
726 LAPORTE AVENUE
FORT COLLINS, COLORADO 80521
PHONE: (970) 290-4904

CIVIL ENGINEER: SHEAR ENGINEERING CORPORATION
4836 SOUTH COLLEGE AVENUE, SUITE 12
FORT COLLINS, COLORADO 80525
PHONE: (970) 226-5334

SURVEYOR: FLATRONS, INC.
655 FOURTH AVENUE
LONGMONT, COLORADO 80501
PHONE: (303) 443-7001

GEOTECHNICAL ENG: EARTH ENGINEERING COMPANY, LLC
4396 GREENFIELD DRIVE
WINDSOR, COLORADO 80550
PHONE: (970) 545-3908

ARCHITECT: KENNEY LEE ARCHITECTURE GROUP INC.
209 EAST FOURTH STREET
LOVELAND, COLORADO 80537
PHONE: (970) 663-0548

**City of Fort Collins, Colorado
UTILITY PLAN APPROVAL**

APPROVED:	CITY ENGINEER	DATE
CHECKED BY:	WATER & WASTEWATER UTILITY	DATE
CHECKED BY:	STORMWATER UTILITY	DATE
CHECKED BY:	PARKS AND RECREATION	DATE
CHECKED BY:	TRAFFIC ENGINEER	DATE
CHECKED BY:	LIGHT AND POWER	DATE
CHECKED BY:	ENVIRONMENTAL PLANNER	DATE

**FORT COLLINS - LOVELAND
WATER DISTRICT
SOUTH FORT COLLINS
SANITATION DISTRICT**

Mr. Terry Farrill, P.E., District Engineer Date _____
All changes, addendums, additions, deletions and modifications to these drawings must be approved, in writing, by the Fort Collins-Loveland Water District and the South Fort Collins Sanitation District.

Engineer Affirmation Statement

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable City of Ft. Collins and State of Colorado standards and statutes, respectively, and that I am fully responsible for the accuracy of all design, revisions, and record conditions that I have noted on these plans.

Date _____

These plans have been reviewed by the City of Fort Collins for concept only. The review does not imply responsibility by the reviewing department, the City of Fort Collins Engineer, or the City of Fort Collins for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed in any manner as acceptance of financial responsibility by the City of Fort Collins for additional quantities of items shown that may be required during the construction phase.

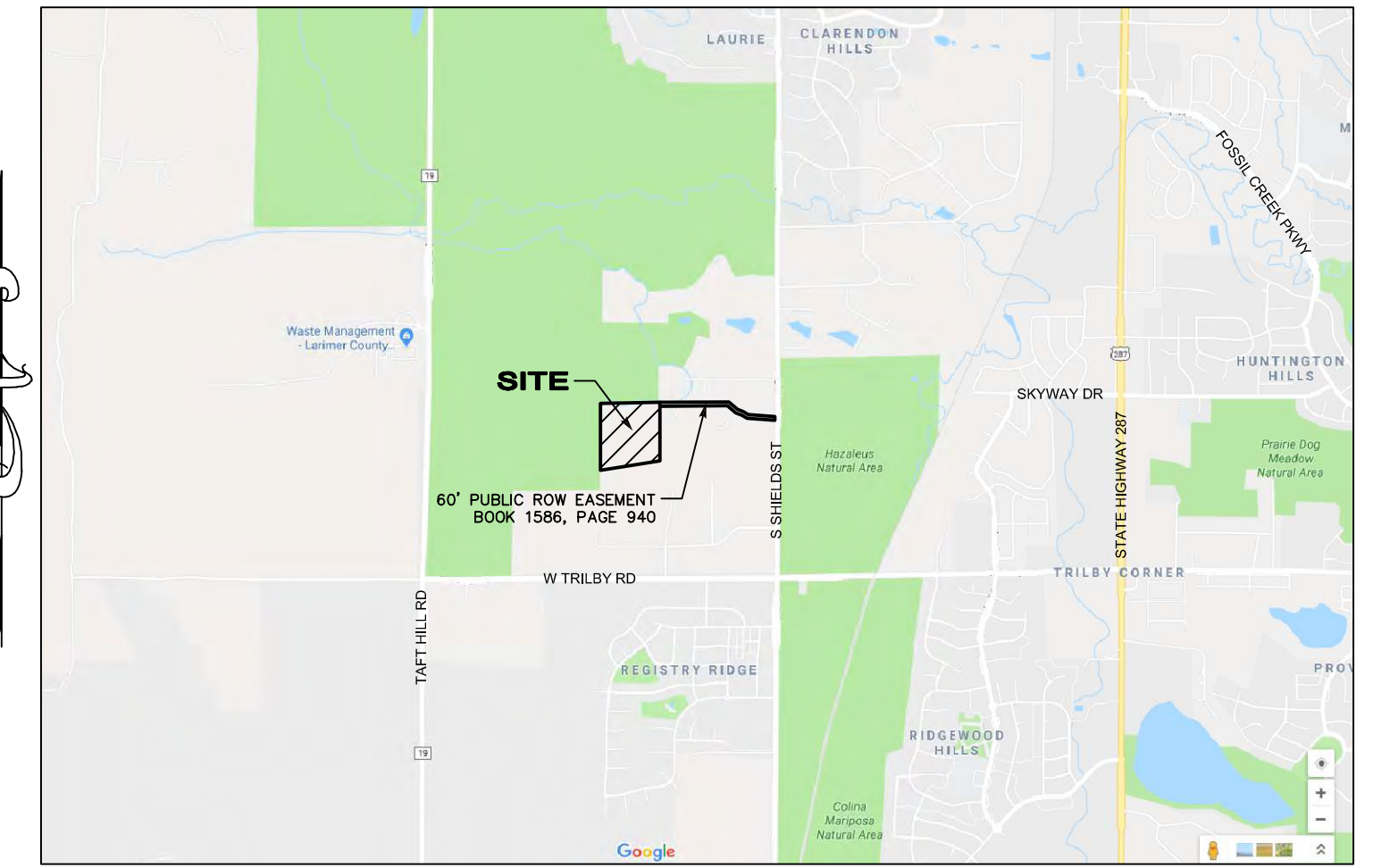
Nov 07, 2018 9:07am Z:\C-Client\Gulley Beth\3000-01-18 Gulley Duran Subdivision Fort Collins\Civil\DWG\01 COVER.DWG Mike Cole

REVISIONS Date _____ By _____ Description _____ Date _____ By _____ Description _____ Date _____ By _____ Description _____		Date: NOVEMBER 2018 Field Book _____ Scale: 1" = 1'	Drawn: D.M.C. Checked: B.W.S. Approved: B.W.S.	CLIENT: ELIZABETH GULLEY	SHEAR ENGINEERING CORPORATION 4836 SO. COLLEGE AVE, SUITE 12, FORT COLLINS, COLORADO 80525 PHONE: (970) 226-5334 (970) 226-4451 FAX: (970) 282-0311	TITLE: COVER SHEET GULLEY DURAN SUBDIVISION FORT COLLINS, COLORADO	PROJECT NO.: 3000-01-18	SHEET NO.: 1	NO. OF SHEETS: 8
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PLAT OF GULLEY DURAN SUBDIVISION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10,
TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

SHEET 1 OF 1



Vicinity Map
NOT TO SCALE

STATEMENT OF OWNERSHIP AND SUBDIVISION:

KNOW ALL PERSONS BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING OWNER(S) OF THE FOLLOWING DESCRIBED LAND:

CONSIDERING THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M. AS BEARING NORTH 00°18'23" EAST AND WITH ALL BEARINGS HEREIN RELATIVE THERETO; BEGINNING AT THE CENTER QUARTER CORNER OF SAID SECTION 10 THENCE ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER NORTH 89°44'30" EAST, A DISTANCE OF 163.80 FEET; THENCE DEPARTING SAID NORTH LINE SOUTH 76°00'56" EAST, A DISTANCE OF 44.80 FEET; THENCE SOUTH 60°00'14" EAST, A DISTANCE OF 88.48 FEET; THENCE NORTH 79°36'04" EAST, A DISTANCE OF 272.03 FEET; THENCE NORTH 78°19'10" EAST, A DISTANCE OF 38.93 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHEAST QUARTER; THENCE ALONG SAID NORTH LINE NORTH 89°44'30" EAST, A DISTANCE OF 283.60 FEET TO THE NORTHEAST CORNER OF REVISED TRACT F, AS DESCRIBED IN DEED RECORDED IN THE RECORDS OF LARIMER COUNTY ON MARCH 6, 1996 AT RECEPTION NO. 96016086; THENCE ALONG THE EAST LINE OF SAID REVISED TRACT F SOUTH 00°33'17" WEST, A DISTANCE OF 889.72 FEET TO A POINT ON THE NORTH LINE OF THE PROPERTY DESCRIBED IN WARRANTY DEED RECORDED IN THE RECORDS OF LARIMER COUNTY ON JULY 31, 2015 AT RECEPTION NO. 20150050171; THENCE ALONG SAID NORTH LINE SOUTH 87°06'24" WEST, A DISTANCE OF 870.65 FEET TO A POINT ON THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 10; THENCE ALONG SAID WEST LINE NORTH 00°18'23" EAST, A DISTANCE OF 929.71 FEET, MORE OR LESS, TO THE CENTER QUARTER CORNER OF SAID SECTION 10, SAID POINT ALSO BEING THE POINT OF BEGINNING.

(WHICH ABOVE DESCRIBED TRACT CONTAINS 781,096 SQ. FT. OR 17.93 ACRES, MORE OR LESS) FOR THESELVES AND THEIR SUCCESSORS IN INTEREST COLLECTIVELY, THE CITY OF FORT COLLINS HAS CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED AND SUBDIVIDED INTO LOTS, TRACTS AND STREETS AS SHOWN ON THIS PLAT TO BE KNOWN AS (GULLEY DURAN SUBDIVISION), SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY NOW OF RECORD OR EXISTING OR INDICATED ON THIS PLAT. THE RIGHTS AND OBLIGATIONS OF THE PLAT SHALL RUN WITH THE LAND.

CERTIFICATE OF DEDICATION:

THE OWNER DOES HEREBY DEDICATE AND CONVEY TO THE CITY OF FORT COLLINS, COLORADO (HEREAFTER "CITY"), FOR PUBLIC USE, FOREVER, A PERMANENT RIGHT-OF-WAY FOR STREET PURPOSES AND THE "EASEMENTS" AS LAID OUT AND DESIGNATED ON THIS PLAT; PROVIDED, HOWEVER, THAT (1) ACCEPTANCE BY THE CITY OF THIS DEDICATION OF EASEMENTS DOES NOT IMPOSE UPON THE CITY A DUTY TO MAINTAIN THE EASEMENTS SO DEDICATED, AND (2) ACCEPTANCE BY THE CITY OF THIS DEDICATION OF STREETS DOES NOT IMPOSE UPON THE CITY A DUTY TO MAINTAIN STREETS SO DEDICATED UNTIL SUCH TIME AS THE PROVISIONS OF THE MAINTENANCE GUARANTEE HAVE BEEN FULLY SATISFIED. THE STREETS DEDICATED ON THIS PLAT ARE THE FEE PROPERTY OF THE CITY AS PROVIDED IN SECTION 31-25-107 C.R.S. THE CITY'S RIGHTS UNDER THE EASEMENTS INCLUDE: THE RIGHT TO INSTALL, OPERATE, ACCESS, MAINTAIN, REPAIR, RECONSTRUCT, REMOVE AND REPLACE WITHIN THE EASEMENTS PUBLIC IMPROVEMENTS CONSISTENT WITH THE INTENDED PURPOSE OF THE EASEMENTS; THE RIGHT TO INSTALL, MAINTAIN AND USE GATES IN ANY FENCES THAT CROSS THE EASEMENTS; THE RIGHT TO MARK THE LOCATION OF THE EASEMENTS WITH SUITABLE MARKERS; AND THE RIGHT TO PERMIT OTHER PUBLIC UTILITIES TO EXERCISE THESE SAME RIGHTS. OWNER RESERVES THE RIGHT TO USE THE EASEMENTS FOR PURPOSES THAT DO NOT INTERFERE WITH THE FULL ENJOYMENT OF THE RIGHTS HEREBY GRANTED. THE CITY IS RESPONSIBLE FOR MAINTENANCE OF ITS OWN IMPROVEMENTS AND FOR REPAIRING ANY DAMAGE CAUSED BY ITS ACTIVITIES IN THE EASEMENTS, BUT BY ACCEPTANCE OF THIS DEDICATION, THE CITY DOES NOT ACCEPT THE DUTY OF MAINTENANCE OF THE EASEMENTS, OR OF IMPROVEMENTS IN THE EASEMENTS THAT ARE NOT OWNED BY THE CITY. OWNER WILL MAINTAIN THE SURFACE OF THE EASEMENTS IN A SANITARY CONDITION IN COMPLIANCE WITH ANY APPLICABLE WEED, NUISANCE OR OTHER LEGAL REQUIREMENTS.

EXCEPT AS EXPRESSLY PERMITTED IN AN APPROVED PLAN OF DEVELOPMENT OR OTHER WRITTEN AGREEMENT WITH THE CITY, OWNER WILL NOT INSTALL ON THE EASEMENTS, OR PERMIT THE INSTALLATION ON THE EASEMENTS, OF ANY BUILDING, STRUCTURE, IMPROVEMENT, FENCE, RETAINING WALL, SIDEWALK, TREE OR OTHER LANDSCAPING (OTHER THAN USUAL AND CUSTOMARY GRASSES AND OTHER GROUND COVER). IN THE EVENT SUCH OBSTACLES ARE INSTALLED IN THE EASEMENTS, THE CITY HAS THE RIGHT TO REQUIRE THE OWNER TO REMOVE SUCH OBSTACLES FROM THE EASEMENTS. IF OWNER DOES NOT REMOVE SUCH OBSTACLES, THE CITY MAY REMOVE SUCH OBSTACLES WITHOUT ANY LIABILITY OR OBLIGATION FOR REPAIR AND REPLACEMENT THEREOF, AND CHARGE THE OWNER THE CITY'S COSTS FOR SUCH REMOVAL. IF THE CITY CHOOSES NOT TO REMOVE THE OBSTACLES, THE CITY WILL NOT BE LIABLE FOR ANY DAMAGE TO THE OBSTACLES OR ANY OTHER PROPERTY TO WHICH THEY ARE ATTACHED.

THE RIGHTS GRANTED TO THE CITY BY THIS PLAT INURE TO THE BENEFIT OF THE CITY'S AGENTS, LICENSEES, PERMITTEES AND ASSIGNS.

MAINTENANCE GUARANTEE:

THE OWNER HEREBY WARRANTS AND GUARANTEES TO THE CITY, FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF COMPLETION AND FIRST ACCEPTANCE BY THE CITY OF THE IMPROVEMENTS WARRANTED HEREUNDER, THE FULL AND COMPLETE MAINTENANCE AND REPAIR OF THE IMPROVEMENTS TO BE CONSTRUCTED IN CONNECTION WITH THE DEVELOPMENT WHICH IS THE SUBJECT OF THIS PLAT. THIS WARRANTY AND GUARANTEE IS MADE IN ACCORDANCE WITH THE CITY LAND USE CODE AND/OR THE TRANSITIONAL LAND USE REGULATIONS, AS APPLICABLE. THIS GUARANTEE APPLIES TO THE STREETS AND ALL OTHER APPURTENANT STRUCTURES AND AMENITIES LYING WITHIN THE RIGHTS-OF-WAY, EASEMENTS AND OTHER PUBLIC PROPERTIES, INCLUDING, WITHOUT LIMITATION, ALL CURBING, SIDEWALKS, BIKE PATHS, DRAINAGE PIPES, CULVERTS, CATCH BASINS, DRAINAGE DITCHES AND LANDSCAPING. ANY MAINTENANCE AND/OR REPAIR REQUIRED ON UTILITIES SHALL BE COORDINATED WITH THE OWNING UTILITY COMPANY OR DEPARTMENT. THE OWNER SHALL MAINTAIN SAID IMPROVEMENTS IN A MANNER THAT WILL ASSURE COMPLIANCE ON A CONSISTENT BASIS WITH ALL CONSTRUCTION STANDARDS, SAFETY REQUIREMENTS AND ENVIRONMENTAL PROTECTION REQUIREMENTS OF THE CITY. THE OWNER SHALL ALSO CORRECT AND REPAIR, OR CAUSE TO BE CORRECTED AND REPAIRED, ALL DAMAGES TO SAID IMPROVEMENTS RESULTING FROM DEVELOPMENT-RELATED OR BUILDING-RELATED ACTIVITIES. IN THE EVENT THE OWNER FAILS TO CORRECT ANY DAMAGES WITHIN THIRTY (30) DAYS AFTER WRITTEN NOTICE THEREOF, THEN SAID DAMAGES MAY BE CORRECTED BY THE CITY AND ALL COSTS AND CHARGES BILLED TO AND PAID BY THE OWNER. THE CITY SHALL ALSO HAVE ANY OTHER REMEDIES AVAILABLE TO IT AS AUTHORIZED BY LAW. ANY DAMAGES WHICH OCCURRED PRIOR TO THE END OF SAID TWO (2) YEAR PERIOD AND WHICH ARE UNREPAIRED AT THE TERMINATION OF SAID PERIOD SHALL REMAIN THE RESPONSIBILITY OF THE OWNER.

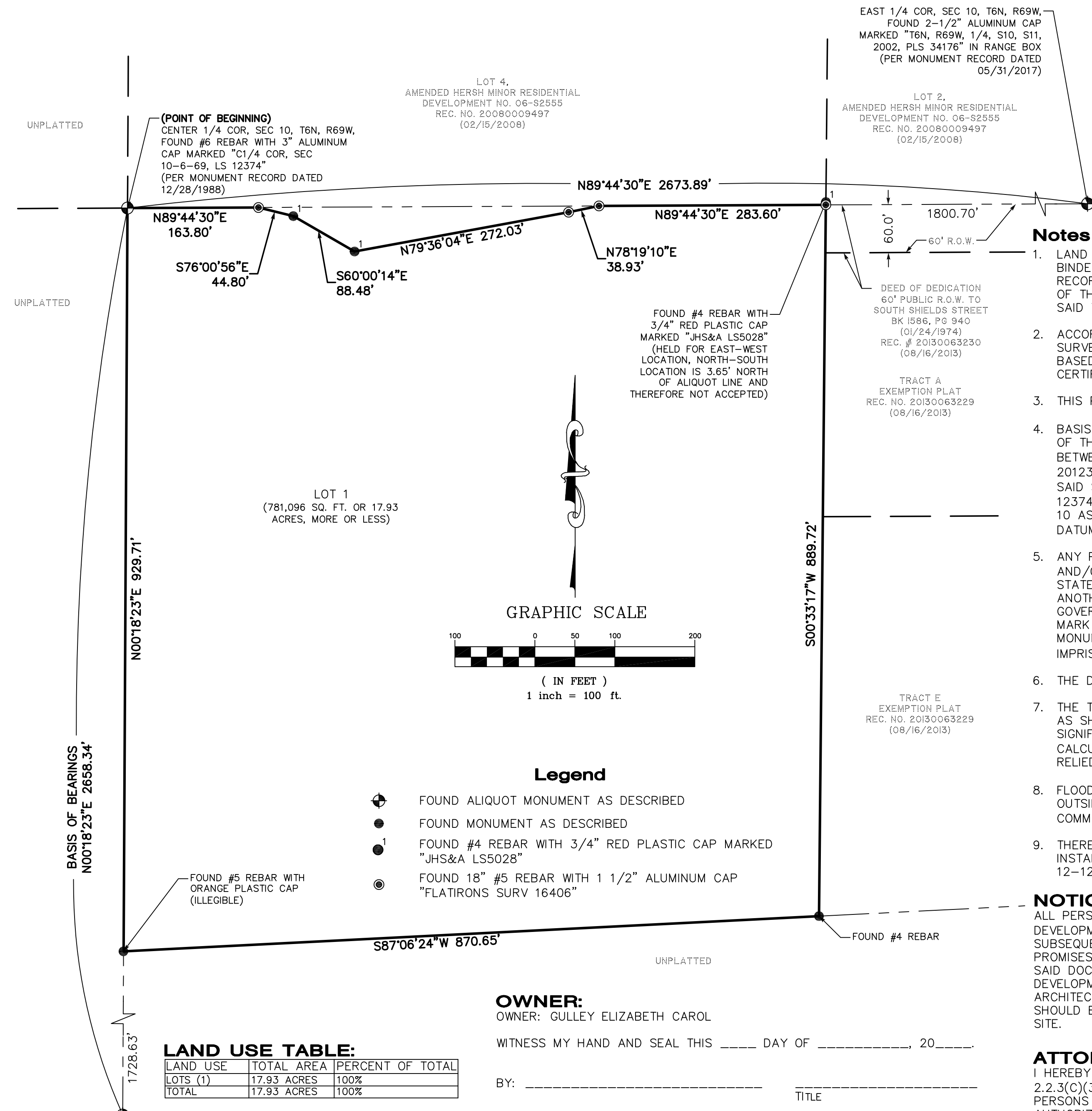
REPAIR GUARANTEE:

IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT AND OTHER VALUABLE CONSIDERATION, THE OWNER DOES HEREBY AGREE TO HOLD THE CITY HARMLESS FOR A FIVE (5) YEAR PERIOD, COMMENCING UPON THE DATE OF COMPLETION AND FIRST ACCEPTANCE BY THE CITY OF THE IMPROVEMENTS TO BE CONSTRUCTED IN CONNECTION WITH THE DEVELOPMENT WHICH IS THE SUBJECT OF THIS PLAT, FROM ANY AND ALL CLAIMS, DAMAGES, OR DEMANDS ARISING ON ACCOUNT OF THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS OF THE PROPERTY SHOWN HEREIN; AND THE OWNER FURTHERMORE COMMITS TO MAKE NECESSARY REPAIRS TO SAID PUBLIC IMPROVEMENTS, TO INCLUDE, WITHOUT LIMITATION, THE ROADS, STREETS, FILLS, EMBANKMENTS, DITCHES, CROSS PANS, SUB-DRAINS, CULVERTS, WALLS AND BRIDGES WITHIN THE RIGHT-OF-WAY, EASEMENTS AND OTHER PUBLIC PROPERTIES, RESULTING FROM FAILURES CAUSED BY DESIGN AND/OR CONSTRUCTION DEFECTS. THIS AGREEMENT TO HOLD THE CITY HARMLESS INCLUDES DEFECTS IN MATERIALS AND WORKMANSHIP, AS WELL AS DEFECTS CAUSED BY OR CONSISTING OF SETTLING TRENCHES, FILLS OR EXCAVATIONS. FURTHER, THE OWNER WARRANTS THAT HE/SHE OWNS FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREES THAT THE CITY SHALL NOT BE LIABLE TO THE OWNER OR HIS/HER SUCCESSORS IN INTEREST DURING THE WARRANTY PERIOD, FOR ANY CLAIM OF DAMAGES RESULTING FROM NEGLIGENCE IN EXERCISING ENGINEERING TECHNIQUES AND DUE CAUTION IN THE CONSTRUCTION OF CROSS DRAINS, DRIVES, STRUCTURES OR BUILDINGS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, AND ANY OTHER MATTER WHATSOEVER ON PRIVATE PROPERTY. ANY AND ALL MONETARY LIABILITY OCCURRING UNDER THIS PARAGRAPH SHALL BE THE LIABILITY OF THE OWNER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO CONVEY SAID LAND ACCORDING TO THIS PLAT.

OWNER/APPLICANT:
ELIZABETH CAROL GULLEY
726 LAPORTE AVE
FORT COLLINS, CO 80521

SURVEYOR:
FLATIRONS, INC.
655 FOURTH AVE
LONGMONT, CO 80501

ENGINEER:
SHEAR ENGINEERING
4836 SOUTH COLLEGE AVENUE, SUITE 12
FORT COLLINS, CO 80525



LAND USE	TOTAL AREA	PERCENT OF TOTAL
LOTS (1)	17.93 ACRES	100%
TOTAL	17.93 ACRES	100%

SOUTH 1/4 COR. SEC 10, T6N, R69W,
FOUND 3" ALUMINUM CAP MARKED
LARIMER COUNTY, T6N, R69W, 1/4,
S10, S15, 2006, LS 20123" IN RANGE
BOX.
(PER MONUMENT RECORD DATED
01/31/2018)

LENDER:

LENDER: BANK OF COLORADO

WITNESS MY HAND AND SEAL THIS ____ DAY OF _____, 20____

BY: _____ TITLE _____

NOTARY CERTIFICATE:

STATE OF COLORADO)

LARIMER COUNTY) SS

COUNTY OF LARIMER)

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY _____ AS _____ OF THE CITY OF FORT COLLINS THIS ____ DAY OF _____, 20____

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

OWNER:

OWNER: GULLEY ELIZABETH CAROL

WITNESS MY HAND AND SEAL THIS ____ DAY OF _____, 20____

BY: _____ TITLE _____

NOTARY CERTIFICATE:

STATE OF COLORADO)

LARIMER COUNTY) SS

COUNTY OF LARIMER)

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY _____ AS _____ OF THE CITY OF FORT COLLINS THIS ____ DAY OF _____, 20____

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

APPROVED AS TO FORM, CITY ENGINEER:

BY THE CITY ENGINEER OF THE CITY OF FORT COLLINS, COLORADO THIS ____ DAY OF _____, A.D., _____

CITY ENGINEER _____

PLANNING APPROVAL:

BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES THE CITY OF FORT COLLINS, COLORADO THIS ____ DAY OF _____, A.D., _____

DIRECTOR OF COMMUNITY DEVELOPMENT AND NEIGHBORHOOD SERVICES _____

EAST 1/4 COR. SEC 10, T6N, R69W,
FOUND 2-1/2" ALUMINUM CAP
MARKED "T6N, R69W, 1/4, S10, S11,
2002, PLS 34176" IN RANGE BOX
(PER MONUMENT RECORD DATED
05/31/2017)

LOT 2,
AMENDED HERSH MINOR RESIDENTIAL
DEVELOPMENT NO. 06-82555
REC. NO. 20080009497
(02/15/2008)

FOUND #4 REBAR WITH
3/4" RED PLASTIC CAP
MARKED "JHS&A LS5028"
(HELD FOR EAST-WEST
LOCATION, NORTH-SOUTH
LOCATION IS 3.65' NORTH
OF ALIQUOT LINE AND
THEREFORE NOT ACCEPTED)

DEED OF DEDICATION
60' PUBLIC R.O.W. TO
SOUTH SHIELDS STREET
BK 1586, PG 940
(01/24/1974)
REC. # 20130063230
(08/16/2013)

TRACT A
EXEMPTION PLAT
REC. NO. 20130063229
(08/16/2013)

TRACT E
EXEMPTION PLAT
REC. NO. 20130063229
(08/16/2013)

Notes

- LAND TITLE GUARANTEE COMPANY REPRESENTING OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY BINDER NUMBER PIB25158021.2576906, DATED MAY 14, 2018 AT 5:00 P.M., WAS ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE BINDER.
- ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- THIS PLAT IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
- BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF N00°18'23"E ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., BETWEEN A FOUND 3" ALUMINUM CAP MARKED "LARIMER COUNTY, T6N, R69W, 1/4, S10, S15, 2006, LS 20123" IN RANGE BOX (PER MONUMENT RECORD DATED 01/31/2018) AT THE SOUTH QUARTER CORNER OF SAID SECTION 10 AND A FOUND #6 REBAR WITH 3" ALUMINUM CAP MARKED "C1/4 COR, SEC 10-6-69, LS 12374" (PER MONUMENT RECORD DATED 12/28/1988) AT THE CENTER QUARTER CORNER OF SAID SECTION 10 AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT AND/OR BOUNDARY MONUMENT OR ACCESSORY, COMMITTS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE C.R.S. SEC 18-4-508. WHOEVER WILLFULLY DESTROYS, DEFACES, CHANGES, OR REMOVES TO ANOTHER PLACE ANY SECTION CORNER, QUARTER-SECTION CORNER, OR MEANDER POST, ON ANY GOVERNMENT LINE OF SURVEY, OR WILLFULLY CUTS DOWN ANY WITNESS TREE OR ANY TREE BLAZED TO MARK THE LINE OF A GOVERNMENT SURVEY, OR WILLFULLY DEFACES, CHANGES, OR REMOVES ANY MONUMENT OR BENCH MARK OF ANY GOVERNMENT SURVEY, SHALL BE FINED UNDER THIS TITLE OR IMPRISONED NOT MORE THAN SIX MONTHS, OR BOTH. 18 U.S.C. § 1858.
- THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
- THE TOTAL AREA OF THE SUBJECT PROPERTY IS 781,096 SQ. FT. OR 17.93 ACRES, MORE OR LESS. AREA AS SHOWN HEREON IS A RESULTANT FACTOR, NOT A DETERMINATIVE FACTOR, AND MAY CHANGE SIGNIFICANTLY WITH MINOR VARIATIONS IN FIELD MEASUREMENTS OR THE SOFTWARE USED TO PERFORM THE CALCULATIONS. FOR THIS REASON, THE AREA IS SHOWN AS A "MORE OR LESS" FIGURE, AND IS NOT TO BE RELIED UPON AS AN ACCURATE FACTOR FOR REAL ESTATE SALES PURPOSES.
- FLOOD INFORMATION: THE SUBJECT PROPERTY IS LOCATED IN ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP; COMMUNITY-PANEL NO. 08069C-1000 F, DATED 12/19/2006. FLOOD INFORMATION IS SUBJECT TO CHANGE.
- THERE SHALL BE NO PRIVATE CONDITIONS, COVENANTS OR RESTRICTIONS THAT PROHIBIT OR LIMIT THE INSTALLATION OF RESOURCE CONSERVING EQUIPMENT OR LANDSCAPING THAT ARE ALLOWED BY SECTIONS 12-120 - 12-122 OF THE CITY CODE.

NOTICE OF OTHER DOCUMENTS:

ALL PERSONS TAKE NOTICE THAT THE OWNER HAS EXECUTED CERTAIN DOCUMENTS PERTAINING TO THIS DEVELOPMENT WHICH CREATE CERTAIN RIGHTS AND OBLIGATIONS OF THE DEVELOPMENT, THE OWNER AND/OR SUBSEQUENT OWNERS OF ALL OR PORTIONS OF THE DEVELOPMENT SITE, MANY OF WHICH OBLIGATIONS CONSTITUTE PROMISES AND COVENANTS THAT, ALONG WITH THE OBLIGATIONS UNDER THIS PLAT, RUN WITH THE LAND. THE SAID DOCUMENTS MAY ALSO BE AMENDED FROM TIME TO TIME AND MAY INCLUDE, WITHOUT LIMITATION, THE DEVELOPMENT AGREEMENT, SITE AND LANDSCAPE COVENANTS, FINAL SITE PLAN, FINAL LANDSCAPE PLAN, AND ARCHITECTURAL ELEVATIONS, WHICH DOCUMENTS ARE ON FILE IN THE OFFICE OF THE CLERK OF THE CITY AND SHOULD BE CLOSELY EXAMINED BY ALL PERSONS INTERESTED IN PURCHASING ANY PORTION OF THE DEVELOPMENT SITE.

ATTORNEY'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN DULY EXECUTED AS REQUIRED PURSUANT TO SECTION 2.2.3(C)(3)(A) THROUGH (E) INCLUSIVE OF THE LAND USE CODE OF THE CITY OF FORT COLLINS AND THAT ALL PERSONS SIGNING THIS SUBDIVISION PLAT ON BEHALF OF A CORPORATION OR OTHER ENTITY ARE DULY AUTHORIZED SIGNATORIES UNDER THE LAWS OF THE STATE OF COLORADO. THIS CERTIFICATION IS BASED UPON THE RECORDS OF THE CLERK AND RECORDER OF LARIMER COUNTY, COLORADO AS OF THE DATE OF EXECUTION OF THE PLAT AND OTHER INFORMATION DISCOVERED BY ME THROUGH REASONABLE INQUIRY AND IS LIMITED AS AUTHORIZED BY SECTION 2.2.3(C)(3)(F) OF THE LAND USE CODE.

ATTORNEY: _____

ADDRESS: _____

REGISTRATION NO.: _____

SURVEYOR'S STATEMENT:

I, JOHN B. GUYTON, A COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY STATE THAT THIS SUBDIVISION PLAT WAS PREPARED FROM AN ACTUAL SURVEY UNDER MY PERSONAL SUPERVISION, THAT THE MONUMENTATION AS INDICATED HEREON WAS FOUND OR SET AS SHOWN, AND THAT THE FORGOING PLAT IS AN ACCURATE REPRESENTATION THEREOF, ALL THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

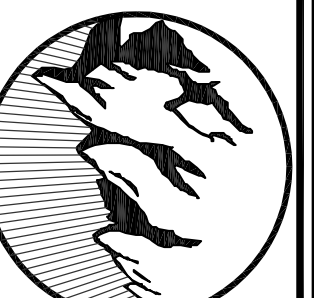
JOHN B. GUYTON COLORADO P.L.S. #16406
CHAIRMAN & CEO, FLATIRONS, INC.

REVISION	DATE
1	10/09/2018 B. OELKE
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PLAT OF
GULLEY DURAN SUBDIVISION

Flatirons, Inc.
Surveying, Engineering & Geomatics
www.FlatironsInc.com
3825 IRRS AVE. STE. 395
BOULDER, CO 80301
PH: (303) 443-7001
FAX: (303) 443-9830

655 FOURTH AVE
LONGMONT, CO 80501
PH: (303) 776-1733
FAX: (303) 776-4355



JOB NUMBER:
18-70,682
DATE:
08-20-2018
DRAWN BY:
B. OELKE
CHECKED BY:
JK/EP/BOL

SHEET 1 OF 1

DRAFT
ONLYING COPY ONLY
WILL HAVE STAMP AND SIGNATURE

TOPOGRAPHIC EXHIBIT

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10,
TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
COUNTY OF LARIMER, STATE OF COLORADO

SHEET 2 OF 3

CENTER 1/4 COR. SEC 10, T6N, R69W,
FOUND #6 REBAR WITH 3" ALUMINUM
CAP MARKED "C1/4 COR. SEC
10-6-69, LS 12374"
(PER MONUMENT RECORD DATED
12/28/1988)

FOUND #4 REBAR WITH
3/4" RED PLASTIC CAP
MARKED "JH&A LS5028"
(3.65' NORTH OF CORNER)

FOUND #5 REBAR

DEED OF DEDICATION
60' PUBLIC R.O.W.
BK 1586, PG 940
10/24/1974
REC. # 20130063220
(08/16/2013)

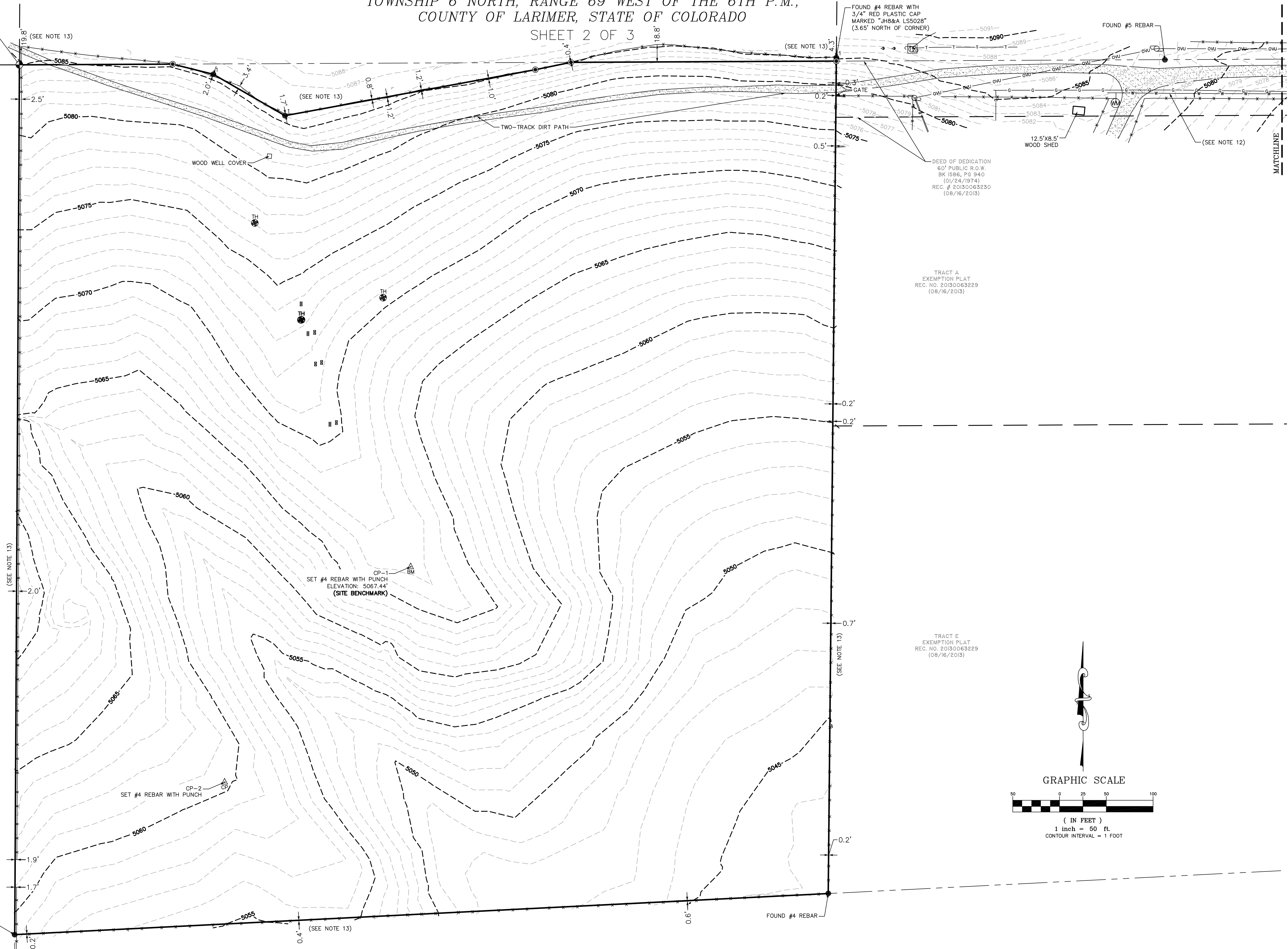
TRACT A
EXEMPTION PLAT
REC. NO. 20130063229
(08/16/2013)

TRACT E
EXEMPTION PLAT
REC. NO. 20130063229
(08/16/2013)

SET #4 REBAR WITH PUNCH
ELEVATION: 5067.44'
(SITE BENCHMARK)

SET #4 REBAR WITH PUNCH

FOUND #5 REBAR WITH
ORANGE PLASTIC CAP
(ILLEGIBLE)

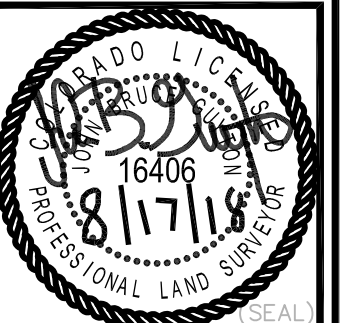


REVISION	DATE
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TOPOGRAPHIC EXHIBIT
PREPARED FOR
GULLEY GREENHOUSE, INC.
COPYRIGHT 2018 FLATIRON, INC.

Flatirons, Inc.
Surveying, Engineering & Geomatics
www.FlatironsInc.com

3825 IRIS AVE. STE. 395 4501 LOGAN ST.
BOULDER, CO 80501 DENVER, CO 80216
LONGMONT, CO 80501 PH: (303) 443-7001 PH: (303) 936-6997
PH: (303) 776-1733 PH: (303) 443-9830 PH: (303) 923-3180
FAX: (303) 776-4355 FAX: (303) 443-9830 FAX: (303) 923-3180



JOB NUMBER:
18-70,682
DATE:
08-17-2018
DRAWN BY:
B. OELKE
CHECKED BY:
XX
SHEET 2 OF 3

BY:BOELKE FILE:70682_TOPO (C19).DWG DATE:8/17/2018 4:14 PM

Nov 07, 2018 - 8:12am Z:\g-clients\gully_beth\3000-01-18_gully_duran subdivision_fort_collins\Civil\dwg\02_PROJ_NOTES.dwg MikeColl

General Notes
(LCUASS - REPEALED AND REENACTED APRIL 1, 2007)

- All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Larimer County Urban Area Street Standards and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the City of Fort Collins.
- All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins. Use of these plans after the expiration date will require a new review and approval process by the City of Fort Collins prior to commencement of any work shown in these plans.
- The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins as beneficiary said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility. Further, to the extent permitted by law, the engineer hereby agrees to hold harmless and indemnify the City of Fort Collins, and its officers and employees, from and against all liabilities, claims, and demands which may arise from any errors and omissions contained in these plans.
- All sanitary sewer, storm sewer, and water line construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins and Fort Collins - Loveland Water District standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
- The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Developer shall be responsible for unknown underground utilities.
- The Engineer shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility utilities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Developer to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- The Developer shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
- If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design. Design modification(s) must be approved by the City of Fort Collins prior to beginning construction.
- The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and to a minimum disruption of service. The Developer shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
- No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider. Notification shall be a minimum of 2 working days prior to commencement of any work. At the discretion of the water utility provider, a pre-construction meeting may be required prior to commencement of any work.
- The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.
- The minimum cover over water lines is 5.0 feet and the maximum cover is 6.0 feet unless otherwise noted in the plans and approved by the Fort Collins - Loveland Water District.
- A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
- The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, (303) 692-3590), the Storm Water Management Plan, and the Erosion Control Plan.
- The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
- Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.
- The City of Fort Collins shall not be responsible for any damages or injuries sustained in this development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
- A Drainage Plan was prepared by Advanced Engineering, LLC. This Drainage Plan was referenced to establish the finished floor elevation for the proposed single family residence and is titled "Gully Drainage Plan," plan dated July 23, 2018; Advanced Project No: 3185-01-01B.
- Temporary erosion control during construction shall be provided as shown on the Grading and Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas are stabilized with hard surface or landscaping.
- The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 24 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the City of Fort Collins street inspector.
- No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable.
- The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Developer shall notify the City of Fort Collins Engineering Inspector (Fort Collins - 221-6605) and the City of Fort Collins Erosion Control Inspector (Fort Collins - 221-6700) at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the City of Fort Collins Engineer is not available after proper notice of construction activity has been provided, the Developer may commence work in the Engineer absence. However, the City of Fort Collins reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
- The Developer shall be responsible for obtaining soils tests within the Public Right-of-Way after right of way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Developer shall be responsible for a re-design of the subject pavement section or, the Developer may use the City of Fort Collins' default pavement thickness section(s). Regardless of the option used, all final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Inspector a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the City of Fort Collins Engineer approves the final report.
- The contractor shall hire a licensed engineer or land surveyor to survey the constructed elevations of the street subgrade and the gutter flowline at all intersections, inlets, and other locations requested by the City of Fort Collins inspector. The engineer or surveyor must certify in a letter to the City of Fort Collins that these elevations conform to the approved plans and specifications. Any deviations shall be noted in the letter and then resolved with the City of Fort Collins before installation of base course or asphalt will be allowed on the streets.

- All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except e/g above the subgrade is considered final stage work. All service lines must be stubbed to the property lines and marked so as to reduce the excavation necessary for building connections.
- Portions of Larimer County are within overlay districts. The Larimer County FloodPlain Resolution should be referred to for additional criteria for roads within these districts.
- All road construction in areas designated as Wild Fire Hazard Areas shall be done in accordance with the construction criteria as established in the Wild Fire Hazard Area Mitigation Regulations in force at the time of final plan approval.
- Prior to the commencement of any construction, the contractor shall contact the City of Fort Collins Forester to schedule a site inspection for any tree removal requiring a permit.
- The Developer shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2228, Excavating and Trenching.
- The Developer shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority, City of Fort Collins, Colorado, for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Developer shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
- Prior to the commencement of any construction that will affect traffic signs of any type, the contractor shall contact the City of Fort Collins Traffic Operations Department, who will temporarily remove or relocate the sign at no cost to the contractor; however, if the contractor moves the traffic sign then the contractor will be charged for the labor, materials and equipment to reinstall the sign as needed.
- The Developer is responsible for all costs for the initial installation of traffic signing and striping for the development related to the Development's local street operations. In addition, the Developer is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.
- There shall be no site construction activities on Saturdays, unless specifically approved by the City of Fort Collins Engineer, and no site construction activities on Sundays or holidays, unless there is prior written approval by the City of Fort Collins.
- The Developer is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.
- Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built record drawings.
- The Developer shall have, onsite at all times, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.
- If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Developer shall contact the Designer and the City of Fort Collins Engineer immediately.
- The Developer shall be responsible for recording as-built information on a set of record drawings kept on the construction site, and available to the City of Fort Collins Inspector at all times. Upon completion of the work, the contractor(s) shall submit record drawings to the City of Fort Collins Engineer.
- The Designer shall provide, in this location on the plan, the location and description of the nearest survey benchmarks (2) for the project as well as the basis of bearings.

PROJECT DATUM: NAVD83
CITY OF FORT COLLINS BENCHMARK 41-94
SOUTH SHIELDS STREET AT BRIDGE OVER FOSSIL CREEK (300 FEET NORTH OF FOSSIL CREEK DRIVE), ON THE EAST PARAPET WALL OF THE BRIDGE
ELEVATION = 5008.63
BENCHMARK # 10-13
SOUTHEAST CORNER OF SHIELDS STREET AND TRIBLEY ROAD ON A CONCRETE TRAFFIC SIGNAL BASE.
ELEVATION = 5066.93

PLEASE NOTE: THIS PLAN SET IS USING NAVD83 FOR A VERTICAL DATUM. SURROUNDING DEVELOPMENTS HAVE USED NVD29 UNADJUSTED FOR THEIR VERTICAL DATUMS.
IF NVD29 UNADJUSTED DATUM IS REQUIRED FOR ANY PURPOSE, THE FOLLOWING EQUATION SHOULD BE USED: NVD UNADJUSTED = NAVD83 - 3.18'

BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF N00°16'23"E ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., BETWEEN A FOUND 3" ALUMINUM CAP MARKED "LARIMER COUNTY, T8N, R69W, ¼, S10, S15, 2006, LS 20123" IN RANGE BOX (PER MONUMENT RECORD DATED 01/25/2018) AT THE SOUTH QUARTER CORNER OF SAID SECTION 10 AND A FOUND #8 REBAR WITH 3" ALUMINUM CAP MARKED "1/4 COR, SEC 10-6-69, LS 12374" (PER MONUMENT RECORD DATED 12/28/1988) AT THE CENTER QUARTER CORNER OF SAID SECTION 10 AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

- All stationing is based on centerline / flowline of roadways unless otherwise noted.
- Damaged curb, gutter and sidewalk existing prior to construction, as well as existing fences, trees, streets, sidewalks, curbs and gutters, landscaping, structures, and improvements destroyed, damaged or removed due to construction of this project, shall be replaced or restored in like kind at the Developer's expense, unless otherwise indicated on these plans, prior to the acceptance of completed improvements and/or prior to the issuance of the final Certificate of Occupancy.
- When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the City of Fort Collins Construction Inspector before any cuts are made. Patching shall be done in accordance with the City of Fort Collins Street Repair Standards. The finished patch shall blend in smoothly into the existing surface. All large patches shall be paved with an asphalt lay-down machine. In streets where more than one cut is made, an overlay of the entire street width, including the patched area, may be required. The determination of need for the overlay shall be made by the City of Fort Collins Engineer and/or the City of Fort Collins Inspector at the time the cuts are made.
- Upon completion of construction, the site shall be cleaned and restored to a condition equal to, or better than, that which existed before construction, or to the grades and condition as required by these plans.
- Standard Handicap ramps are to be constructed at all curb returns and at all "T" intersections.
- After acceptance by the City of Fort Collins, public improvements depicted in these plans shall be guaranteed to be free from material and workmanship defects for a minimum period of two years from the date of acceptance.
- The City of Fort Collins shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the private streets shown on the plan.
- No variances are required for this project.

Construction Notes
(LCUASS - REPEALED AND REENACTED APRIL 1, 2007)

- A. Standard Grading and Erosion and Sediment Control Construction Plan Notes**
- The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.
 - There shall be no earth-disturbing activity outside the limits designated on the accepted plans.
 - All required perimeter silt and construction fencing shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc.). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
 - At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer shall also be responsible for installing and maintaining all erosion control facilities shown herein.
 - Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.

- All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMP's are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the City of Fort Collins.
- In order to minimize erosion potential, all temporary (structural) erosion control measures shall:
 - Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.
 - Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector.
 - Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.
- When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.
- The contractor shall clean up any inadvertent deposited material immediately and make sure streets are free of all materials by the end of each working day.
- All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.
- No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface erosion, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.
- The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the City of Fort Collins or Homeowners Association (HOA).
- City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The Developer shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and federal regulations.
- A designated area shall be provided on site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any waterway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.
- To ensure that sediment does not move off of individual lots one or more of the following sediment/erosion control BMPs shall be installed and maintained until the lots are sufficiently stabilized, as determined by the erosion control inspector, (Within Loveland GMA and City Limits Only).
 - Below all gutter downspouts.
 - Out to drainage swales.
 - Along lot perimeter.
 - Other locations, if needed.
- Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City of Fort Collins / Larimer County.
- A vehicle tracking control pad shall be installed when needed for construction equipment, including but not limited to personal vehicles exiting roadways. No earthen materials, i.e. stone, dirt, etc. shall be placed in the curb & gutter or roadway as a ramp to access temporary stockpiles, staging areas, construction materials, concrete washout areas, and/or building sites.

B. Street Improvements Notes

- All street construction is subject to the General Notes on the cover sheet of these plans as well as the Street Improvements Notes listed here.
- A paving section design, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval prior to any street construction activity, (full depth asphalt sections are not permitted at a depth greater than 8 inches of asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.
- Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the City of Fort Collins Engineer.
- Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the City of Fort Collins Engineer.
- Fort Collins only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings are not allowed.
- When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the inspector before any cuts are made. Cutting and patching shall be done in conformance with Chapter 25, Reconstruction and Repair. The finished patch shall blend smoothly into the existing surface. The determination of need for a complete overlay shall be made by the City of Fort Collins Engineer. All overlay work shall be coordinated with adjacent landowners such that future projects do not cut the new asphalt overlay work.
- All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as per the Right-of-Way Work Permit traffic control plan.
- The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of asphalt. Gutters that hold more than ¼ inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.
- Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less than 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive pumping or deformation, as determined by the City of Fort Collins Engineer, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The City of Fort Collins Engineer shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be performed in the presence of an inspector.

C. Traffic Signing and Pavement Marking Construction Notes

- All signage and marking is subject to the General Notes on the cover sheet of these plans, as well as the Traffic Signing and Marking Construction Notes listed here.
- All symbols, including arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.
- All signage shall be per the City of Fort Collins Standards and these plans or as otherwise specified in MUTCD.
- All lane lines for asphalt pavement shall receive two coats of latex paint with glass beads.
- All lane lines for concrete pavement should be epoxy paint.
- Prior to permanent installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and placement of the same. Their placement shall be approved by the City of Fort Collins Engineer prior to permanent installation of striping and symbols.

- Pre-formed thermo-plastic applications shall be as specified in these Plans and/or these Standards.
- Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.
- All surfaces shall be thoroughly cleaned prior to installation of striping or markings.
- All sign posts shall utilize break-away assemblies and fasteners per the Standards.
- A field inspection of location and installation of all signs shall be performed by the City of Fort Collins Engineer. All discrepancies identified during the field inspection must be corrected before the 2-year warranty period will begin.
- The Developer installing signs shall be responsible for locating and protecting all underground utilities.
- Special care shall be taken in sign location to ensure an unobstructed view of each sign.
- Signage and striping has been determined by information available at the time of review. Prior to initiation of the warranty period, the City of Fort Collins Engineer reserves the right to require additional signage and/or striping if the City of Fort Collins Engineer determines that an unforeseen condition warrants such signage according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the 2-year warranty period for new construction (except fair wear on traffic markings).
- Sleevers for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Traffic Control Devices, for additional detail.

D. Storm Drainage Notes

- The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property. Maintenance of onsite drainage facilities shall be the responsibility of the property owner(s).
- A Drainage Plan was prepared by Advanced Engineering, LLC. This Drainage Plan was referenced to establish the finished floor elevation for the proposed single family home, and is titled "Gully Drainage Plan," plan dated July 23, 2018; Advanced Project No: 3185-01-01B.
- Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department. Certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of a certificate of occupancy for single family units. For commercial properties, certification shall be submitted to the Stormwater Utility Department at least two weeks prior to the release of any building permits in excess of those allowed prior to certification per the Development Agreement.

E. Waterline and Sewerline Notes

- All sanitary sewer construction shall conform to the South Fort Collins Sanitation District Standards and Specifications current at the time of construction.
 - There is no sanitary sewer construction with this project. Single family residential construction to be serviced by On-Site Wastewater Treatment System.
- All water distribution system construction shall conform to the Fort Collins-Loveland Water District Standards and Specifications current at the time of construction.
 - Water service shall be 3/4" copper from the main to the meter, 3/4" copper from meter to the stop box and 2" PVC from the stop box to the residence structure.
 - Minimum depth of cover over a water line shall be 5.0'. Maximum depth of cover shall be 6.0' unless otherwise noted on the plans.
 - No trees shall be located closer than 10 feet from any water service or sewer service or mains.
 - No shrubs shall be located closer than 4 feet away from any water service or sewer service or mains.
- See Landscape Plans for additional plan information.
- No trees are to be planted within four (4') feet of gas lines.

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____	CITY ENGINEER	_____	DATE
CHECKED BY: _____	WATER & WASTEWATER UTILITY	_____	DATE
CHECKED BY: _____	STORMWATER UTILITY	_____	DATE
CHECKED BY: _____	PARKS AND RECREATION	_____	DATE
CHECKED BY: _____	TRAFFIC ENGINEER	_____	DATE
CHECKED BY: _____	LIGHT AND POWER	_____	DATE
CHECKED BY: _____	ENVIRONMENTAL PLANNER	_____	DATE

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Nov 07, 2018 - 9:28am Z:\G-Clients\Gulley Beth\3000-01-18 Gulley Duran Subdivision Fort Collins\Civil\DWG\03 MAST-UTILITY.dwg Brent

DEED
REC. NO. 98113509
(12/15/1998)

S75°30'34"E 44.80' (R)
S89°45'08"E 163.80' (R)

LOT 4

AMENDED HERSH MINOR RESIDENTIAL DEVELOPMENT NO. 06-S2555
REC. NO. 20080009497
(02/15/2008)

LOT 2

LOT 3

N00°48'21"E 929.63' (R)

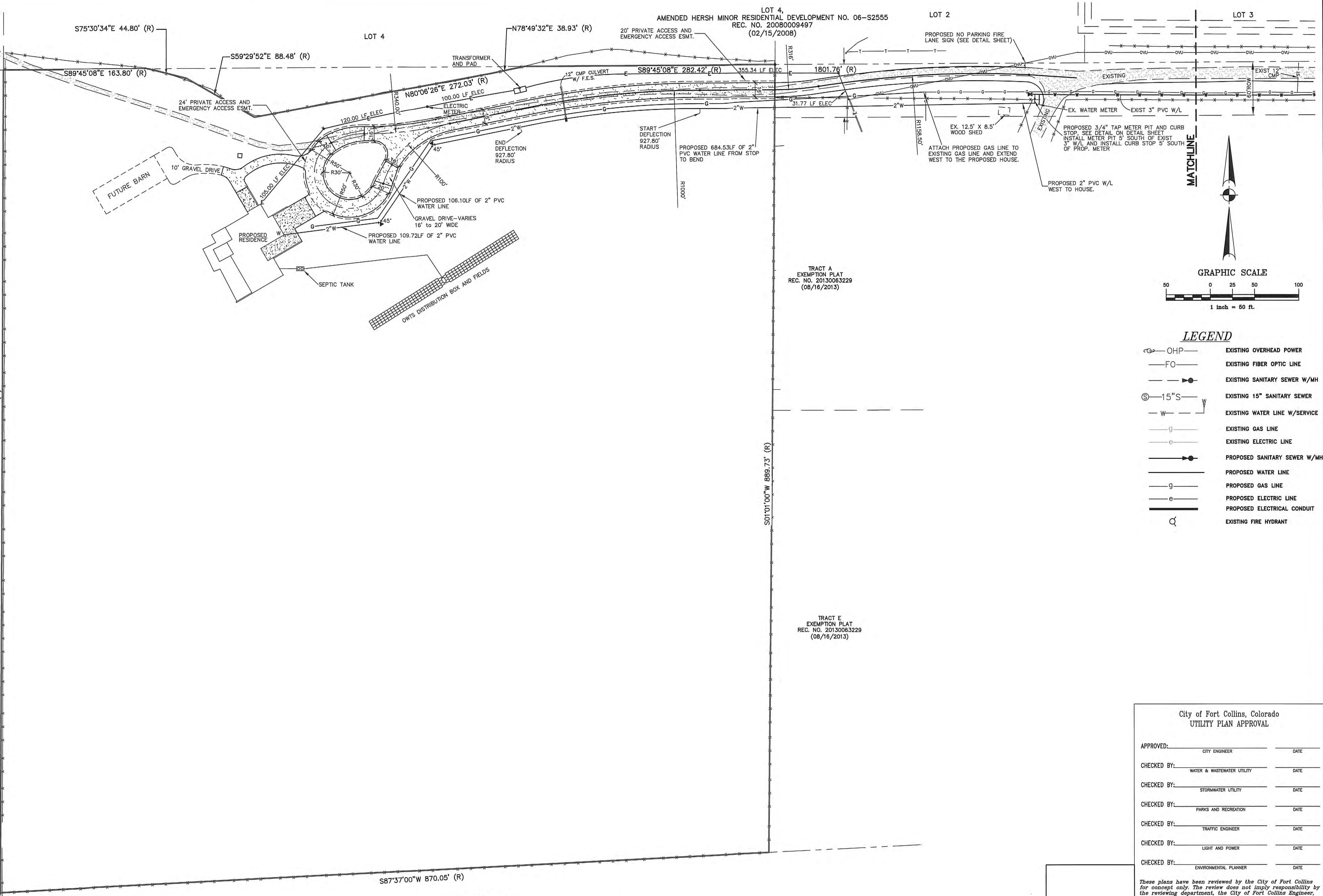
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DEED
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(02/04/2003)

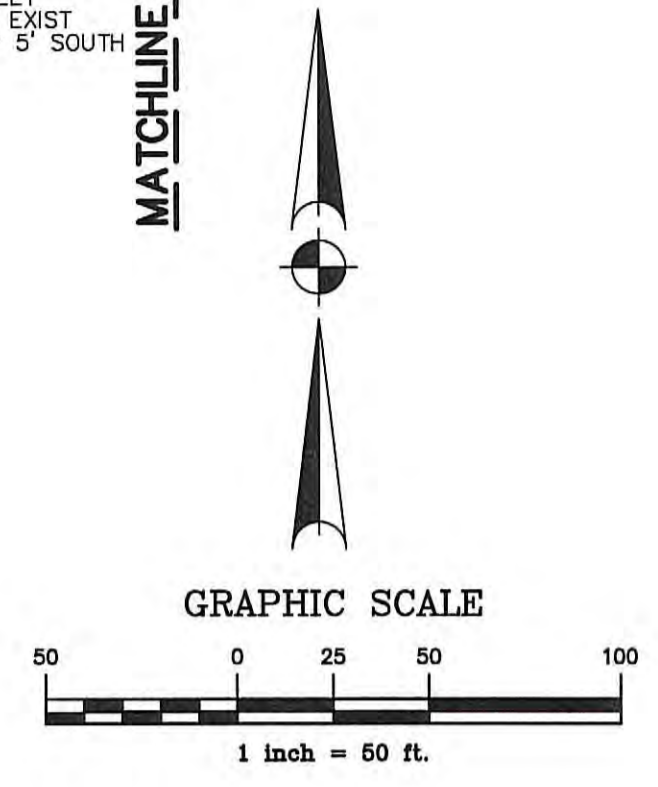
WARRANTY DEED
REC. NO. 20150050171
(07/31/2015)

TRACT A
EXEMPTION PLAT
REC. NO. 20130063229
(08/16/2013)

TRACT E
EXEMPTION PLAT
REC. NO. 20130063229
(08/16/2013)



MATCHLINE



LEGEND

- OHP — EXISTING OVERHEAD POWER
- FO — EXISTING FIBER OPTIC LINE
- EXISTING SANITARY SEWER W/MH
- 15" S — EXISTING 15" SANITARY SEWER
- W — EXISTING WATER LINE W/SERVICE
- G — EXISTING GAS LINE
- E — EXISTING ELECTRIC LINE
- PROPOSED SANITARY SEWER W/MH
- W — PROPOSED WATER LINE
- G — PROPOSED GAS LINE
- E — PROPOSED ELECTRIC LINE
- PROPOSED ELECTRICAL CONDUIT
- — EXISTING FIRE HYDRANT

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ CITY ENGINEER _____ DATE _____

CHECKED BY: _____ WATER & WASTEWATER UTILITY _____ DATE _____

CHECKED BY: _____ STORMWATER UTILITY _____ DATE _____

CHECKED BY: _____ PARKS AND RECREATION _____ DATE _____

CHECKED BY: _____ TRAFFIC ENGINEER _____ DATE _____

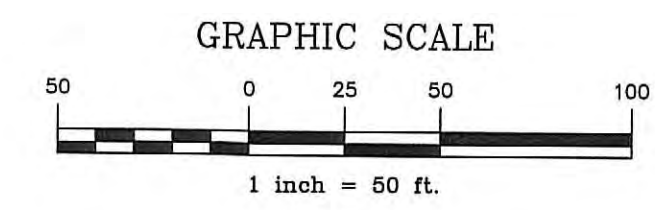
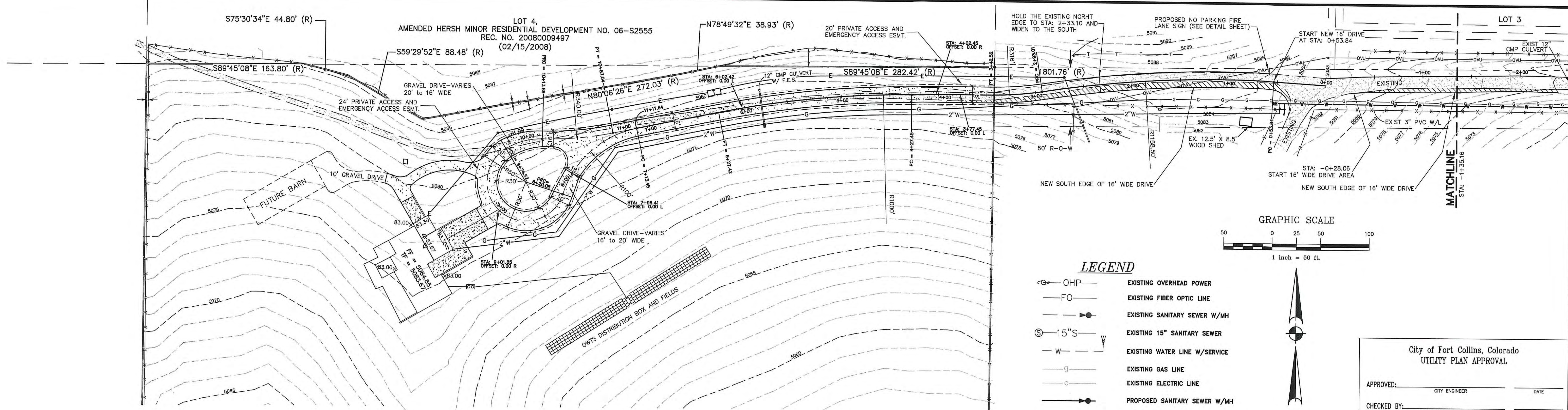
CHECKED BY: _____ LIGHT AND POWER _____ DATE _____

CHECKED BY: _____ ENVIRONMENTAL PLANNER _____ DATE _____

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<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>Date</td><td>By</td><td>Description</td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	Date	By	Description										<p>Date: NOVEMBER 2018</p> <p>Field Book: _____</p> <p>Scale: 1" = 50'</p>	<p>Drawn: D.M.C./B.R.B.</p> <p>Checked: B.W.S.</p> <p>Approved: B.W.S.</p>	<p>CLIENT</p> <p style="text-align: center;">ELIZABETH GULLEY</p>	<p>SHEAR ENGINEERING CORPORATION</p> <p>4836 SO. COLLEGE AVE, SUITE 12, FORT COLLINS, COLORADO 80525</p> <p>PHONE: (970) 226-5334 (970) 226-4451 FAX: (970) 282-0311</p>	<p>TITLE</p> <p style="text-align: center;">MASTER UTILITY PLAN GULLEY DURAN SUBDIVISION FORT COLLINS, COLORADO</p>	<p>PROJECT NO.</p> <p style="text-align: center;">3000-01-18</p>	<p>SHEET NO.</p> <p style="text-align: center;">3</p>	<p>NO. OF SHEETS</p> <p style="text-align: center;">8</p>
Date	By	Description																		

Nov 07, 2018 - 9:28am Z:\g-c\clients\gully beth_3000-01-18\gully duran subdivision fort collins\civil\dwg\04_STR_P-P_WEST.dwg MikeCole



- LEGEND**
- EXISTING OVERHEAD POWER
 - EXISTING FIBER OPTIC LINE
 - EXISTING SANITARY SEWER W/MH
 - EXISTING 15" SANITARY SEWER
 - EXISTING WATER LINE W/SERVICE
 - EXISTING GAS LINE
 - EXISTING ELECTRIC LINE
 - PROPOSED SANITARY SEWER W/MH
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 - PROPOSED GAS LINE
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 - PROPOSED ELECTRICAL CONDUIT
 - EXISTING FIRE HYDRANT

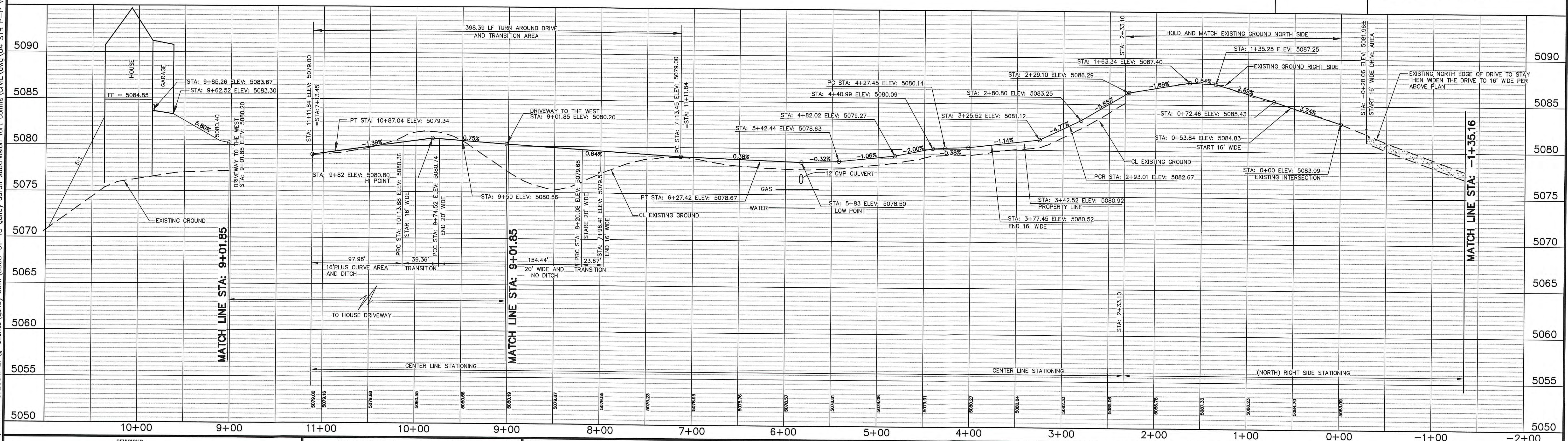


**City of Fort Collins, Colorado
UTILITY PLAN APPROVAL**

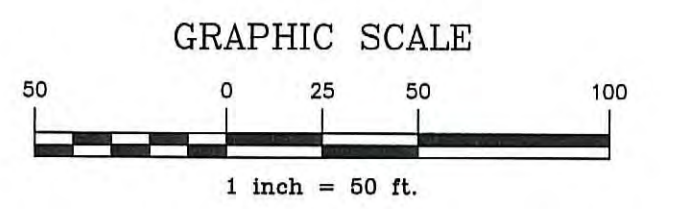
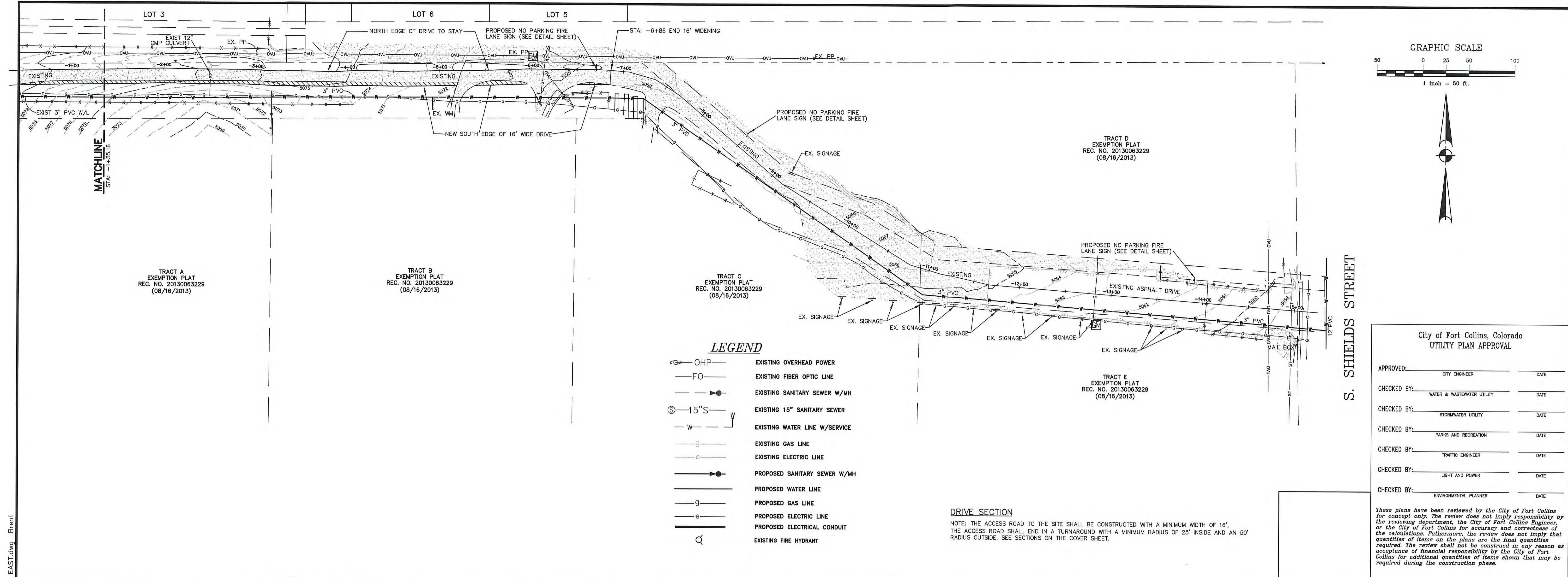
APPROVED:	CITY ENGINEER	DATE
CHECKED BY:	WATER & WASTEWATER UTILITY	DATE
CHECKED BY:	STORMWATER UTILITY	DATE
CHECKED BY:	PARKS AND RECREATION	DATE
CHECKED BY:	TRAFFIC ENGINEER	DATE
CHECKED BY:	LIGHT AND POWER	DATE
CHECKED BY:	ENVIRONMENTAL PLANNER	DATE

DRIVE SECTION
NOTE: THE ACCESS ROAD TO THE SITE SHALL BE CONSTRUCTED WITH A MINIMUM WIDTH OF 16'. THE ACCESS ROAD SHALL END IN A TURNAROUND WITH A MINIMUM RADIUS OF 25' INSIDE AND AN 80' RADIUS OUTSIDE. SEE SECTIONS ON THE COVER SHEET.

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REVISIONS Date _____ By _____ Description _____ Date _____ By _____ Description _____ Date _____ By _____ Description _____	Date NOVEMBER 2018 Drawn D.M.C. Field Book _____ Checked B.W.S. Scale H:1" = 50' V:1" = 5' Approved B.W.S.	CLIENT ELIZABETH GULLEY	SHEAR ENGINEERING CORPORATION 4836 SO. COLLEGE AVE, SUITE 12, FORT COLLINS, COLORADO 80525 PHONE: (970) 226-5334 (970) 226-4451 FAX: (970) 282-0311	TITLE STREET PLAN AND PROFILE (Private access dr./fire lane) WEST GULLEY DURAN SUBDIVISION FORT COLLINS, COLORADO	PROJECT NO. 3000-01-18	SHEET NO. 4	NO. OF SHEETS 8
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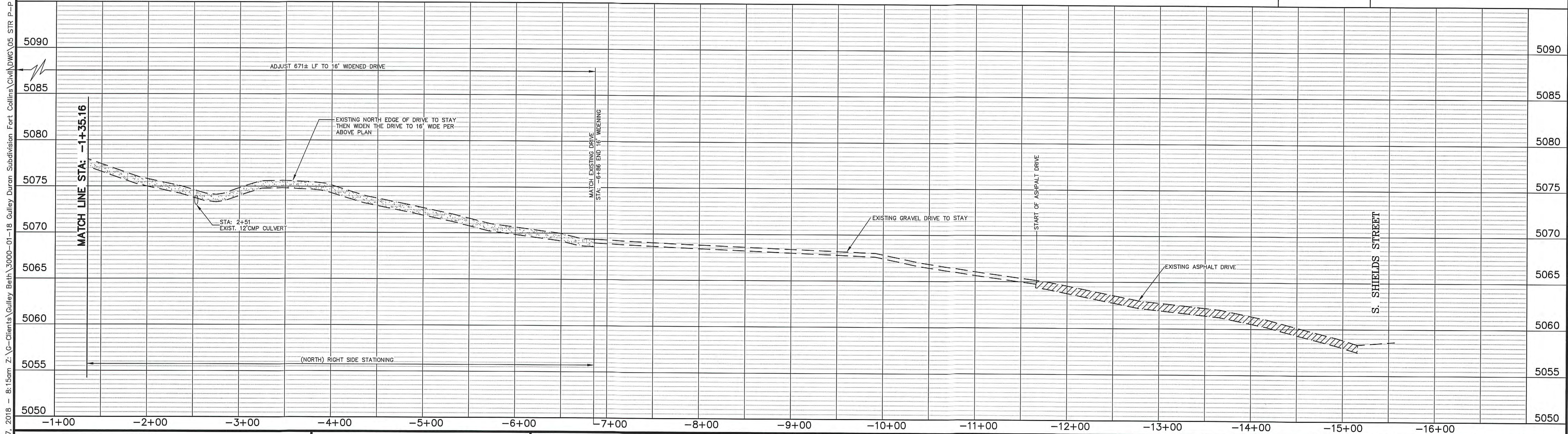


S. SHIELDS STREET

City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED:	CITY ENGINEER	DATE
CHECKED BY:	WATER & WASTEWATER UTILITY	DATE
CHECKED BY:	STORMWATER UTILITY	DATE
CHECKED BY:	PARKS AND RECREATION	DATE
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CHECKED BY:	ENVIRONMENTAL PLANNER	DATE

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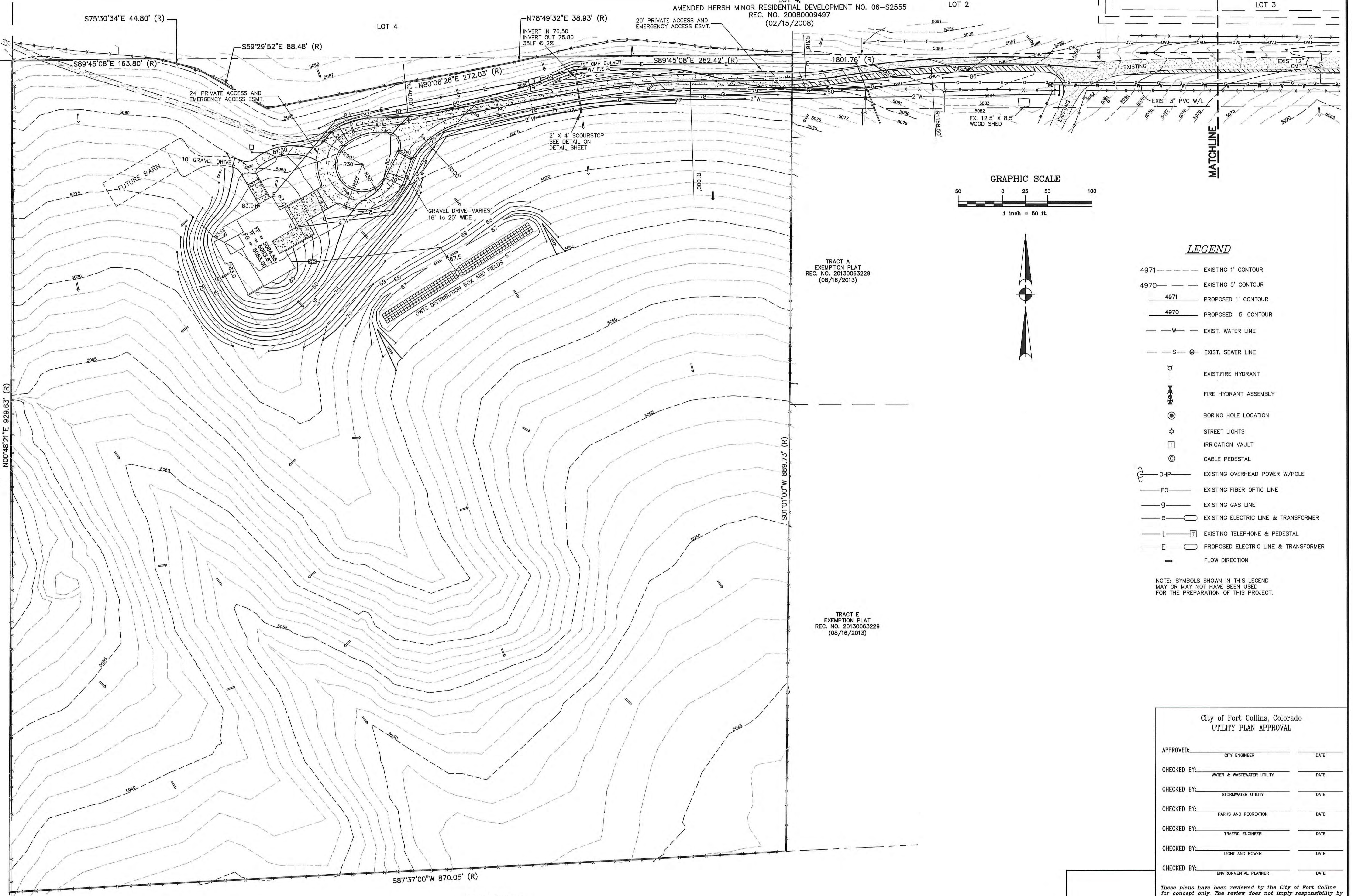
Nov 07, 2018 8:15am Z:\G-Clients\Gulley Beth\3000-01-18 Gulley Duran Subdivision Fort Collins\Civil\DWG\05_STR_P-P_EAST.dwg Brent

Nov 07, 2018 - 9:30am Z:\g-clients\gulleys\gully_bath_3000-01-18_gulley_duron_subdivision_fort_collins\CIVIL\dwg\06 GRADING PLAN.dwg MikeCole

DEED
REC. NO. 98113509
(12/15/1998)

DEED
REC. NO. 2003017770
(02/04/2003)

N00°48'21"E 929.63' (R)



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: _____ CITY ENGINEER _____ DATE _____

CHECKED BY: _____ WATER & WASTEWATER UTILITY _____ DATE _____

CHECKED BY: _____ STORMWATER UTILITY _____ DATE _____

CHECKED BY: _____ PARKS AND RECREATION _____ DATE _____

CHECKED BY: _____ TRAFFIC ENGINEER _____ DATE _____

CHECKED BY: _____ LIGHT AND POWER _____ DATE _____

CHECKED BY: _____ ENVIRONMENTAL PLANNER _____ DATE _____

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REVISIONS	
Date _____	By _____ Description _____
Date _____	By _____ Description _____
Date _____	By _____ Description _____

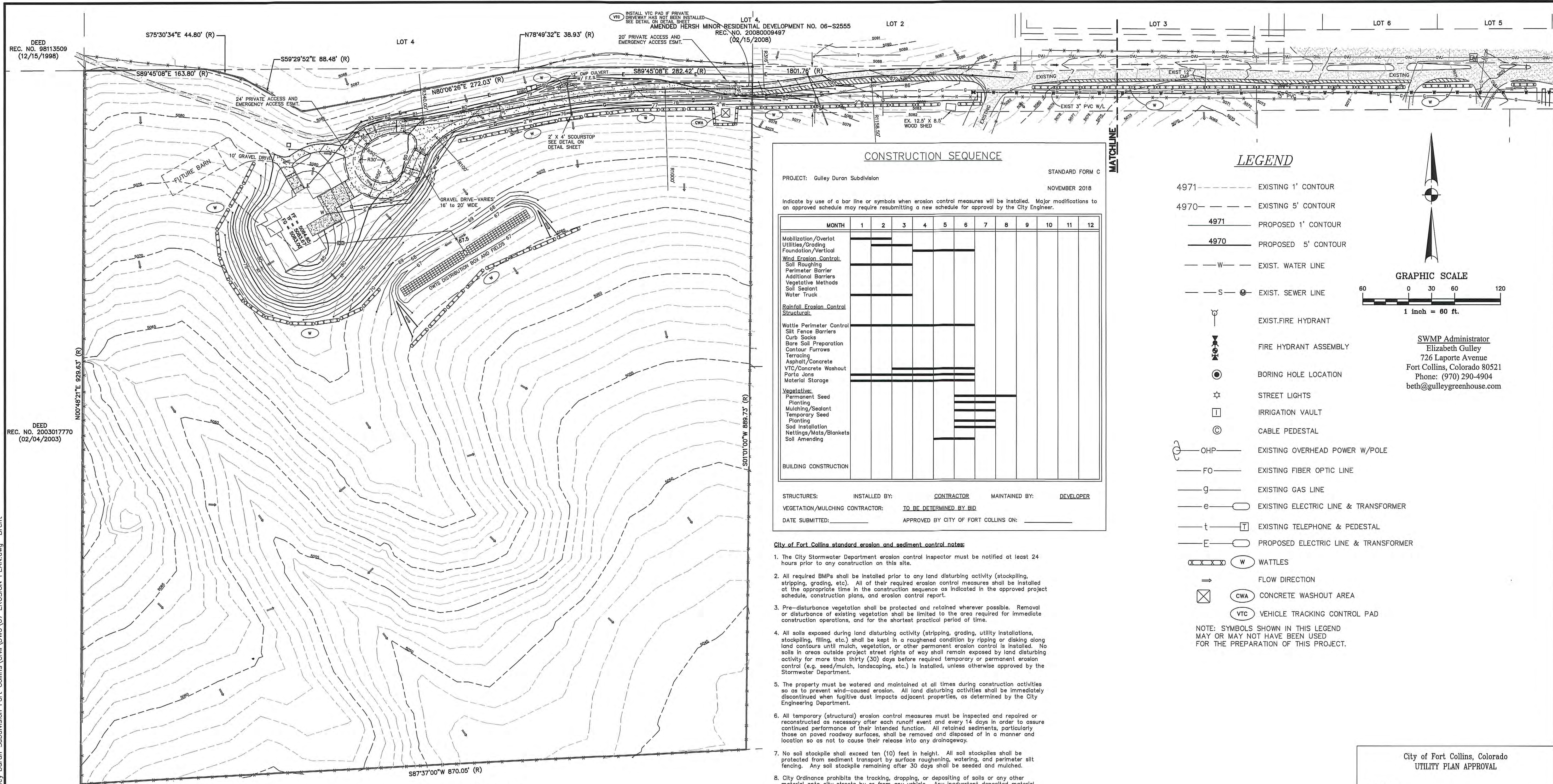
Date NOVEMBER 2018 Drawn D.M.C.
Field Book _____ Checked B.W.S.
Scale 1" = 50' Approved B.W.S.

CLIENT
ELIZABETH GULLEY

SHEAR ENGINEERING CORPORATION
4836 SO. COLLEGE AVE, SUITE 12, FORT COLLINS, COLORADO 80525
PHONE: (970) 226-5334 (970) 226-4451 FAX: (970) 282-0311

TITLE
**GRADING PLAN
GULLEY DURAN SUBDIVISION
FORT COLLINS, COLORADO**

PROJECT NO. 3000-01-18	SHEET NO. 6	NO. OF SHEETS 8
----------------------------------	-----------------------	---------------------------



CONSTRUCTION SEQUENCE

STANDARD FORM C
NOVEMBER 2018

PROJECT: Gully Duran Subdivision

Indicate by use of a bar line or symbols when erosion control measures will be installed. Major modifications to an approved schedule may require resubmitting a new schedule for approval by the City Engineer.

MONTH	1	2	3	4	5	6	7	8	9	10	11	12
Mobilization/Overlot Utilities/Grading/Foundation/Vertical												
Wind Erosion Control: Soil Roughening Perimeter Barrier Additional Barriers Vegetative Methods Soil Sealing Water Truck												
Rainfall Erosion Control Structural:												
Wattle Perimeter Control Silt Fence Barriers Curb Socks Bare Soil Preparation Contour Turrows Terracing Asphalt/Concrete VTC/Concrete Washout Porta Jons Material Storage												
Vegetative: Permanent Seed Planting Mulching/Sealant Temporary Seed Planting Seed Installation Nettings/Mats/Blankets Soil Amending												
BUILDING CONSTRUCTION												

STRUCTURES: INSTALLED BY: CONTRACTOR MAINTAINED BY: DEVELOPER

VEGETATION/MULCHING CONTRACTOR: TO BE DETERMINED BY BID

DATE SUBMITTED: APPROVED BY CITY OF FORT COLLINS ON:

LEGEND

4971 --- EXISTING 1' CONTOUR
 4970 --- EXISTING 5' CONTOUR
 4971 --- PROPOSED 1' CONTOUR
 4970 --- PROPOSED 5' CONTOUR
 ---W--- EXIST. WATER LINE
 ---S--- EXIST. SEWER LINE
 --- EXIST. FIRE HYDRANT
 --- FIRE HYDRANT ASSEMBLY
 --- BORING HOLE LOCATION
 --- STREET LIGHTS
 --- IRRIGATION VAULT
 --- CABLE PEDESTAL
 ---OHP--- EXISTING OVERHEAD POWER W/POLE
 ---FO--- EXISTING FIBER OPTIC LINE
 ---g--- EXISTING GAS LINE
 ---e--- EXISTING ELECTRIC LINE & TRANSFORMER
 ---t--- EXISTING TELEPHONE & PEDESTAL
 ---E--- PROPOSED ELECTRIC LINE & TRANSFORMER
 ---W--- WATTLES
 --->--- FLOW DIRECTION
 ---CWA--- CONCRETE WASHOUT AREA
 ---VTC--- VEHICLE TRACKING CONTROL PAD

NOTE: SYMBOLS SHOWN IN THIS LEGEND MAY OR MAY NOT HAVE BEEN USED FOR THE PREPARATION OF THIS PROJECT.

GRAPHIC SCALE

1 inch = 60 ft.

0 30 60 120

SWMP Administrator
 Elizabeth Gully
 726 Laporte Avenue
 Fort Collins, Colorado 80521
 Phone: (970) 290-4904
 beth@gullygreenhouse.com

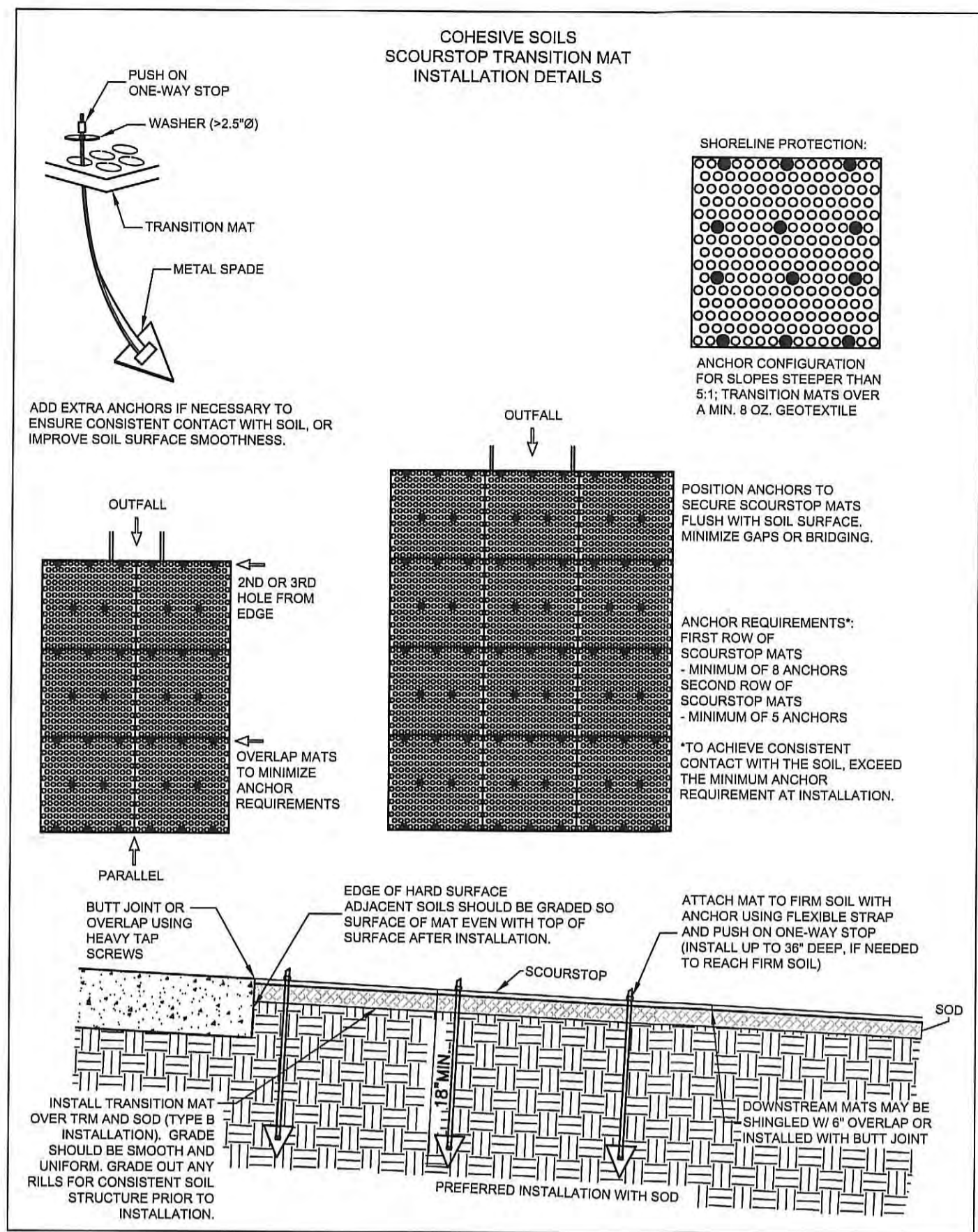
- City of Fort Collins standard erosion and sediment control notes:**
- The City Stormwater Department erosion control inspector must be notified at least 24 hours prior to any construction on this site.
 - All required BMPs shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc.). All of their required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
 - Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area required for immediate construction operations, and for the shortest practical period of time.
 - All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control is installed. No soils in areas outside project street rights of way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the Stormwater Department.
 - The property must be watered and maintained at all times during construction activities so as to prevent wind-caused erosion. All land disturbing activities shall be immediately discontinued when fugitive dust impacts adjacent properties, as determined by the City Engineering Department.
 - All temporary (structural) erosion control measures must be inspected and repaired or reconstructed as necessary after each runoff event and every 14 days in order to assure continued performance of their intended function. All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any drainageway.
 - No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after 30 days shall be seeded and mulched.
 - City Ordinance prohibits the tracking, dropping, or depositing of soils or any other material onto city streets by or from any vehicle. Any inadvertent deposited material shall be cleaned immediately by the contractor.

- Erosion Control Plan General Notes**
- Erosion control measures and the SWMP Administrator are identified on the Grading and Erosion Control Plan. Standard Grading and Erosion and Sediment Control Construction Plan Notes are included on the Project Notes Sheet.
 - An erosion control security deposit is required in accordance with City of Fort Collins policy. In no instance shall the amount of the security be less than \$3,000.00.
 - The site has slight to moderate slopes toward the south and east and is vegetated. Prior to dirt work operations, the site vegetation consists primarily of native and non-native grasses. The total disturbed area will be approximately 3.11 acres. These grasses naturally grow in clumps, which inevitably leads to some bare areas. In general, the site has approximately 60% vegetative cover. The site consists of a four to six inch vegetative and top soil layer over sandstone/crystalline according to the Geotechnical Subsurface Exploration Report for the Proposed Gully Residence; Parcel # 9610400006 by Earth Engineering Company, Inc. titled "Geotechnical Subsurface Exploration Proposed Gully Residence"; EEC Project No. 18-01-066; report dated May 22, 2018.
 - Construction BMP's will consist of wattles and surface roughening and re-vegetation around downstream construction limits.

DEED
REC. NO. 2003017770
(02/04/2003)

WARRANTY DEED
REC. NO. 20150050171
(07/31/2015)

Nov 07, 2018 - 9:34am Z:\C-Client\Gully Duran Subdivision Fort Collins\Civil\DWG\07 EROSION PLAN.dwg Brent



COHESIVE SOILS

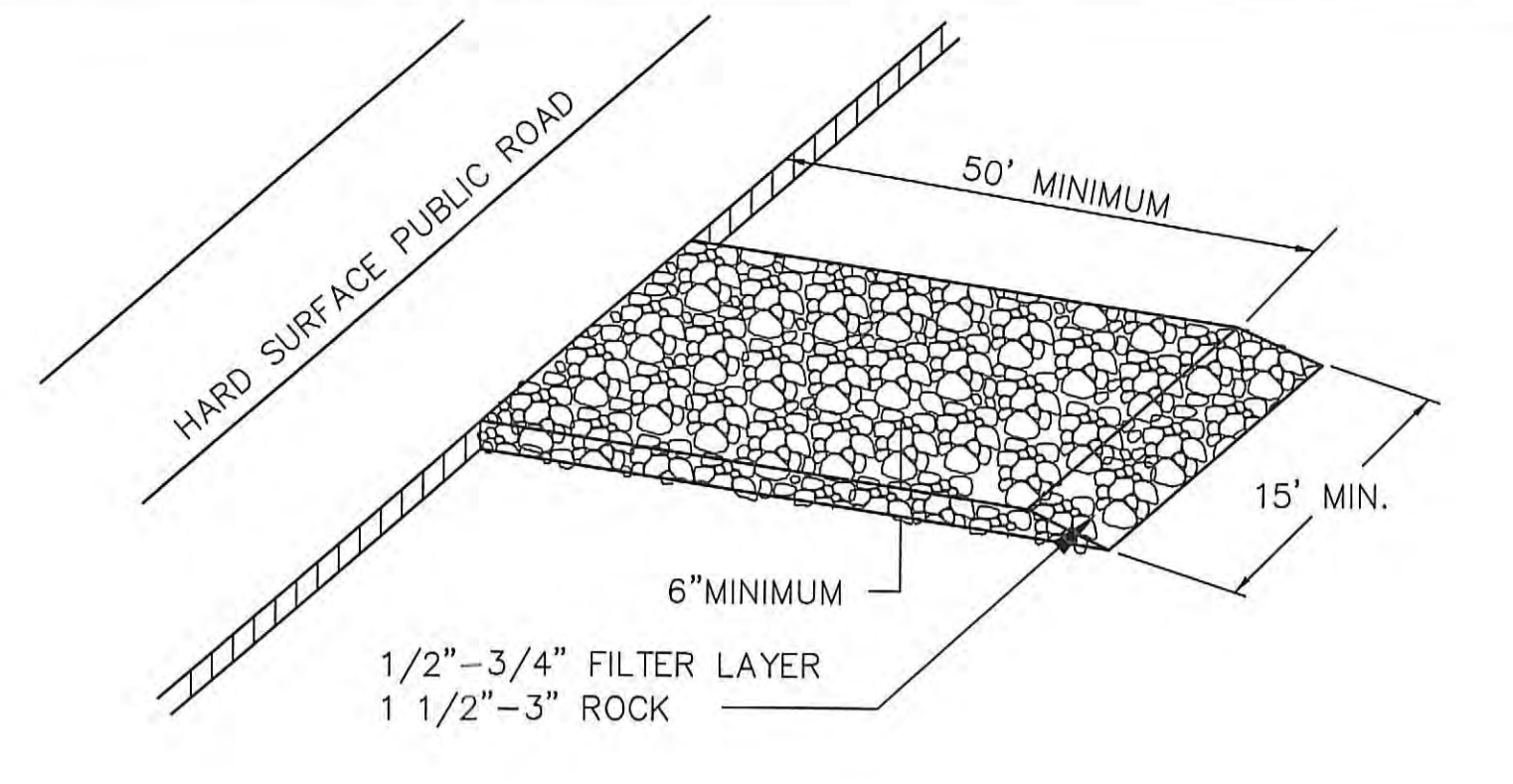
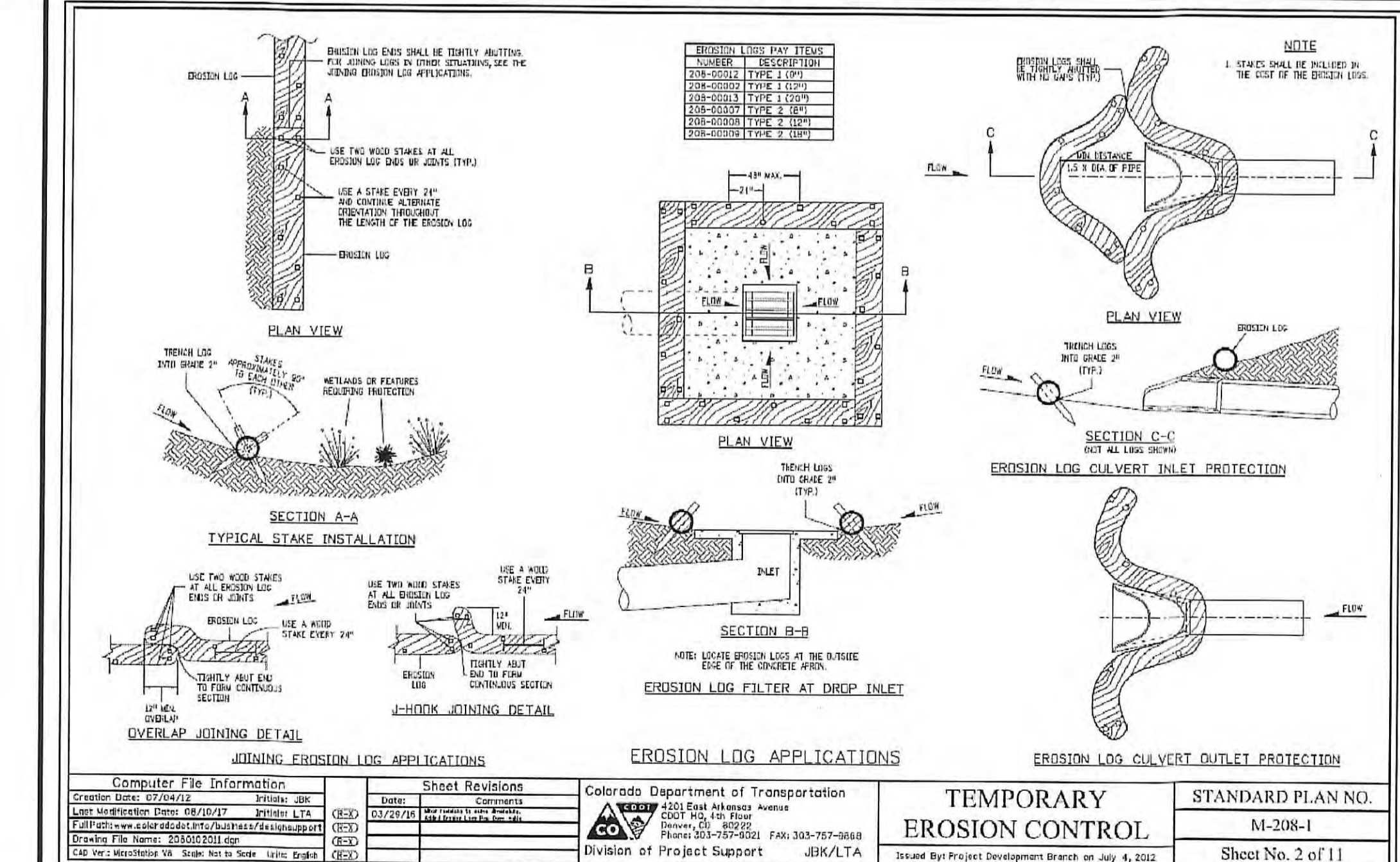
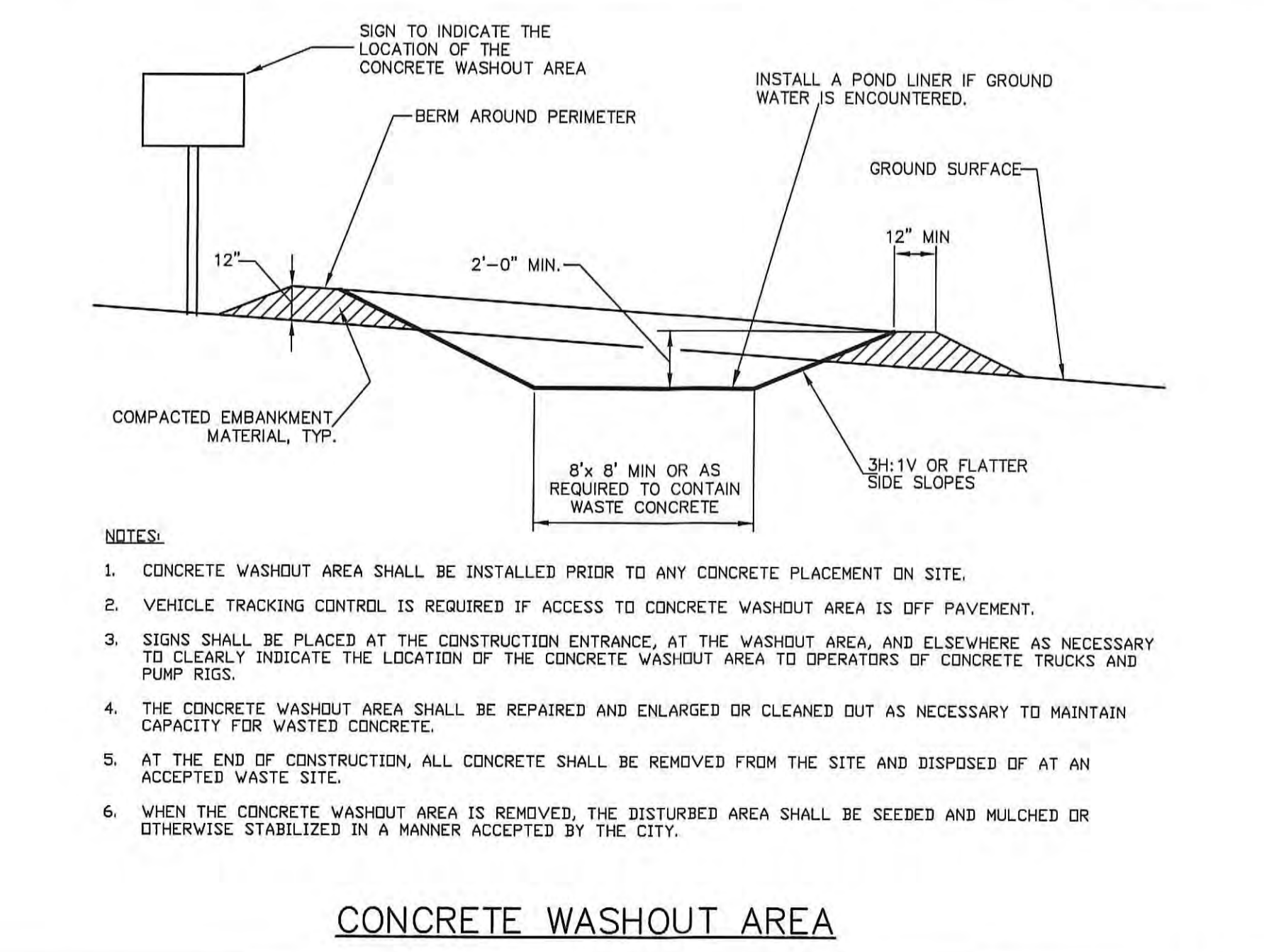
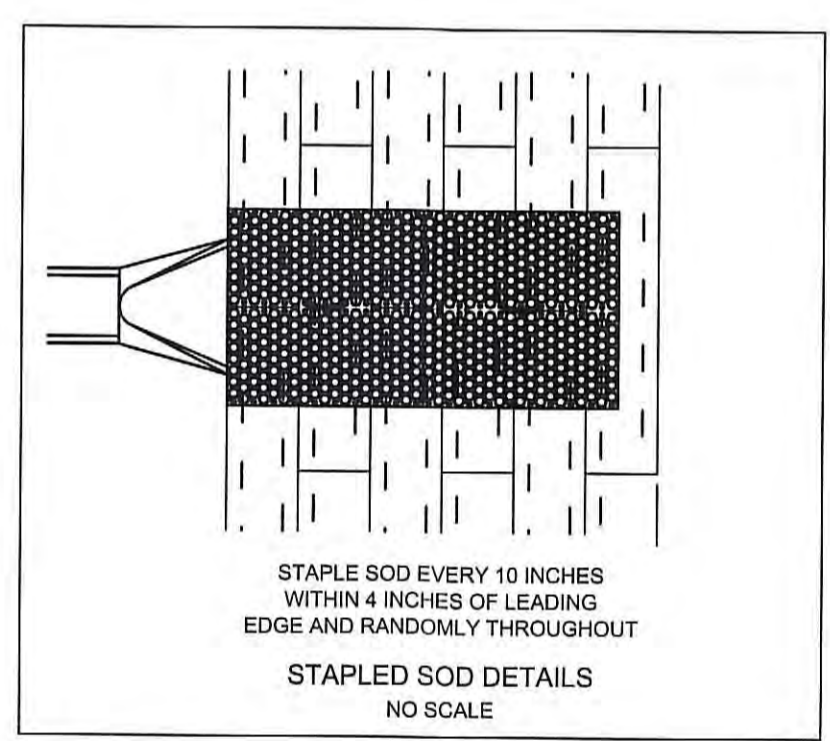
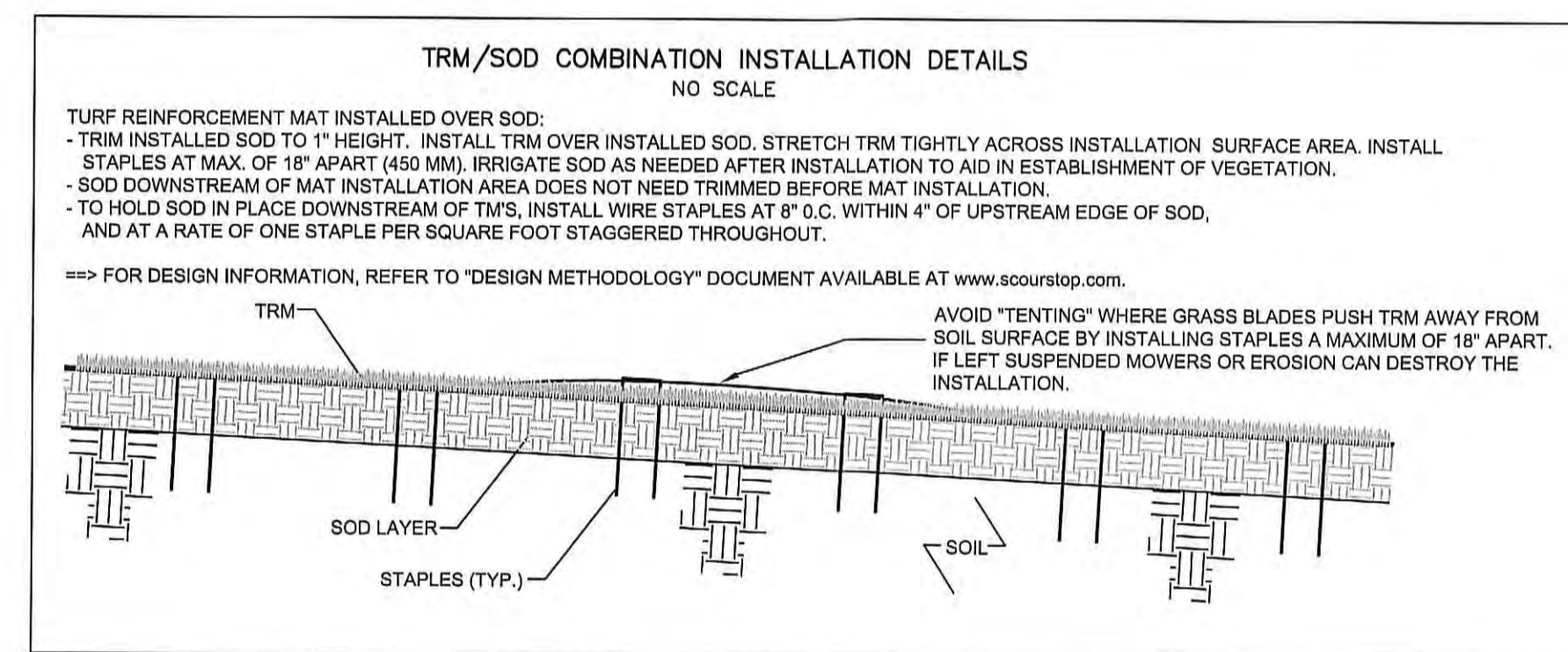
SCOURSTOP TRANSITION MAT APPLICATIONS

- INTENDED AS AN BIOTECHNICAL REPLACEMENT FOR RIP-RAP. THIS IS AN ENGINEERED SYSTEM. UTILIZE PROPER DESIGN PRACTICES FOR LONG-TERM EFFECTIVE PERFORMANCE.
- CAN BE PLACED ON DOWNSTREAM OUTLET SIDE OF CURB CUTS, OVERFLOW STRUCTURES, ENDS OF CONCRETE FLUMES OR PIPE STRUCTURES, AS STREAM BANK AND SHORELINE PROTECTION.
- SCOURSTOP STANDARD SIZE IS 4' X 4' X 1/2" SHEET WITH MULTIPLE VIEWS FOR VEGETATION GROWTH, PROVIDING SOIL PROTECTION FOR: 1) THE SUSCEPTIBLE, ERODIBLE AREA DIRECTLY BELOW OUTFALLS 2) ANY HIGHLY ERODIBLE AREA; 3) SHORELINE AND STREAMBANKS.
- PRIMARY BENEFITS OVER RIP-RAP ARE: UTILIZATION OF VEGETATION, LOWER INSTALLATION COSTS, LOWER LONG TERM MAINTENANCE, AESTHETICALLY PLEASING, AND IMPROVED SAFETY.

PREFERRED INSTALLATION SPECIFICATIONS

- READ AND UNDERSTAND INSTALLATION GUIDE.
- FOR EACH INSTALLATION, COMPLETE INSTALLER'S CHECKLIST AND PROVIDE TO GENERAL CONTRACTOR FOR PAYMENT.
- FOR VEGETATION, INSTALL APPROPRIATE SOIL UNDER THESE INSTALLATIONS TO IMPROVE THE GROWING ENVIRONMENT.
- MINIMUM APPLICATION IS 4 FOOT LENGTH. UTILIZE DESIGNER CHECKLIST FOR PROPER DESIGN AND INSTALLATION MODE.
- REMOVE AND REPLACE SATURATED SOILS FOR A SOLID BASE. USE SUB-SURFACE DRAIN FOR TRICKLE FLOWS.
- CAN BE INSTALLED AS A BUTT JOINT, OR PERMANENTLY ATTACHED TO THE HARD SURFACE.
- AVOID ERODIBLE IMPACT CONDITIONS AT SCOUR AREA.
- ENSURE LOCATION HAS ADEQUATE SUNLIGHT FOR HEALTHY VEGETATION, OTHERWISE UTILIZE THE HP-TRM INSTALLATION.
- SCOURSTOP SHALL NOT BE INSTALLED OVER BARE SOIL. OPTIONAL SOIL COVERS ARE SOD, TRM'S, AND GEOTEXTILES.
- SOIL COVERS MAY NEED TO EXTEND DOWNSTREAM OF SCOURSTOP INSTALLATION IN AREAS OF HIGHER VELOCITY OR SHEAR (CHECK WITH DESIGNER PRIOR TO INSTALLATION).
- WHERE EXCESS CONCRETE FROM THE END SECTION FOOTINGS EXTENDS BEYOND THE END SECTION, INSERT A FILLER MATERIAL (LIKE A HIGH-PERFORMANCE TRM OR HEAVY GEOTEXTILE) BETWEEN THE TRANSITION MAT AND THE EXCESS CONCRETE SURFACE TO FILL THE AREA TOO SHALLOW (<4 INCHES) TO SUPPORT SOIL AND VEGETATION GROWTH.
- CONSTRUCT DOWNSTREAM CHANNEL AT LEAST TWICE THE WIDTH OF THE OUTLET. CONSTRUCT WIDTH AS FLAT AND LEVEL AS POSSIBLE FOR PROPER DRAINAGE.
- SOIL ANCHORS SHALL BE DRIVEN AT LEAST 18" DEEP, OR DEEPER AS NEEDED INTO FIRM SOIL. USE FLEXIBLE STRAPPING, FLAT WASHERS (2.5" X 6") AND ONE-WAY STOPS TO ATTACH THE TRANSITION MAT INSTALLATION INTO THE SOIL. FIRMLY PULL STRAP TO SLOO THE TRANSITION MAT DOWN AGAINST THE SOIL WITH THE WASHER AND ONE-WAY STOP. A 3-2-3 ANCHOR CONFIGURATION IS THE MINIMUM ANCHOR QUANTITY.
- PER NPDES PHASE II, THE DOWNSTREAM CHANNEL (D.C.) MUST BE PROTECTED FOR ITS ENTIRE LENGTH. THIS D.C. IS PART OF THE TRANSITION MAT ENGINEERED SYSTEM. USE SOD TO PROTECT THE D.C. WHEN POSSIBLE. SEE DETAILS PAGE FOR PROPER INSTALLATION. TURF REINFORCEMENT MATS (TRM'S) ARE ACCEPTABLE. TRM'S HAVE LOW PERFORMANCE RATINGS WHEN UNVEGETATED - DESIGN APPROPRIATELY. A GEOTEXTILE UNDER A TRM GREATLY IMPROVES PERFORMANCE.
- USE A 3 OZ. GEOTEXTILE IF VEGETATION IS DESIRED AND LIKELY, AND A MINIMUM 6 OZ. IF VEGETATION IS UNLIKELY. SEE DETAILS FOR D.C. PROTECTION INSTALLATION DETAILS.
- ON AREAS OF SLOPE, TRANSITION, UTILIZE ANCHORS TO MAINTAIN SOIL CONTACT ACROSS ENTIRE MAT LENGTH. ANCHORS CAN BE USED TO PROVIDE UP TO 14" OF DEFLECTION AT CENTER OF MAT FROM ENDS.
- TYPE "A" INSTALLATION INSTRUCTIONS
DESIGN OUTLET VELOCITY < 21 FPS AND DOWNSTREAM SCOUR AREA FLATTER THAN 10% OR 10:1
SOD IS THE SOIL COVER PRACTICE UNDER THE TRANSITION MATS - WIDTH AND LENGTH OF TM'S SPECIFIED BY DESIGNER. SOD ELIMINATES GERMINATION RISK, AND IS GREAT PROTECTION FOR SOIL!
- TYPE "B" INSTALLATION INSTRUCTIONS
DESIGN OUTLET VELOCITY < 21 FPS AND DOWNSTREAM SCOUR AREA STEEPER THAN 10% OR 10:1
SOD TRIMMED AND COVERED BY AN OPEN-WEAVE TRM IS THE SOIL COVER PRACTICE UNDER THE TRANSITION MATS - WIDTH AND LENGTH OF TM'S TO BE SPECIFIED BY DESIGNER. ADDITIONAL TRANSITION MATS ARE REQUIRED AT THE TOE OF THE SLOPE. SEE DETAILS.
- TRM INSTALLED SOD TO 1-2" HEIGHT. INSTALL TRM OVER INSTALLED SOD. IRRIGATE SOD AS NEEDED AFTER INSTALLATION TO AID IN ESTABLISHMENT OF VEGETATION.
- ANCHOR SOD/TRM COMBINATION WITH 8-INCH STAPLES A MAXIMUM OF 18 INCHES APART.
- TYPE "C" INSTALLATION INSTRUCTIONS
DESIGN OUTLET VELOCITY < 8 FPS AND DOWNSTREAM SCOUR AREA FLATTER THAN 4% OR 25:1
A TRM IS THE SOIL COVER PRACTICE UNDER THE TRANSITION MATS. THE WIDTH AND LENGTH OF THE TM'S TO BE SPECIFIED BY DESIGNER. TRM'S OVER BARE SOIL ARE RISKY. INSTALL A MIN. 3 OZ. GEOTEXTILE UNDER TRM'S FOR ADDED PROTECTION.
- TYPE "D" INSTALLATION INSTRUCTIONS
DESIGN APPLICATIONS: ALL OUTFALLS, LOW SUNLIGHT AREAS, SEMI-ARID REGIONS, WHERE VEGETATION MAY BE SLOW TO ESTABLISH.
A 3 OZ. GEOTEXTILE COVERED WITH A HIGH-PERFORMANCE TRM IS THE PREFERRED SOIL COVER PRACTICE. THE WIDTH AND LENGTH OF THE TM'S TO BE SPECIFIED BY DESIGNER. THE GEOTEXTILE PROTECTS THE SOIL FROM EROSION, AND THE HP-TRM PROVIDES LONG TERM STABILITY. THIS INSTALLATION CAN BE SOIL-FILLED AND SEEDED, OR LEFT TO FILL-IN WITH SEDIMENTS AND NATIVE VEGETATION. MECHANICALLY-BONDED FIBER MATRIX (MBFM) HYDROMULCH HAS ALSO SHOWN TO BE AN EFFECTIVE FILLER/SEED BASE. FOR INSTALLATIONS ON OUTFALLS > 60 INCHES WITH HIGH VELOCITY FLOWS, AN ADDITIONAL LAYER OF TM'S ADJACENT TO THE OUTFALL PROVIDES GREATER PROTECTION.
- TYPE "E" INSTALLATION INSTRUCTIONS
DESIGN APPLICATIONS: STREAMBANK AND SHORELINE, MAX. 1.5H:1V SLOPE.
A 8-12 OZ. GEOTEXTILE IS THE SOIL COVER PRACTICE UNDER THE TRANSITION MATS WHICH ARE GENERALLY INSTALLED 3 FT BELOW AND MINIMUM 8 INCHES ABOVE THE NORMAL WATER LEVEL. TYPES A, B, AND D MAY BE UTILIZED ABOVE THE GEOTEXTILE/TM PROTECTED AREA. REQUIRES DIFFERENT ANCHOR CONFIGURATION AND DEPTH.

==> FOR DESIGN INFORMATION, REFER TO "DESIGN METHODOLOGY" DOCUMENT AVAILABLE AT www.scourstop.com.

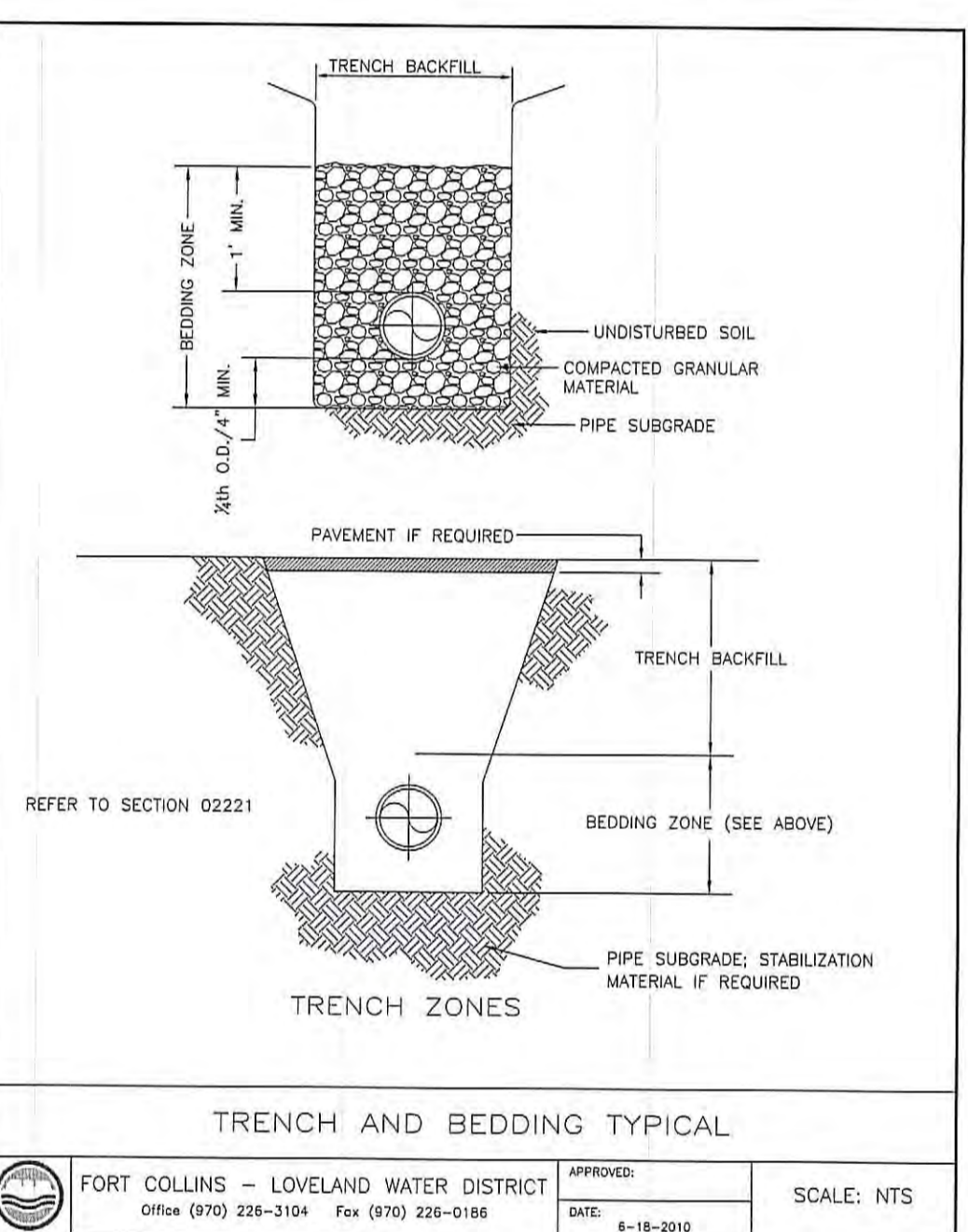
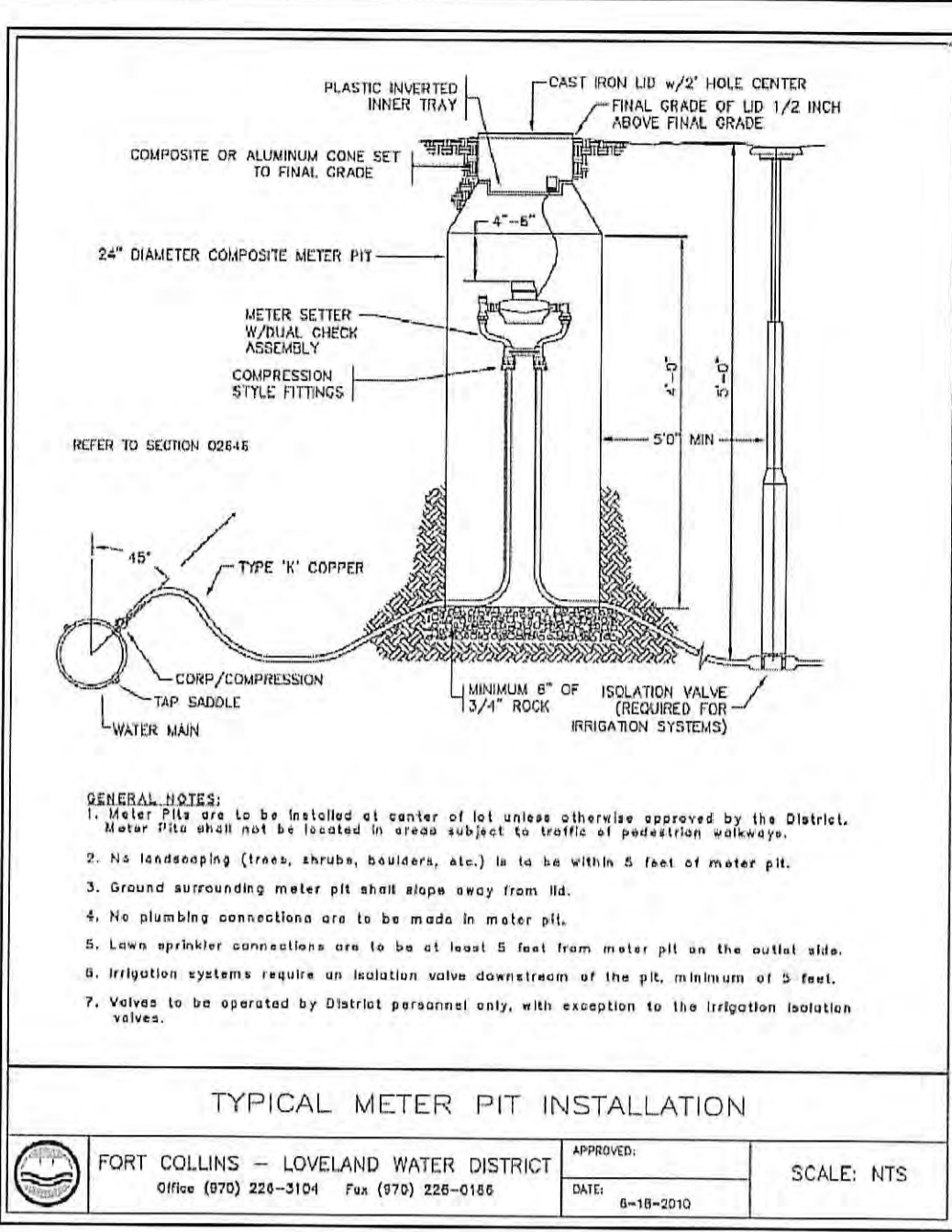
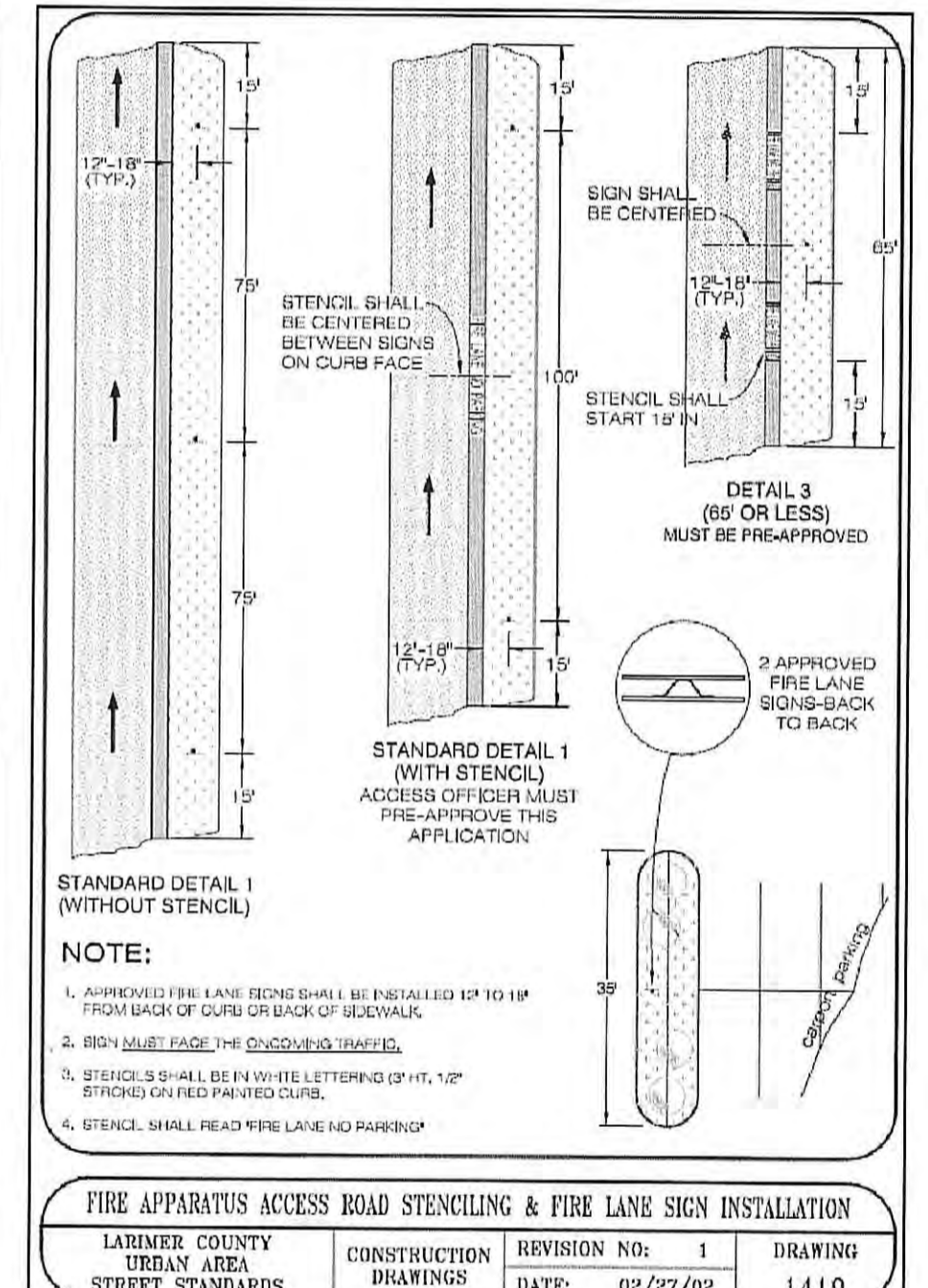
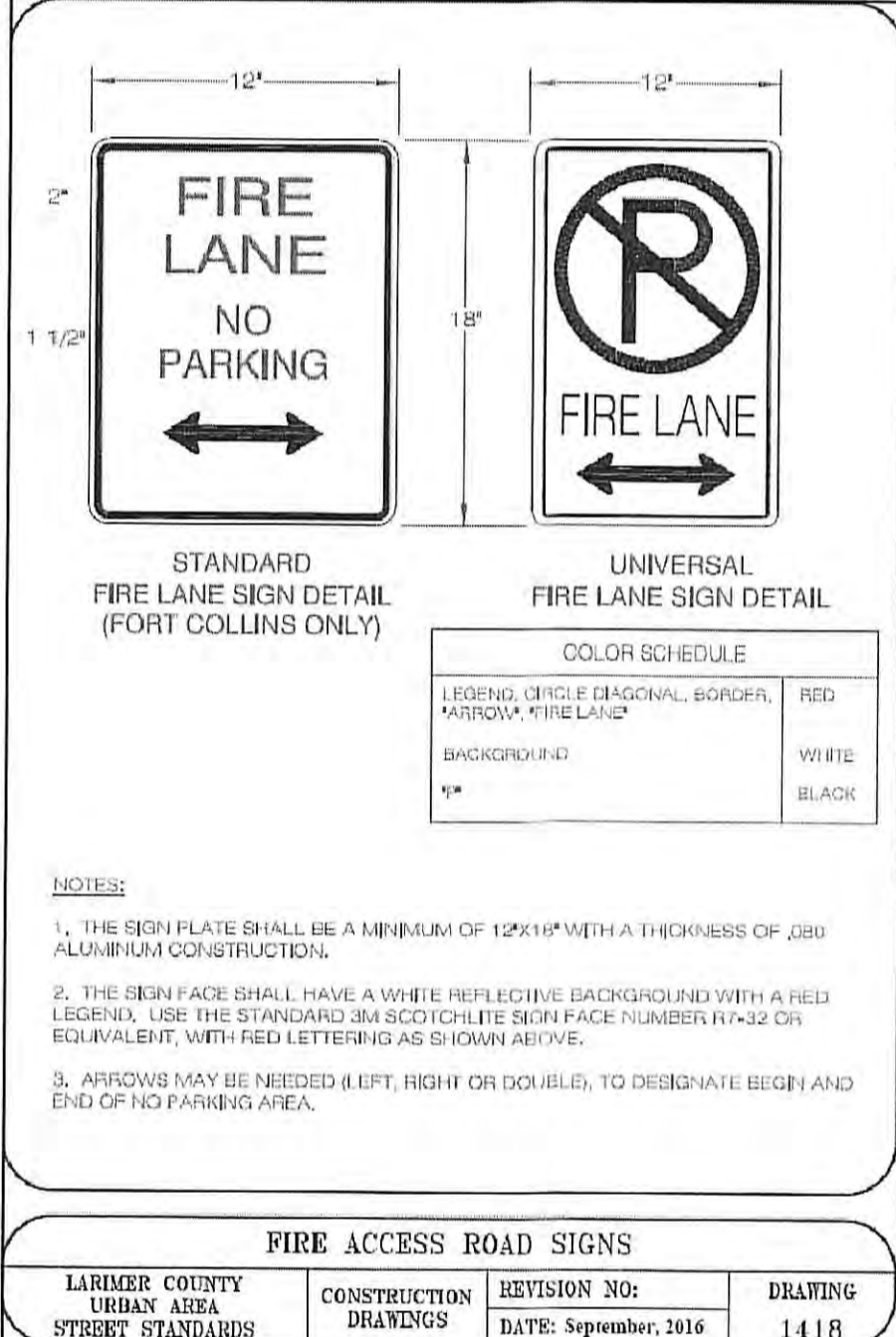


TEMPORARY VEHICLE TRACKING CONTROL

NTS

EROSION CONTROL GENERAL NOTES:

- INSPECT AND REPAIR GRAVEL FILTERS AFTER EACH STORM EVENT. REMOVE SEDIMENT WHEN ONE HALF OF THE FILTER DEPTH HAS BEEN FILLED. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT BASIN OR OTHER FILTERING MEASURE.
- EROSION CONTROL MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER.



Nov 07, 2018 8:24am Z:\G-Clients\Gulley Beth_3000-01-18 Gully Duran Subdivision Fort Collins Civil DWG\08 Det-sht.dwg Brent

REVISIONS	Date	By	Description	Drawn	Checked
	NOVEMBER 2018			D.M.C. / B.R.B.	B.W.S.
					B.W.S.
					B.W.S.

Date	NOVEMBER 2018	Drawn	D.M.C. / B.R.B.
Field Book		Checked	B.W.S.
Scale	1" = 1'	Approved	B.W.S.

CUSTOMER	ELIZABETH GULLEY
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Computer File Information	Sheet Revisions	Colorado Department of Transportation	STANDARD PLAN NO.
Project Name: 3000-01-18 Det-sht.dwg	Revision: 1	Division of Project Support	M-208-1
Drawn: D.M.C. / B.R.B.	Checked: B.W.S.	Issue Date: 07/10/18	Sheet No. 2 of 11

TITLE	DETAILS SHEET
	GULLEY DURAN SUBDIVISION
	FORT COLLINS, COLORADO

PROJECT NO.	3000-01-18
SHEET NO.	8
NO. OF SHEETS	8

City of Fort Collins, Colorado

UTILITY PLAN APPROVAL

APPROVED:	CITY ENGINEER	DATE
CHECKED BY:	WATER & WASTEWATER UTILITY	DATE
CHECKED BY:	STORMWATER UTILITY	DATE
CHECKED BY:	PARKS AND RECREATION	DATE
CHECKED BY:	TRAFFIC ENGINEER	DATE
CHECKED BY:	LIGHT AND POWER	DATE
CHECKED BY:	ENVIRONMENTAL PLANNER	DATE

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April 20, 2018

Beth Gulley
Gulley Greenhouse, Inc.
6029 S. Shields St.
Fort Collins, CO 80526

RE: Ecological Characterization Study

Ms. Gulley:

This report is submitted to satisfy the requirements to Section 3.4.1 (D) (1) of the Land Use Code of the City of Fort Collins regarding the preparation of an Ecological Characterization Study (ECS). This report was required by the City of Fort Collins Community Development and Neighborhood Services department because the property is bordered by Cathy Fromme Prairie to the north and west.

The proposed project entails construction of a single-family residence, barn and guest house within the 15.5-acre property. The property is located east of South Taft Hill Road, west of South Shields Street and north of West Trilby Road. Cathy Fromme Prairie, a City of Fort Collins Natural Area, borders the property to the west and north. The legal description for the property is as follows:

TR IN SE 10-6-69, FTC, DESC AS BEG AT E1/4 COR SD SEC 10, TH N 89 45' 08" W 1801.76 FT;
TH S 01 01' W 889.73 FT TO SW COR PROP DESC IN 86041883 WH IS ALSO PT ON N LN PROP
DESC IN 1451-126; TH S 87 37' W 870.05 FT TO PT ON W LN SD SE; TH N 00 48' 21" E 929

The site was visited by Matt Tobler (Natural Resource Specialist) with Blue Mountain Environmental Consulting on April 11, 2018. Feel free to contact me with any questions you may have.

Sincerely,
Matt Tobler

Blue Mountain Environmental Consulting, LLC

1.0 Ecological Characterization

The elements of the Ecological Characterization Study are summarized in this section in the order listed in Section 3.4.1 (D) (1) of the Land Use Code. Site maps are provided in Appendix A. Site photos are provided in Appendix B. Photo points are indicated on the Natural Features and Habitats Map in Appendix A.

1.1 Wildlife

Wildlife habitat value of the property is moderate. Key habitat features include connectivity with Cathy Fromme Prairie, proximity to Fossil Creek, forage value of smooth brome fields and friable soils that accommodate burrowing and denning wildlife species. Observed species (or their evidence) include deer (*Odocoileus* spp.), coyote (*Canis latrans*), common garter snake (*Thamnophis sirtali*), eastern rattlesnake (*Crotalus viridis*), pocket gopher (*Geomys bursarius*), white-tailed jackrabbit (*Lepus townsendii*) and meadow lark (*Sturnella neglecta*). It is anticipated that the site is also used by mice, voles, red fox (*Vulpes fulva*) and mesopredators including skunk (*Mephitis mephitis*) and raccoon (*Procyon lotor*). An array of passerine migrant birds is also anticipated to use the site as well as turkey vulture (*Cathartes aura*), Swainson's hawk (*Buteo swainsoni*), red-tailed hawk (*Buteo jamaicensis*) and ferruginous hawk (*Buteo regalis*).

1.2 Wetlands

There are no wetlands on the property. According to the National Wetlands Inventory (<https://www.fws.gov/wetlands/data/mapper.html>), a palustrine emergent (PEM1C) wetland associated with Fossil Creek is located approximately 175 feet to the south of the southern property boundary.

1.3 Prominent Views

The property is visible in the mid-ground when looking east from South Taft Hill Road and from points within Cathy Fromme Prairie Natural Area. At present, grasslands on the property form a buffer between the natural area and commercial and residential developments to the east.

1.4 Native Trees and Vegetation

The prairie site does not support any trees. The majority of the vegetative composition is dominated by exotic grasses with native species forming a minor component of the overall cover. Native shrubs include yucca (*Yucca glauca*), plains prickly pear (*Opuntia polyacantha*), rabbitbrush (*Chrysothamnus* spp.), snakeweed (*Gutierrezia sarothrae*) and fringed sage

(*Artemisia frigida*). Native grasses include western wheatgrass (*Pascopyrum smithii*) and three awn (*Aristida purpurea*). Native forb species were not observed.

1.5 Non-native Trees and Vegetation

The property appears to have been used to produce hay in the recent past and as such is dominated by smooth brome (*Bromus inermis*) with cheatgrass (*Bromus tectorum*) and crested wheatgrass (*Agropyron cristatum*) forming a minor component of the overall cover. Observed non-native forb species include dandelion (*Taraxicum officinale*), yellow salsify (*Tragapogon dubious*), curly doc (*Rumix crispus*), yellow sweet clover (*Melilotus officinalis*) and flixweed (*Descurainia sophia*).

1.6 Bank, Shoreline and High Water Mark of Perennial Water

According to the City of Fort Collins FEMA Map Panel (08069C1000F and 08069C1200F), the property is not in a floodplain (<http://www.fcgov.com/utilities/what-we-do/stormwater/flooding/floodplain-maps-documents>, accessed April 13, 2018).

1.7 Sensitive and Specially Valued Species

There are no known occurrences of or habitat for sensitive and specially valued species on the property. According to the U. S. Fish and Wildlife Service Information, Planning and Conservation System (IPAC) there are no critical habitats on the property.

1.8 Special Habitat Features

The Cathy Fromme Prairie Natural Area, a City of Fort Collins designated natural area, is located to the north and west of the property. According to the City of Fort Collins web site, “Cathy Fromme Prairie is a rare example of Fort Collins pre-settlement shortgrass prairie landscape. Drylands and wetlands here provide habitat to a variety of plants and animals. Look for horned lizards, ground-nesting songbirds, butterflies, rabbits, coyotes and rattlesnakes. The raptor observatory, built into the hillside near the Shields Street entrance, is an excellent place from which to watch hawks and eagles, especially in winter.” (From <https://www.fcgov.com/naturalareas/finder/cathyfromme> accessed on April 16, 2018.) Additional information regarding this natural area can be obtained at <https://www.fcgov.com/naturalareas/finder/cathyfromme>.

The Natural Features and Habitats Map in Appendix A identifies features within and adjacent to the property including native grasslands and emergent wetlands.

1.9 Wildlife Migration Corridors

According to the City of Fort Collins Wildlife Management Guidelines, “The Fort Collins area continues to be an important migratory corridor for raptors, songbirds and butterflies. As wetlands have increased along the Front Range, so has the value of Fort Collins for migratory waterfowl, shorebirds and other wetland bird species. Riparian forests along Fossil Creek and other stream corridors in Colorado are recognized by many as one of the more diverse ecosystems in the United States.”

Fossil Creek and Cathy Fromme Prairie Natural Area serve as wildlife migration corridors for local wildlife; both provide connectivity to the foothills. In addition to avifauna, it is expected that deer, raccoons, skunks and other urban-adapted species use these waterways to move through the region. The impact of site activities on these corridors is expected to be minimal because a large portion of the property will remain in open space and because proposed developments are clustered.

1.10 General Ecological Functions

Ecological functions supported by the 15-acre site include water conveyance and infiltration, wildlife habitat and migration and connectivity with other conserved lands. Vegetation is principally smooth brome, an exotic species with good forage value. Soils are friable which accommodates a variety of burrowing wildlife species.

1.11 Timing of Development in Relation to Ecological Character

The primary concern for the timing of development is protection of ground-nesting birds adjacent to and within the project site. Under the Migratory Bird Treaty Act of 1918, it is unlawful for anyone to take, possess, import, export, transport, sell, purchase, barter or offer for sale, purchase or barter, any migratory bird or the parts, nests or eggs. To the greatest extent possible, avoid site activities between April 1 and August 15.

1.12 Mitigation Measures

According to the City of Fort Collins Land Use Code, “If the project contains or abuts a publicly owned natural area or conserved land, the development plan shall be designed so that it will be compatible with the management of such natural area or conserved land. In order to achieve this, the development plan shall include measures such as barriers or landscaping measures to minimize wildlife conflicts, setbacks or open space tracts to provide a transition between the development and the publicly owned natural area or conserved land, and educational signage or printed information regarding the natural values, management needs and potential conflicts associated with living in close proximity to such natural area or conserved land.”

Blue Mountain Environmental Consulting recommends the following mitigation:

- Utilize native xeric cool- and warm-season flowering plants to enhance pollinator habitat within landscape beds; limit the use of insecticides.
- Utilize buffalo grass (*Buchloe dactyloides*) and blue gramma (*Bouteloua gracilis*) for residential lawns.
- Cluster developments to maximize open space and natural areas.
- Utilize semi-permeable surfaces on driveways and parking areas in accordance with city regulations to reduce stormwater runoff and facilitate groundwater infiltration.
- To the maximum extent feasible, preserve or create connectivity with offsite natural features.
- In compliance with the Migratory Bird Treaty Act of 1918, avoid site activities during migratory bird nesting season of April 1 through August 15. Survey for ground nests prior to site activity if construction activities are undertaken during this time. Any unoccupied nest may be removed or disrupted during this time frame.

2.0 Conclusions and Recommendations

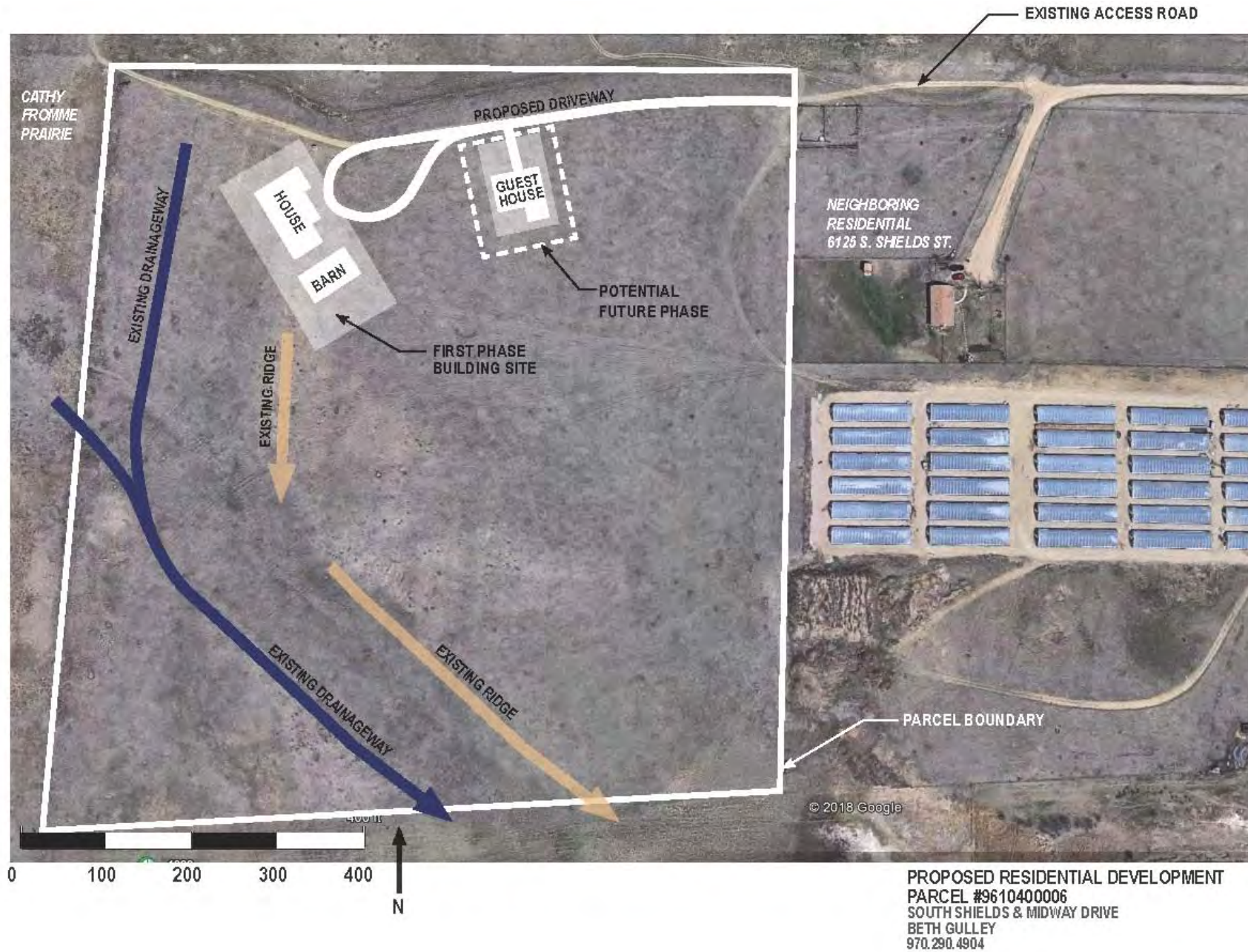
The team at Blue Mountain Environmental Consulting believes that no significant ecological resources will be adversely impacted by development at this site.

References

- City of Fort Collins Floodplain Maps and Documents. Accessed on April 13, 2018; <http://www.fcgov.com/utilities/what-we-do/stormwater/flooding/floodplain-maps-documents>
- Recommended Buffer Zones and Seasonal Restrictions fro Colorado Raptors (<https://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RaptorBufferGuidelines2008.pdf>).
- United States Fish and Wildlife Service Information Planning and Conservation System (IPAC). Accessed on April 13, 2018. <http://ecos.fws.gov/ipac/>
- Wildlife Management Guidelines, City of Fort Collins. <http://www.fcgov.com/naturalareas/pdf/wildlife-management-guidelines.pdf>

Appendix A: Project Maps

Site Plan



Natural Features and Habitats Map



Gulley ECS Natural Features and Habitats

- Gulley Property
 - Fort Collins Natural Areas
- ### Fort Collins Natural Habitats
- Lost to Development
 - Native Grassland
 - Native Upland Foothills Forest
 - Native Upland Foothills Shrubland
 - Native Upland Plains Forest
 - Native Upland Plains Shrubland
 - Non-native Grassland
 - Non-native Upland Plains Forest
 - Riparian Forest
 - Emergent Wetland
 - Wet Meadow
 - Aquatic

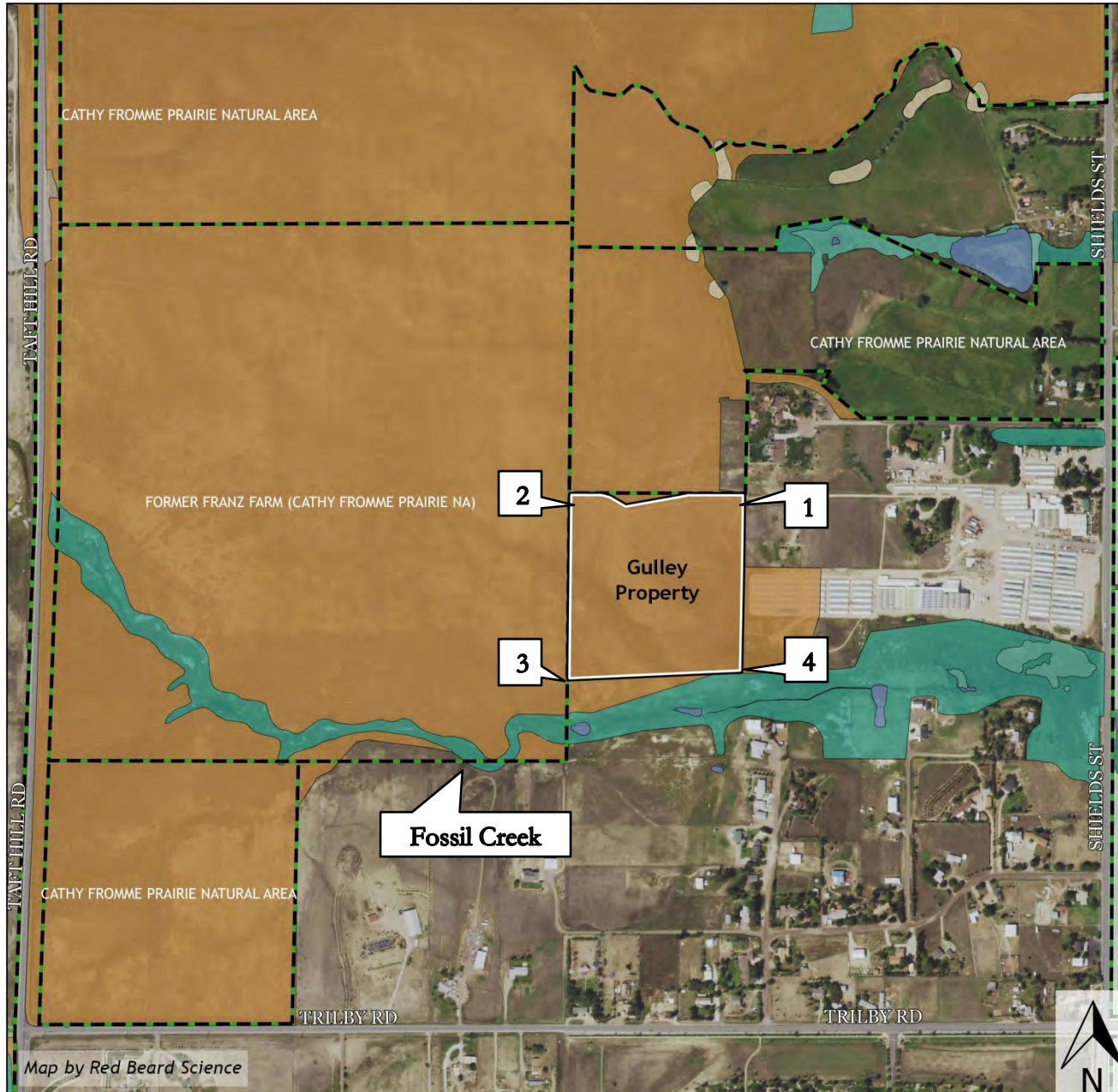
Photo Point

0 0.25 mile

Data Sources:
 City of Fort Collins (CO, USA)
 National Agriculture Imagery Program (NAIP)

Projection: UTM Zone 13N, NAD83

The information on this map is not to be construed or used as a "legal description." Parcel boundaries are believed to be accurate, but accuracy is not guaranteed.



Map by Red Beard Science

Appendix B: Site Photos

Map Number:	
1	
Photo Direction:	
South	
Looking south from the northeast property corner.	

Map Number:	
1	
Photo Direction:	
SW	
Looking southwest.	

Map Number:	
1	
Photo Direction:	
West	
Looking west.	

Map Number:	
2	
Photo Direction:	
East	
Looking east from the northwest property corner.	

Map Number:	
2	
Photo Direction:	
South	
Looking south.	

Map Number:	
3	
Photo Direction:	
North	
Looking north from the southwest corner.	

Map Number:	
3	
Photo Direction:	
NE	
Looking northeast.	

Map Number:	
3	
Photo Direction:	
East	
Looking east.	

Map Number:	
4	
Photo Direction:	
North	
Looking north from the southeast property corner.	

Map Number:	
4	
Photo Direction:	
West	
Looking west towards the Front Range.	

